

# 900 INNES PARK DEVELOPMENT

## CONSTRUCTION DOCUMENTS

JULY 01, 2021

SOURCING EVENT ID 0000005616

FUNDING SOURCE: 2020 HEALTH AND SAFETY BOND, PUBLIC & PRIVATE GRANTS

### OWNER:

CITY AND COUNTY OF SAN FRANCISCO RECREATION AND PARKS DEPARTMENT  
49 SOUTH VAN NESS AVENUE, SUITE 1220  
SAN FRANCISCO, CA 94103 PHONE: 628.652.6644

### PROJECT DESIGN TEAM:

GUSTAFSON GUTHRIE NICHOL, 206.903.6802

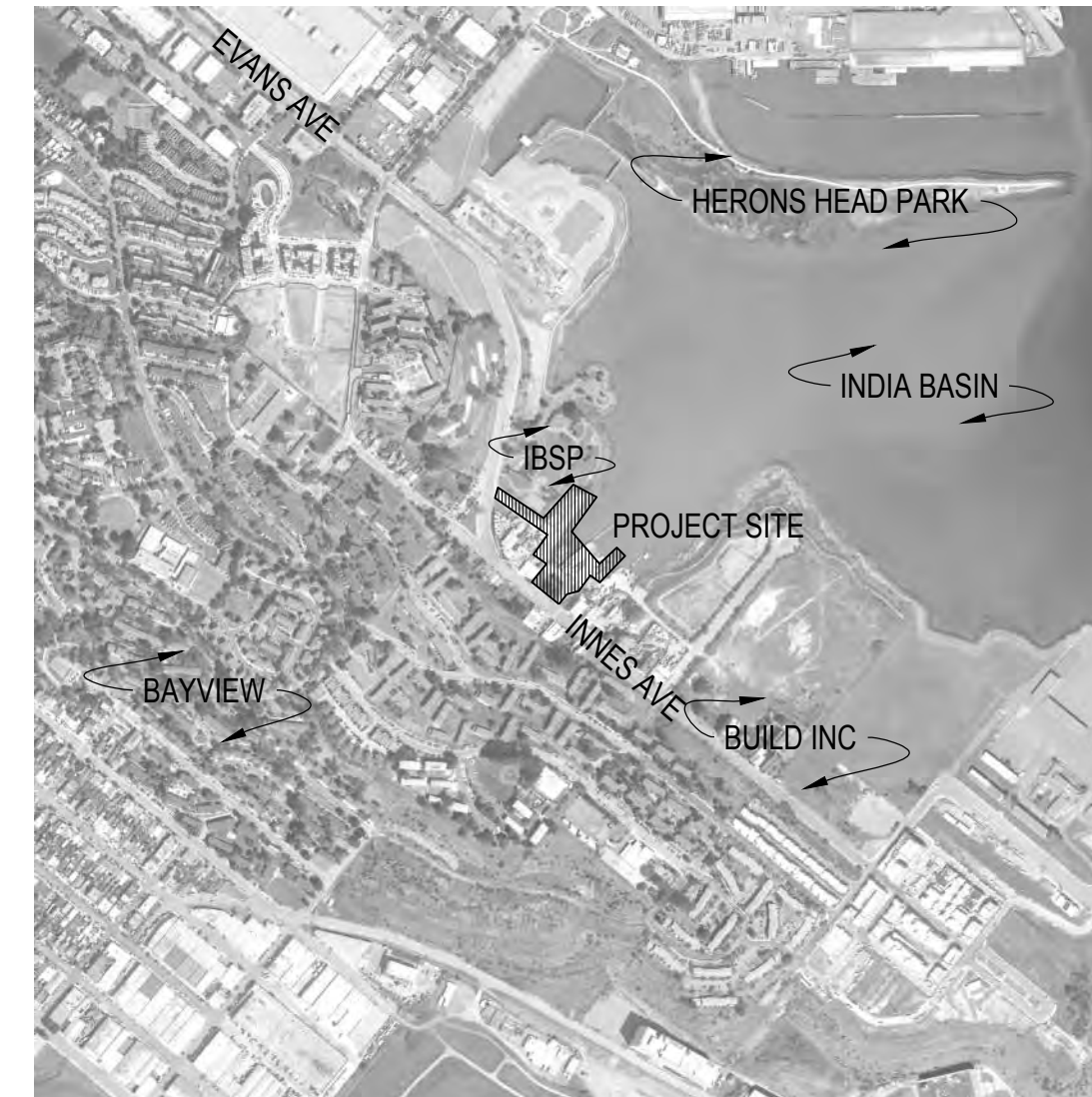
CEQA/EIR: 2014-002541ENV

GENERAL PLAN REFERRAL: 2014-002541GPR-02

ARTICLE 22A/MAHER: SMED 935

### ELECTRONIC PLAN REVIEW NOTES:

1. SITEWORK BELOW MHW (EL. 5.75) AND ALL IN WATER MARINE STRUCTURES (PIERS, DOCKS, GANGWAYS) TO BE REVIEWED BY THE PORT OF SAN FRANCISCO.
2. ALL BUILDINGS, MEP AND SITE UTILITIES TO BE REVIEWED BY SFDPI.
3. ADA REVIEW FOR SITE AND BUILDINGS IS BEING PERFORMED BY SFDPW
4. SEE ARCH SHEET A001.1 FOR PROJECT SUMMARY, GENERAL NOTES AND APPLICABLE CODES.



**PROJECT LOCATION MAP**  
900 INNES AVENUE  
SAN FRANCISCO, CA 94124  
SCALE: NTS



### SUMMARY OF WORK

1. CONSTRUCTION OF A NEW PUBLIC PARK ON THE SHORE OF INDIA BASIN IN SAN FRANCISCO, CALIFORNIA. WORK INCLUDES BUT NOT LIMITED TO THE FOLLOWING: PAVING, SITE WALLS, IRRIGATION, PLANTING, SEATING ELEMENTS, SITE FURNISHINGS, STAIRS AND RAILS, UTILITIES, LIGHTING, PERGOLA STRUCTURES, WAYFINDING AND SIGNAGE, MARINE PIERS, DOCKS AND GANGWAYS, RENOVATION OF HISTORIC SHIPWRIGHT'S COTTAGE, NEW FOOD PAVILION BUILDING, NEW SHOP BUILDING, AND NEW MAINTENANCE BUILDING.

### BIDDER'S REQUIREMENTS

1. IN ACCORDANCE WITH THE PROVISIONS OF THE CALIFORNIA PUBLIC CONTRACT CODE, SECTION 3300, A BID SUBMITTED TO A PUBLIC AGENCY BY A CONTRACTOR WHO IS NOT LICENSED IN ACCORDANCE WITH CHAPTER 9 OF THE BUSINESS & PROFESSIONS CODE SHALL BE CONSIDERED NON-RESPONSIVE AND SHALL BE REJECTED BY THE PUBLIC AGENCY.
2. AT THE TIME OF THE BID OPENING, THE CONTRACTOR SHALL POSSESS A CLASS 'A' GENERAL ENGINEERING CONTRACTOR LICENSE.

### PROJECT SITE AND EXISTING CONDITIONS

1. FOR SITE EXISTING CONDITIONS, SEE SHEET G106.1, EXISTING CONDITIONS PLAN. PLAN PROVIDED BY REMEDIATION DESIGN ENGINEER.
2. FOR SITE SURVEY, SEE SHEETS G010.1 THROUGH G015.1.
3. FOR SITE LIMIT-OF-WORK PLAN, SEE SHEET G101.1.

### PARCEL MAP AND PROPERTY INFORMATION

1. FOR PARCEL AND PROPERTY INFORMATION SEE SHEET G102.1, STREET VACATION AND PARCEL MAP.

FOR OFFICIAL USE:

## 900 INNES PARK DEVELOPMENT

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
49 SOUTH VAN NESS AVENUE, SUITE 1220  
SAN FRANCISCO, CA 94103  
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THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
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ECOLOGICAL RESTORATION  
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STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
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COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

MEP & IT  
INTERFACE ENGINEERING  
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GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

FOR OFFICIAL USE

KEY PLAN



### REVISIONS:

NO.	DATE	DESCRIPTION

ISSUANCE

BID SET

DRAWN BY	CD/UZ	CHECKED BY	SN/BA
DATE	9/24/2021	GGN PROJECT #	1608

COVER SHEET

G000.1



SHEET INDEX 1 OF 2

900 INNES  
PARK DEVELOPMENT

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BID SET

DRAWN BY	SG	CHECKED BY	SN/BA
DATE	7/01/2021	GGN PROJECT #	1608

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900 INNES  
PARK DEVELOPMENT

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SHEET INDEX

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M210.1	FOOD PAVILION FLOOR PLANS - MECHANICAL
M211.1	FOOD PAVILION ROOF PLAN - MECHANICAL
M230.1	MAINTENANCE BUILDING FLOOR PLAN - MECHANICAL
M301.1	PIPING DIAGRAM - MECHANICAL
M302.1	PIPING DIAGRAM - MECHANICAL
M303.1	WIRING DIAGRAM - MECHANICAL
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E220.1	SHOP BUILDING FLOOR PLAN - LIGHTING
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E301.1	SHIPWRIGHT'S COTTAGE FLOOR PLANS - POWER & SIGNAL
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E311.1	FOOD PAVILION ROOF PLAN - POWER & SIGNAL
E320.1	SHOP BUILDING FLOOR PLAN - POWER & SIGNAL
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E400.1	SINGLE-LINE DIAGRAM - PRIMARY SERVICE
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E502.1	SCHEDULES - ELECTRICAL
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E602.1	DETAILS - SIGNAL
E603.1	DETAILS - SIGNAL
E604.1	DETAILS - SIGNAL
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E606.1	DETAILS - SIGNAL
E607.1	DETAILS - SIGNAL

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P004.1	TITLE 24 - PLUMBING
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P200.1	SHIPWRIGHT'S COTTAGE DEMO PLAN - PLUMBING
P201.1	SHIPWRIGHT'S COTTAGE FLOOR PLAN - PLUMBING

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P211.1	FOOD PAVILION ROOF PLAN - PLUMBING
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U602.1	SECURITY SYSTEMS, WALL FIELD ELEVATION
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**ABBREVIATIONS**

<b>&amp;</b>	&	AND	<b>L</b>	LAM.	LAMINATE(D)
	<	ANGLE		LAV.	LAVATORY
	@	AT		LBS.	POUNDS
<b>A</b>	ABV.	ABOVE		LIN.	LINEAR
	ACOUS.	ACOUSTICAL		LKR.	LOCKER
	A.D.	AREA DRAIN		LOC.	LOCATION
	ADJ.	ADJUSTABLE		LTG.	LIGHTING
	A.F.F.	ABOVE FINISH FLOOR	<b>M</b>	MACH.	MACHINE
	AGGR.	AGGREGATE		MAG.	MAGNETIC
	ALUM.	ALUMINUM		MATL.	MATERIAL
	ALT.	ALTERNATE		MAX.	MAXIMUM
	APPROX.	APPROXIMATE		M.D.F.	MEDIUM DENSITY FIBERBOARD
	ARCH.	ARCHITECT		M.D.O.	MEDIUM DENSITY OVERLAY (BOARD)
	ARCHL.	ARCHITECTURAL		MECH.	MECHANICAL
	ASPH.	ASPHALT		MEMB.	MEMBRANE
<b>B</b>	BATH.	BATHROOM		M.F.	MOMENT FRAME
	BM.	BEAM		MFR.	MANUFACTURER
	BED.	BEDROOM		MH.	MANHOLE
	BTW.	BETWEEN		MIN.	MINIMUM
	BITUM.	BITUMINOUS		MISC.	MISCELLANEOUS
	BLK.	BLOCKING		M.P.	MEASURING POINT
	BLW.	BELOW		MTD.	MOUNTED
	BD.	BOARD		MTL.	METAL
	BTM.	BOTTOM		MUL.	MULLION
	B.O.	BOTTOM OF		(N)	NEW
	BLDG.	BUILDING	<b>N</b>	N.	NORTH
	B.U.	BUILT UP		NAT.	NATURAL
<b>C</b>	CAB.	CABINET		N.I.C.	NOT IN CONTRACT
	C.B.	CATCH BASIN		NO.	NUMBER
	CHAN.	CHANNEL		NOM.	NOMINAL
	C.H.	CEILING HEIGHT		N.T.S.	NOT TO SCALE
	C.J.	CONTROL JOINT		O.C.	ON CENTER
	CL.	CENTERLINE	<b>O</b>	OCC(U)P.	OCCUPANT(S) / OCCUPANCY
	CLG....	CEILING		O.D.	OUTSIDE DIAMETER
	CLKS.	CALLING		O	OVER
	CLO.	CLOSE		OPER.	OPERABLE
	C.O.	CLEAN OUT		OPNG.	OPENING
	CLR.	CLEAR		OPP.	OPPOSITE
	COL.	COLUMN		OPP.HD.	OPPOSITE HAND
	COMP.	COMPOSITE		O.H.	OVERHEAD
	CONC.	CONCRETE	<b>P</b>	PAV.	PAVING
	CONN.	CONNECTION		PERF.	PERFORATED
	CONSTR.	CONSTRUCTION		PERP.	PERPENDICULAR
	CONT.	CONTINUOUS		PL.	PLATE
	C.M.I.	CONCRETE MASONRY UNIT		P.L.	PROPERTY LINE
	CSWK.	CASEWORK		P.LAM.	PLASTIC LAMINATE
	C.T.	CERAMIC TILE		PLAS.	PLASTER
	CTR.	CENTER		PLYWD.	PLYWOOD
	CTS.K.	COUNTERSINK		PR.	PAIR
	C.W.	COLD WATER		PROP.	PROPERTY
	DBL.	DOUBLE		PT(D).	PAINT(ED)
<b>D</b>	DEPT.	DEPARTMENT		P.T.	PRESSURE TREATED
	DET.	DETAIL	<b>Q</b>	PKG.	PARKING
	D.F.	DRINKING FOUNTAIN		P.V.C.	POLYVINYL CHLORIDE
	Ø	DIAMETER		Q.T.	QUARRY TILE
	DIA.	DIAMETER		QTY.	QUANTITY
	DIM.	DIMENSION		QUAL.	QUALITY
	DISP.	DISPENSER	<b>R</b>	R.	RISER
	DN.	DOWN		RAD.	RADIUS
	D.O.	DOOR OPENING		R.C.	RESILIENT CHANNEL
	DR.	DOOR		R.I.C.	REINFORCED CONCRETE
	DS.	DOWNSPOUT		R.C.P.	REFLECTED CEILING PLAN
	DWG(S).	DRAWING(S)		R.D.	ROOF DRAIN
<b>E</b>	(E)	EXISTING		REF.	REFERENCE
	E.	EAST		REG.	REGISTER
	EA.	EACH		REINF.	REINFORCED
	E.F.	EXHAUST FAN		REQ(D).	REQUIRED
	E.J.	EXPANSION JOINT		REQMT.	REQUIREMENT
	EL.....	ELEVATION		RESIL.	RESILIENT
	ELEC.	ELECTRICAL / ELECTRIFIED		REV.	REVISION / REVISED
	ELEV.	ELEVATOR		RM.	ROOM
	EMER.	EMERGENCY		R.O.	ROUGH OPENING
	ENG.	ENGINEER		RWD.	REDWOOD
	EQ.	EQUAL	<b>S</b>	R.W.L.	RAIN WATER LEADER
	EQUIP.	EQUIPMENT		S.	SOUTH
	E.S.	EACH SIDE		S.C.	SOLID CORE
	EXP.	EXPOSED		SA.	SELF-ADHERED
	EXT.	EXTERIOR		SCHED.	SCHEDULE(D)
	F.A.	FIRE ALARM		S.E.D.	SEE ELECTRICAL DRAWINGS
	F.A.U.	FORCED AIR UNIT		S.F.	STOREFRONT
	F.D.	FLOOR DRAIN		S.H.A.D.	SEE HISTORIC ARCHITECT DRAWINGS
	F.E.	FIRE EXTINGUISHER		SHT.	SHEET
	F.E.C.	FIRE EXTINGUISHER CABINET		SHTG.	SHOOTING
	F.C.O.	FLOOR CLEAN OUT		SIM.	SIMILAR
	F.F.	FINISH FLOOR		SIM.OPP.	SIMILAR OPPOSITE
	FIN.	FINISH		S.L.D.	SEE LANDSCAPE DRAWINGS
	FIXT.	FIXTURE		S.M.D.	SEE MECHANICAL DRAWINGS
	FLR.	FLOOR		S.P.D.	SEE PLUMBING DRAWINGS
	FLASH.	FLASHING		SPEC.	SPECIFICATION(S)
	FLUOR.	FLUORESCENT		SQ.	SQUARE
	FND.	FOUNDATION		S.S.D.	SEE STRUCTURAL DRAWINGS
	F.O.	FACE OF		S.S.	STAINLESS STEEL
	F.O.C.	FACE OF CONCRETE		STL.	STEEL
	F.O.F.	FACE OF FINISH		STD.	STANDARD
	F.O.S.	FACE OF STUD		STOR.	STORAGE
	FRFR.	FIREPROOF(ING)		STRUC.	STRUCTURAL
	F.S.	FIRE SPRINKLER		SUSP.	SUSPENDED
	F.T.	FIRE TREATED	<b>T</b>	T.	TREAD
	FTG.	FOOTING		TEL.	TELEPHONE
	F.R.	FIRE RATED		TEMP.	TEMPERED
	FR.	FRAME		T&G.	TONGUE & GROOVE
	GA.	GAUGE		THK.	THICK
<b>G</b>	GALV.	GALVANIZED		THRU.	THROUGH
	G.B.	GRAB BAR		TN.	TORNAIL
	G.F.R.C.	GLASS FIBER REINF. CONC.		T.O.	TOP OF
	GL.	GLASS		T.O.S.	TOP OF SLAB / SHEATHING
	GND.	GROUND		T.V.	TELEVISION
	GR.	GRADE		T.O.W.	TOP OF WALL
	G.S.M.	GALVANIZED SHEET METAL		TYP.	TYPICAL
	GYP. BD.	GYPSPUM BOARD		UNF.	UNFINISHED
	H.B.	HOSE BIB	<b>U</b>	U.O.N.	UNLESS OTHERWISE NOTED
	H.C.	HOLLOW CORE		UR.	URINAL
	HD.	HEAD		VAR.	VARIABLE
	H.D.G.	HOT-DIPPED GALVANIZED	<b>V</b>	V.C.T.	VINYL COMPOSITION TILE
	HDR.	HEADER		VER.	VERIFY
	HDWD.	HARDWOOD		VERT.	VERTICAL
	HGT.	HEIGHT		V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
	H.M.	HOLLOW METAL		V.I.F.	VERIFY IN FIELD
	HORIZ.	HORIZONTAL		W.	WEST
	H.R.	HAND RAIL	<b>W</b>	W.	WITH
	HR.	HOUR		W.C.	WATER CLOSET
	H.S.S.	HOLLOW STRUCT. STEEL		WD.	WOOD
	H.W.	HOT WATER		WD.	WASHER / DRYER
	I.D.	INSIDE DIAMETER		WDW.	WINDOW
<b>I</b>	INSUL.	INSULATION		WH.	WATER HEATER
	INT.	INTERIOR		WM.	WALL MOUNT
	INV.	INVERT		W.O.	WHERE OCCURS
	JAN.	JANITOR		W/O.	WITHOUT
<b>J</b>	JT.	JOINT		WP.	WEATHERPROOF(ING)
	J-BOX	JUNCTION BOX		WR.B.	WEATHER-RESISTIVE BARRIER
<b>K</b>	KIT.	KITCHEN		WT.	WEIGHT
	KO.	KNOCKOUT		W.F.	WIDE FLANGE

# 900 INNES PARK DEVELOPMENT

## PROJECT SUMMARY

<b>DESCRIPTION:</b>	This project consists of the Phase I expansion of India Basin Shoreline Park into adjacent properties known collectively as the 900 Innes site as part of the overall waterfront parks. Scope of architectural work includes a pergola and four buildings: the rehabilitation and reuse of a historic landmark residential building, new construction of a restaurant with public restrooms, a multipurpose community center, and a maintenance office and storage building. Site work includes new piers, a dock, accessible paths, ramps, stairs, furniture, lighting and signage.
<b>PLANNING DATA:</b>	Phase II work under later separate permit includes renovation of the existing India Basin Shoreline Park.
<b>PROJECT ADDRESS:</b>	900 INNES AVE. SAN FRANCISCO CA 94124
<b>BLOCK AND LOT ZONING DISTRICT:</b>	4646/003, 4646/020, 4646/001 P
<b>BULK &amp; HEIGHT DISTRICT:</b>	OS
<b>PLANNING DISTRICT:</b>	SOUTH BAYSHORE
<b>SPECIAL USE DISTRICT:</b>	N/A
<b>PLANNING QUADRANT:</b>	SOUTHEAST
<b>LANDMARK STATUS:</b>	LANDMARK #250
<b>LOT AREA:</b>	1,873 SF (003)

<b>OVERALL SITE DATA:</b>	
<b>SITE AREA:</b>	117,800 SF
<b>USEABLE OPEN SPACE AREA:</b>	94,100 SF
<b>TOTAL (E) BLDG. AREA (CBC):</b>	1,464 SF
<b>TOTAL (N) BLDG. AREA (CBC):</b>	6,267 SF
<b>(E) GROSS BLDG. AREA:</b>	1,637 SF
<b>(N) GROSS BLDG. AREA:</b>	7,011 SF
<b>COMMERCIAL / RETAIL AREA:</b>	N/A
<b>OFFICE AREA:</b>	N/A
<b>EXTERIOR BIKE PARKING:</b>	10 SPACES (CLASS 2)
<b>MAX. EXCAVATION DEPTH:</b>	15.03 FT
<b>TOTAL SOIL DISTURBANCE:</b>	6,437 CY

## APPLICABLE CODES

<b>PLANNING CODES:</b>	2020 SAN FRANCISCO PLANNING CODE W/ ALL AMENDMENTS TO PRESENT DATE
<b>BUILDING CODES:</b>	2019 CALIFORNIA BUILDING CODE W/ SF AMEND. 2019 CALIFORNIA MECH. CODE W/ SF AMEND. 2019 CALIFORNIA ELECTRICAL CODE W/ SF AMEND. 2019 CALIFORNIA PLUMBING CODE W/ SF AMEND. 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA HISTORICAL CODE
<b>OTHER CODES:</b>	2020 SAN FRANCISCO HEALTH CODE 2020 CALIFORNIA RETAIL FOOD CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

## SYMBOLS

	<b>TITLE</b> DRAWING TITLE		STRUCTURAL GRID LINE		ROOM NAME		REVISION NOTE
	BUILDING SECTION		DIMENSION POINT		ROOM NUMBER		REVISION BUBBLE
	BUILDING ELEVATION		ASSEMBLY TYPE CALLOUT		FLOOR FINISH		
	INTERIOR ELEVATION		DOOR NUMBER		AREA		
	DETAIL		WINDOW NUMBER		CEILING TYPE		
			KEYNOTE		CEILING HEIGHT		

## GENERAL NOTES

- CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS AT THE SITE. BRING ANY INCONSISTENCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS IN WRITING PRIOR TO COMMENCEMENT OF WORK
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- COORDINATE EXACT LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS WITH ARCHITECT IN THE FIELD.
- INSTALL ALL MATERIALS, EQUIPMENT AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER.
- PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, HEATING EQUIPMENT, CASEWORK AND ALL OTHER ITEMS REQUIRING SUPPORT.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING ON-SITE UTILITIES DURING WORK.
- ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.
- SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATIONS.
- CONTRACTOR SHALL PROTECT PROPERTY AND ADJACENT PROPERTIES AS REQUIRED AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC. AS REQUIRED TO PROTECT THE PUBLIC AS REQUIRED DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH ARCHITECT AND/OR OWNER PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENGINEERING AND BUILDING OF SHORING OR TEMPORARY RETAINING STRUCTURES AS REQUIRED IN THE PERFORMANCE OF THE WORK. SUCH SHORING SHALL BE CONSTRUCTED SUCH AS TO GUARANTEE THE STRUCTURAL INTEGRITY OF NEW CONSTRUCTION AND EXISTING CONDITIONS.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION AND PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. PER CITY REQUIREMENTS, ONE ORIGINAL STAMPED APPROVED SET OF PLANS AND JOB CARD SHALL ALSO BE MAINTAINED BY THE CONTRACTOR ON SITE.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE PROVINCIAL FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- CONTRACTOR SHALL CONDUCT FIELD TEST FOR CONFORMANCE WITH CFC SECTION 510 IF RADIO REPEATER NEEDS TO BE INSTALLED FOR EFFECTIVE FIRE CREW RESPONDER COMMUNICATIONS AT SITE PREMISES.
- NO TWO ELECTRICAL POWER OUTLETS SHALL BE DIRECTLY ALIGNED ON A COMMON WALL PER CFC 605.
- PROVIDE SPRINKLER DRAINAGE DISCHARGE TO THE CITY'S SANITARY SEWER SYSTEM, NOT TO STORM DRAINS PER CITY'S RETROACTIVE CLEAN WATER PROGRAM. ALL DRAINS SHALL DISCHARGE TO SEWER OR OPEN PLANTER AREAS ONLY; NOT TO STORM DRAINS PER CITY'S RETROACTIVE CLEAN WATER PROGRAM. DRAINS TO SEWER SHALL COMPLY WITH CALIFORNIA PLUMBING CODE. NFPA 13 MAY BE USED AS A GUIDE.
- OBSERVE FIRE SAFETY DURING DEMOLITION AND CONSTRUCTION WORK AND THE FIRE ALARM SERVICE PROVIDER DURING TEMPORARY SHUTDOWNS AND SERVICE RESUMPTION OF SPRINKLER AND FIRE ALARM SYSTEMS. PROVIDE 2A10BC FIRE EXTINGUISHERS WITHIN 75 FEET OR ONE FIRE EXTINGUISHER EVERY 1500 SQUARE FEET, WHICHEVER IS MORE DURING DEMOLITION AND CONSTRUCTION WORK. REF.: CCR TITLE 19, CH. 3, 2016 CFC SECTION 906. COMPLY WITH 2016 CFC SECTION 605 TO OBSERVE ELECTRICAL SAFETY. THE OWNER, PROPERTY MANAGER, AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO EFFECT A PREPLANNED IMPAIRMENT PROGRAM DURING THE SCHEDULED DEMOLITION AND CONSTRUCTION WORK PER 2016 CFC SECTION 901.7.4 TO ASSURE THE SAFETY OF THE BUILDING OCCUPANTS DURING NEW CONSTRUCTION WORK.

## BID SET JULY 1, 2021

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A471.1	MAINTENANCE BLDG. - ENLARGED PLANS & EL.
A472.1	MAINTENANCE BLDG. - ENLARGED PLANS & EL.

(INDEX CONTINUED ON NEXT SHEET)

## 900 INNES PARK DEVELOPMENT

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700

THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014

PRIME CONSULTANT / LANDSCAPE ARCHITECT  
GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802  
CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650

ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650  
ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820

STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411  
LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

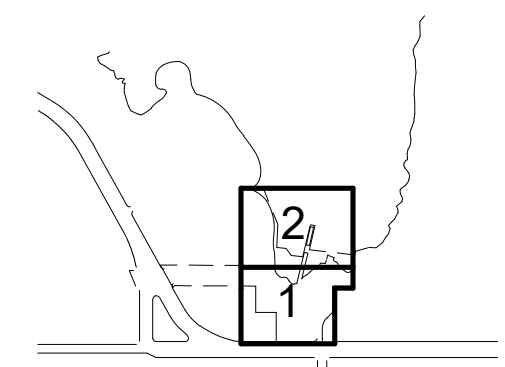
MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

FOR OFFICIAL USE

KEY PLAN





# 900 INNES PARK

**BID SET**  
**JULY 1, 2021**

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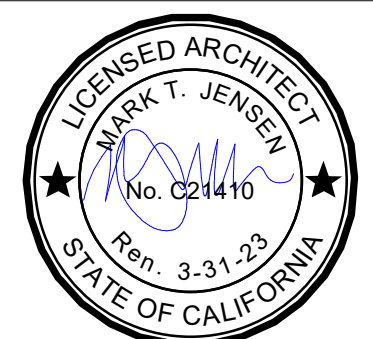
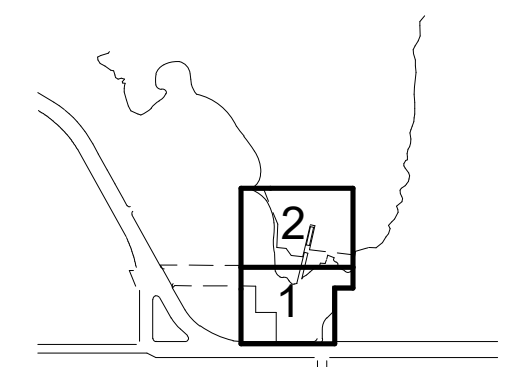
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FOR OFFICIAL USE

KEY PLAN



#### REVISIONS:

NO.	DATE	DESCRIPTION

ISSUANCE

#### BID SET

DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

ARCH DRAWING INDEX  
CONTINUED

# A002.1



# 900 INNES PARK DEVELOPMENT

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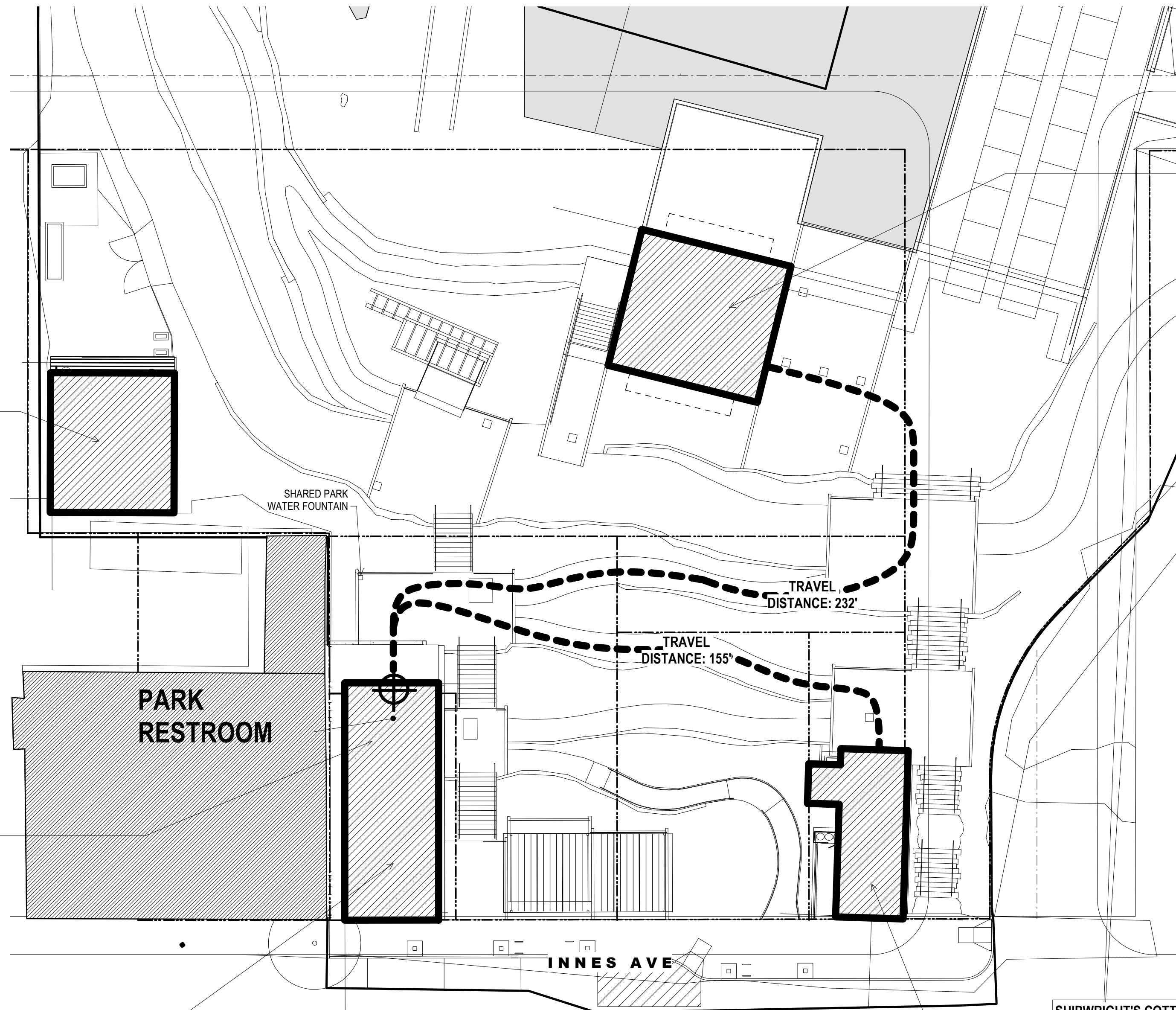
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## SHEET NOTES:

- SEE SHEET G101.1 FOR SITE-WIDE ACCESSIBILITY
- PER CBC SECTION 2902.3.2 THE REQUIRED TOILET FACILITIES FOR THE PARK ARE PROVIDED NOT MORE THAN ONE STORY ABOVE OR BELOW EACH SPACE, AND WITHIN 500 FEET OF TRAVEL DISTANCE.
- FIXTURE COUNTS ARE TABULATED BASED ON COMPLIANCE WITH 2019 CPC TABLE 422.1. ADDITIONAL FIXTURES IN EXCESS OF THOSE REQUIRED ARE PROVIDED AT THE FOOD PAVILION AT THE LOWER LEVEL PUBLIC RESTROOM AS A PUBLIC CONVENIENCE. NOTE THAT RESTROOMS FOR EVENTS WILL BE PROVIDED VIA TEMPORARY PORTABLE FACILITIES.



**MAINTENANCE BUILDING**  
REQUIRED RESTROOM FIXTURES & WATER FOUNTAIN PROVIDED WITHIN BUILDING. SEE A401.1

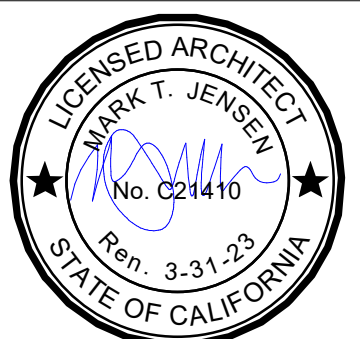
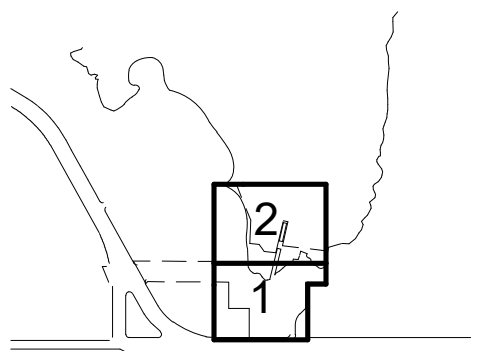
**SHOP BUILDING**  
ALL REQUIRED RESTROOM FIXTURES PROVIDED AT FOOD PAVILION LOWER LEVEL. SEE A301.1  
  
REQUIRED WATER FOUNTAIN IS PROVIDED AT SHARED PARK LOCATION

**FOOD PAVILION LOWER LEVEL**  
PROVIDES RESTROOM FIXTURES FOR SHOP BUILDING AND FOOD PAVILION.  
-TOTAL NET REQUIRED: 3 WC, 3 LAV., 1 URINAL  
-TOTAL PROVIDED: 7 WC, 8 LAV., 1 URINAL

**FOOD PAVILION UPPER LEVEL**  
REQUIRED RESTROOM FIXTURES ARE PARTIALLY PROVIDED AT THE UPPER LEVEL. REMAINING FIXTURES ARE PROVIDED AT LOWER LEVEL. SEE A201.1  
  
REQUIRED WATER FOUNTAIN IS PROVIDED AT SHARED PARK LOCATION

**SHIPWRIGHT'S COTTAGE**  
REQUIRED RESTROOM FIXTURES PROVIDED WITHIN BUILDING. SEE A101.1  
  
REQUIRED WATER FOUNTAIN IS PROVIDED AT SHARED PARK LOCATION

## KEY PLAN



## REVISIONS:

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

## ISSUANCE

## BID SET

DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

## PLUMBING FIXTURE KEY PLAN

# A011.1

# 1 PLUMBING FIXT. KEY PLAN

3/64" = 1'-0"



# GS6: San Francisco Green Building Submittal Form for Municipal Projects

Form version: March 11, 2020 (For permit applications January 2020 - December 2022)

## INSTRUCTIONS:

- Select one (1) column to the right.
  - For each requirement in the column, indicate evidence of fulfillment in the References column.
  - Fill out the project information in the Verification box at the right.
  - Attach LEED Scorecard on separate, subsequent sheet.
- Submittal must be a minimum of 24" x 36".

**CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT** →

*\*This form includes the requirements of San Francisco Green Building Code and Environment Code Chapter 7. Major Renovations as defined by Environment Code Chapter 7 also include Major Alterations as defined by SFGBC, where applicable.*

LEED	TITLE	SOURCE OF REQUIREMENT	LEED v4 CREDIT	DESCRIPTION OF REQUIREMENT	MUNICIPAL			REFERENCES (DRAWING OR SPECIFICATION # (If not applicable, indicate "N/A").)	VERIFICATION
					NEW CONSTRUCTION & MAJOR RENOVATION*	COMMERCIAL INTERIORS	SMALL PROJECTS		
LEED	Required LEED Certification Level	Environment Code sec.705		Project is required to achieve sustainability certification listed at right.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		900 Innes Avenue PROJECT NAME 4646/003, 4646/020, 4646/001
	LEED Point Adjustment for Retention/Demolition of Historic Features/Building	SFGBC 5.104		Enter any applicable point adjustments in box at right.					BLOCK/LOT 900 Innes Avenue
	LEED Points shown on Current Scorecard			Enter current expected LEED score in box at right.					ADDRESS See A102.1, A202.1, A302.1, A402.1
	LEED Scorecard Submittals	Environment Code sec. 705		For projects ≥10,000 sq ft, submit LEED Scorecard to Municipal Green Building Task Force at 100% Concept Design, Schematic Design, Design Development, Construction Documents and As-Built. For projects <10,000 sq ft, submit LEED Scorecard to Municipal Green Building Task Force at 100% Concept Design and As-Built. LEED Online is acceptable means of submittal.					PRIMARY OCCUPANCY 7,011 GSF
MATERIALS	LOW-EMITTING MATERIALS	Environment Code sec.706 OR CALGreen 5.504.4.1-6	EQc2	For projects ≥10,000 sq ft, use products that comply with LEED emissions & content requirements for paints, coatings, adhesives, sealants, flooring, composite wood, ceiling/wall/thermal/acoustic insulation, furniture if part of scope, and exterior applied products if healthcare or school project. For projects <10,000 sq ft, use products that comply with the emission limit requirements of 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	LEED EQc2 (3 pts)	LEED EQc2 (3 pts)	5.504.4.1-6	- Finish schedules on sheets A120.1, A220.1, A221.1, A320.1, & A420.1 - See specs.	<b>LEED PROJECTS</b> Projects ≥10,000 square feet <i>I understand Environment Code Chapter 7 requires all applicable projects ≥10,000 square feet to attain LEED Gold certification from USGBC/GBCI. No Green Building Compliance Professional of Record is required.</i>
	CARPET	Regulation #SFE 207 8-01-PPO		Carpet must be commercial hard-backed carpet tiles and: 100% solution-dyed Type 6 or 6.6 cationic nylon; Cradle to Cradle Certified Silver; CRI Green Label Plus; hold Environmental Product Declaration & Health Product Declaration or equivalent, and contain <100 ppm antimicrobials & no flame retardants, PFAS, fly-ash, PVC, polyurethane, or synthetic styrene butadiene latex. Tile adhesive must meet CRI Green Label Plus or California Specification 01350. Tile tape adhesive must also be C2CPII Material Health Certificate (MHC) certified Bronze. Wet adhesives must also be C2CPII MHC Silver and contain <50g/l VOC.				- No carpet in project. See finish schedules. Sheet nos. above.	
	PVC ELIMINATION	Environment Code sec.509		Specify no materials containing PVC.				- None in project. See finish schedules.	
	LEAD ELIMINATION	Environment Code sec.711		Specify no materials containing lead.				- None in project. See finish schedules.	
	TROPICAL HARDWOOD & VIRGIN REDWOOD BAN	Environment Code ch.8		Specify no tropical hardwoods or virgin redwoods.				- None in project. See finish schedules.	
WATER	INDOOR WATER USE REDUCTION	Environment Code sec.706, CALGreen 5.303.3	BD+C/ID+C/WEp2/WEp1/WEc2/WEc1	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (1.8gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Additionally, for projects ≥10,000 sq ft, use minimum 30% less potable water as calculated using a baseline with toilets (1.6gpf); urinals (1.0gpf); showerheads (2.5gpm); lavatories (2.2gpm private, 0.5gpm public); kitchen faucets (2.2gpm).	LEED WEp2, LEED WEc2 (2 pts)	LEED WEp1, LEED WEc1 (4 pts)	5.303.3	- See plumbing drawings.	PROJECT MANAGER (sign & date)
	NON-POTABLE WATER REUSE	Health Code art.12C	WEc2	New buildings ≥40,000 sq ft. must calculate a water budget. New buildings ≥250,000 sq ft. must treat and use available rainwater, graywater, and foundation drainage for toilet and urinal flushing and irrigation.		n/r	n/r		PROJECT MANAGER AGENCY
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.83	WEp1, WEc1	New construction projects with aggregated landscape area ≥500 sq ft., or existing projects with modified landscape area ≥1,000 sq ft., shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF ≤ 45 or by prescriptive compliance for projects with ≥2,500 sq ft. of landscape area.				- See landscape drawings.	<b>NON-LEED PROJECTS</b> Projects <10,000 square feet, receiving a waiver, or not meeting LEED MPR's <i>This project is not required to obtain LEED certification because it is &lt;10,000 square feet, does not meet LEED Minimum Program Requirements, and/or received a waiver from Environment Code Chapter 7 from the Director of Department of Environment. An informational LEED scorecard will be submitted to the Municipal Green Building Task Force at 100% concept design and as-built without requirement for further LEED documentation or certification.</i>
	WATER METERING	CALGreen 5.303.1	WEc4	For area of project, provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq ft.).				- N/A. See plumbing drawings.	
ENERGY	ZERO ON-SITE OPERATIONAL EMISSIONS	Environment Code sec.706(d)(7)		Municipal new construction and major renovation projects which apply for building permit on or after January 1, 2020 must be all-electric. Exceptions new necessary are available for: Processes separate from building systems such as vehicle fueling, existing equipment outside project scope, or fossil fuel-based emergency backup generation.		n/r	n/r	- All-electric project. See mech. & elec. drawings.	PROJECT MANAGER (name)  PROJECT MANAGER (sign & date)  PROJECT MANAGER AGENCY  <b>Green Building Compliance Professional of Record</b>  <i>I have been retained by the project sponsor to review all submittal documents and verify that all approved construction documents and construction fulfill the requirements of the San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.</i>
	ENERGY PERFORMANCE	Environment Code sec.706, CA Energy Code, SFGBC 5.201	EAp2, EAc2	For projects ≥10,000 sq ft., produce a whole-building energy simulation, or follow ASHRAE 50% Advanced Design Guide, or follow Advanced Building Core Performance Guide. Achieve energy use below established baseline by 5% for New Construction, 3% for Major Renovations, 2% for Core & Shell, 3% for Commercial Interiors. Commercial Interiors alternate compliance – reduce lighting power density by 5% below ASHRAE 90.1-2010 and install ENERGY STAR equipment for 50% of all eligible ENERGY STAR equipment. In the event a project receives a waiver allowing the use of natural gas in building systems, reduce energy use at least 10% compared to Title 24 2019.	LEED EAp2	LEED EAp2	Comply with Title 24 (2019)	- See mech. and elec. for T24 compliance drawings for each discipline. - See A013.1-A015.1 for envelope compliance.	
	ENERGY TARGET	Environment Code sec.706	EAc2	Set target for annual energy consumption. Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.		n/r	n/r		
	ZERO NET ENERGY FEASIBILITY	Environment Code sec.706	EAc2	Determine feasibility to achieve Zero Net Energy (≤3 stories). Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.		n/r	n/r		
	PV + ENERGY STORAGE BENEFIT/COST ANALYSIS	Environment Code sec.706	EAc2, EAc3	Analyze benefits and costs of solar plus battery storage capable of supplying electrical systems essential to serve the community in event of disaster. Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.		n/r	n/r		
	BETTER ROOFS	Planning Code sec.149, SFGBC div.5.2	EAc2 or various	New buildings with ≥10 floors must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems.		n/r	if new construction ≥2,000 sq ft.	- See elec. drawings.	
	RENEWABLE ENERGY	SFGBC 5.201.1.3	EAc2, EAc5	New buildings ≥11 floors must acquire renewable onsite energy or achieve 5 points under LEED credit Optimize Energy Performance (EAc2).		n/r	n/r		
COMMISSIONING (Cx)	Environment Code sec.706 OR CALGreen 5.410.2-5.410.4.5.1	EAp1, EAc1	For projects ≥10,000 sq ft., comply with LEED Cx requirements – OPR, BOD, systems testing, operations manual, and Enhanced and Monitoring-Based Commissioning. For projects <10,000 sq ft. and all new equipment in alterations & additions, comply with 5.410.2-5.410.4.5.1 – test and adjust all equipment.	LEED EAp1, LEED EAc1 (3+ pts)	LEED EAp1, LEED EAc1 (4+ pts)	5.410.2-5.410.4.5.1	- See mech. drawings.		
PARKING	BICYCLE PARKING	Planning Code sec.155.1-3, CALGreen 5.106.4	LTc8	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-3, whichever is greater.			5.106.4	- See landscape drawings.	PROJECT MANAGER AGENCY
	DESIGNATED PARKING	CALGreen 5.106.5.2	LTc7	If >10 total stalls added, comply with Table 5.106.5.2 (approx. 8% of total spaces).				- See landscape drawings.	
	WIRING FOR EV CHARGING	SFGBC 5.106.5.3	LTc8	Construct all new off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE (SFGBC 5.106.5.3). Install service capacity and panelboards sufficient to provide ≥40A 208 or 240V to EV chargers at 20% of spaces. Install ≥40A 208 or 240V branch circuits to ≥10% of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required, but Admin Code 4.10-1 requires 100% of purchases and leases of light duty vehicles for municipal use to be ZEV. Projects with zero off-street parking exempt. See SFGBC 5.106.5.3 for details. Permit applications prior to January 2018: Install electrical systems to provide electricity for EV chargers at 6% of spaces per CALGreen 5.106.5.3.		n/r	if new construction or (per SFGBC) major alteration ≥25k sq ft.	- N/A, no parking provided in Phase 1.	
RESOURCE RECOVERY	RECYCLING BY OCCUPANTS	Environment Code sec.707	MRp1	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.				- See landscape drawings. A120.1, A220.1	LICENSED PROFESSIONAL (sign & date) AFFIX STAMP BELOW:  See titleblock.
	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	Environment Code sec.706, 708 & ch.14; SF Building Code ch.13B, CALGreen 5.405.1.1	BD+C/ID+C/MRp2/MRp1/MRc5/MRc6	100% of mixed debris must be taken by a Registered Transporter to a Registered Facility and be processed for recycling. Divert a minimum of 75% of total C&D debris. See www.sfdbi.org for additional information.	LEED MRp2, LEED MRc5	LEED MRp2, LEED MRc6	75% diversion	- See specifications.	
HVAC	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	EAp4	Use no halons or CFCs in HVAC.				- See mechanical drawings.	
GOOD NEIGHBOR	LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	SSc8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.	if new construction	n/r	if new construction	- See lighting drawings.	See titleblock.  LICENSED PROFESSIONAL (sign & date) AFFIX STAMP BELOW:  See titleblock.
	BIRD-SAFE BUILDINGS	Planning Code sec.139	pilot credit	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.				- See A723.1 & A724.1. Provided at all windows not concealed by shading device.	
	TOBACCO SMOKE CONTROL	Health Code art.19F & art.19I, CALGreen 5.504.7	EQp2	Prohibit smoking within 25 feet of building entries, air intakes, and operable windows.				- See mechanical drawings for intake locations. Smoking is prohibited in the park.	
	SHADE TREES	CALGreen 5.106.12	SSc5	Plant trees to sufficient to provide shade within 15 years for 20% of landscape and hardscape area, including parking. Exclude shade structures covered by photovoltaics or cool roof materials from total area calculation.		n/r	n/r		
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	SSc4	Projects disturbing ≥5,000 sq ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if applicable	if applicable	if applicable	- See civil drawings.	
	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	SSp1	Submit a construction site Erosion and Sedimentation Control Plan to SFPUC for approval.	if project disturbs ≥5,000 sq ft.	if project disturbs ≥5,000 sq ft.	if project disturbs ≥5,000 sq ft.	- See civil drawings.	
INDOOR ENVIRONMENTAL QUALITY	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3	EQc9	Comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceilings between tenants).		limited to envelope alterations & additions		- N/A	
	AIR FILTRATION - CONSTRUCTION	CALGreen 5.504.1-3	EQc3	Seal permanent HVAC ducts/equipment stored onsite before installation.				- See mechanical drawings.	
	AIR FILTRATION - OPERATIONS	CALGreen 5.504.5.3		Provide MERV-13 filters on HVAC for regularly occupied, actively ventilated spaces.				- See mechanical drawings.	
	ENHANCED IAQ STRATEGIES	Environment Code sec.706	EQc1	Comply with entry, cross-contamination, filtration, natural ventilation, mixed-mode requirements.	LEED EQc1 (1 pt)	LEED EQc1 (1 pt)	n/r		
	CONSTRUCTION IAQ MANAGEMENT PLAN	Environment Code sec.706	EQc3	During construction, meet SMACNA IAQ guidelines, provide MERV-13 filters on all HVAC.	LEED EQc3	LEED EQc3	n/r		
IAQ ASSESSMENT	Environment Code sec.706	EQc4	Before occupancy, test air quality for particulates, ozone, CO, and all listed VOCs.	LEED EQc4 (2 pts)	LEED EQc4 (2 pts)	n/r			

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JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

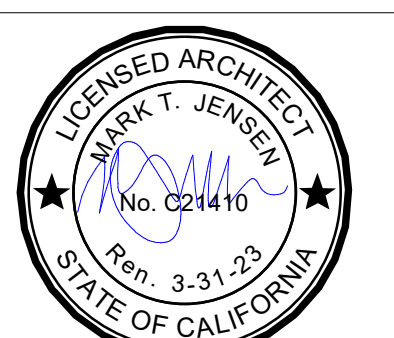
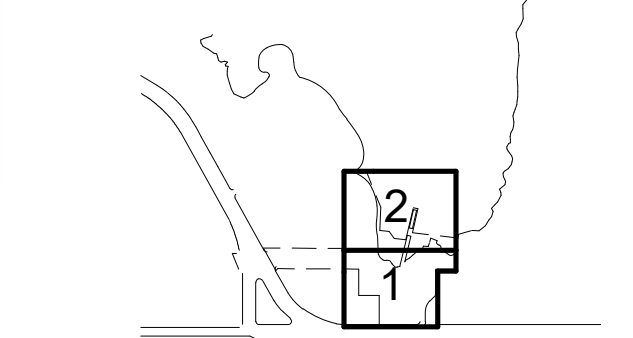
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INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

FOR OFFICIAL USE

KEY PLAN



## REVISIONS:

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

ISSUANCE

## BID SET

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

GREEN BLDG. SUBMITTAL FORM GS6

# A012.1



# 900 INNES PARK DEVELOPMENT

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700



THE TRUST FOR PUBLIC LAND  
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ECOLOGICAL RESTORATION  
RANA CREEK  
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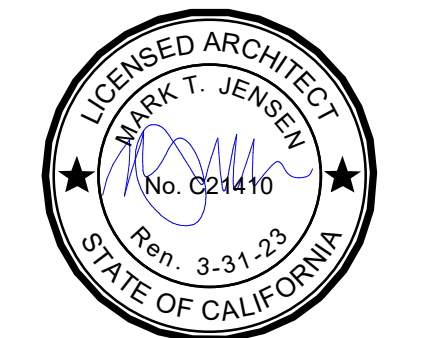
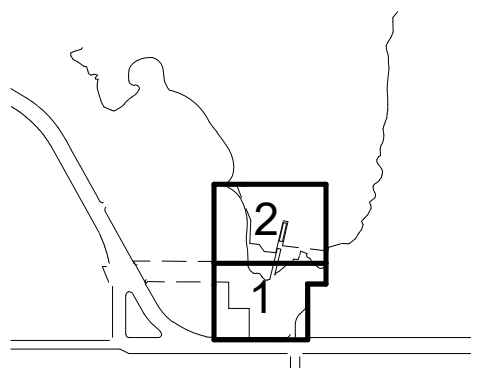
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ISSUANCE

## BID SET

DRAWN BY	CHECKED BY
JENSEN	
DATE	GGN PROJECT #
7/01/2021	1608

## TITLE 24 CERTIFICATE OF COMPLIANCE

# A013.1

STATE OF CALIFORNIA  
**Envelope Component Approach**  
NRCC-ENV-E (Created 11/19) CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE  
This document is used to demonstrate compliance with mandatory requirements in §110.8(a) and §120.7(b) for newly constructed buildings, and §141.0(b) for alterations, related to roof, wall and floor assemblies. It is also used to demonstrate compliance with prescriptive requirements in §140.3 for newly constructed buildings, and §141.0 for additions and alterations, related to roof, wall, floor, door, fenestration and daylighting requirements.

Project Name: 900 Innes Avenue Park Phase I Report Page: Page 1 of 10  
Project Address: 900 Innes Ave, San Francisco, CA, 94124 Date Prepared: 2020-12-16

**A. GENERAL INFORMATION**

01 Project Location (city)	San Francisco	05 # of Stories (Habitable Above Grade)	1
02 Zipcode	94124	06 Total Conditioned Floor Area (ft²)	745
03 Climate Zone	3	07 Total Unconditioned Floor Area (ft²)	2,764
04 Occupancy Types Within Project (select all that apply): If one occupancy constitutes ≥ 80% of the conditioned floor area, the entire building envelope may be designed to comply with the provisions of that occupancy per §100.0(f). <input type="checkbox"/> Project includes unconditioned enclosed space(s) > 5,000ft² under a roof with a ceiling height of at least 15ft.¹			
All Nonresidential, including Relocatable Public School Building <input checked="" type="checkbox"/> certified for use in one climate zone Occupancy: A / B / E / F / H / J / M / S / U <input type="checkbox"/> Relocatable Public School Building for use in all climate zones Occupancy: E <input type="checkbox"/> High-Rise Residential Occupancy: R-2 / R-3 <input type="checkbox"/> Hotel/Motel Guest Rooms Occupancy: R-1			

¹ FOOTNOTE: Enclosed spaces > 5,000ft² directly under roof with ceiling height > 15ft in climate zones 2 through 15 are required to meet the minimum daylighting requirements defined in §140.3(c). Compliance with §140.3(c) is documented in Table L. This is the only prescriptive requirement which applies to unconditioned spaces.

**B. PROJECT SCOPE**

Table Instructions: Include any building envelopes that are within the scope of the permit application and are demonstrating compliance using the prescriptive paths outlined in §140.3, and §141.0(a)1 and §141.0(b)1 and 2 for additions and alterations.

My project consists of (check all that apply)

01	02
<input checked="" type="checkbox"/> New Construction or Newly Conditioned Space <input type="checkbox"/> One or more enclosed spaces > 5,000 ft² directly under roof with ceiling height > 15ft	<input checked="" type="checkbox"/> Roof <input checked="" type="checkbox"/> Walls <input checked="" type="checkbox"/> Exterior Doors <input checked="" type="checkbox"/> Fenestration/Glazed Door¹
<input type="checkbox"/> Addition of conditioned space <input type="checkbox"/> One or more enclosed spaces > 5,000 ft² directly under roof with ceiling height > 15ft	<input type="checkbox"/> Roof <input type="checkbox"/> Walls <input type="checkbox"/> Exterior Doors <input type="checkbox"/> Fenestration/Glazed Door¹
<input type="checkbox"/> Alteration of conditioned space <input type="checkbox"/> One or more enclosed spaces > 5,000 ft² directly under roof with ceiling height > 15ft and lighting system installed for the first time	<input type="checkbox"/> Roof Assembly <input type="checkbox"/> Walls <input type="checkbox"/> Exterior Doors NA for Alts. <input type="checkbox"/> Roofing Material <input type="checkbox"/> Floors <input type="checkbox"/> Fenestration

¹ FOOTNOTE: Doors that are more than one-half glass in area are considered Glazed Doors and should be documented on Table K with fenestration.

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

STATE OF CALIFORNIA  
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NRCC-ENV-E (Created 11/19) CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE  
Project Name: 900 Innes Avenue Park Phase I Report Page: Page 2 of 10  
Project Address: 900 Innes Ave, San Francisco, CA, 94124 Date Prepared: 2020-12-16

**C. COMPLIANCE RESULTS**

Table Instructions: If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D for guidance.

Opaque Envelope Components							Compliance Results
Roof Assembly	Roofing Materials	Walls	Floors	Doors	Fenestration	Daylighting Spaces > 5,000 ft²	
01 (See Table F)	02 (See Table G)	03 (See Table H)	04 (See Table I)	05 (See Table J)	06 (See Table K)	07 (See Table L)	08
Yes	Yes	Yes	Yes	Yes	Yes	Yes	COMPLIES

**D. EXCEPTIONAL CONDITIONS**

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

Table K indicates that overhangs are being used to adjust vertical fenestration SHGC to RSHGC. Overhang details are included in Table K for the fenestration assembly being adjusted.  
Additional documentation for any assembly complying using "Approved Software" or "Other per JA4.1.2.1" to calculate design thermal performance may be requested by the plans examiner.

**E. ADDITIONAL REMARKS**

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

**F. ROOF ASSEMBLY SCHEDULE**

Table Instructions: Complete this table to demonstrate compliance with prescriptive roof assembly requirements in §140.3(a)1B for new construction or additions, or §141.0(b)2Biii for alterations.

01	Indicate roof types included in the project:	<input checked="" type="checkbox"/> Framed	<input type="checkbox"/> SIPs	<input type="checkbox"/> Span Deck & Concrete	<input type="checkbox"/> Metal Panels	<input checked="" type="checkbox"/> Metal Building
----	--	--	-------------------------------	---	---------------------------------------	--

**Framed Roof Assemblies**

01	<input type="checkbox"/>	Include Framed Roof Assemblies in Area-Weighted Average U-factor Calculation¹
Tag / Plan Detail ID	Name / Description	Occupancy Type
R3 Food Pavilion	Food Pavilion	New

Table Continued

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

STATE OF CALIFORNIA  
**Envelope Component Approach**  
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CERTIFICATE OF COMPLIANCE  
Project Name: 900 Innes Avenue Park Phase I Report Page: Page 3 of 10  
Project Address: 900 Innes Ave, San Francisco, CA, 94124 Date Prepared: 2020-12-16

Table Continued

07	08	09	10	11	12	13	14	15	16
Tag / Plan Detail ID	How Design U-factor was determined	Roof Type & Frame Material	Frame Spacing & Depth	Cavity Insulation per Design	Continuous Insulation per Design	Thermal Performance Unit	Required Thermal Performance²	U-factor per Design	Net Area³ (ft²)
R3 Food Pavilion	Approved Software	Rafter-Metal	2X10 at 16 O.C	R- 30	R- 23	U-factor	0.034	per JA4 per Software/Other 0.028	

¹ FOOTNOTE: If any individual assembly is non-compliant, assemblies may show compliance using an area-weighted calculation. Metal building roofs may not be combined with other roof types. The area-weighted compliance option is not available for alterations demonstrating compliance with R-values in Table 141.0-C.  
² If "R-value" is shown in cell 13 as the Thermal Performance Unit, the R-value shown here is for continuous insulation per Table 141.0-C.  
³ Roof area minus any fenestration/skylight area.

**Metal Building Roof Assemblies**

01	<input type="checkbox"/>	Calculate Area-Weighted Average U-factor for Metal Building Roof¹		
Tag / Plan Detail ID	Name / Description	Status	Exception to Roof Insulation Requirements in §141.0(b)2Biii (Alts. Only)	Occupancy Type
Maintenance Roof	Maintenance Bld roof	New		Nonresidential/Relocatable 1 CZ

Table Continued

07	08	09	10	11	12	13	14	15
Tag / Plan Detail ID	How Design U-factor was determined	Insulation System	Cavity Insulation Design	Continuous Insulation per Design	Thermal Performance Unit	Required Thermal Performance²	U-factor per Design	Net Area³ (ft²)
Maintenance Roof	Approved Software	Rockwool	R- 30	R- 10	U-factor	0.041	per JA4 per Software/Other 0.04	

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CERTIFICATE OF COMPLIANCE  
Project Name: 900 Innes Avenue Park Phase I Report Page: Page 4 of 10  
Project Address: 900 Innes Ave, San Francisco, CA, 94124 Date Prepared: 2020-12-16

07	08	09	10	11	12	13	14	15
Tag / Plan Detail ID	How Design U-factor was determined	Insulation System	Cavity Insulation per Design	Continuous Insulation per Design	Thermal Performance Unit	Required Thermal Performance²	U-factor per Design	Net Area³ (ft²)
R3 Food Pavilion	Approved Software							

¹ FOOTNOTE: If any individual assembly is non-compliant, assemblies may show compliance using an area-weighted calculation. Metal building roofs may not be combined with other roof types. The area-weighted compliance option is not available for alterations demonstrating compliance with R-values in Table 141.0-C.  
² If "R-value" is shown in cell 12 as the Thermal Performance Unit, the R-value shown here is for continuous insulation per Table 141.0-C.  
³ Roof area minus any fenestration/skylight area.

**G. RATED ROOFING MATERIAL (COOL ROOF)**

Table Instructions: Complete this table to demonstrate compliance with prescriptive roof material requirements in §140.3(a)1A for new construction or additions, or §141.0(b)2B for alterations.

01	02	03	04	05	06	07
Tag / Plan Detail ID	Name / Description / Location	Status	Occupancy Type	Roof Slope	Roof Material	Compliance Method
R3 Food Pavilion	ParoPro liquid Roofing	New	Nonresidential/Relocatable 1 CZ	≤ 2:12 (Low)	Fluid-Applied Membrane	Solar Reflectance Index (SRI)
Maintenance Bld	Paint Coating	New	Nonresidential/Relocatable 1 CZ	≤ 2:12 (Low)	Metal	Solar Reflectance Index (SRI)

08		09		10
Reflectance	Emittance	Reflectance¹	Emittance	U-factor of Assembly
SRI	75	SRI	97	
Reflectance		Reflectance¹		
Emittance		Emittance		
SRI	75	SRI	83	

¹ FOOTNOTE: If Solar Reflectance (Initial) is indicated in column 07, enter the Initial Reflectance here and the form will convert it to a "Calculated Aged Solar Reflectance" when determining compliance.

**H. WALL ASSEMBLY SCHEDULE**

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019



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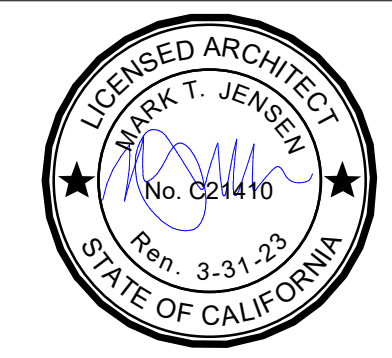
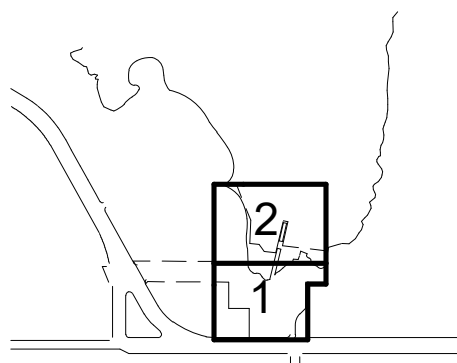
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## REVISIONS:

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

ISSUANCE

## BID SET

DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

## TITLE 24 CERTIFICATE OF COMPLIANCE

# A014.1

STATE OF CALIFORNIA  
Envelope Component Approach  
NRCC-ENV-E (Created 11/19)  
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE  
Project Name: 900 Innes Avenue Park Phase I  
Project Address: 900 Innes Ave, San Francisco, CA, 94124  
Report Page: Page 5 of 10  
Date Prepared: 2020-12-16

Table Instructions: Complete this table to demonstrate compliance with prescriptive wall assembly requirements in §140.3(a)2 and §140.3(a)3 for new construction or additions, or mandatory wall assembly requirements in §141.0(b)1B for alterations.

01	Indicate wall types included in the project: <sup>1</sup>	<input checked="" type="checkbox"/> Framed	<input type="checkbox"/> Mass (new only)	<input type="checkbox"/> Concrete Sandwich Panel (new only)	<input type="checkbox"/> SIPs	<input type="checkbox"/> ICF (new only)
		<input type="checkbox"/> Metal Panel	<input type="checkbox"/> Metal Building	<input type="checkbox"/> Spandrel/ Curtain Wall	<input type="checkbox"/> Straw Bale	<input type="checkbox"/> Log Home (new only)

<sup>1</sup> FOOTNOTE: Wall types indicated above as "new only" do not have Title 24, Part 6 requirements for alterations. New construction and additions do have requirements and should be clicked above and compliance demonstrated within this table.

**Framed Walls**

01	<input type="checkbox"/>	Calculate Area-Weighted Average U-factor for Metal Framed Walls <sup>1</sup>									
02	<input type="checkbox"/>	Include Wood Framed Walls in Area-Weighted Average U-factor Calculation <sup>1</sup>									
03	04	05	06	07	08	09	10	11	12	13	
Tag/Plan Detail ID	Occupancy & Status	How Design U-factor was determined	Location	Frame Material, Spacing & Depth	Cavity Insulation per Design	Continuous Insulation per Design	Thermal Performance Unit	Required Thermal Performance <sup>2</sup>	U-factor per Design	Net Area <sup>3</sup> (ft <sup>2</sup> )	
Food Pavilion	Nonresidential / Relocatable 1 CZ: New	Approved Software	Exterior	Metal 16" OC & 2x6	R- 21	R- 8.3	U-factor	0.082	per JA4 per Software/ Other	0.068	
Maintenance	Nonresidential / Relocatable 1 CZ: New	Approved Software	Exterior	Metal 16" OC & 2x6	R- 21	R- 8.3	U-factor	0.082	per JA4 per Software/ Other	0.068	
Maintenance	Nonresidential / Relocatable 1 CZ: New	Approved Software	Demising	Metal 16" OC & 2x6	R- 21	R- 2	U-factor	0.151	per JA4 per Software/ Other	0.123	

<sup>1</sup> FOOTNOTE: If any individual assembly is non-compliant, assemblies may show compliance using an area-weighted calculation. Metal framed walls may not be combined with other wall types. Wood framed walls are combined with SIPs, spandrel & curtain, metal panel and straw bale wall types. The area-weighted compliance option is not available for alterations demonstrating compliance with R-values in Table 141.0-C.  
<sup>2</sup> If "R-value" is shown in cell 10 as the Thermal Performance Unit, the R-value shown here is for cavity insulation per §141.0(b)2B.  
<sup>3</sup> Wall area minus any fenestration area.

**I. FLOOR ASSEMBLY SCHEDULE**

Table Instructions: Complete this table to demonstrate compliance with prescriptive floor assembly requirements in §140.3(a)4 for new construction or additions, or mandatory floor assembly requirements in §141.0(b)1C for alterations.

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

STATE OF CALIFORNIA  
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CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE  
Project Name: 900 Innes Avenue Park Phase I  
Project Address: 900 Innes Ave, San Francisco, CA, 94124  
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Date Prepared: 2020-12-16

01	Indicate floor types included in the project: <sup>1</sup>	<input type="checkbox"/> Framed	<input type="checkbox"/> SIPs (new only)	<input checked="" type="checkbox"/> Raised Mass	<input type="checkbox"/> Heated Slab-on-grade (new only)
----	--	---------------------------------	--	---	--

<sup>1</sup> FOOTNOTE: Floor types indicated above as "new only" do not have Title 24, Part 6 requirements for alterations. New construction and additions do have requirements and should be clicked above and compliance demonstrated within this table.

**Raised Mass Floors**

01	<input type="checkbox"/>	Calculate Area-Weighted Average U-factor for Raised Mass Floors <sup>1</sup>								
02	03	04	05	06	07	08	09	10	11	
Tag/Plan Detail ID	Name/Description	Occupancy & Status	How Design U-factor was determined	Insulation Location	Continuous Insulation per Design	Thermal Performance Unit	Required Thermal Performance <sup>2</sup>	U-factor per Design	Area (ft <sup>2</sup> )	
F4	Food Pavilion	Nonresidential / Relocatable 1 CZ: New	Approved Software	Bottom	R- 2	U-factor	0.269	per JA4 per Software/ Other	0.251	

<sup>1</sup> FOOTNOTE: If any individual assembly is non-compliant, assemblies may show compliance using an area-weighted calculation. Raised Mass floors may not be combined with other wall types. The area-weighted compliance option is not available for alterations demonstrating compliance with R-values in §141.0(b)1C2 for high-rise residential and hotel/motel occupancies.  
<sup>2</sup> If "R-value" is shown in cell 08 as the Thermal Performance Unit, the R-value shown here is for continuous insulation per §141.0(b)1C2.

**J. EXTERIOR DOOR SCHEDULE**

Table Instructions: Complete this table to demonstrate compliance with prescriptive exterior door requirements in §140.3(a)7 for new construction or additions. Doors which are being replaced (alterations) do not need to be documented in this table because there are no Title 24, Part 6 requirements that apply. Exterior doors separate conditioned space from unconditioned space or from ambient air. Doors that are more than one-half glass in area are considered Glazed Doors and should be documented on Table K with fenestration per Table B.

01	02	03	04	05	06	07
Tag/Plan Detail ID	Name/Description	Occupancy Type	Door Type	Door Insulation	Maximum Allowed U-factor	U-factor per Design
All Doors	Swinging Doors	Nonresidential / Relocatable 1 CZ	Swinging	Uninsulated double-layer metal	0.7	per JA4 0.7

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

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Report Page: Page 7 of 10  
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**K. FENESTRATION AND GLAZED DOOR SCHEDULE**

Table Instructions: Complete this table to demonstrate compliance with prescriptive fenestration requirements in §140.3(a)5 for new construction or additions, or §141.0(b)2A for alterations. Exterior doors that are more than one-half glass in area are considered Glazed Doors and should be documented on this table with fenestration.

01	Indicate fenestration types included in the project: <sup>1</sup>	<input type="checkbox"/> Vertical (alteration)	<input checked="" type="checkbox"/> Vertical (new)	<input type="checkbox"/> Skylights	<input type="checkbox"/> Glazed Doors (new only)
----	---	--	--	------------------------------------	--

<sup>1</sup> FOOTNOTE: Fenestration types indicated above as "new only" do not have Title 24, Part 6 requirements for alterations. New construction and additions do have requirements and should be clicked above and compliance demonstrated within this table.

**Vertical Fenestration and Glazed Doors - Total Building & West Facing Area (New Construction & Additions Only)**

01	02	03	04	05	
Elevation Item Tag/ Description	Orientation (Azimuth) <sup>1</sup>	Gross Exterior Wall Area <sup>2</sup> (ft <sup>2</sup> )	Display Perimeter Length <sup>2</sup> (ft)	Vertical Fenestration Area per Design <sup>2</sup> (ft <sup>2</sup> )	
Food Pavilion - Kitchen	West	472	0	65	
Food Pavilion	East	472	0	24	
Food Pavilion	South	790	0	20	
Maintenance - Office	East	98	0	22.5	
Maintenance-Break Rm	South	430	0	117	
		Reset	Add Elevation	Remove Last	
06	Maximum Allowed Vertical Fenestration (ft <sup>2</sup> ) - All Orientations	904.8	07	Total Vertical Fenestration (ft <sup>2</sup> ) per Design- All Orientations	248.5
08	Maximum Allowed Vertical Fenestration (ft <sup>2</sup> ) - West Facing	188.8	09	Total Vertical Fenestration (ft <sup>2</sup> ) per Design- West Facing	65

<sup>1</sup> FOOTNOTE: Orientation between 226 deg and 315 deg are considered "West Facing". A diagram has been provided in the Nonresidential Compliance Manual for visual reference.  
<sup>2</sup> Do not include demising walls per §140.3(a)5.  
<sup>3</sup> Includes glazed door fenestration area.

**Vertical Fenestration- U-factor, Solar Heat Gain Coefficient (RSHGC/SHGC), Visible Transmittance (VT)**

01	<input type="checkbox"/>	Calculate Area-Weighted Average U-factor for Vertical Fenestration <sup>1</sup>
02	<input type="checkbox"/>	Calculate Area-Weighted Average SHGC for Vertical Fenestration <sup>1</sup>
03	<input type="checkbox"/>	Calculate Area-Weighted Average VT for Vertical Fenestration <sup>1</sup>

Table Continued

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

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CERTIFICATE OF COMPLIANCE  
Project Name: 900 Innes Avenue Park Phase I  
Project Address: 900 Innes Ave, San Francisco, CA, 94124  
Report Page: Page 8 of 10  
Date Prepared: 2020-12-16

Table Continued

04	05	06	07	08	09	10	11	12	13
Tag/Plan Detail ID	Fenestration Type	Occupancy & Status	(R)SHGC Compliance Method	VT Compliance Method	Calculation Method for Performance Values per Design <sup>2</sup>	Product Performance Unit	Required Product Performance	Product Performance per Design	Area (ft <sup>2</sup> )
Kitchen	Fixed Window	Nonresidential / Relocatable 1 CZ: New	Table 140.3-B/C/D	Table 140.3-B/C/D	NFRC Certified	U-factor (max)	0.36	0.29	67
					<input checked="" type="checkbox"/> Overhang used for RSHGC	(R)SHGC(max)	0.25	0.17	
					<input type="checkbox"/> Overhang used for RSHGC	VT(min)	0.42	0.65	
Kitchen	Operable Window	Nonresidential / Relocatable 1 CZ: New	Table 140.3-B/C/D	Table 140.3-B/C/D	NFRC Certified	U-factor (max)	0.46	0.35	42
					<input checked="" type="checkbox"/> Overhang used for RSHGC	(R)SHGC(max)	0.22	0.15	
					<input type="checkbox"/> Overhang used for RSHGC	VT(min)	0.32	0.65	
Main Bld	Fixed Window	Nonresidential / Relocatable 1 CZ: New	Table 140.3-B/C/D	Table 140.3-B/C/D	NFRC Certified	U-factor (max)	0.36	0.29	117
					<input checked="" type="checkbox"/> Overhang used for RSHGC	(R)SHGC(max)	0.25	0.25	
					<input type="checkbox"/> Overhang used for RSHGC	VT(min)	0.42	0.48	
Main Bld	Operable Window	Nonresidential / Relocatable 1 CZ: New	Table 140.3-B/C/D	Table 140.3-B/C/D	NFRC Certified	U-factor (max)	0.46	0.29	22.5
					<input checked="" type="checkbox"/> Overhang used for RSHGC	(R)SHGC(max)	0.22	0.21	
					<input type="checkbox"/> Overhang used for RSHGC	VT(min)	0.32	0.34	

**Overhang Details for RSHGC per §140.3**

26	27	28	29	30	31	32
SHGC of Window	Depth (ft)	Height from Bottom of Sill to Overhang (ft)	Left Extent <sup>4</sup> (ft)	Right Extent <sup>4</sup> (ft)	Orientation	RSHGC
0.27	4	7	3.5	4	East/West-facing	0.169425
Kitchen	0.27	4	3.5	4	South-facing	0.14985

Reset Add Row Remove Last

<sup>1</sup> FOOTNOTE: If any individual fenestration product is non-compliant, products may show compliance using an area-weighted calculation. Chromogenic glazing is not included in area-weighted calculations. Area-weighted calculations shown in separate area-weighted table below.  
<sup>2</sup> The NAG Default Calculation can only be used for buildings with less than 200 ft<sup>2</sup> of site built glazing. If the project has greater than 200 ft<sup>2</sup>, the only options for determining fenestration values are NFRC Certification or the Default Tables in §110.6.  
<sup>3</sup> Overhangs must extend past the left and right window the same distance as the depth of the overhang or greater to show an effect on the RSHGC. If an overhang does not meet this requirement, the effect of the overhang will be ignored.  
<sup>4</sup> Projecting includes casement and awning windows.

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019



# 900 INNES PARK DEVELOPMENT

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ECOLOGICAL RESTORATION  
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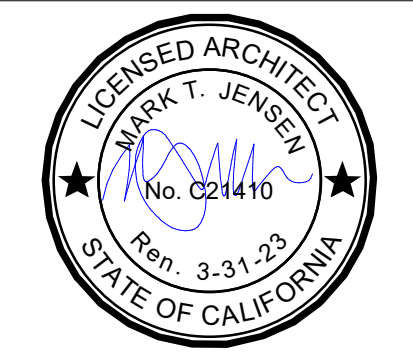
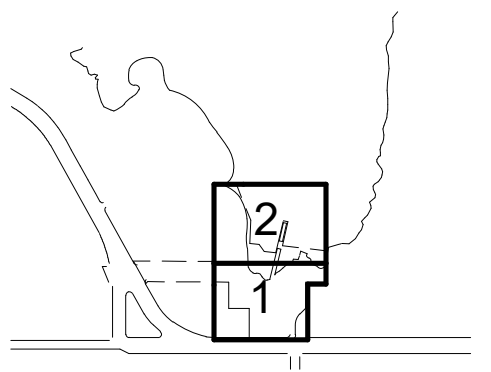
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KEY PLAN



REVISIONS:

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

ISSUANCE

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DATE	7/01/2021	GGN PROJECT #	1608

TITLE 24 CERTIFICATE OF COMPLIANCE

# A015.1

STATE OF CALIFORNIA  
Envelope Component Approach  
NRCC-ENV-E (Created 11/19)

CERTIFICATE OF COMPLIANCE		NRCC-ENV-E	
Project Name:	900 Innes Avenue Park Phase I	Report Page:	Page 9 of 10
Project Address:	900 Innes Ave, San Francisco, CA, 94124	Date Prepared:	2020-12-16

**L. DAYLIGHT IN LARGE ENCLOSED SPACES**  
*This Section Does Not Apply*

**M. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION**  
*Table Instructions: Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, form user must provide an explanation to be added to Table D Exceptional Conditions. These documents must be provided to the building inspector during construction and can be found online at <http://www.energy.ca.gov/2015publications/CEC-400-2015-033/appendices/forms/NRCI>*

YES	NO	Form/Title	Field Inspector	
			Pass	Fail
<input checked="" type="radio"/>	<input type="radio"/>	NRCI-ENV-01-E - Must be submitted for all buildings.	<input type="checkbox"/>	<input type="checkbox"/>

**N. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE**  
*Table Instructions: Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, form user must provide an explanation to be added to Table D Exceptional Conditions. These documents must be provided to the building inspector during construction and can be found online at <http://www.energy.ca.gov/2015publications/CEC-400-2015-033/appendices/forms/NRCA/>. Individuals who perform the field testing and verification work, and provide the information required for completion of the fenestration Certificate of Acceptance documentation are not required to be licensed professionals. However, the person who signs the Certificate of Acceptance document to certify compliance with the acceptance requirements shall be licensed as specified in Standards Section 10-103(a)4 and NA7.3.1.*

YES	NO	Form/Title	Field Inspector	
			Pass	Fail
<input checked="" type="radio"/>	<input type="radio"/>	NRCA-ENV-02-F - Must be submitted for all new, added or altered fenestration.	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	NRCA-ENV-03-F - Daylighting design indoor lighting power adjustment factors (PAF). Note: The requirement for this NRCA is indicated on the NRCC-LTI (prescriptive) or NRCC-PRF (performance) because it is only relevant if a PAF is used for clerestories, daylight redirection devices or horizontal slats.	<input type="checkbox"/>	<input type="checkbox"/>

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

STATE OF CALIFORNIA  
Envelope Component Approach  
NRCC-ENV-E (Created 11/19)

CERTIFICATE OF COMPLIANCE		NRCC-ENV-E	
Project Name:	900 Innes Avenue Park Phase I	Report Page:	Page 10 of 10
Project Address:	900 Innes Ave, San Francisco, CA, 94124	Date Prepared:	2020-12-16

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name:	Inna Dolottseva	Documentation Author Signature:	Inna Dolottseva
Company:	Interface Engineering	Signature Date:	2020-12-16
Address:	135 Main St, suite 400	CEA/ HERS Certification Identification (if applicable):	
City/State/Zip:	San Francisco, CA, 94105	Phone:	415.489.3242

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**  
I certify the following under penalty of perjury, under the laws of the State of California:  
1. The information provided on this Certificate of Compliance is true and correct.  
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)  
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.  
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name:	Emily Gosack	Responsible Designer Signature:	Emily Gosack
Company:	Jensen Architects	Date Signed:	December 18, 2020
Address:	833 Market St. Floor 7	License:	C 33435
City/State/Zip:	San Francisco, CA 94103	Phone:	415-348-9650 x 41

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**900 INNES  
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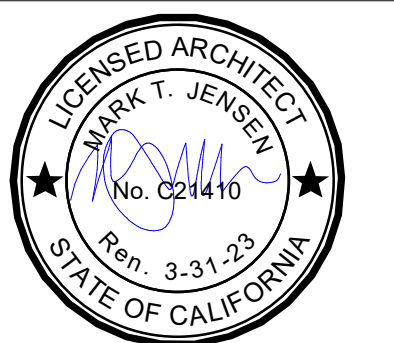
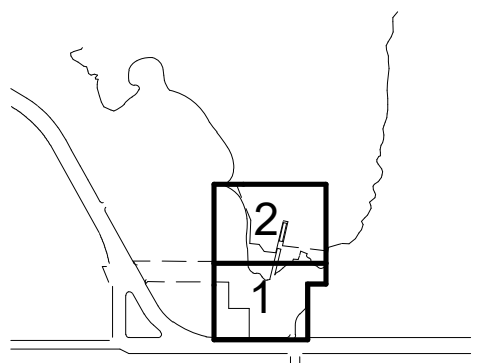
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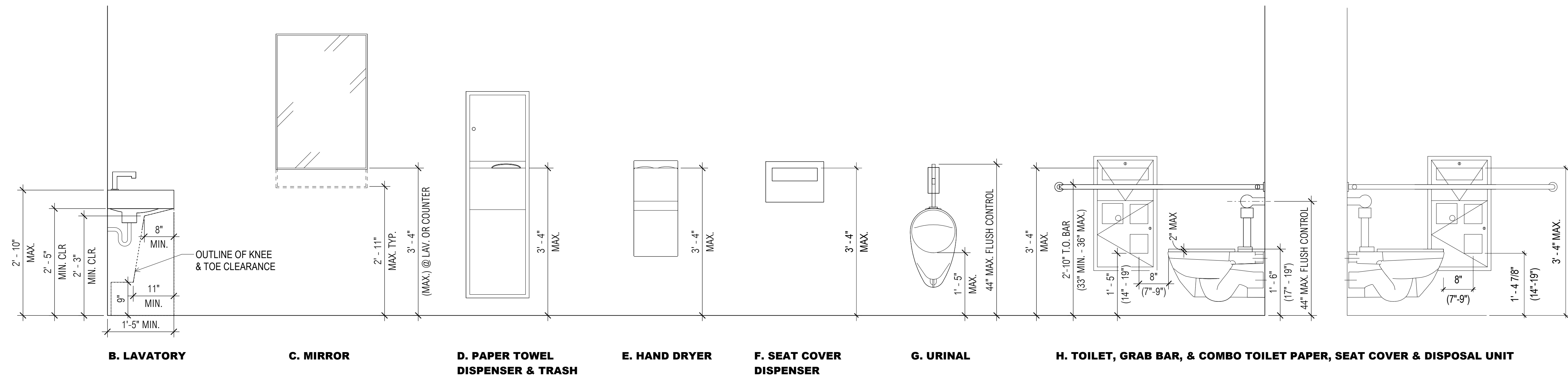
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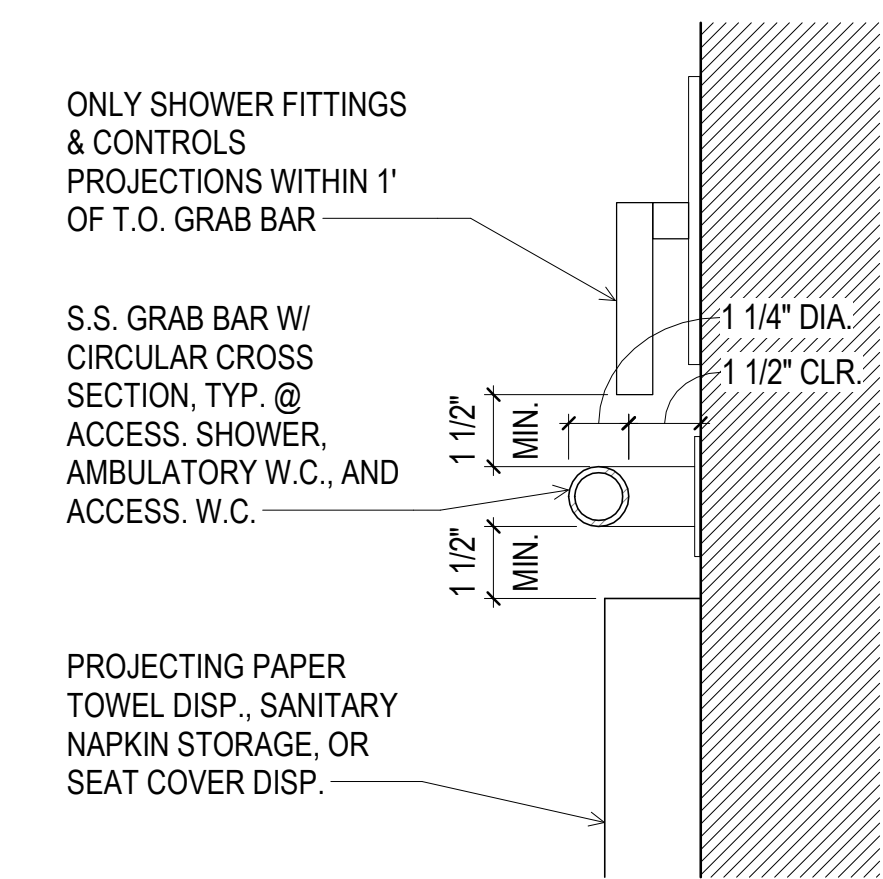
ACCESSIBILITY DETAILS -  
TYP.

