



corbis



## Program & Design

### History:

Recent 2013 SFPUC Property Purchase adjacent to Southeast Water Pollution Control Plant (SEWPCP)

### Existing Site:

- 4.68 Acres Total
- 31,000 sf. Office Building
- 19,000 sf. Warehouse

### Program:

- Relocate SFPUC Sewer Operations Yard and Staff from Napoleon Street Yard to Site. (Site loss)
- Relocate SFPUC Sewer Operations Office Staff from Bayview Plaza Rental Space to Site. (Lease expiration)

**Program Constraints:** Program area requirements exceed existing Office area by 20 %.

**Program Solution:** Construct Locker Room/Dispatch Addition for Sewer Operations Maintenance Staff.

### Program Goals:

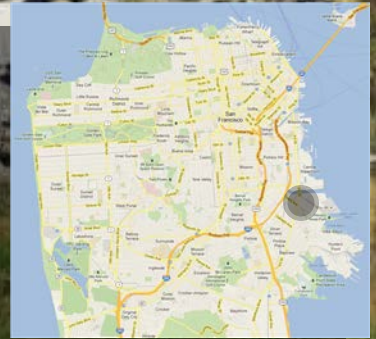
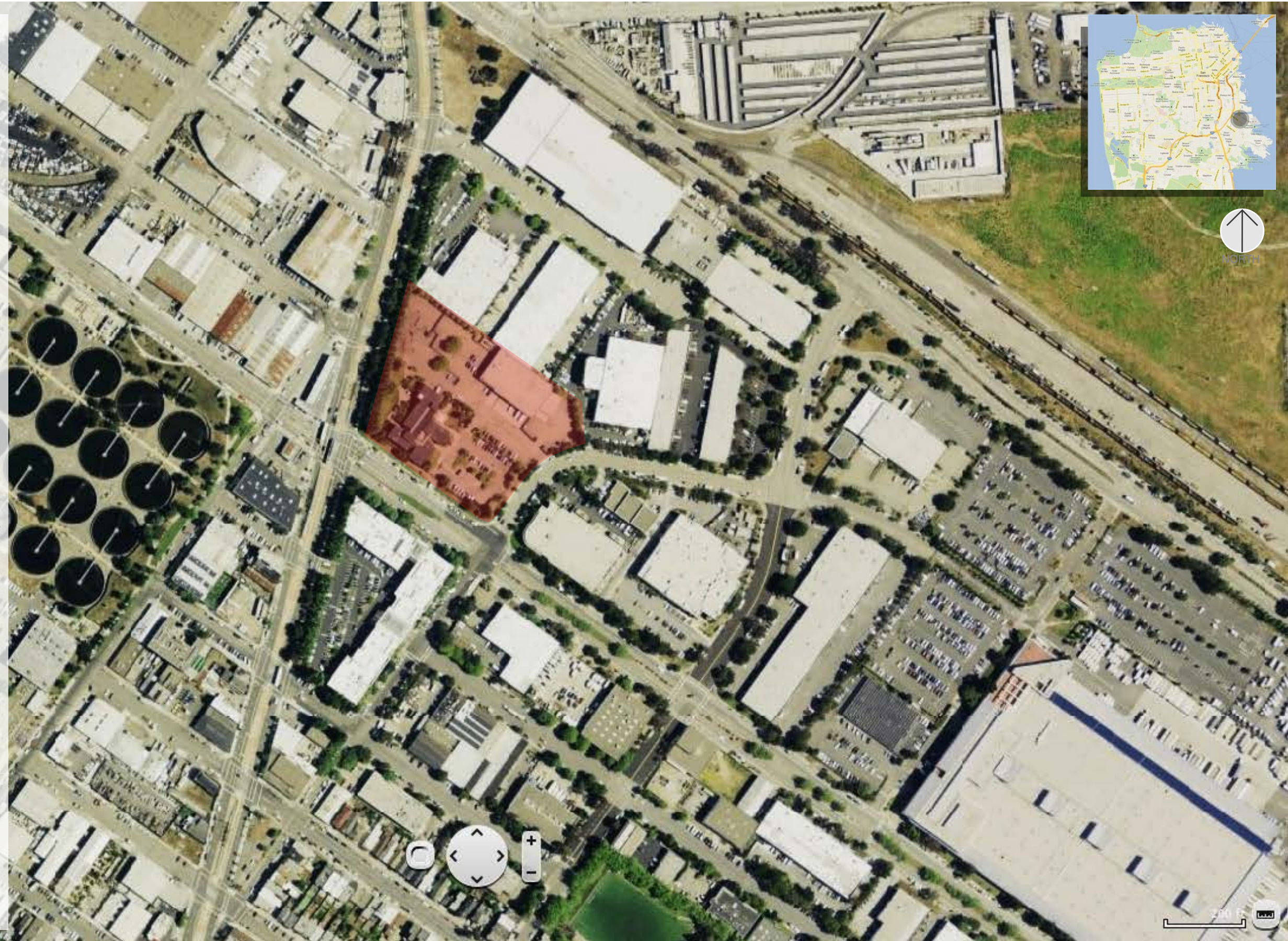
- Locate Addition to allow for future site development.
- Preserve and develop Landscape area behind building (NW site corner) for SFPUC functions.
- Provide Facilities for Sewer Operations Maintenance Staff with direct yard access.

### Architectural Design Concept:

- Apply existing building design concepts to new addition. (Two story rectangular office modules connected by two story circulation space)
- Create a dynamic open area and field staff entry.

