

2008 PARK BOND RESTROOM REPLACEMENT PROJECT

CONTEMPORARY DESIGN

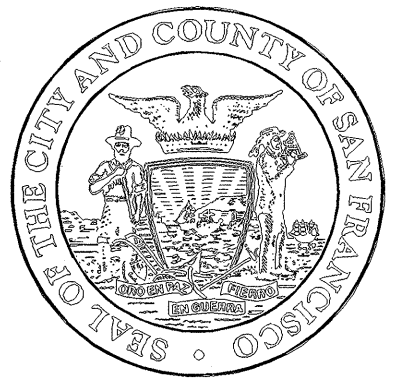
REPLACEMENT GROUP 2 - DUPONT TENNIS COURTS RESTROOMS

JOB NUMBER 3092V-2 (DPW ID No. FCP13041)

DEPARTMENT OF PUBLIC WORKS
CITY AND COUNTY OF SAN FRANCISCO

Fuad S. Sweiss - City Engineer

BUILDING DESIGN &
CONSTRUCTION



Architecture • Construction

Tara D. Lamont - Acting Deputy Division Manager

30 Van Ness Avenue
San Francisco, CA
94102-6028

Suite 4100
Fax (415)557-4701
(415)557-4700

Project

**2008 PARK BOND RESTROOM
REPLACEMENT PROJECT
CONTEMPORARY DESIGN**

DUPONT TENNIS COURTS RESTROOMS
340 31st Ave, San Francisco, CA 94121
Block No. 1403 - Lot No. 007

Consultant

BID SET

No.	Date	Revisions

Section Head

T. LEUNG

Proj. Mgr.

M. YEE

Proj. Arch.

T. LEUNG

Drawn

JG/AP

Date

SEP 2012

Phase



Drawing Title

GENERAL INFORMATION

Sheet No.

A0.0

Job No.

3092V-2

Scale: As indicated

LOCATION DATA

DUPONT TENNIS COURTS RESTROOMS
340 31st Ave, San Francisco, CA 94121
Block No. 1403 - Lot No. 007

PROJECT DATA

	EXISTING	PROPOSED
SITE AREA	___ SQ. FT.	UNCHANGED
OCCUPANCY	B	UNCHANGED
TYPE OF CONSTRUCTION	TYPE V-B	UNCHANGED
NUMBER OF STORIES	1	UNCHANGED
FLOOR AREA	290 SQ. FT.	270 S.F.
OCCUPANCY LOAD	2	
OFF STREET OPEN PARKING	0	
CURB SIDE PARKING	0	
BUILDING FOOTPRINT AREA:	TOTAL: 270 S.F.	

CODE COMPLIANCE

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLETING THE CONSTRUCTION OF THIS PROJECT IN ACCORDANCE WITH THE FOLLOWING FEDERAL, STATE AND LOCAL CODES INCLUDING THEIR MOST RECENT AMENDMENTS AND REVISIONS.

2010 CALIFORNIA BUILDING CODE (CBC)
WITH 2010 SAN FRANCISCO AMENDMENTS

2010 CALIFORNIA ELECTRICAL CODE (CEC)
WITH 2010 SAN FRANCISCO AMENDMENTS

2010 CALIFORNIA MECHANICAL CODE (CMC)
WITH 2010 SAN FRANCISCO AMENDMENTS

2010 CALIFORNIA PLUMBING CODE (CPC)
WITH 2010 SAN FRANCISCO AMENDMENTS

2010 CALIFORNIA ENERGY CODE

INCLUDING LATEST ADA REGULATIONS AND ALL AMENDMENTS TO THE ABOVE.

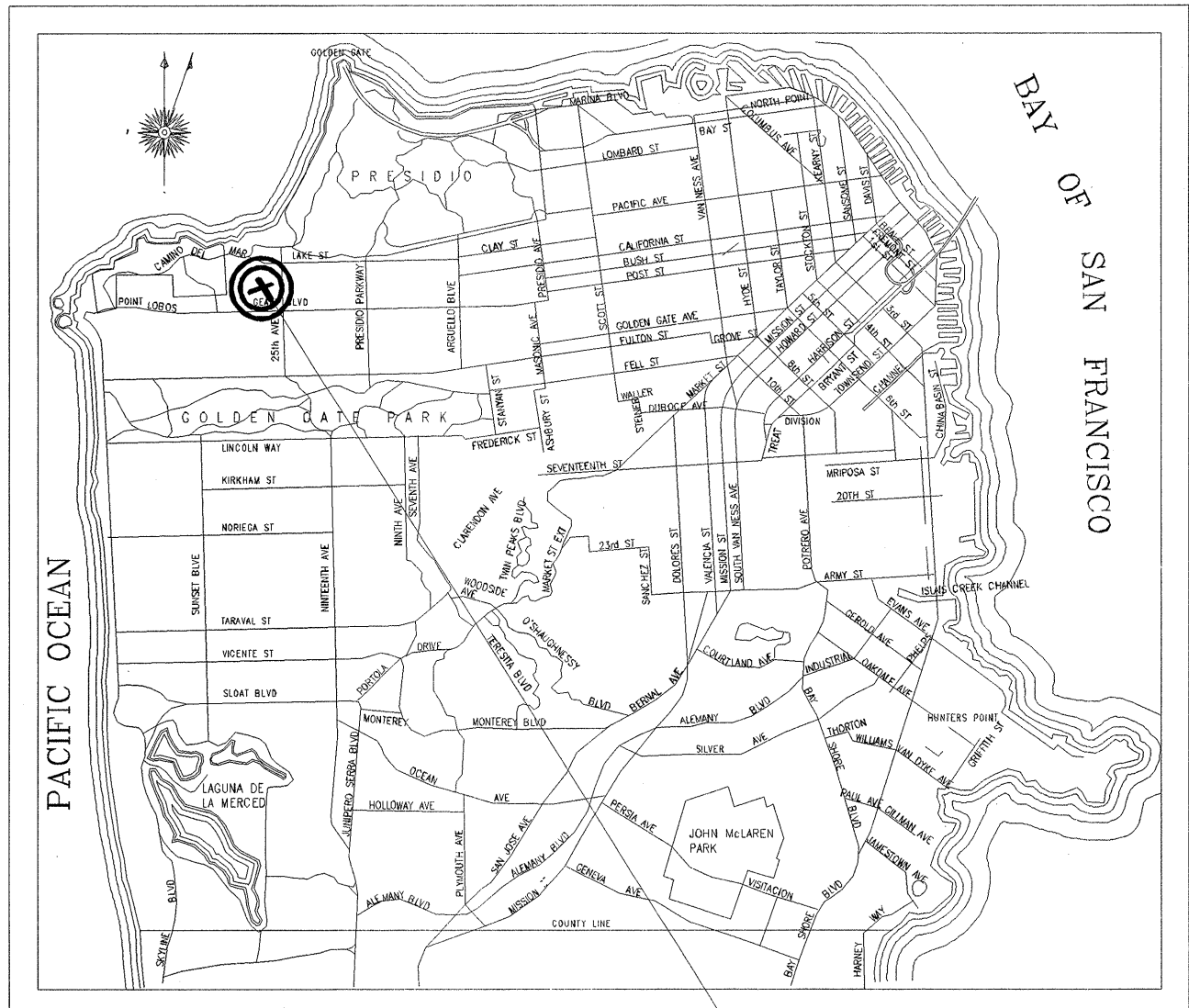
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

IN ACCORDANCE WITH THE PROVISIONS OF THE CALIFORNIA PUBLIC CONTRACT CODE SECTION 03300, A BID SUBMITTED TO A PUBLIC AGENCY BY A CONTRACTOR WHO IS NOT LICENSED IN ACCORDANCE WITH CHAPTER 9 OF THE BUSINESS AND PROFESSIONS CODE SHALL BE REJECTED BY THE PUBLIC AGENCY. AT THE TIME THE CONTRACT IS BID, THE CONTRACTOR SHALL POSSESS CLASS 'B' GENERAL ENGINEERING OR CLASS 'B' GENERAL BUILDING CONTRACTOR'S LICENSE.

ABBREVIATIONS

@	Angle	FL	Floor	PL	Plate
~	At	FLASH	Flashing	P. LAM.	Plastic Laminate
∠	Centerline	F.O.C.	Face of Conc.	PLAS.	Plaster
Ø	Diameter or Round	F.O.F.	Face of Finish	PLYWD.	Plywood
(E)	Existing	F.O.S.	Face of Studs	PR.	Pair
(N)	New	F.O.W.	Face of Wall	PT.	Point
(D)	Demolition	F.S.	Full Size	R.	Riser
A.D.	Area Drain	FT.	Foot or Feet	RAD.	Radius
A.D.A.	American Disabilities Act	FTG.	Footing	REF.	Reference
ADJ.	Adjustable	FURR.	Furring	REFR.	Refrigerator
A.F.F.	Above Finish Floor	FUT.	Future	RGTR.	Register
AGGR.	Aggregate	GA.	Gauge	REINF.	Reinforcement
AL.	Aluminum	GALV.	Galvanized	REQ.	Required
APPROX.	Approximate	GL.	Glass	RESIL.	Resilient
ARCH.	Architectural	GND.	Ground	RM.	Room
B.D.	Board	GR.	Grade	R.O.	Rough Opening
BLDG.	Building	GYP.	Gypsum	RWD.	Redwood
BLK.	Block	GFI.	Ground Fault Interrupter	R.W.L.	Rain Water Leader
BOT.	Bottom	H.B.	Hose Bibb	S.	South
CEM.	Cement	H.C.	Hollow Core	S.C.	Solid Core
CER.	Ceramic	HDWD.	Hardwood	SCHED.	Schedule
CLG.	Ceiling	HDWE.	Hardware	SECT.	Section
CLKG.	Caulking	H.M.	Hollow Metal	SHR.	Shower
CLO.	Closet	HORIZ.	Horizontal	SHT.	Sheet
CLR.	Clear	HR.	Hour	SIM.	Similar
COL.	Column	HT.	Height	SPEC.	Specification
CONC.	Concrete	I.D.	Inside Diameter	SQ.	Square
CONN.	Connection	INSUL.	Insulation	S.S.D.	See Structural Drawings
CONSTR.	Construction	INT.	Interior	S.M.D.	See Mechanical Drawings
CONT.	Continuous	JT.	Joint	S.ST.	Stainless Steel
CORR.	Corridor	KIT.	Kitchen	STD.	Standard
CTR.	Center	LAM.	Laminate	STL.	Steel
DBL.	Double	LAV.	Lavatory	STOR.	Storage
DET.	Detail	LT.	Light	STR.	Structural
DIA.	Diameter	MAX.	Maximum	SUSP.	Suspended
DIM.	Dimension	MECH.	Mechanical	SYM.	Symmetrical
DN.	Down	MEMB.	Membrane	T.C.	Top of Curb
D.O.	Door Opening	MET./	Metal	TEL.	Telephone
DR.	Door	MTL.	Manufacturer	THK.	Thick
DWG.	Drawing	MFR.	Manufacturer	T.P.	Top of Pavement
DF.	Drinking Fountain	MIN.	Minimum	T.V.	Television
E.	East	MIR.	Mirror	T.W.	Top of Wall
E.A.	Each	MISC.	Miscellaneous	TYP.	Typical
E.J.	Expansion Joint	M.O.	Masonry Opening	UNF.	Unfinished
EL.	Elevation	MTD.	Mounted	U.O.N.	Unless Otherwise Noted
ELEC.	Electrical	MUL.	Mullion	VERT.	Vertical
ELEV.	Elevator	N.	North	VEST.	Vestibule
EQ.	Equal	N.I.C.	Not In Contract	V.I.F.	Verify in field
EQPT.	Equipment	NO.	Number	W.	West
EXST.	Existing	NOM.	Nominal	W/	With
EXPO.	Exposed	N.T.S.	Not to Scale	W.C.	Water Closet
EXP.	Expansion	O.A.	Overall	WD	Wood
EXT.	Exterior	OBS.	Obscure	W/O	Without
F.D.	Floor Drain	O.C.	On Center	WP.	Waterproof
FDN.	Foundation	OPNG.	Opening	WSCT.	Wainscot
FIN.	Finish	OFCI	Owner Furnishing Contractor Install	WT.	Weight
				WIN.	Window

PROJECT LOCATION



PROJECT LOCATION

SCOPE OF WORK

BACKGROUND AND SCOPE OF WORK

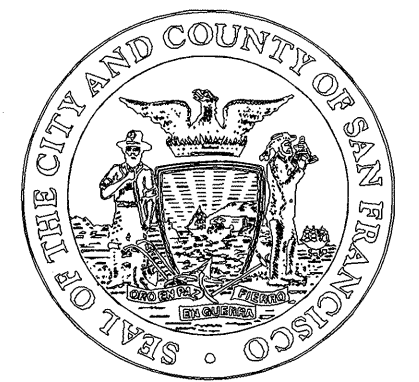
The intent of the 2008 RESTROOM BOND PROGRAM is to fully replace existing free-standing restroom buildings and provide universal access in public parks under the jurisdiction of the Recreation and Park Department. The replacement of the Public Restrooms Located in the DUPONT TENNIS COURTS as part of the RESTROOM BOND PROGRAM includes the demolition of existing restroom structures, replacement with new restroom structures for men's and women's and plumbing chase, all in compliance with ADA regulations, (ADA stall, signage, accessible drinking fountain, and path of travel).

DRAWING INDEX

ARCHITECTURE - SHEET 13	
A0.0	GENERAL INFORMATION
A0.1	SPECIFIC LOCALLY REQUIRED MEASURES ONLY
A1.0	SITE PLAN AND DEMOLITION WORK
A2.0	FLOOR, ROOF & CEILING PLANS
A2.1	CONCRETE FORM PATTERN FLOOR PLAN & ELEVATIONS
A3.0	ELEVATIONS & SECTIONS
A3.1	WALL SECTIONS & DETAILS
A4.0	INTERIOR ELEVATIONS
A7.0	DOOR & WINDOW DETAILS
A8.0	EXTERIOR DETAILS
A11.0	ACCESSIBILITY INFORMATION
A11.1	ACCESSIBILITY DETAILS
A11.2	ACCESSIBILITY DETAILS
A11.3	(E) RESTROOM PLUMBING CHASE PHOTOS
STRUCTURAL - 15 SHEETS	
S1.1	STRUCTURAL GENERAL NOTES
S1.2	STRUCTURAL GENERAL NOTES
S1.3	STRUCTURAL GENERAL NOTES
S1.4	TYPICAL CONCRETE DETAILS
S1.5	TYPICAL CONCRETE DETAILS
S2.0	SITE PLAN
S2.1	FOUNDATION AND ROOF PLANS
S3.1	FOUNDATION DETAILS
S4.1	WALL ELEVATIONS
S4.2	WALL SECTIONS AND DETAILS
S5.1	ROOF DETAILS
S6.1	RETAINING WALLS PLAN AND ELEVATION
S6.2	RETAINING WALL DETAILS
S6.3	RETAINING WALL DETAILS
S6.4	DETAILS
LANDSCAPE - 10 SHEETS	
L-0.1	DRAWING INDEX, NOTES & ABBREVIATIONS
L-1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
L-1.1	ACCESSIBILITY PLAN
L-2.0	LAYOUT PLAN
L-3.0	GRADING PLAN
L-4.0	PLANTING PLAN
L-5.0	CONSTRUCTION DETAILS
L-5.1	CONSTRUCTION DETAILS
L-5.2	CONSTRUCTION DETAILS
L-5.3	CONSTRUCTION DETAILS
ELECTRICAL - 7 SHEETS	
E-1	ELECTRICAL LEGEND & ABBREVIATIONS
E-2	GENERAL NOTES
E-3	SINGLE LINE DIAGRAM AND PANEL SCHEDULE
E-4	INDOOR TITLE 24 DOCUMENTATION
E-5	OUTDOOR TITLE 24 DOCUMENTATION
E-6	ELECTRICAL SITE PLAN
E-7	ELECTRICAL LIGHTING PLAN & POWER PLAN
MECHANICAL / PLUMBING - 7 SHEETS	
P-1	PLUMBING ABBREVIATIONS, SYMBOLS AND LEGEND, GENERAL NOTES & DRAWING LIST
P-2	PLUMBING SCHEDULES
P-3	SITE PLAN
P-4	PLUMBING FLOOR AND ROOF PLANS
P-5	PLUMBING DETAILS
M-1	MECHANICAL ABBREVIATIONS, SYMBOLS AND LEGEND, AND DRAWING LIST
M-2	MECHANICAL FLOOR PLAN, SCHEDULES AND GENERAL NOTES
HAZARDOUS MATERIALS REMOVAL	
TOTAL SHEETS: 97 53	

DRAWING SYMBOL

	INTERIOR ELEVATION		ROOM IDENTIFICATION
	ELEVATION IDENTIFICATION		ROOM NAME
	SHEET NUMBER		ROOM NUMBER
	DETAIL CALLOUT		GRID LINE IDENTIFICATION
	DETAIL IDENTIFICATION		PARTITION TYPE
	SECTION CALLOUT		DOOR SYMBOL AND NUMBER
	LEVEL NAME		WINDOW SYMBOL AND NUMBER
	ELEVATION MARKER		
	REVISION		
	REVISION OPTIONAL		
	REVISION NUMBER		
	PROJECT NORTH		



BID SET

No.	Date	Revisions

Section Head T. LEUNG
Proj. Mgr. M. YEE
Proj. Arch. T. LEUNG
Drawn JG/AP
Date SEP 2012
Phase



Drawing Title

SPECIFIC LOCALLY REQUIRED
MEASURES ONLY

Sheet No.

A0.1

Scale: As indicated

Job No. 3092V-2

City and County of San Francisco Green Building Submittal:
Specific Locally Required Measures Only

REQUIREMENTS

Instructions to applicant:
Check the box by each measure to indicate that you intend to comply with the listed requirement. For each requirement, use the "Plan Set Location" column to indicate where in the submittal documents compliance with the requirement can be verified. (If items in the "Reference" column are not applicable, indicate "N/A.")

An abbreviated summary of each requirement is included for reference. Projects seeking LEED certification may voluntarily use the "LEED" submittal as an alternative to this form.

REQUIRED MEASURES	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >500,000*	Reference (Indicate Plan Set Sheet & Detail, or Specification, where applicable)
Type of Project:			
Construction Waste Management - 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance	●	●	
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. (13C.5.410.1, et al) - See Administrative Bulletin 088.	●	●	
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6 (13C.5.201.1.1)	●	n/r	
Construction Site Runoff Pollution Prevention: Provide a construction site Stormwater Pollution Prevention Plan (13C.5.103.1.6)	●	If applicable	
Stormwater Control Plan: Projects disturbing > 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines (13C.5.103.1.6)	●	If applicable	
Water Efficiency Irrigation: Projects that include > 1,000 square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance	●	If applicable	
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS4.2), (13C.5.106.4)	●	●	
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces (13C.5.106.5)	●	●	
Light pollution reduction: Contain lighting within each source. No more than .01 horizontal footcandles 15 feet beyond site (or LEED credit SS 8), (13C.5.106.8)	●	n/r	
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft. (13C.5.303.1)	●	●	
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals (13C.5.303.2)	●	●	PLUMBING FIXTURES FLOW RATES COMPLY WITH INDOOR WATER USE COMPLIANCE PRESCRIPTIVE APPROACH PER PLUMBING FIXTURE SCHEDULE, DWG P-2
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required (13C.5.410.4)	●	●	(Testing & Adjusting)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●	
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives (13C.5.504.4.1)	●	●	JOINT SEALANTS SPECIFICATION SECTION 07 92 00, 1.05, A,7
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints (13C.5.504.4.3)	●	●	PAINTING SPECIFICATION SECTION 09 91 00, 1.5, D
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content (13C.5.504.4.4)	●	●	N/A
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●	N/A
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2008 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore Program (13C.5.504.4.6)	●	●	N/A
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows (13C.5.504.7)	●	●	
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (13C.5.504.5.3)	●	Limited exceptions. See CalGreen 5.714.6	
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor ceilings STC 40 (13C.5.507.4)	●	See CalGreen 5.714.7	
CFC and Halons: Do not install equipment that contains CFCs or Halons (13C.5.508.1)	●	●	N/A
Additional Requirement for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet			
Construction Waste Management - Divert 75% of construction and demolition debris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris Ordinance)	●	Meet Construction & Demolition Ordinance	
Renewable Energy or Enhanced Energy Efficiency - Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA2c).	●	n/r	

Notes:
1) This submittal form is approved for all applicable projects submitting initial application for building permit beginning January 1, 2011. (Form last updated July 18, 2012)
2) Table above is a summary only. See full text of San Francisco Building Code for details.
3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

INDOOR WATER USE COMPLIANCE FORMS

PRESCRIPTIVE APPROACH

Each fixture must not exceed the maximum flow rates at 20% reduction in Table 13C.5.303.2.3. All fixtures must meet the standards referenced in Table 13C.5.303.6. Tables are summarized below:

Fixture Type	Maximum Prescriptive Flow Rate	Referenced Standard from Table 13C.5.303.5
Showerheads ²	2 gpm @ 80 psi	n/a
Lavatory faucets - nonresidential	0.4 gpm @ 60 psi	ASME A112.18.1/CSAB125.1
Kitchen faucets	1.8 gpm @ 60 psi	n/a
Wash fountains	1.8 [rim space (in.)/20 gpm @ 60 psi]	n/a
Metering faucets	.20 gallons/cycle	ASME A112.18.1/CSAB125.1
Metering faucets for wash fountains	.20 [rim space (in.)/20 gpm @ 60 psi]	n/a
Tank-type water closets	1.28 gallons/flush ¹	U.S. EPA WaterSense Tank-Type High Efficiency Toilet Specification
Flushometer valve water closets	1.28 gallons/flush ¹	ASME A112.19.2/CSA B45.1 - 1.28 gal (4.8 L)
Urinals	0.5 gallons/flush	ASME A112.19.2/CSA B45.1 - 0.5 gal (1.9 L)

Notes:
1) For dual flush toilets, effective flush volume is defined as the average volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification - 1.28 gal (4.8 L).
2) The combined flow rate of all showerheads in one shower stall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (13C.5.303.2.1.3). Table above is a summary only. See full text of San Francisco Building Code for details.

OR

PERFORMANCE APPROACH

Instructions to applicant:
Fill in all blank cells in both tables below. The number of occupants using each fixture type must be the same in both the Baseline and Design cases. If there are no fixtures of a type in your project, enter "0" for number of occupants. Multiply each row to determine the amount of water used in each fixture type, then sum the last column to determine the total daily water use. To be 80% of the baseline case to be the maximum allowable water use (corresponding to the required 20% reduction).
The Total Design Case Daily Water Usage use from Worksheet WS-2 must not exceed the Total Allowable Daily Water Usage from Worksheet WS-1.

Worksheet WS-1 (summary) Baseline & Allowable Water Use

Fixture Type	Daily Use	Occupants ²	Baseline Flow Rate	Baseline Usage (gallons per day)
Showerhead	5 gpm	x	2.5 gpm	=
Showerhead - residential	8 min	x	2.5 gpm	=
Lavatory faucets	0.25 min	x	0.5 gpm	=
Lavatory faucets - nonresidential	0.75 min.	x	2.2 gpm	=
Kitchen faucets	4 min.	x	2.2 gpm	=
Metering faucets	3	x	0.25 gal	=
Water closets (all types)	1 male ¹ 3 female	x	1.6 gal	=
Urinals	2 male	x	1.0 gal	=
Total Baseline Case Daily Usage:				
Total Allowable Daily Water Usage (Baseline Usage x 80%)				

Notes:
1) The daily use number shall be increased to three if urinals are not installed in the room.
2) For non-residential occupancies, refer to table A, Chapter 4, 2010 California Plumbing Code for occupant load factors.
3) Fixtures and fittings must meet the standards referenced in Table 13C.5.303.6, see above.
4) Table above is a summary only. See full text of San Francisco Building Code for details.

Worksheet WS-2 (summary) Design Water Use

Fixture Type	Daily Use	Occupants ²	Design Flow Rate	Design Usage (gallons per day)
Showerhead	5 min.	x	=	=
Showerhead - residential	8 min.	x	=	=
Lavatory faucets	0.25 min	x	=	=
Lavatory faucets - residential	0.75 min.	x	=	=
Kitchen faucets	4 min.	x	=	=
Metering faucets	3	x	=	=
Water closets (all types)	1 male ¹ 3 female	x	=	=
Urinals	2 male	x	=	=
Total Baseline Case Daily Usage:				

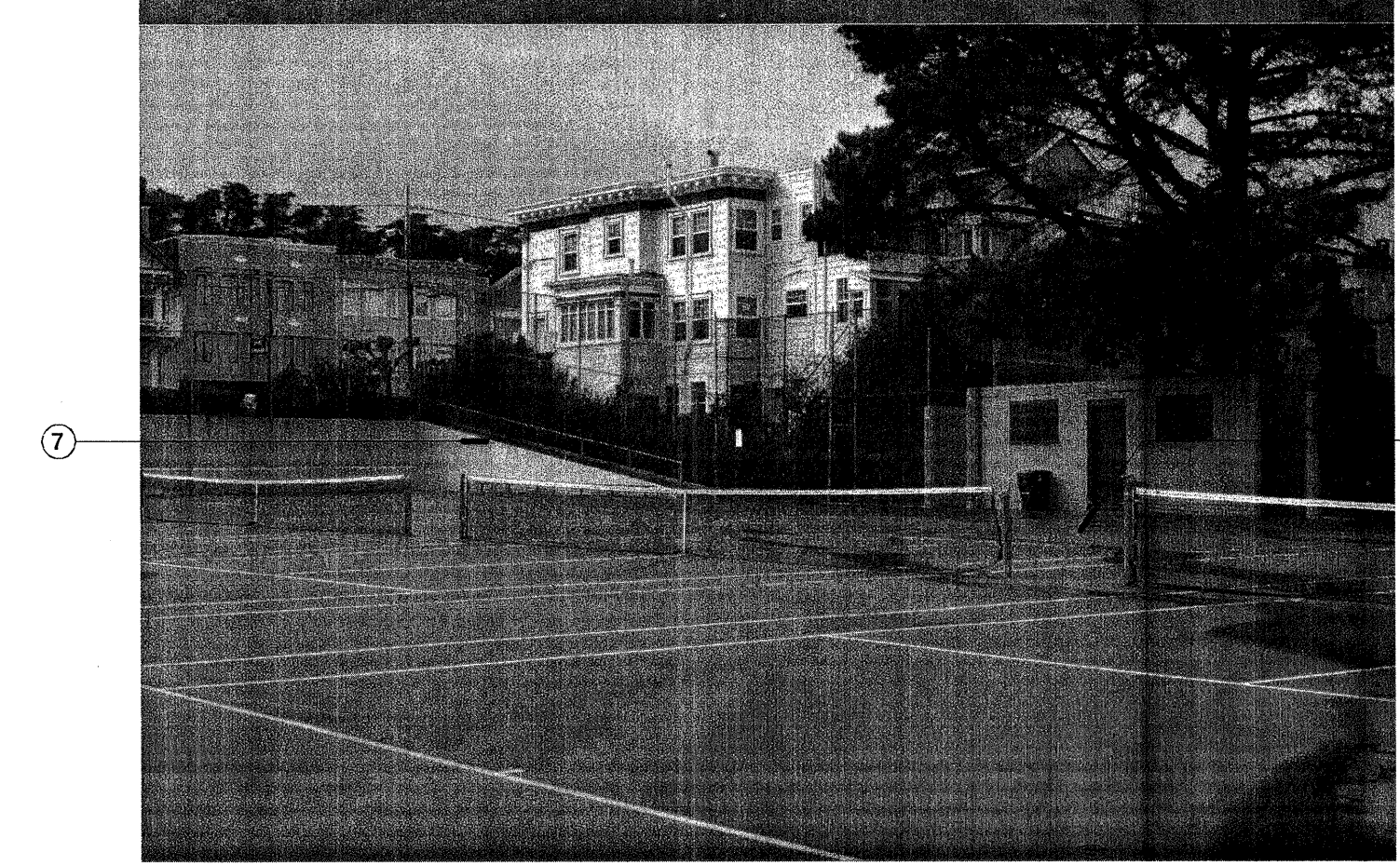
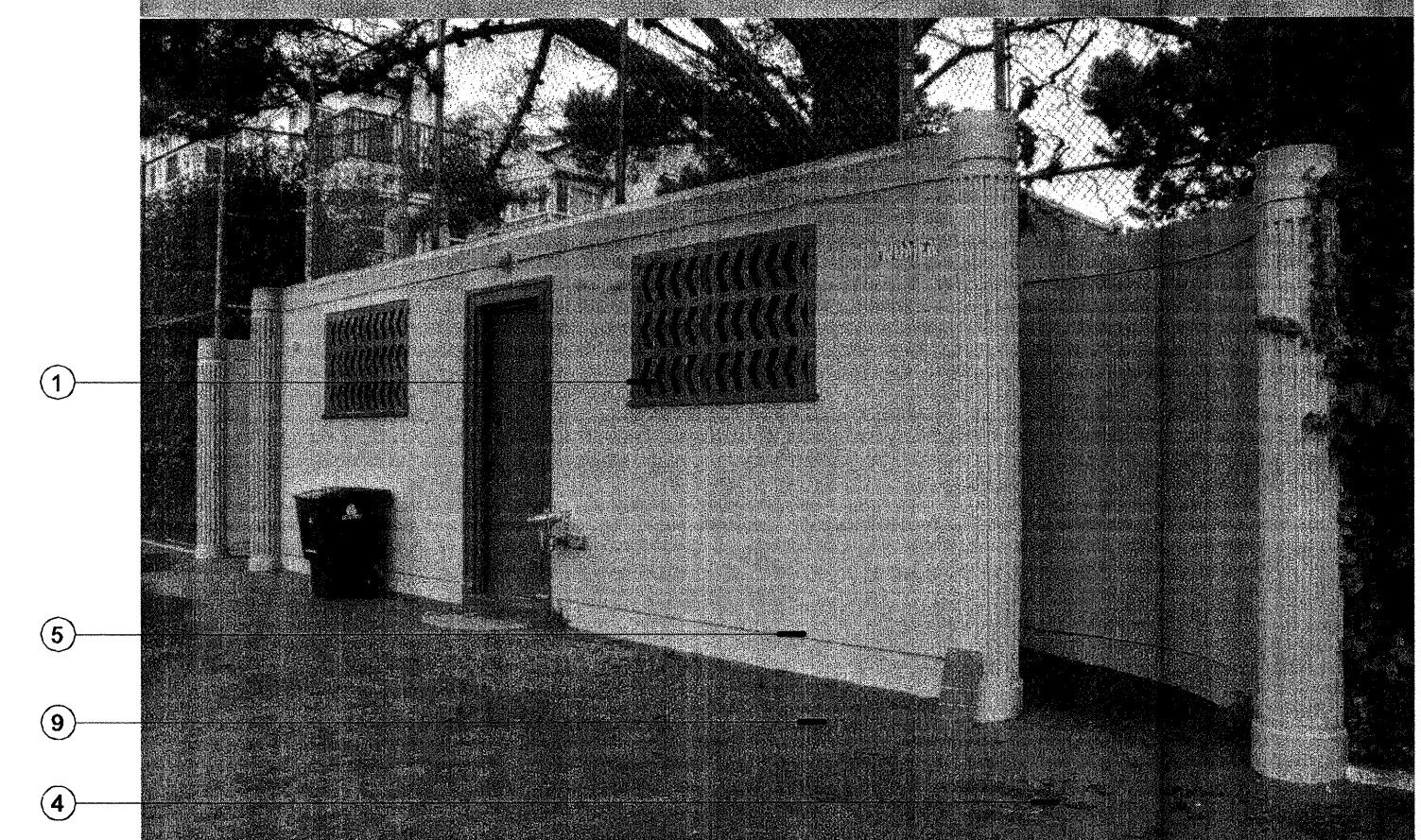
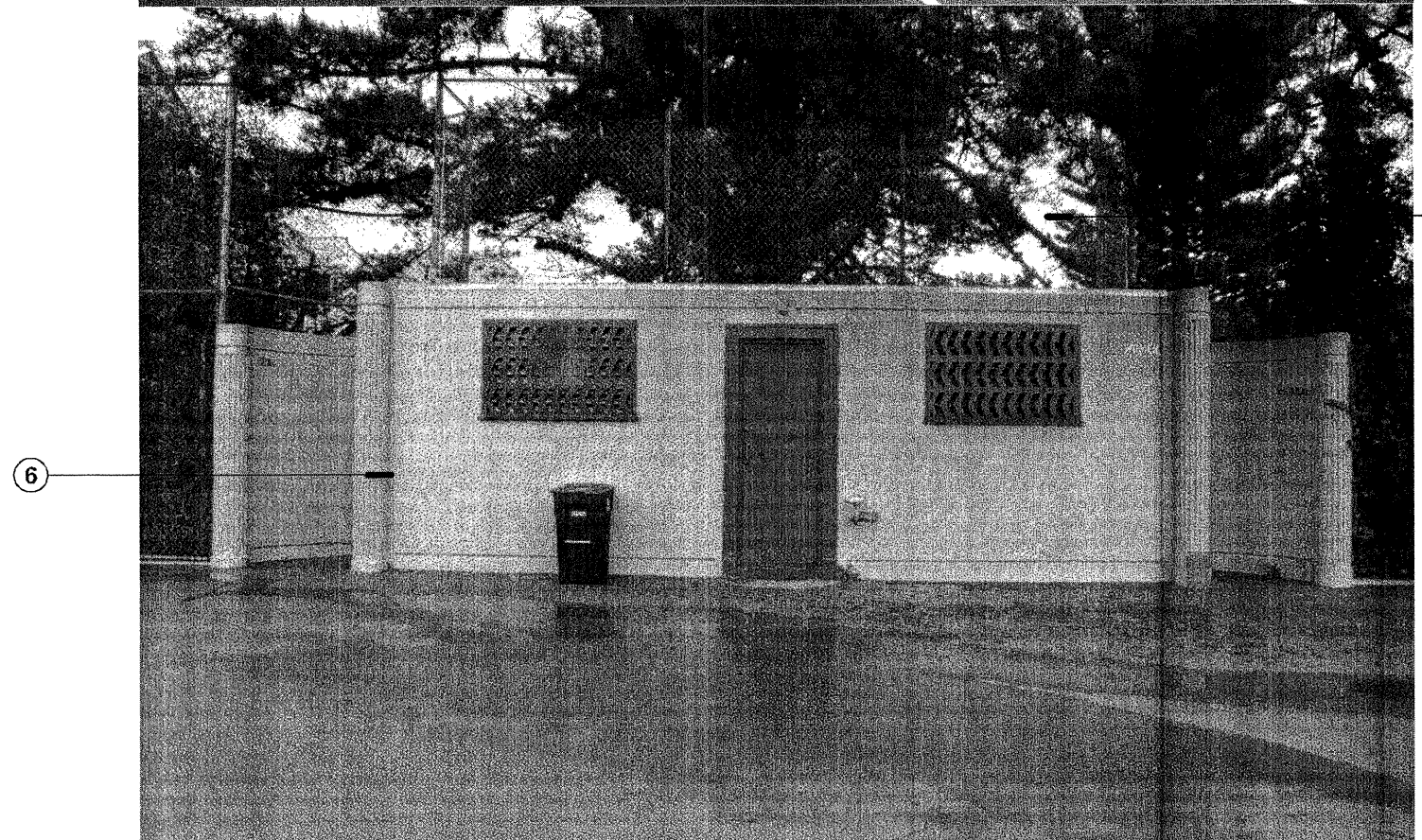
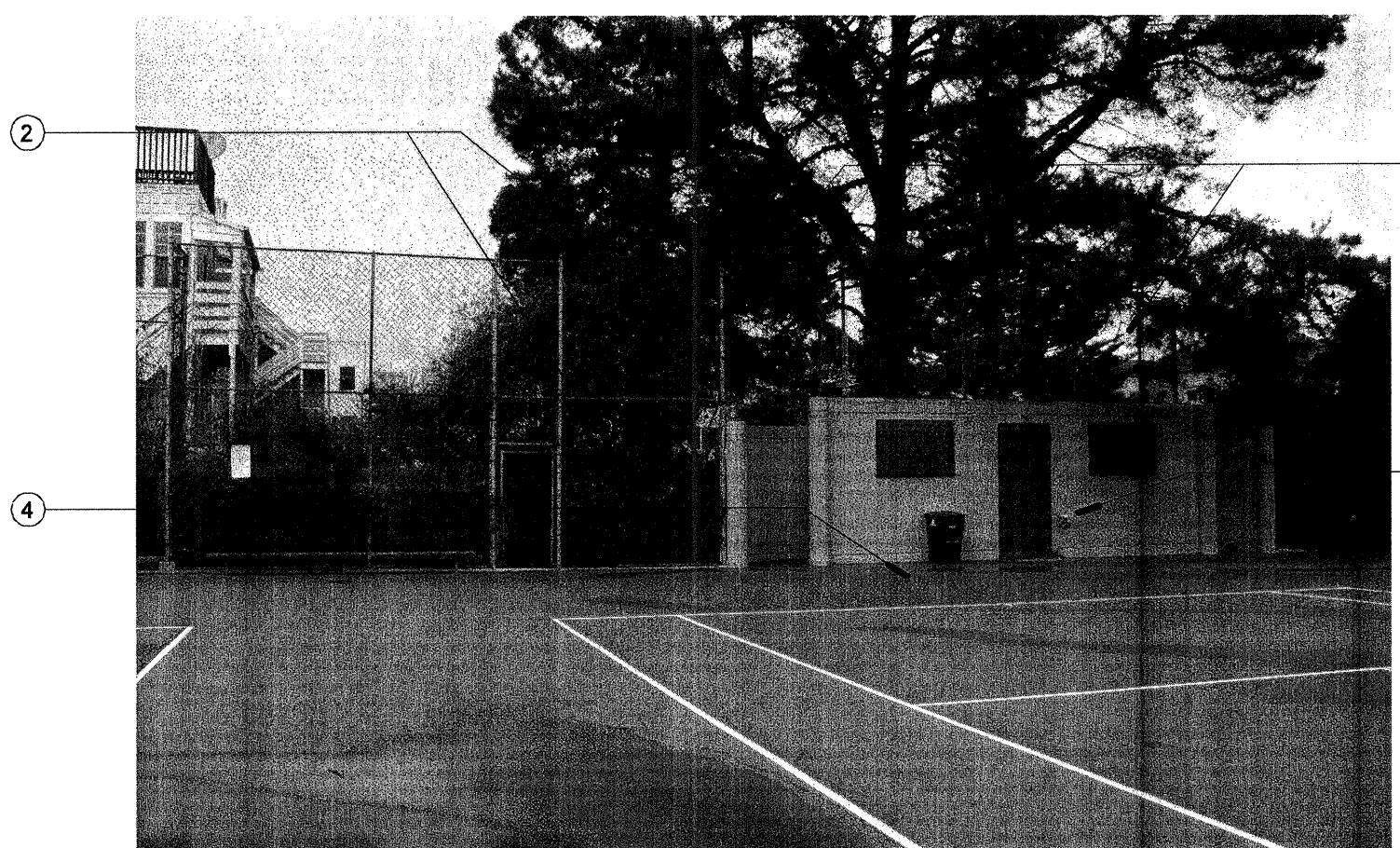
Notes: see table WS-1 (summary) above for notes



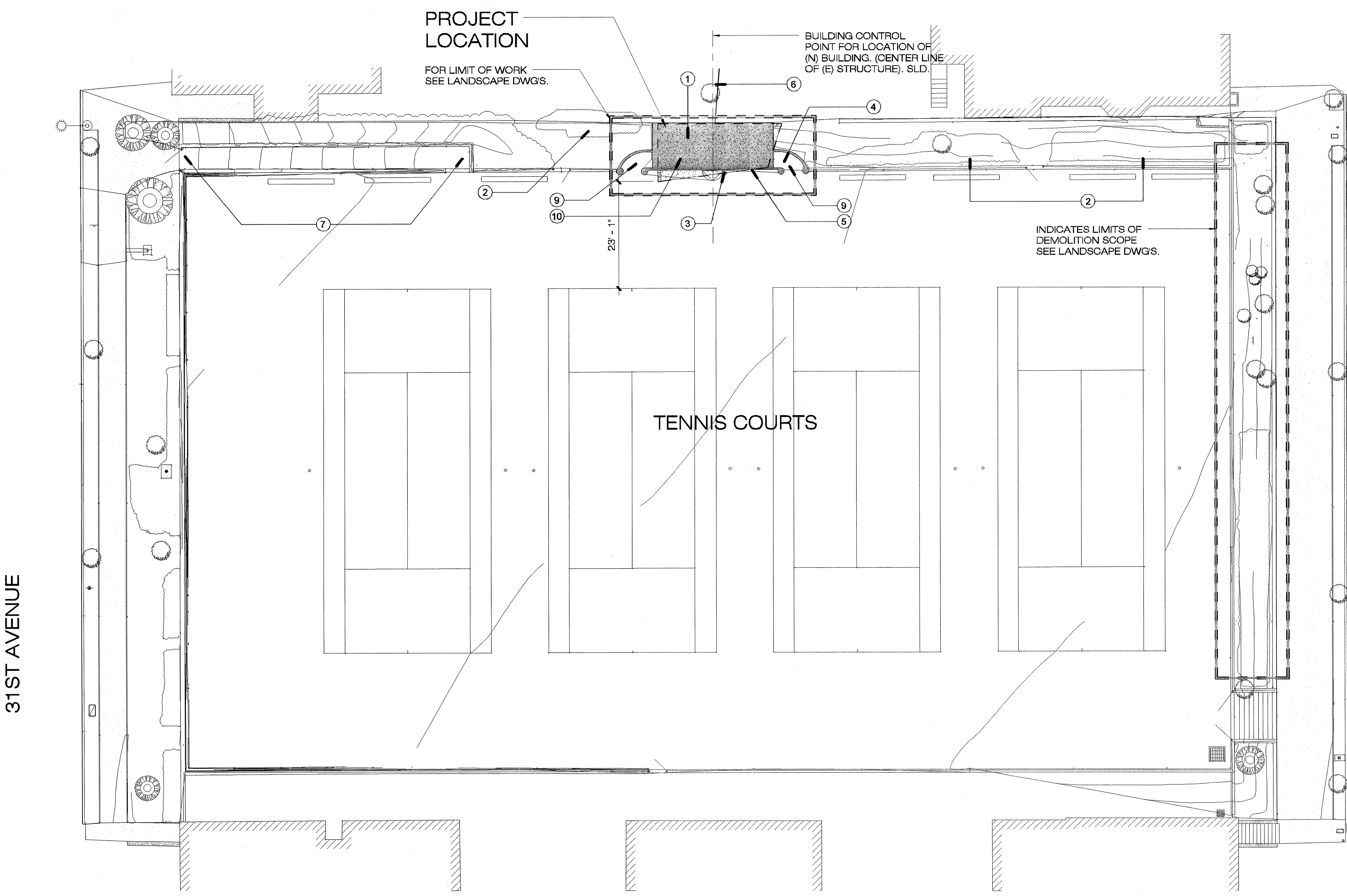
1 LOCATION MAP
N.T.S.