**A021.1**

**NOTE: FOR OTHER PLAN CLEARANCE DIM. SEE RELEVANT ENLARGED PLANS**

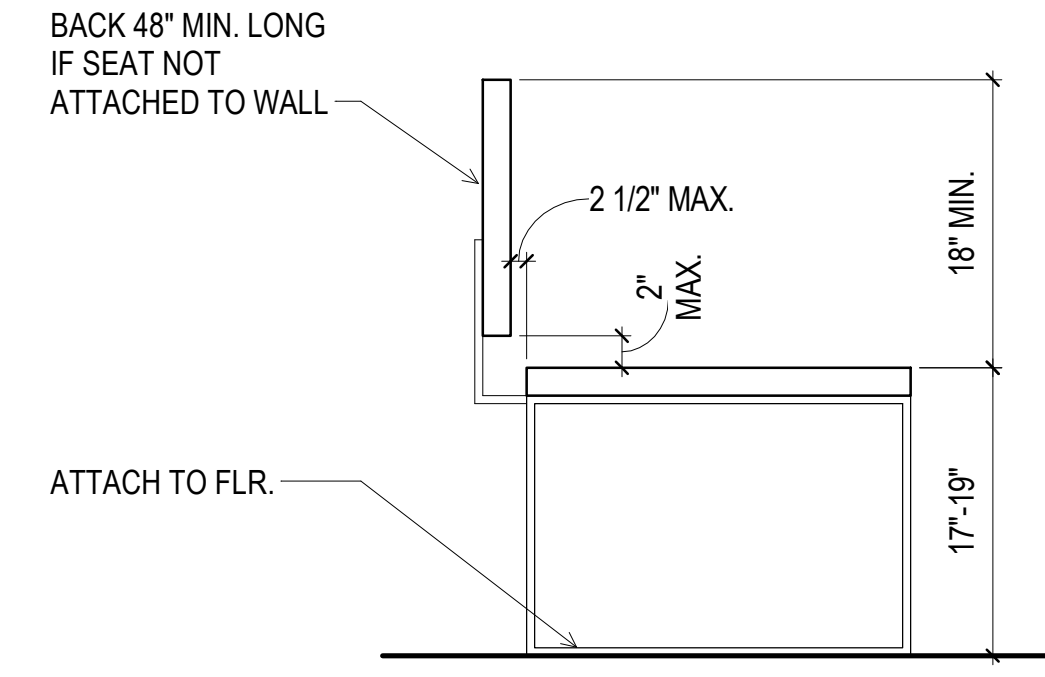


**4 TYP. ACCESSIBLE RESTROOM COMPONENT HEIGHTS**  
3/4" = 1'-0"



**GRAB BAR SECTION DETAIL**

**2 GRAB BAR DETAIL SECTION**  
3" = 1'-0"



**1 ACCESSIBLE BENCH SECTION**  
1" = 1'-0"







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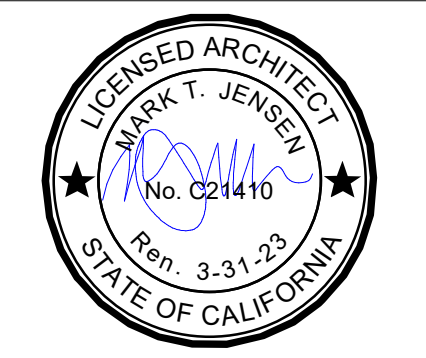
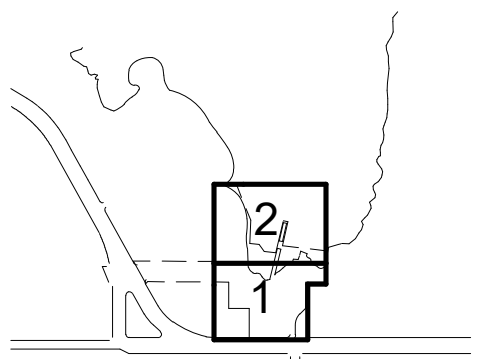
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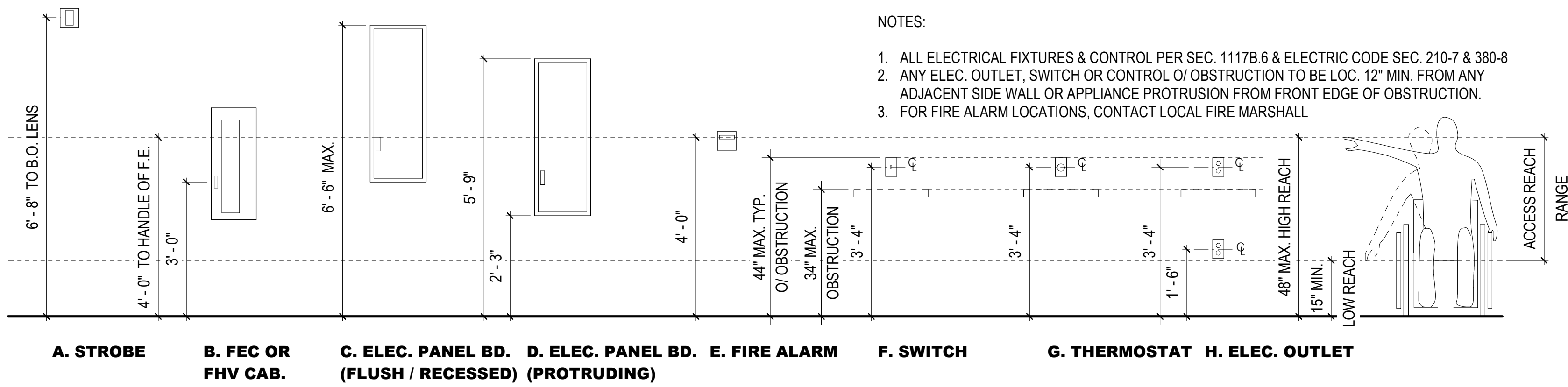
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TYP.

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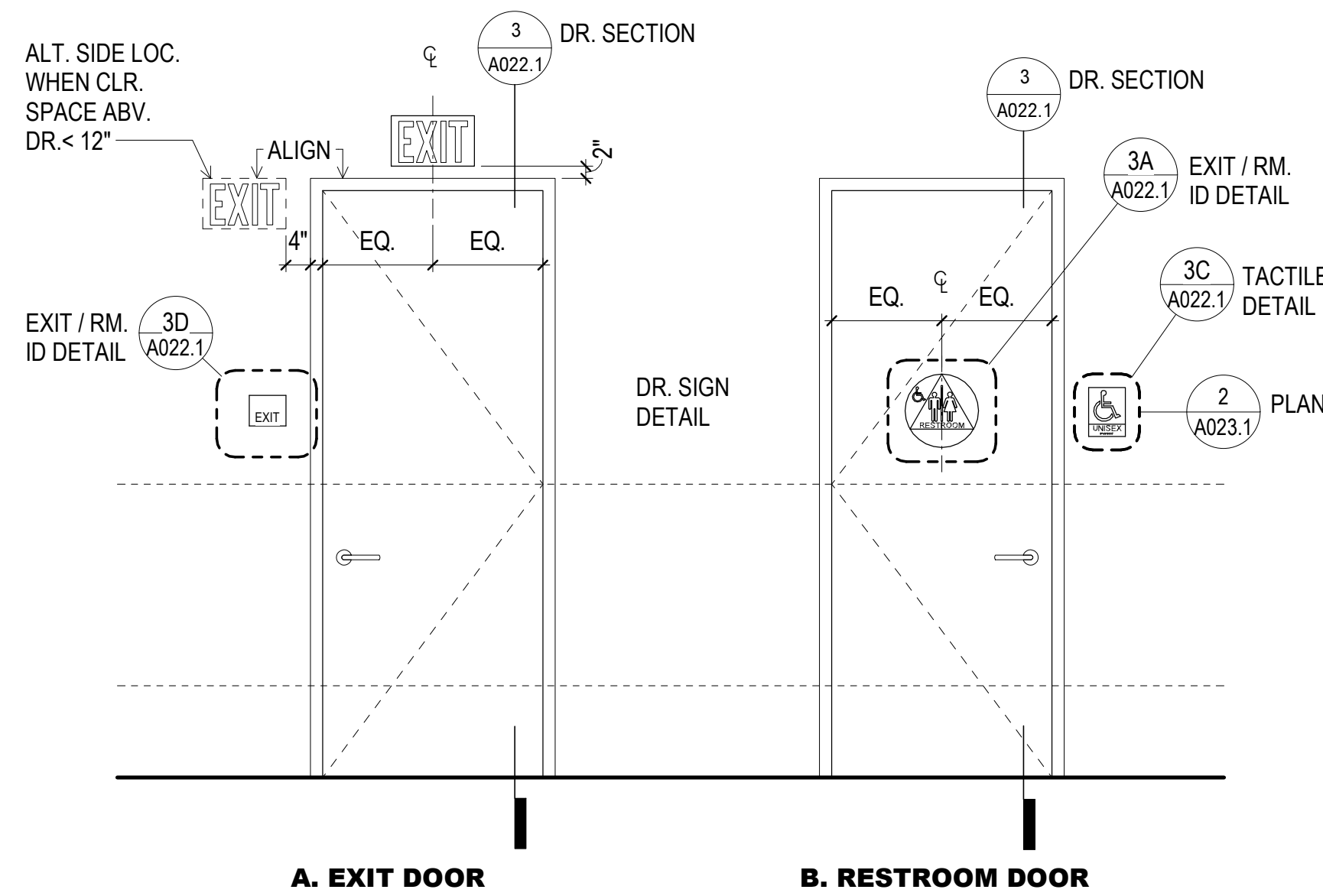
**NOTES:**

1. ALL ELECTRICAL FIXTURES & CONTROL PER SEC. 1117B.6 & ELECTRIC CODE SEC. 210-7 & 380-8
2. ANY ELEC. OUTLET, SWITCH OR CONTROL O/ OBSTRUCTION TO BE LOC. 12" MIN. FROM ANY ADJACENT SIDE WALL OR APPLIANCE PROTRUSION FROM FRONT EDGE OF OBSTRUCTION.
3. FOR FIRE ALARM LOCATIONS, CONTACT LOCAL FIRE MARSHALL



**5 TYP. CONTROL, ALARM, & PANEL INSTALLATION HEIGHTS**

1/2" = 1'-0"

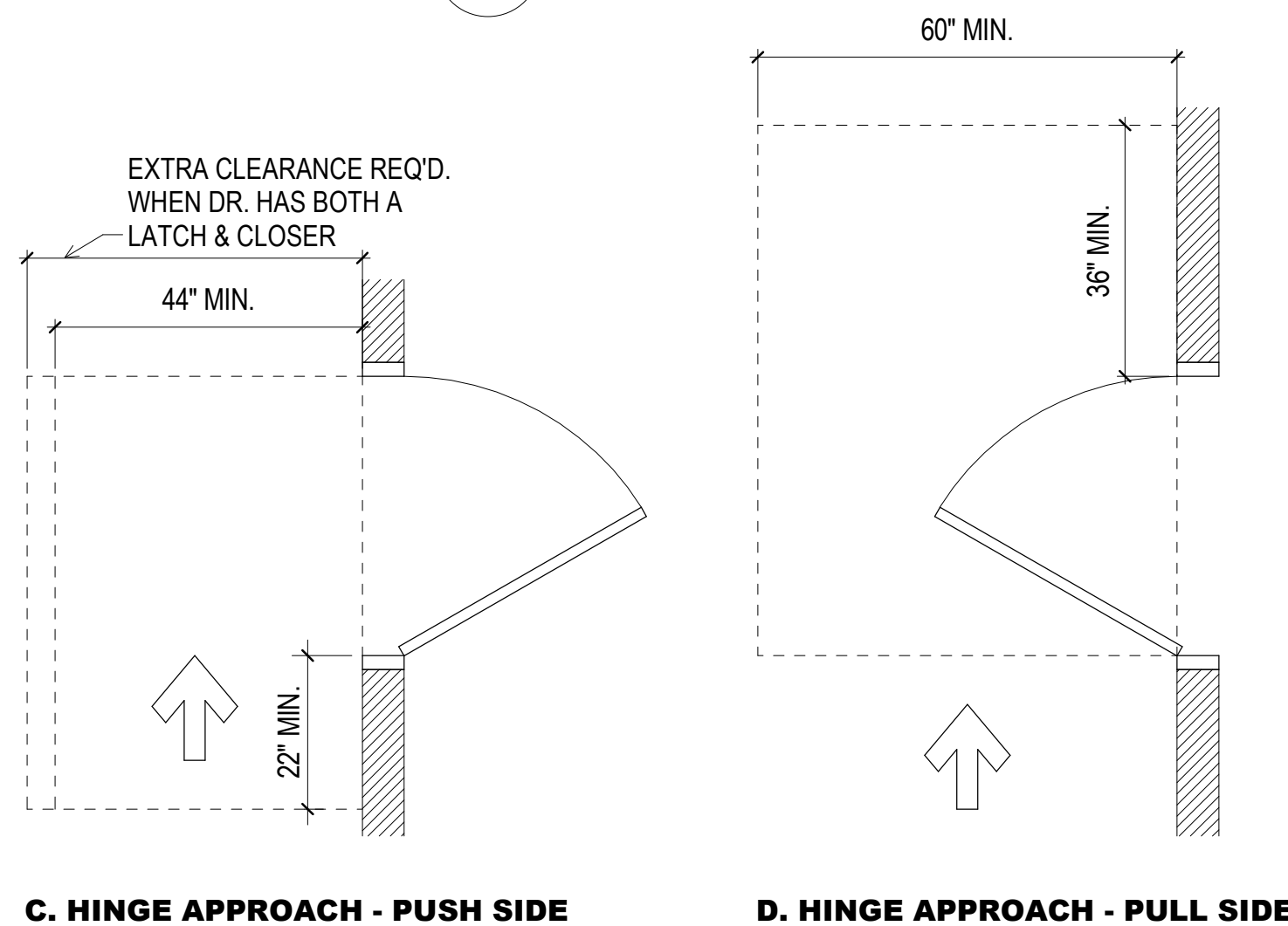


**4 TYPICAL DOOR SIGNAGE ELEVATIONS**

1/2" = 1'-0"

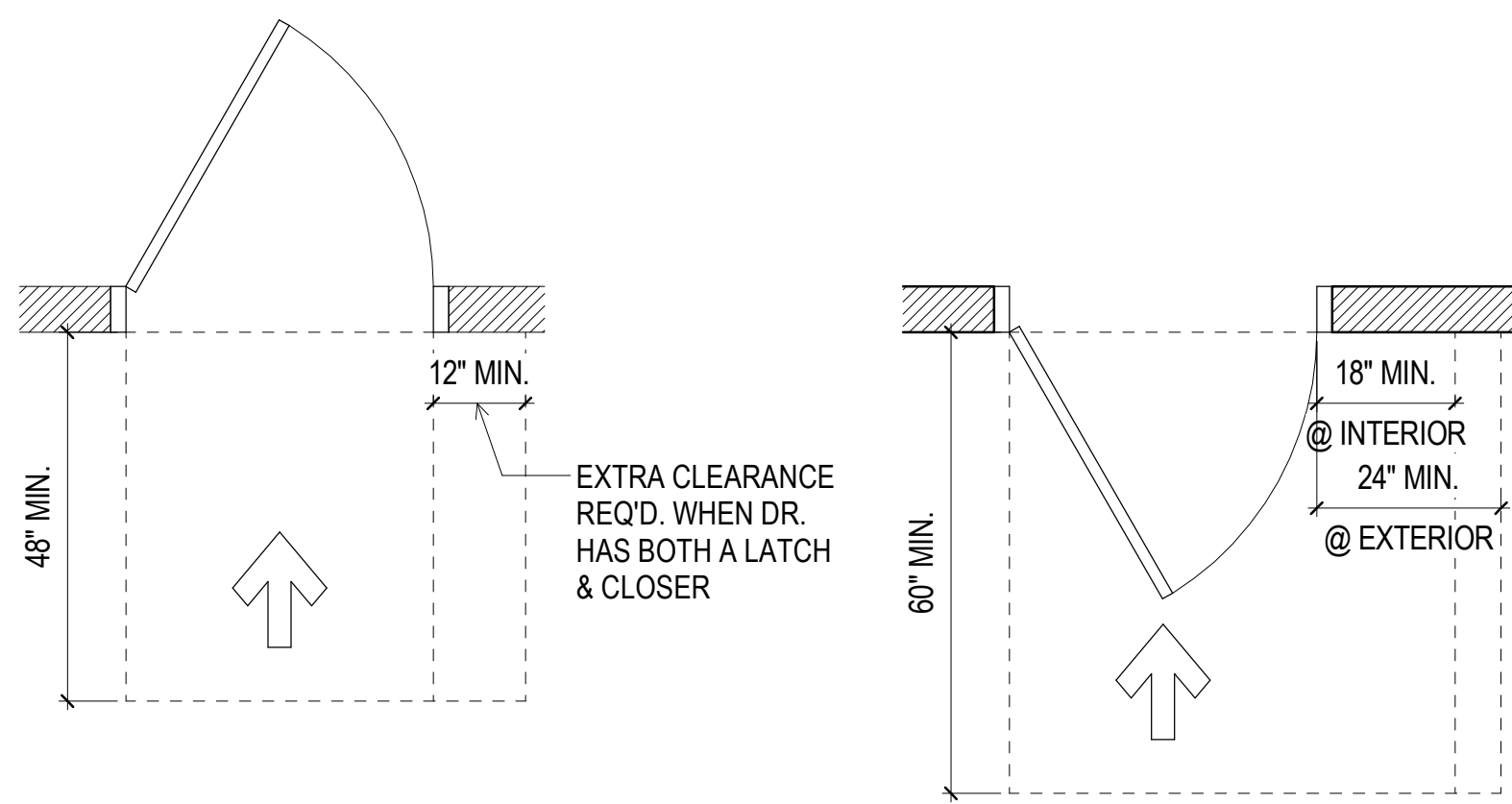
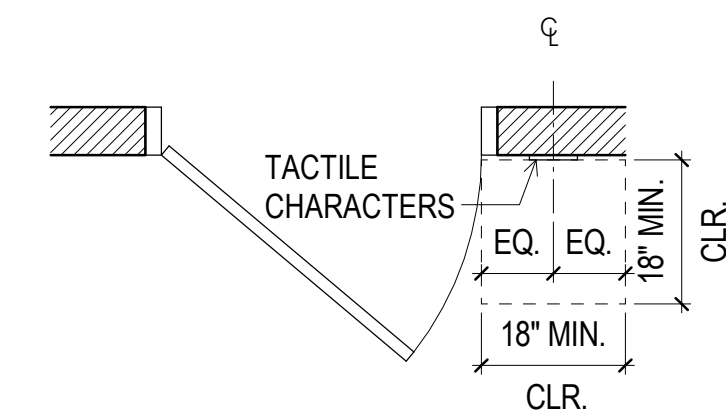
**3 TYPICAL CLEARANCES**

1/2" = 1'-0"



**2 TACTILE SIGN CLEARANCE**

1/2" = 1'-0"



**A. FRONT APPROACH - PUSH SIDE**

NOTES:

1. ARROW INDICATES APPROACH DIRECTION.
2. DASHED LINE INDICATES AREA OF LEVEL AND CLEAR LANDING.
3. DOOR OPENING CLEAR WIDTH IS 32" MIN.

**1 DOOR MANEUVERING CLEARANCES**

1/2" = 1'-0"



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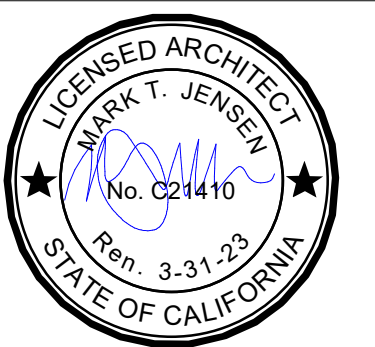
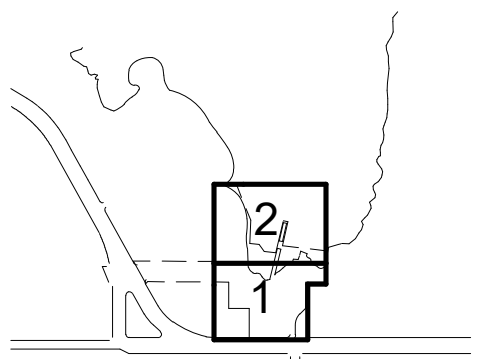
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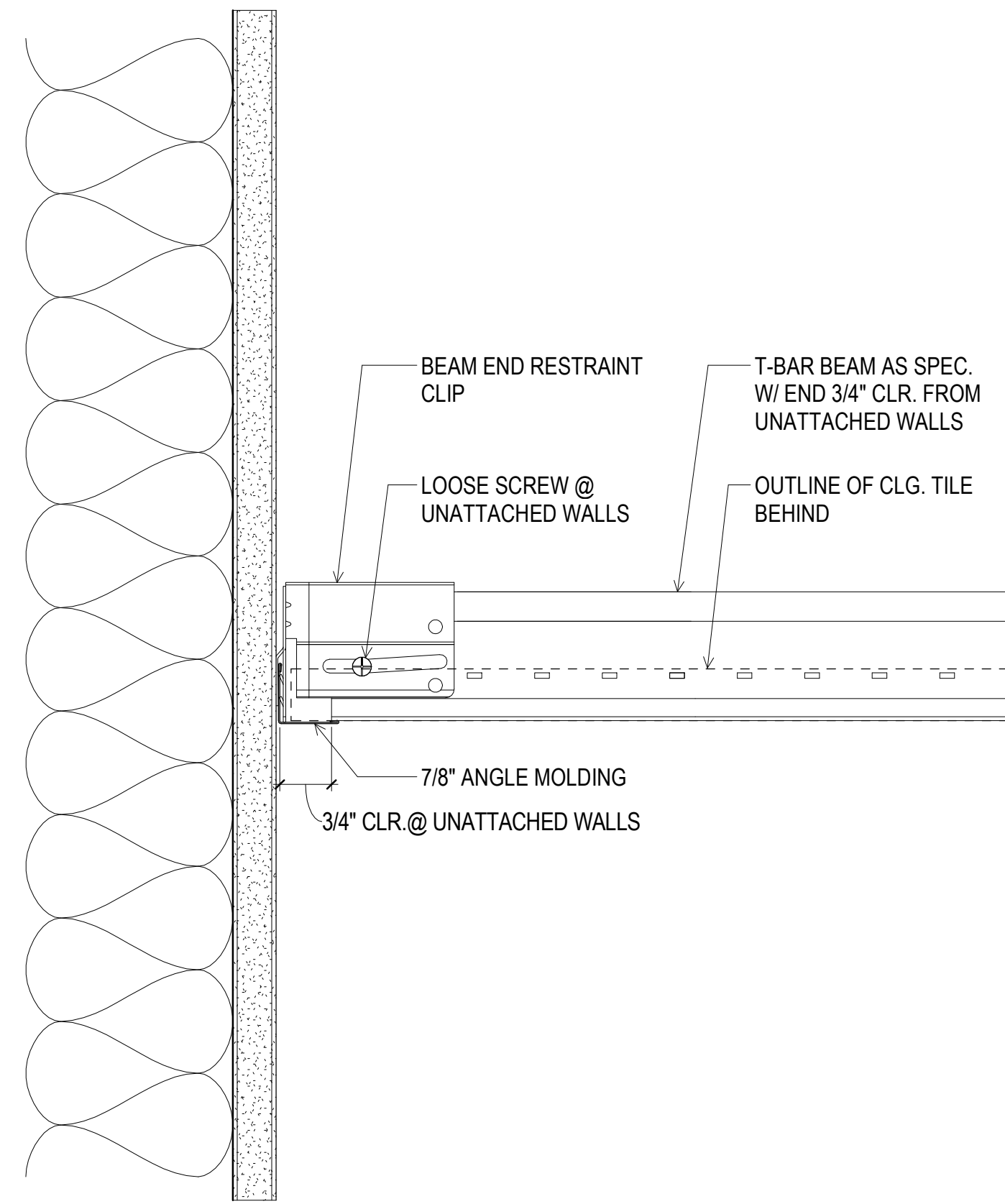
ISSUANCE

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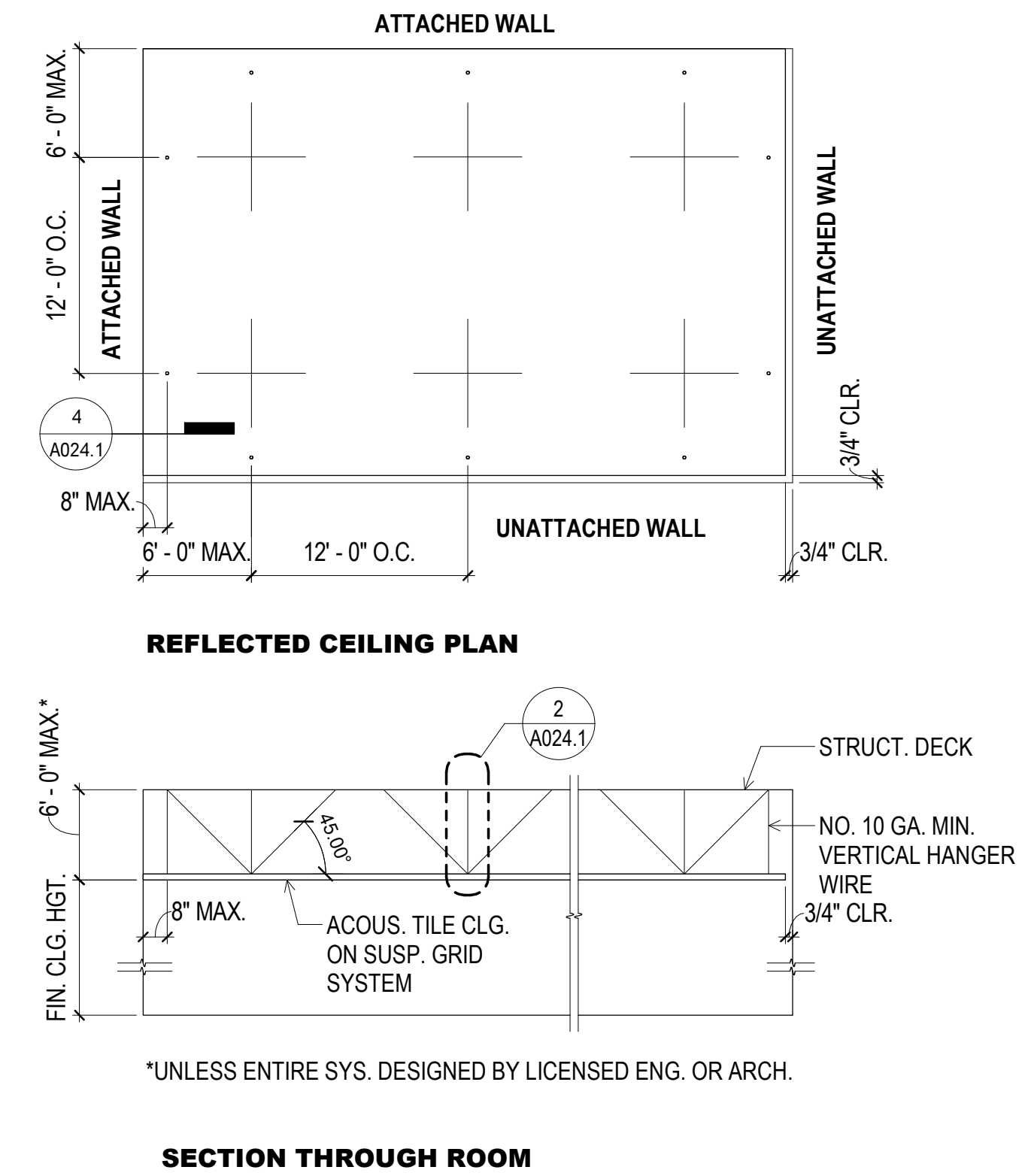
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**TYP. CEILING & LIGHTING  
DETAILS**

**A024.1**

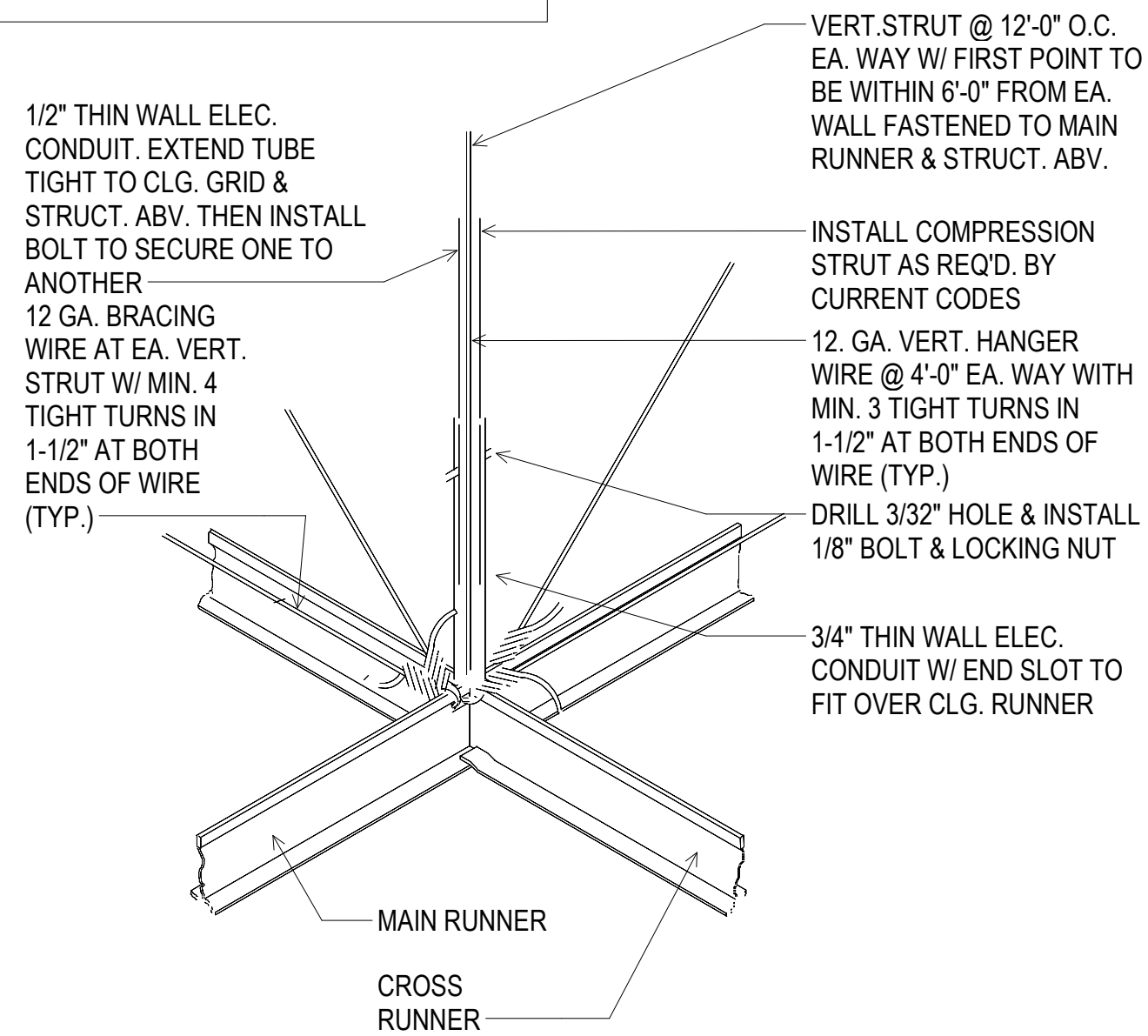


**4 T-BAR CLG. PERIMETER DETAIL**  
6" = 1'-0"



**3 TYP. T-BAR INSTALL. GUIDELINES**  
1/8" = 1'-0"

**CLG. INSTALLATION MUST BE IN ACCORDANCE W/ THE PROVISIONS OF ASTM C635 & C636**

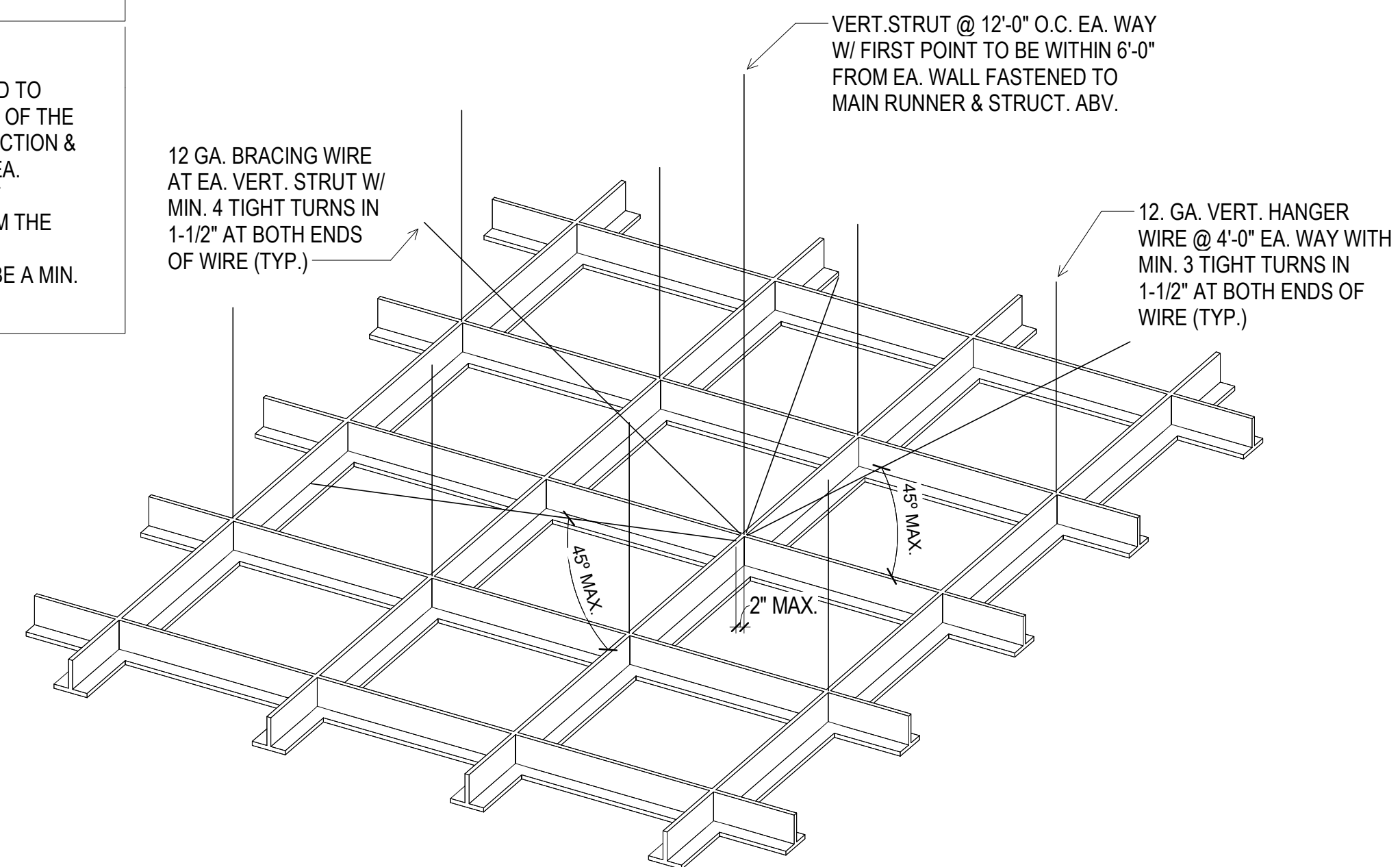


**2 T-BAR SUPPORT DETAIL**  
3" = 1'-0"

**CLG. INSTALLATION MUST BE IN ACCORDANCE W/ THE PROVISIONS OF ASTM C635 & C636**

**NOTES:**

- BRACING WIRES SECURED TO MAIN RUNNERS WITHIN 2" OF THE CROSS RUNNER INTERSECTION & SPLOYED 90 DEG. FROM EA. OTHER AT AN ANGLE NOT EXCEEDING 45 DEG. FROM THE CLG. PLANE
- CLOSURE ANGLE SHALL BE A MIN. OF 2"



**1 TYP. TBAR AXON**  
3" = 1'-0"



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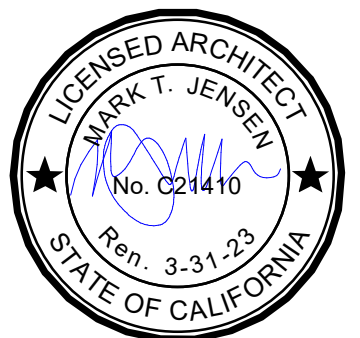
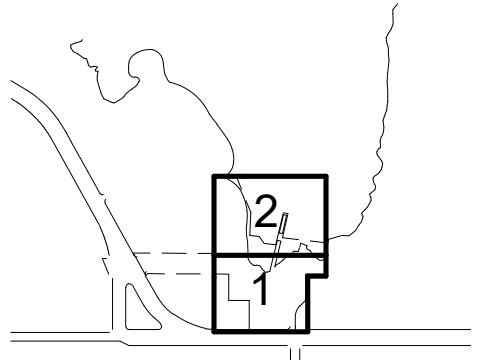
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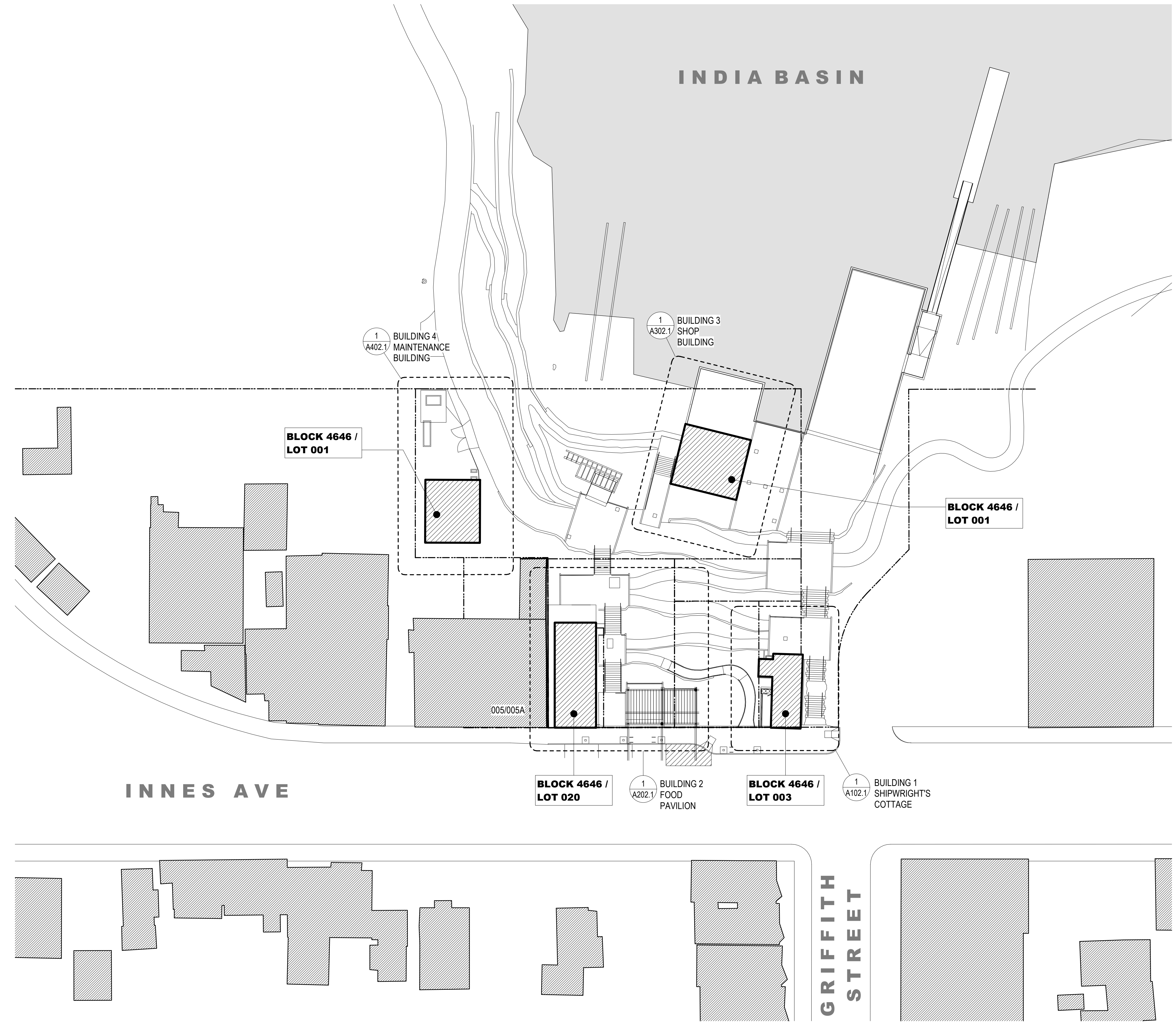
ISSUANCE

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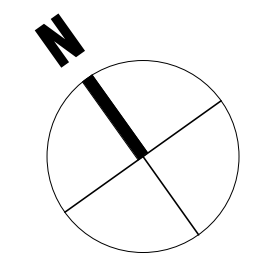
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**ARCHITECTURAL PLOT PLAN**

**A030.1**



**1 PROPOSED PLOT PLAN**  
1/32" = 1'-0"





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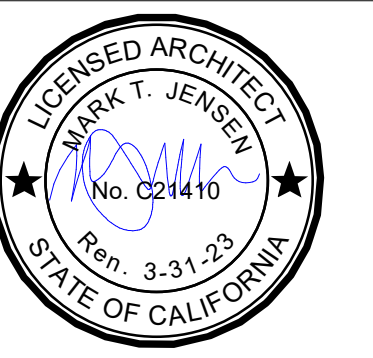
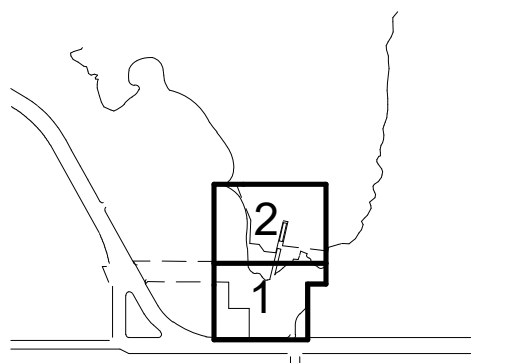
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**REVISIONS:**

NO.	DATE	DESCRIPTION
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DATE	7/01/2021	GGN PROJECT #	1608