### Landscape Design Concept

- Retain park sensibility
- Create flexible multi-use space and linkage from parking area to back courtyard
- Create sustainable and water conserving landscape through use of
  - o Permeable paving
  - o Native planting/ drought resistant
  - o Reduction of lawn



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**PROJECT SITE - ANALYSIS & CONTEXT**



**NEIGHBORHOOD CONTEXT**



PHOTO 1



PHOTO 2



PHOTO 3

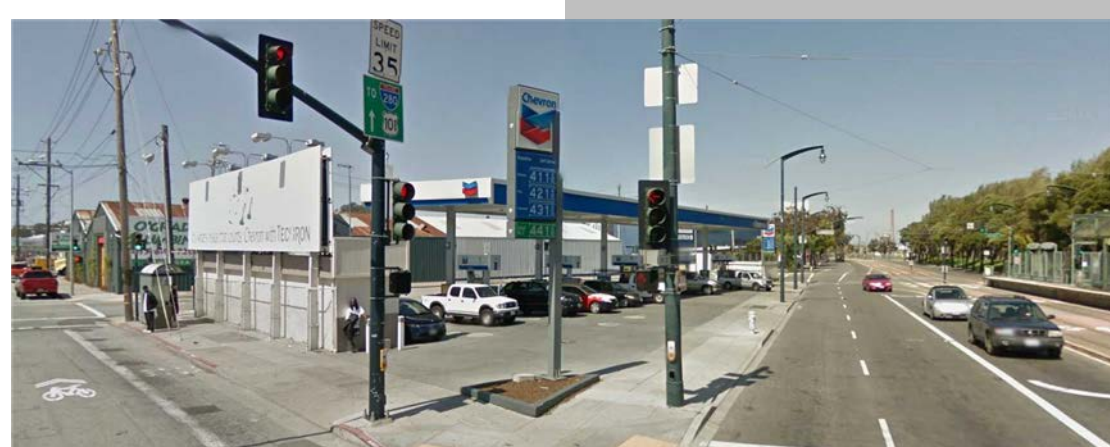
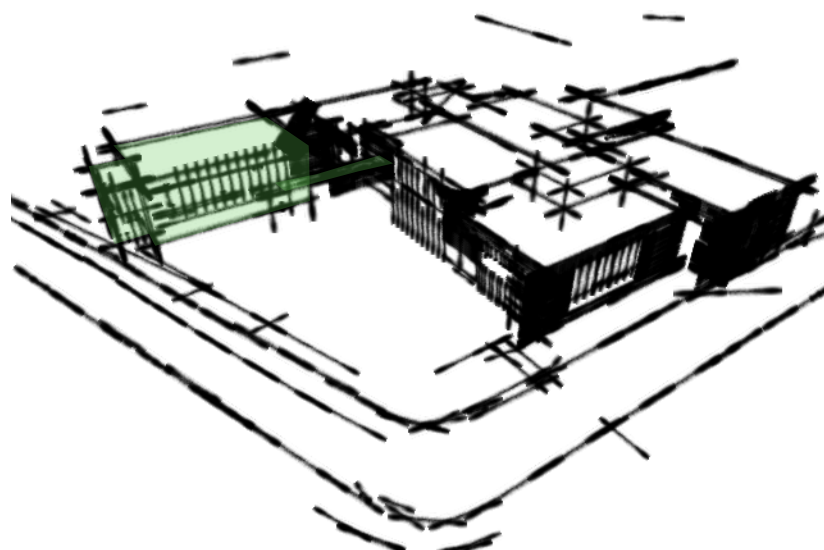
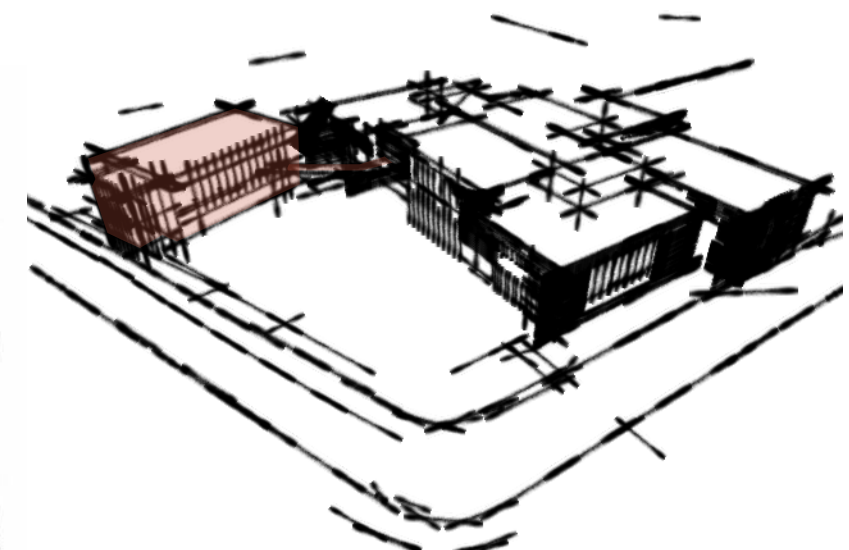
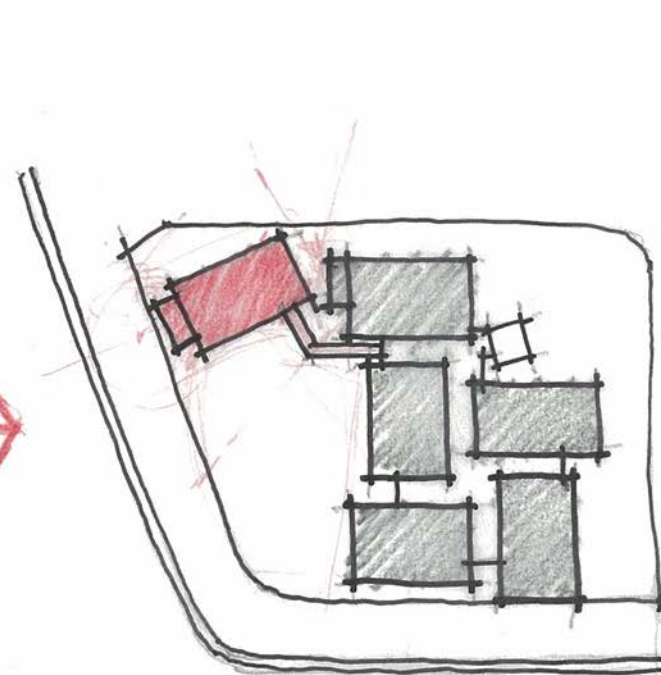
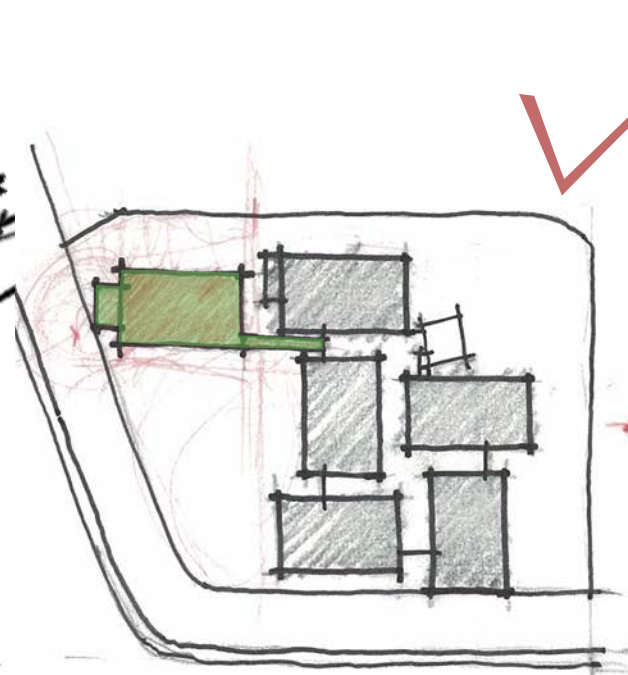