SITE DEMOLITION NOTES - DUPONT COURTS	
1	ONLY SOME OF THE (E) BLDG. COMPONENTS ARE SHOWN FOR CLARITY, SCOPE OF WORK INCLUDES DEMOLITION & REMOVAL OF ALL BLDG. ELEMENTS AND UTILITY CONNECTIONS WHETHER SHOWN OR NOT. U.O.N. BY THESE DRAWINGS & SPECIFICATIONS.
2	(E) TREES & VEGETATION TO REMAIN U.O.N. PROTECT DURING CONSTRUCTION. SEE LANDSCAPE FOR ADDITIONAL INFORMATION ON PRESERVATION AND/ OR REPLACEMENT.
3	REMOVE (E) DRINKING FOUNTAIN AND PEDESTAL. CAP AND SEAL WATER AND SEWER LINES PER CODE.
4	(E) AC PAVING, CONCRETE, CURBS, SITE FURNISHINGS AND PLANTING AROUND (E) BLDG. TO BE REMOVED U.O.N. SEE LANDSCAPE DWG'S. PROVIDE STRAIGHT, CLEAN SAWCUT ALONG (E) PAVING FOR FUTURE TIE-IN OF (N) WORK.
5	REMOVE (E) BUILDING PERIMETER FOUNDATION.
6	(E) WOOD FENCE IN ADJACENT NEIGHBOR PROPERTY TO REMAIN. SEE GENERAL NOTE 7 ON THIS SHEET REMOVAL IS REQUIRED.
7	(E) CONC. RAMP TO REMAIN, SEE LANDSCAPE DWG'S FOR THE LOCATION OF (N) ACCESSIBLE ENTRY & RAMP.
8	REMOVE (E) FENCE ABOVE BUILDING. SEE LANDSCAPE DWG'S FOR ESPECIFIC EXTENT OF THE REMOVAL.
9	REMOVE (E) CONC. PAVING AT BLDG. ENTRIES TYP.
10	REMOVE AND (E) ELECTRICAL METER, REMOVE CONDUITS TO GROUND LEVEL, ELECTRICAL LINES TO REMAIN FOR FUTURE CONNECTION TO (N) BUILDING.

- GENERAL NOTES:
- CONTRACTOR MUST VERIFY EXISTING SITE CONDITIONS, REQUIREMENTS AND EXACT LOCATION OF UTILITIES.
 - (E) WATER AND SEWER LINES TO BE REUSED ON NEW BUILDING, CAP AND SEAL ALL WATER AND SEWER LINES PER CODE.
 - CONTRACTOR TO VERIFY IF (E) ELECTRICAL LINES CAN BE REUSED ON NEW BUILDING. OTHERWISE CONTRACTOR SHOULD PROVIDE NEW PG&E RECONNECTION SERVICES. SEE ELECTRICAL DRAWINGS.
 - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REMOVAL OF SELECTED ITEMS.
 - SEE SPECIFICATIONS FOR HAZARDOUS MATERIAL REMOVAL.
 - SEE LANDSCAPE DWG'S FOR: PATH OF TRAVEL TO ACCESSIBLE PARKING STALL/ CURB RAMPS, PAVING, AND RESTORATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SHALL REPAIR ADJACENT EXISTING AND/ OR NEW SURFACES, AREAS AND PROPERTY THAT MAY BE DAMAGED AS RESULT OF ANY DEMOLITION AND/ OR NEW WORK.

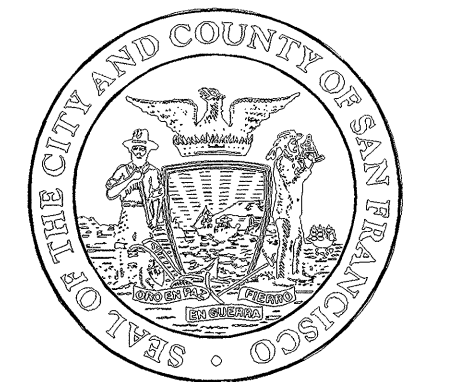


3 DUPONT COURTS EXISTING VIEWS
1" = 1'-0"



2 SITE PLAN - DUPONT COURTS
1/16" = 1'-0"

BUILDING DESIGN & CONSTRUCTION



Architecture • Construction
Tara D. Lamont - Acting Deputy Division Manager
30 Van Ness Avenue, San Francisco, CA 94102-6028
Suite 4100, Fax (415)557-4701, (415)557-4700

Project
2008 PARK BOND RESTROOM REPLACEMENT PROJECT
CONTEMPORARY DESIGN
DUPONT TENNIS COURTS RESTROOMS
336 31st Ave, San Francisco, CA 94121
Block No. 1403 - Lot No. 007

Consultant

BID SET

No.	Date	Revisions

Section Head T. LEUNG
Proj. Mgr. M. YEE
Proj. Arch. T. LEUNG
Drawn Author
Date SEP 2012
Phase

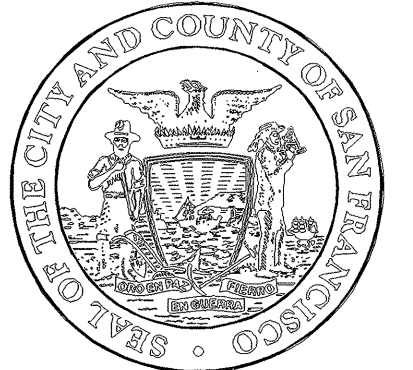


Drawing Title

SITE PLAN AND DEMOLITION WORK

Sheet No. A1.0

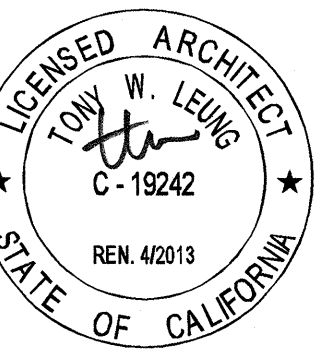
Scale: As indicated
Job No. 3092V-2



BID SET

No.	Date	Revisions

Section Head T. LEUNG
Proj. Mgr. M. YEE
Proj. Arch. T. LEUNG
Drawn A.P.
Date SEP 2012
Phase _____



Drawing Title _____

**FLOOR, ROOF & CEILING
PLANS**

Sheet No. _____

A2.0

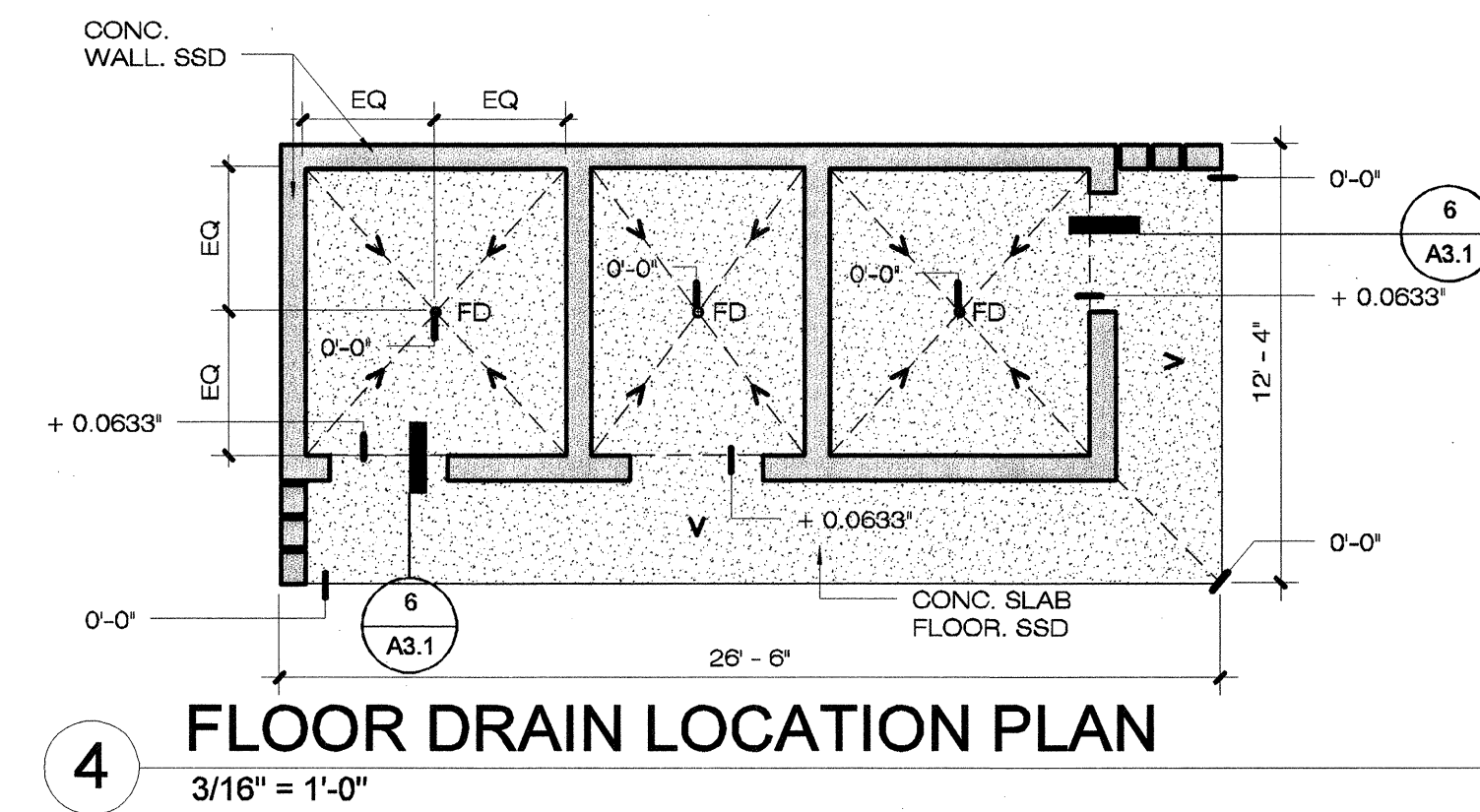
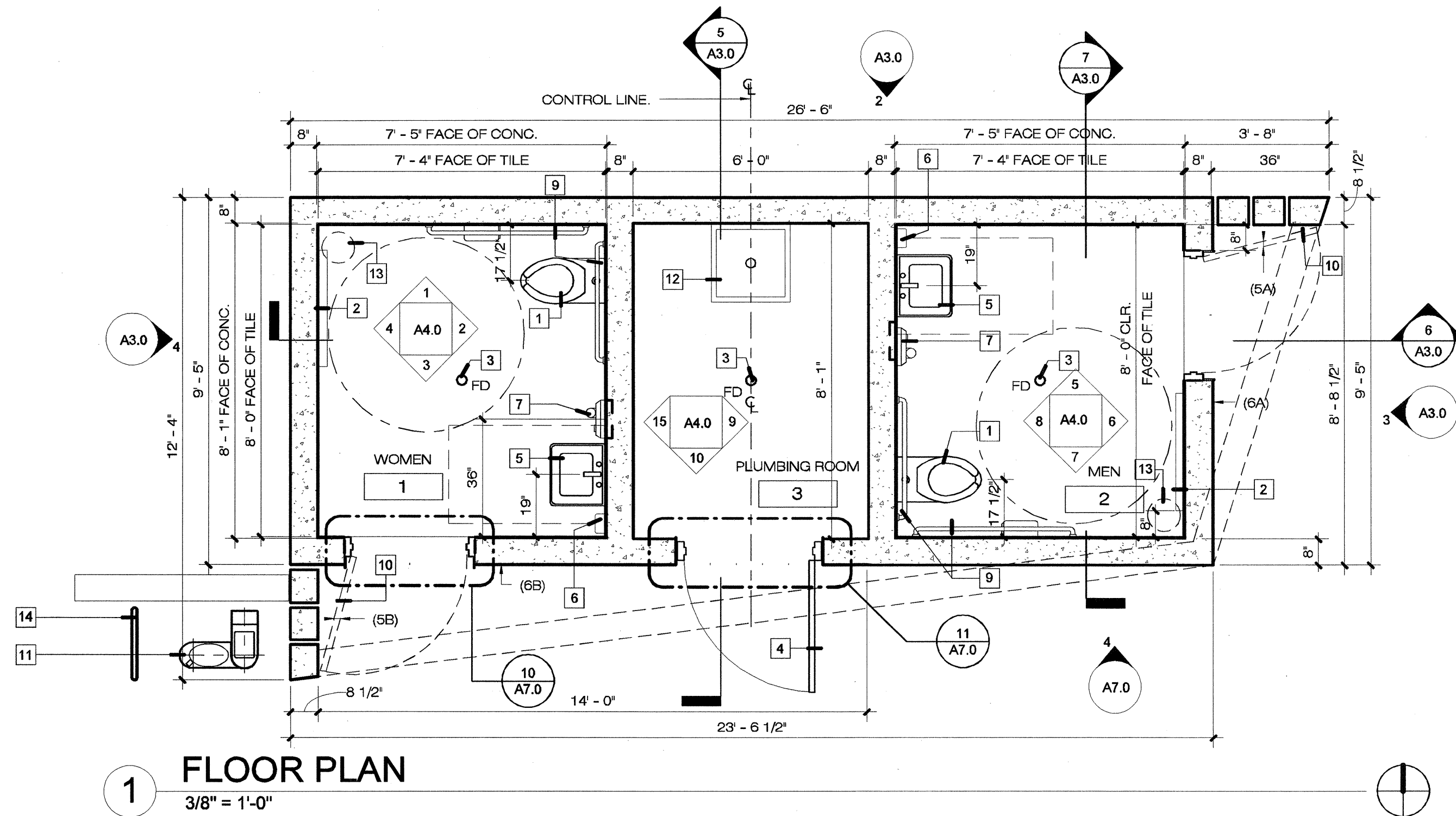
Scale: As Indicated
Job No. **3092V-2**

- SHEET LEGEND**
- (5A) → SIGN TYPE (SEE A11.1)
 - (X) → REMODEL NOTE
 - (X) → DEMOLITION NOTE

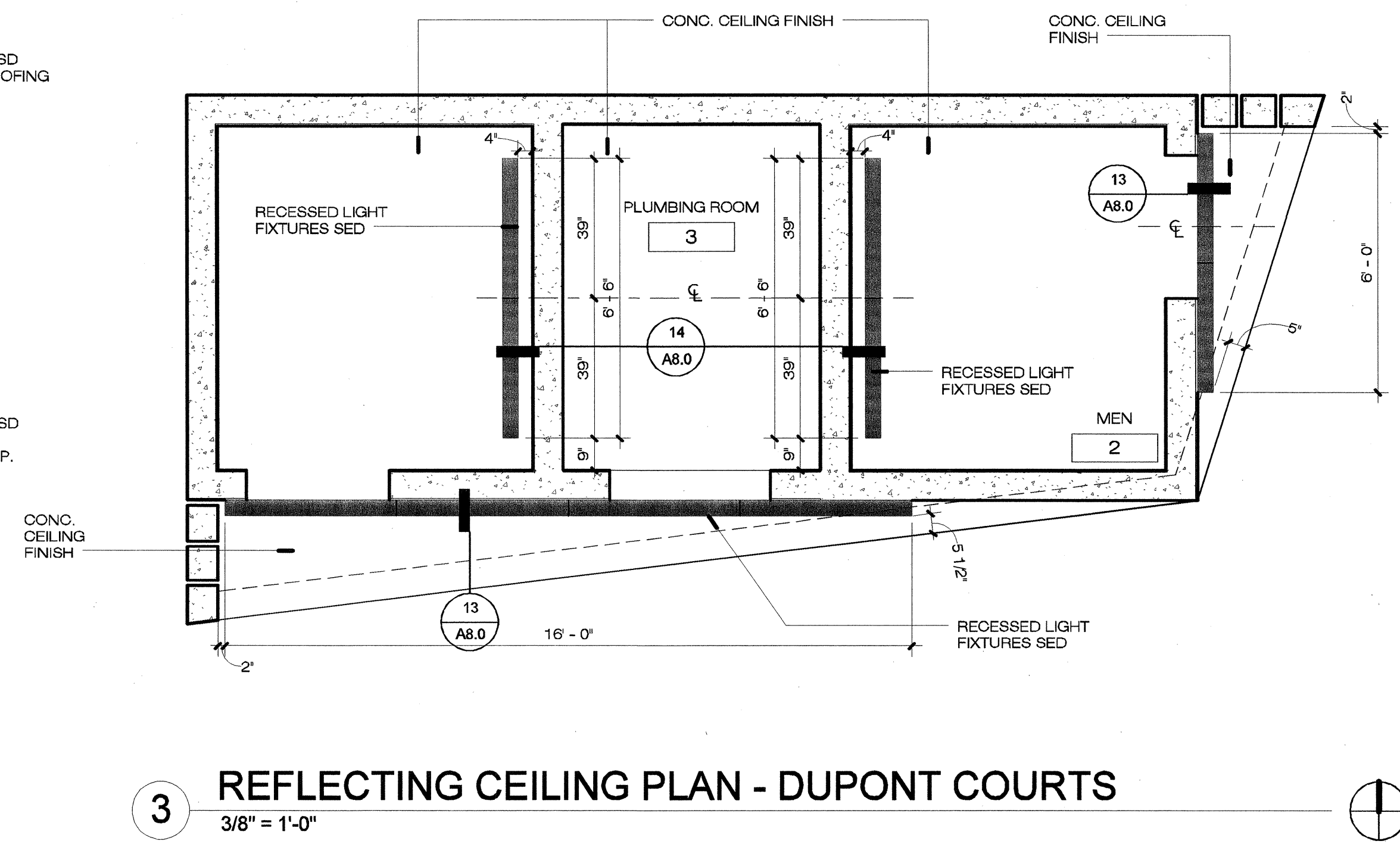
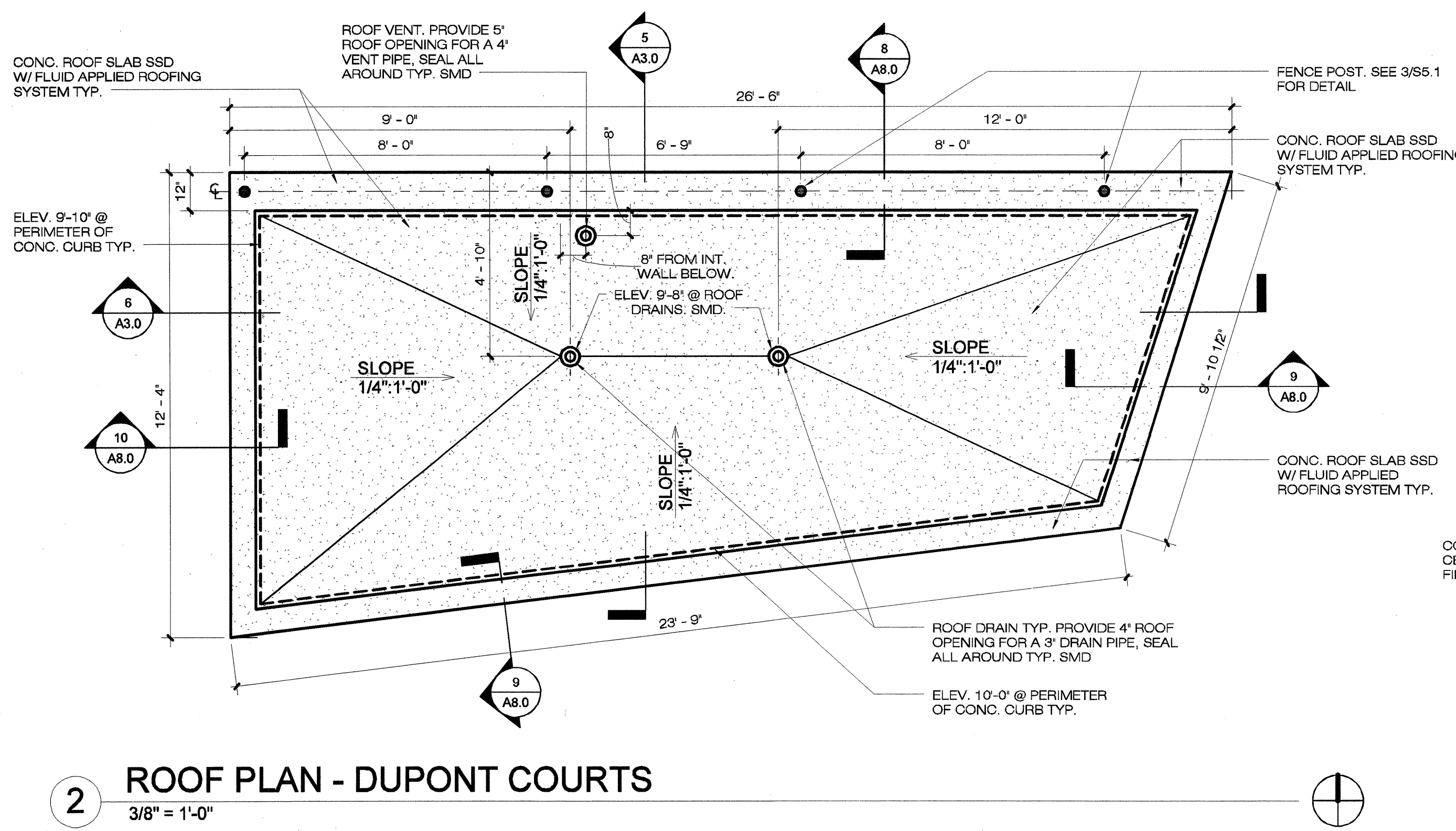
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL, U. O. N.
 2. VERIFY EXISTING SITE CONDITIONS, REQUIREMENTS AND EXACT LOCATION OF UTILITIES.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SHALL REPAIR ADJACENT EXISTING AND/OR NEW SURFACES, AREAS AND PROPERTY THAT MAY BE DAMAGED AS RESULT OF ANY DEMOLITION AND/OR NEW WORK.
 4. SEE LANDSCAPE DRAWINGS FOR LOCATION OF DRINKING FOUNTAIN AND WATER BOTTLE FILLER.

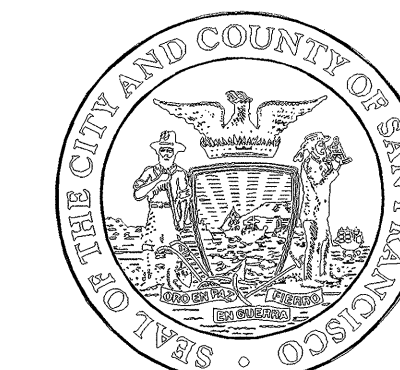
FLOOR PLAN NOTES - DUPONT TENNIS COURTS

- 1 STAINLESS STL. WALL MOUNTED TOILET.
- 2 BABY CHANGING STATION (INSTALL 8" OFF FROM ADJACENT WALL TYP.)
- 3 FLOOR DRAIN
- 4 EXTERIOR MTL. DOOR & FRAME W/ PADLOCK BOX. SEE SHEET A7.0 FOR DETAILS.
- 5 STAINLESS STL. SINK
- 6 SOAP DISPENSER
- 7 ELECT. HAND DRYER (O.F.C.I.) SEMI-RECESSED MOUNTED, 4" MAX PROTUSION. SEAL ENTIRE PERIMETER WITH SEALANT TYP. (COORDINATE W/ R&P OFFICIALS TO REQUEST EQUIPMENT AND MOUNTING RECESSED HARDWARE, CONTRACTOR SHALL COORDINATE THE CONCRETE FORM WORK TO PREPARE MOUNTING HARDWARE RECESSED AREA.)
- 9 STAINLESS STL. GRAB BARS. TYP.
- 10 EXTERIOR MTL. DOOR & FRAME W/ WINDOW GRILLE ABOVE. SEE SHEET A7.0 FOR DETAILS.
- 11 STAND ALONE DRINKING FOUNTAIN/WATER BOTTLE FILLER COMBO. SLD.
- 12 FLOOR MOUNTED UTILITY SINK
- 13 TRASH CAN N.I.C.
- 14 DRINKING FOUNTAIN MTL GUARDRAIL. SLD.



NOTE:
FLOOR MATERIAL PROVIDE CONCRETE LEVELING GROUT TYP. REFER TO STRUCTURAL SPECS AND DRAWINGS.
FLOOR SLOPE ≤ 2%, TYPICAL.
FLOOR FINISH TO BE SLIP RESISTANT PER ASTM C1028: 0.65 MIN. WET & DRY.





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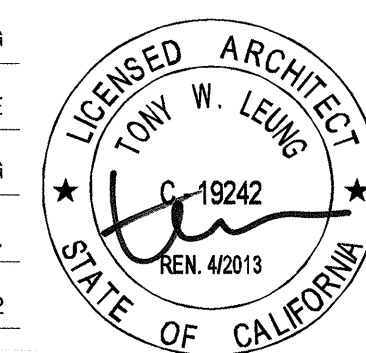
Proj. Mgr. M. YEE

Proj. Arch. T. LEUNG

Drawn A.P.

Date SEP 2012

Phase



Drawing Title

**CONCRETE FORM PATTERN
FLOOR PLAN &
ELEVATIONS**

Sheet No.

A2.1

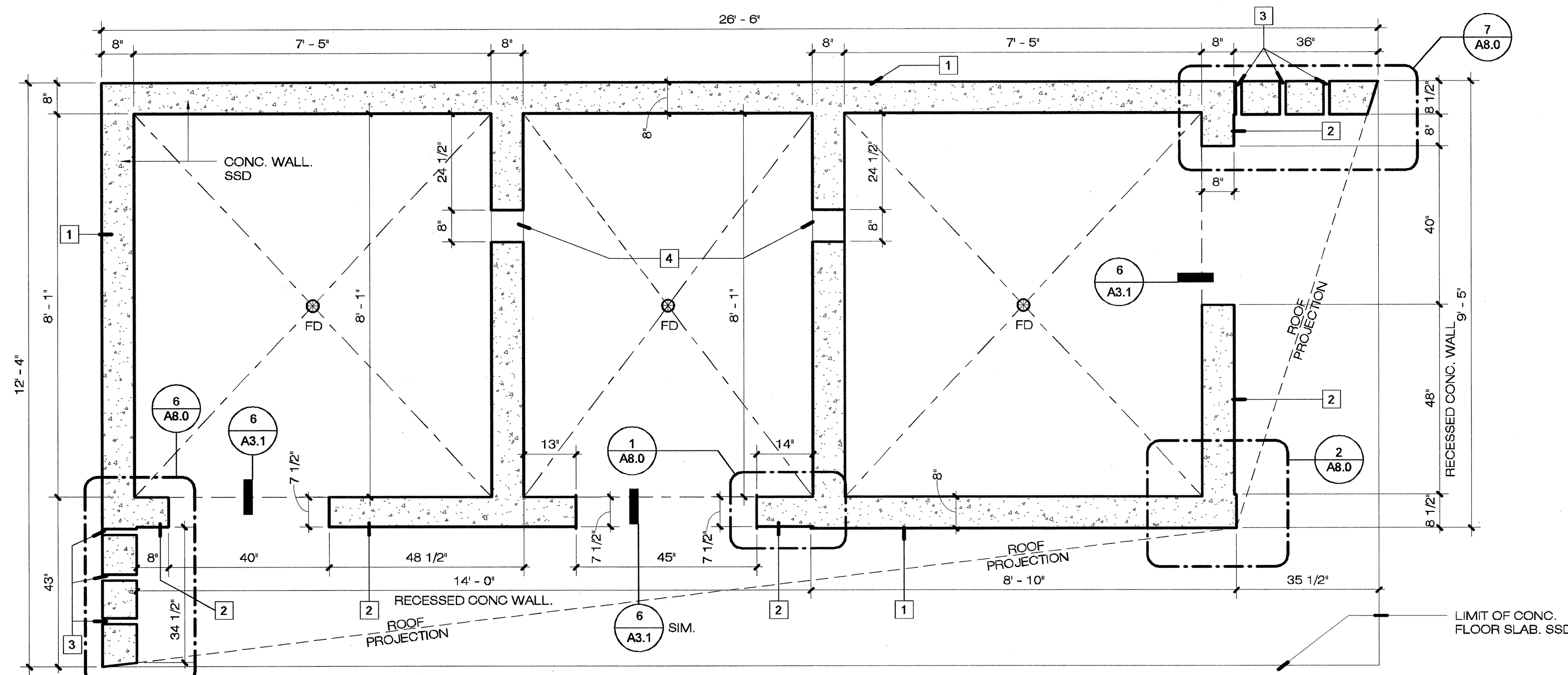
Job No.

3092V-2

Scale: 1/2" = 1'-0"

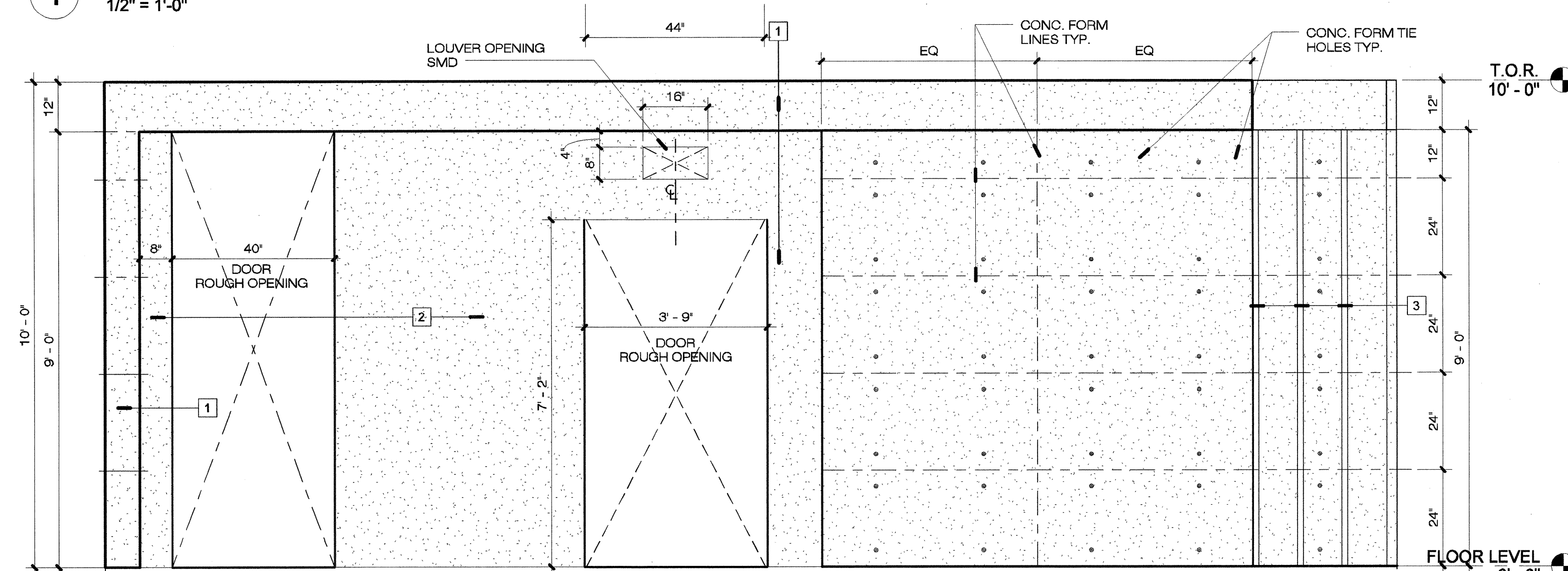
CONCRETE FORM PATTERN - FLOOR PLAN NOTES

- 1 ARCHITECTURAL EXPOSED CONCRETE, CAST IN PLACE W/ STEEL FORM PANELS AND SNAP TIES TYP.
- 2 1/2" RECESSED CONCRETE WALL TO ACCOMODATE TILE TYP.
- 3 VERTICAL SLITS IN CONCRETE WING WALL TYP.
- 4 8"x8" CONCRETE LOUVER OPENING. SMD.