EXISTING STREETSCAPE  
PHOTOS

**A031.1**

SHIPWRIGHTS COTTAGE



**3 INNES AVE. BACK FACE OF BLDG'S.**  
NTS

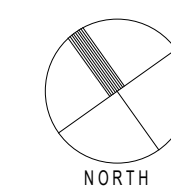


**2 INNES AVE. FRONT FACE OF BLDG'S. ACROSS STREET**  
NTS

SHIPWRIGHTS COTTAGE



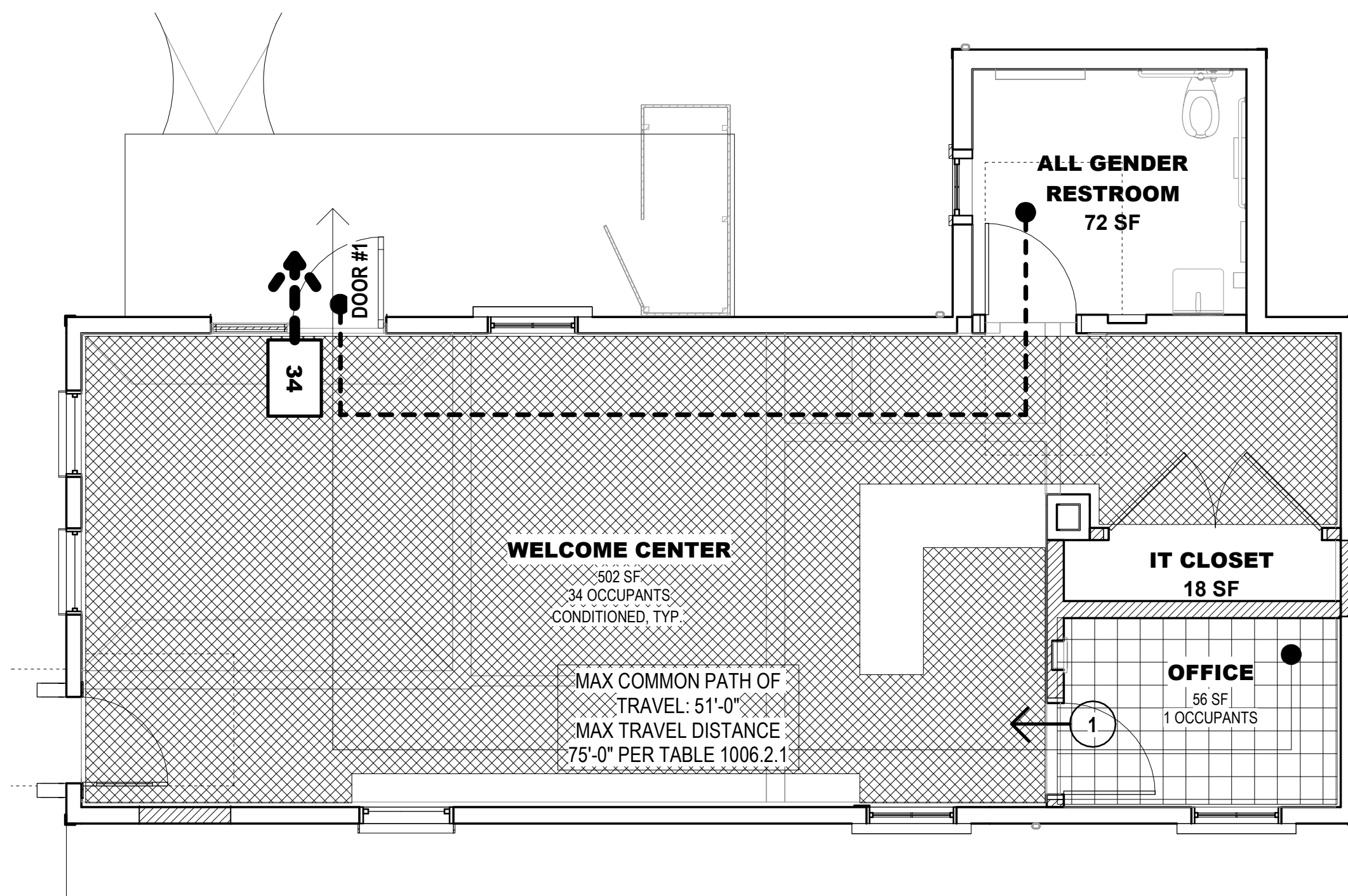
**1 INNES AVE. FRONT FACE OF SUBJECT BLDG'S.**  
NTS



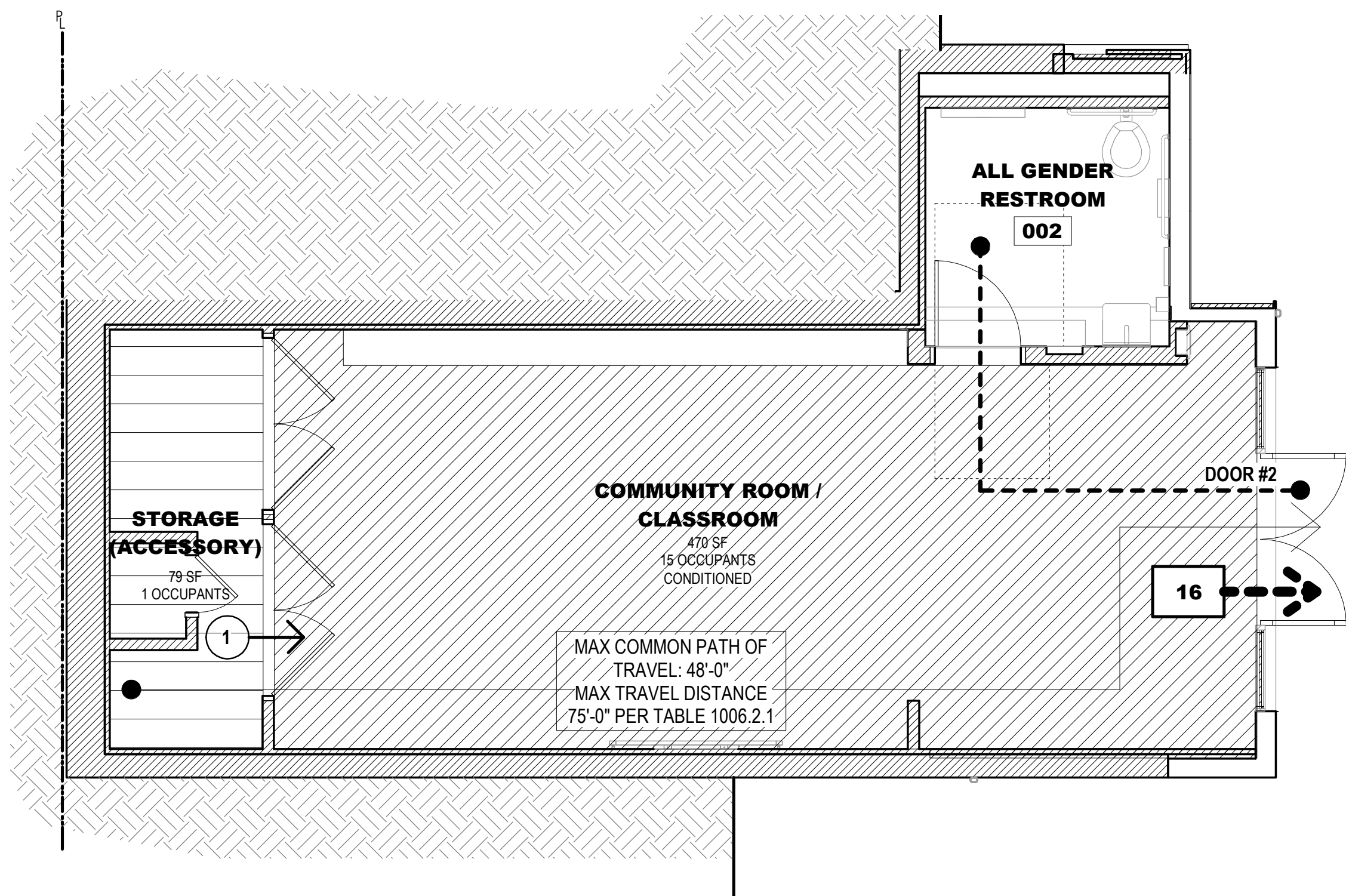


**SHEET NOTES:**

1. REFERENCE 2019 CBC SECTION 302 FOR OCCUPANCY DESCRIPTIONS.
2. REFERENCE 2019 CBC TABLE 1004.5 FOR MAX. FLOOR AREA ALLOWANCES PER OCCUPANT.
3. REFERENCE 2019 CBC SECTION 1005 FOR MINIMUM EGRESS AND WIDTH REQUIREMENTS.
4. REFERENCE 2019 CBC TABLE 1006.2.1 FOR MINIMUM NUMBER OF EXITS FOR OCC. LOAD.
5. REFERENCE 2019 CBC TABLE 1017.2 FOR MAX. EXIT ACCESS TRAVEL DISTANCE WITH AUTOMATIC SPRINKLER SYSTEM. (A & E <250, B <300, S-2 & U <400)
6. REFERENCE 2019 CPC TABLE 422-1 FOR PLUMBING FIXTURE REQUIREMENTS.
7. PER 2019 CPC TABLE 422-1, NOTE 4, "FOR EACH URINAL ADDED IN EXCESS OF THE MINIMUM REQUIRED, ONE WATER CLOSET SHALL BE PERMITTED TO BE DEDUCTED. THE NUMBER OF WATER CLOSETS SHALL NOT BE REDUCED TO LESS THAN TWO-THIRDS OF THE MINIMUM REQUIREMENT."



**2 STREET LEVEL EGRESS PLAN**  
1/4" = 1'-0"



**1 BOATYARD LEVEL EGRESS PLAN**  
1/4" = 1'-0"

**OCCUPANT LOAD - SHIPWRIGHT'S COTTAGE**

ROOM / AREA	FUNCTION OF SPACE	OCCUPIED AREA (SF)	LOAD FACTOR	OCC. BY AREA	EXITS REQ.
STREET LEVEL - SC					
WELCOME CENTER	ASSEMBLY, UNCONCENTRATED	502	1:15 NET	33.5	1
OFFICE	BUSINESS	56	1:150 GROSS	0.4	1
STREET LEVEL OCCUPANT LOAD: 34					
BOATYARD LEVEL - SC					
STORAGE (ACCESSORY)	WAREHOUSE	79	1:300 GROSS	0.3	1
COMMUNITY ROOM / CLASSROOM	ASSEMBLY, EXHIBIT	470	1:30 NET	15.7	1
BOATYARD LEVEL OCCUPANT LOAD: 16					
TOTAL OCCUPANT LOAD: 50					

**PLUMBING FIXTURE SUMMARY**

**PLUMBING FIXTURE OCCUPANT COUNT SHIPWRIGHTS COTTAGE**

ROOM / AREA	OCCUP. GROUP	OCCUPIED AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
STREET LEVEL - SC				
WELCOME CENTER	A2 - EXHIBIT	502	1:30 SF	16.73
OFFICE	B - OFFICE / PUBLIC	56	1:200 SF	0.28
BOATYARD LEVEL - SC				
COMMUNITY ROOM / CLASSROOM	A2 - CONFERENCE ROOM	470	1:30 SF	15.67
STORAGE (ACCESSORY)	H - HAZMAT FAB / STORAGE	79	1:5000 SF	0.02
PLUMBING OCCUPANT LOAD: 34				

**REQUIRED RESTROOM FIXTURE COUNT**

# OF OCCUPANTS	# OF FIXTURES	
	REQUIRED	PROVIDED (ALL GENDER)
33 TOTAL OCCUPANTS / 2 = 17		
17 MEN	1 W.C. / 1 URINAL 1 LAVATORIES	2 W.C. / 1 URINAL 2 LAVATORIES
17 WOMEN	1 W.C. 1 LAVATORIES	NA NA
	1 WATER FOUNTAIN	1 WATER FOUNTAIN

**EXITING REQUIREMENTS**

EXIT COMPONENT	OCC. LOAD CAPACITY	ACTUAL OCC. LOAD	LOAD FACTOR	MIN. WIDTH	WIDTH PROVIDED
DOOR #1	180	34	0.2	34"	36"
DOOR #2	320	27	0.2	34"	64"

**EGRESS LEGEND**

- ← # AREA SPECIFIC OCCUPANT LOAD
- ← 1 PATH OF TRAVEL WITH OCCUPANT LOAD
- ACCESSIBLE PATH OF TRAVEL (P.O.T.)
- ← . . . MAX TRAVEL DISTANCE < 250'-0" = ACCEPTABLE
- ← . . . COMMON PATH OF EGRESS < 75'-0" = ACCEPTABLE
- ▬ 1-HR RATED WALL
- ▬ 2-HR RATED WALL
- ▨ A-2 OCCUPANCY 1:30 SF
- ▨ A-2 OCCUPANCY (COMMERCIAL KITCHEN) 1:200 SF
- ▨ A-3 OCCUPANCY 1:7 SF
- ▨ E OCCUPANCY 1:20 NET SF
- ▨ S-2 OCCUPANCY 1:300 SF
- ▨ B OCCUPANCY 1:150 SF

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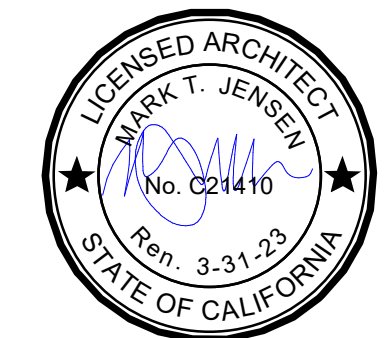
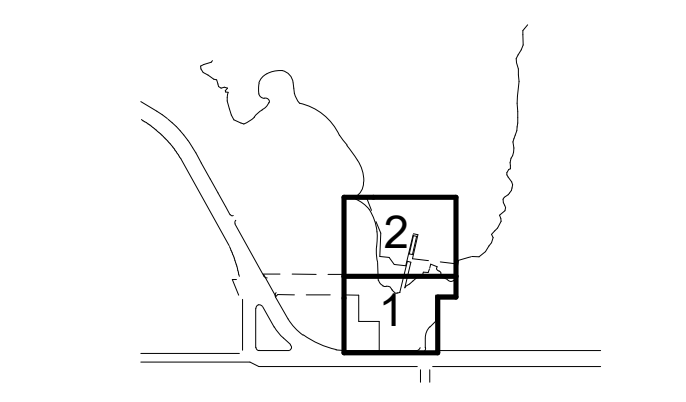
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KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION
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**EGRESS / ACCESSIBLE POT / FIRE RATING PLAN**

**A101.1**



**BUILDING 1: SHIPWRIGHT'S COTTAGE**

BUILDING INFORMATION:	EXISTING	PROPOSED	REQ. / ALLOW.
CONSTRUCTION TYPE	TYPE V-B	TYPE V-B	-
STORIES OF OCCUPANCY	1	1	2
BASEMENTS	1	1	-
BUILDING HEIGHT	18' - 4 1/4"	18' - 4 1/4"	60' - 0"
OCCUPANCY GROUP	R-3	B / A-3	-
FIRE SPRINKLERS	NO	YES	NONE REQ.
GROSS FLOOR AREA:	EXISTING	PROPOSED	REQ. / ALLOW.
STREET (UPPER) LEVEL	748 SQFT.	713 SQFT.	45,000
BOATYARD (LOWER) LEVEL	716 SQFT.	659 SQFT.	45,000
<b>TOTAL BUILDING AREA:</b>	<b>1,464 SQFT.</b>	<b>1,372 SQFT.</b>	<b>N/A</b>

**SHEET NOTES:**

1. LANDSCAPING AND SITE SHOWN FOR REF. ONLY - SEE CIVIL, LANDSCAPE, OR COASTAL ENGINEERING DRAWINGS FOR DETAILS.

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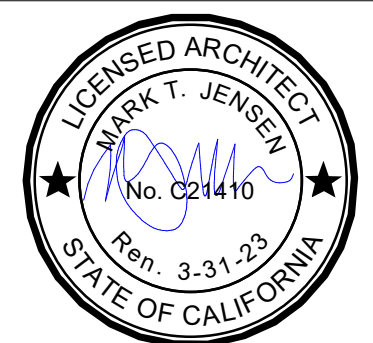
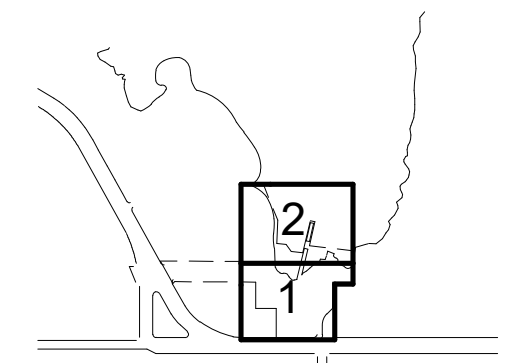
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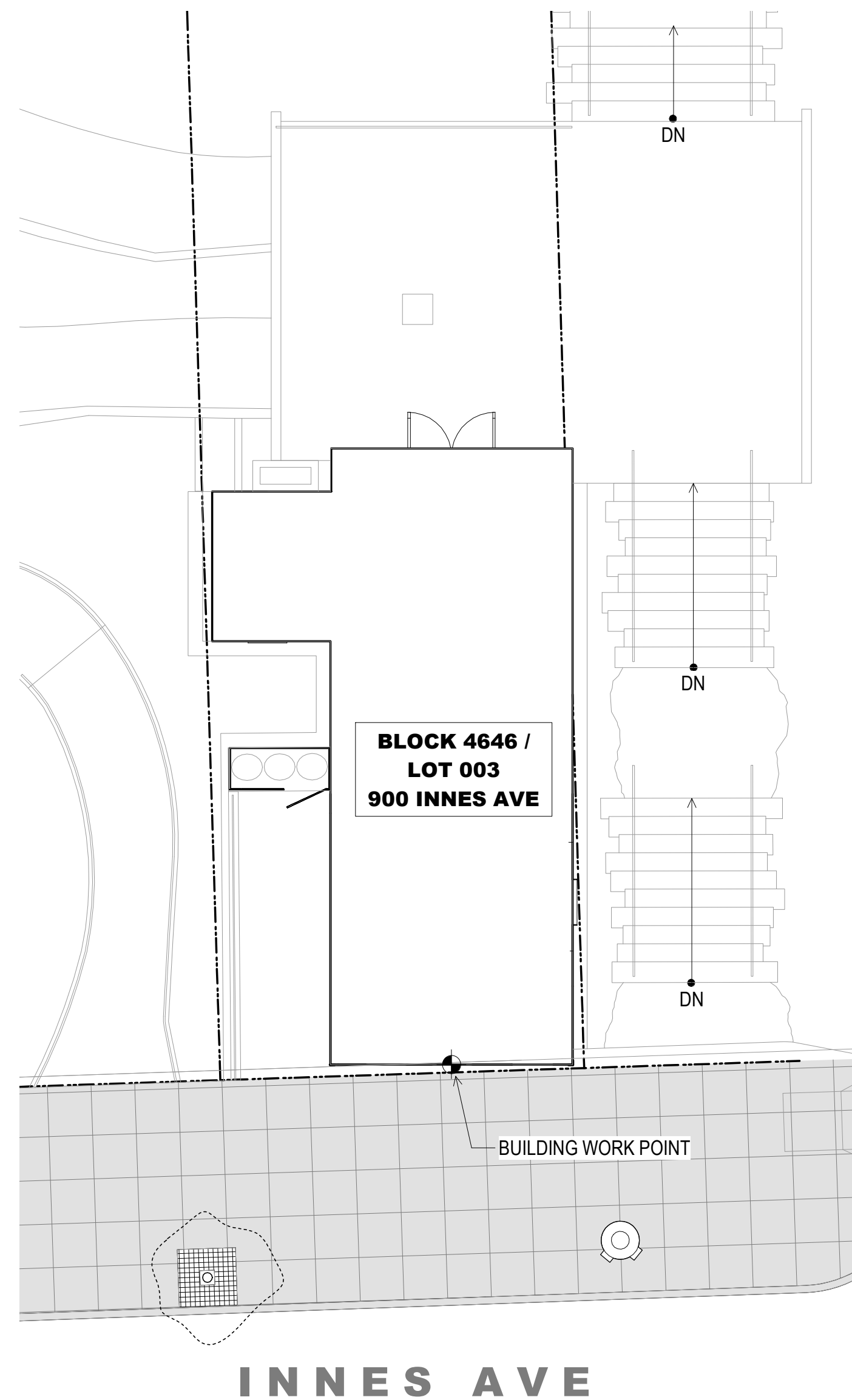
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SHIPWRIGHT'S COTTAGE -  
BUILDING SITE PLAN

**A102.1**



**1 SITE PLAN - SHIPWRIGHT'S COTTAGE**  
1/8" = 1'-0"



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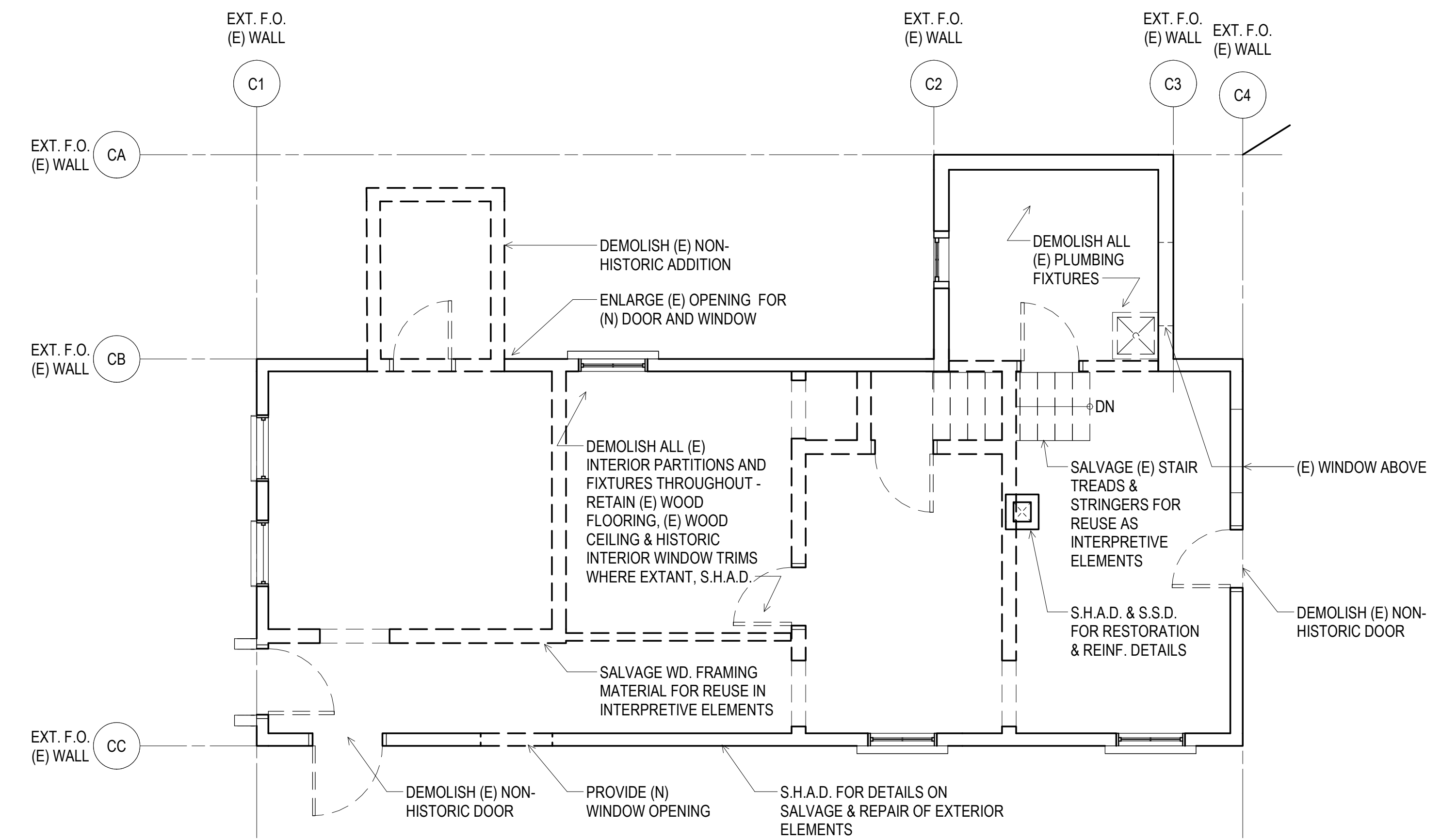
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**WALL LEGEND:**

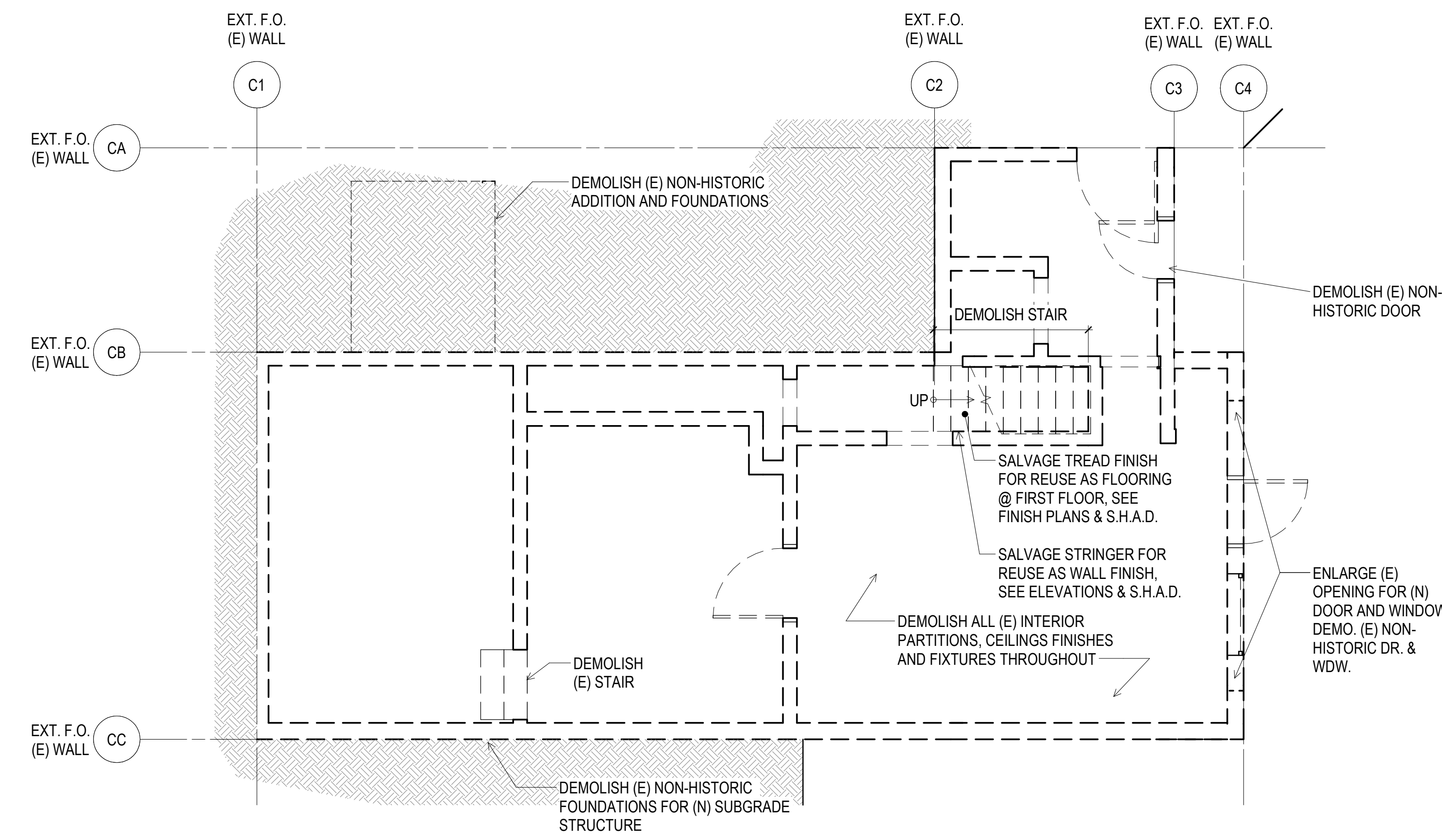
- DEMO WALL / ELEMENT
- EXISTING WALL / ELEMENT

**SHEET NOTES:**

1. S.H.A.D. (SEE HISTORIC ARCHITECT DRAWINGS) FOR DETAILED SALVAGE & RESTORATION PROCEDURES OF HISTORIC ELEMENTS.
2. FOR HISTORIC INTERPRETIVE ELEMENTS, SEE FIN. PLANS & INT. ELEV.

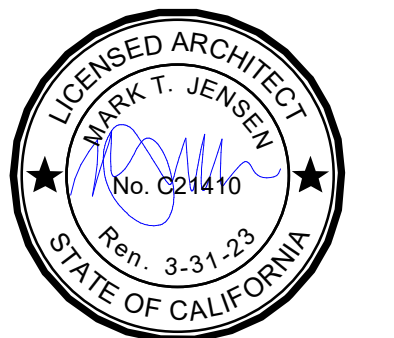
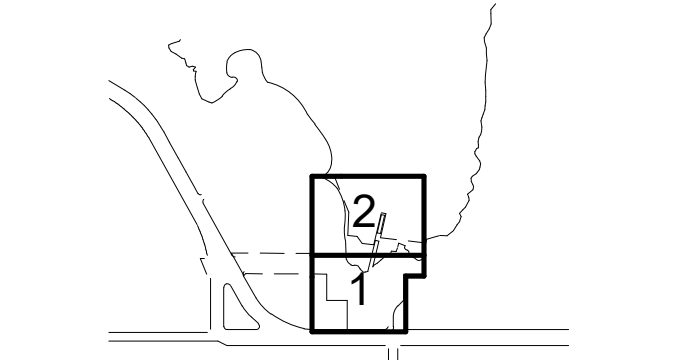


**2 EXISTING / DEMO FIRST FLOOR PLAN**  
1/4" = 1'-0"



**1 EXISTING / DEMO BASEMENT PLAN**  
1/4" = 1'-0"

KEY PLAN



REVISIONS:

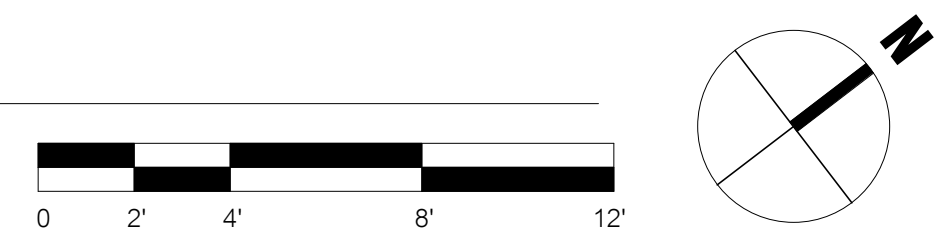
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SHIPWRIGHT'S COTTAGE - EXISTING / DEMO PLANS

**A110.1**

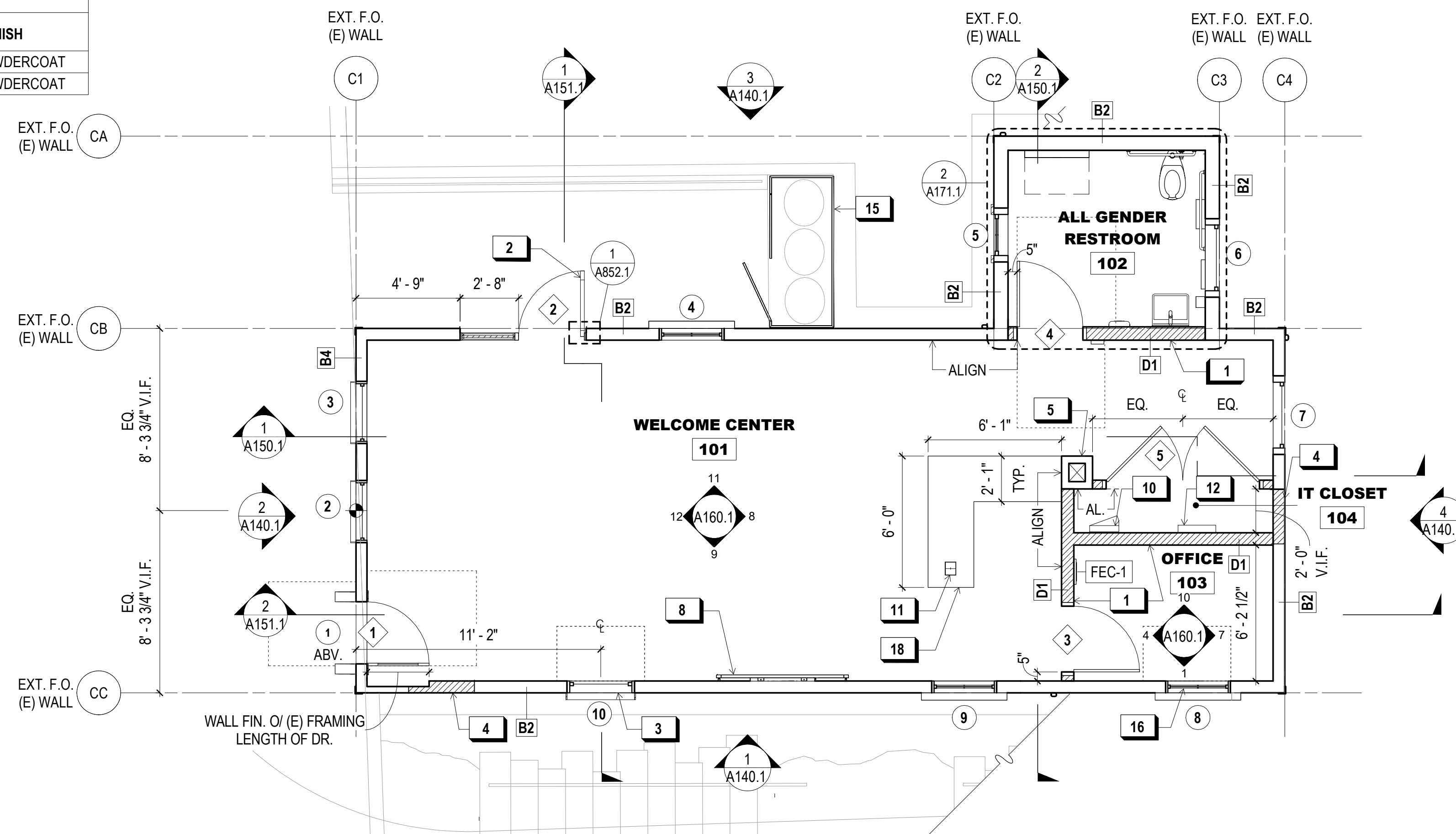




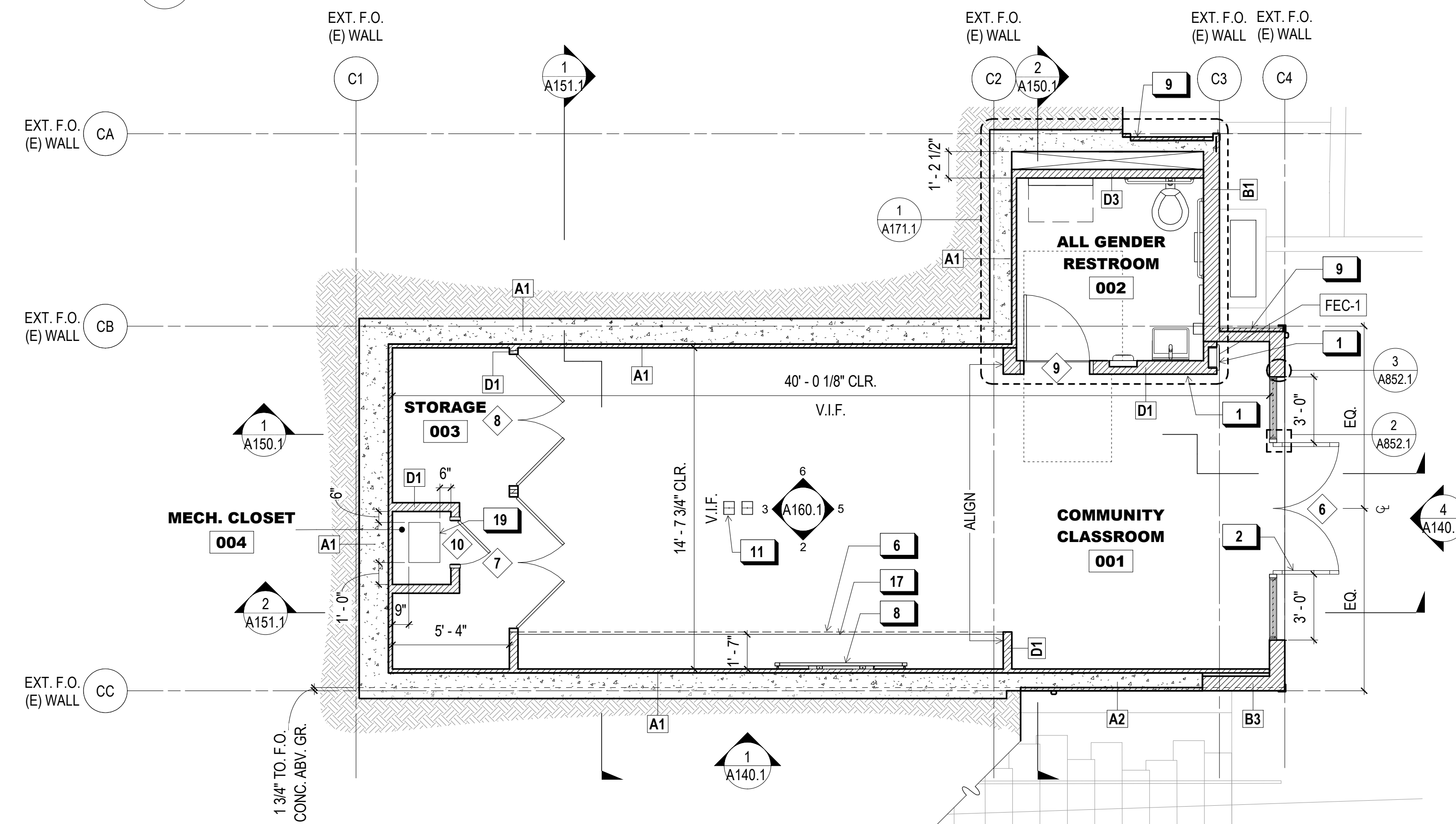
**F.E.C. LEGEND**

TAG	MFR.	SERIES / MODEL	TRIM STYLE	DOOR STYLE	FINISH
FEC-1	J.L. INDUSTRIES	AMBASSADOR / 1016	1-1/2" SQUARE	V10, PULL HANDLE	WHITE POWDERCOAT
FEC-2	J.L. INDUSTRIES	AMBASSADOR / 2012	4" ROLLED	V10, FLUSH PULL	WHITE POWDERCOAT

FIRE EXTINGUISHERS:  
 1. TYPICAL: CLASS ABC, 5-LB CAPACITY, UL RATING 2A:10BC  
 2. COMMERCIAL KITCHEN: CLASS K, WET CLASS(WC) IN ACCORDANCE W/ CFC SECTION 904.11.5, J.L. INDUSTRIES "SATURN"



**2 PROPOSED FIRST FLOOR PLAN (STREET LEVEL)**  
 1/4" = 1'-0"



**1 PROPOSED BASEMENT PLAN**  
 1/4" = 1'-0"

**SHEET NOTES:**

- ACCESSIBLE WD. SHALL BE PROVIDED W/ A CLR. FLR. SPACE, OPERABLE PARTS WITHIN AN ACCESSIBLE REACH RANGE AND OPERATION PER CBC 2019 11B-309.
- ALL SWITCHES, CONTROLS, AND ELEC. RECEPTACLES NOT DEDICATED TO EQUIP. SHALL BE WITHIN AN ACCESSIBLE REACH RANGE PER CBC 2019 11B-308.1. SEE 6/A023.1 FOR TYP. MOUNTING HGTS.
- FOR WALL TYPES, SEE A801.1-A803.1. SEE KEYNOTES FOR LOC. W/ FRAMING DEPTH REQMT. (E) FRAMING TO BE V.I.F.

**WALL LEGEND:**

- NEW WALL / ELEMENT
- NEW CONCRETE WALL
- EXISTING WALL / ELEMENT
- BUILDING WORKING PT. (S.L.D. FOR LOC. ON SITE)

**X KEY NOTES:**

- 2X6 FRAMING @ INT. WALL FOR PLUMBING, CONDUIT, OR RECESSED EQUIP.
- (N) WD. DOOR AND SIDELITE(S)
- (N) ACCESSIBLE WD. WDW.
- (E) NON-HISTORIC DOOR & TRIM TO BE REMOVED, INFILL WITH WOOD SIDING TO MATCH (E)
- RESTORED CHIMNEY W/ EXP. BRICK, PTD.
- SOFFIT ABV., 1-5/8" MTL. TEE OR 1-1/2" WD. MAX. FR. DEPTH
- DIGITAL DISPLAY
- (E) DR. PANEL INSTALLED AS FIN. SIDING, PROVIDE RECESS IN CONC. STEM WALL, S.H.A.D.
- ELECTRICAL PANEL, S.E.D.
- FLOOR OUTLET, S.E.D.
- ELECTRICAL SWITCHING RACK, S.E.D.
- (N) TRASH & RECYCLING ENCLOSURE, APPROX. 17 SF, S.L.D.
- RESTORED HISTORIC WDW., ACCESSIBLE PER SHEET NOTE 1, PROVIDE COMPLIANT HANDLE & LOCK @ SILL
- PROVIDE ALLOWANCE FOR CSWK - 34" H. FULL WIDTH PLAM. BASE CAB. W/ LOCKING DR. & ADJ. SHELVING, BUTCHER BLK. TOP
- PROVIDE ALLOWANCE FOR CSWK - 34" H. WD. VENEER RECEPTION DESK W/ INTEGRATED POWER & DATA, OPEN SHELVING @ FRONT FACE, PULLOUT TRASH DRAWER & LOCKING CAB. DR. @ INSIDE FACE, QUARTZ TOP
- STANDING FAN COIL UNIT, S.M.D.

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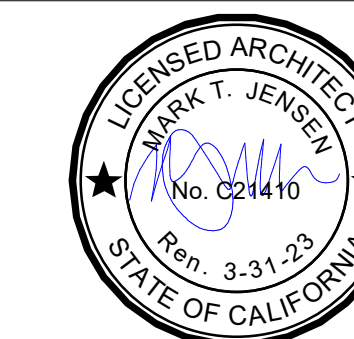
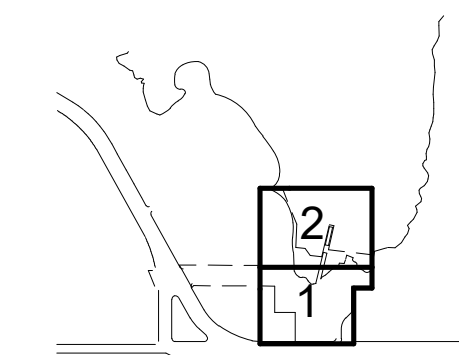
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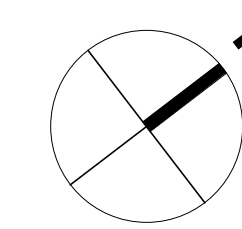
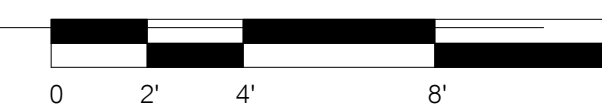
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SHIPWRIGHT'S COTTAGE - PROPOSED PLANS

**A120.1**





X KEY NOTES:	
1	(N) COMP. SHINGLE ROOF TO REPLACE (E), TYP.
2	NONFUNCTIONAL, RESTORED HISTORIC CHIMNEY, S.H.A.D. & S.S.D.
3	(N) STAINLESS STEEL GUTTER, PTD., TYP.
4	(N) OSHA-COMPLIANT D-RING ANCHOR FOR FALL ARREST SYSTEM, TYP.
5	OUTSIDE AIR INTAKE FOR FAN COIL, S.M.D.
6	EXHAUST VENT FOR RESTROOM E.F., S.M.D.
7	(N) S.S. PLAIN 2"x3" SQUARE DS. BELOW, PTD. LOC. TIGHT TO CORNER BD. W.O.