PHOTO 4



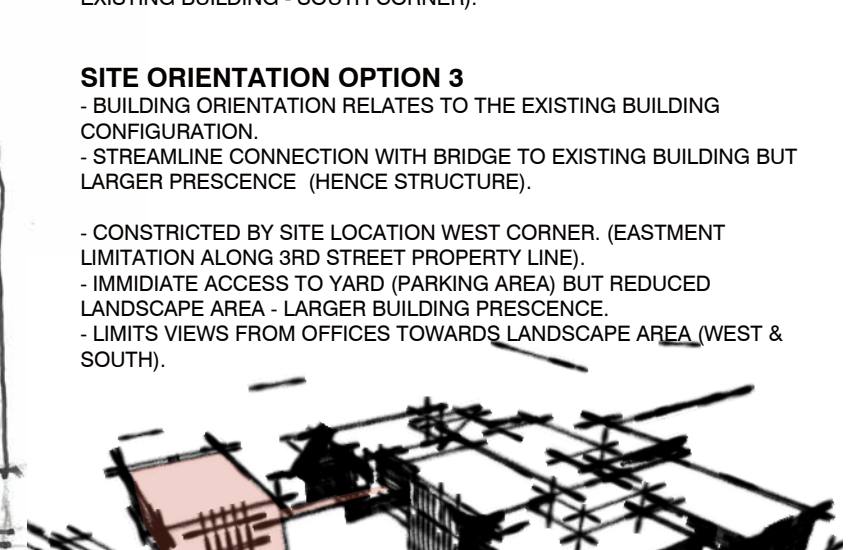
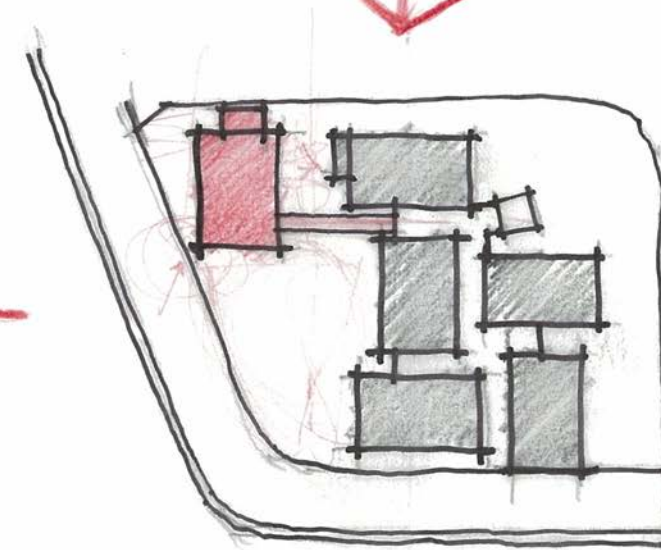
**SITE ORIENTATION OPTION 1 (SELECTED)**

- SOUTH ORIENTATION - LIGHT GAIN IN OFFICES AND LOGIN AREA. (SUN CONTROL).
- SHORTER BRIDGE CONNECTION TO EXISTING BUILDING
- ACCESS TO LANDSCAPE AREA - ACCESS VIEW FROM BOTH FLOORS - CREATES COURTYARD LIKE ENVIRONMENT.
- ACTIVATE CORRIDOR BETWEEN NEW AND EXISTING BUILDING (MAIN ENTRY) WITH IMMEDIATE ACCESS TO COURTYARD AND PARKING AREA.
- DISPATCH AND CONTROL OFFICES (SECOND FLOOR) OVERLOOK TO YARD (PARKING AREA).
- LARGER LANDSCAPE/ COURTYARD AREA.



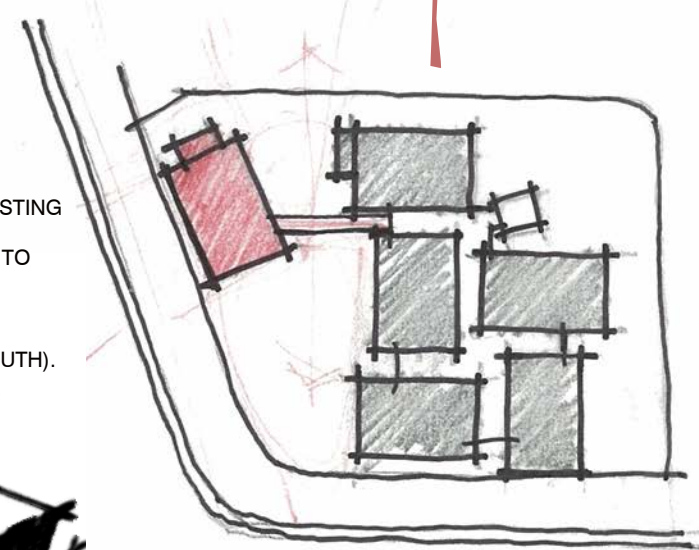
**SITE ORIENTATION OPTION 2**

- SOUTH & NORTH ORIENTATION.
- OPEN UP MORE LANDSCAPE AREA.
- CONSTRICTED BY SITE LOCATION. (EASTMENT LIMITATION ALONG 3RD STREET PROPERTY LINE).
- ODD BUILDING & BRIDGE CONFIGURATION IN RELATIONSHIP WITH EXISTING BUILDING.
- IMMEDIATE ACCESS TO YARD (PARKING AREA) BUT CONSTRICTED ACCESS TO LANDSCAPE AREA ('FUNNEL' CONDITION BETWEEN NEW AND EXISTING BUILDING - SOUTH CORNER).