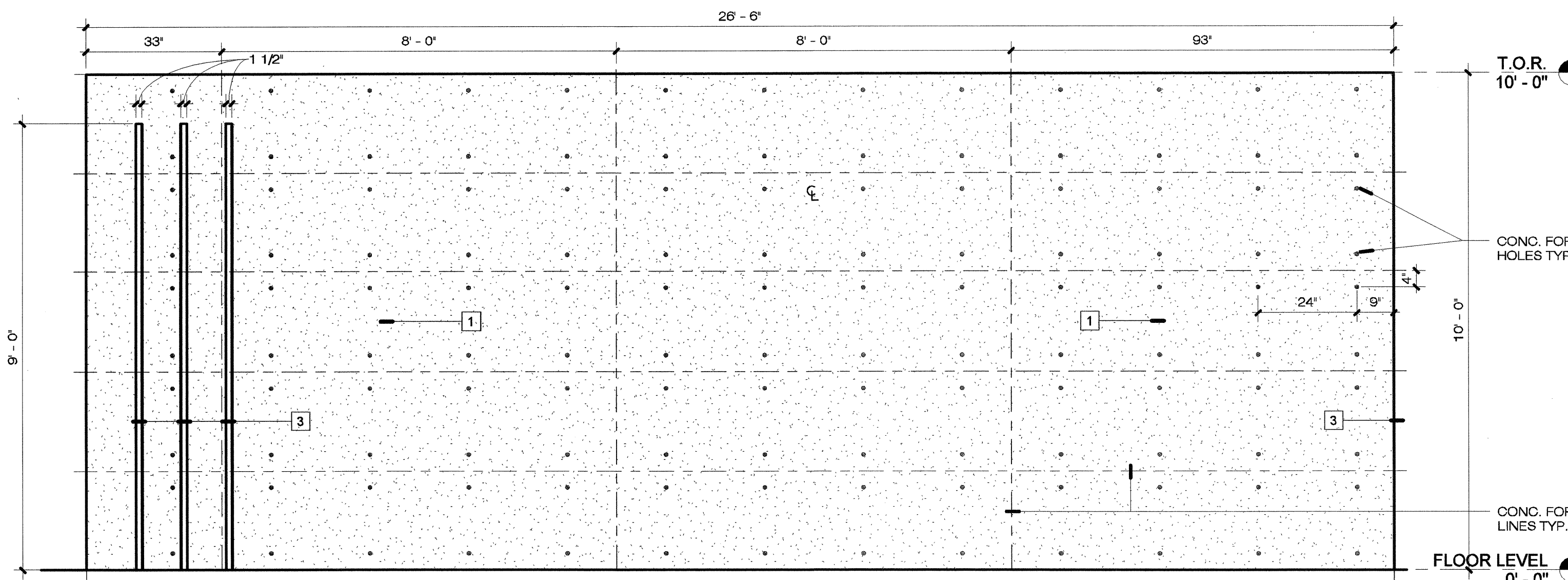
1 CONCRETE FORM - FLOOR PLAN

1/2" = 1'-0"



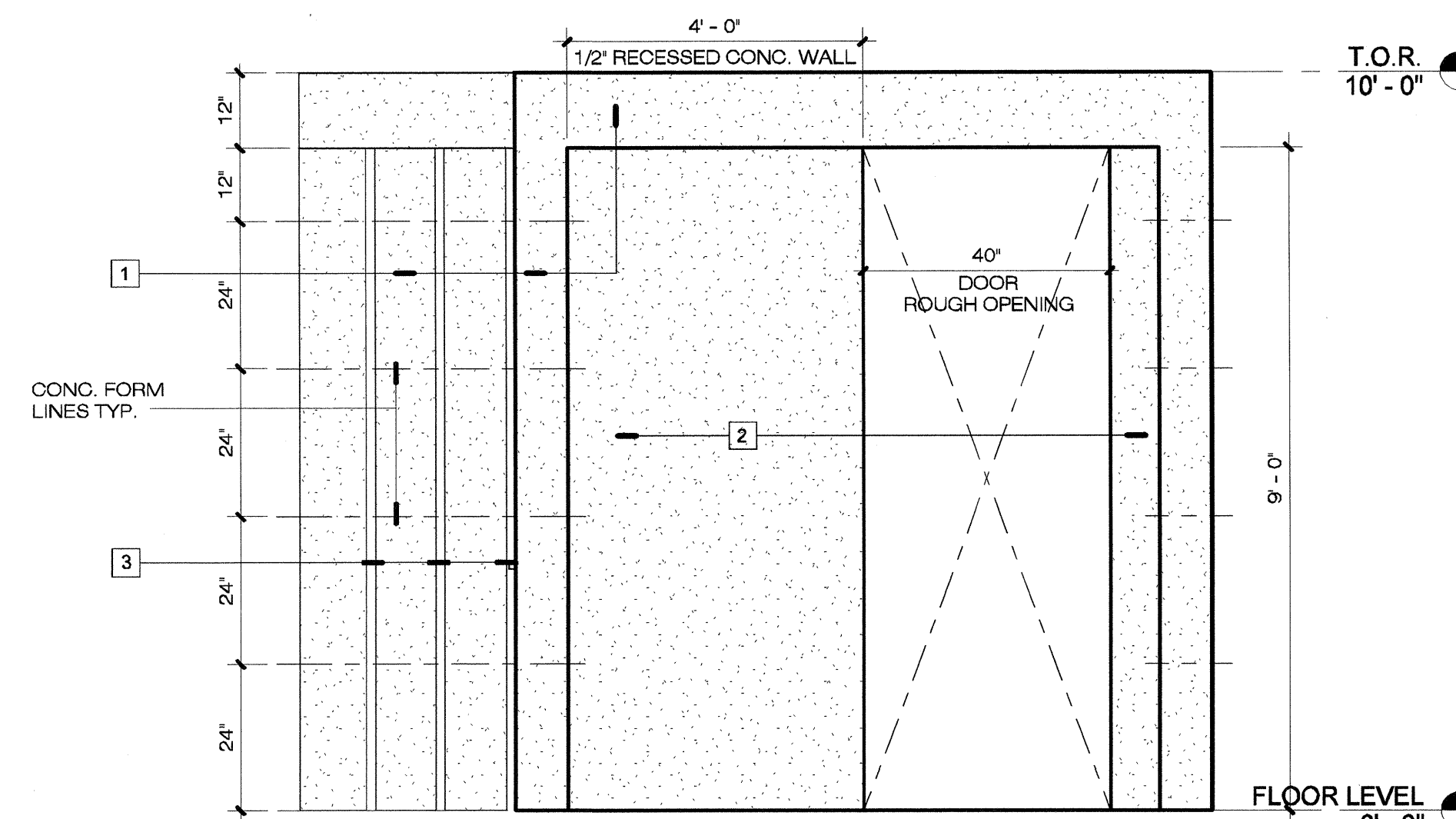
2 FRONT ELEVATION - CONCRETE FORM PATTERN

1/2" = 1'-0"



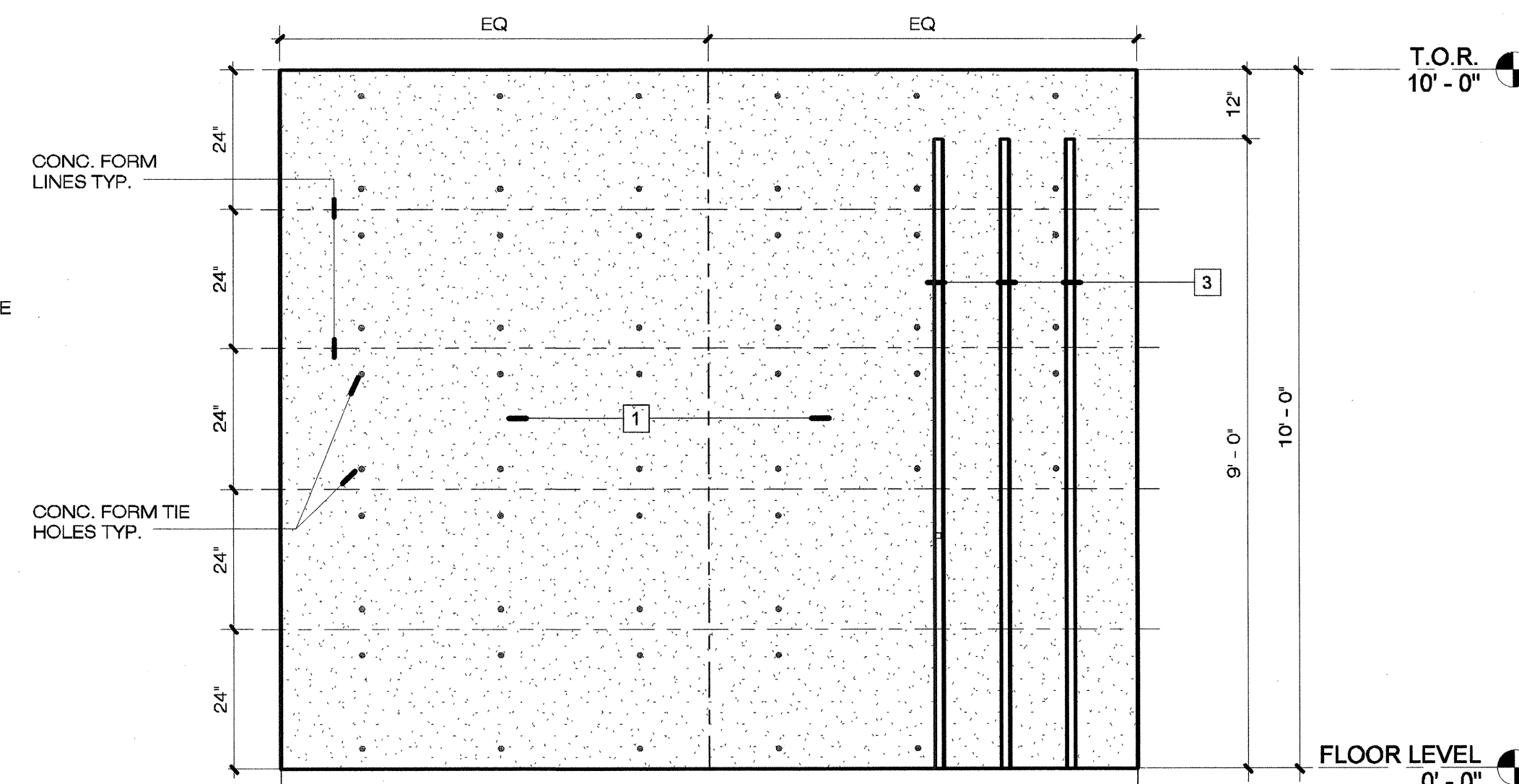
3 REAR ELEVATION - CONCRETE FORM PATTERN

1/2" = 1'-0"



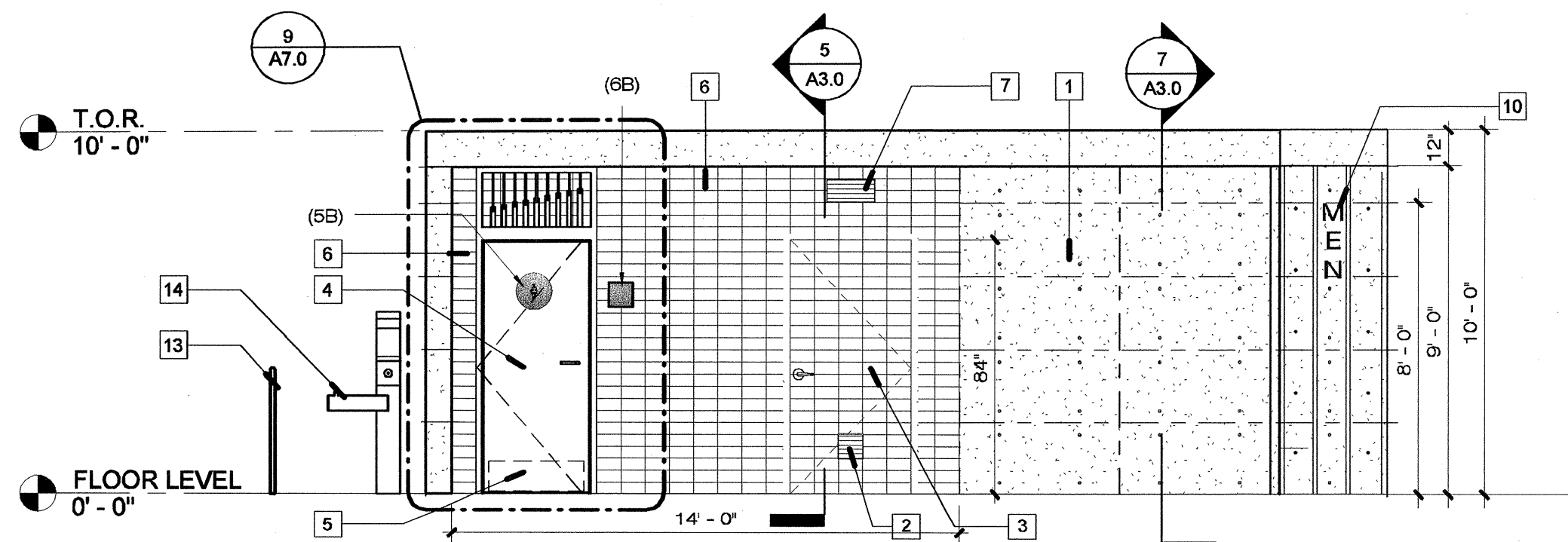
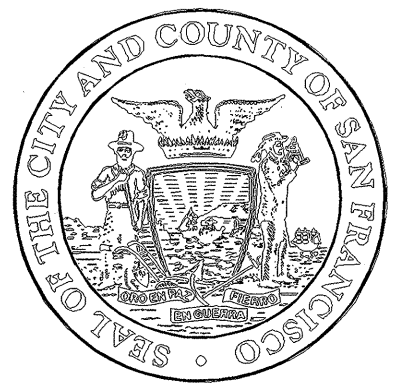
4 SIDE ELEVATION - East - CONCRETE FORM PATTERN

1/2" = 1'-0"

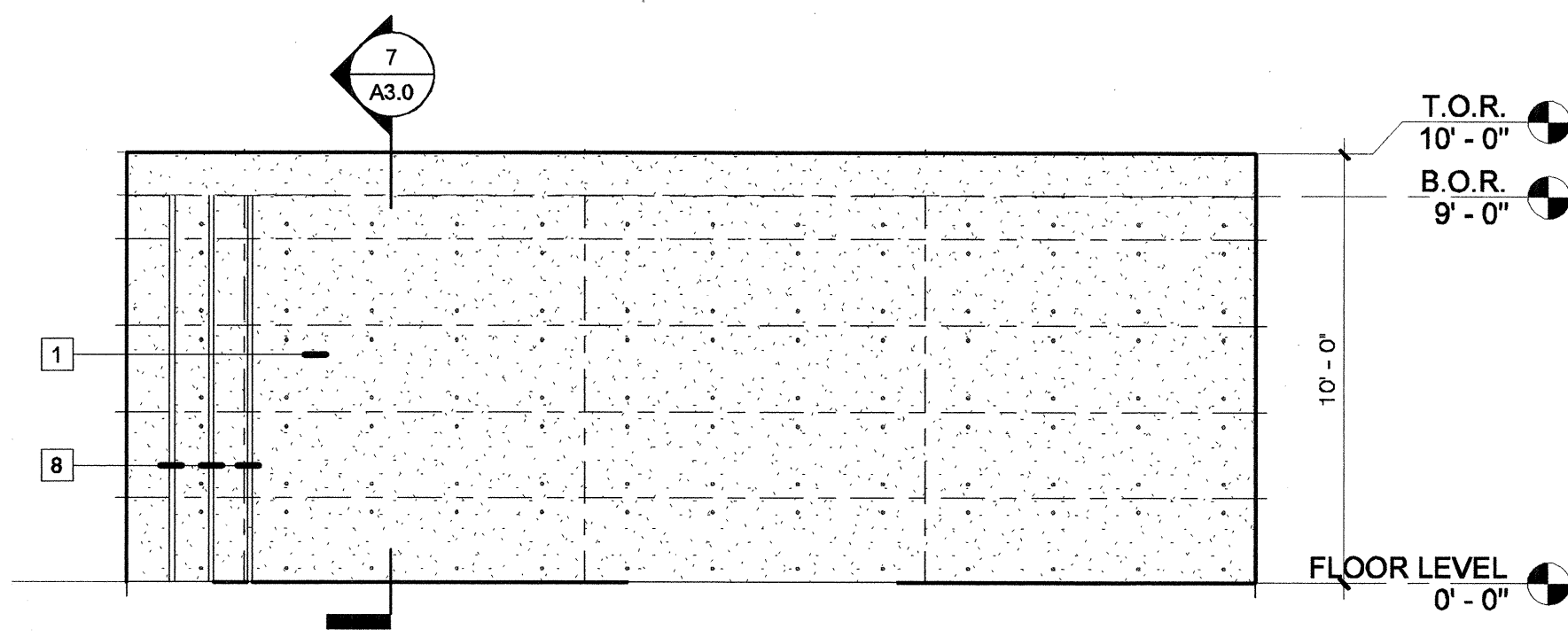


5 SIDE ELEVATION - West - CONCRETE FORM PATTERN

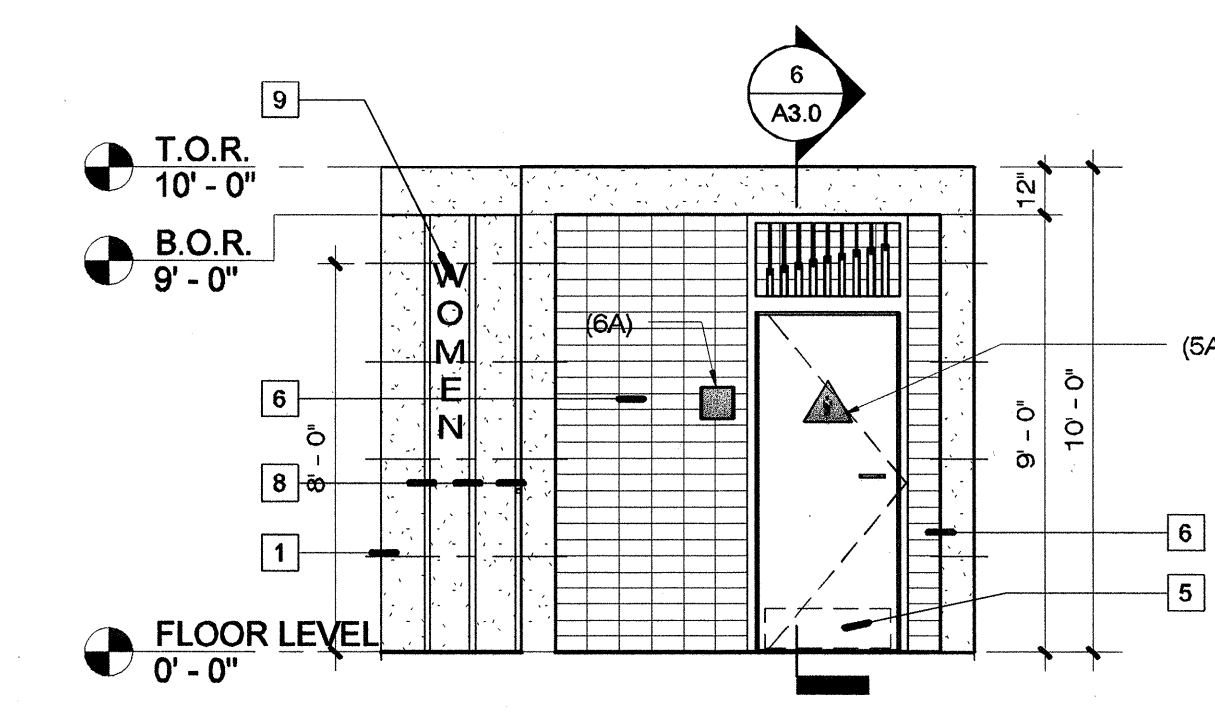
1/2" = 1'-0"



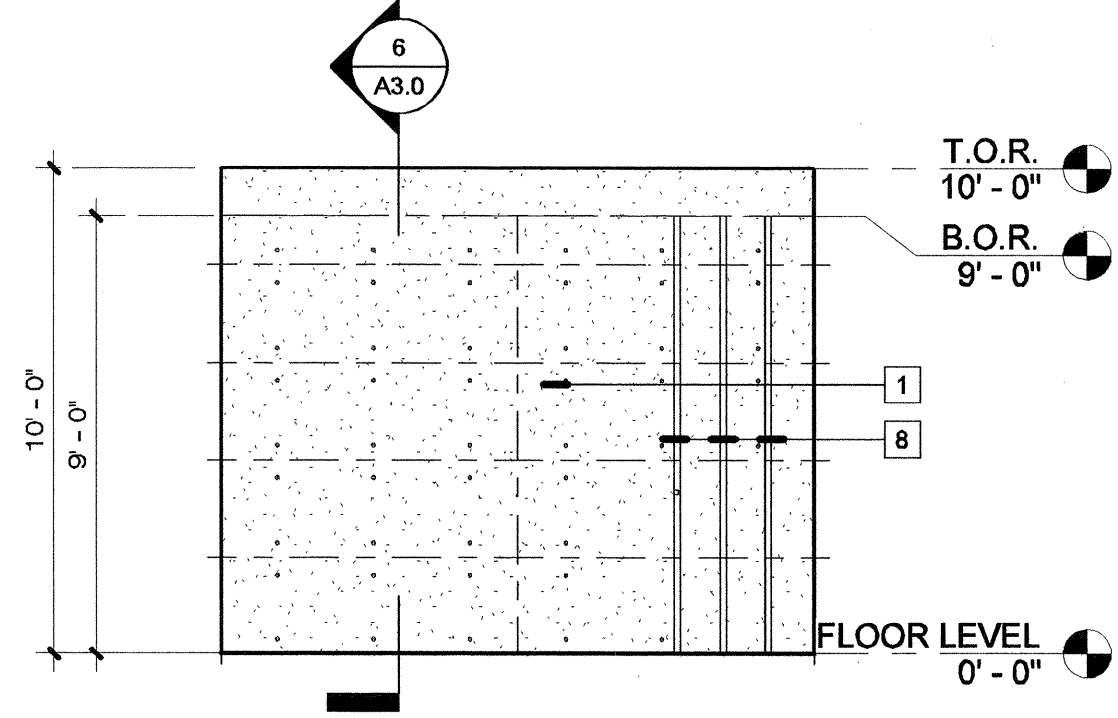
1 FRONT ELEVATION - South
1/4" = 1'-0"



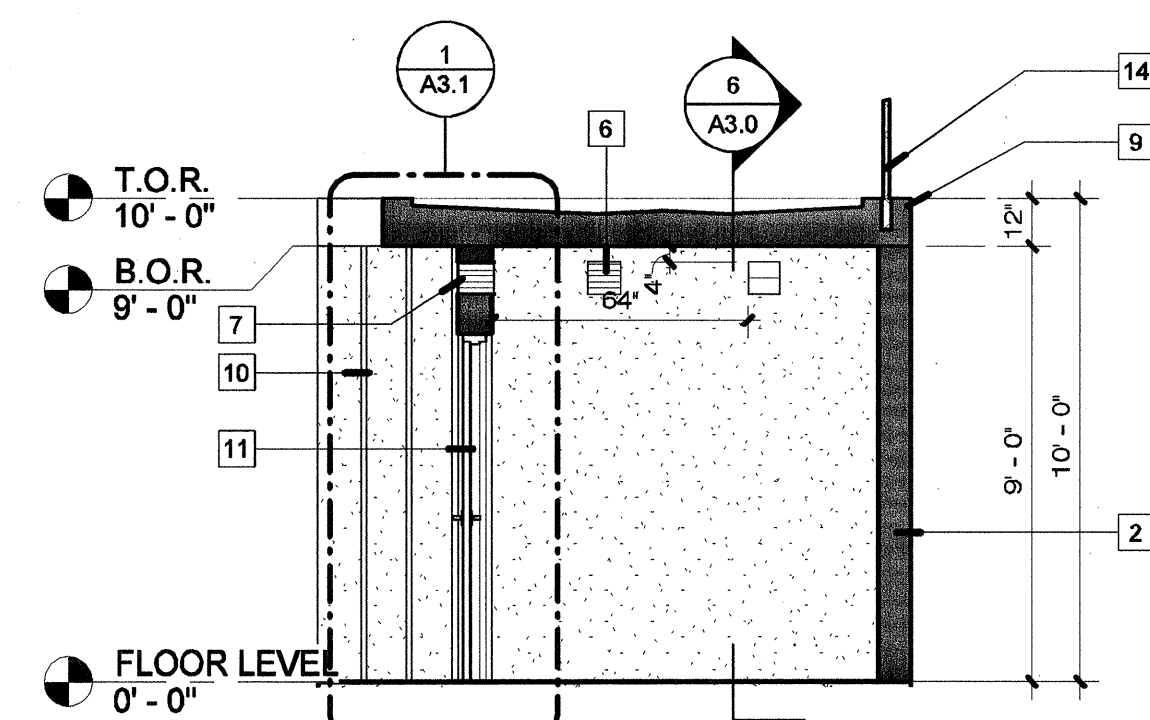
2 REAR ELEVATION - North
1/4" = 1'-0"



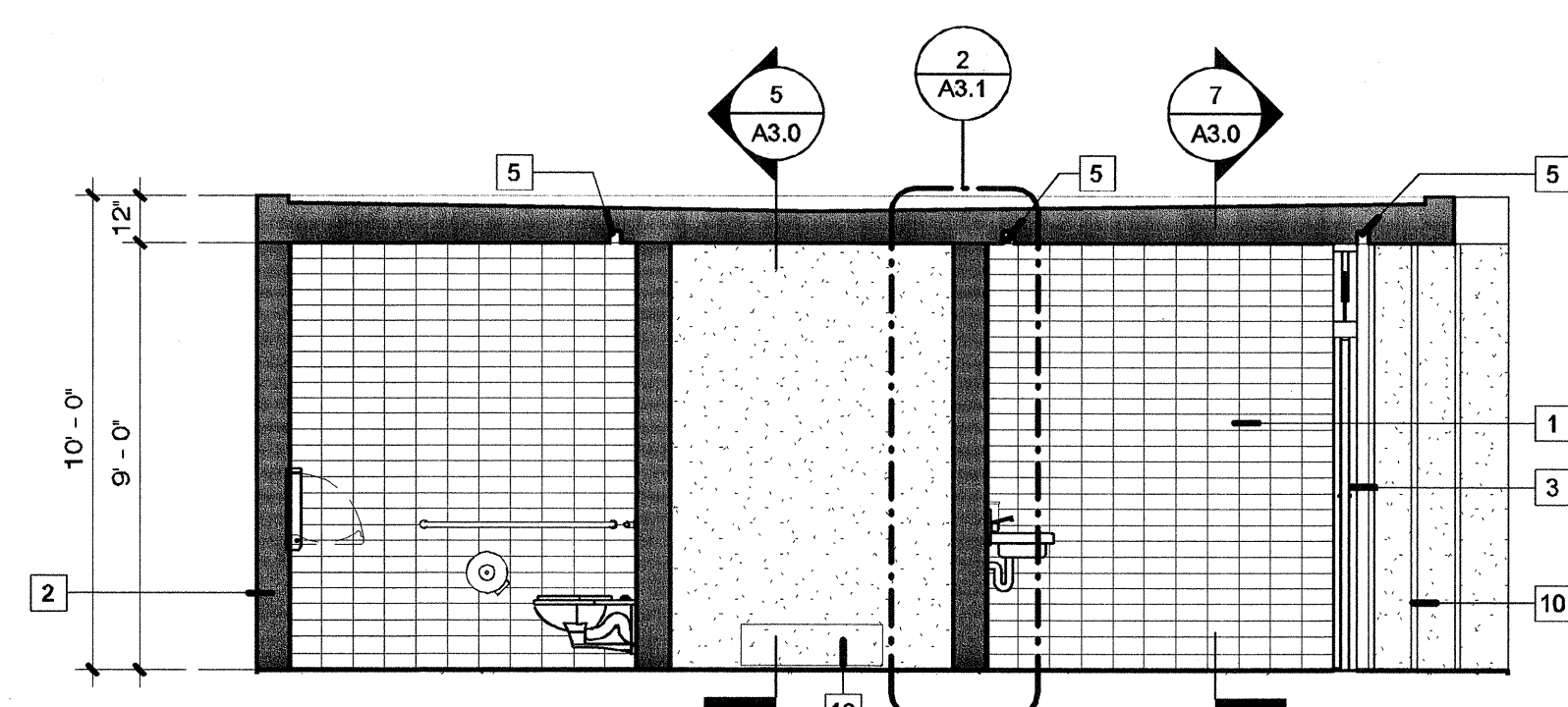
3 SIDE ELEVATION - East
1/4" = 1'-0"



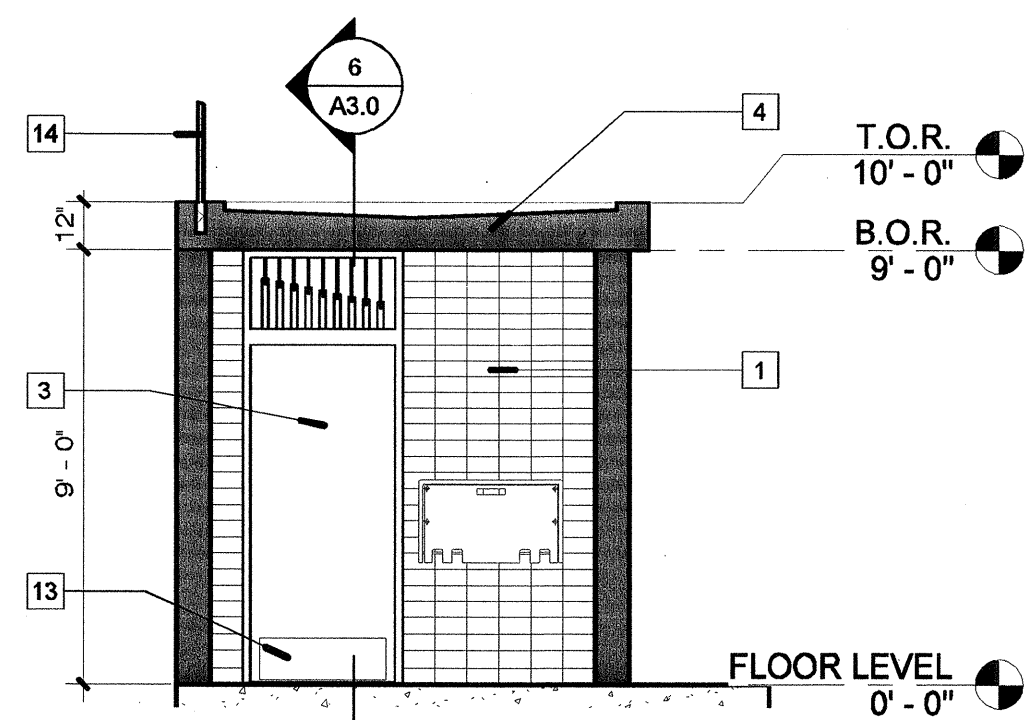
4 SIDE ELEVATION - West
1/4" = 1'-0"



5 SECTION 1
1/4" = 1'-0"



6 SECTION 2
1/4" = 1'-0"



7 SECTION 3
1/4" = 1'-0"

ELEVATIONS NOTES

- 1 CONC. WALL - CAST IN PLACE FINISH TYP. SEE A2.1 FOR CONCRETE FORM & PATTERN DETAILS
- 2 8x8 MTL. LOUVER SEAL ALL AROUND, PAINT TO MATCH TILE COLOR, TYP. CONTRACTOR TO CONFIRM THAT THE DOOR OPENING FOR LOUVER MATCH THE DIMENSION OF 4x8 TILE. SEE 4/A7.0 FOR DIMENSIONS (TYP. FOR ALL LOUVERS)
- 3 CUSTOM EXTERIOR MTL. DOOR, TILE CLADED TO MATCH ADJACENT WALL. SEE SHEET A7.0 FOR DETAILS
- 4 MTL. DOOR
- 5 STAINLESS STL. KICKPLATE TYP. (ON INTERIOR PUSH SIDE ONLY)
- 6 4x8 TILE TYP. PT-2 (CONTRAST): 5570/ CAMEL
- 7 16x8 MTL. LOUVER, S.M.D. SEAL ALL AROUND, PAINT TO MATCH 4x8 TILE COLOR, TYP. CONTRACTOR TO CONFIRM THAT CONCRETE OPENNING FOR LOUVER MATCH THE DIMENSION OF 4x8 TILE. SEE A2.1 FOR DIMENSIONS (TYP. FOR ALL LOUVERS)
- 8 CONC. WALL 1 1/2" SLITS, SEE SHEET A8.0 FOR DETAILS.
- 9 WOMEN'S ID SIGN. CAST IN CONC. TEXT TYPE SHALL BE 6" HIGHT, HELVETICA UPPER LETTER CASE FONT, RECESSED 1 1/2" TYP.
- 10 MEN'S ID SIGN. CAST. IN CONC. TEXT TYPE SHALL BE 6" HIGHT, HELVETICA UPPER LETTER CASE FONT, RECESSED 1 1/2" TYP.
- 12 PADLOCK BOX. SEE 3/A7.0
- 13 DRINKING FOUNTAIN MTL. GUARDRAIL
- 14 DRINKING FOUNTAIN/ WATER BOTTLE FILLER COMBO. SLD.

SECTIONS NOTES

- 1 4x8 TILE TYP.
- 2 CONC. WALL - CAST IN PLACE TYP. S.S.D.
- 3 MTL. DOOR
- 4 CONC. ROOF SLAB
- 5 RECESSED LIGTH FIXTURE SEE 11/A8.0
- 6 8x8 MTL. VENT. S.M.D. SEAL ALL AROUND TYP. CONTRACTOR TO CONFIRM THAT CONCRETE OPENNING FOR LOUVER MATCH THE DIMENSION OF 4x8 TILE. SEE A2.1 FOR DIMENSIONS (TYP. FOR ALL LOUVERS)
- 7 16x8 MTL. LOUVER, S.M.D. SEAL ALL AROUND, PAINT TO MATCH 4x8 TILE COLOR, TYP. CONTRACTOR TO CONFIRM THAT CONCRETE OPENNING FOR LOUVER MATCH THE DIMENSION OF 4x8 TILE. SEE A2.1 FOR DIMENSIONS (TYP. FOR ALL LOUVERS)
- 9 CONC. WALL CURB
- 10 CONC. WALL 1 1/2" SLITS, SEE SHEET A8.0 FOR DETAILS.
- 11 EXTERIOR MTL. DOOR
- 12 UTILITY SINK. w/ STAINLESS STEEL BACKSPASH. S.P.D.
- 13 STAINLESS STL. KICKPLATE TYP. (ON INTERIOR PUSH SIDE ONLY)
- 14 GALVANIZED FENCE POST ANCHOR. SSD, 8'-0" FENCE MAX.

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Section Head T. LEUNG
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Proj. Arch. T. LEUNG
Drawn A.P.
Date SEP 2012
Phase



Drawing Title

ELEVATIONS & SECTIONS

Sheet No.

A3.0

Scale: 1/4" = 1'-0"

Job No.

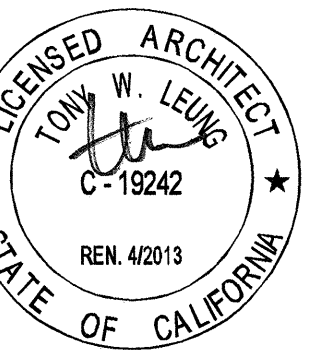
3092V-2



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Drawn A.P.
Date SEP 2012
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Drawing Title

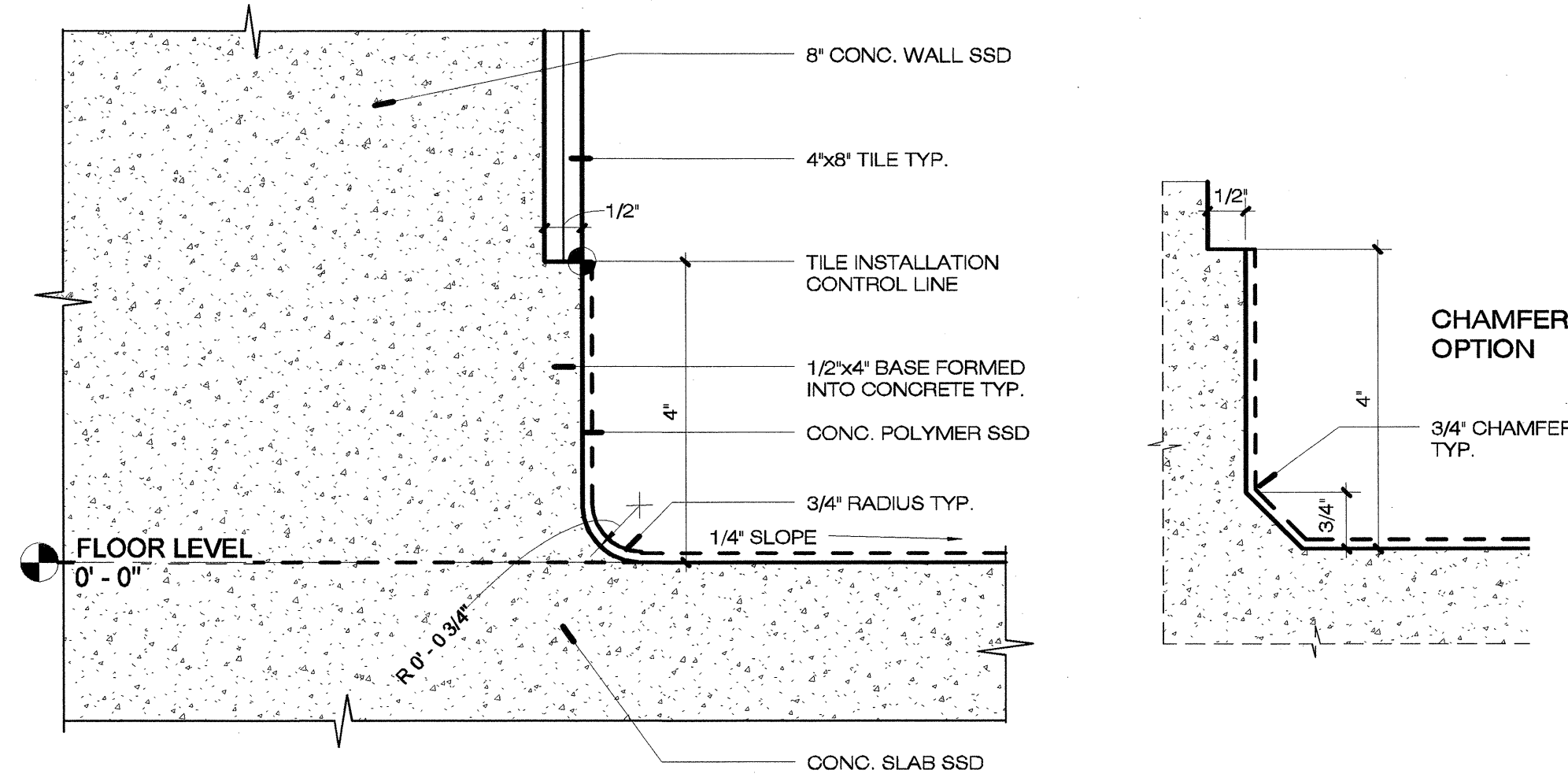
WALL SECTIONS & DETAILS

Sheet No.