# 900 INNES PARK DEVELOPMENT

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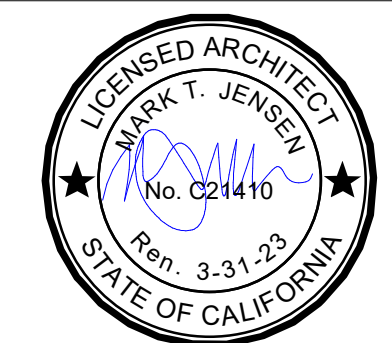
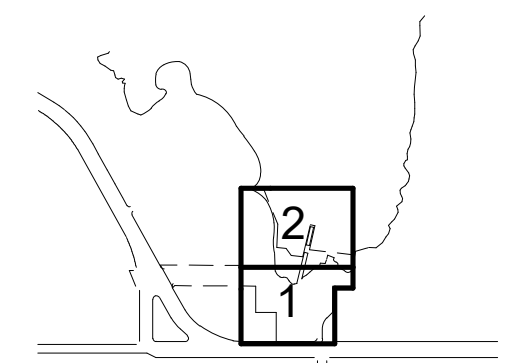
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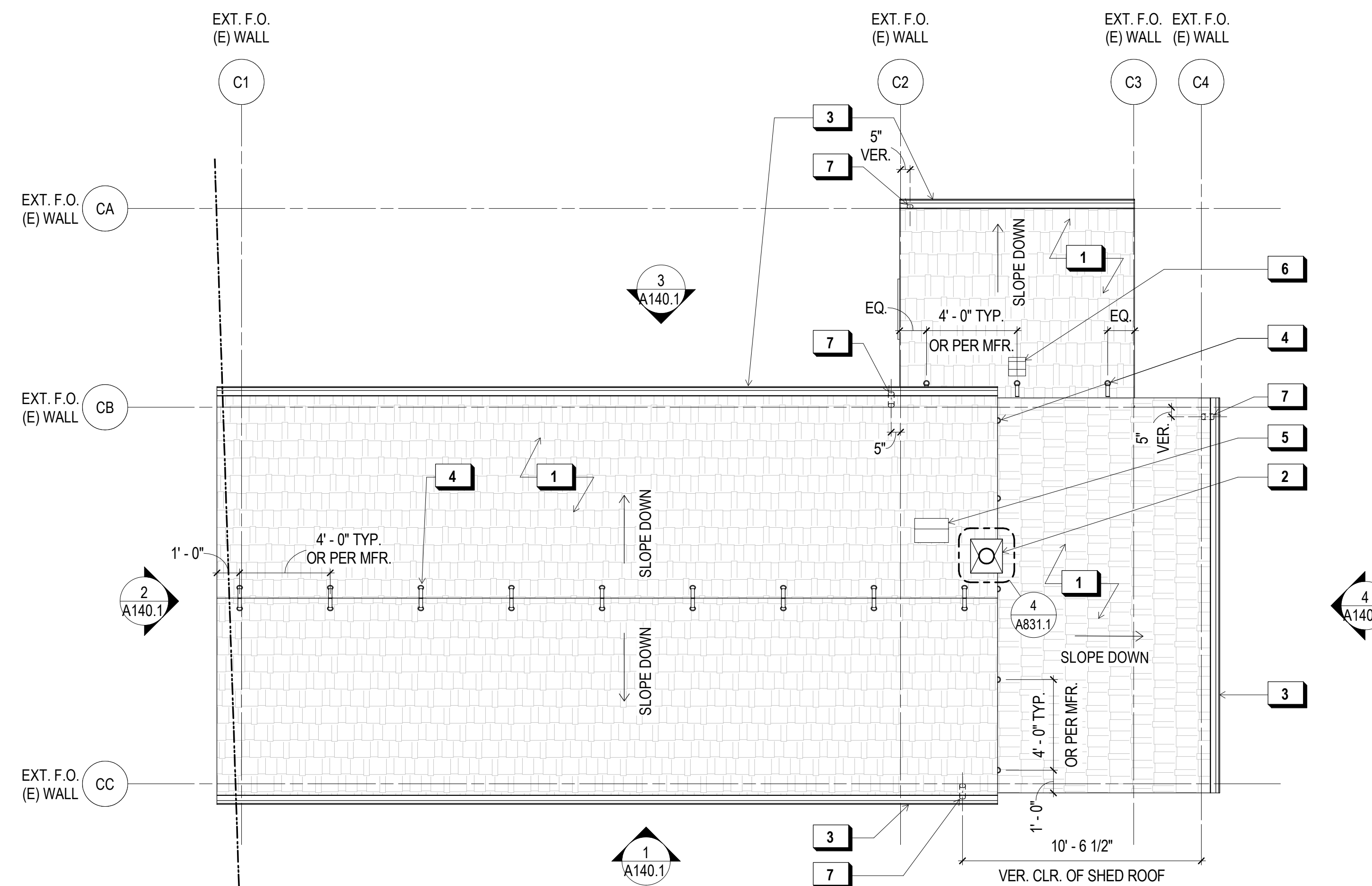
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SHIPWRIGHT'S COTTAGE -  
PROPOSED ROOF PLAN

# A121.1



**1 PROPOSED ROOF PLAN**  
1/4" = 1'-0"



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JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

FOR OFFICIAL USE

**WALL LEGEND:**

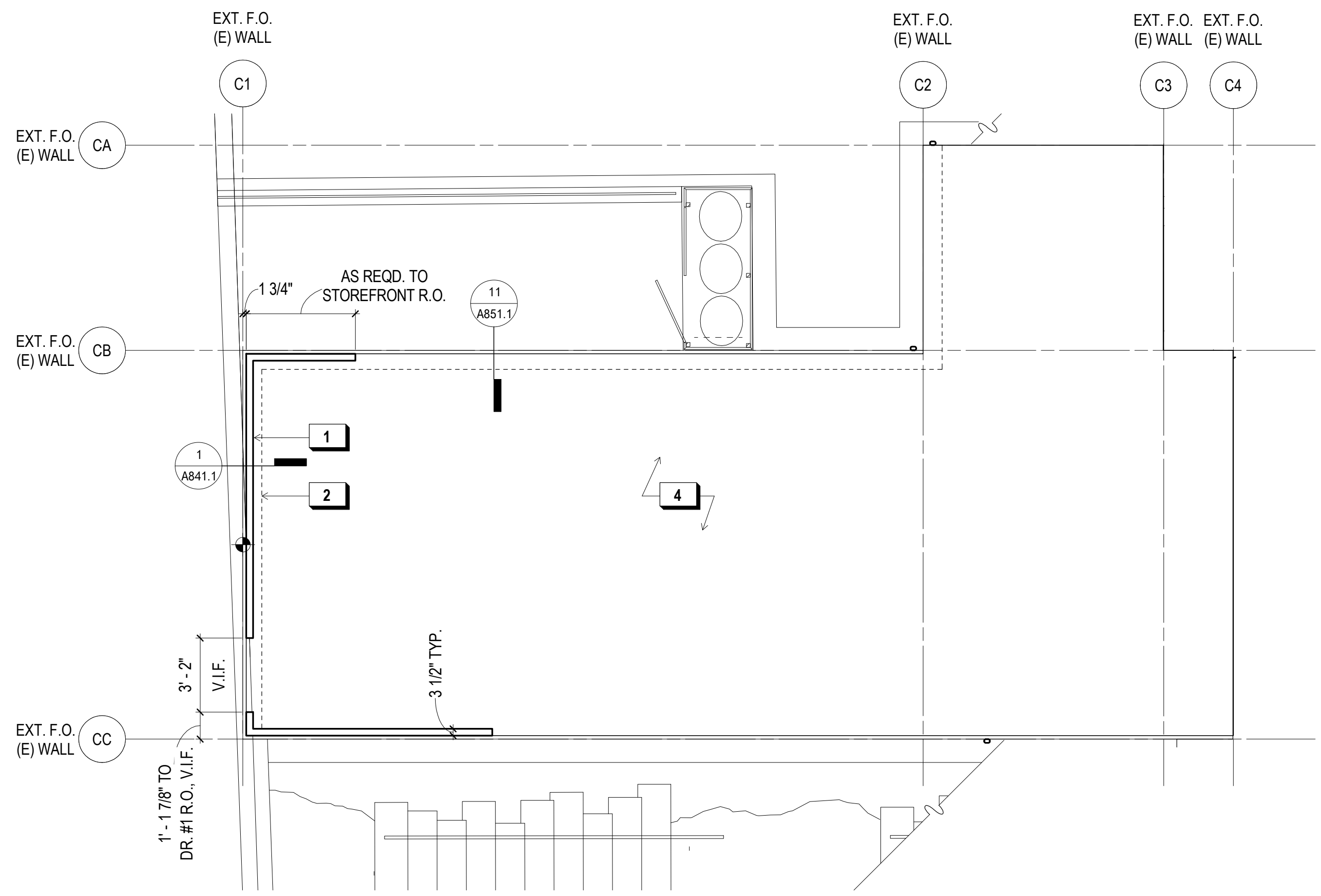
- STRUCTURAL CONC. SLAB W/ 3" TOPPING TYP. U.O.N.
- SPLIT CONC. TOPPING SLAB O/ STRUCTURAL CONC. SLAB
- CONC. WALL
- CONC. CURB (6" A.F.F. U.O.N.)
- WALL OR FOOTING BELOW
- AREA DRAIN
- LINEAR SLOT DRAIN

**SHEET NOTES:**

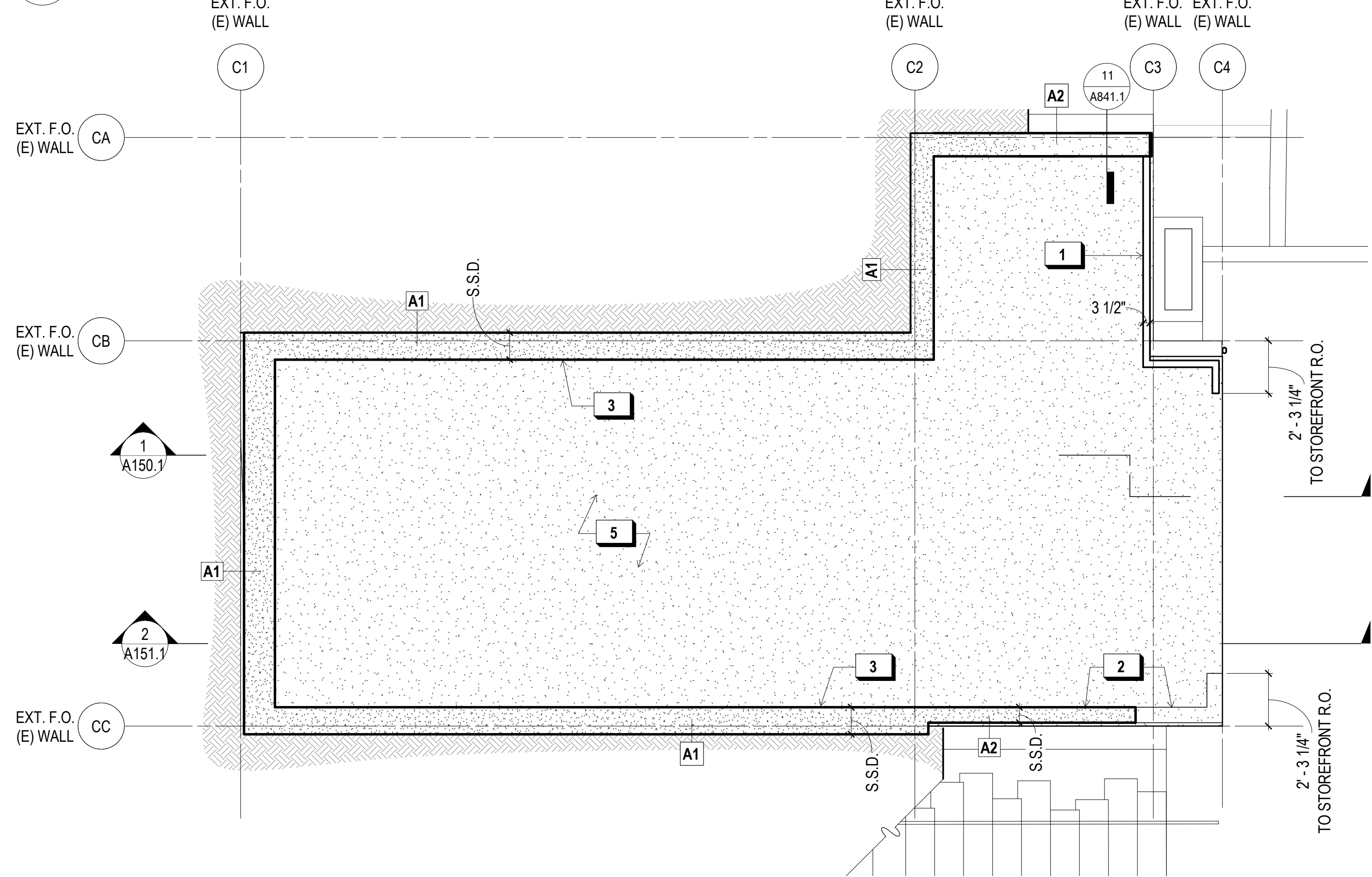
1. REFER TO STRUCTURAL DRAWINGS FOR SIZING AND LOCATION OF PILES, FOUNDATIONS, RETAINING WALLS, AND STEM WALLS.
2. REFER TO LANDSCAPE DRAWINGS FOR SIZING AND LOCATION OF EXTERIOR PAVING AND SLABS.
3. DIMENSIONS SHOWN FOR REFERENCE ONLY. VERIFY REQUIRED CLEAR DIMENSIONS, ETC. WITH PROPOSED FLOOR PLANS.

**X KEY NOTES:**

- 1 CONC. CURB FOR FRAMED WALL, TYP.
- 2 CONC. STEM WALL (BLW. SHOWN DASHED), S.S.D.
- 3 CONC. FND. / RETAINING WALL, TYP., S.S.D.
- 4 FRAMED FLR.
- 5 CONC. MAT SLAB W/ KEY, NO TOPPING, S.S.D.

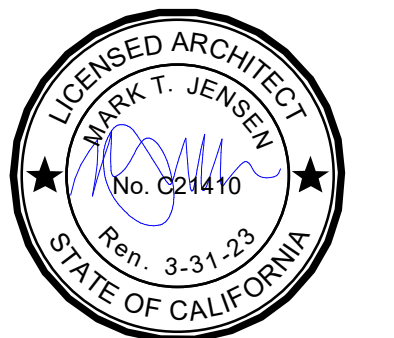
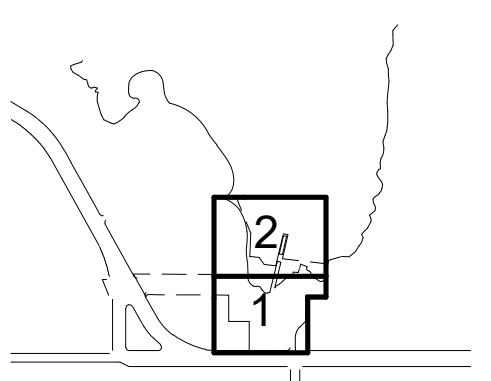


**2 FIRST FLOOR SLAB PLAN**  
1/4" = 1'-0"



**1 BASEMENT SLAB PLAN**  
1/4" = 1'-0"

KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

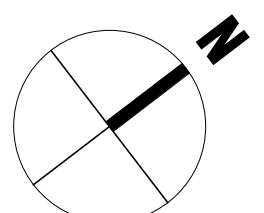
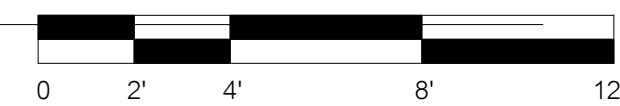
ISSUANCE

**BID SET**

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**SHIPWRIGHT'S COTTAGE -  
SLAB PLANS**

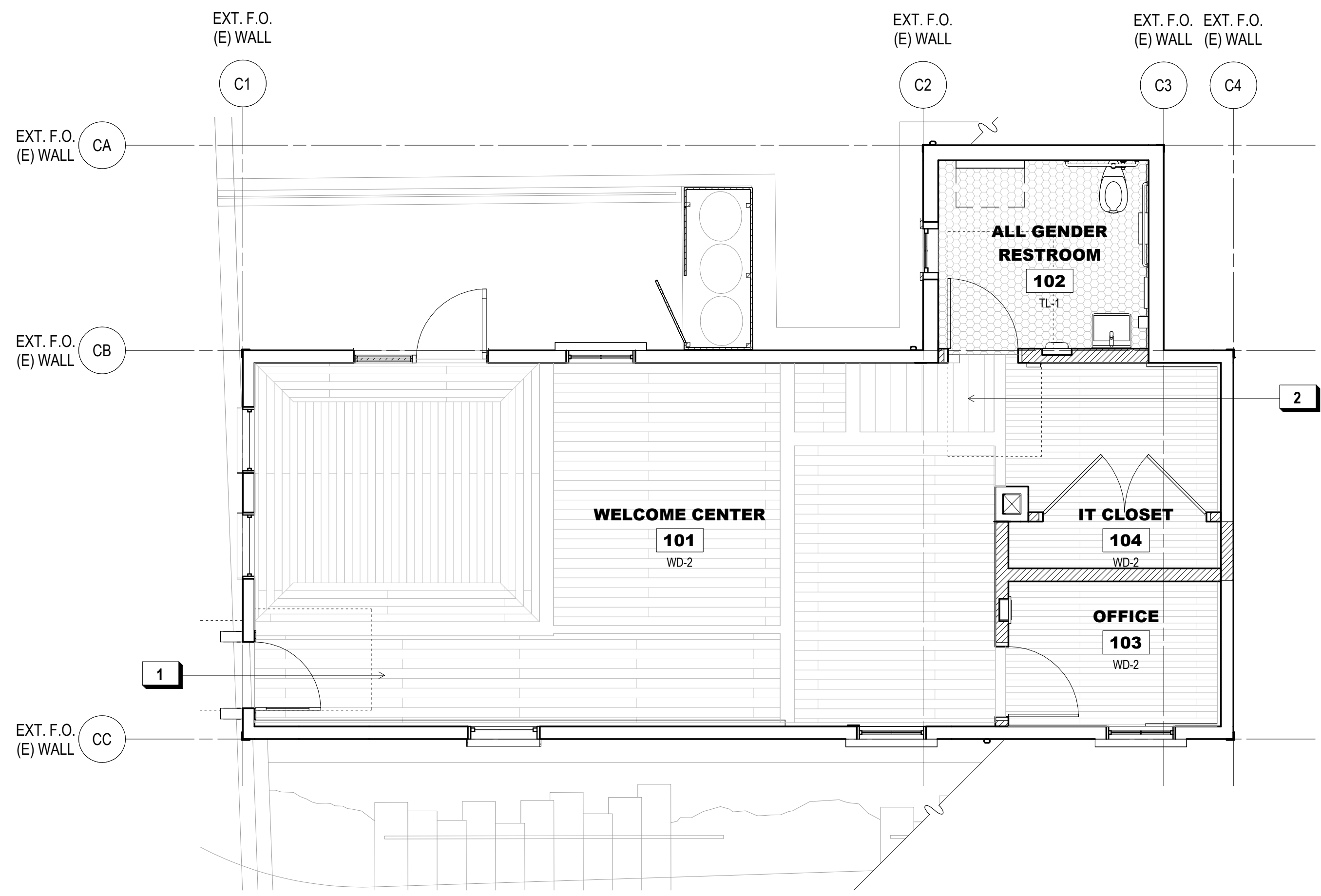
**A122.1**



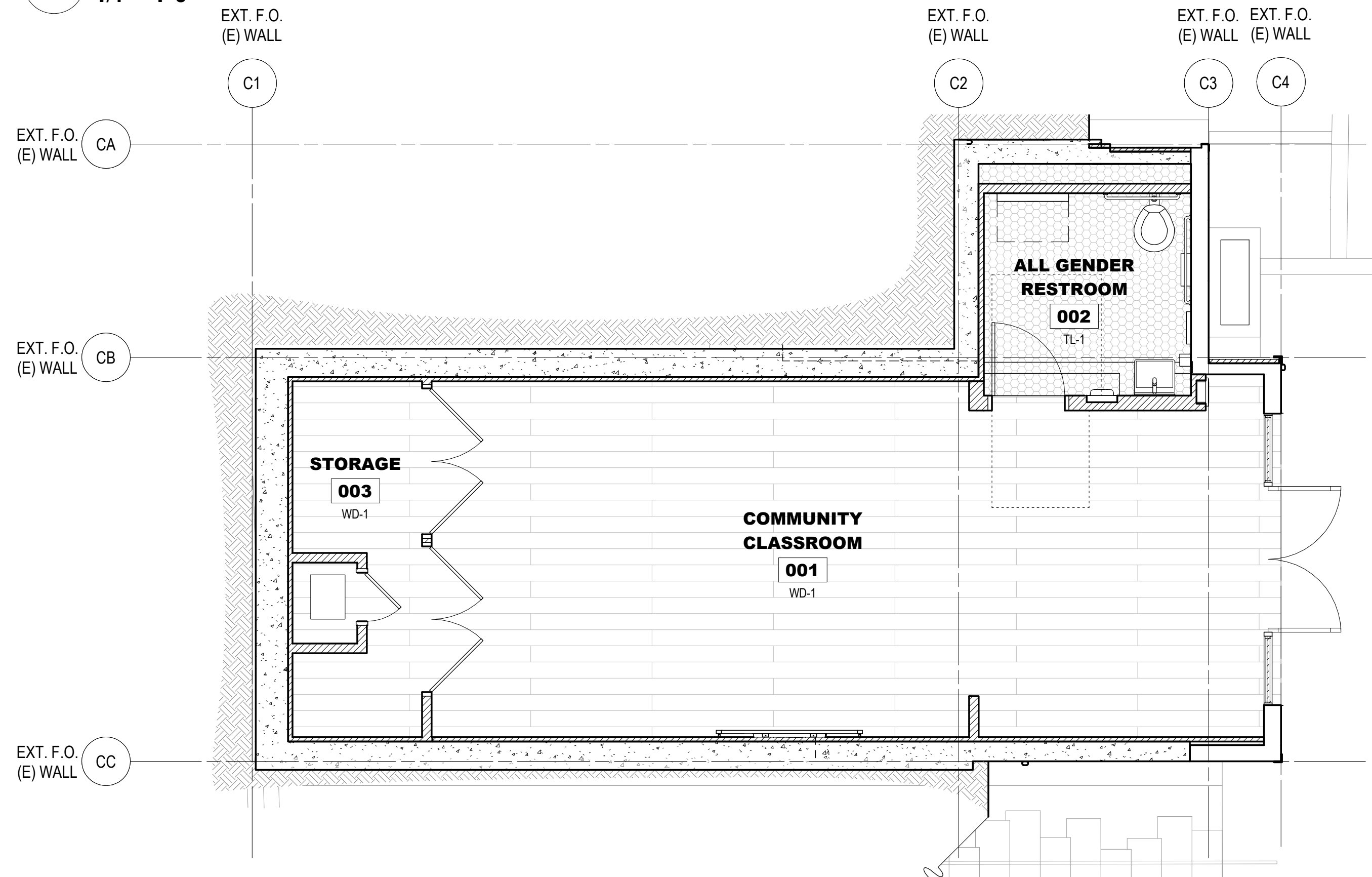


ROOM FINISH SCHEDULE						
ROOM NO.	ROOM	FINISH				REMARKS
		FLOOR	BASE	WALL	CEILING	
001	COMMUNITY CLASSROOM	WD-1	WB-1	WP-1 / PT-1	PT-1	
002	ALL GENDER RESTROOM	TL-1	TL-2	TL-2	PT-1	
003	STORAGE	WD-1	WB-1	PT-1	PT-1	
004	MECH. CLOSET	WD-1				
101	WELCOME CENTER	WD-2	WB-1	PT-1	WC-1	PT. TO MATCH PT-1
102	ALL GENDER RESTROOM	TL-1	TB-1	TL-2	PT-1	
103	OFFICE	WD-2	WB-1	PT-1	ACT-1	
104	IT CLOSET	WD-2	WB-1	PT-1	PT-1	

FINISH LEGEND						
FINISH CODE	DESCRIPTION	MANUFACTURER	PRODUCT	SIZE	SPECIES / COLOR	FINISH
PT-1	PTD. GYP. BD.	BENJAMIN MOORE	AURA	NA	SUPER WHITE	MATTE
TB-1	COVER BASE - METAL	SCHLUTER	DILEX-AHK	8 MM	NA	SATIN
TL-1	PORCELAIN TILE	DALTILE	KEYSTONES	AS SHOWN	COLOR TBD	NA
TL-2	CERAMIC TILE	DALTILE	COLOR WHEEL	AS SHOWN	COLOR TBD	NA
WB-1	WOOD BASE	NA	NA	4"	PAINT GRADE	PTD.
WB-2	WOOD BASE	SAROYAN	NA	4"	PRE-FINISHED	PTD.
WC-1	WOOD CEILING	SALVAGED	NA	VARIES	VARIES	PER SPEC
WD-1	WOOD FLOOR	SAROYAN	TREE SMART	8" PLANK	WHITE OAK	PRE-FINISHED
WD-2	WOOD FLOOR	SAROYAN	TREE SMART	8" PLANK	WHITE OAK	BONA TRAFFIC HD
WP-1	ACOUSTIC PANELS	KIREI	ECOPANEL	AS SHOWN	COLOR TBD	NA



**2 FIRST FLOOR FINISH FLAN**  
1/4" = 1'-0"



**1 BASEMENT FINISH PLAN**  
1/4" = 1'-0"

- X KEY NOTES:**
- SALVAGE AND RESTORE HISTORIC WOOD FLOORING FOR REINSTALLATION, S.H.A.D. AND SPECIFICATIONS FOR DETAILS
  - INTERPRETIVE FLOORING DETAIL @ HISTORIC STAIR. SALVAGE EXTANT TREAD MATERIAL AND MILL TO MATCH HISTORIC FLOORING THICKNESS. INSTALL FLOORING @ HISTORIC INTERIOR STAIR LOCATION, CLEAR SEAL

**900 INNES PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700

THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014

PRIME CONSULTANT / LANDSCAPE ARCHITECT  
GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650

ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650

ECOLOGICAL RESTORATION  
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LIGHTING  
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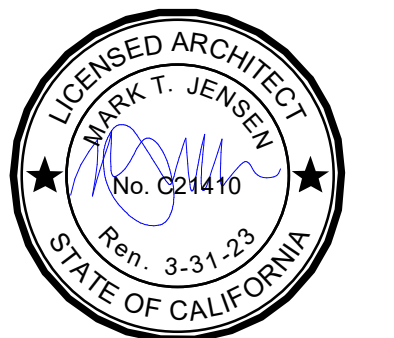
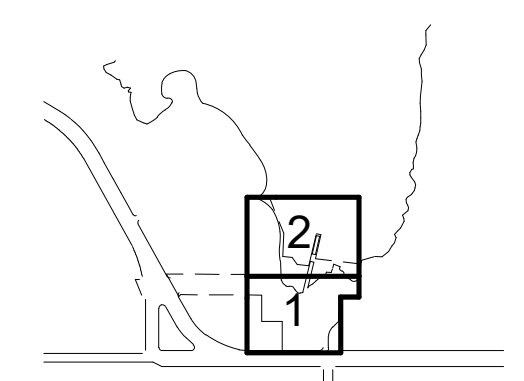
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KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

ISSUANCE

BID SET	
DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**SHIPWRIGHT'S COTTAGE - FINISH PLANS**

**A123.1**



**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
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**SHEET NOTES:**

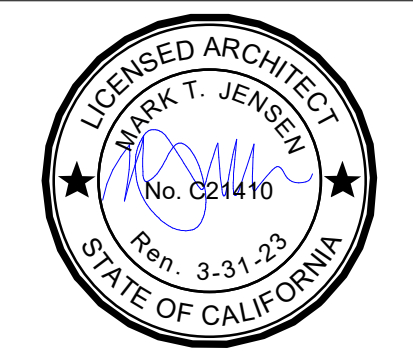
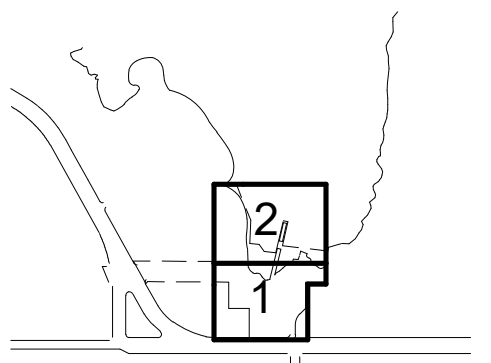
- SEE LIGHTING DESIGNER DRAWINGS AND ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT
- DESIGN BUILD FIRE SUPPRESSION SYSTEMS TO BE COORDINATED WITH ARCHITECT AND LIGHTING CONSULTANT

**X KEY NOTES:**

- FIN. DIRECTLY ATTACHED TO ROOF OR FLR.
- (E) WD. FIN. O/ (N) SHTG., S.H.A.D.
- GYP. BD. SOFFIT, TYP.
- ROOF BEYOND
- S.S. GUTTER, PTD., TYP.
- SURFACE MOUNTED ROLLER SHADE, MANUAL, TYP. AT ALL WINDOWS
- EXP. SURFACE MTD. MANUAL SHADE ROLL, TYP. OF 2.
- TRIMLESS WET DOWNLIGHT
- GALLERY TRACK LIGHTING
- BOH LINEAR LIGHT
- FCU ACCESS PANEL
- RESTROOM EXHAUST VENT, S.M.D.
- OUTSIDE AIR INTAKE BEYOND, S.M.D.
- SUPPLY AIR LINEAR DIFFUSER, S.M.D.
- CEILING MOUNTED WIRELESS ACCESS POINT, S.E.D.
- CEILING MOUNTED OCCUPANCY SENSOR, S.E.D.
- CEILING MOUNTED MOTION DETECTOR, TYP., S.U.D.
- CONCEALED SPRINKLER HEAD, TYP.
- RETURN AIR GRILL
- SUPPLY AIR LINEAR DIFFUSER, WALL MTD. ABV.

FOR OFFICIAL USE

KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

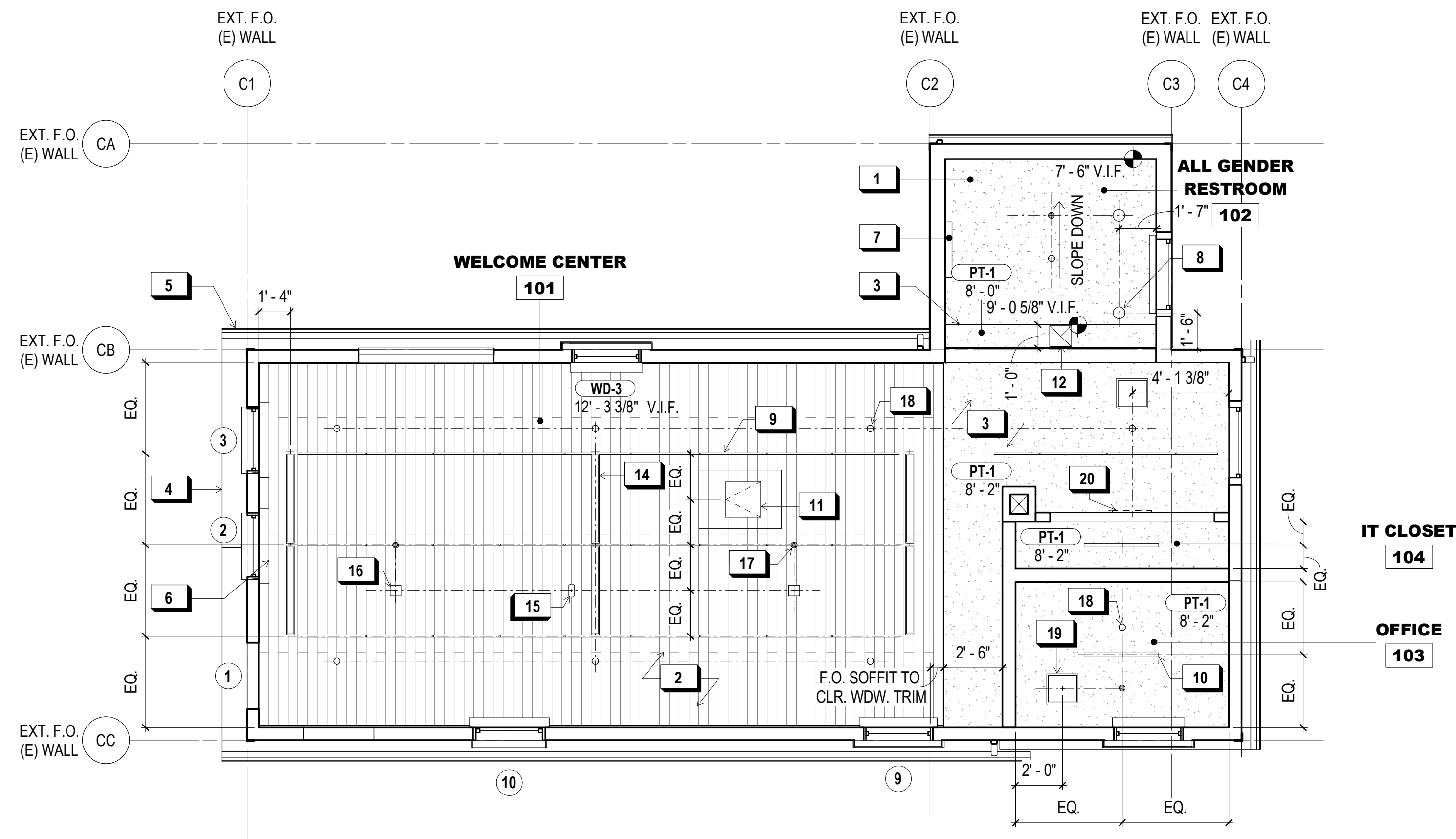
ISSUANCE

BID SET

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

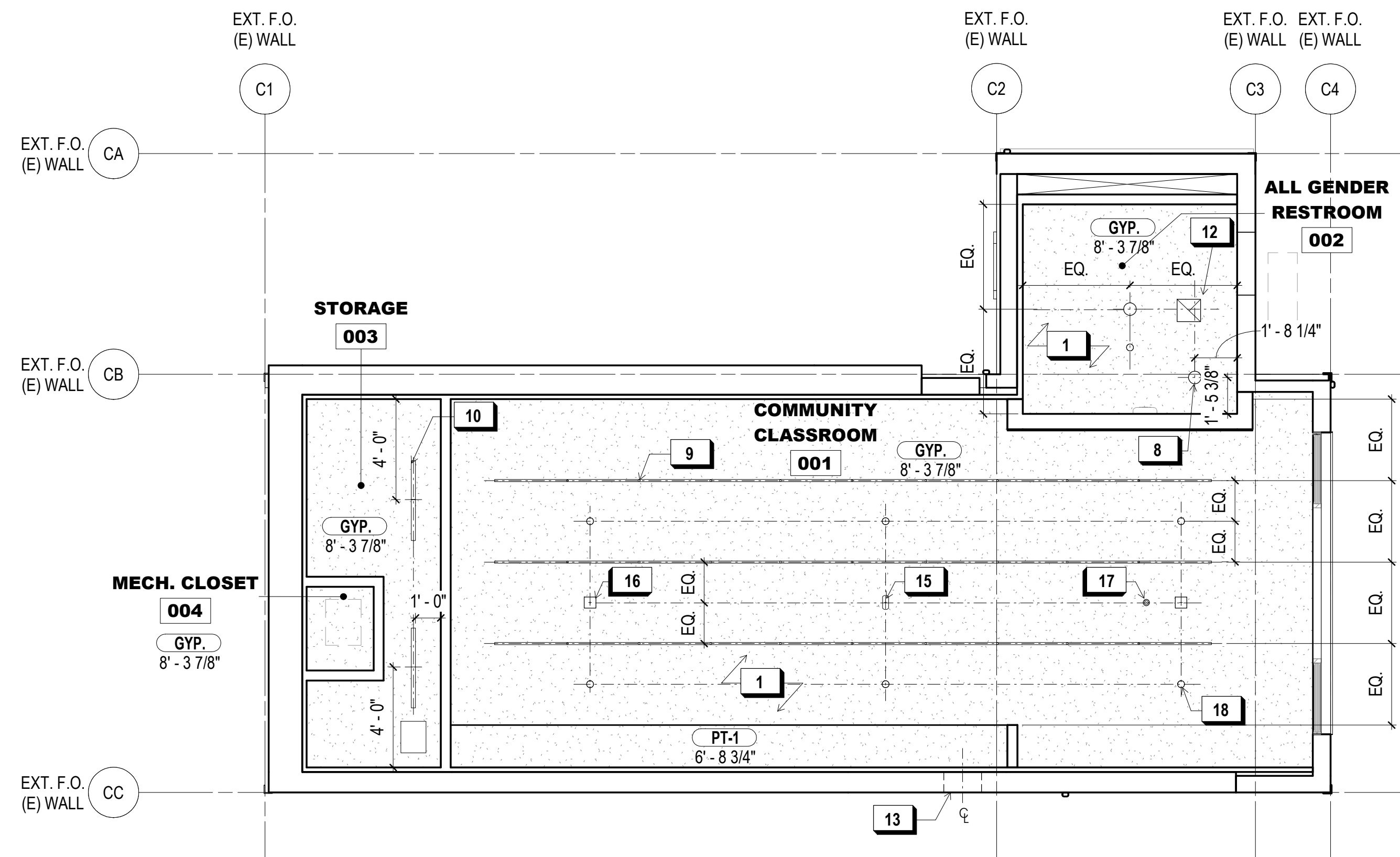
SHIPWRIGHT'S COTTAGE -  
RCPS

**A130.1**



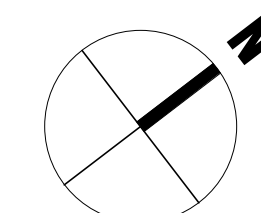
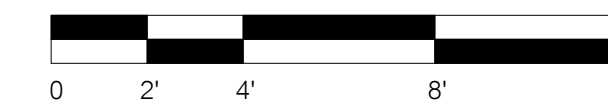
**2 FIRST FLOOR REFLECTED CEILING PLAN**

1/4" = 1'-0"



**1 BASEMENT REFLECTED CEILING PLAN**

1/4" = 1'-0"





# 900 INNES PARK DEVELOPMENT

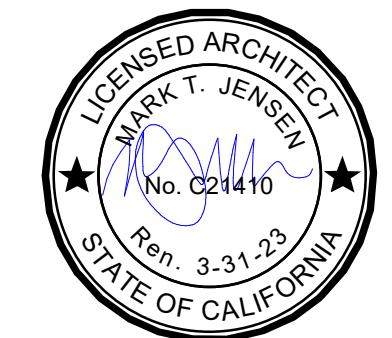
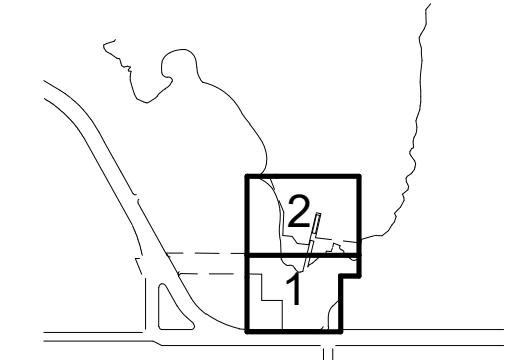
CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
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SAN FRANCISCO, CA 94102  
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FOR OFFICIAL USE

KEY PLAN



### REVISIONS:

NO.	DATE	DESCRIPTION
02	5/18/21	C OF A APP. REVISION
01	12/18/2020	PERMIT SUBMITTAL

ISSUANCE

### BID SET

DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

### SHIPWRIGHT'S COTTAGE - EXT. ELEVATIONS

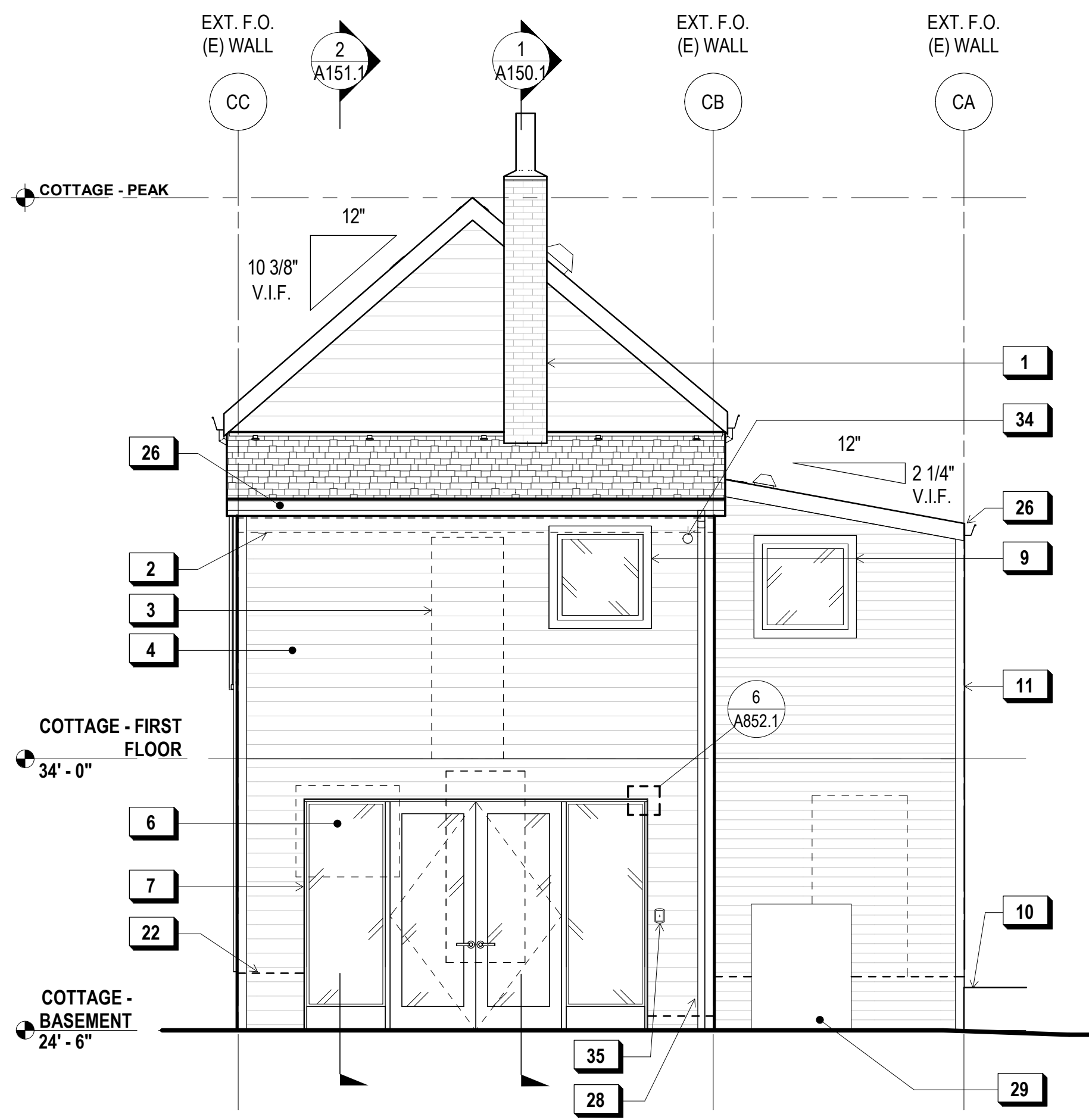
# A140.1

### SHEET NOTES:

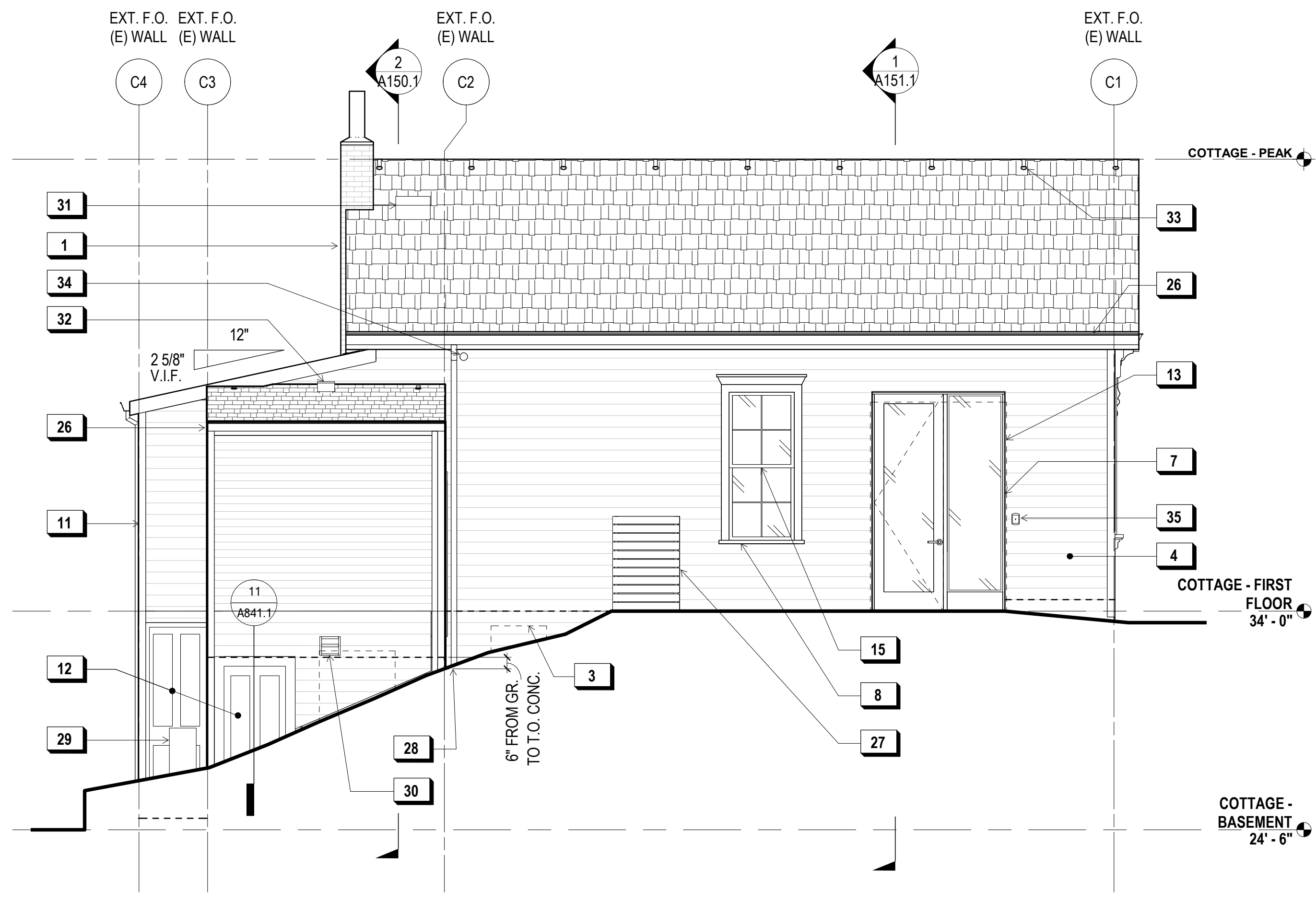
- S.H.A.D. & SPEC. FOR ALL HISTORIC DETAILS, PAINT & COATING @ SHIPWRIGHT'S COTTAGE EXT.
- ALL SHEET MTL. FLASH. TO BE PTD. @ SHIPWRIGHT'S COTTAGE U.O.N.