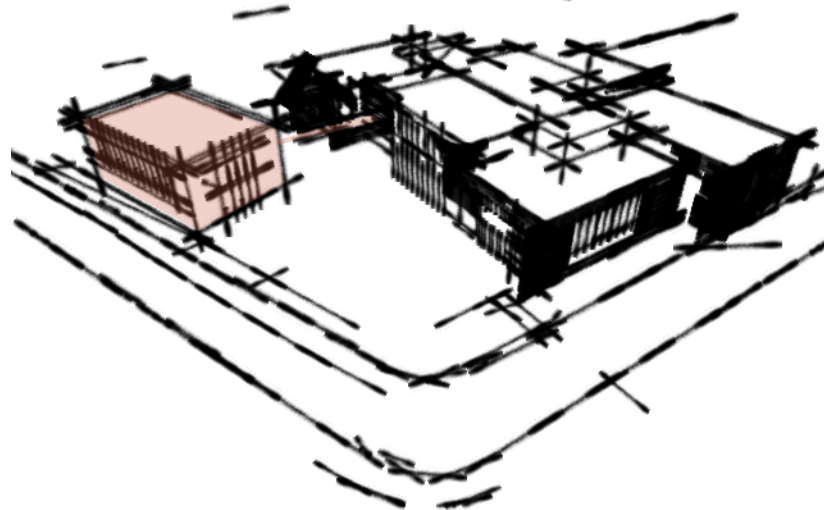
**SITE ORIENTATION OPTION 3**

- BUILDING ORIENTATION RELATES TO THE EXISTING BUILDING CONFIGURATION.
- STREAMLINE CONNECTION WITH BRIDGE TO EXISTING BUILDING BUT LARGER PRESENCE (HENCE STRUCTURE).
- CONSTRICTED BY SITE LOCATION WEST CORNER. (EASTMENT LIMITATION ALONG 3RD STREET PROPERTY LINE).
- IMMEDIATE ACCESS TO YARD (PARKING AREA) BUT REDUCED LANDSCAPE AREA - LARGER BUILDING PRESENCE.
- LIMITS VIEWS FROM OFFICES TOWARDS LANDSCAPE AREA (WEST & SOUTH).



**SITE ORIENTATION OPTION 4**

- SOUTH & NORTH ORIENTATION PREFERRED.
- OPEN UP MORE LANDSCAPE AREA.
- PROVIDE URBAN PRESENCE ON 3RD STREET (MAIN ROAD).
- ODD BUILDING & BRIDGE CONFIGURATION IN RELATIONSHIP WITH EXISTING BUILDING.
- IMMEDIATE ACCESS TO YARD (PARKING AREA) CONSTRICTED ACCESS TO LANDSCAPE AREA ('FUNNEL' CONDITION BETWEEN NEW AND EXISTING BUILDING - SOUTH CORNER).
- LARGER BRIDGE PRESENCE (DIVIDING LANDSCAPE AREA).
- LIMITS VIEWS FROM OFFICES TOWARDS LANDSCAPE AREA (WEST & SOUTH).