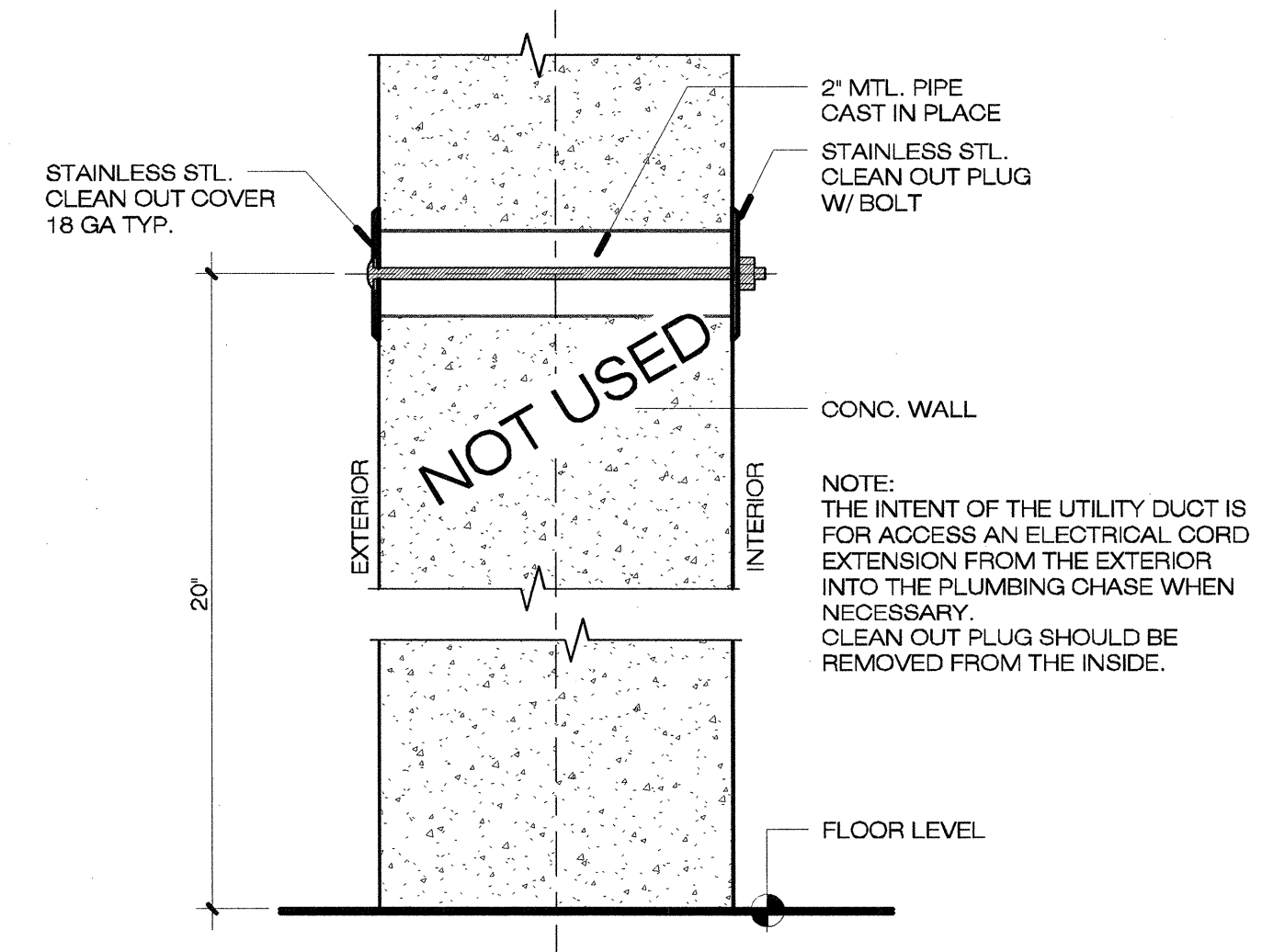
A3.1

Scale: As indicated

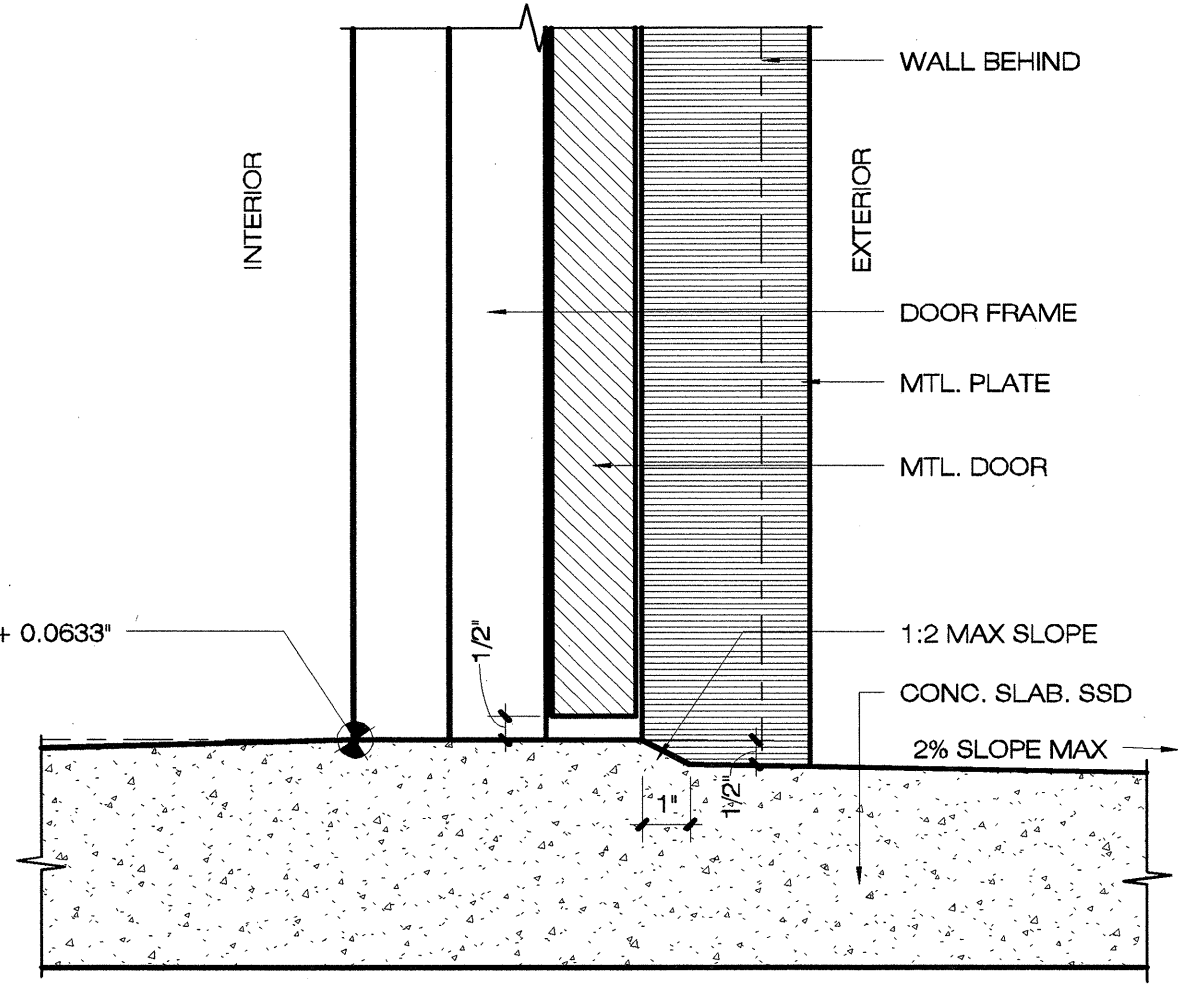
Job No. 3092V-2



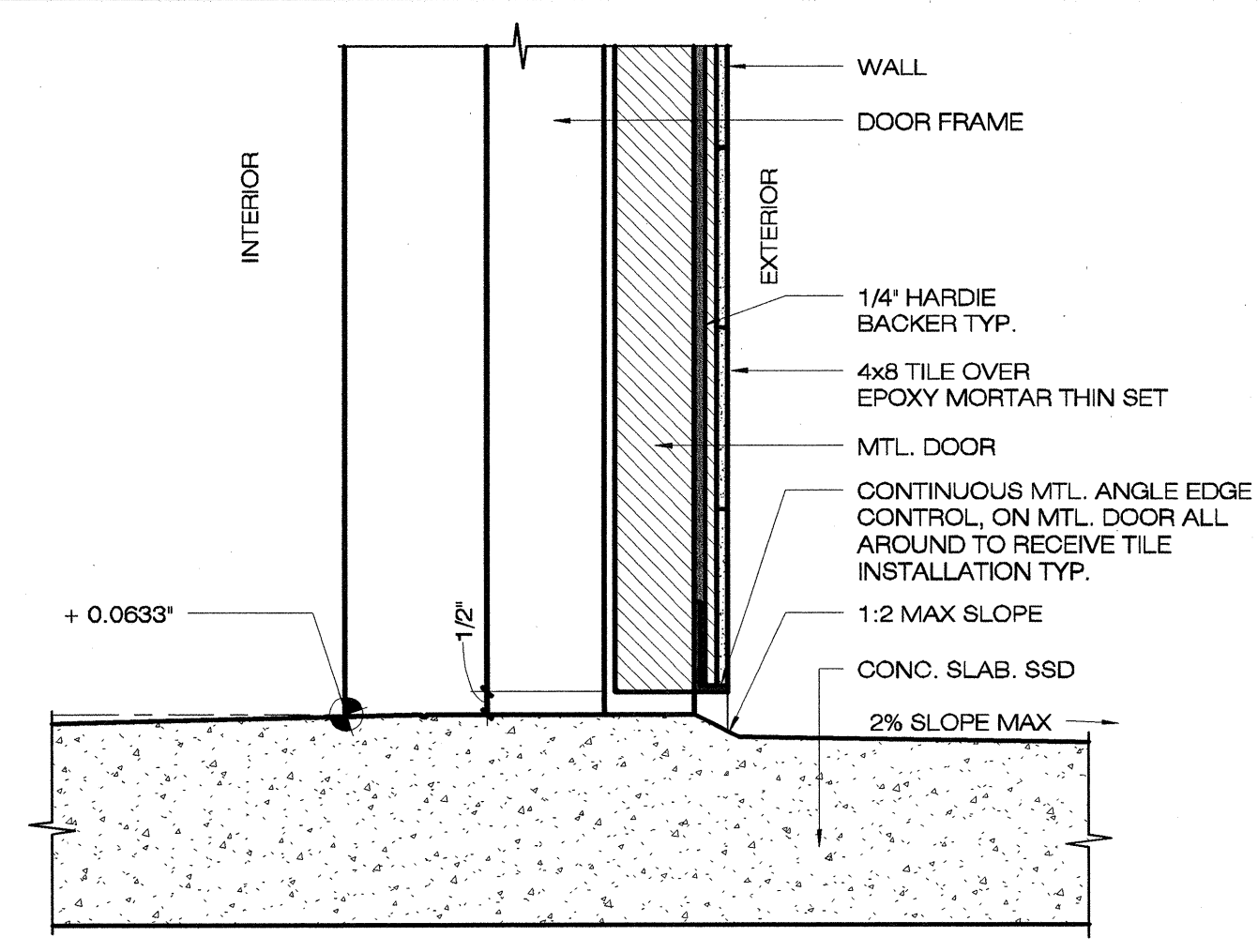
3 CONC. FLOOR BASE DETAIL
6" = 1'-0"



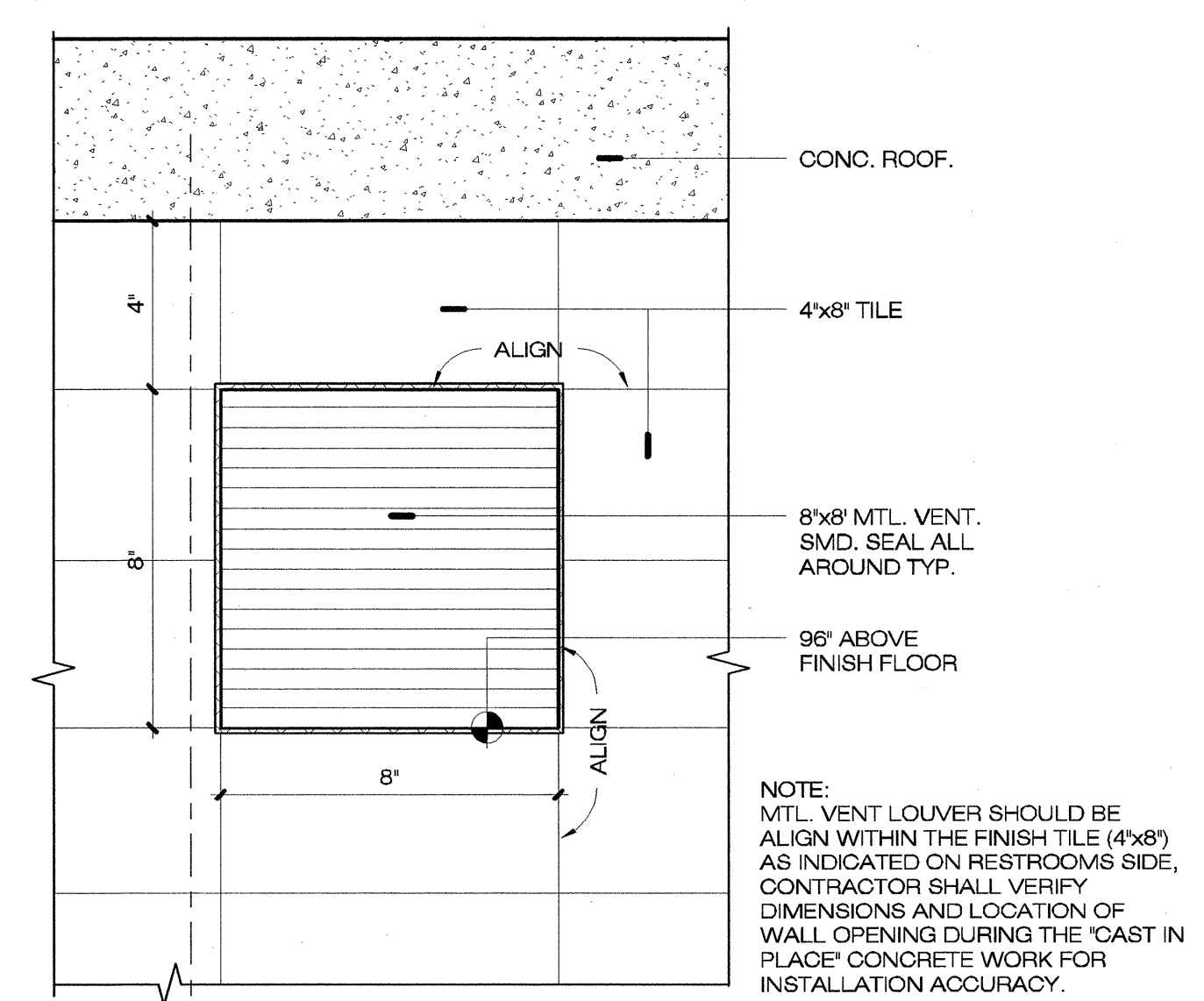
4 UTILITY DUCT
(FOR ELECTRICAL OUTLET USE ONLY)
3" = 1'-0"



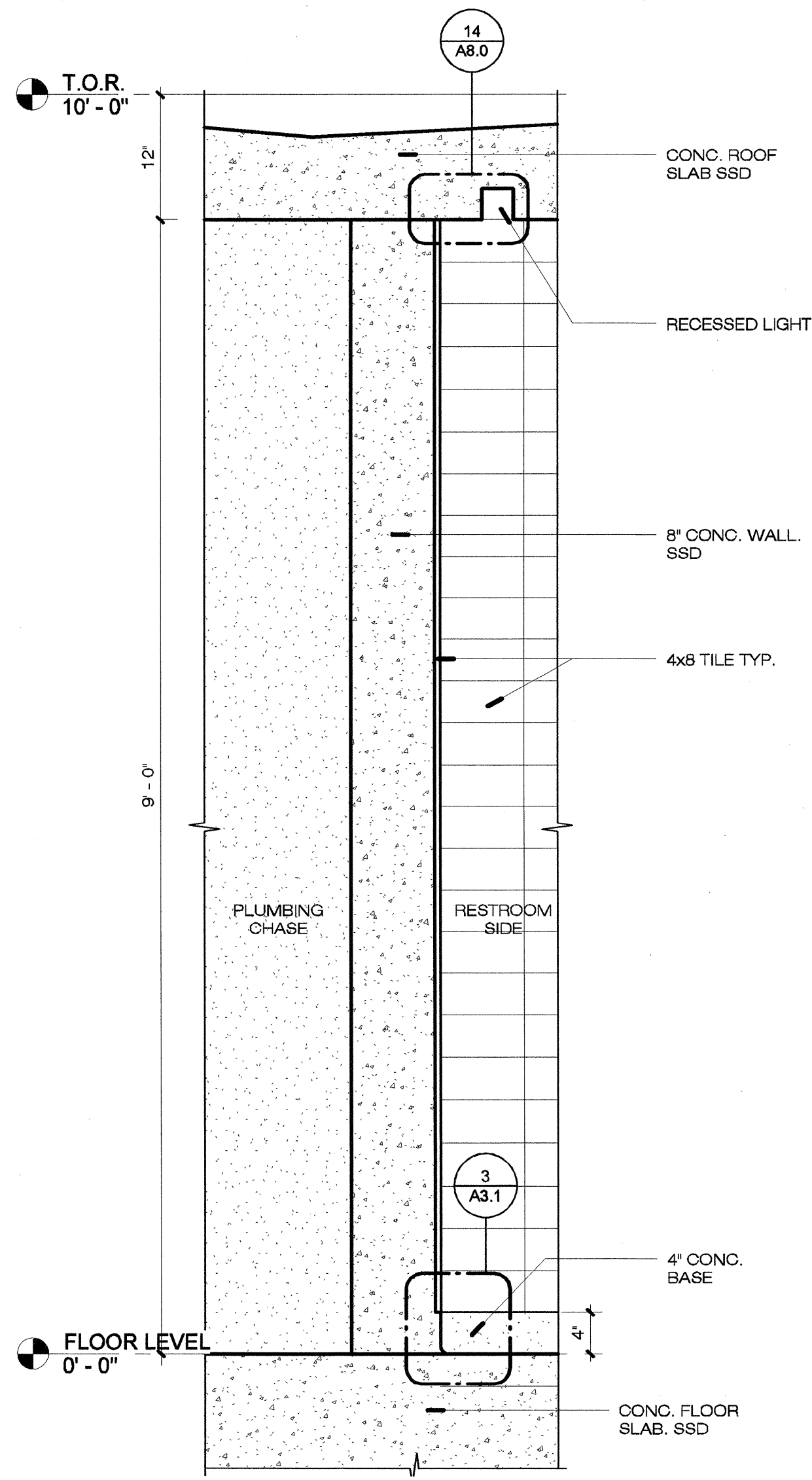
6 THRESHOLD DETAIL
3" = 1'-0"



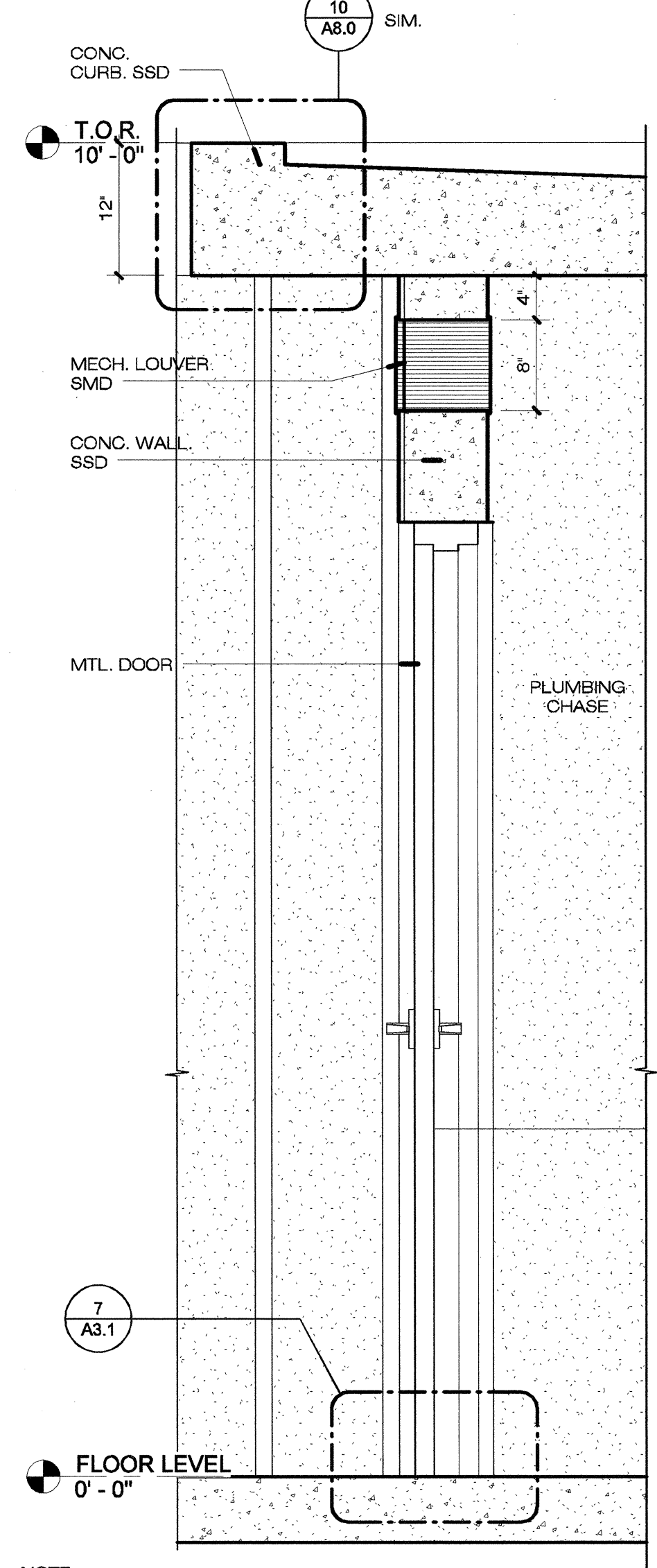
7 PLUMBING CHASE
DOOR THRESHOLD
DETAIL
3" = 1'-0"



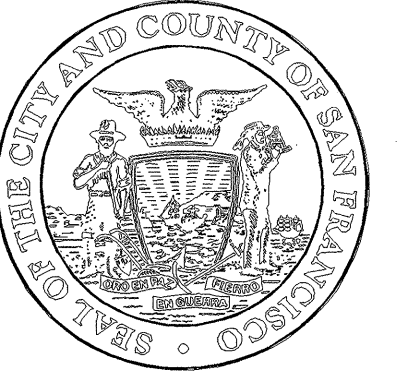
5 MTL. VENT LOUVER DETAIL
3" = 1'-0"



2 WALL SECTION 2
1" = 1'-0"

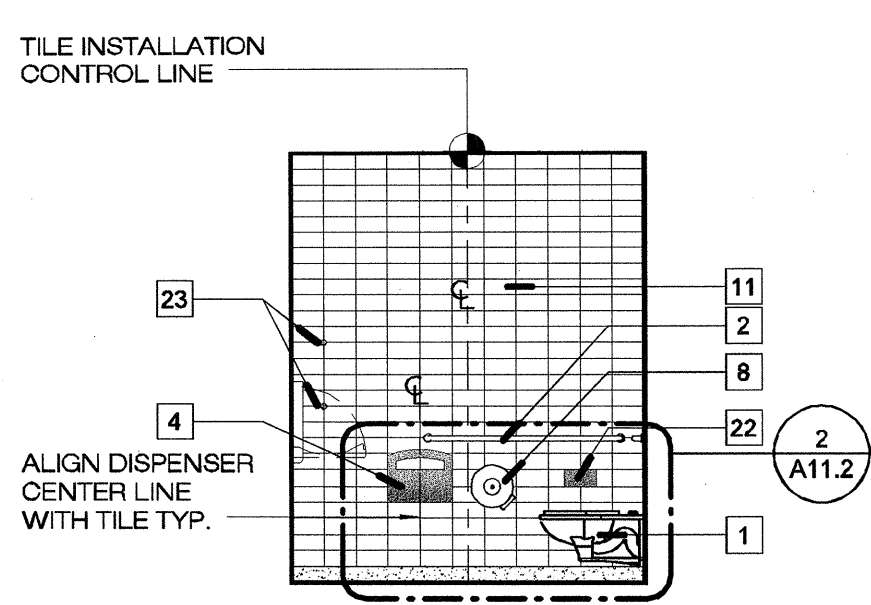


1 WALL SECTION 1
1" = 1'-0"

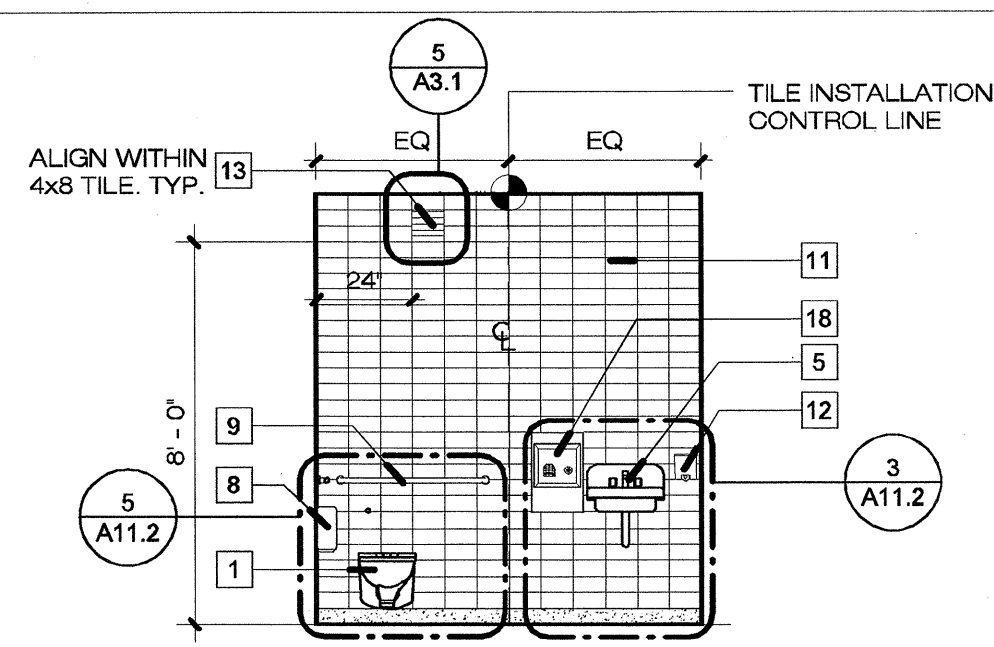


INTERIOR ELEVATIONS NOTES

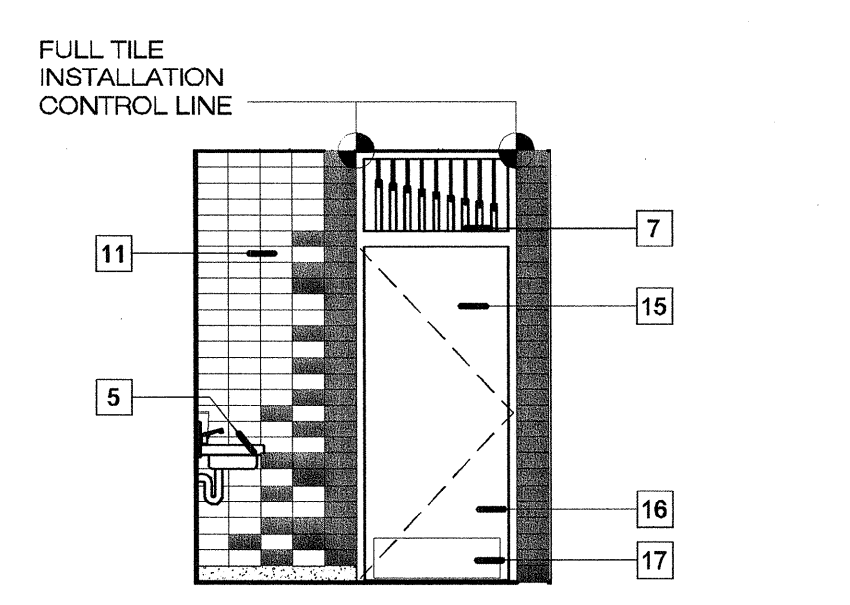
- 1 STAINLESS STL. WALL MOUNTED TOILET.
- 2 STAINLESS STL. GRAB BAR.
- 3 STAINLESS STL. TOILET
- 4 STAINLESS STL. TOILET SEAT COVER DISPENSER
- 5 STAINLESS STL. SINK
- 6 BABY CHANGING STATION
- 7 MTL. DOOR UPPER GRILL
- 8 STAINLESS STL. TOILET PAPER DISPENSER
- 9 STAINLESS STL. GRAB BAR.
- 10 BABY CHANGING STATION
- 11 4x8 TILE TYP.
- 12 SOAP DISPENSER
- 13 8x8 MTL. VENT. S.M.D. SEAL ALL AROUND TYP. ON RESTROOMS SIDE COLOR COATED TO MATCH ADJECENT COLOR TILE.
- 14 MTL. WINDOW GRILL
- 15 EXTERIOR MTL. DOOR
- 16 12x24 MTL. LOUVER
- 17 STAINLESS STL. KICKPLATE TYP
- 18 ELECT. HANDRYER (O.F.C.I.)
- 19 UTILITY SINK. w/ STAINLESS STEEL BACKSPLASH. S.PD
- 20 CONC. FLOOR BASE TYP.
- 21 24x8 MTL. LOUVER, S.M.D. SEAL ALL AROUND, PAINT TO MATCH 4x8 TILE COLOR, TYP. CONTRACTOR TO CONFIRM THAT CONCRETE OPPENING FOR LOUVER MATCH THE DIMENSION OF 4x8 TILE. SEE A2.1 FOR DIMENSIONS (TYP. FOR ALL LOUVERS)
- 22 STAINLESS STL. SANITARY NAPKIN DISPENSER
- 23 COAT HOOK. ADA @ NON ADA.



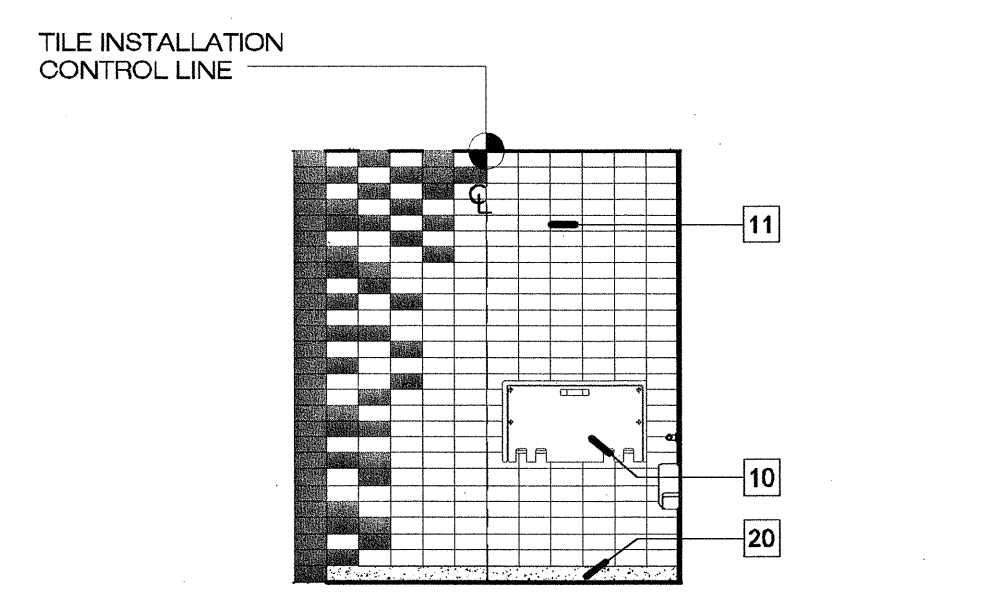
1 WOMEN'S A
1/4" = 1'-0"



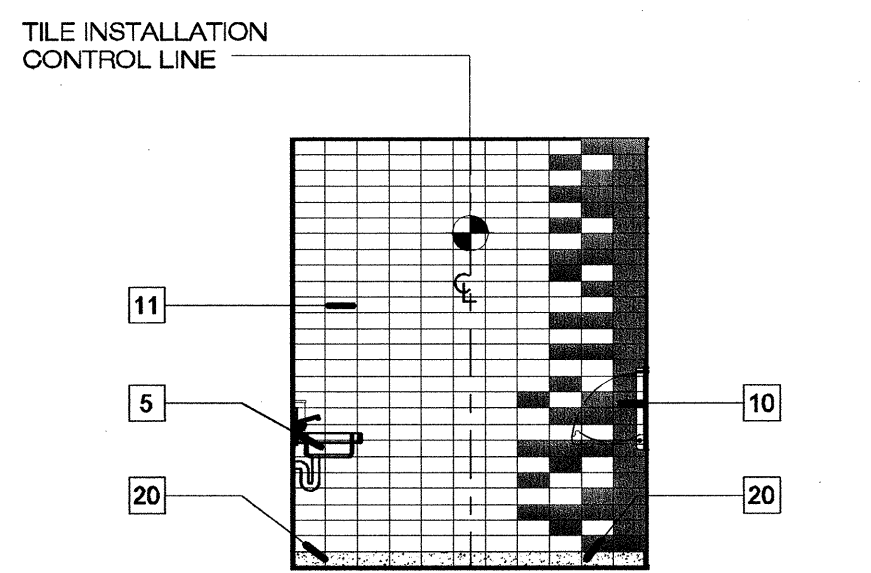
2 WOMEN'S B
1/4" = 1'-0"



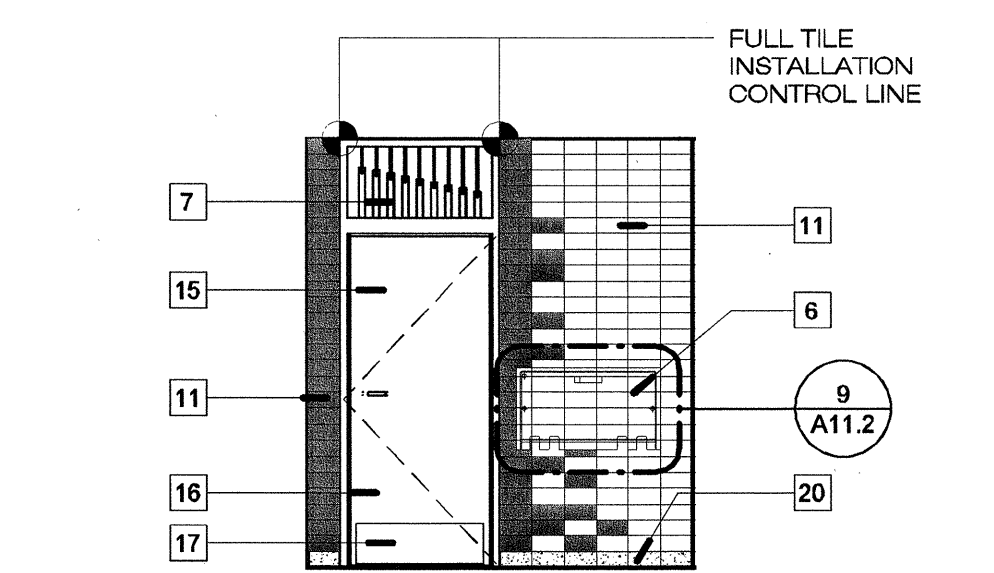
3 WOMEN'S C
1/4" = 1'-0"



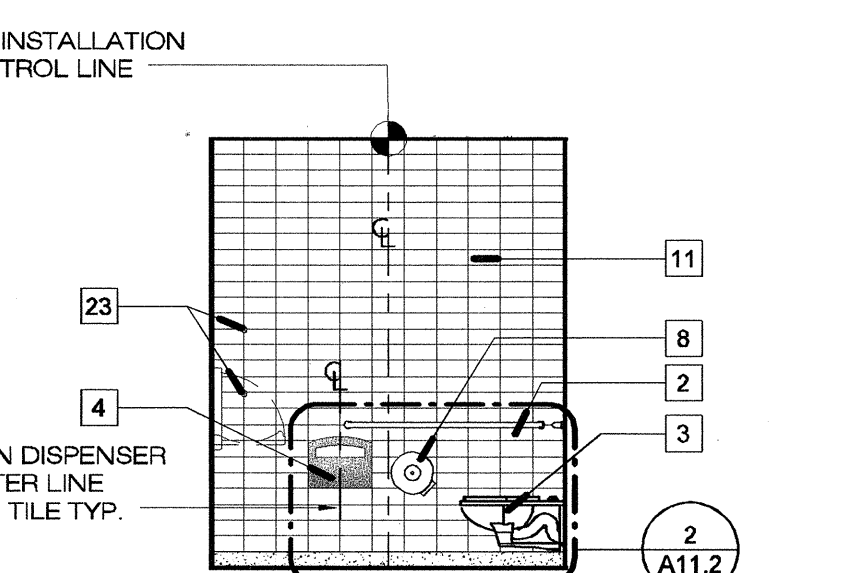
4 WOMEN'S D
1/4" = 1'-0"



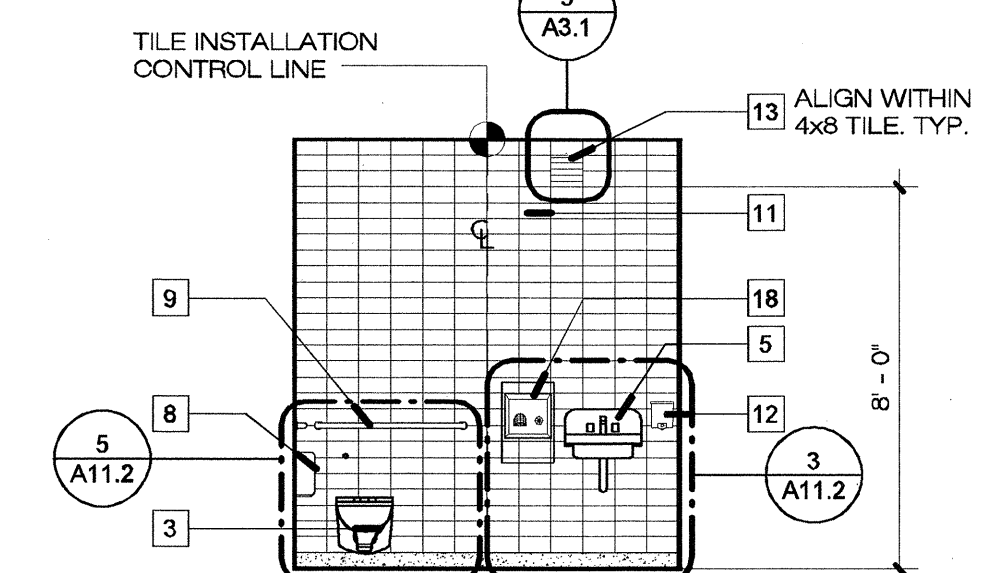
5 MEN'S A
1/4" = 1'-0"



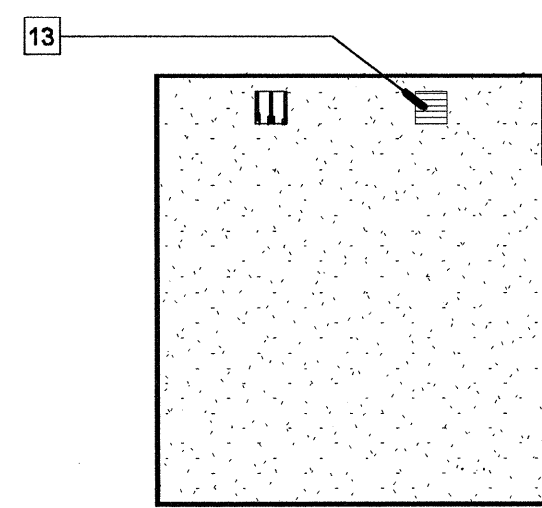
6 MEN'S B
1/4" = 1'-0"