### KEY NOTES:

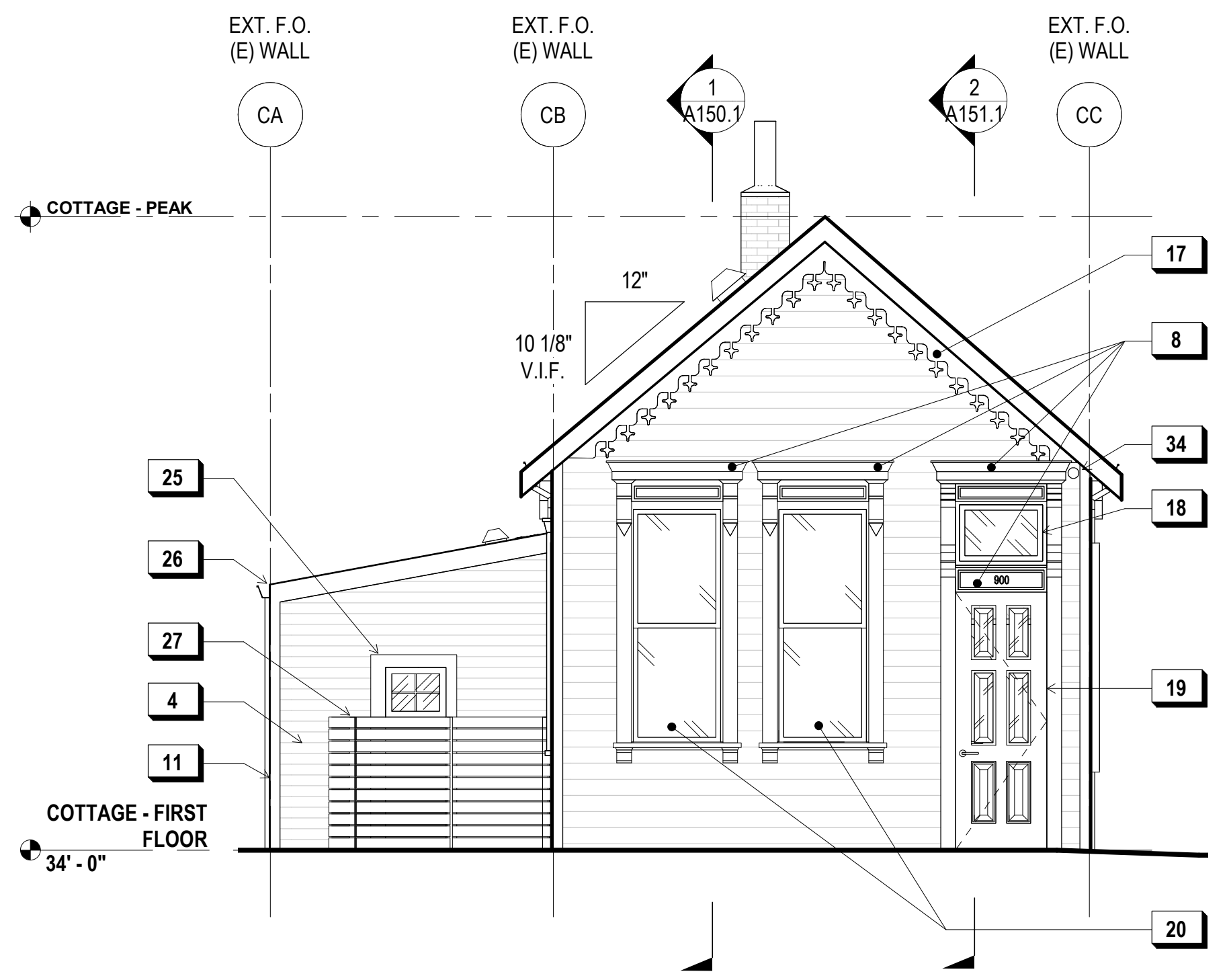
- RESTORED CHIMNEY, S.H.A.D. & S.S.D. FOR REPAIR & REINF. REQMT.
- (E) NON-HISTORIC, MISC. WOOD TO BE REMOVED, S.H.A.D.
- OUTLINE OF (E) NON-HISTORIC OPNG., TYP., S.H.A.D.
- (E) SIDING TO REMAIN - REPAIR OR REPLACE AS REQD., TYP., S.H.A.D.
- (N) WD. STOREFRONT DOOR & SIDELITE
- (N) PROJECTING MTL. TRIM
- (E) WD. TRIM TO REMAIN - REPAIR OR REPLACE AS REQD., S.H.A.D.
- REPLACE (E) NON-HISTORIC WINDOW IN KIND, REPAIR OR REPLACE (E) WD. TRIM AS REQD.
- RETAINING WALL - S.L.D.
- (E) HISTORIC CORNER BOARD - REPAIR OR REPLACE AS REQD., TYP., S.H.A.D.
- AT HISTORIC DOOR LOCATION, REPAIR & REINSTALL DR. & TRIM, S.H.A.D.
- OUTLINE OF (E) NON-HISTORIC ADDITION TO BE REMOVED
- (E) HISTORIC UPPER SASH TO REMAIN - REPAIR OR REPLACE AS REQD. BY CONDITION; REPLACE MISSING LOWER SASH TO MATCH UPPER SASH IN-KIN, S.H.A.D.
- (N) WD. BARGE BOARD TO MATCH HISTORIC CONFIGITIO, S.H.A.D.
- (E) WD. TRIM TO REMAIN - REPAIR OR REPLACE AS REQD. (N) TRANSOM WINDOW TO MATCH HISTORIC CONFIGURATION, S.H.A.D.
- REPLACE (E) DOOR W/ (N) WOOD DOOR, SEE DOOR TYPES FOR CONFIGURATION
- REPLACE MISSING SASH WITH (N) DOUBLE HUNG WINDOWS TO MATCH HISTORIC CONFIGURATION; REBALANCE SASH WEIGHTS, S.H.A.D.
- (N) WD. WINDOW W/ PROJECTING MTL. TRIM (PTD.)
- LINE OF (N) CONCRETE FOUNDATION BEHIND SIDING
- CONTINUE WOOD SIDING TO MATCH (E) OVER CONCRETE
- REPLACE (E) NON-HISTORIC SASH AND MISSING SASH TO MATCH HISTORIC DIVIDED LITE SASH, S.H.A.D.
- (E) WD. TRIM TO REMAIN - REPAIR OR REPLACE AS REQD.; REPLACE WDW. W/ HISTORIC REPLICA, S.H.A.D. FOR DETAILS
- (N) STAINLESS STEEL GUTTER, PTD., TYP.
- (N) TRASH ENCLOSURE, S.L.D.
- (N) STAINLESS STEEL DOWNSPOUT, PTD., PIPE TO STORM DRAIN, TYP.
- (N) MECH. UNIT W/ METAL SCREEN ENCLOSURE, PTD., S.L.D.
- LOUVER FOR OUTSIDE AIR INTAKE, PTD., S.M.D.
- (N) MECH. OUTSIDE AIR INTAKE
- RESTROOM EXHAUST VENT, S.M.D.
- (N) OSHA-COMPLIANT ANCHOR BRACKET FOR FALL ARREST SYSTEM, TYP.
- SECURITY CAMERA
- CARD READER



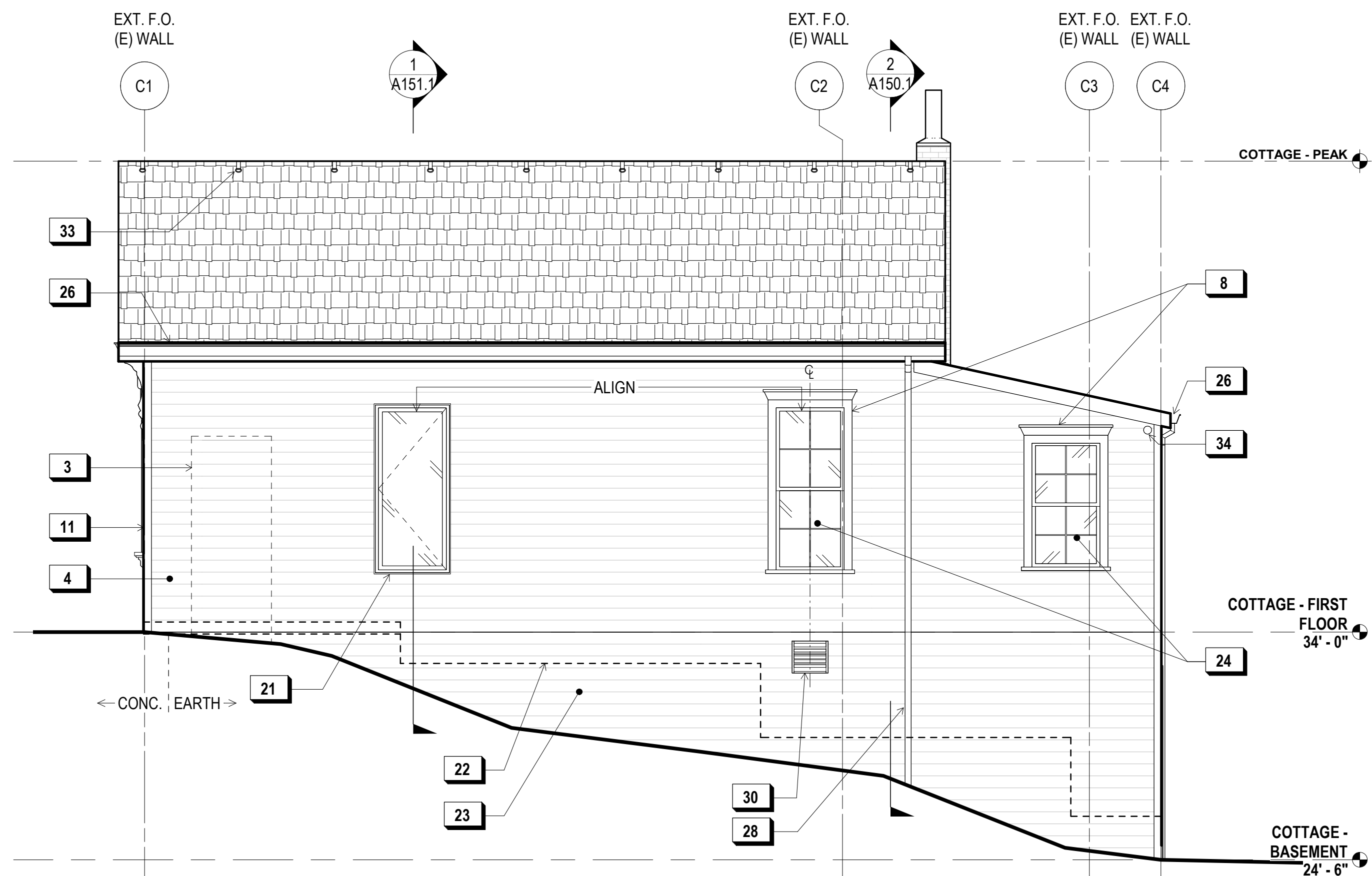
**4 SW COTTAGE - EAST ELEVATION**  
1/4" = 1'-0"



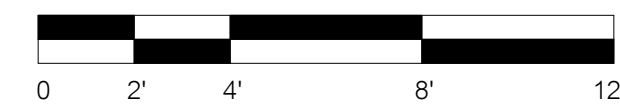
**3 SW COTTAGE - NORTH ELEVATION**  
1/4" = 1'-0"



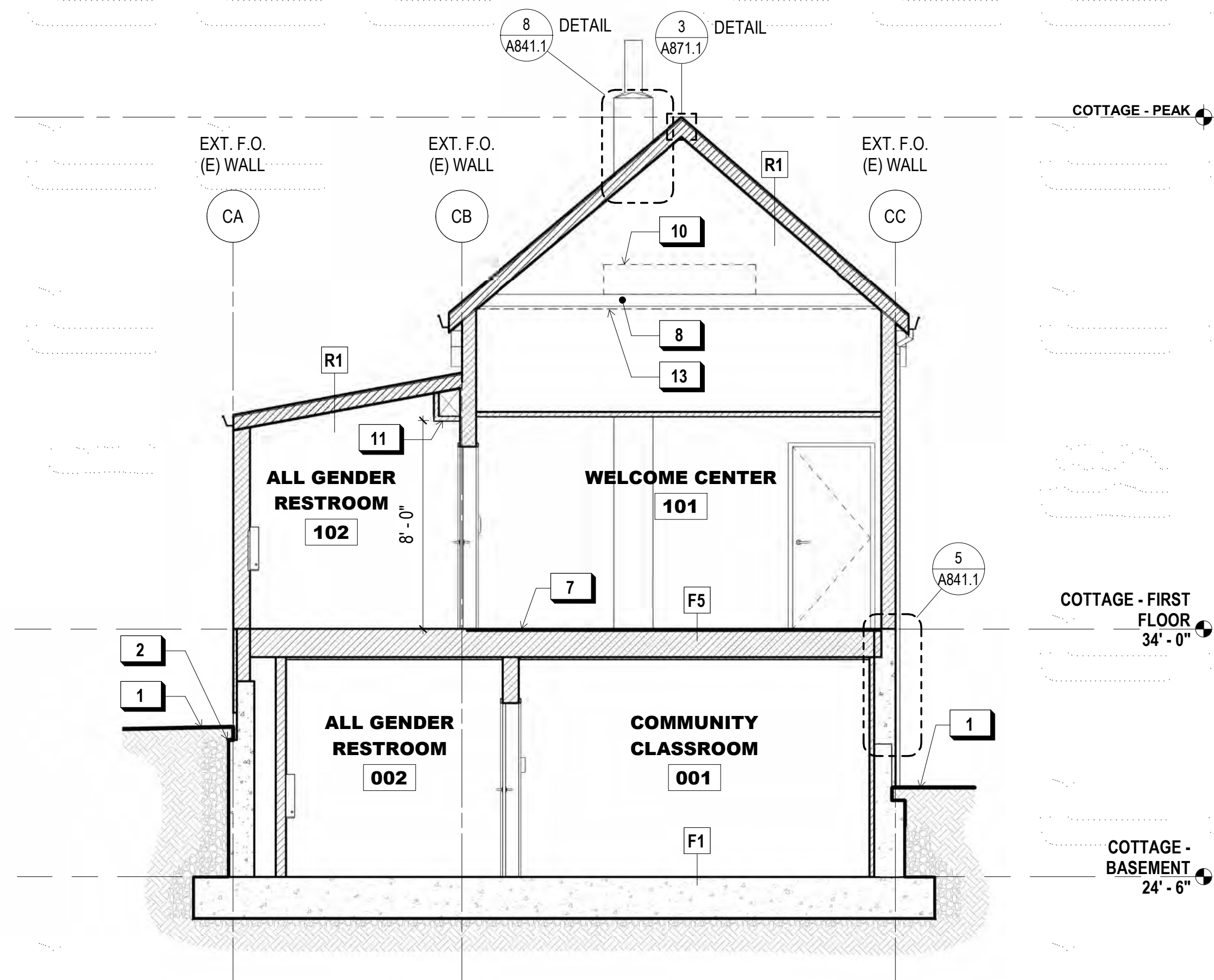
**2 SW COTTAGE - WEST ELEVATION**  
1/4" = 1'-0"



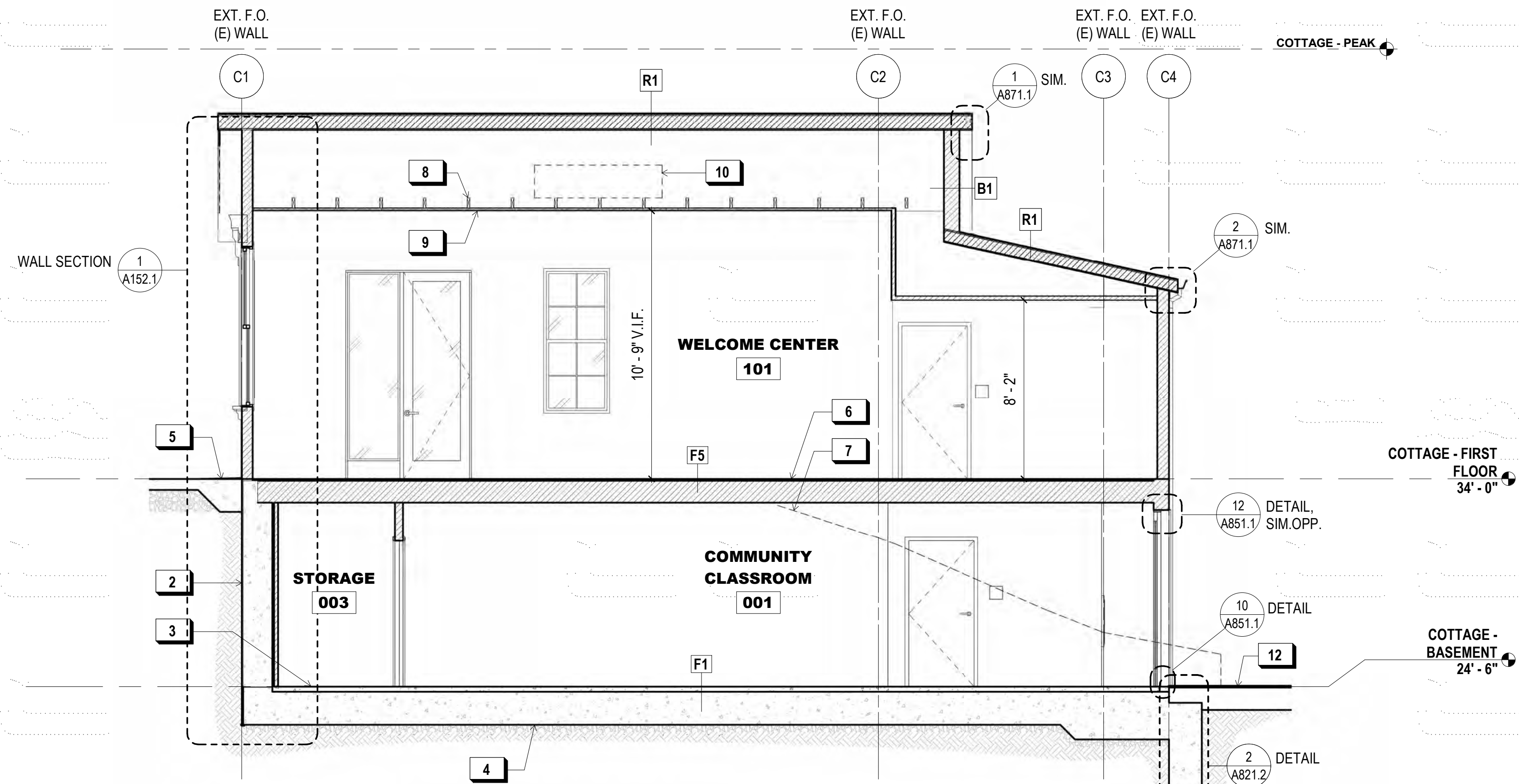
**1 SW COTTAGE - SOUTH ELEVATION**  
1/4" = 1'-0"



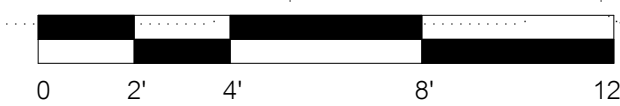




**2 N-S SECTION**  
1/4" = 1'-0"



**1 E-W SECTION**  
1/4" = 1'-0"



- SHEET NOTES:**
- SEE SHEET A811.1 FOR FLOOR AND ROOF ASSEMBLIES.
- KEY NOTES:**
- PLANTING AREA, S.L.D.
  - (N) CONC. STEM & RETAINING WALL, S.S.D.
  - ADDTL. EXCAVATION REQ'D FOR (N) FINISHED FLOOR LEVEL
  - (N) CONC. MAT SLAB, S.S.D.
  - SIDEWALK, SEE CIVIL DWGS.
  - REMOVE (E) FLOOR FINISHES, REPAIR (E) FLOOR AND FRAMING AS REQ'D., REFINISH
  - LINE OF GRADE BEYOND
  - RAFTER TIE, V.I.F., S.S.D.
  - (E) WD. FIN. INSTALLED O/ (N) SHTG. @ RAFTER TIES
  - FAN COIL UNIT, S.M.D.
  - SOFFIT FOR E.F., S.M.D. 1-5/8" MTL. TEE OR 1-1/2" WD. MAX. FR. DEPTH
  - WD. DECKING, S.L.D.
  - LINE OF WD. CLG. BEHIND

**900 INNES PARK DEVELOPMENT**

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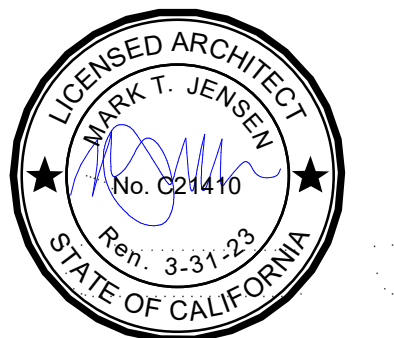
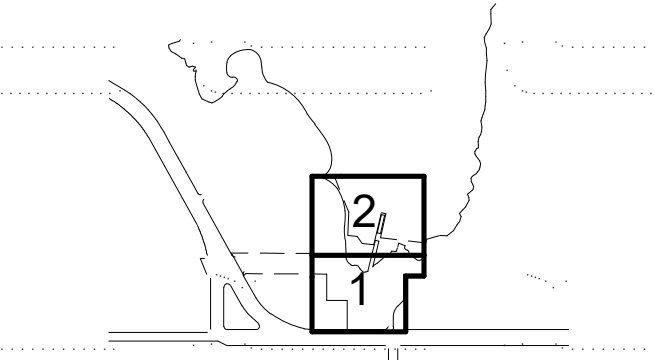
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KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

**ISSUANCE**

BID SET	
DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

SHIPWRIGHT'S COTTAGE - SECTIONS

**A150.1**



- SHEET NOTES:**
- SEE SHEET A811.1 FOR FLOOR AND ROOF ASSEMBLIES.
- KEY NOTES:**
- PLANTING STRIP, S.L.D.
  - CONC. FND. & STEM WALL, S.S.D.
  - WD. DECKING, S.L.D.
  - CONC. FND. KEY, S.S.D.
  - SIDEWALK, SEE CIVIL DWGS.
  - RAFTER TIE, V.I.F., S.S.D.
  - FAN COIL UNIT, S.M.D.
  - (E) WD. FIN. INSTALLED O/ (N) SHGT. @ RAFTER TIES, S.H.A.D.
  - 18"X18" CLR. AREA FOR DUCT, S.M.D. 1-5/8" MTL. TEE OR 1-1/2" WD. MAX. FR. DEPTH
  - OUTLINE OF TRASH ENCLOSURE OMITTED FOR CLARITY, S.L.D.
  - HISTORIC REPLICA WDW. W/ (E) TRIM, S.H.A.D.

**900 INNES  
PARK DEVELOPMENT**

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30 VAN NESS AVENUE  
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PH. 415-831-2700

THE TRUST FOR PUBLIC LAND  
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SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014

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GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

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SHERWOOD DESIGN ENGINEERS  
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JENSEN ARCHITECTS  
PH. 415-348-9650

ECOLOGICAL RESTORATION  
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PH. 831-659-3820

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JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

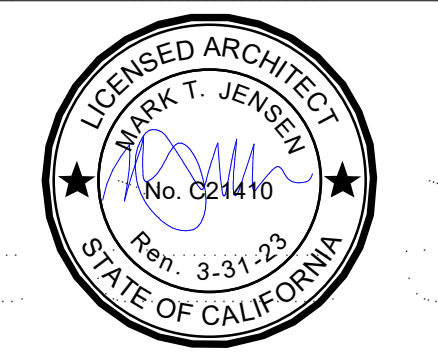
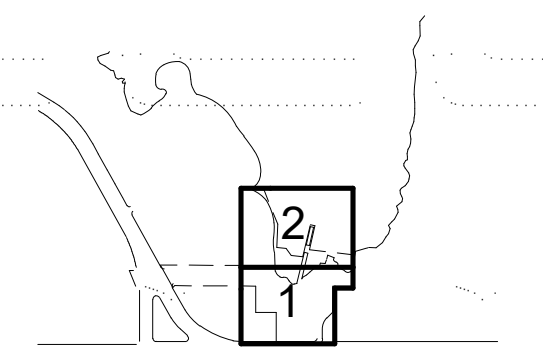
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AGS, INC  
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KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

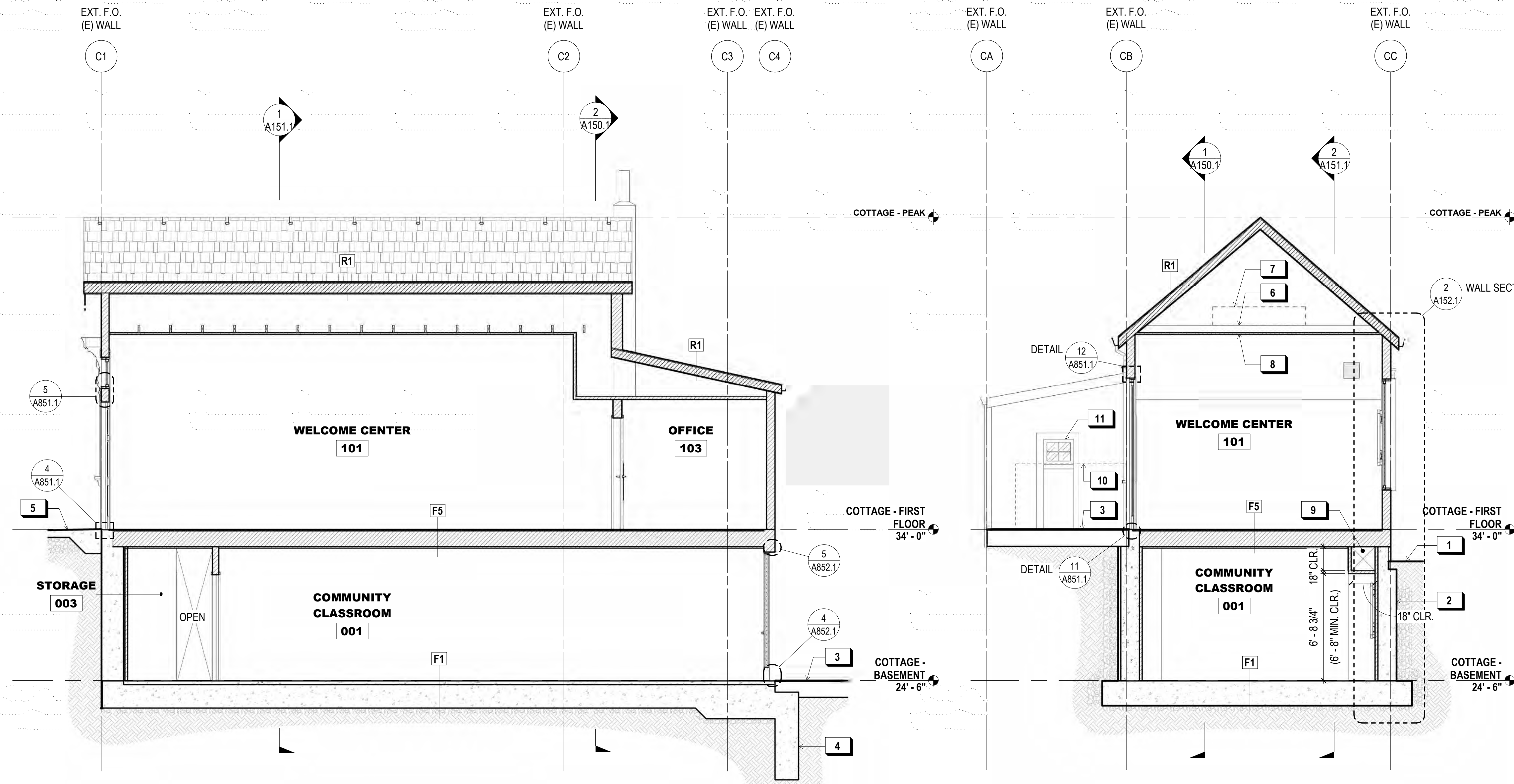
ISSUANCE

BID SET

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DATE 7/01/2021	GGN PROJECT # 1608

**SHIPWRIGHT'S COTTAGE -  
SECTIONS**

**A151.1**



**2 E-W SECTION @ HISTORIC DR.**  
1/4" = 1'-0"

**1 N-S SECTION @ (N) ENTRY**  
1/4" = 1'-0"



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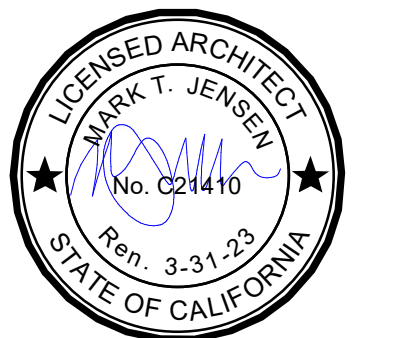
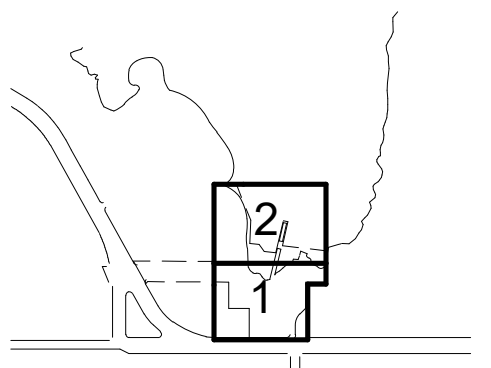
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**REVISIONS:**

NO.	DATE	DESCRIPTION

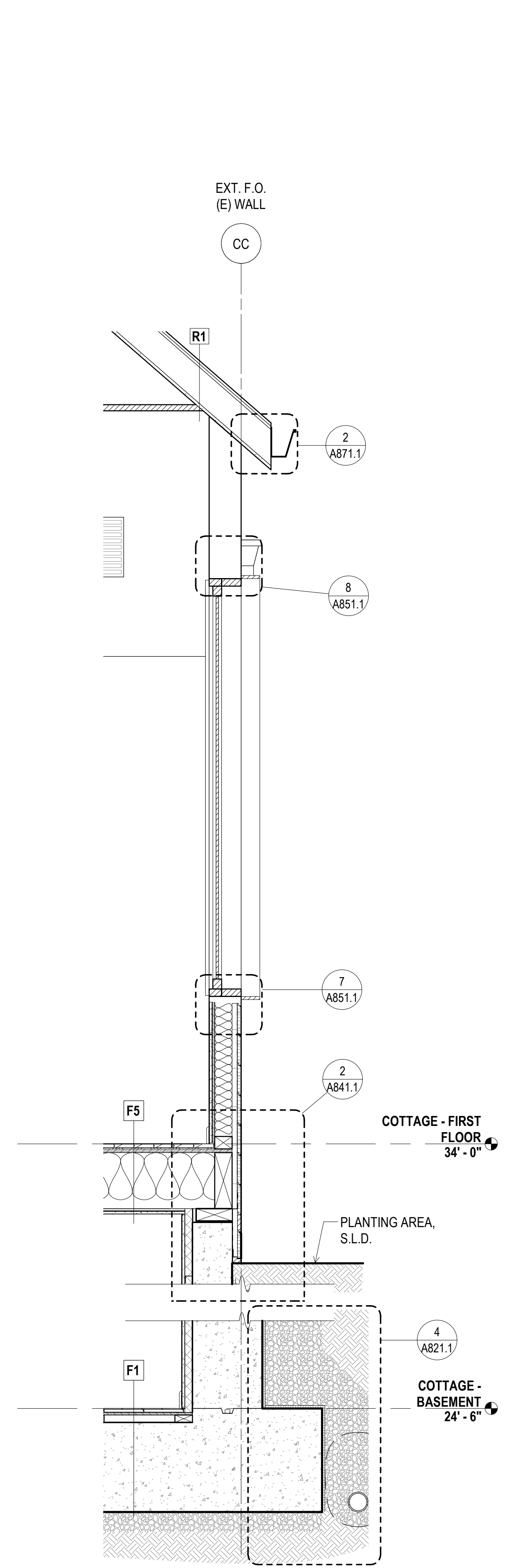
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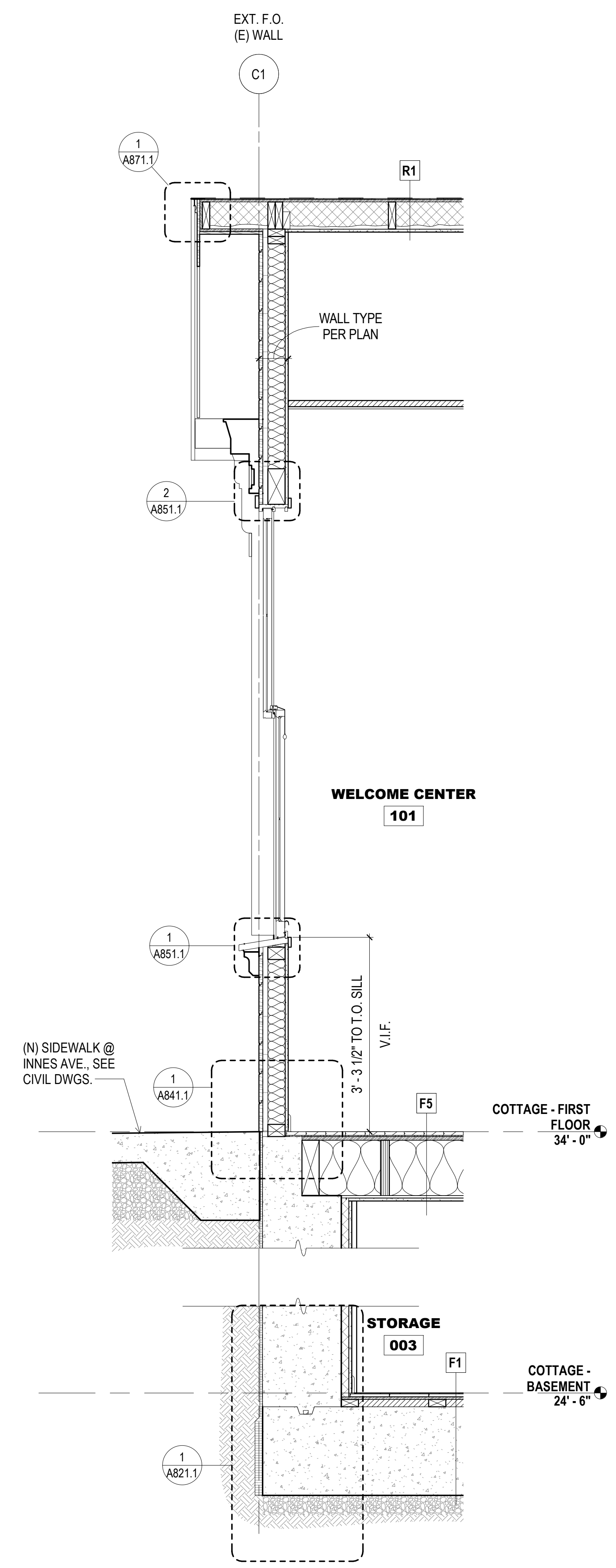
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**SHIPWRIGHTS COTTAGE -  
WALL SECTIONS**

**A152.1**



**2 SOUTH FACADE WALL SECTION**  
3/4" = 1'-0"



**1 WEST FACADE WALL SECTION**  
3/4" = 1'-0"



**900 INNES  
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**SHEET NOTES:**

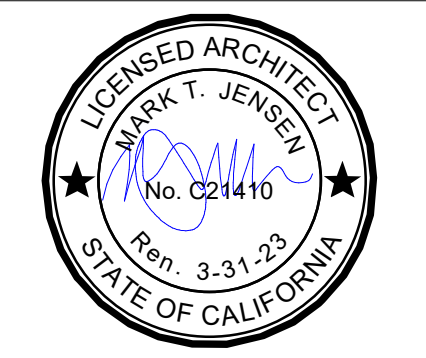
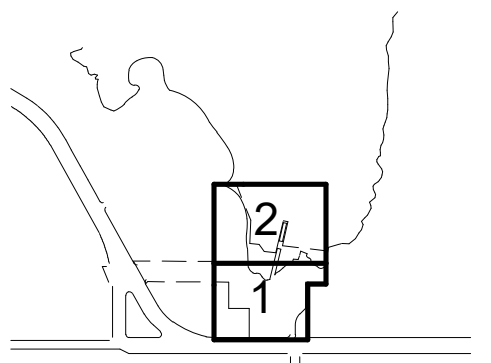
- SEE LIGHTING DESIGNER DRAWINGS AND ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT
- SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE
- SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

- DIGITAL DISPLAY
- RETURN AIR GRILLE, S.M.D.
- SUPPLY AIR GRILLE, S.M.D.
- DOUBLE LIGHT SWITCH, S.E.D.
- WALL OUTLET, TYP.
- DATA CONNECTION, TYP.
- CARD READER, TYP.
- ALARM KEYPAD, TYP.
- (E) CHIMNEY W/ EXP. BRICK, PTD.
- HISTORIC STAIR STRINGER TO BE SALVAGED AND REINSTALLED AS INTERPRETIVE ELEMENT
- GYP. BD. REVEAL DETAIL @ PERIMETER OF (N) WOOD STOREFRONT & (N) WOOD WINDOWS, SEE WINDOW & DOOR DETAILS
- 2" PAINT-GRADE CEILING TRIM @ WOOD CEILING, TYP.
- ROOM SIGNAGE, TYP.
- SALVAGE, REPAIR, AND REINSTALL HISTORIC INTERIOR WINDOW TRIM, WHERE OCCURS, S.H.A.D. (PTD.)
- PROVIDE ALLOWANCE FOR LOWER CABINET W/ CLOSED, LOCKABLE STORAGE, SOLID SURFACE COUNTERTOP & PLASTIC LAMINATE FINISHES
- ACOUSTIC PANEL JOINT LINE, TYP.