LAFAYETTE PARK



NORTH VIEW



CROWN HALL, ITT



WESTWOOD BRANCH LIBRARY



6TH STREET

**KEEP IT CLEAN - PRACTICAL - FUNCTIONAL - UTILITARIAN - MODULAR - INDUSTRIAL - CONTEXTUAL**





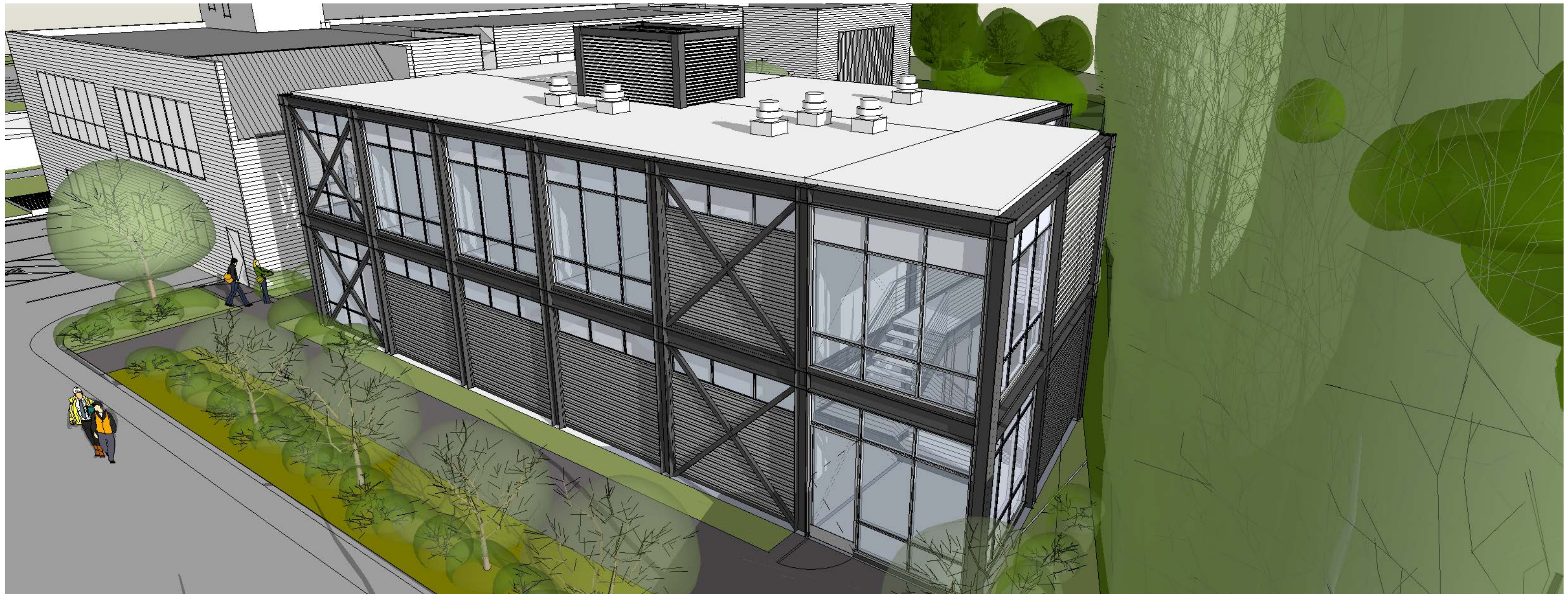
EAST ELEVATION  
NORTH ELEVATION





SOUTH ELEVATION

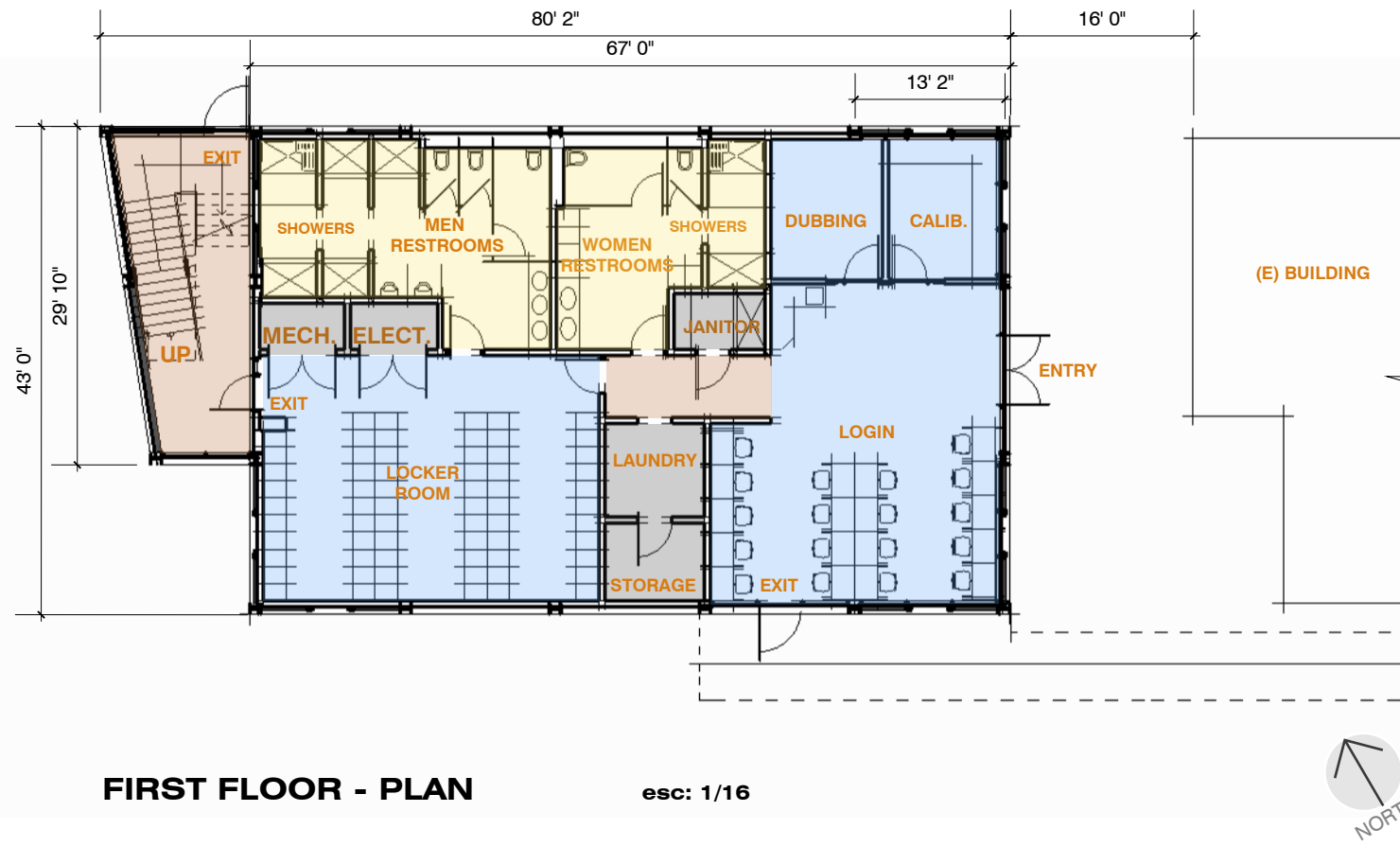




WEST ELEVATION

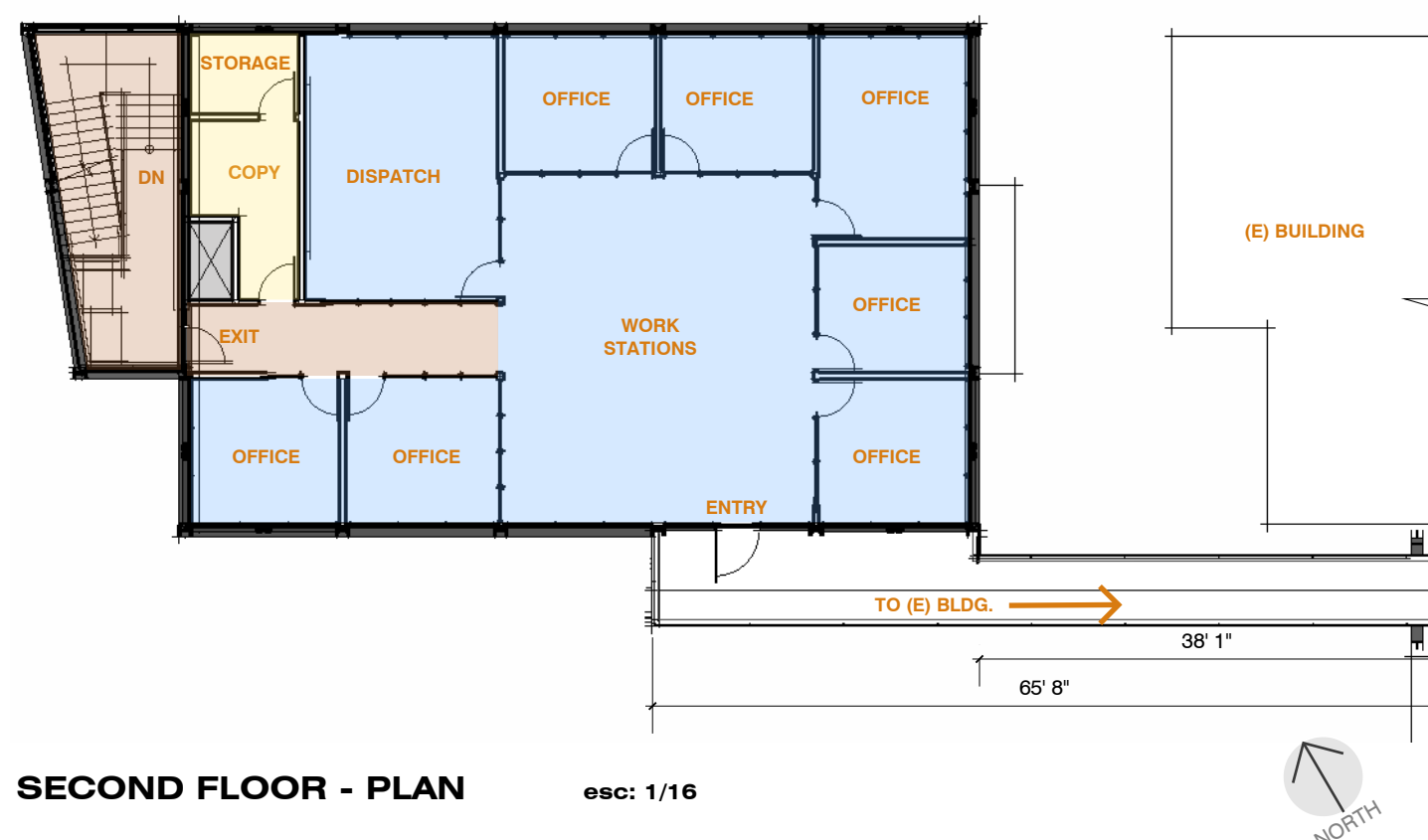


**FLOOR PLANS - PROPOSED ADDITION**



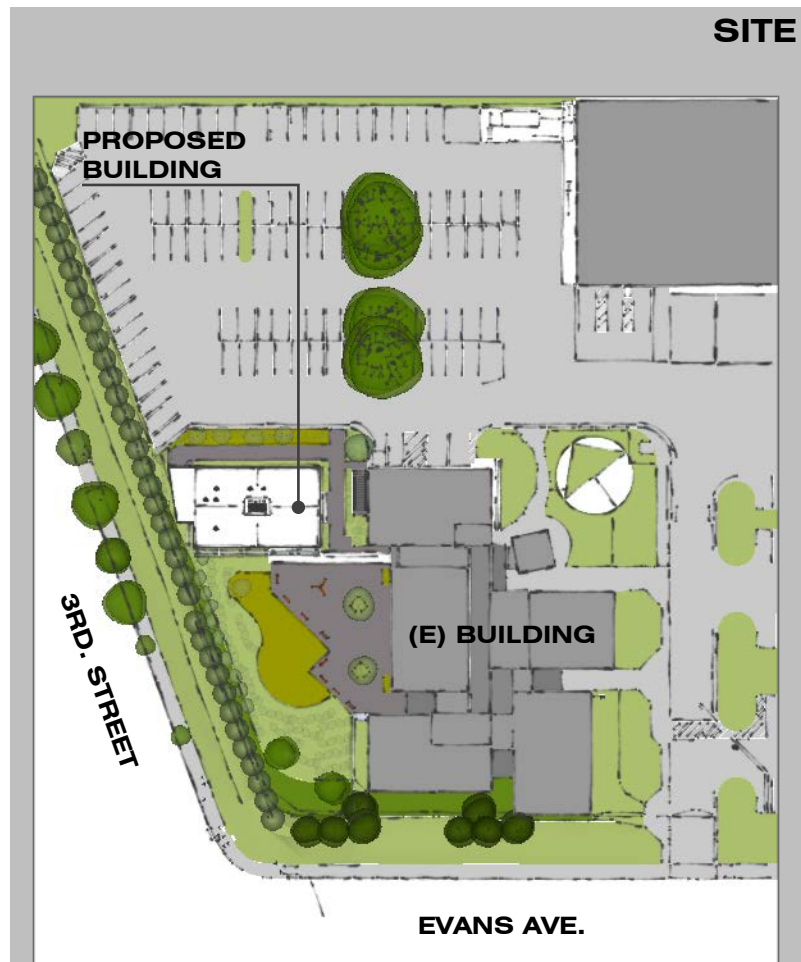
**FIRST FLOOR - PLAN**      esc: 1/16

- PROGRAM:**
- LOGIN AREA (16 STATIONS)
  - DUBBING
  - CALIBRATION
  - LOCKERS ROOM (60 UNITS)
  - MEN'S RESTROOMS/ SHOWERS
  - WOMEN'S RESTROOMS/ SHOWERS/ LOCKERS
  - LAUNDRY/ STORAGE
  - JANITOR CLOSET
  - MECHANICAL & ELECTRICAL CLOSETS



**SECOND FLOOR - PLAN**      esc: 1/16

- PROGRAM:**
- DISPATCH
  - OFFICES (7 UNITS)
  - WORK STATIONS (4 UNITS)
  - COPY & STORAGE



**FLOOR PLAN KEY**

	PRIMARY SPACE
	SECONDARY SPACE - SUPPORT
	CIRCULATION
	UTILITIES



**EXPOSED STEEL STRUCTURE**



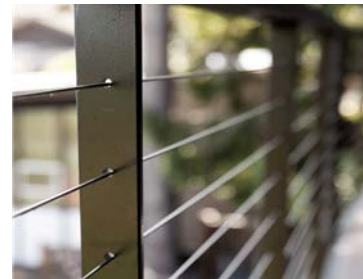
DUNN EDWARDS  
IRON FIXTURE DE6384  
PAINT FINISH