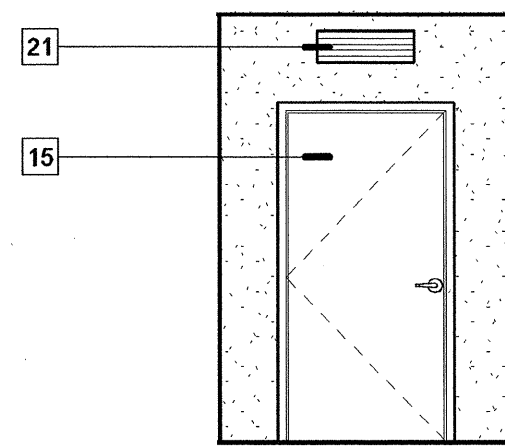
7 MEN'S C
1/4" = 1'-0"



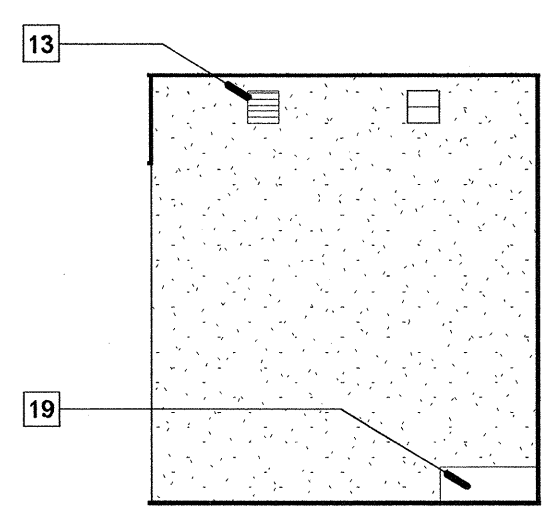
8 MEN'S D
1/4" = 1'-0"



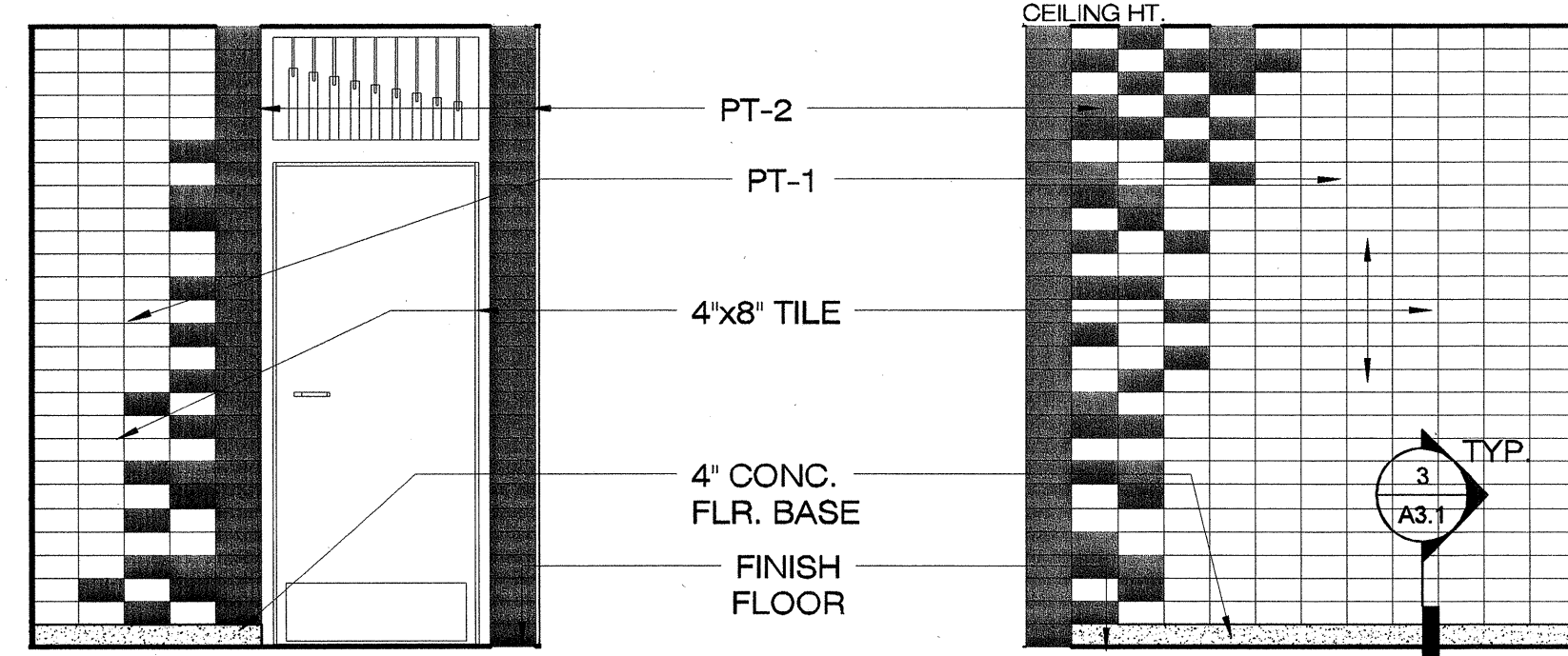
9 PLUMBING CHASE 1
1/4" = 1'-0"



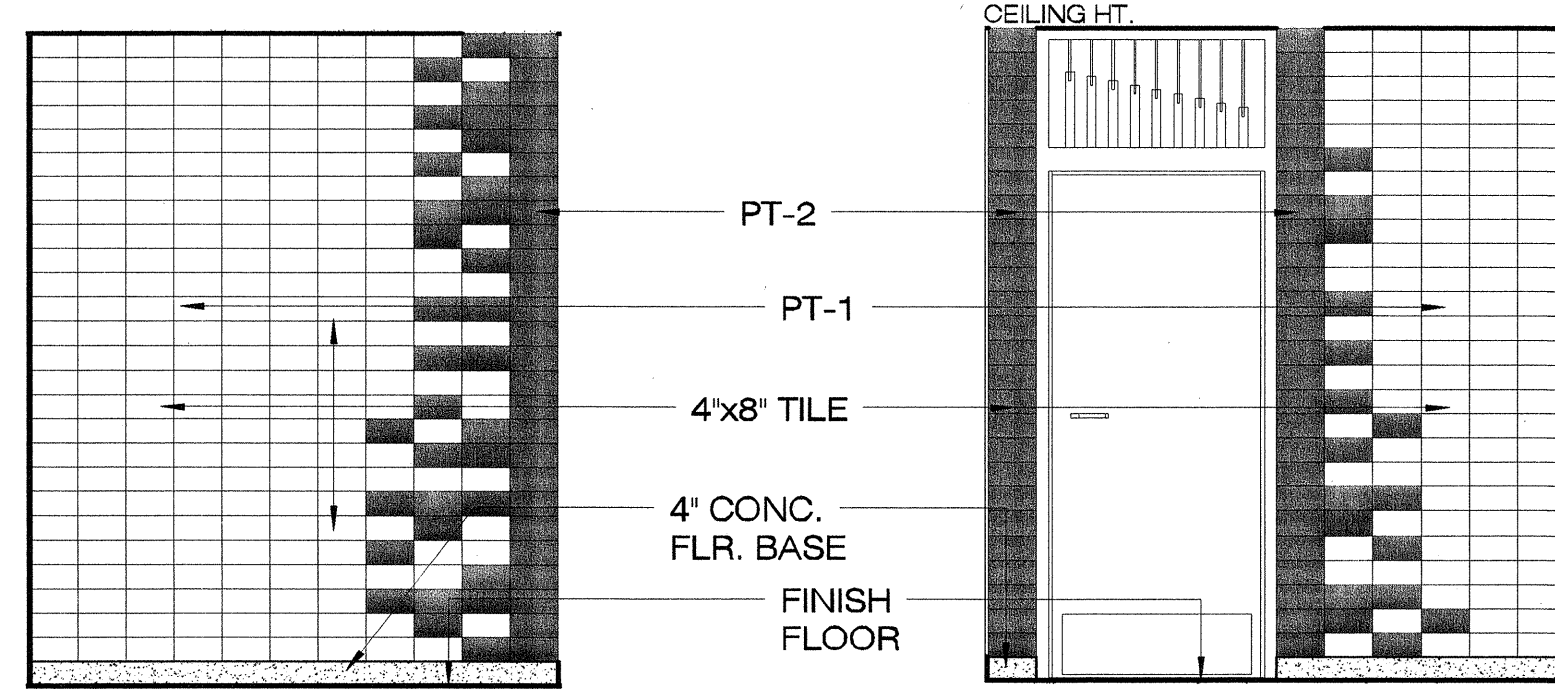
10 PLUMBING CHASE 2
1/4" = 1'-0"



15 PLUMBING CHASE 3
1/4" = 1'-0"



11 WOMEN'S - INTERIOR TILE PATTERN
3/8" = 1'-0"



13 MEN'S - INTERIOR TILE PATTERN
3/8" = 1'-0"

TILE LEGEND:
TILE COLOR SELECTION IS DETERMINED BY SITE, FOLLOW SCHEDULE BELOW.

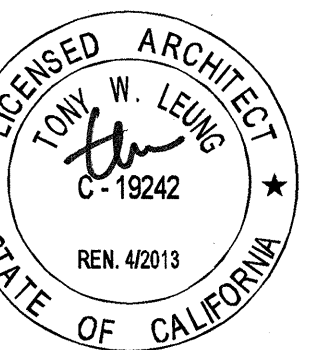
PT-1 (BASE): 5500/BRANCO
PT-2 (CONTRAST): 5514/AZUL ATLAS

(PT= PORCELAIN TILE)

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Drawing Title

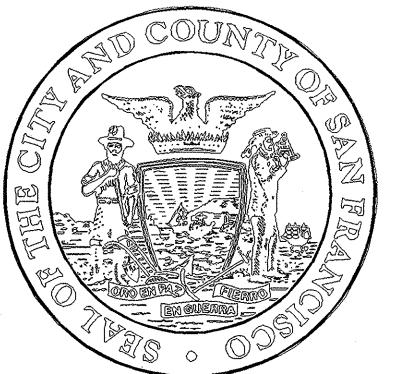
INTERIOR ELEVATIONS

Sheet No.

A4.0

Scale: As indicated

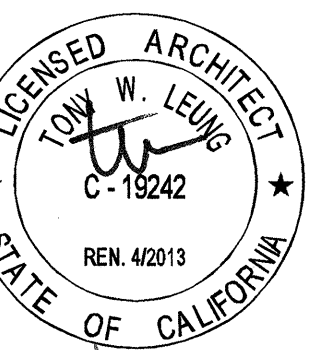
Job No. 3092V-2



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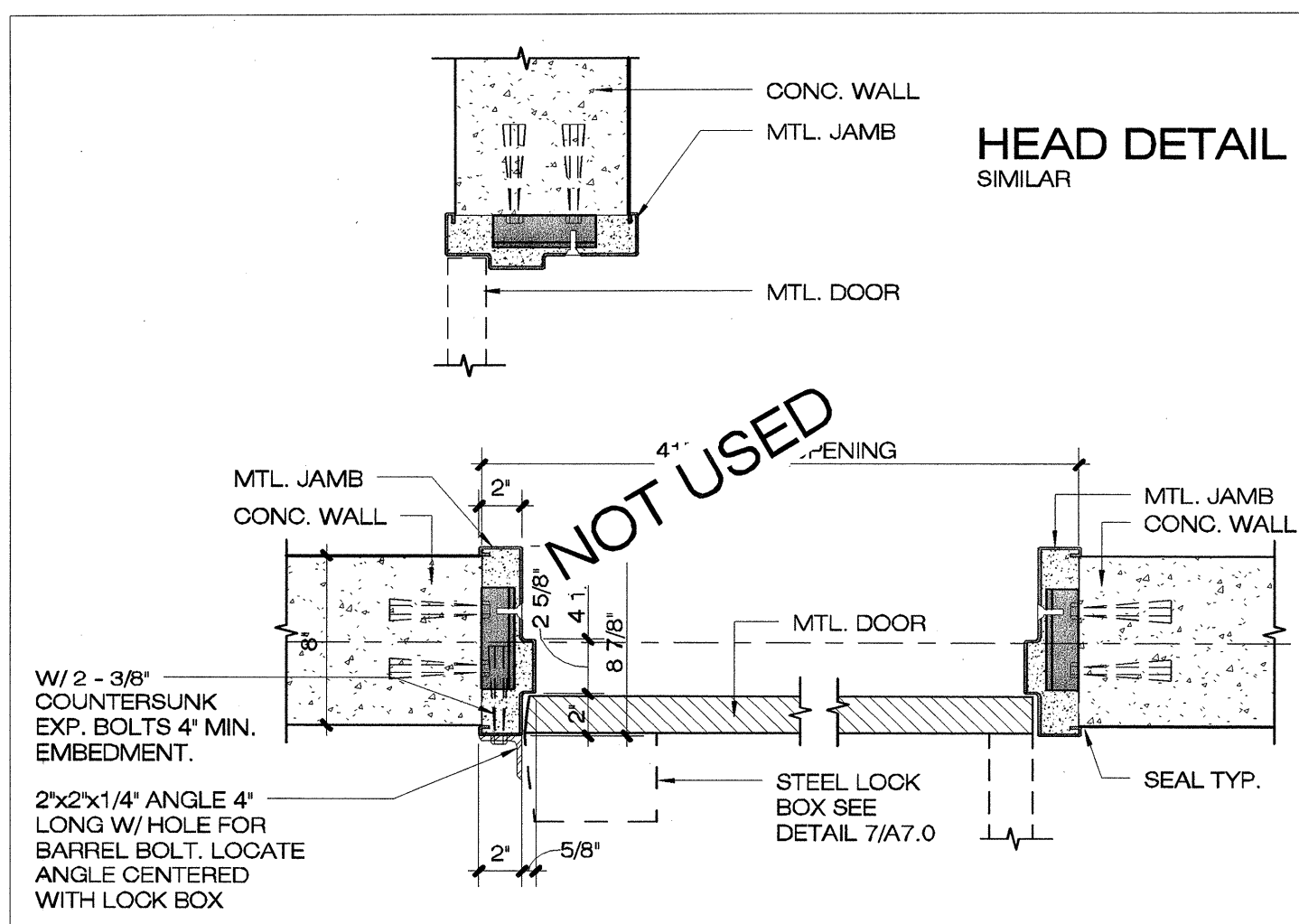
DOOR & WINDOW DETAILS

Sheet No.

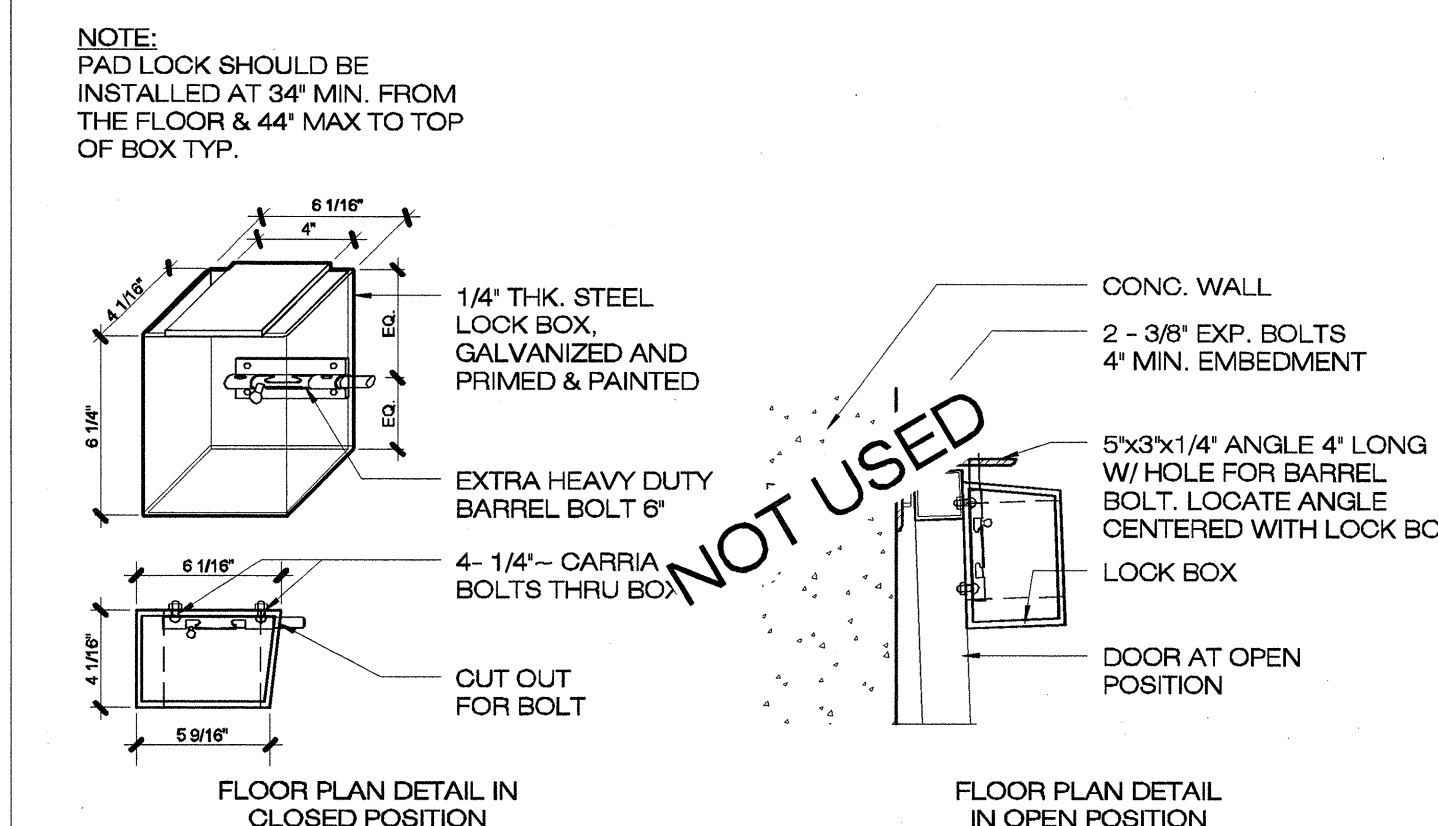
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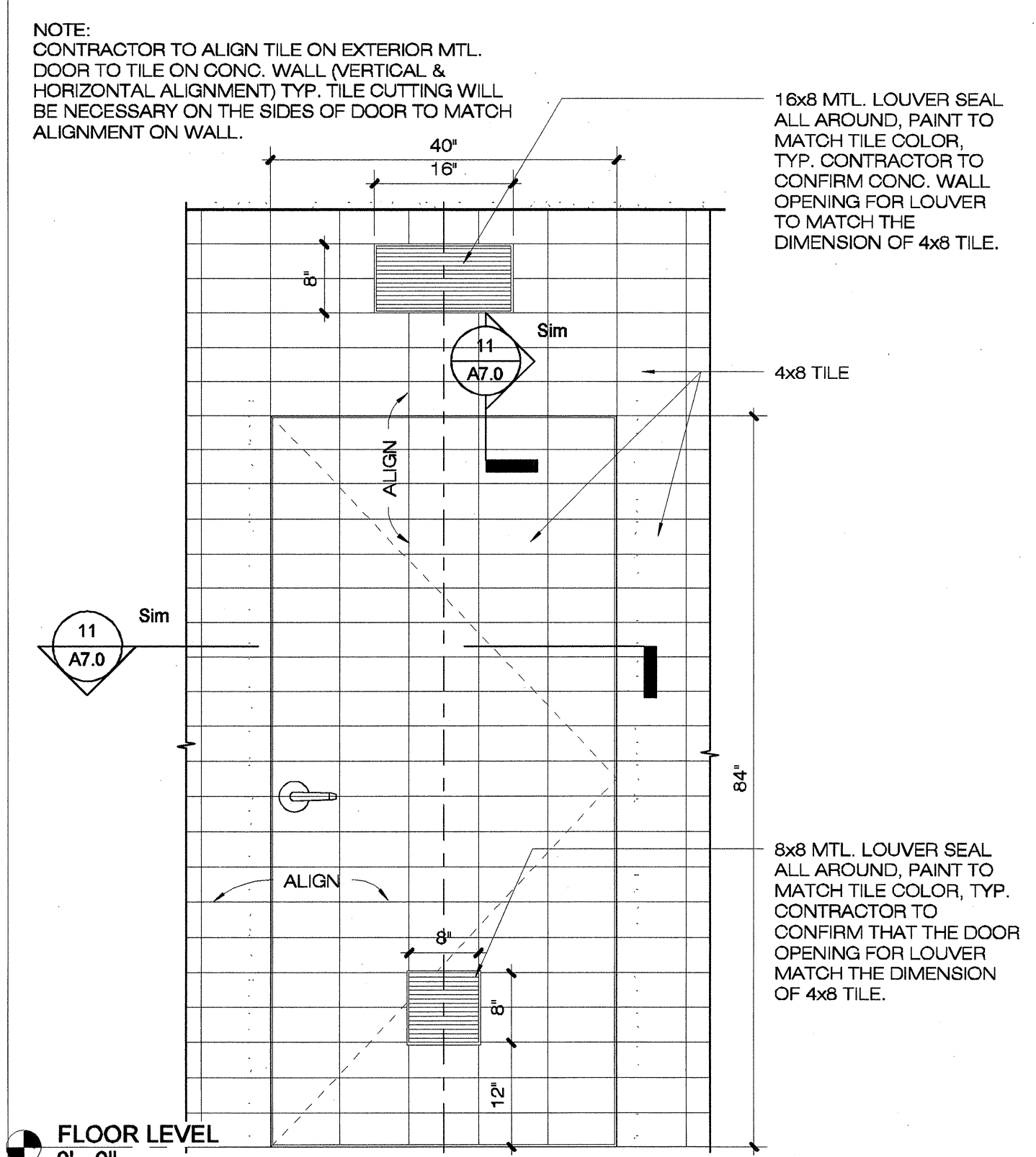
Job No. 3092V-2



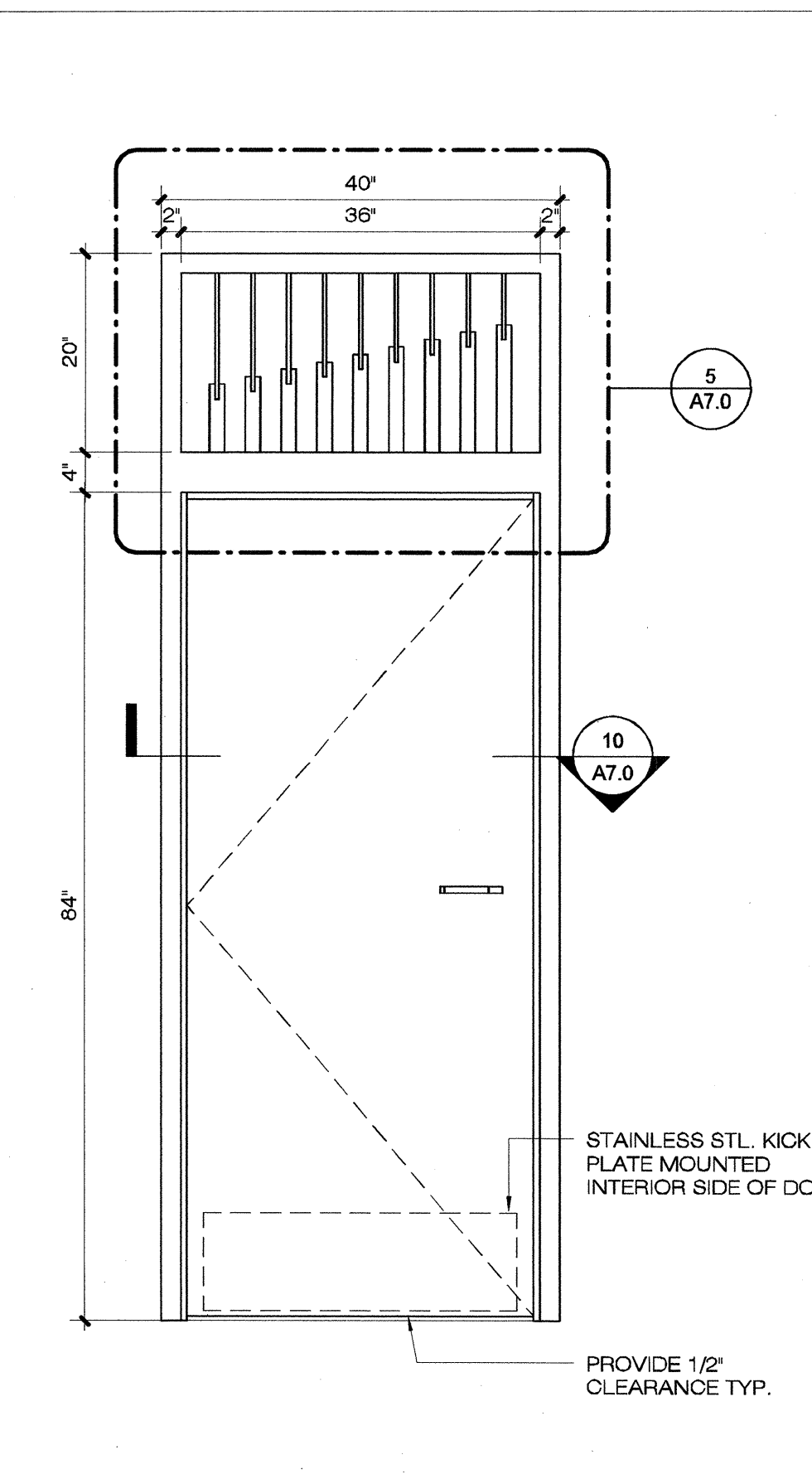
12 MTL. DOOR JAMB/ HEAD DETAIL
1 1/2" = 1'-0"



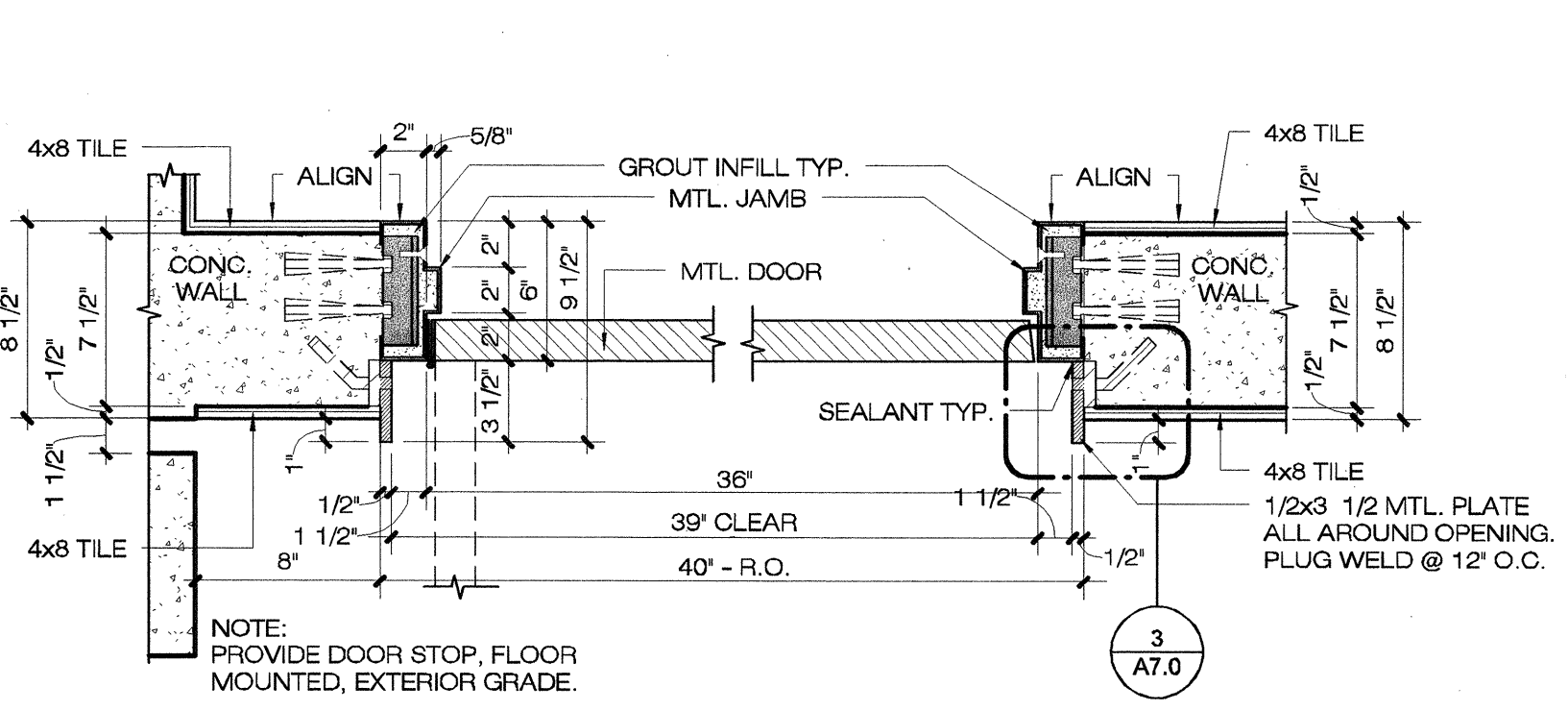
13 PADLOCK BOX DET. TYP.
1 1/2" = 1'-0"



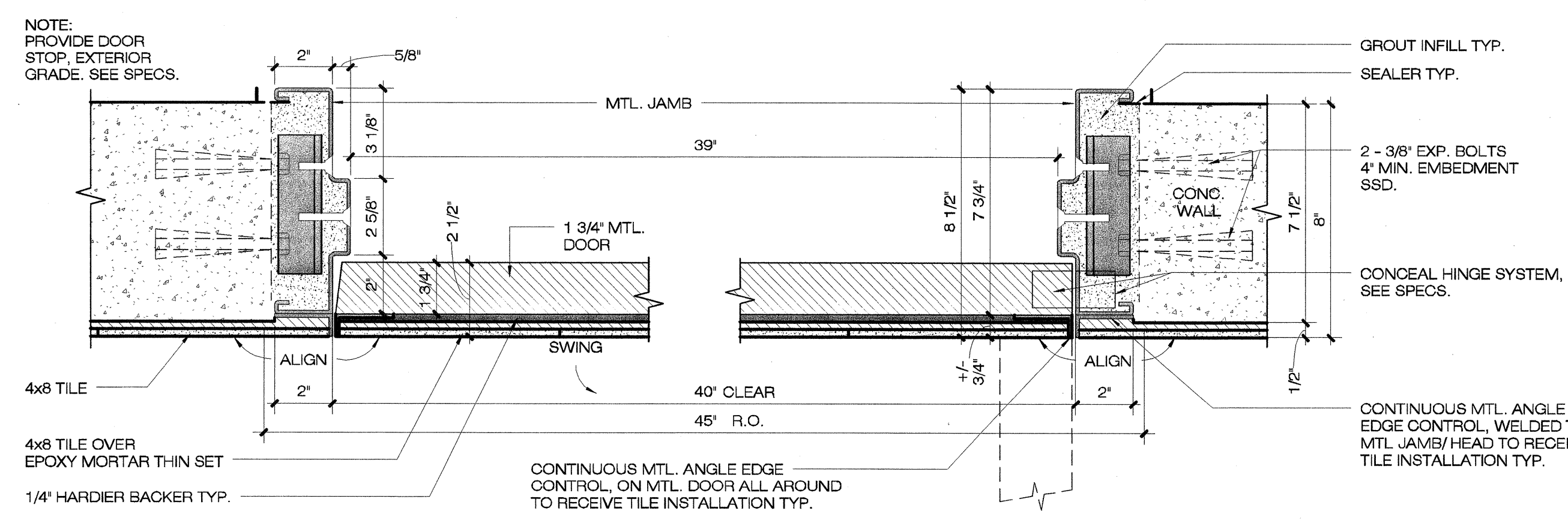
4 PLUMBING CHASE DOOR ELEVATION
3/4" = 1'-0"



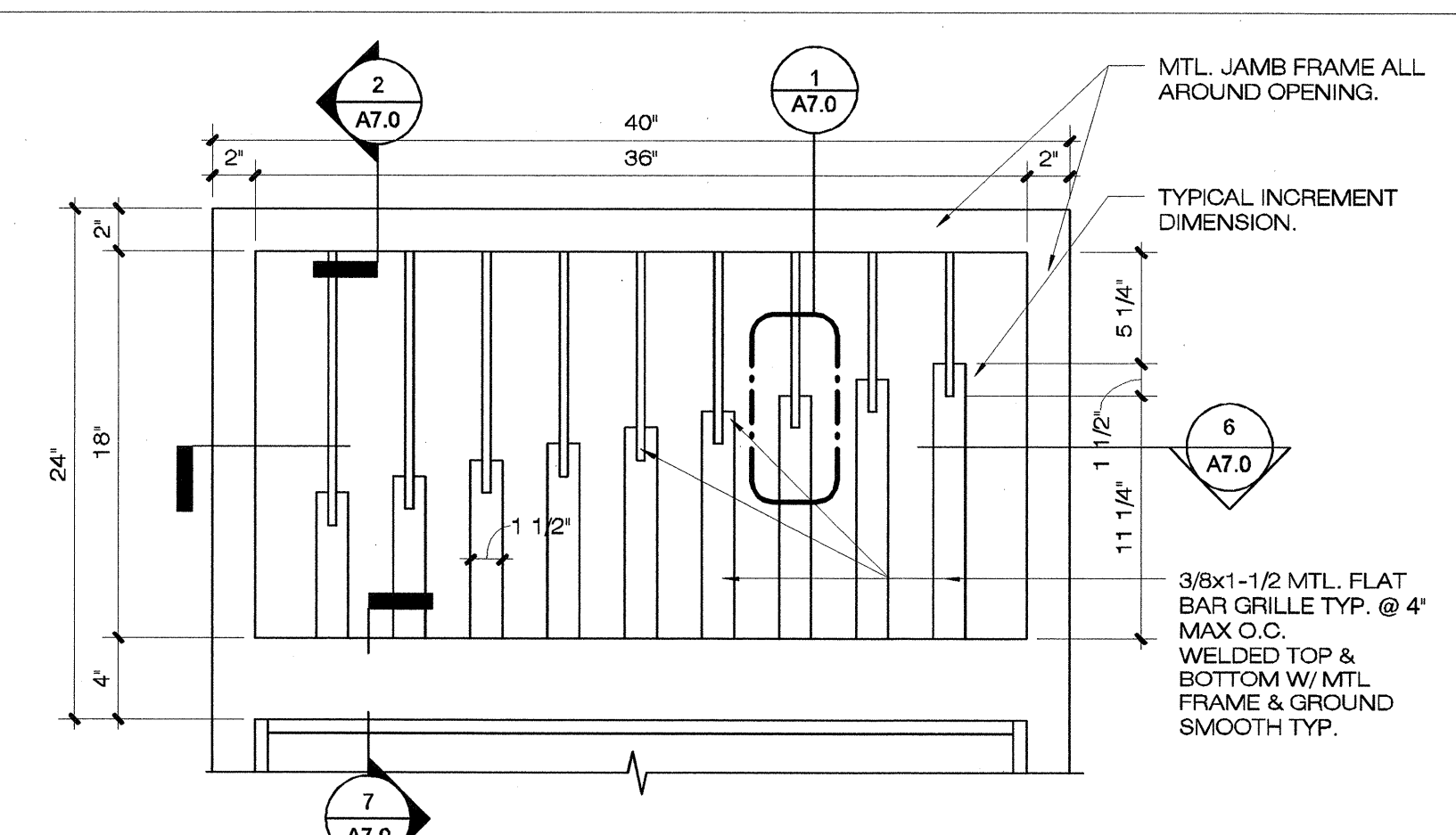
9 MTL. DOOR DETAIL
3/4" = 1'-0"



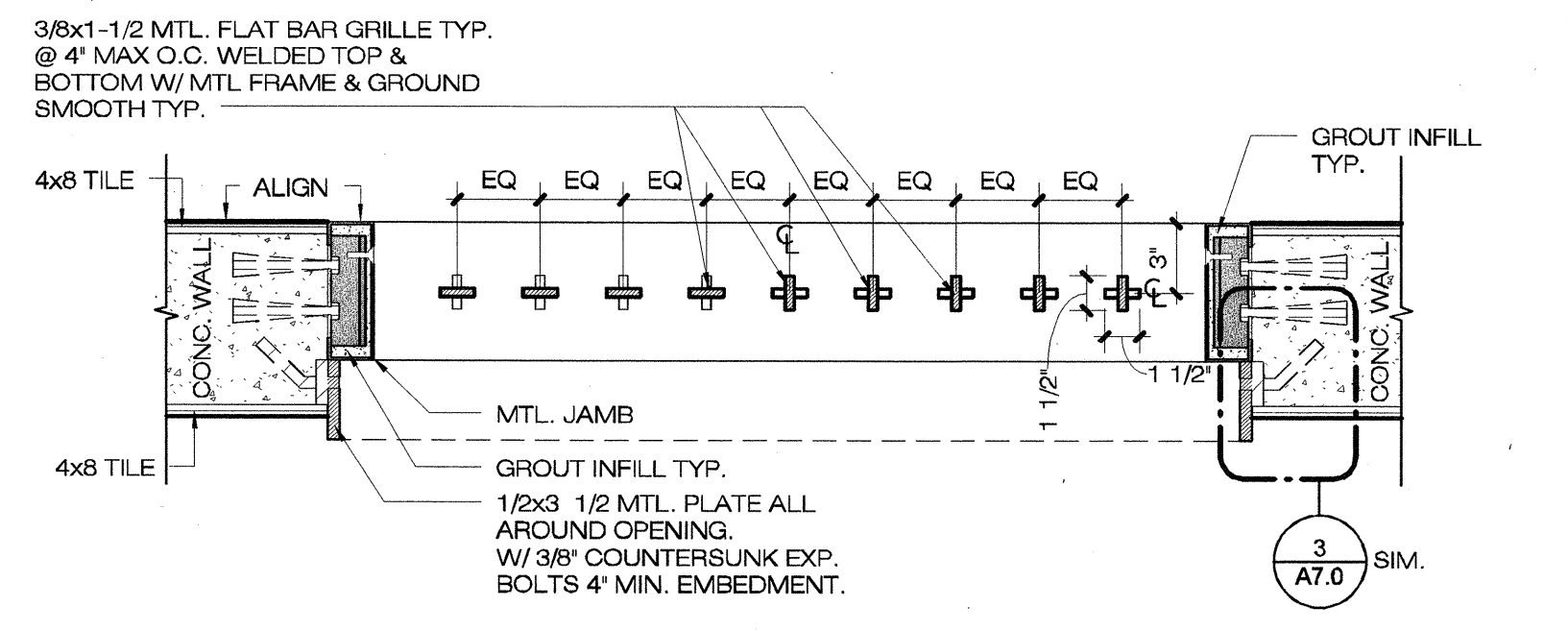
10 MTL. DOOR - JAMB
1 1/2" = 1'-0"