FOR OFFICIAL USE

KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

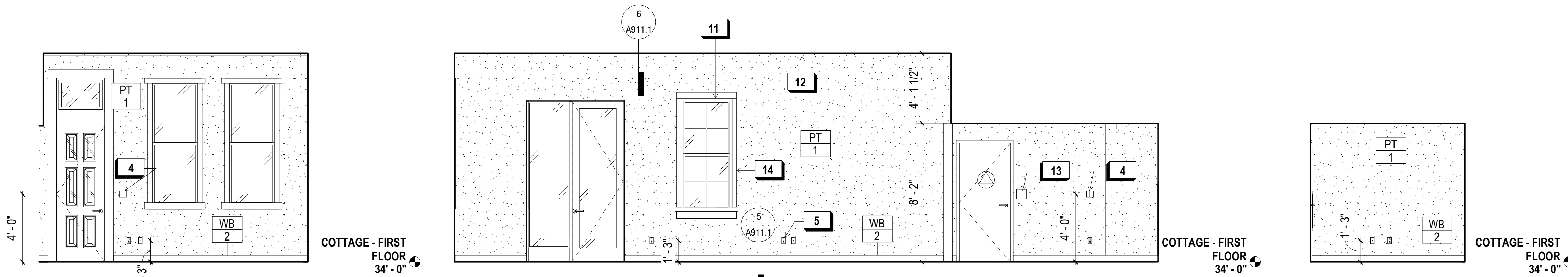
ISSUANCE

**BID SET**

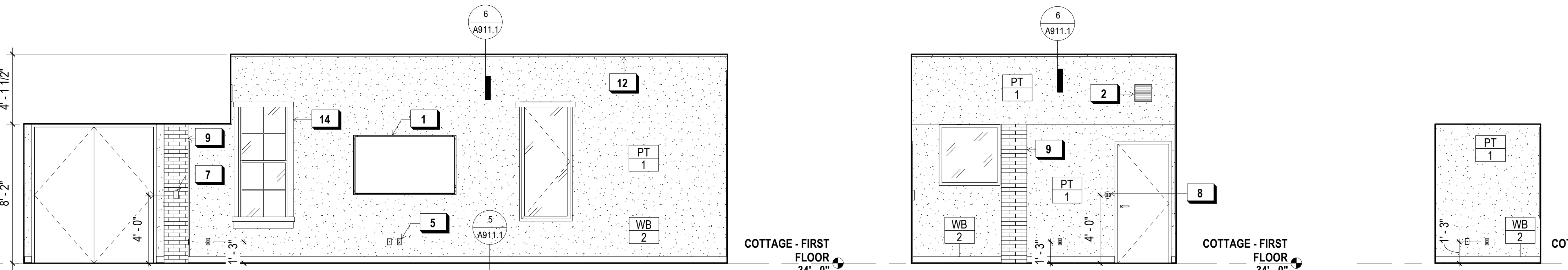
DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

**SHIPWRIGHTS COTTAGE -  
INTERIOR ELEVATIONS**

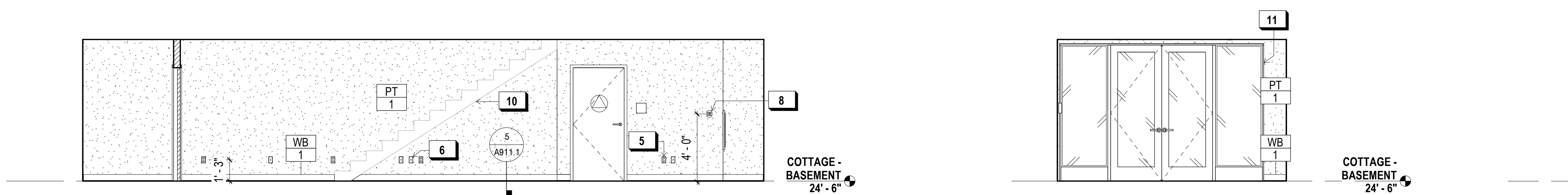
**A160.1**



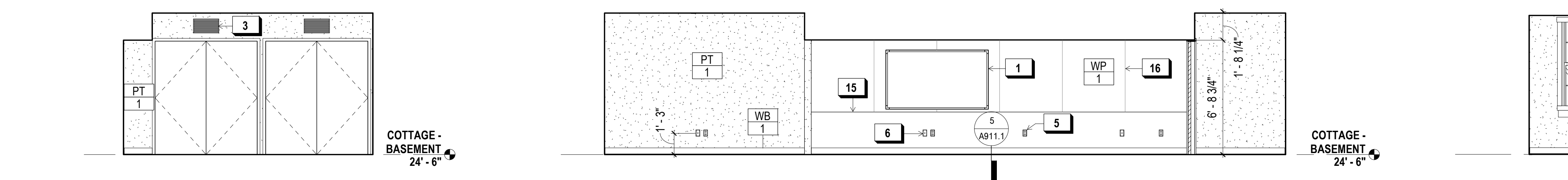
**12 W STREET LEVEL** 1/4" = 1'-0"  
**11 N STREET LEVEL** 1/4" = 1'-0"  
**10 N ST. LEVEL OFFICE** 1/4" = 1'-0"



**9 S STREET LEVEL** 1/4" = 1'-0"  
**8 E ST. LEVEL** 1/4" = 1'-0"  
**7 E ST. LEVEL OFFICE** 1/4" = 1'-0"



**6 N BASEMENT LEVEL** 1/4" = 1'-0"  
**5 EAST BASEMENT LEVEL** 1/4" = 1'-0"  
**4 W ST. LEVEL OFFICE** 1/4" = 1'-0"



**3 W BASEMENT LEVEL** 1/4" = 1'-0"  
**2 S BASEMENT LEVEL** 1/4" = 1'-0"  
**1 S ST. LEVEL OFFICE** 1/4" = 1'-0"



**PLUMBING FIXTURE / ACCESSORIES LEGEND**

TAG	MANUFACTURER	MODEL	DESCRIPTION
LAV-1	AMERICAN STANDARD	DECORUM 9134001EC	WALL HUNG SINK
LAV-2	AMERICAN STANDARD	WHEELCHAIR USERS 9141	WALL HUNG SINK
LAV-3	AMERICAN STANDARD	OVALYN 0495	UNDERCOUNTER SINK
WC-1	AMERICAN STANDARD	AFWALL MILLENNIUM FLOWISE ELONGATED FLUSHOMETER	WALL HUNG TOILET
WC-2	AMERICAN STANDARD	MADERA FLOWISE FLUSHOMETER	FLOOR MOUNTED TOILET
SP-1	GEORGIA PACIFIC	GP MANUAL 53053	MANUAL SOAP DISPENSER
TA-1	XLERATOR	XL - BW - VOLTAGE	RECESSED HAND DRYER
TA-2	THINAIR	TA-SB	WALL MOUNTED HAND DRYER
SK-1	AMERICAN STANDARD	LAKEWELL SERVICE SINK - 7692	SERVICE MOP LINK
SF-1	CHICAGO FAUCETS	807-E12-665PAB	SINGLE-INLET METERING FAUCET
SF-2	CHICAGO FAUCETS	1100-GNAE35-369AB	MANUAL SINK FAUCET

CT-1	KOALA KARE	KB112-01RE	RECESSED MTD. CHANGING TABLE
CT-2	KOALA KARE	KB110-SSWM	WALL MTD. CHANGING TABLE
GB-1	BOBRICK	B-6806	STAINLESS STL. GRAB BARS
TP-1	BOBRICK	B-2840	TOILET PAPER HOLDER
TD-1	BOBRICK	B-221	TOILET SEAT COVER DISPENSER

**SHEET NOTES:**

- SEE DETAIL 1/A032.1 FOR TYP. ACCESSIBLE DOOR THRESHOLD AND LEVER REQUIREMENTS
- SEE DETAIL 1/A033.1 FOR TYP. ACCESSIBLE DOOR CLEARANCE REQUIREMENTS
- SEE 3A AND 3B/A032.1 FOR TYP. RESTROOM DR. SIGNAGE DETAILS
- PROVIDE SHT. MTL. PL. O/ BLK. IN WALL BEHIND GRAB BARS & WALL-MTD. FIXT., TYP. @ RESTROOMS
- SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**900 INNES PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
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NITEO CALIFORNIA  
PH. 415-666-2232

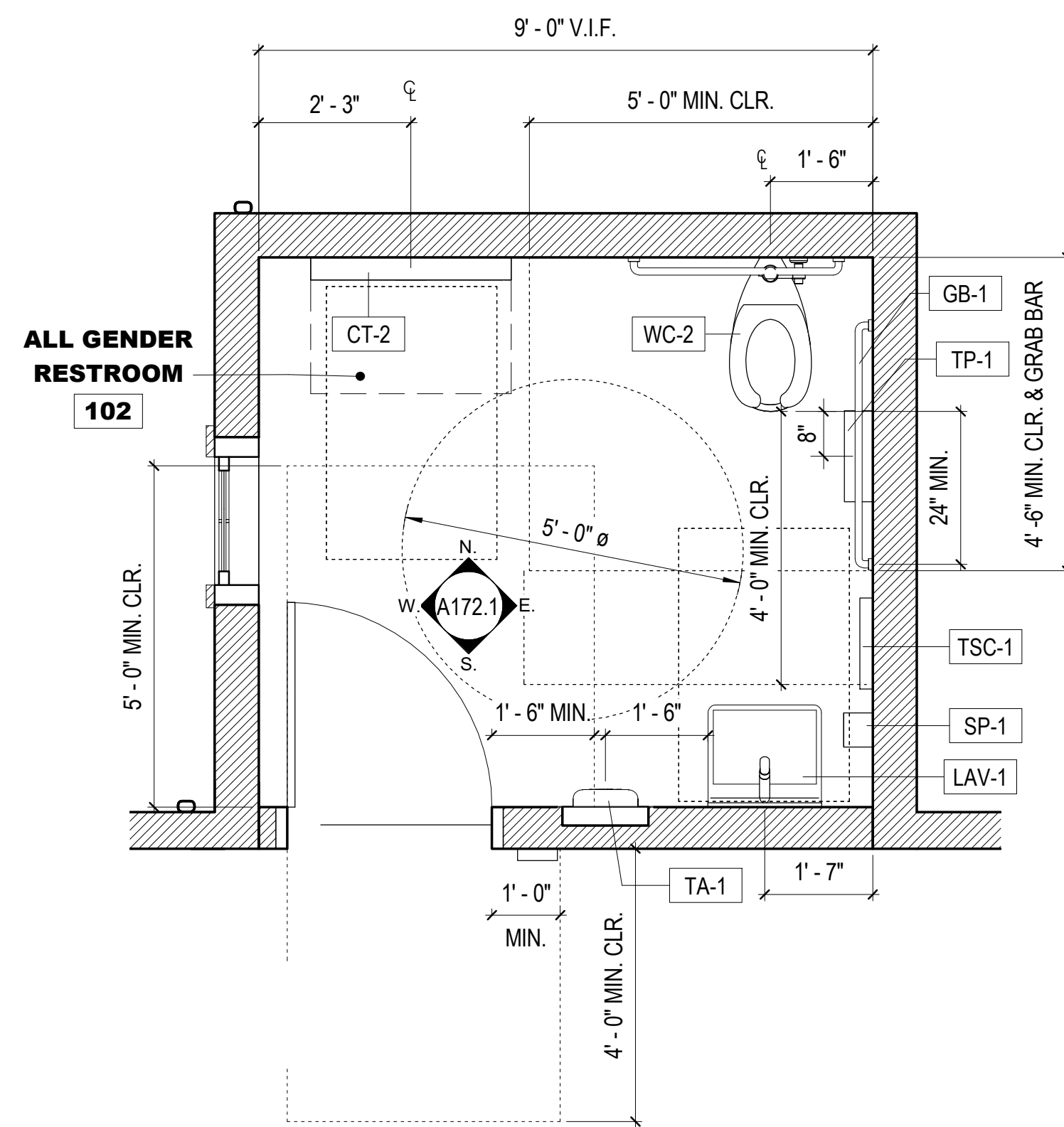
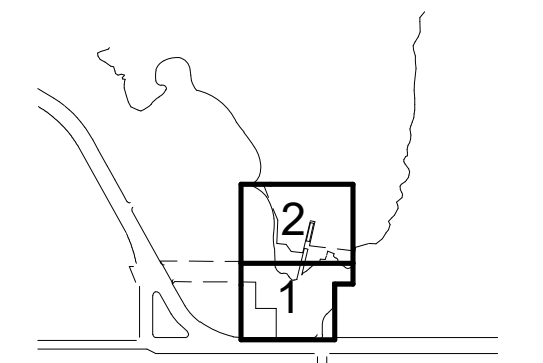
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AGS, INC  
PH. 415-957-9240

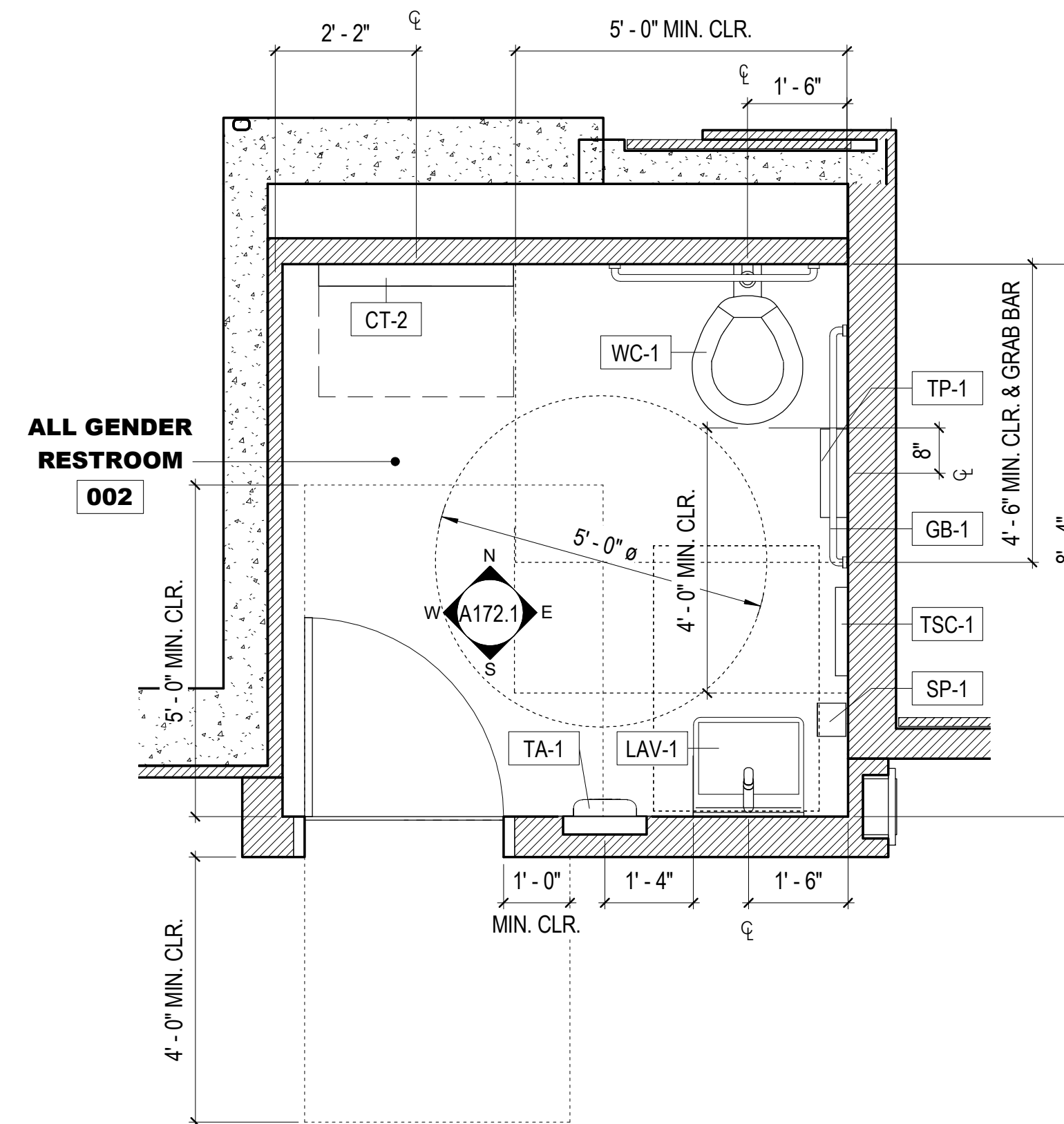
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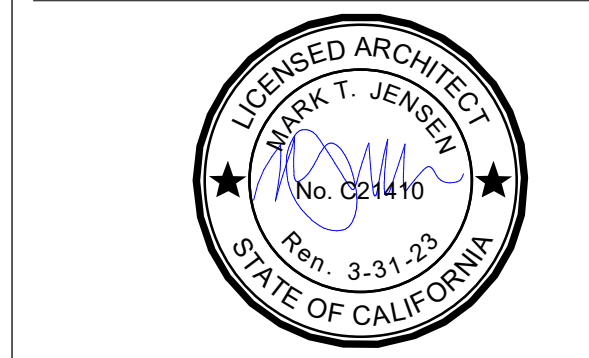
KEY PLAN



**2 ALL GENDER RESTROOM 102 ENLARGED PLAN**  
1/2" = 1'-0"



**1 ALL GENDER RESTROOM 107 ENLARGED PLAN**  
1/2" = 1'-0"



**REVISIONS:**

NO.	DATE	DESCRIPTION
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ISSUANCE

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DATE	7/01/2021	GGN PROJECT #	1608

SHIPWRIGHT'S COTTAGE - ENLARGED PLANS

**A171.1**



**900 INNES  
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MOFFATT AND NICHOL  
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PH. 415-866-2232

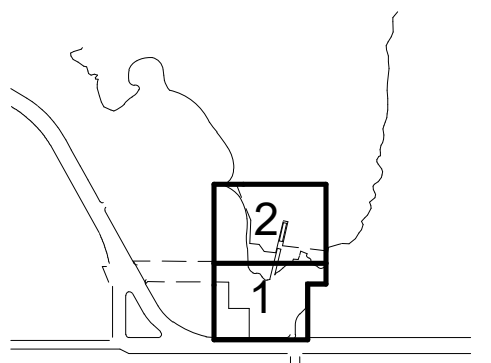
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**SHIPWRIGHT'S COTTAGE -  
ENLARGED EL.**

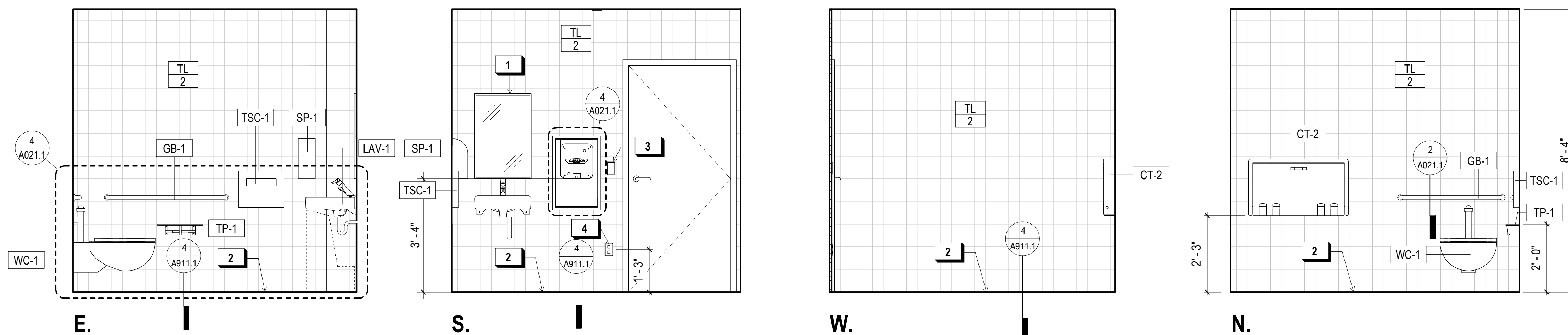
**A172.1**

**SHEET NOTES:**

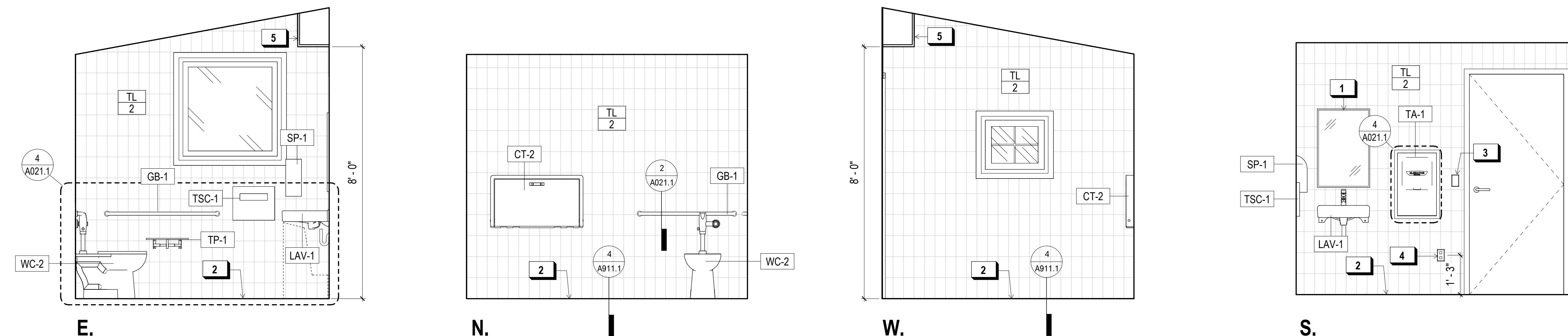
- SEE DETAIL 1/A032.1 FOR TYP. ACCESSIBLE DOOR THRESHOLD AND LEVER REQUIREMENTS
- SEE DETAIL 1/A033.1 FOR TYP. ACCESSIBLE DOOR CLEARANCE REQUIREMENTS
- SEE 3A AND 3B/A032.1 FOR TYP. RESTROOM DR. SIGNAGE DETAILS
- PROVIDE SHT. MTL. PL. O/ BLK. IN WALL BEHIND GRAB BARS & WALL-MTD. FIXT., TYP. @ RESTROOMS
- SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

- STAINLESS STEEL MIRROR
- S.S. COVE BASE TILE TRIM, TYP.
- OCCUPANCY SENSOR LIGHT SWITCH, S.E.D.
- WALL OUTLET
- CEILING SOFFIT



**2 ALL GENDER RESTROOM 002 ENLARGED ELEVATIONS**  
1/2" = 1'-0"

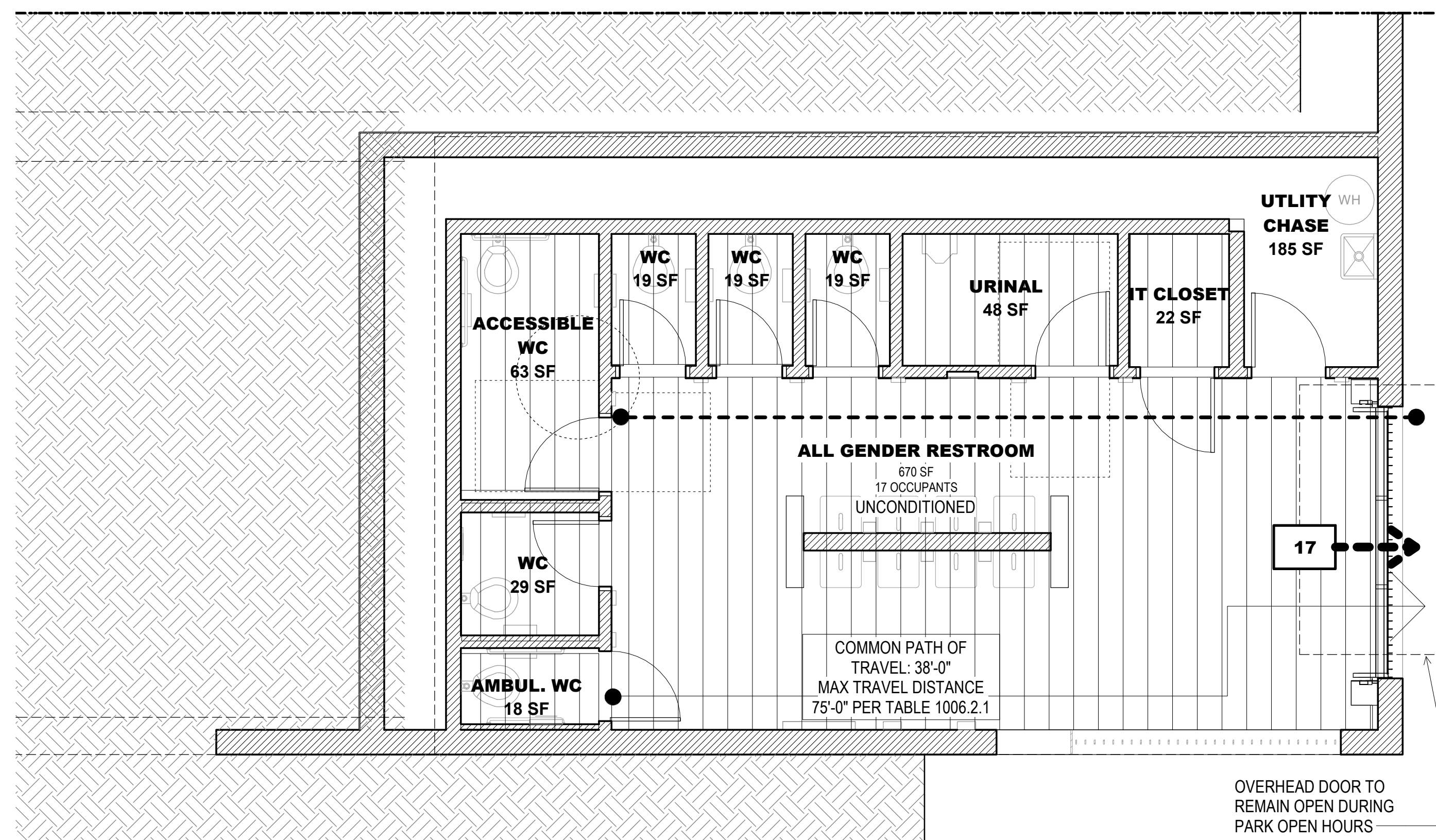


**1 ALL GENDER RESTROOM 102 ENLARGED ELEVATIONS**  
1/2" = 1'-0"



**SHEET NOTES:**

1. REFERENCE 2019 CBC SECTION 302 FOR OCCUPANCY DESCRIPTIONS.
2. REFERENCE 2019 CBC TABLE 1004.5 FOR MAX. FLOOR AREA ALLOWANCES PER OCCUPANT.
3. REFERENCE 2019 CBC SECTION 1005 FOR MINIMUM EGRESS AND WIDTH REQUIREMENTS.
4. REFERENCE 2019 CBC TABLE 1006.2.1 FOR MINIMUM NUMBER OF EXITS FOR OCC. LOAD.
5. REFERENCE 2019 CBC TABLE 1017.2 FOR MAX. EXIT ACCESS TRAVEL DISTANCE WITH AUTOMATIC SPRINKLER SYSTEM. (A & E <250, B <300, S-2 & U <400)
6. REFERENCE 2019 CPC TABLE 422-1 FOR PLUMBING FIXTURE REQUIREMENTS.
7. PER 2019 CPC TABLE 422-1, NOTE 4, "FOR EACH URINAL ADDED IN EXCESS OF THE MINIMUM REQUIRED, ONE WATER CLOSET SHALL BE PERMITTED TO BE DEDUCTED. THE NUMBER OF WATER CLOSETS SHALL NOT BE REDUCED TO LESS THAN TWO-THIRDS OF THE MINIMUM REQUIREMENT."



**1 BOATYARD LEVEL EGRESS PLAN**  
1/4" = 1'-0"

**OCCUPANT LOAD - FOOD PAVILION**

AREA	OCC. AREA (SQ FT)	FUNCTION OF SPACE	LOAD FACTOR	OCC. BY AREA	ADD'L. LOAD	OCC. TOTAL	EXITS REQ.
<b>BOATYARD LEVEL - FP</b>							
ALL GENDER RESTROOM	670	ACCESSORY STORAGE & MECH	0*	0.0	17*	17.0	1
*OCCUPANT COUNT BASED ON ACTUAL FIXTURE COUNT PER CBC SECTION 1004.5 EXCEPTION							
BOATYARD LEVEL OCCUPANT LOAD: 17.0							
<b>STREET LEVEL FP</b>							
KITCHEN	508	COMMERCIAL KITCHEN	1:200 GROSS	2.5	0	2.5	1
FOOD PICK-UP	148	BUSINESS	1:150 GROSS	1.0	0	1.0	1
ENTRY VESTIBULE	206	BUSINESS	1:150 GROSS	1.4	0	1.4	1
BACK PATIO	512	ASSEMBLY, UNCONCENTRATED	1:15 NET	34.1	8	42.1	1
STREET LEVEL OCCUPANT LOAD: 47.0							
<b>TOTAL OCCUPANT LOAD: 64.0</b>							

**PLUMBING FIXTURE SUMMARY**

AREA	OCCUPIED AREA (SF)	OCCUPANCY GROUP	LOAD FACTOR	NUMBER OF OCCUPANTS
ALL GENDER RESTROOM	670	(EXCLUDED)	0 SF	
BACK PATIO	512	A2 - RESTAURANT	1:30 SF	18
ENTRY VESTIBULE	206	B - OFFICE / PUBLIC	1:200 SF	2
FOOD PICK-UP	148	B - OFFICE / PUBLIC	1:200 SF	1
KITCHEN	508	A2 - RESTAURANT	1:30 SF	17
<b>PLUMBING OCCUPANT LOAD: 38</b>				

**REQUIRED RESTROOM FIXTURE COUNT**

# OF OCCUPANTS	# OF FIXTURES	
	REQUIRED	PROVIDED (ALL GENDER)
47 TOTAL OCCUPANTS / 2 = 24		
24 MEN	1 W.C. / 1 URINAL 1 LAVATORIES	7 W.C. / 1 URINAL 8 LAVATORIES
24 WOMEN	2 W.C. 1 LAVATORIES	NA NA
	1 WATER FOUNTAIN	1 WATER FOUNTAIN*

\*SHARED WATER FOUNTAIN. SEE A202.1 FOR LOCATION

**EXITING REQUIREMENTS**

EXIT COMPONENT	OCC. LOAD CAPACITY	ACTUAL OCC. LOAD	LOAD FACTOR	MIN. WIDTH	WIDTH PROVIDED
DOOR #1	480	22	0.2	34"	96"
DOOR #2	1080	2	0.2	34"	216"
DOOR #3	180	25	0.2	34"	34"

**EGRESS LEGEND**

- 1** - - - -> PATH OF TRAVEL WITH OCCUPANT LOAD
- - - - - ● ACCESSIBLE PATH OF TRAVEL (P.O.T.)
- ← - - - - MAX TRAVEL DISTANCE < 250'-0" = ACCEPTABLE
- ← - - - - COMMON PATH OF EGRESS < 75'-0" = ACCEPTABLE
- ← (#) AREA SPECIFIC OCCUPANT LOAD
- [|||||] 1-HR RATED WALL
- [|||||] 2-HR RATED WALL
- [X] A-2 OCCUPANCY 1:30 SF
- [X] A-2 OCCUPANCY (COMMERCIAL KITCHEN) 1:200 SF
- [X] A-3 OCCUPANCY 1:7 SF
- [X] E OCCUPANCY 1:20 NET SF
- [X] S-2 OCCUPANCY 1:300 SF
- [X] B OCCUPANCY 1:150 SF

**900 INNES PARK DEVELOPMENT**  
CITY AND COUNTY OF SAN FRANCISCO RECREATION AND PARKS DEPARTMENT  
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PH. 415-348-9650

ECOLOGICAL RESTORATION  
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JON BRODY STRUCTURAL ENGINEERS  
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COASTAL ENGINEER  
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PH. 925-944-5411

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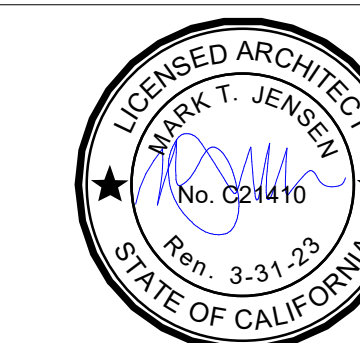
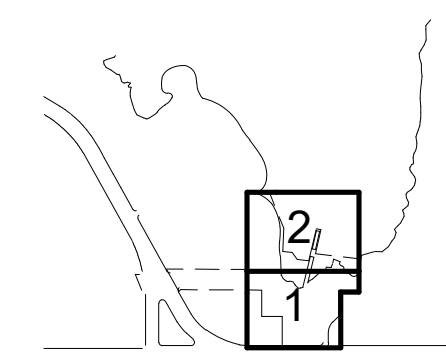
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PH. 415-957-9240

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KEY PLAN



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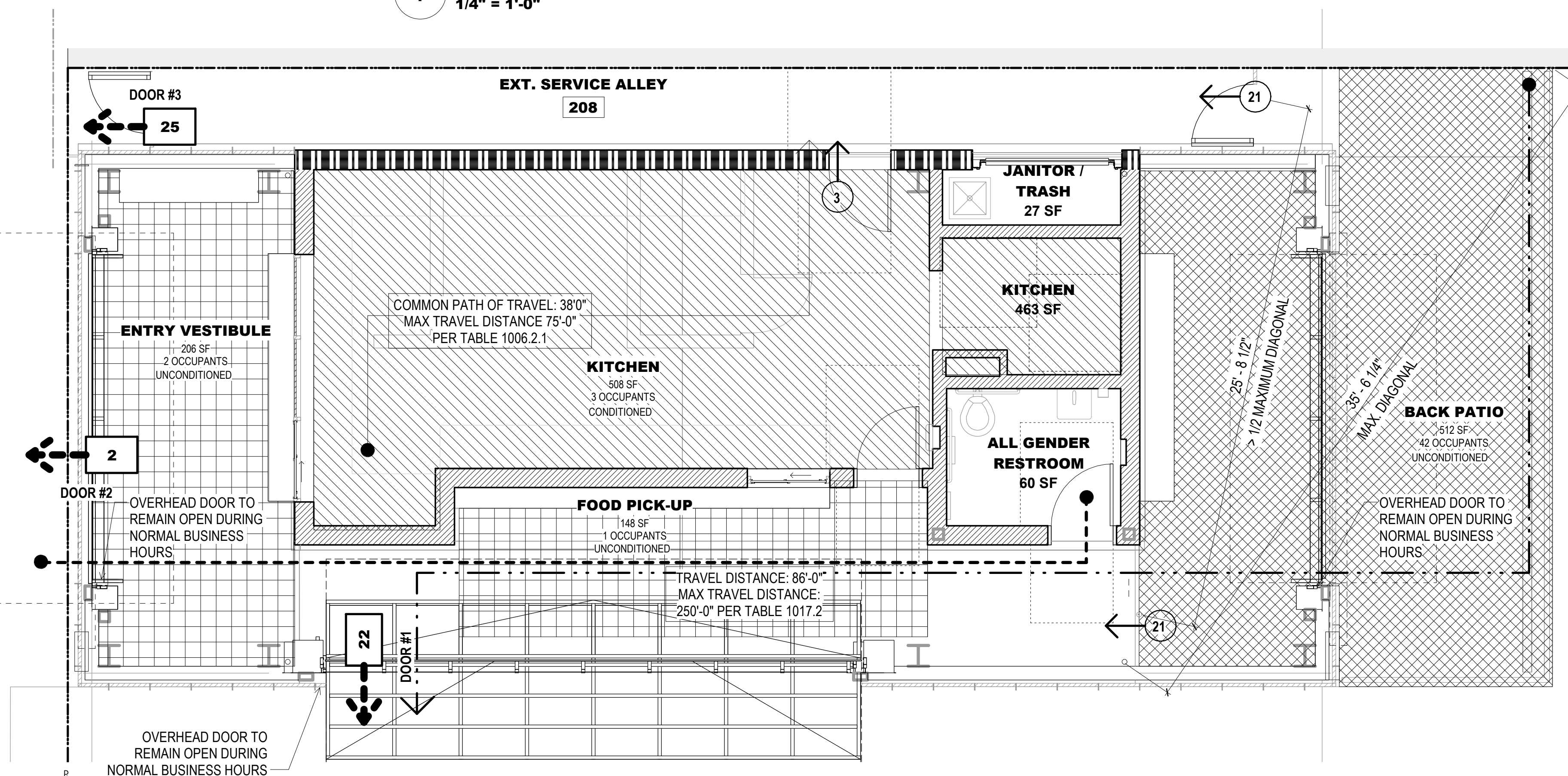
ISSUANCE

**BID SET**

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**EGRESS / ACCESSIBLE POT / FIRE RATING PLAN**

**A201.1**



**2 STREET LEVEL PLAN**  
1/4" = 1'-0"



# 900 INNES PARK DEVELOPMENT

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700



THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014



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GUSTAFSON GUTHRIE NICHOL  
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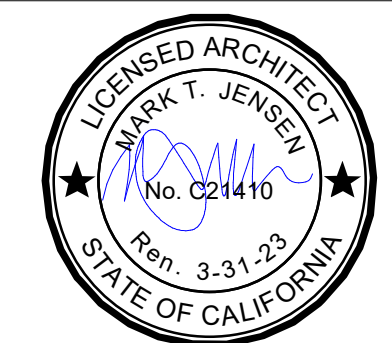
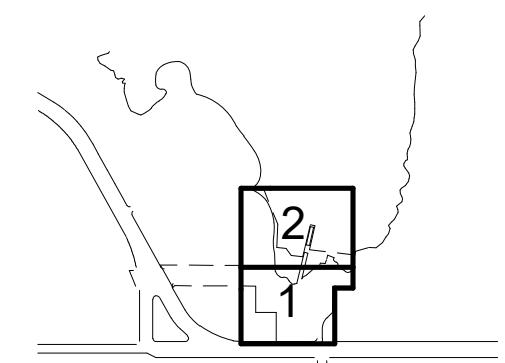
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DRAWN BY	CHECKED BY
JENSEN	
DATE	GGN PROJECT #
7/01/2021	1608

FOOD PAVILION -  
BUILDING SITE PLAN

# A202.1

## BUILDING 2: FOOD PAVILION

BUILDING INFORMATION:	EXISTING	PROPOSED	REQ. / ALLOW.
CONSTRUCTION TYPE	-	TYPE V-B	-
STORIES OF OCCUPANCY	-	2	2
BASEMENTS	-	0	-
BUILDING HEIGHT	-	24' - 0"	60' - 0"
OCCUPANCY GROUP	-	A-2, U	-
FIRE SPRINKLERS	-	YES	NONE REQ.

GROSS FLOOR AREA:	EXISTING	PROPOSED	REQ. / ALLOW.
STREET (UPPER) LEVEL	-	1,584 SQFT.	24,000 SQFT.
BOATYARD (LOWER) LEVEL	-	978 SQFT.	24,000 SQFT.
TOTAL BUILDING AREA:	-	2,562 SQFT.	48,000 SQFT.

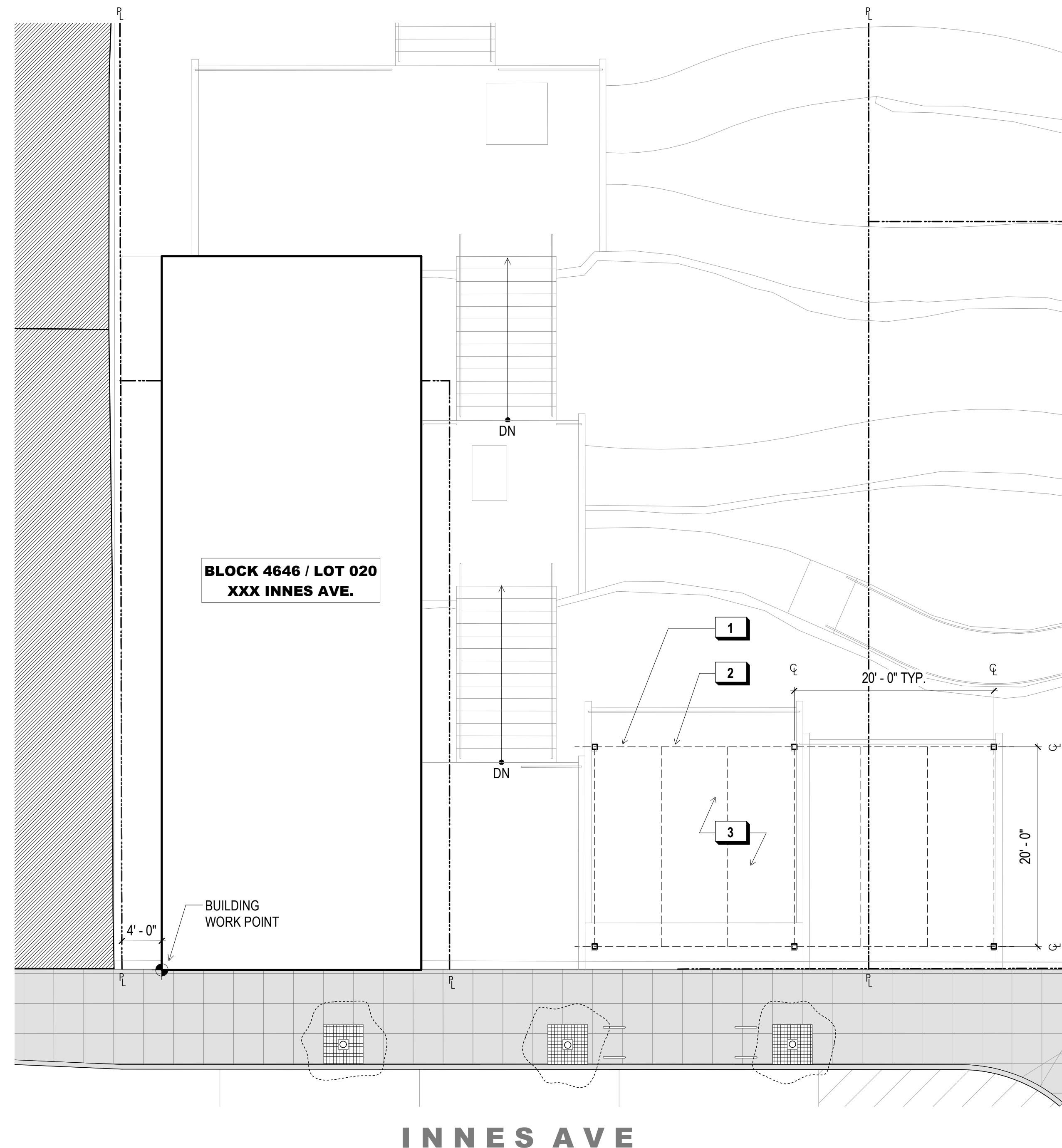
NET ACCESSORY FLOOR AREA:	EXISTING	PROPOSED	REQ. / ALLOW.
STREET (UPPER) LEVEL PATIO:	-	287 SQFT.	-
STREET (UPPER) LEVEL PLAZA:	-	823 SQFT.	-

### SHEET NOTES:

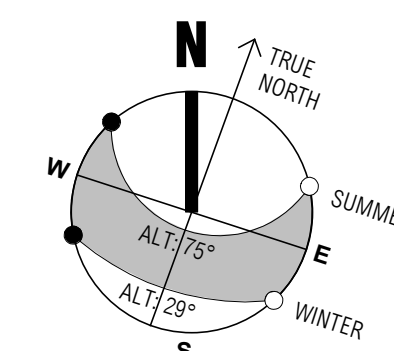
- LANDSCAPING AND SITE SHOWN FOR REF. ONLY - SEE CIVIL, LANDSCAPE, OR COASTAL ENGINEERING DRAWINGS FOR DETAILS.