**CORRUGATED METAL CLADDING**



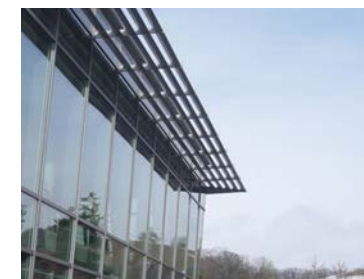
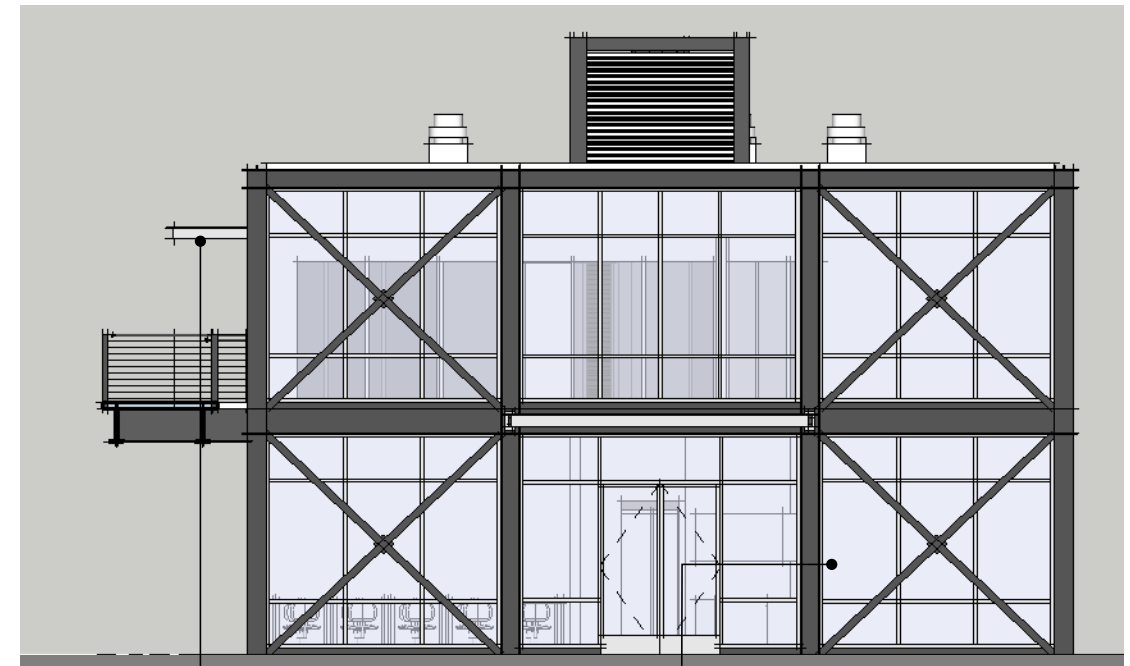
METL-SPAN  
7.2 PANEL  
REGAL GRAY



**STEEL RAILING**

STEEL PLATES  
GUARDRAILS  
(POSTS & CAP)

STAINLESS STEEL  
CABLE GUARDRAILS



**SUN SHADE**



AIROLITE SUN CONTROL  
TSC6 REC. TUBE  
OR DOVE GREY

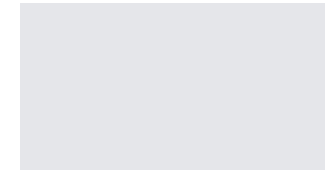
**WINDOW FRAME**



EFCO  
(STORE FRONT SYSTEM)  
ALUMINUM ANODIZE FINISH



**SPANDREL & TRANSLUCENT GLAZING**



GLASPRO (SPANDREL)  
TRUE PURE WHITE IN  
GLASS

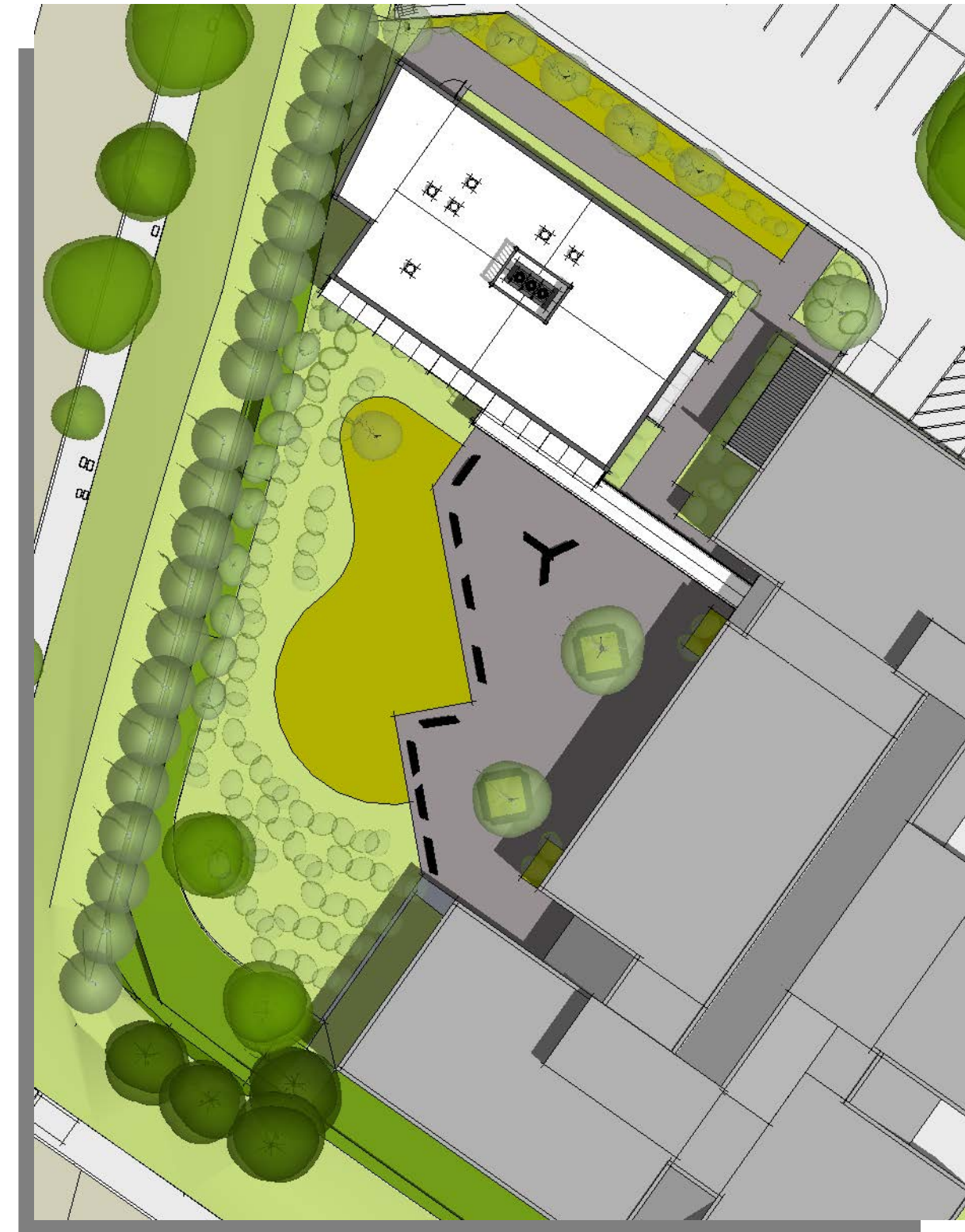
GLASPRO  
(TRANSLUCENT GLAZING)  
TRUE FOG WHITE IN  
GLASS