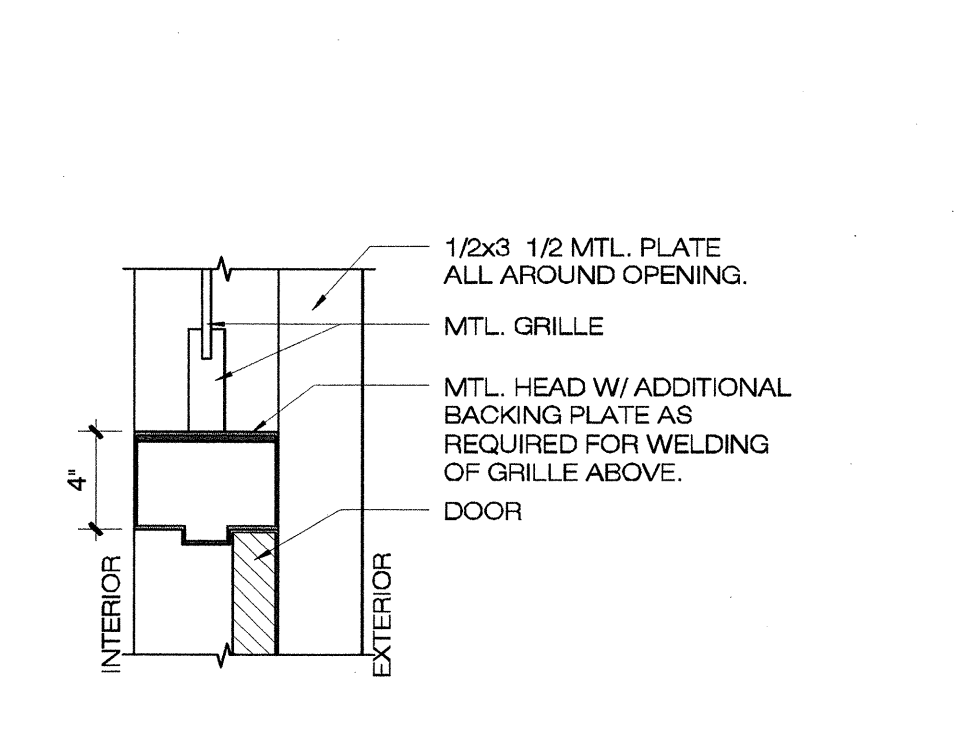
11 PLUMBING CHASE DOOR JAMB/ HEAD DETAIL
3" = 1'-0"



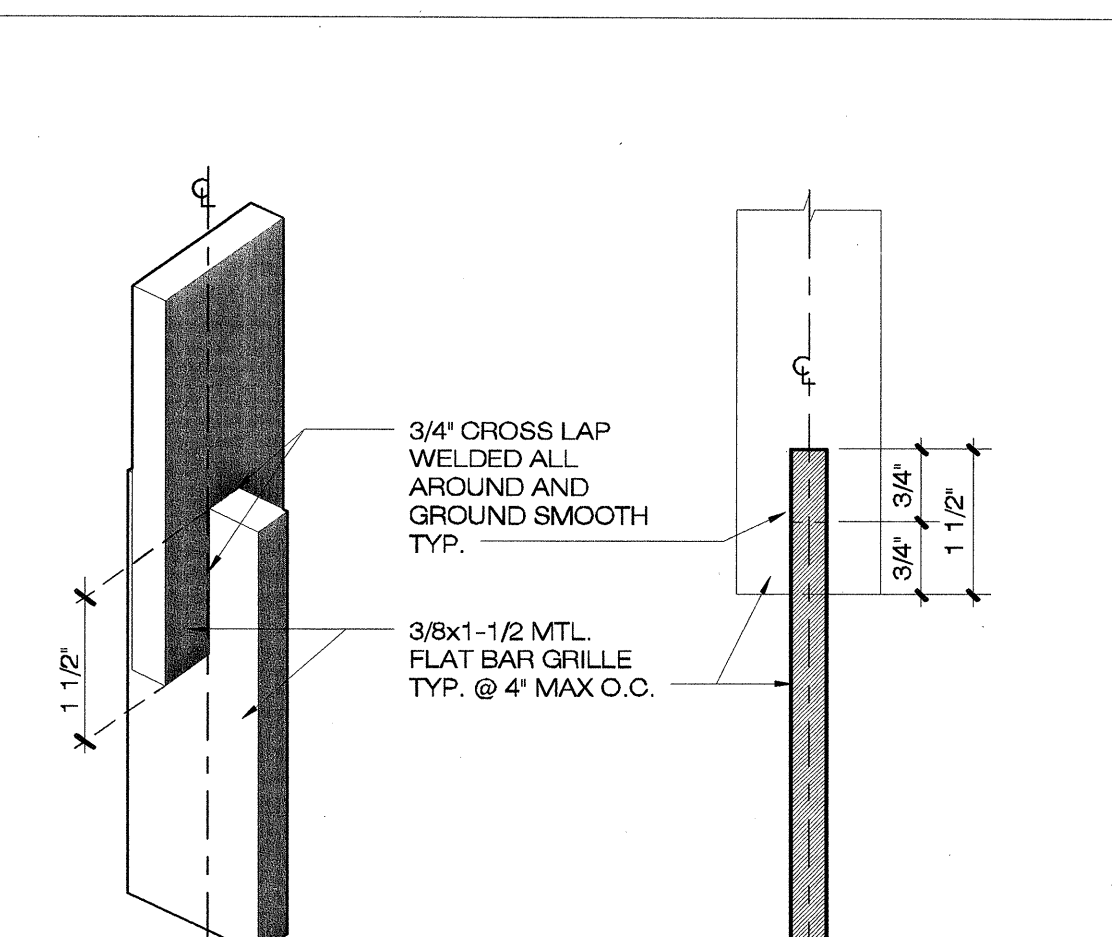
5 MTL. DOOR DETAIL - UPPER GRILLE
1 1/2" = 1'-0"



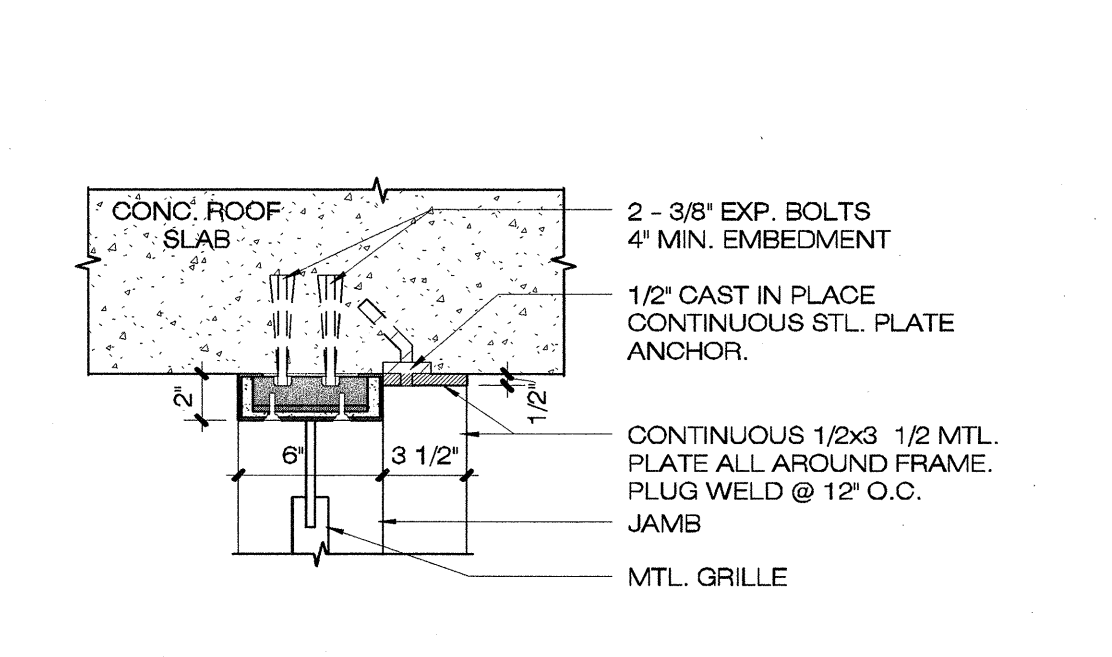
6 MTL. WINDOW GRILLE
1 1/2" = 1'-0"



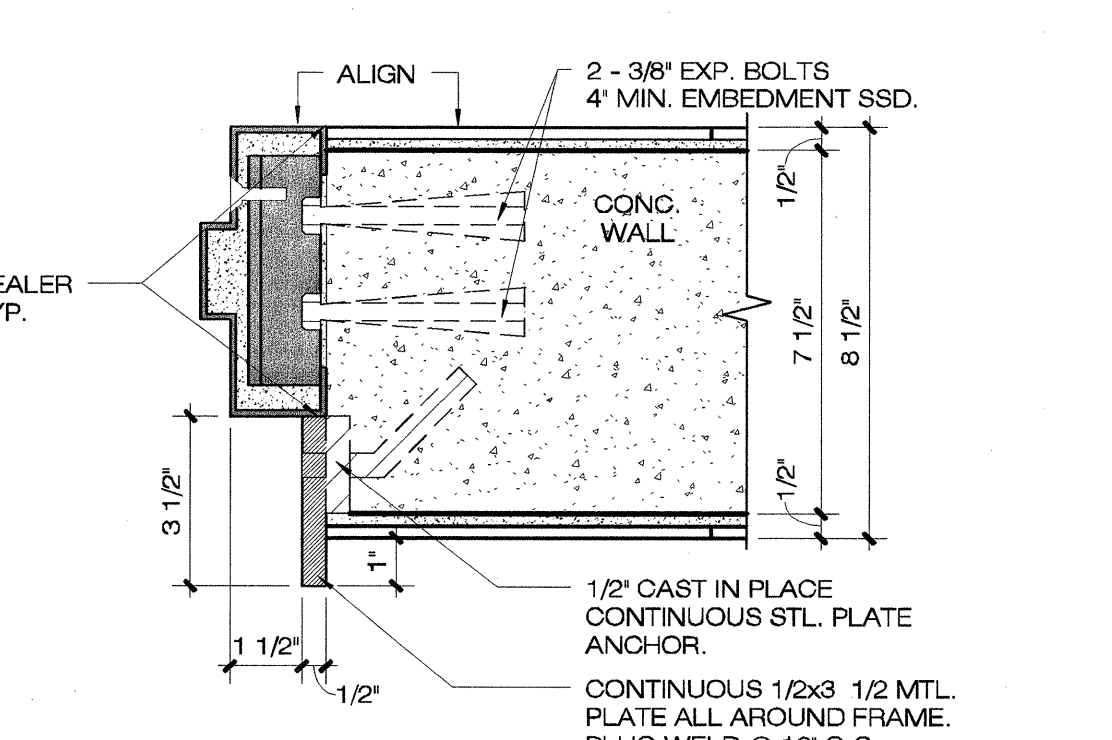
7 HEAD DETAIL
1 1/2" = 1'-0"



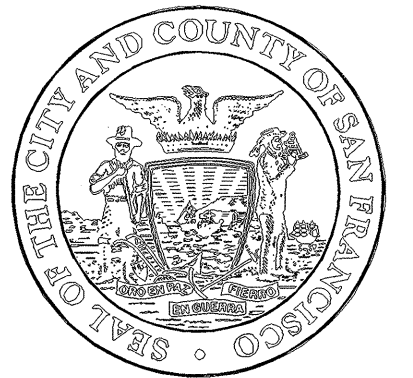
1 MTL GRILLE DETAIL
6" = 1'-0"



2 MTL WINDOW - HEAD DETAIL
1 1/2" = 1'-0"



3 MTL DOOR - ANCHOR DETAIL
3" = 1'-0"



Architecture • Construction
Tara D. Lamont - Acting Deputy Division Manager
30 Van Ness Avenue, Suite 4100
San Francisco, CA 94102-6028 Fax (415)557-4701 (415)557-4700

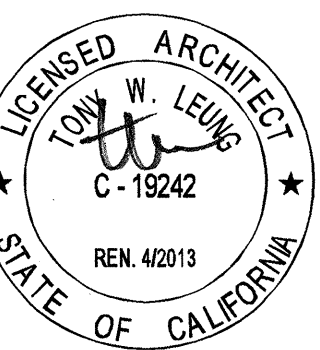
Project
**2008 PARK BOND RESTROOM
REPLACEMENT PROJECT
CONTEMPORARY DESIGN**
DUPONT TENNIS COURTS RESTROOMS
340 31st Ave, San Francisco, CA 94121
Block No. 1403 - Lot No. 007

Consultant

BID SET

No.	Date	Revisions

Section Head T. LEUNG
Proj. Mgr. M. YEE
Proj. Arch. T. LEUNG
Drawn A. P.
Date SEP 2012
Phase



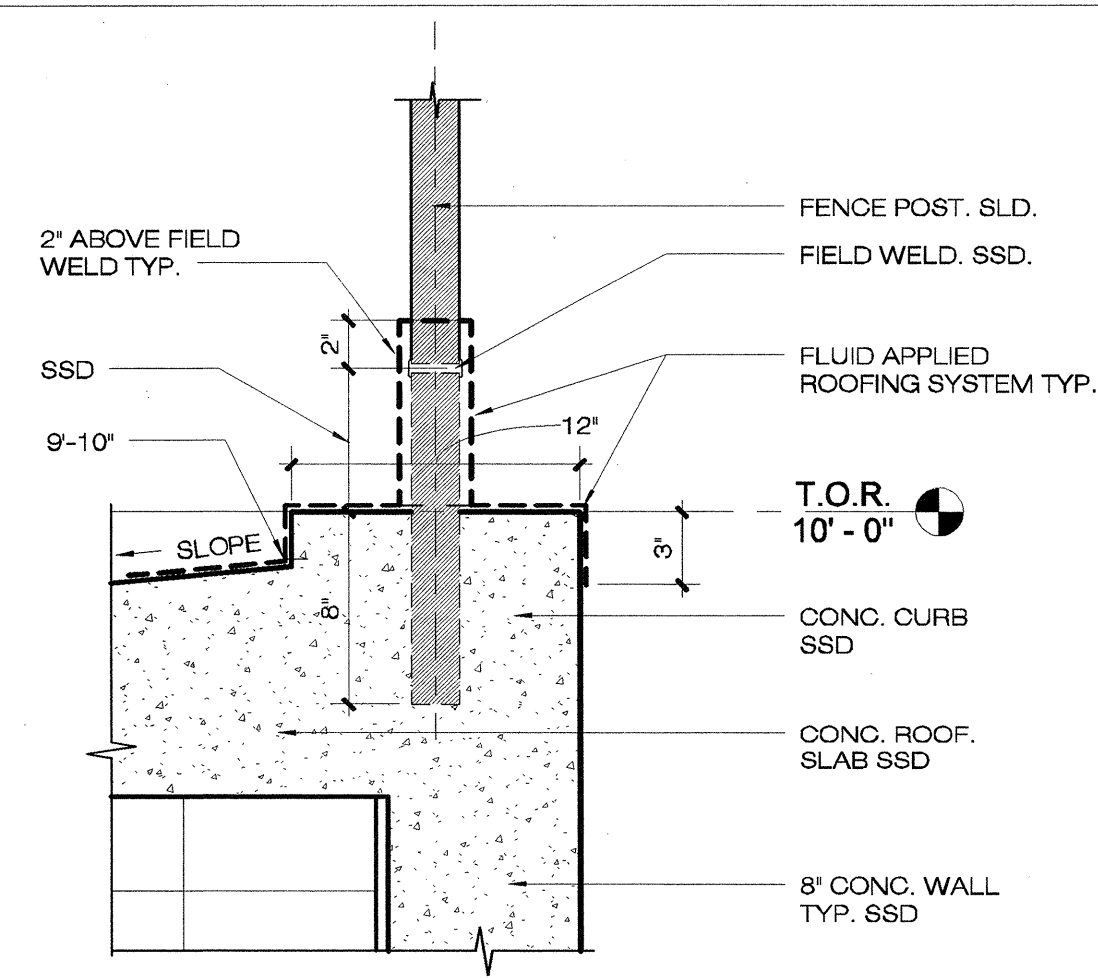
Drawing Title

EXTERIOR DETAILS

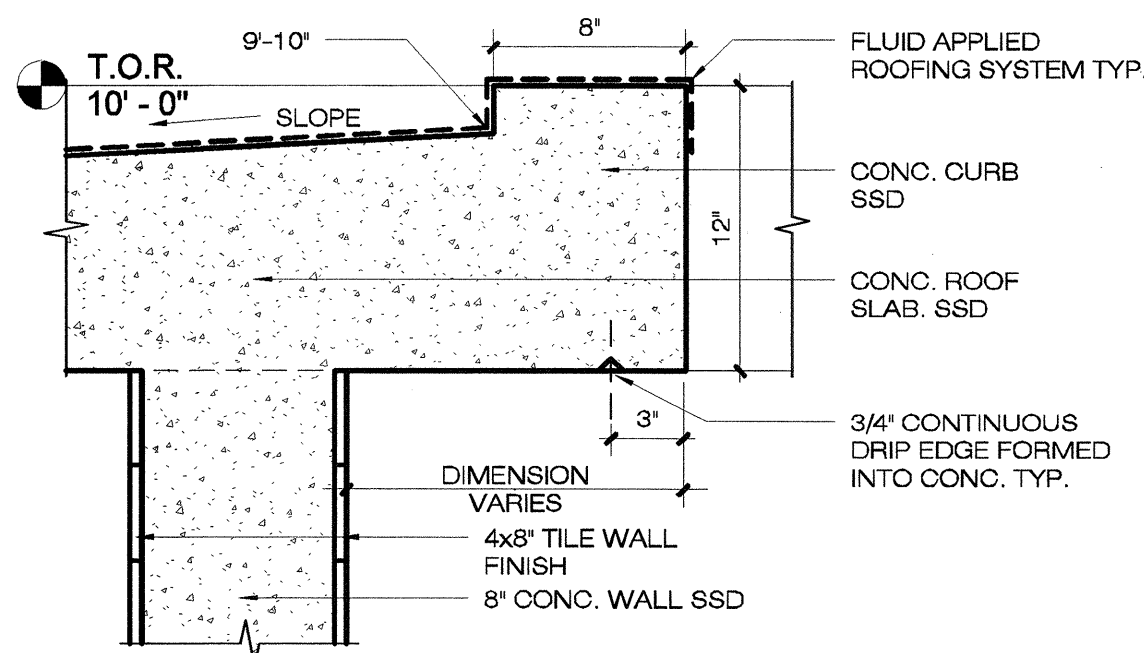
Sheet No.

A8.0

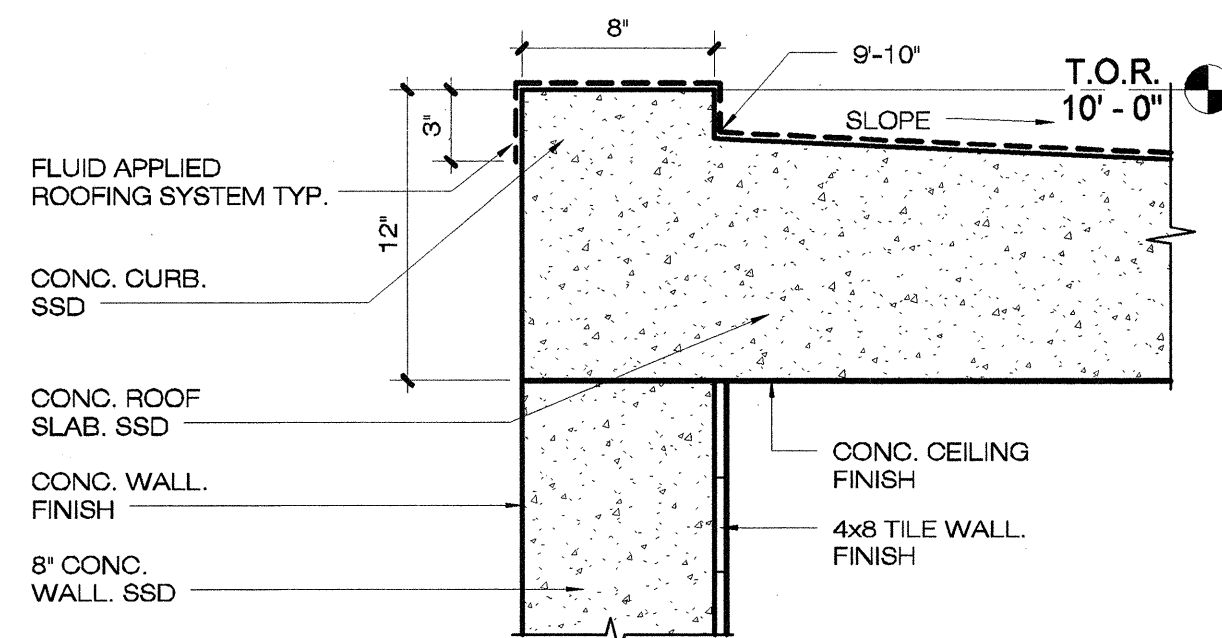
Job No. Scale: As indicated
3092V-2



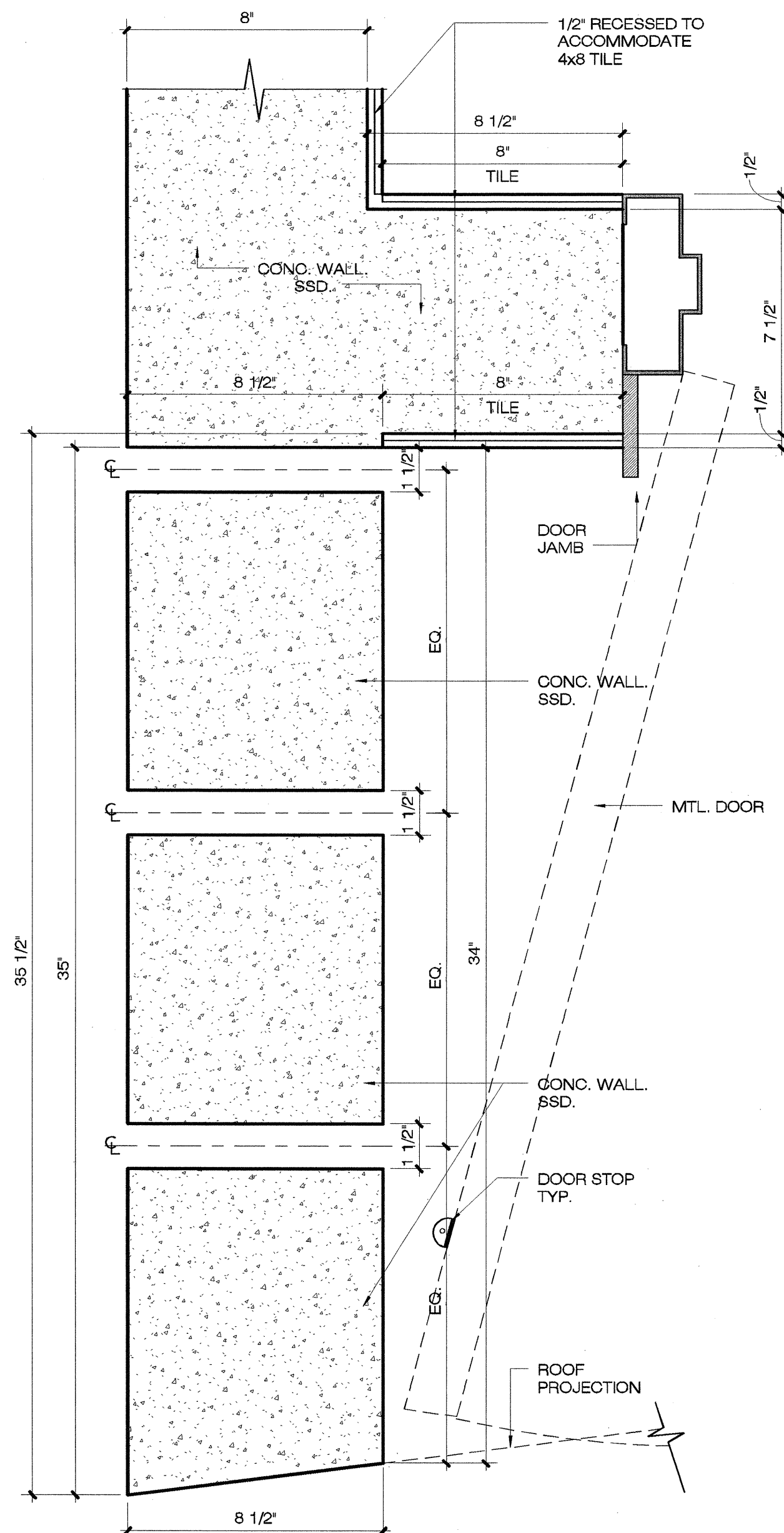
8 ROOF DETAIL 1
1 1/2" = 1'-0"



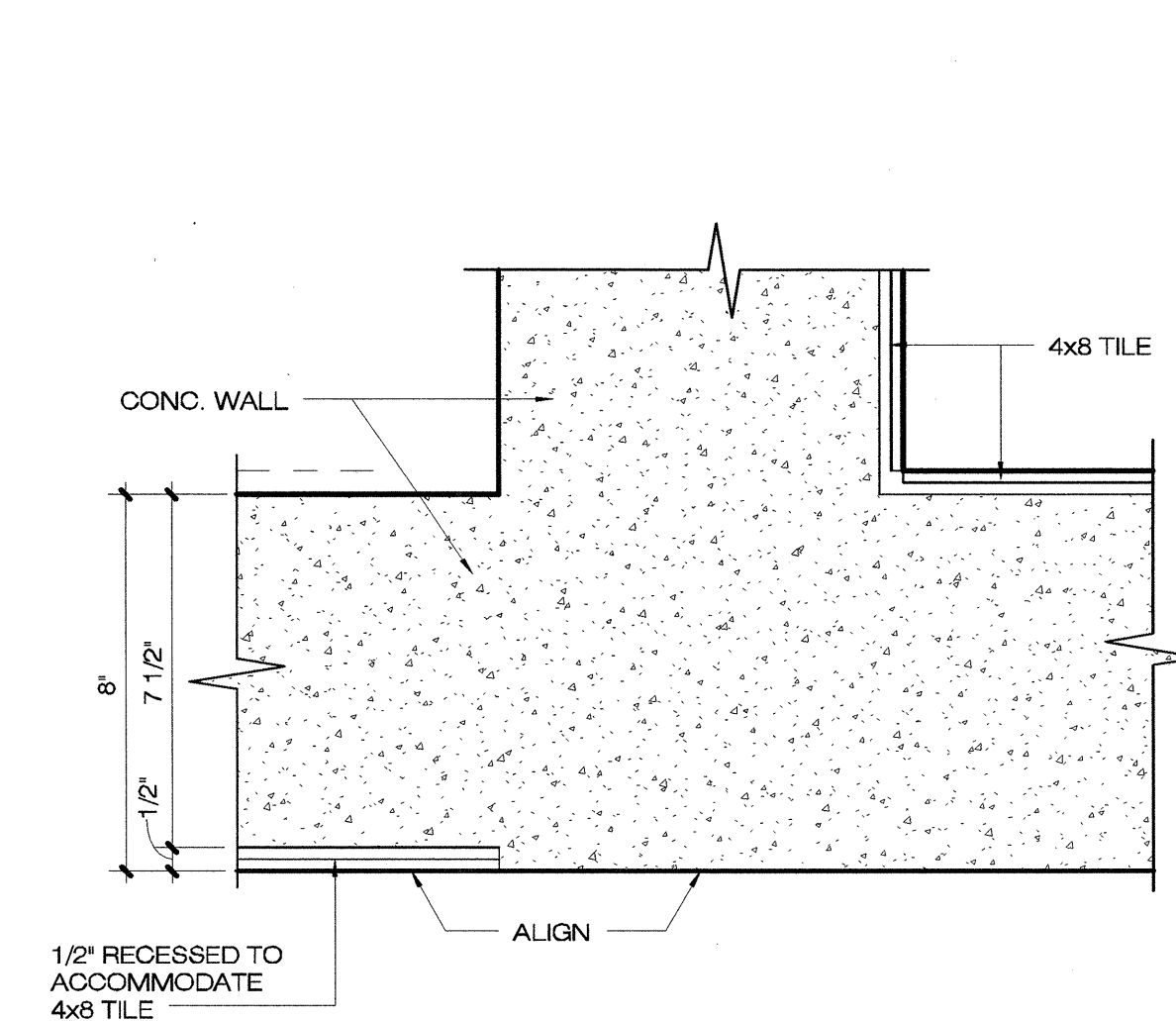
9 ROOF DETAIL 2
1 1/2" = 1'-0"



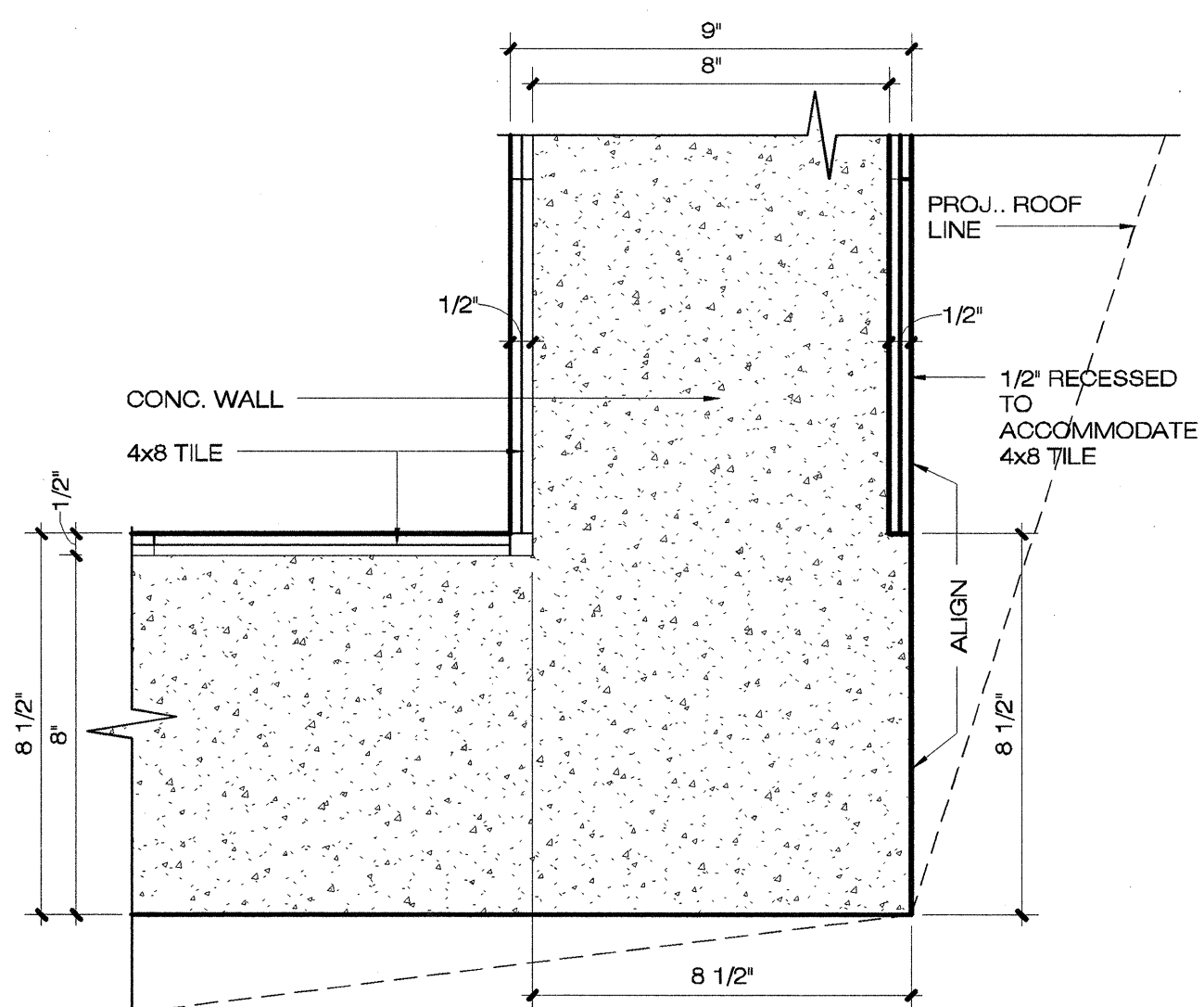
10 ROOF DETAIL 3
1 1/2" = 1'-0"



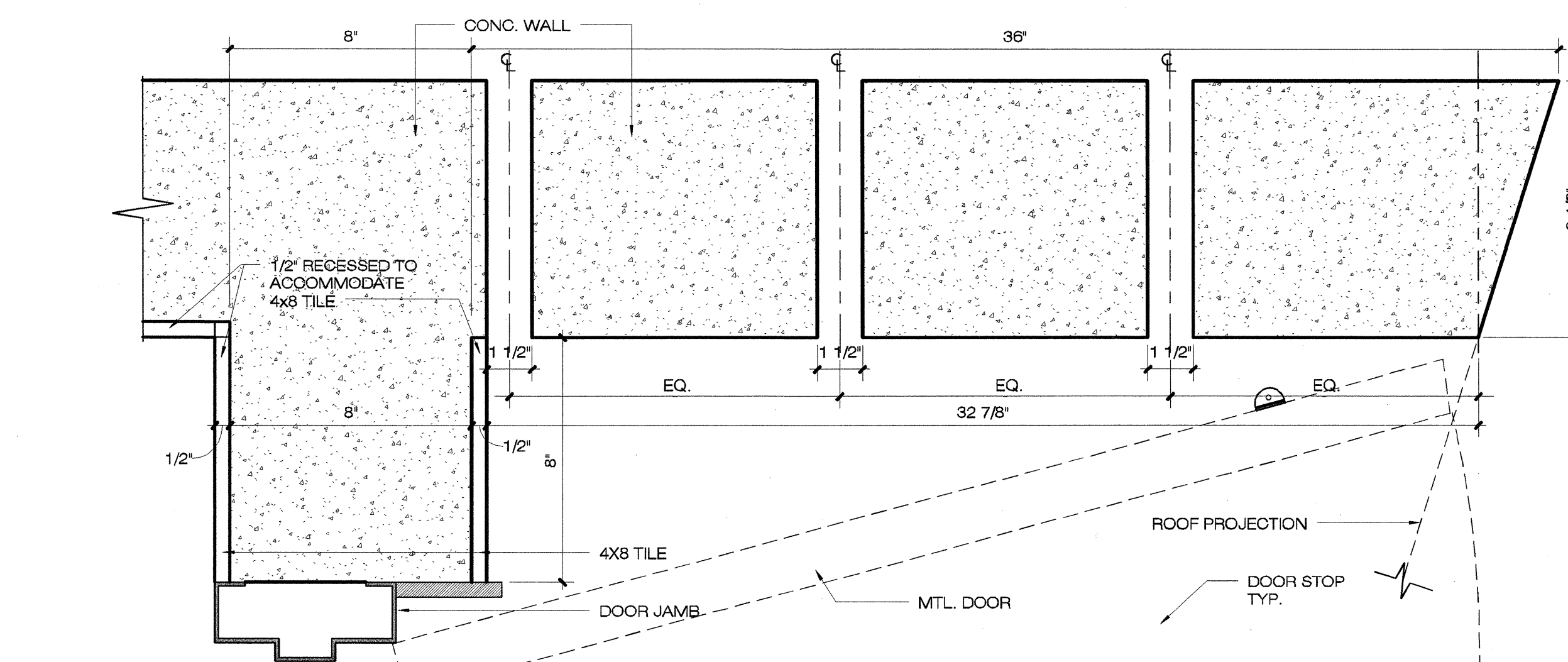
6 WALL DETAIL 2
3" = 1'-0"



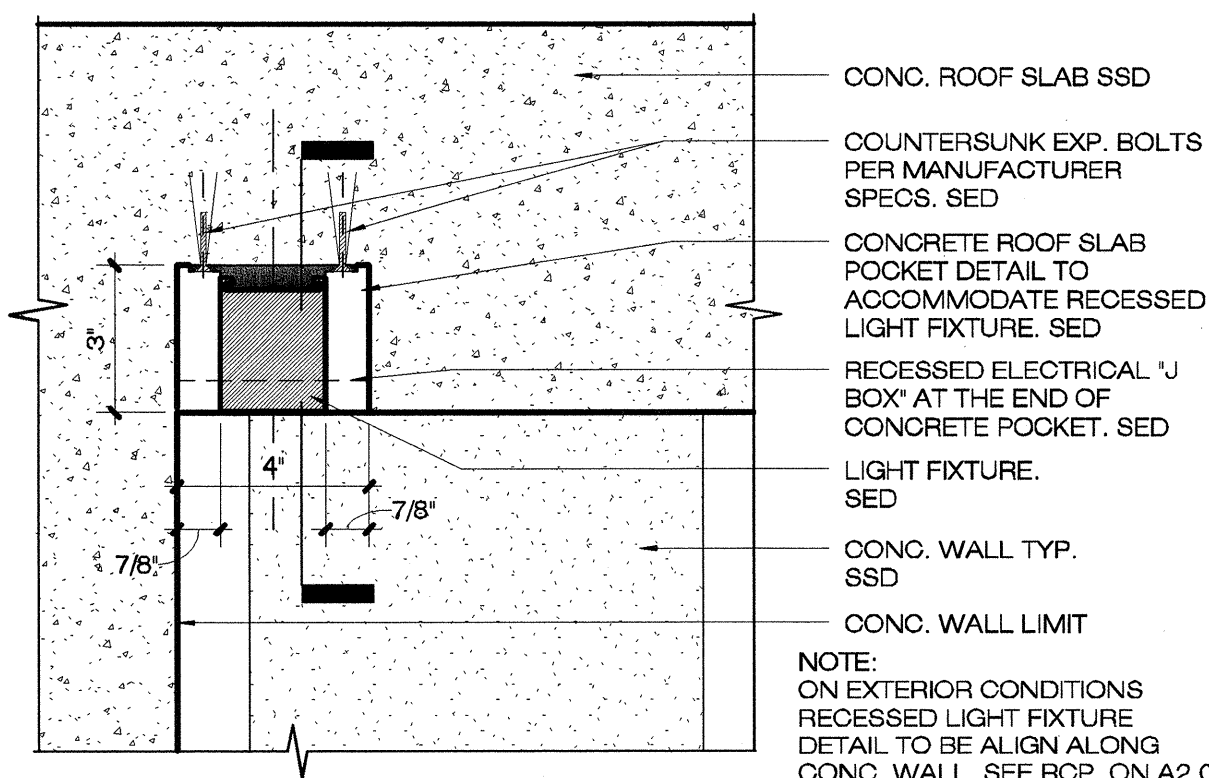
1 DETAIL - TILE TRANSITION 1
3" = 1'-0"