**LANDSCAPE DESIGN CONCEPT**

- Retain park sensibility
- Respect and preserve existing landscape
- Create flexible multi-use space and linkage from parking area to back courtyard
- Create sustainable and water conserving landscape through use of
  - o Permeable paving
  - o Native planting
  - o Reduction of lawn

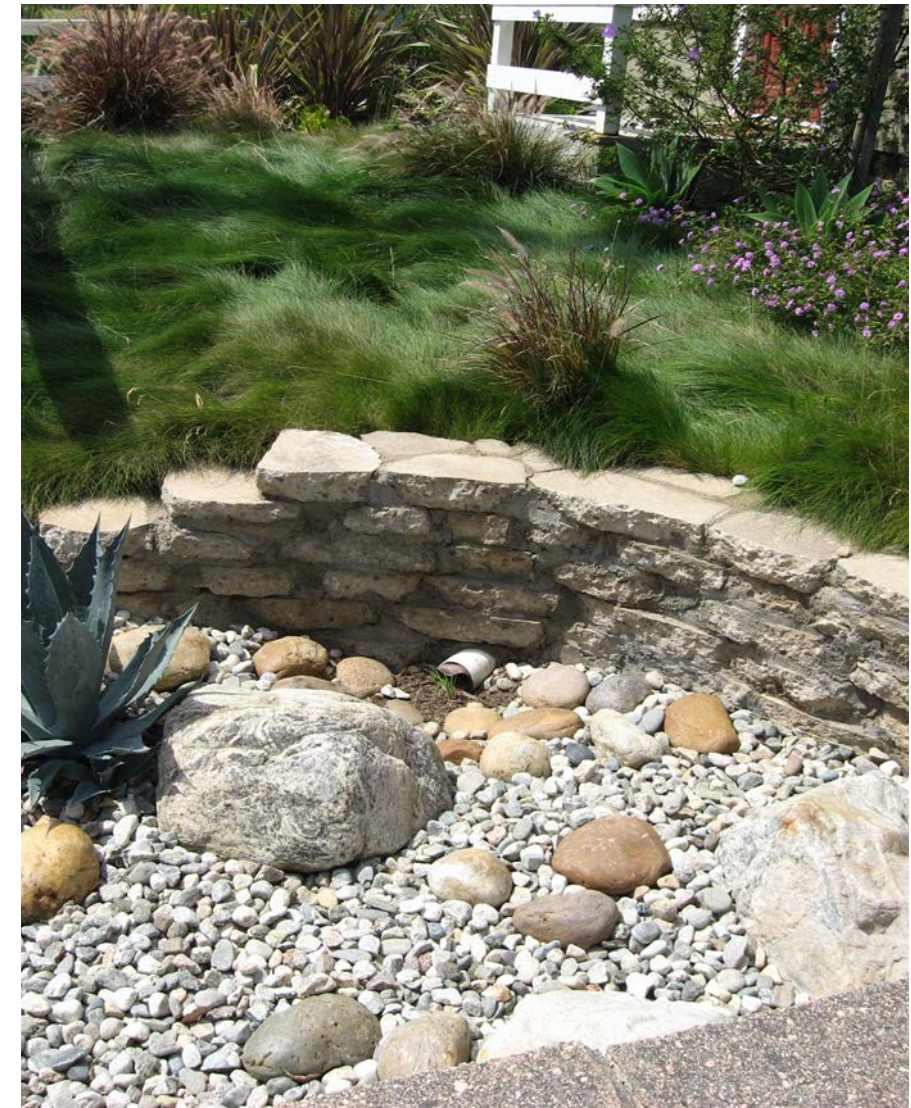


**(E) LANDSCAPE**



**LANDSCAPE**







**FESTUCA GLAUCA**



**ARBUTUS UNEDO  
'COMPACTA'**



**BAMBUSA MULTIPLEX  
'GOLDEN GODDESS'**



**FESTUCA RUBRA**



**PARALLEL 42  
BENCHES**



**ACHILLEA  
MILLEFOLIUM**



**CALAMAGROSTIS X  
ACUTIFLORA 'KARL  
FORESTER'**



**ERIOGONUM  
FASCICULATUM**



**IRIS LONGIPETALA**



**JUNCUS PATENS**



**LUPINUS  
ALBIFRONS**



**MIMULUS  
AURANTIACUS**



**RUDBECKIA  
CALIFORNICA**



**SALVIA SPATHACEA**



**SISYRINCHIUM  
BELLUM**



**PAVING**