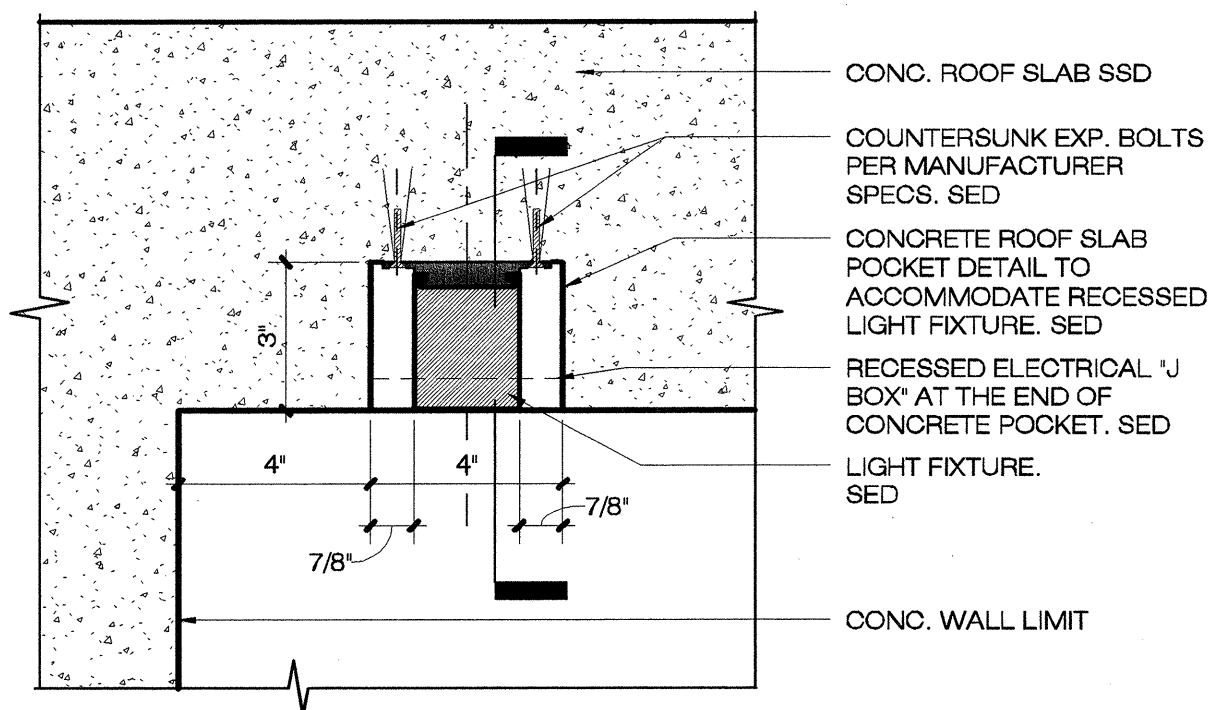
2 DETAIL - TILE TRANSITION 2
3" = 1'-0"



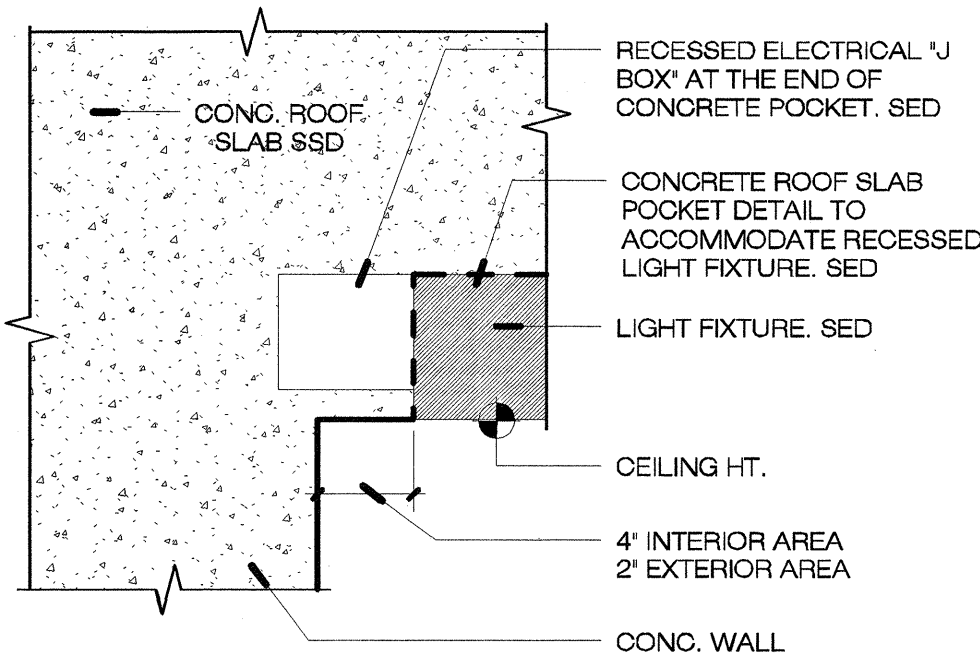
7 WALL DETAIL 1
3" = 1'-0"



13 RECESSED LIGHT FIXTURE
DETAIL EXTERIOR CONDITION
3" = 1'-0"



14 RECESSED LIGHT FIXTURE DETAIL
3" = 1'-0"



ACCESSIBILITY COMPLIANCE LETTER

DEPARTMENT OF PUBLIC WORKS
Office of the Disability Access Coordinator
30 Van Ness Avenue, 5th floor
San Francisco, CA 94102-6020
(415) 557-4685

City Projects

CITY PROJECTS (All City owned or sponsored projects must complete the items listed below.)

The owner of this project is the City and County of San Francisco and is responsibly charged by

DEPARTMENT OF RECREATION AND PARKS
(Department / Agency)

TO: MARVIN YEE, Project Manager

FROM: Kevin Jensen, Disability Access Coordinator

SUBJECT: DISABILITY ACCESS QUALITY ASSURANCE REVIEW

PROJECT: DUPPONT TENNIS COURTS RESTROOMS REPLACEMENT PROJECT

CLIENT DEPARTMENT: DEPARTMENT OF RECREATION AND PARKS

DATE: ~~NOVEMBER 2011~~ 10/11/2012 (mjs)

THIS MEMO IS TO CONFIRM THAT I HAVE REVIEWED THE CONSTRUCTION DOCUMENTS AND THE APPLICABLE FEDERAL AND STATE REQUIREMENTS FOR ACCESSIBILITY FOR THE ABOVE NOTED PROJECT.

Sincerely,
Kevin Jensen
Kevin Jensen
Disability Access Coordinator
Department of Public Works

415.554.6799 TTY MOD@sfgov.org

dachecklist2007(v2.2)

DBI ACCESSIBILITY CHECKLIST

D.A. CHECKLIST (p. 1 of 2):

The address of the project is : DUPPONT TENNIS COURTS RESTROOMS

For ALL tenant improvement projects in commercial use spaces, this checklist is required to be reproduced on the plan set and signed.

- The proposed use of the project is PUBLIC RESTROOMS (e.g. Retail, Office, Restaurant, etc.)
- Describe the area of remodel, including which floor: One New Story Building
- The construction cost of this project *excluding* disabled access upgrades is \$ 200,000.00, which is (check one) more than / less than the Accessibility Threshold amount of \$ 132,536.28 based on the "2010 ENR Construction Cost Index" (The cost index & threshold are updated annually).
- Is this a City project and/or does it receive public funding? Check one: Yes / No Note: If Yes, then see Step 3 on the Instructions page for additional forms required.

- Conditions below must be fully documented by accompanying drawings**
5. Read A through G below carefully and check the most applicable box (one box only):
- A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required.
 - B: All existing conditions serving the area of remodel that do not fully comply with access requirements will be fully upgraded with this project.
 - C: Proposed project (check one) is less than the threshold / is over the threshold & falls under CBC 1134B.2.1 Ex. 2; Partial upgrades, including Equivalent Facilitation will be provided up to 20% of the project value as itemized on Form C. Priority of upgrades are to be considered in the order listed on p. 2 of the D.A. Checklist. Fill out Hardship request form(s) for non-fully complying items, including for Equivalent Facilitation items. Checking box C means there are still non-complying items serving the area of remodel.
 - D: Access features will either fully comply or be provided with Code defined Equivalent Facilitation. Submit an Unreasonable Hardship Request (UHR) for the Equivalent Facilitation items.
 - E: Hardship appeal to be filed with Access Appeals Commission (AAC). Note: Plan check of items not under AAC consideration will continue while resolution of AAC decision is sought.
 - F: Consisting only of Barrier Removal, Notice of Accessibility Violation (NOV) Compliance or Exempted Work; Fill out Form F.
 - G: Minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previous approved permit application here: _____ Description of revision: _____

dachecklist2007(v2.2)

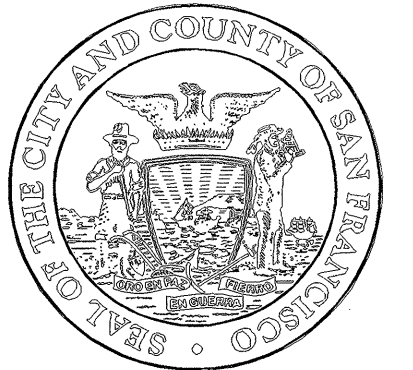
D.A. CHECKLIST (p. 2 of 2):

Check all applicable boxes and specify where on the drawings the details are shown:

Note: upgrades below are listed in priority based on CBC 1134B.2.1 Ex1	Existing Fully Complying	Upgrade to Full Compliance	Partial Upgrade / Hardship	Equivalent Facilitation/ Hardship	Hardship	None existing & not req'd by Code	Access Appeals Commission	Barrier Removal/ NOV	Location of detail(s)-include detail no. & drawing sheet (do not leave this part blank). Also clarification comments can be written here.
1. One accessible entrance serving the area of remodel. Note: This should be a primary entrance. Add'l upgrade may be required if it is not.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L1.1
2. An accessible route to the area of remodel									
2a. path of travel	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L1.1
2b. ramps	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L1.1
2c. elevator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
2d. stairs (if no elevator)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
2f. other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
3. At least one accessible restroom for each sex serving the area of remodel.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A2.0
4. Accessible public pay phone.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. Accessible drinking fountains (hi-low).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L-5.3
6. Signage.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A11.1
7. Visual Alarm.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8. Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Others: path from parking area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shower ON STREET	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
PASSANGER LOADING ZONE & CURB RAMP	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L-1.1/1.0

If details are provided from a set of City approved reference drawings, provide its permit application number here: _____

dachecklist2007(v2.2)



Architecture • Construction
Tara D. Lamont - Acting Deputy Division Manager
30 Van Ness Avenue, San Francisco, CA 94102-6028
Suite 4100, Fax (415) 557-4701, (415) 557-4700

Project _____

2008 PARK BOND RESTROOM REPLACEMENT PROJECT CONTEMPORARY DESIGN

DUPONT TENNIS COURTS RESTROOMS
336 31st Ave, San Francisco, CA 94121
Block No.1403 - Lot No. 007

Consultant _____

BID SET

No.	Date	Revisions

Section Head T. LEUNG
Proj. Mgr. M. YEE
Proj. Arch. T. LEUNG
Drawn AP/JG
Date SEP 2012
Phase _____



Drawing Title _____

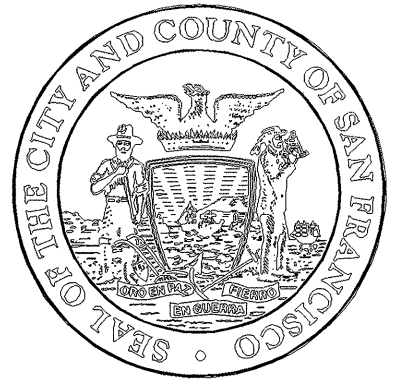
ACCESSIBILITY INFORMATION

Sheet No. _____

A11.0

Scale: 12" = 1'-0"

Job No. **3092V-2**



BID SET

No.	Date	Revisions

Section Head	T. LEUNG
Proj. Mgr.	M. YEE
Proj. Arch.	T. LEUNG
Drawn	A.P./J.G.
Date	SEP 2012
Phase	



Drawing Title

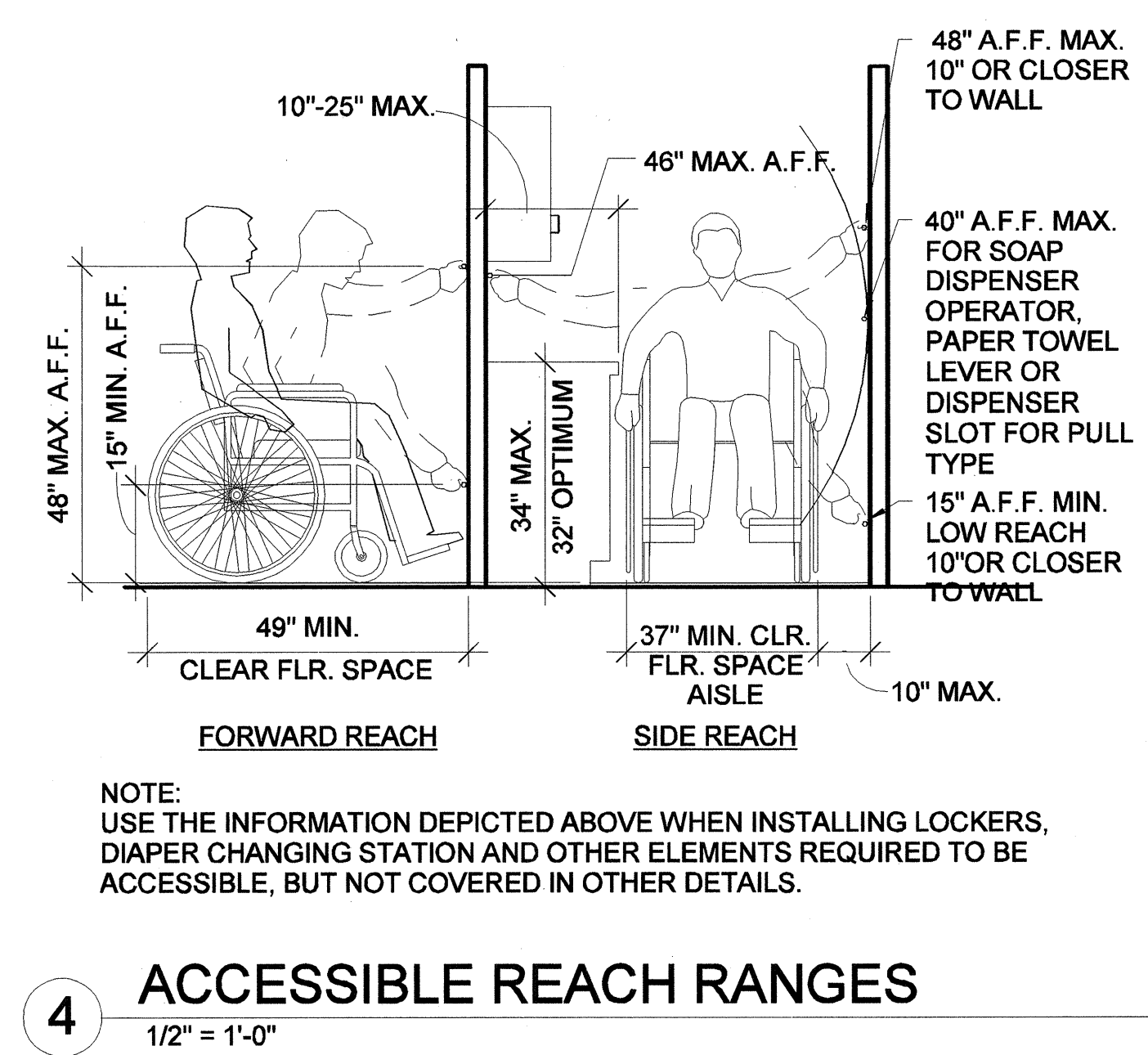
ACCESSIBILITY DETAILS

Sheet No.

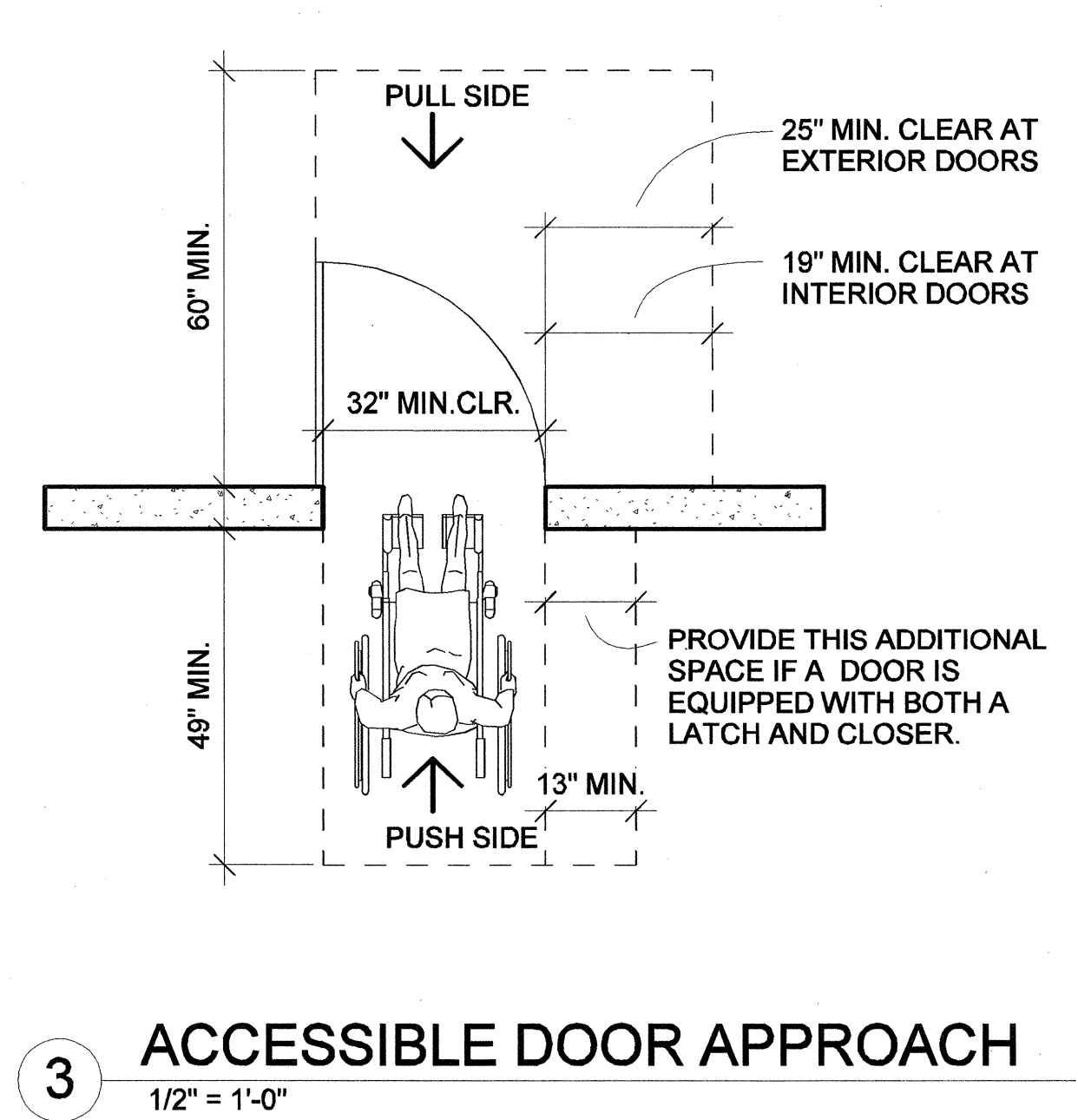
A11.1

Job No.

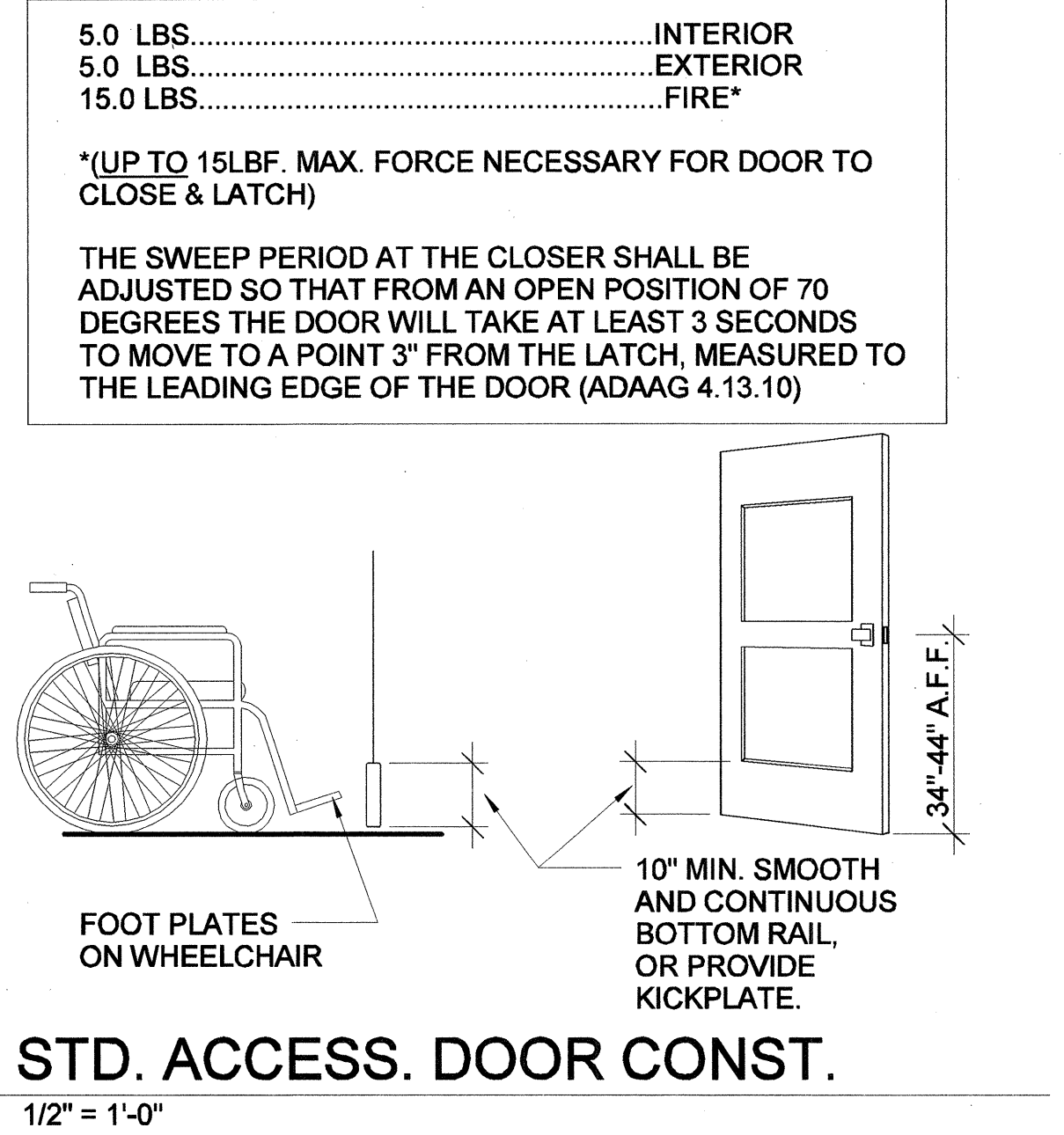
3092V-2



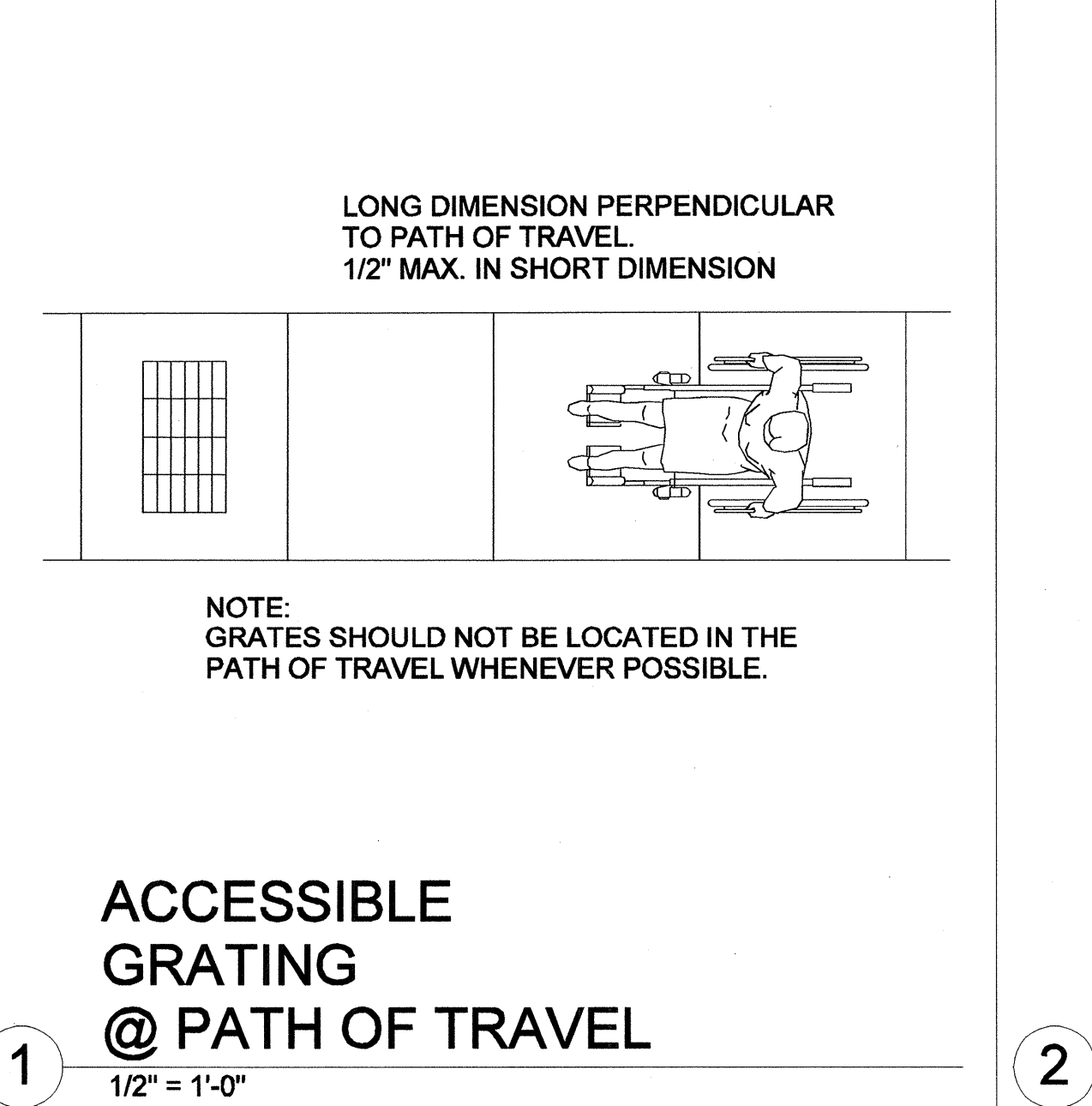
4 ACCESSIBLE REACH RANGES
1/2" = 1'-0"



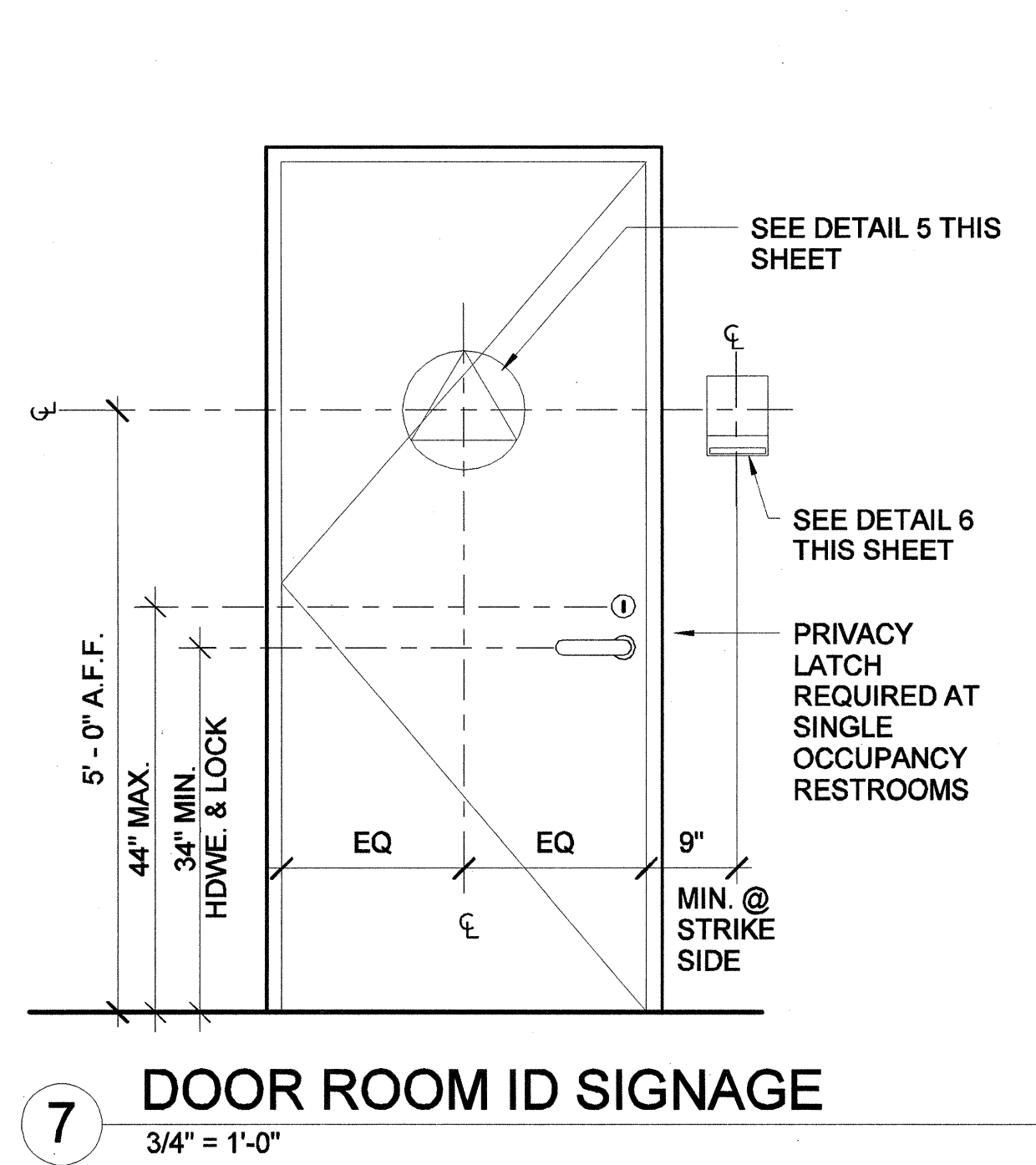
3 ACCESSIBLE DOOR APPROACH
1/2" = 1'-0"



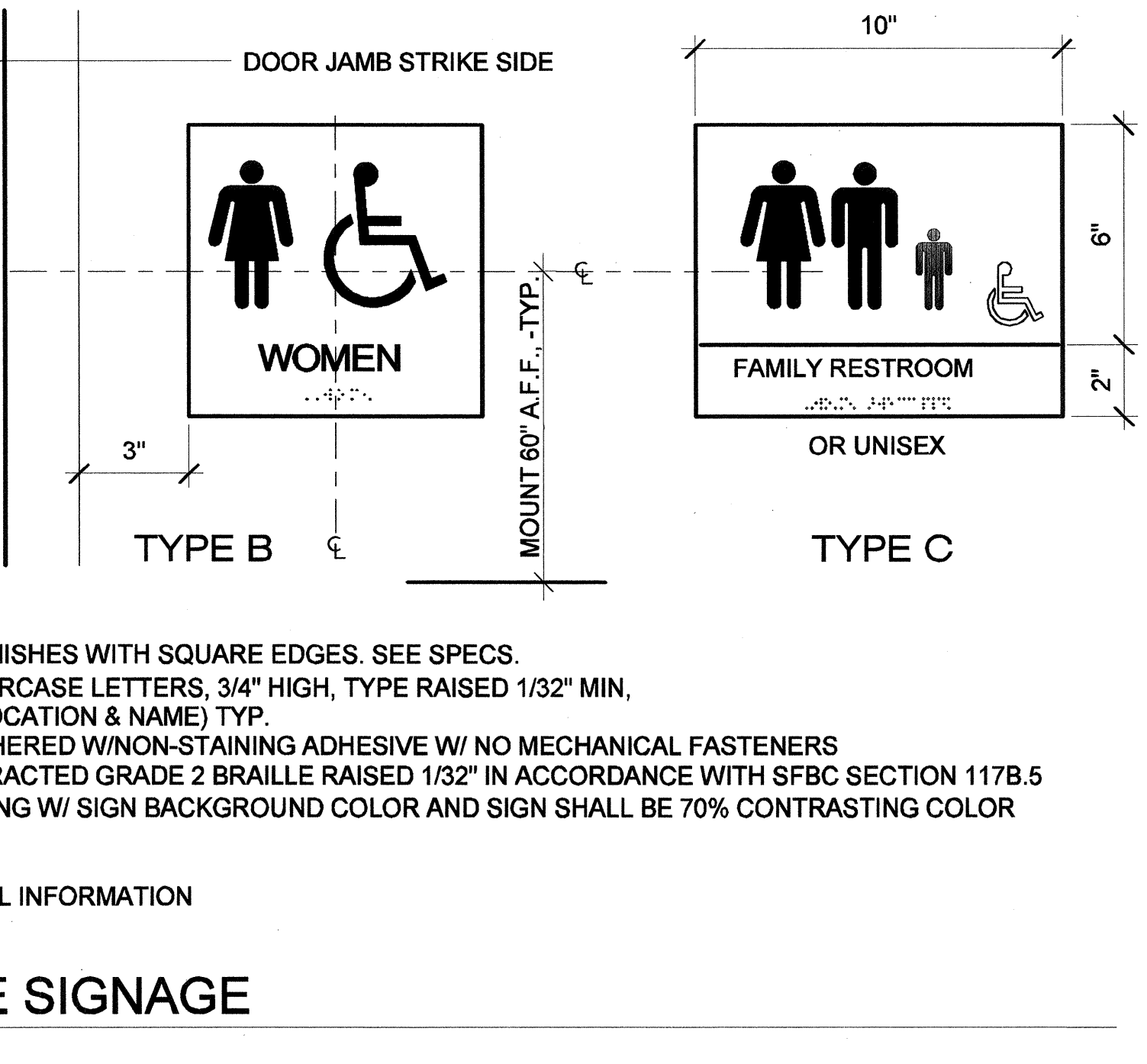
2 STD. ACCESS. DOOR CONST.
1/2" = 1'-0"



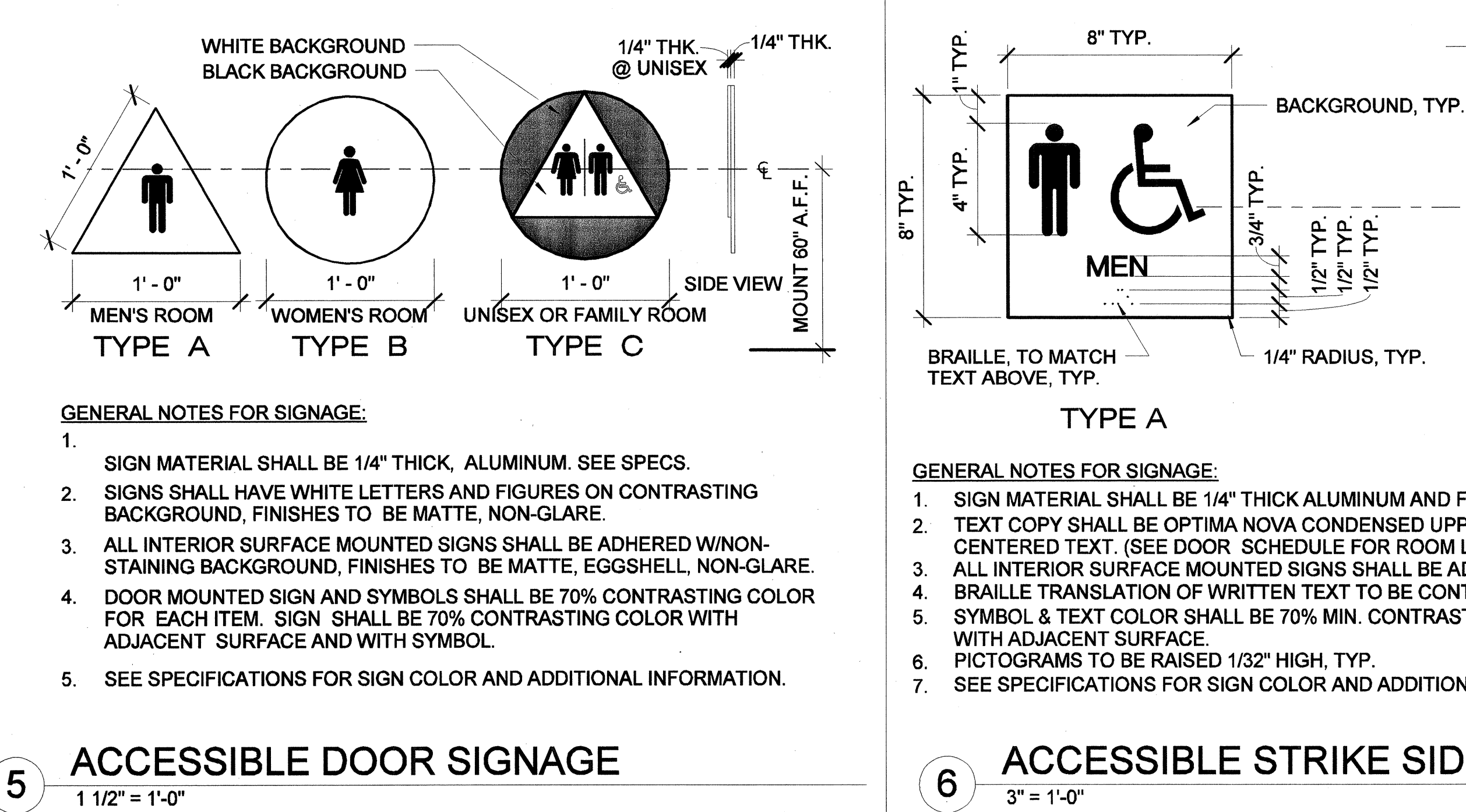
1 ACCESSIBLE GRATING @ PATH OF TRAVEL
1/2" = 1'-0"



7 DOOR ROOM ID SIGNAGE
3/4" = 1'-0"



6 ACCESSIBLE STRIKE SIDE SIGNAGE
3" = 1'-0"



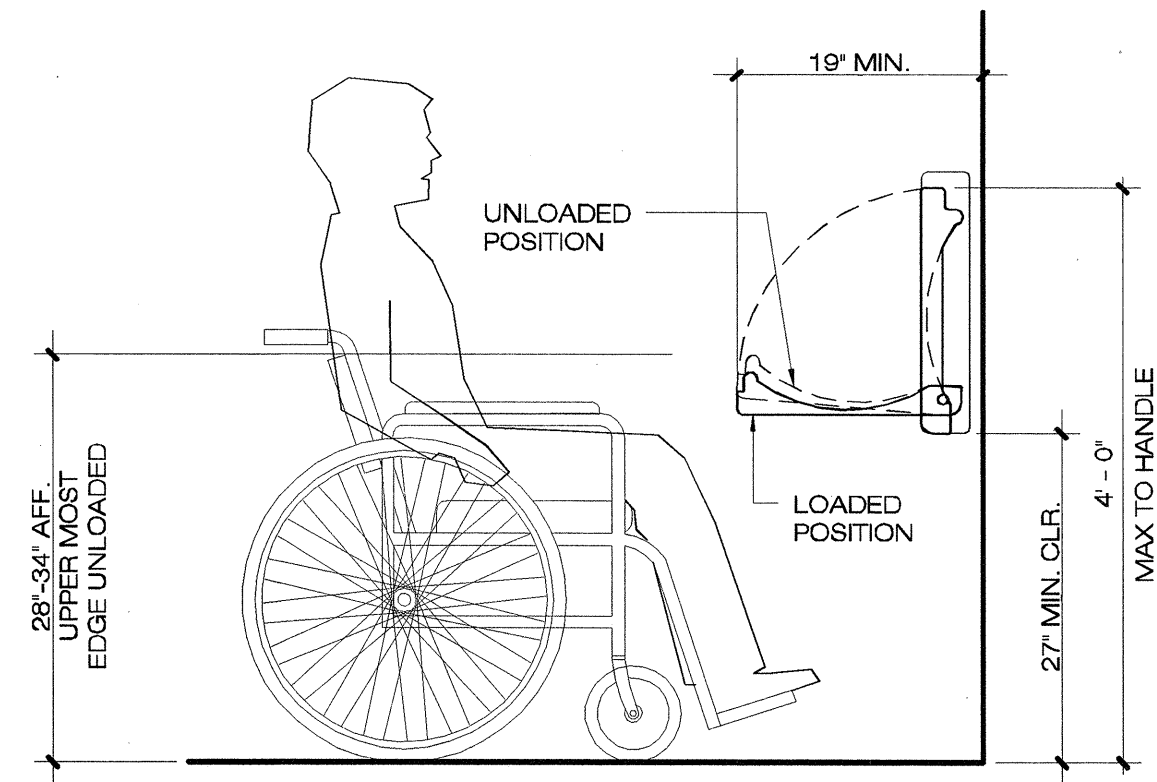
5 ACCESSIBLE DOOR SIGNAGE
1 1/2" = 1'-0"

- GENERAL NOTES FOR SIGNAGE:**
- SIGN MATERIAL SHALL BE 1/4" THICK ALUMINUM AND FINISHES WITH SQUARE EDGES. SEE SPECS.
 - TEXT COPY SHALL BE OPTIMA NOVA CONDENSED UPPERCASE LETTERS, 3/4" HIGH, TYPE RAISED 1/32" MIN, CENTERED TEXT. (SEE DOOR SCHEDULE FOR ROOM LOCATION & NAME) TYP.
 - ALL INTERIOR SURFACE MOUNTED SIGNS SHALL BE ADHERED W/ NON-STAINING ADHESIVE W/ NO MECHANICAL FASTENERS
 - BRILLE TRANSLATION OF WRITTEN TEXT TO BE CONTRACTED GRADE 2 BRILLE RAISED 1/32" IN ACCORDANCE WITH SFBC SECTION 117B.5
 - SYMBOL & TEXT COLOR SHALL BE 70% MIN. CONTRASTING W/ SIGN BACKGROUND COLOR AND SIGN SHALL BE 70% CONTRASTING COLOR WITH ADJACENT SURFACE.
 - PICTOGRAMS TO BE RAISED 1/32" HIGH, TYP.
 - SEE SPECIFICATIONS FOR SIGN COLOR AND ADDITIONAL INFORMATION

- GENERAL NOTES FOR SIGNAGE:**
- SIGN MATERIAL SHALL BE 1/4" THICK, ALUMINUM. SEE SPECS.
 - SIGNS SHALL HAVE WHITE LETTERS AND FIGURES ON CONTRASTING BACKGROUND, FINISHES TO BE MATTE, NON-GLARE.
 - ALL INTERIOR SURFACE MOUNTED SIGNS SHALL BE ADHERED W/ NON-STAINING BACKGROUND, FINISHES TO BE MATTE, EGGSHELL, NON-GLARE.
 - DOOR MOUNTED SIGN AND SYMBOLS SHALL BE 70% CONTRASTING COLOR FOR EACH ITEM. SIGN SHALL BE 70% CONTRASTING COLOR WITH ADJACENT SURFACE AND WITH SYMBOL.
 - SEE SPECIFICATIONS FOR SIGN COLOR AND ADDITIONAL INFORMATION.

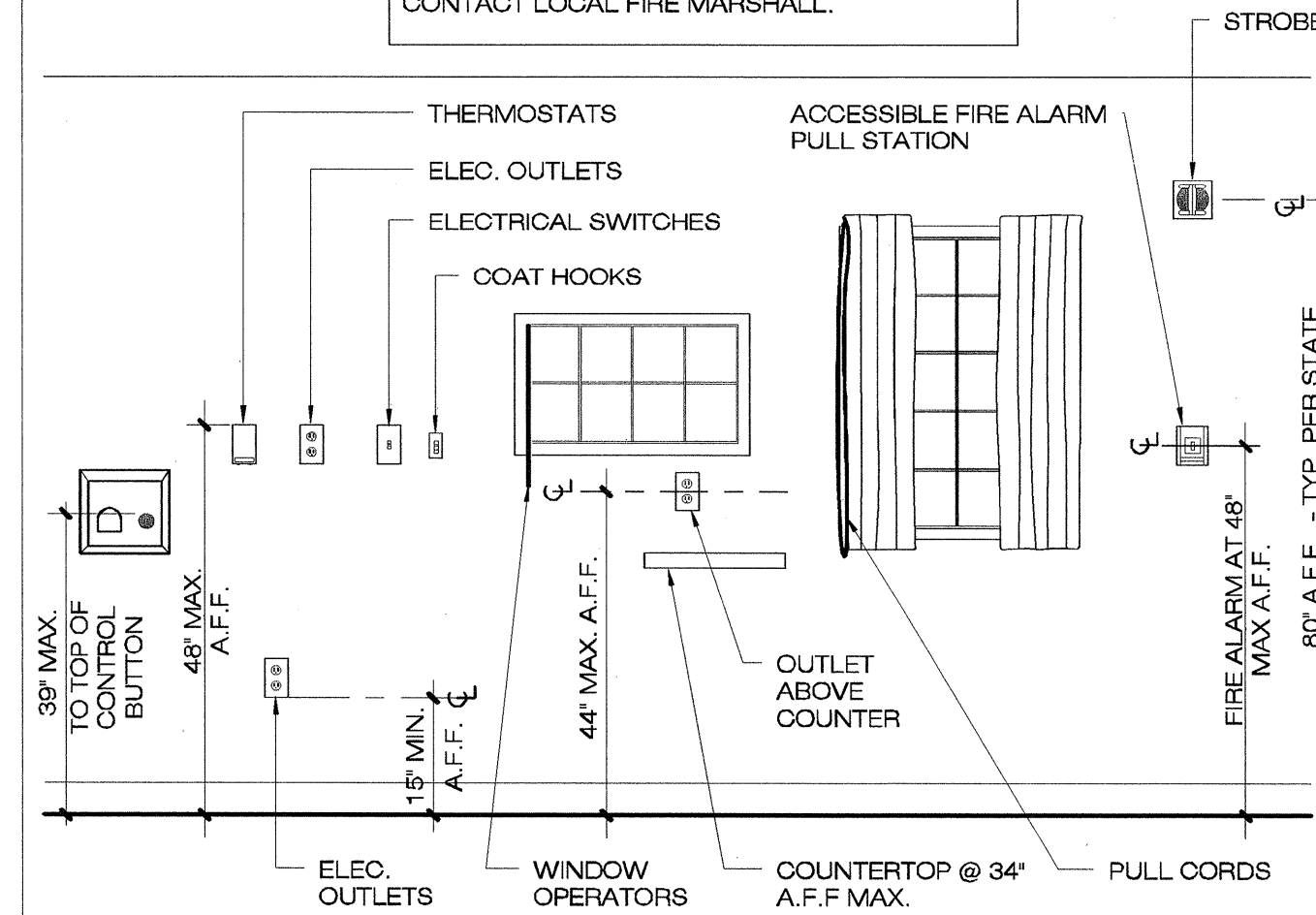
NOTE:

1. THE UNIT MUST BE INSTALLED IN AN AREA THAT ALLOWS A FRONTAL APPROACH FOR A PERSON IN A WHEELCHAIR.
2. THE UNIT MUST BE INSTALLED SO THAT THE BUILT-IN SANITARY LINER DISPENSER AND CHANGING TABLE IS AT AN ACCESSIBLE HEIGHT.
3. OPERATING FORCE OF PLATFORM SHALL BE NO GREATER THAN 5 LBS.
4. ATTACH 1" WEBBING LOOP HANDLE STRAP ABOVE THE EXISTING HANDLE. USE TWO CHICAGO SCREWS AND APPLY THREAD ADHESIVE. BOTTOM OF NYLON LOOP TO BE 44" ABOVE FINISH FLOOR. (ONLY IF MFR. HANDLE IS NOT ACCESSIBLE DUE TO REACH RANGE OR TYPE).

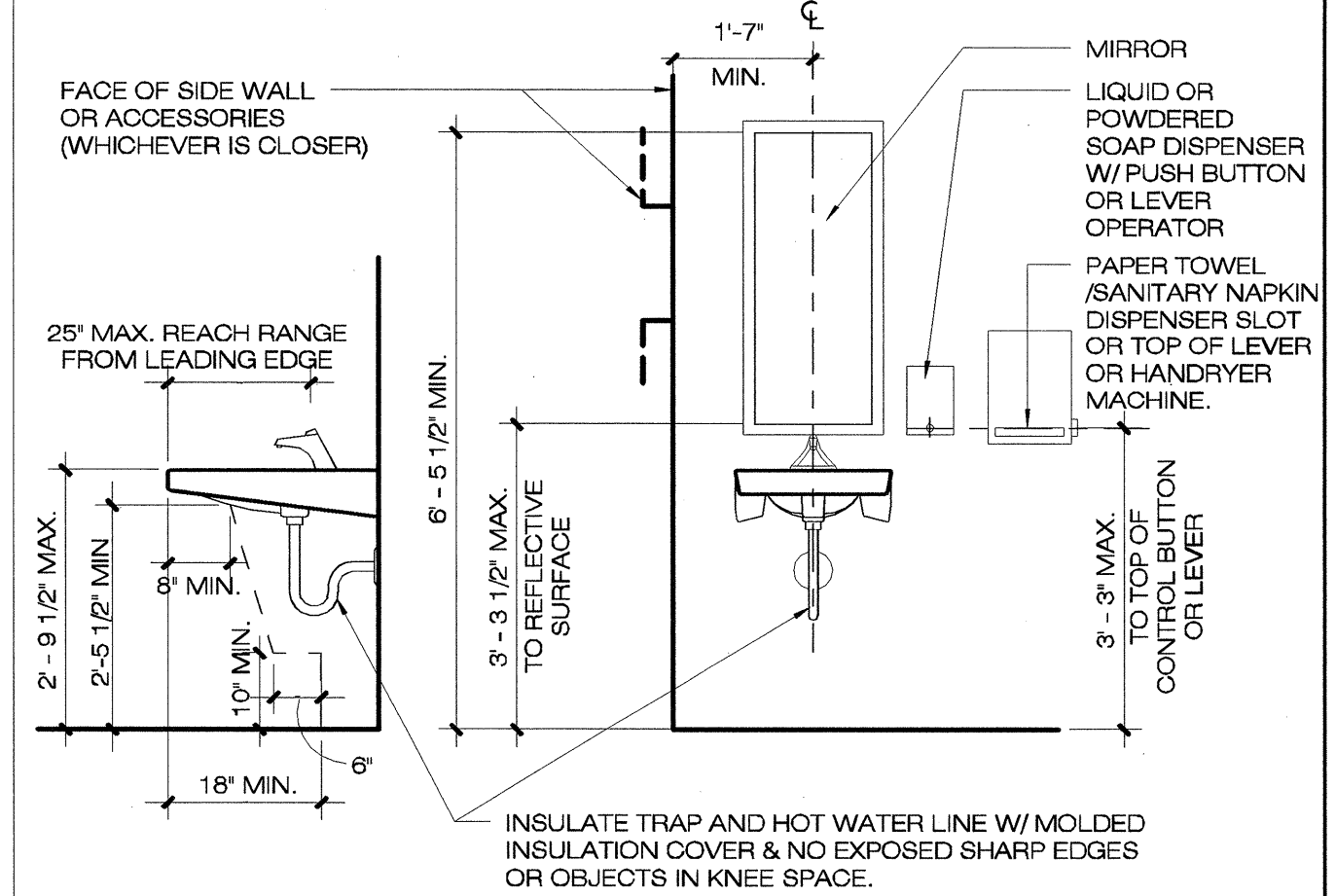


9 ACCESSIBLE BABY CHANGER
3/4" = 1'-0"

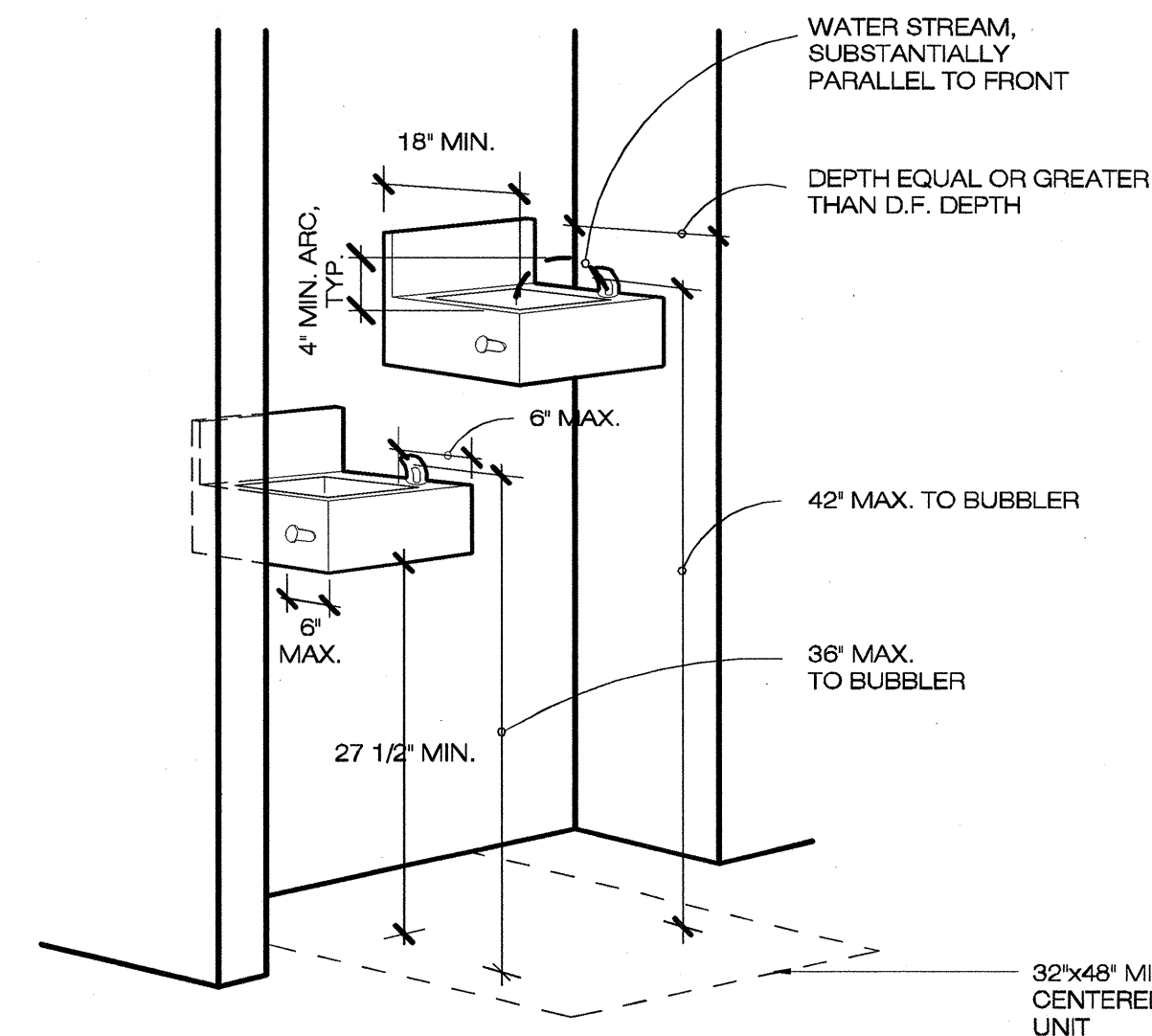
NOTE:
FOR FIRE ALARM STROBE LOCATIONS,
CONTACT LOCAL FIRE MARSHALL.



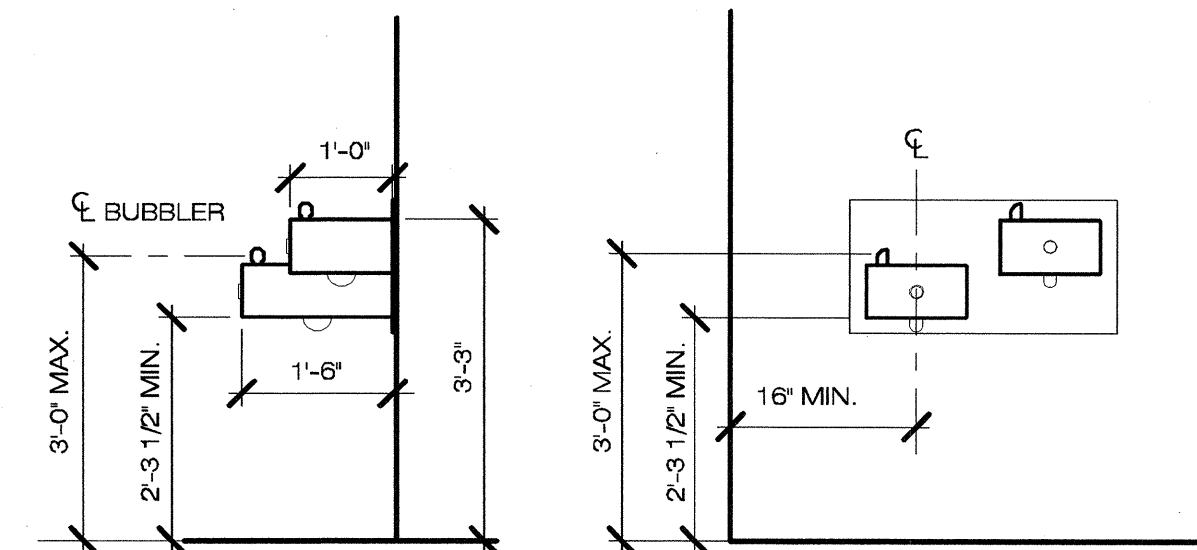
6 ACCESS. MOUNTING HEIGHTS FOR CONTROLS AND OUTLETS
1/2" = 1'-0"



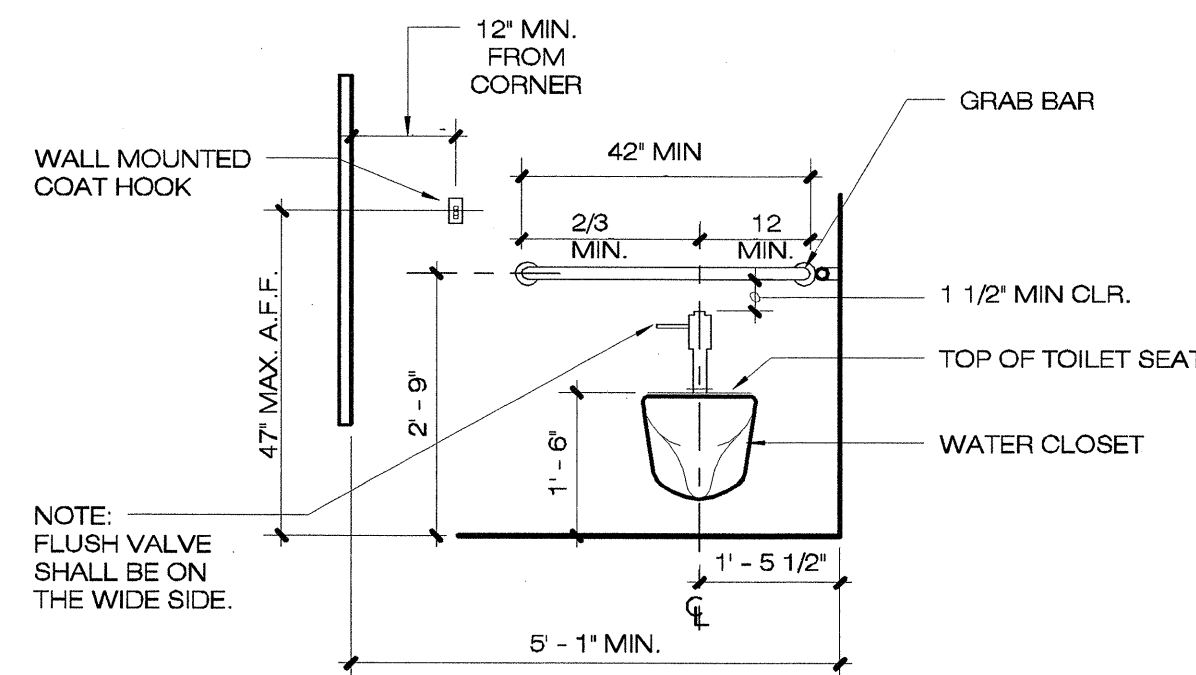
3 STD. ACCESSIBLE SINK DET.
1/2" = 1'-0"



8 STD. ACCESSIBLE DRINKING FOUNTAIN DET.
1/2" = 1'-0"

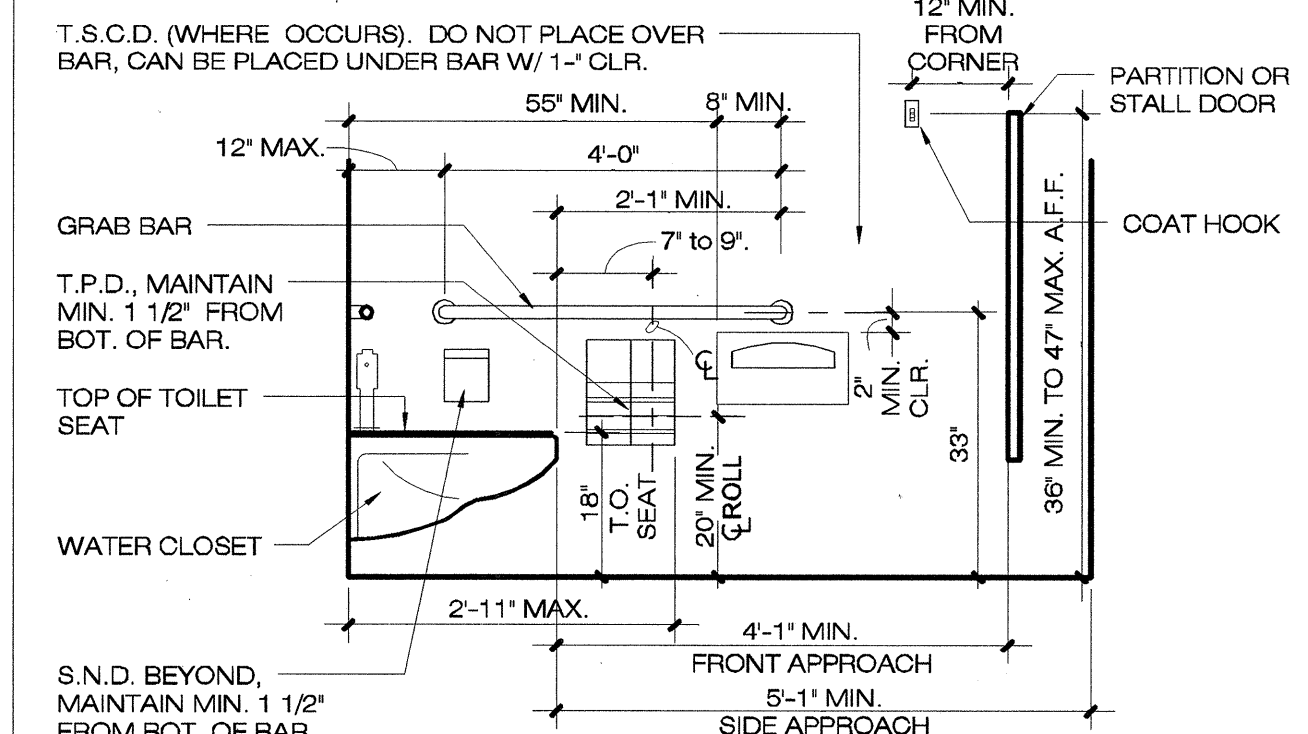
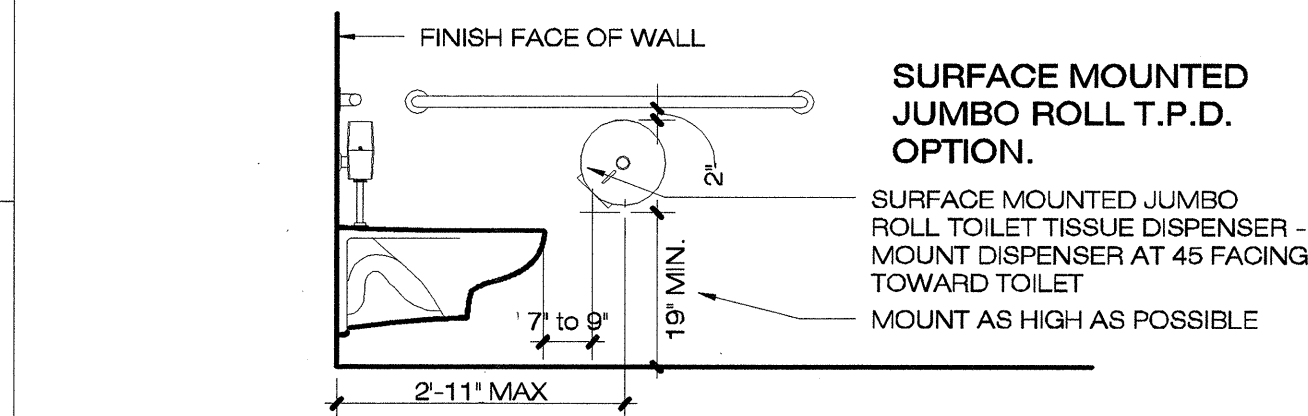


- NOTE:**
1. ALL DIMENSIONS INDICATED ARE CLEAR TO FINISH DIMENSIONS AND MUST STRICTLY MAINTAINED.
 2. WATER STREAM SHALL BE PARALLEL TO FRONT FACE OF FOUNTAIN.



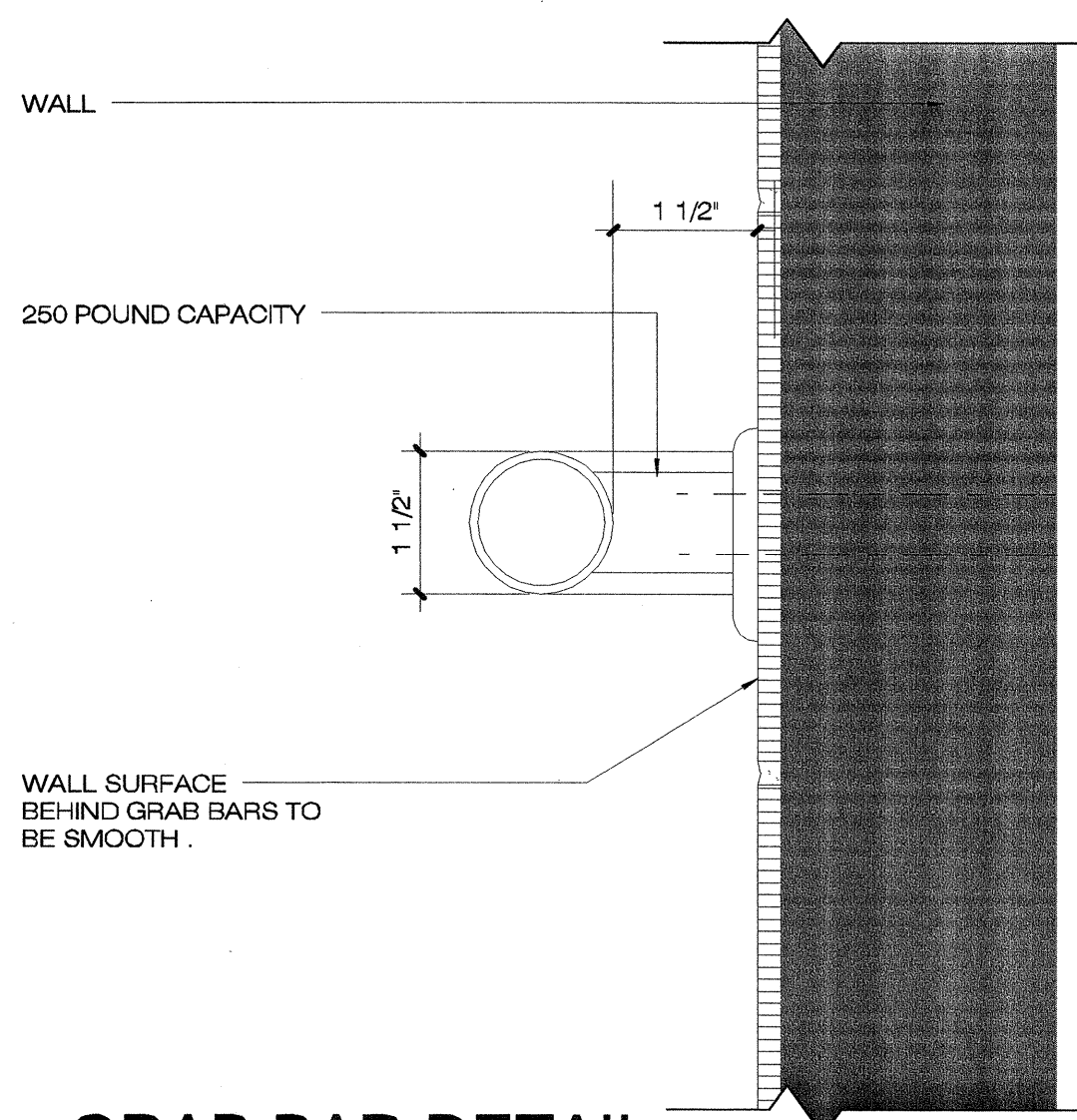
CONTROLS, OPERATING MECHANISMS, AND DOOR HARDWARE SHALL COMPLY WITH ADA 4:27.4 PG. 52 AND SFBC.
NOTE: ALL DIMENSIONS INDICATED ARE CLEAR, FINISH TO CENTER LINES OF PLUMBING FIXTURES OR ACCESSORIES DIMENSIONS AND MUST BE STRICTLY MAINTAINED

5 STD. ACCESS. TOILET STALL DET. (FRONT ELEV.)
1/2" = 1'-0"

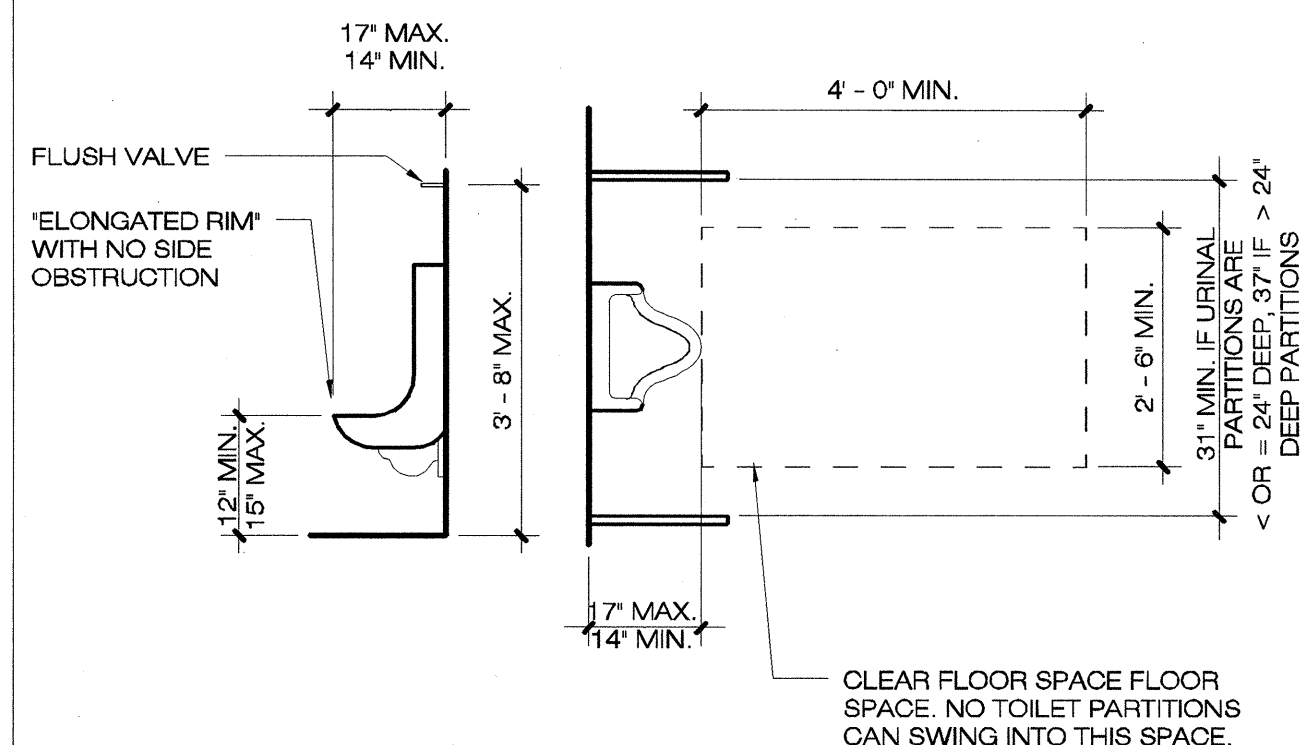


- NOTES:**
1. ALL DIMENSIONS INDICATED ARE CLEAR, FINISH TO CENTER LINES OF PLUMBING FIXTURES OR ACCESSORIES DIMENSIONS AND MUST BE STRICTLY MAINTAINED
 2. DISPENSER/DISPOSAL UNITS TO PROJECT NO MORE THAN 4" FROM FINISHED FACE OF WALL
 3. WATER CLOSET SHALL COMPLY WITH SFBC. GRAB BAR SHALL COMPLY WITH SFBC.

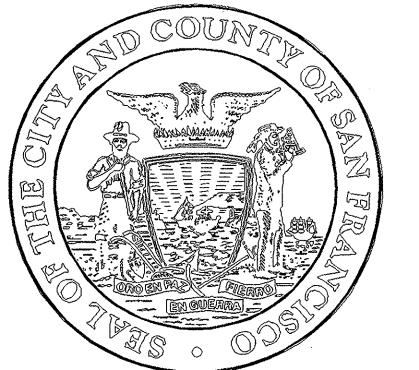
2 STD. ACCESS. TOILET STALL DET. (SIDE ELEV.)
1/2" = 1'-0"



7 GRAB BAR DETAIL
6" = 1'-0"



1 STD. ACCESSIBLE URINAL DET.
1/2" = 1'-0"



Project

2008 PARK BOND RESTROOM REPLACEMENT PROJECT CONTEMPORARY DESIGN

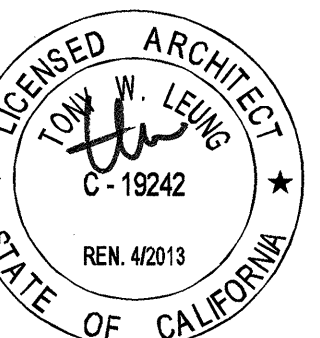
DUPONT TENNIS COURTS RESTROOMS
340 31st Ave, San Francisco, CA 94121
Block No. 1403 - Lot No. 007

Consultant

BID SET

No.	Date	Revisions

Section Head	T. LEUNG
Proj. Mgr.	M. YEE
Proj. Arch.	T. LEUNG
Drawn	A.P.J.G.
Date	SEP 2012
Phase	



Drawing Title

ACCESSIBILITY DETAILS

Sheet No.

A11.2

Job No.

Scale: As indicated
3092V-2