### KEY NOTES:

- 6x6 PTD. HSS TRELLIS COL.
- 6x6 PTD. HSS TRELLIS COL.
- OUTLINE OF WOOD CANOPY ABV.
- OUTLINE OF WOOD CANOPY ABV.
- S.L.D. FOR ALL OTHER SITE INFO.
- S.L.D. FOR ALL OTHER SITE INFO.



1 SITE PLAN - FOOD PAVILION & INNES TERRACE  
1/8" = 1'-0"





**ROOM FINISH SCHEDULE**

ROOM NO.	ROOM	FINISH			REMARKS
		FLOOR	BASE	WALL	
201	EXTERIOR FRONT PORCH	CONC-1	-	-	-
202	EXTERIOR ORDER PICK-UP AREA	CONC-1	-	-	-
203	KITCHEN	CONC-2	CONC-2	FRP-1	ACT-2
204	EXTERIOR BACK PORCH	CONC-1	-	-	-
205	BACK PATIO	CONC-1	-	-	-
206	ALL GENDER RESTROOM	CONC-3	CONC-3 / TB-2	TL-2	PT-1
207	JANITOR / TRASH	CONC-1	CONC-1	FRP-1	PT-1
208	EXT. SERVICE ALLEY	CONC-1	-	-	-

**FINISH LEGEND**

FINISH CODE	DESCRIPTION	MANUFACTURER	PRODUCT	SIZE	SPECIES / COLOR	FINISH
ACT-2	ACOUSTIC CEILING TILE	ROCKFON	HYGIENIC PLUS	AS SHOWN	WHITE	NA
CONC-1	CONCRETE - EXT.	NA	NA	NA	NA	PENETRATING SEALER PER SPEC., WATER-WASHED EXPOSE AGGREGATE FINISH
CONC-2	CONCRETE - POLISHED	ADVANCED FLOORING	RETRO-PLATE 99	NA	NA	INT / SLIP RESISTANT, SEAL PER SPEC.
CONC-3	CONCRETE - INTERIOR	NA	NA	NA	NA	INT / SLIP RESISTANT, SEAL PER SPEC.
FRP-1	FRP PANEL	LIFE SCIENCES PRODUCTS	GRIDLOCK BIO/CR-7 PANEL	AS SHOWN	COLOR TBD	-
PT-1	PTD. GYP. BD.	BENJAMIN MOORE	AURA	NA	SUPER WHITE	MATTE
TB-2	METAL TRIM BASE	SCHLUTER	JOLLY	COORD. W/ TILE	NA / NA	SATIN
TL-2	CERAMIC TILE	DALTILE	COLOR WHEEL	AS SHOWN	COLOR TBD	NA

**F.E.C. LEGEND**

TAG	MFR.	SERIES / MODEL	TRIM STYLE	DOOR STYLE	FINISH
FEC-1	J.L. INDUSTRIES	AMBASSADOR / 1016	1-1/2" SQUARE	V10, PULL HANDLE	WHITE POWDERCOAT
FEC-2	J.L. INDUSTRIES	AMBASSADOR / 2012	4" ROLLED	V10, FLUSH PULL	WHITE POWDERCOAT

**FIRE EXTINGUISHERS:**

1. TYPICAL: CLASS ABC, 5-LB CAPACITY, UL RATING 2A:10BC
2. COMMERCIAL KITCHEN: CLASS K, WET CLASS(WC) IN ACCORDANCE W/ CFC SECTION 904.11.5, J.L. INDUSTRIES "SATURN"

**SHEET NOTES:**

1. SEE SHEETS A801.1-A803.1 FOR WALL TYPES.
2. AT ACCESSIBLE WDW., PROVIDE A 30"x48" CLR. FLR. AREA, OPERABLE PARTS WITHIN AN ACCESSIBLE REACH RANGE AND OPERATION PER CBC 2019 11B-309.
3. ALL SWITCHES, CONTROLS, AND ELEC. RECEPTACLES NOT DEDICATED TO EQUIP. SHALL BE WITHIN AN ACCESSIBLE REACH RANGE PER CBC 2019 11B-308.1. SEE 6/A023.1 FOR TYP. MOUNTING HGTS.
4. AT WHEELCHAIR DINING SPACE, PROVIDE 30"x48" CLR. FLR. AREA & 34" MAX. HGT. DINING SURFACE W/ 27" HIGH KNEE CLR. BLW. AT LEAST 19" DEEP.

**WALL LEGEND:**

- NEW WALL / ELEMENT
- NEW CONCRETE WALL
- EXISTING WALL / ELEMENT
- BUILDING WORKING PT. (S.L.D. FOR LOC. ON SITE)

**KEY NOTES:**

1. EXISTING NEIGHBORING BLDG. & DRAIN PIPE
2. 30" x 48" CLR. AREA POSITIONED FOR PARALLEL APPROACH, COMPLYING W/ CBC SEC. 11B-308.
3. PROVIDE WARM SHELL TENANT SPACE: GYP. BD. AT WALLS, EXPOSED STRUCTURE AT FLOOR AND CEILING; EGRESS LEVEL LIGHTING ONLY; STUB OUT FOR FUTURE PLUMBING AND ELEC. CONNECTIONS. SEE MEP DRAWINGS FOR ADD'L. DETAILS. INTERIOR FINISHES PROVIDED FOR REF. ONLY.
4. BUILT-IN SERVICE COUNTER MILLWORK, 34" MAX A.F.F.
5. LINE OF OVERHEAD DOOR IN CLOSED POSITION
6. LINE OF OVERHEAD DOOR ABOVE (OPEN POSITION)
7. MOTORIZED DOOR OPERATOR
8. SECURITY / EGRESS GATE
9. CUSTOM STEEL AND CABLE RAIL GUARDRAIL WITH WOOD CAP
10. CAL/OSHA FIXED VERT. LADDER
11. LINEAR DRAIN, TYP.
12. 6" MTL. FRAMING @ INT. WALL FOR PLUMBING, CONDUIT, OR RECESSED EQUIP.

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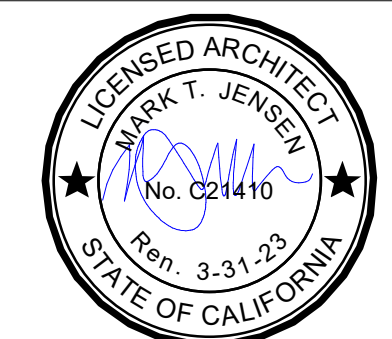
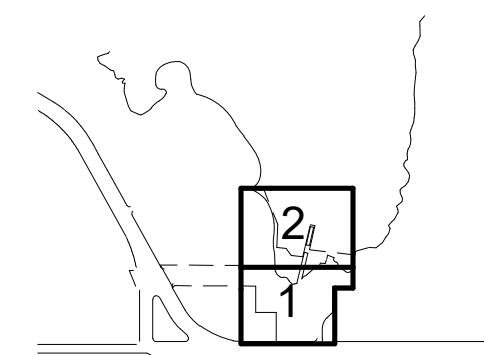
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FOR OFFICIAL USE

KEY PLAN



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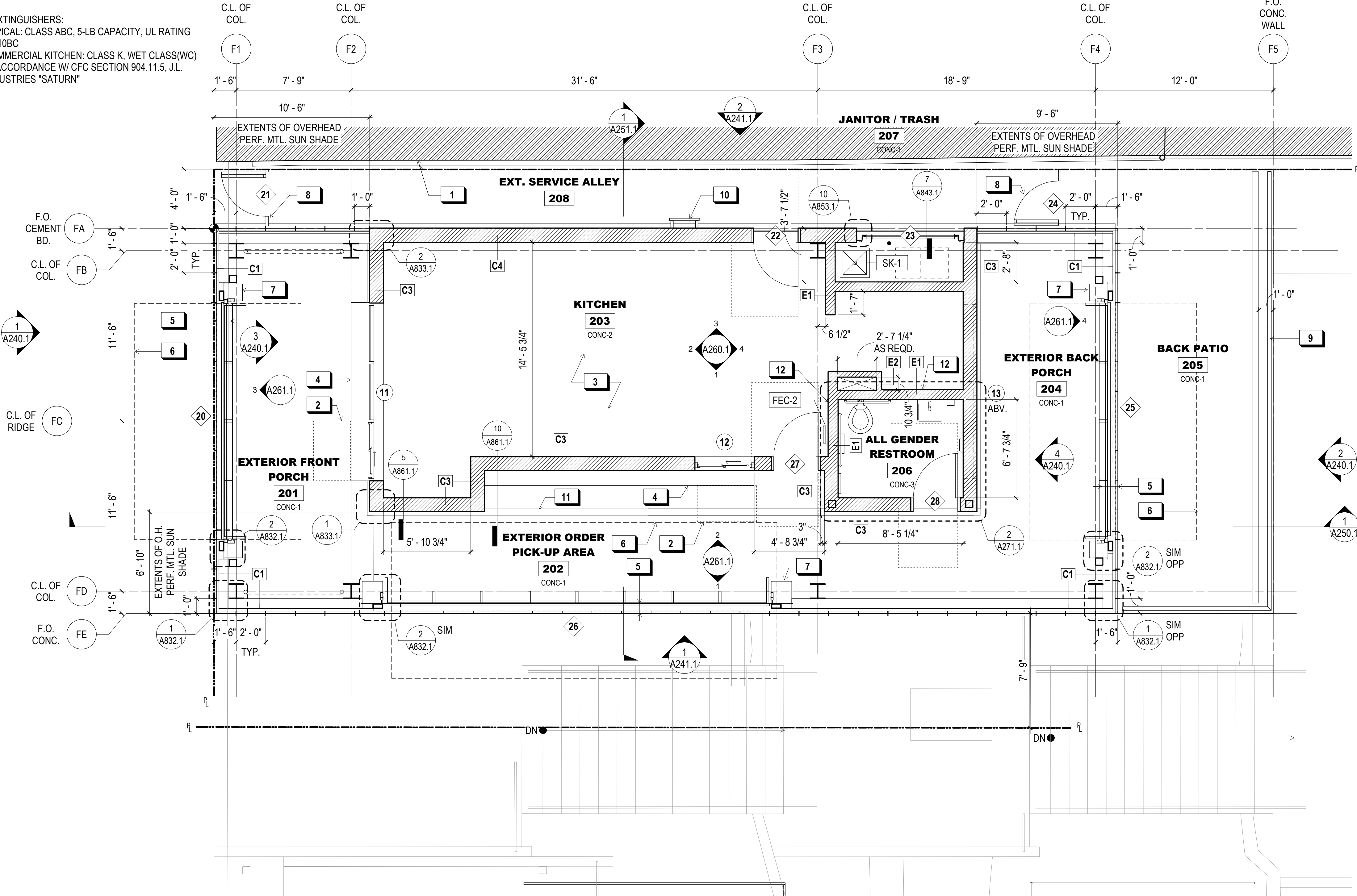
ISSUANCE

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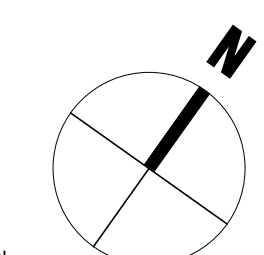
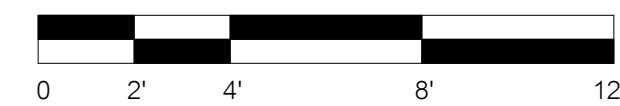
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DATE 7/01/2021	GGN PROJECT # 1608

FOOD PAVILION -  
PROPOSED UPPER PLAN

**A220.1**



**PROPOSED UPPER FLOOR PLAN**  
1/4" = 1'-0"





**ROOM FINISH SCHEDULE**

ROOM NO.	ROOM	FINISH			REMARKS
		FLOOR	BASE	WALL	
211	UTILITY CHASE	CONC-4	-	-	UNFINISHED SPACE
212	ALL GENDER RESTROOM	CONC-3	CONC-3	TL-2	EXPOSED CEILING, PAINTED, TYP.
212A	IT CLOSET	CONC-4	CONC-4	PT-2	
212B	URINAL	CONC-3	CONC-3 / TB-2	TL-2	
212C	WC	CONC-3	CONC-3 / TB-2		
212D	WC	CONC-3	CONC-3 / TB-2	TL-2	
212E	WC	CONC-3	CONC-3 / TB-2	TL-2	
212F	ACCESSIBLE WC	CONC-3	CONC-3 / TB-2	TL-2	
212G	WC	CONC-3	CONC-3 / TB-2	TL-2	
212H	AMBUL. WC	CONC-3	CONC-3 / TB-2	TL-2	

**FINISH LEGEND**

FINISH CODE	DESCRIPTION	MANUFACTURER	PRODUCT	SIZE	SPECIES / COLOR	FINISH
CONC-3	CONCRETE - INTERIOR	NA	NA	NA	NA	INT / SLIP RESISTANT, SEAL PER SPEC.
CONC-4	CONCRETE	NA	NA	NA	NA	BROOM FINISH
PT-2	PTD. GYP. BD.	BENJAMIN MOORE	AURA	NA	SUPER WHITE	SEMI-GLOSS
PT-3	PTD. GYP. BD.	BENJAMIN MOORE	AURA	NA	COLOR TBD	MATTE
TB-2	METAL TRIM BASE	SCHLUTER	JOLLY	COORD. W/ TILE	NA / NA	SATIN
TL-2	CERAMIC TILE	DALTILE	COLOR WHEEL	AS SHOWN	COLOR TBD	NA

**SHEET NOTES:**

- SEE SHEETS A801.1-A803.1 FOR WALL TYPES.
- ALL SWITCHES, CONTROLS, AND ELEC. RECEPTACLES NOT DEDICATED TO EQUIP. SHALL BE WITHIN AN ACCESSIBLE REACH RANGE PER CBC 2019 11B-308.1. SEE 6/A023.1 FOR TYP. MOUNTING HGTS.

**WALL LEGEND:**

- NEW WALL / ELEMENT
- NEW CONCRETE WALL
- EXISTING WALL / ELEMENT
- BUILDING WORKING PT. (S.L.D. FOR LOC. ON SITE)

**KEY NOTES:**

- SEE A-801 & A-803 FOR WALL TYPE LEGEND
- LINE OF OVERHEAD DOOR (OPEN POSITION)
- LINE OF OVERHEAD DOOR IN CLOSED POSITION
- MOP SINK
- WALL-MTD. SINK @ TILED DIE WALL, TYP.
- CHANGING TABLE, TYP.
- CUSTOM PTD. STL. FLAT BAR SCREEN
- UNEXCAVATED
- LINE OF FOOTING ABOVE
- RECESSED HAND DRYER
- SURFACE-MTD. HAND DRYER
- AREA DRAIN, TYP.
- ELECTRICAL PANEL, S.E.D.
- ELECTRICAL SWITCHING RACK, S.E.D.
- 6" MTL. FRAMING @ INT. WALL FOR PLUMBING, CONDUIT, OR RECESSED EQUIP.

**900 INNES PARK DEVELOPMENT**

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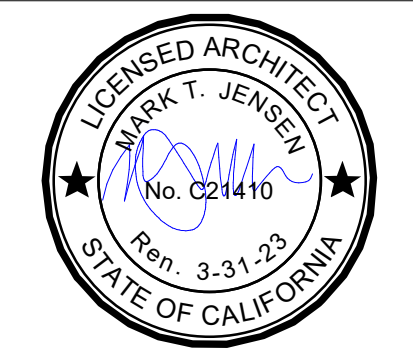
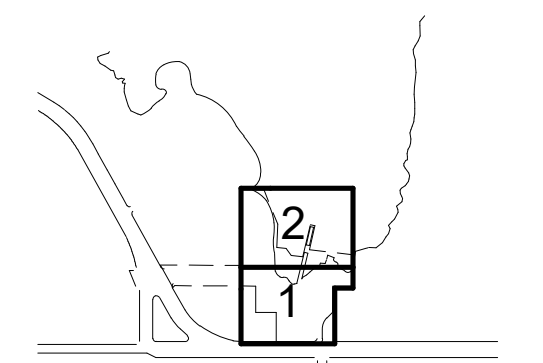
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KEY PLAN



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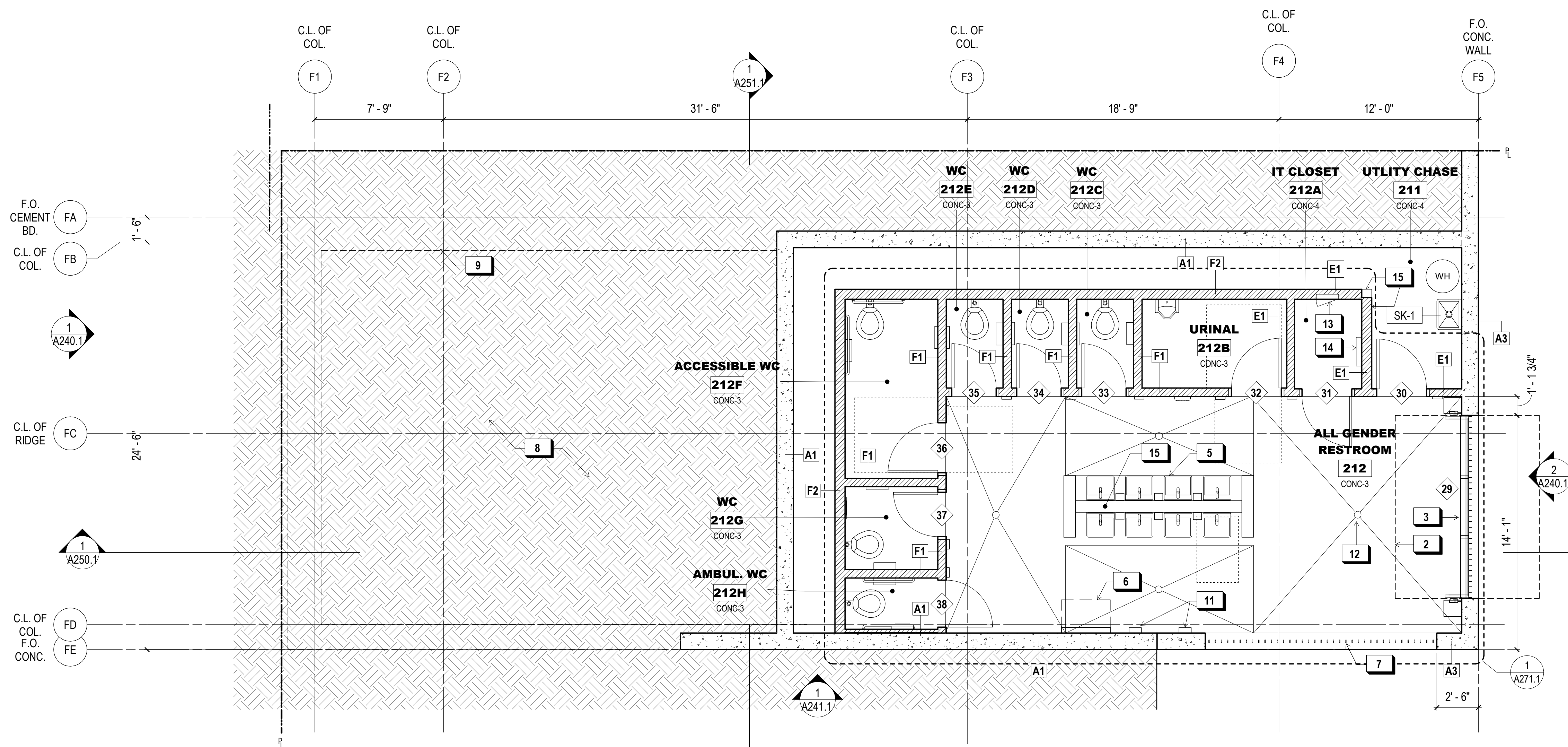
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DATE 7/01/2021	GGN PROJECT # 1608

**FOOD PAVILION - PROPOSED LOWER PLAN**

**A221.1**



**1 PROPOSED LOWER FLOOR PLAN**  
1/4" = 1'-0"

7/01/2021 ANS (unbleed) (22.00 x 34.00 inches)



**900 INNES  
PARK DEVELOPMENT**

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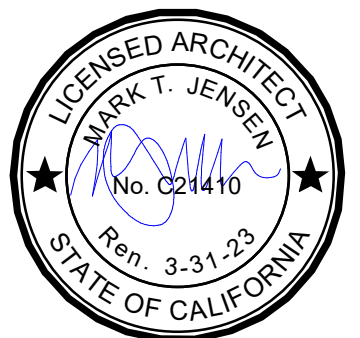
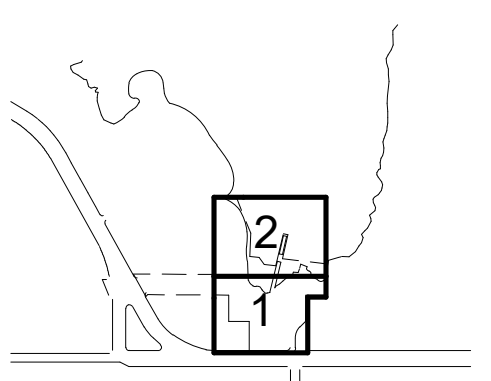
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**FOOD PAVILION -  
PROPOSED ROOF PLAN**

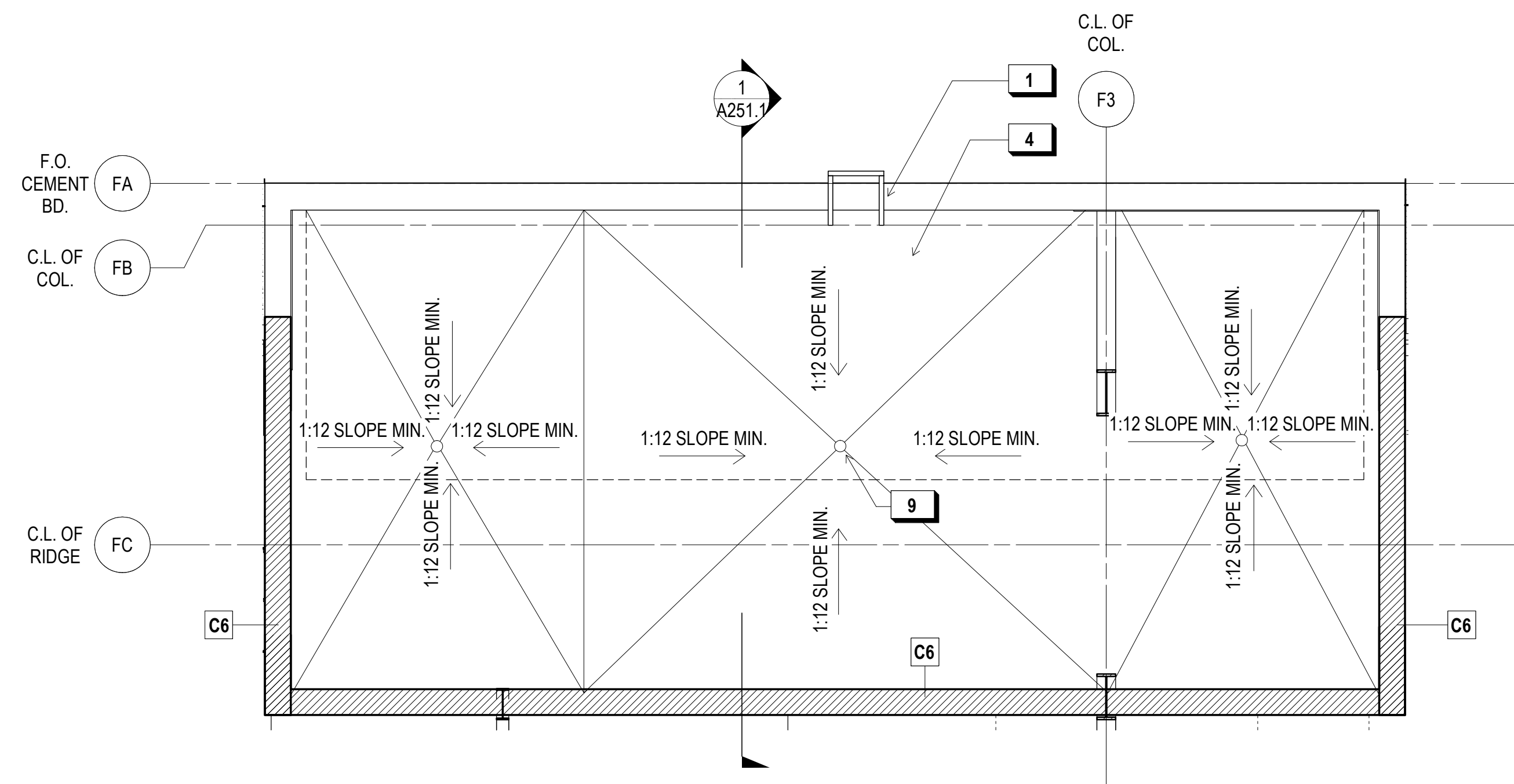
**A222.1**

**SHEET NOTES:**

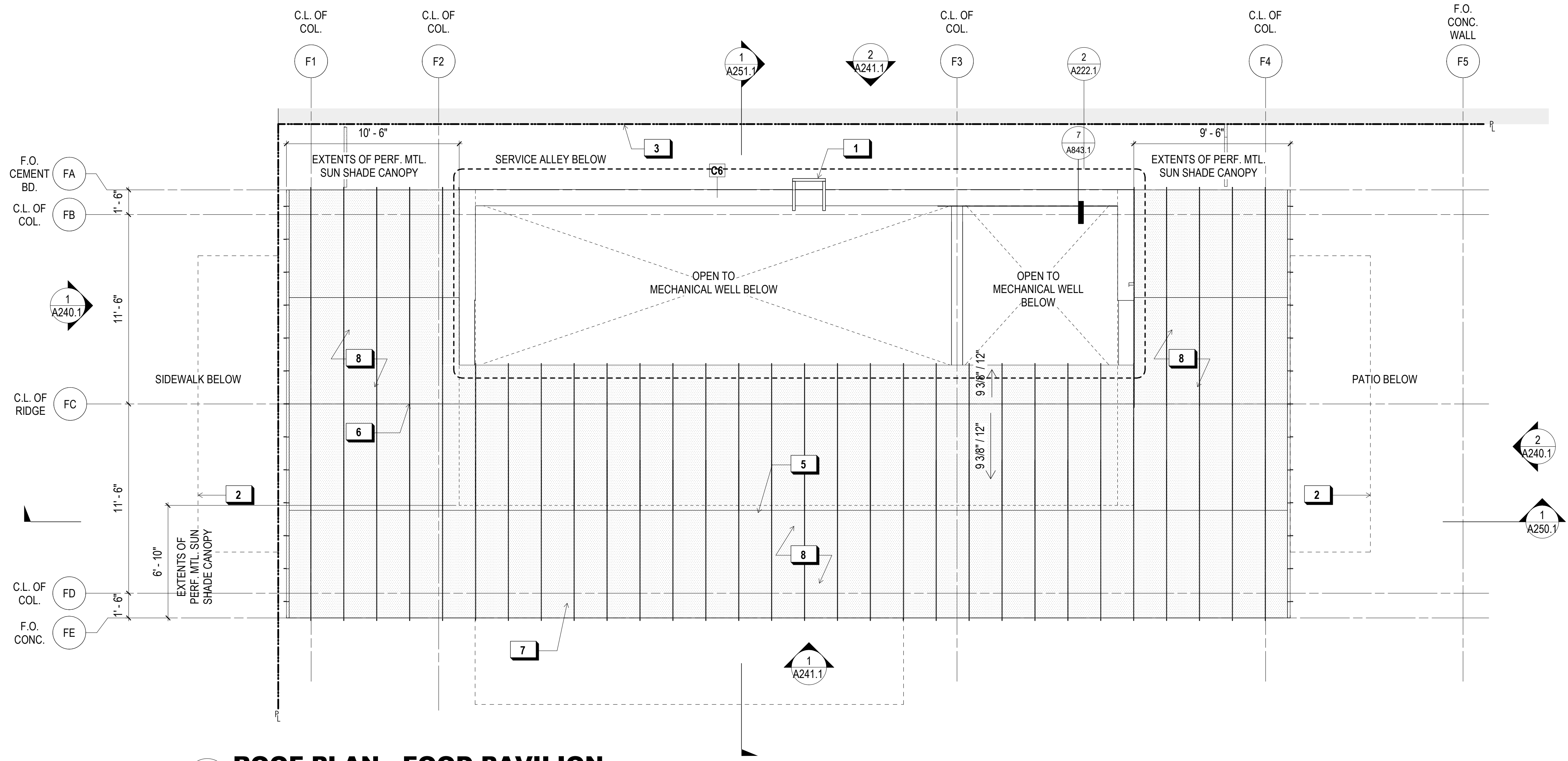
- SEE SHEETS A80.1-A803.1 FOR WALL TYPES.
- S.M.D. FOR ROOF EQUIP. DETAILS

**KEY NOTES:**

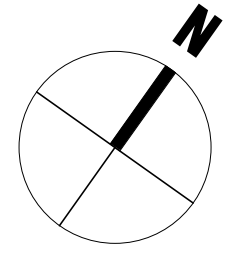
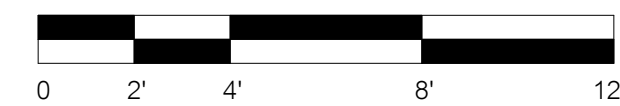
- CAL/OSHA FIXED VERT. LADDER
- LINE OF OVERHEAD DOOR IN OPEN POSITION
- EXISTING BLDG.
- LOW-SLOPE ROOF W/ PMMA ROOFING @ MECH. WELL - 1:12 SLOPE TO DRAIN, TYP.
- OUTLINE OF MECH. ROOF LEVEL BLW.
- LINE OF RIDGE
- PERF. MTL SUNSHADE PANEL, TYP.
- OPEN-AIR STREET LEVEL SPACE BLW.
- ROOF DRAIN, TYP.



**2 LOW ROOF PLAN - FOOD PAVILION**  
1/4" = 1'-0"



**1 ROOF PLAN - FOOD PAVILION**  
1/4" = 1'-0"





# 900 INNES PARK DEVELOPMENT

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## WALL LEGEND:

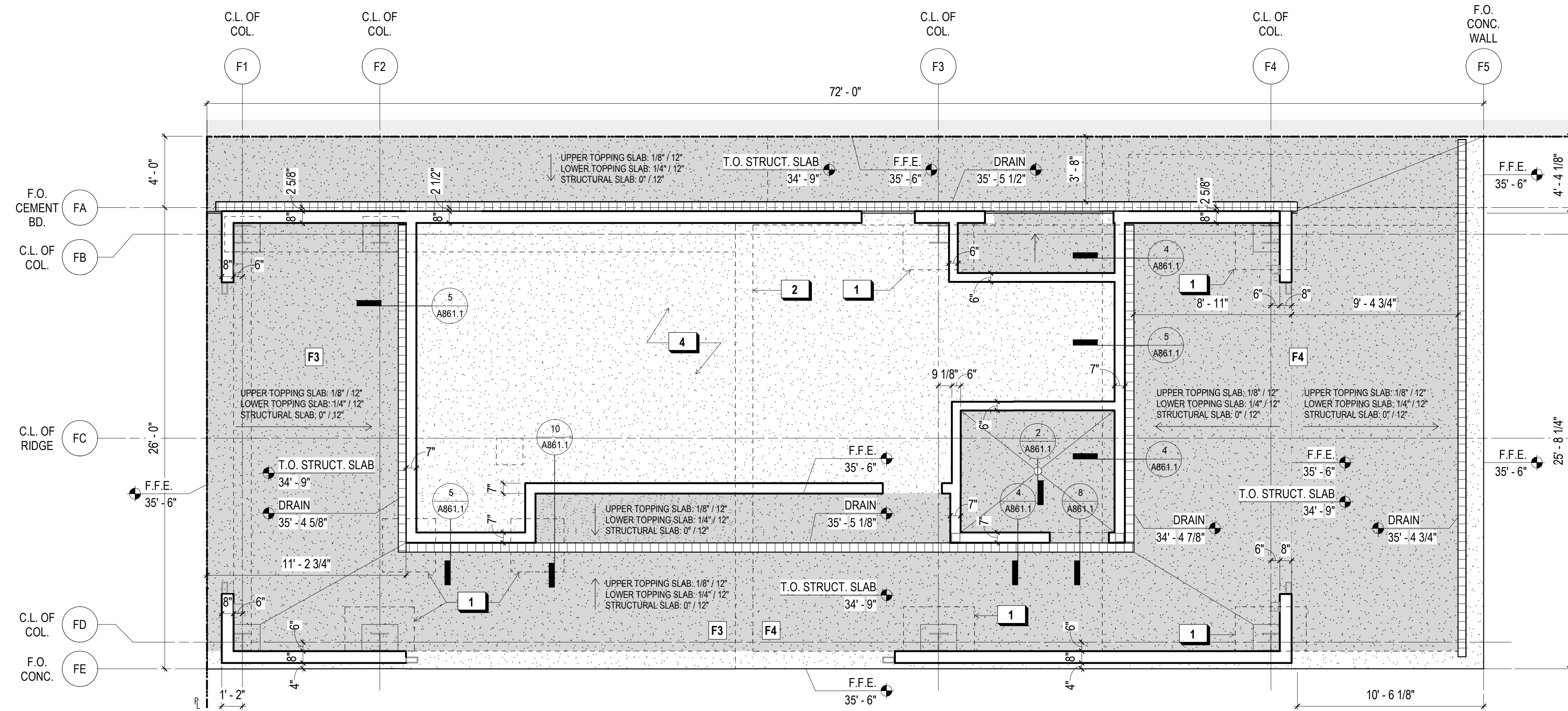
- STRUCTURAL CONC. SLAB W/ 3" TOPPING TYP. U.O.N.
- SPLIT CONC. TOPPING SLAB O/ STRUCTURAL CONC. SLAB
- CONC. WALL
- CONC. CURB (6" A.F.F. U.O.N.)
- WALL OR FOOTING BELOW
- AREA DRAIN
- LINEAR SLOT DRAIN

## SHEET NOTES:

1. REFER TO STRUCTURAL DRAWINGS FOR SIZING AND LOCATION OF PILES, FOUNDATIONS, RETAINING WALLS, AND STEM WALLS.
2. REFER TO LANDSCAPE DRAWINGS FOR SIZING AND LOCATION OF EXTERIOR PAVING AND SLABS.
3. DIMENSIONS SHOWN FOR REFERENCE ONLY. VERIFY REQUIRED CLEAR DIMENSIONS, ETC. WITH PROPOSED FLOOR PLANS.

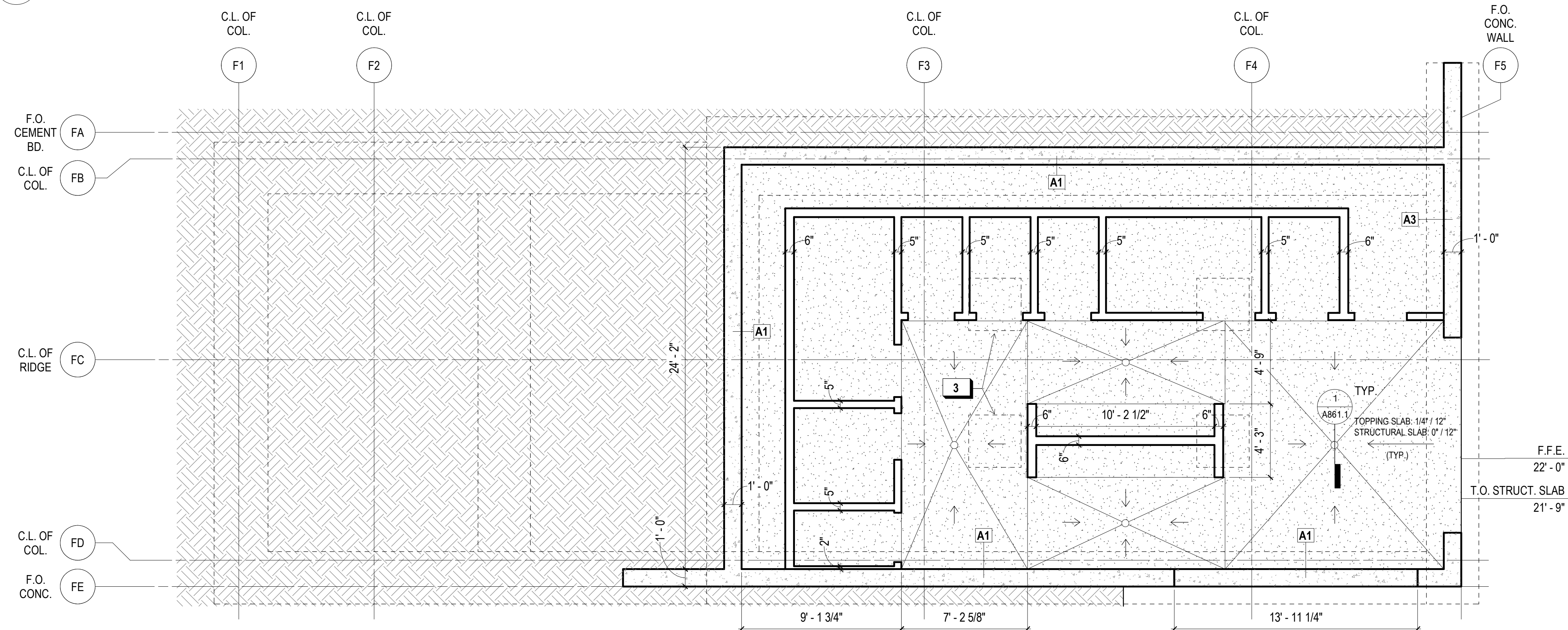
## X KEY NOTES:

- 1 THICKENED SLAB, S.S.D.
- 2 WALL BELOW
- 3 OUTLINE OF PAD BELOW, TYP., S.S.D.
- 4 TOPPING SLAB IN T.I. SCOPE (35'-6" F.F.E.)



## 2 UPPER LEVEL SLAB PLAN

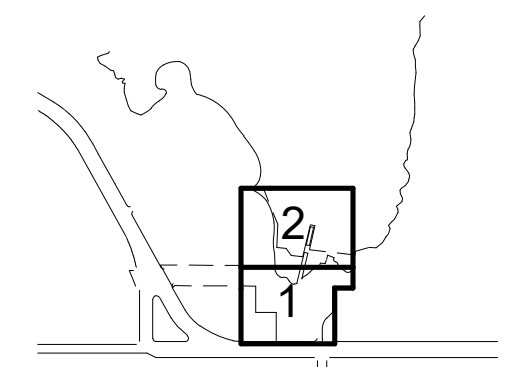
1/4" = 1'-0"



## 1 LOWER LEVEL SLAB PLAN

1/4" = 1'-0"

KEY PLAN



## REVISIONS:

NO.	DATE	DESCRIPTION

ISSUANCE

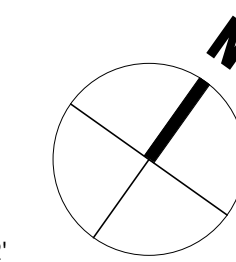
BID SET

DRAWN BY: JENSEN CHECKED BY:

DATE: 7/01/2021 GGN PROJECT #: 1608

FOOD PAVILION - SLAB PLANS

# A223.1





**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700

THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014

PRIME CONSULTANT / LANDSCAPE ARCHITECT  
GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650

ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650

ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820

STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

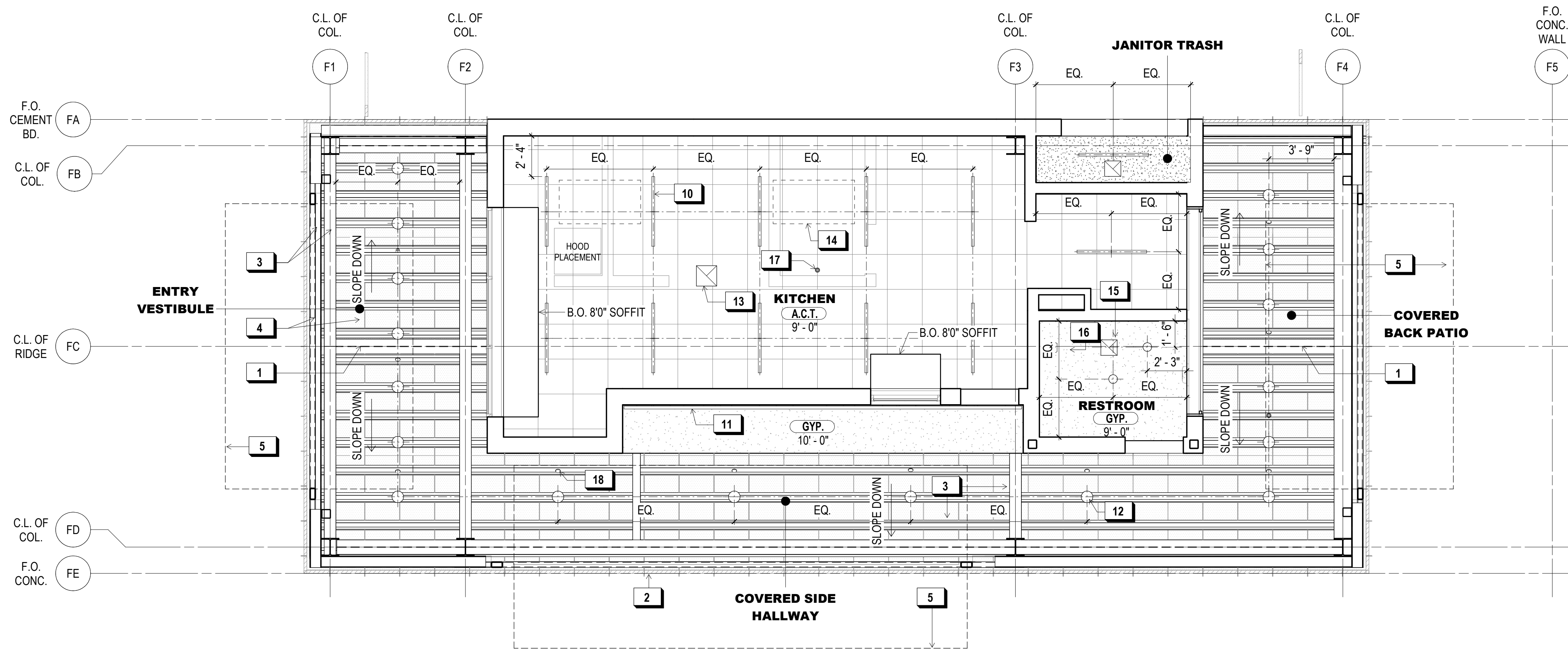
FOR OFFICIAL USE

**SHEET NOTES:**

- SEE LIGHTING DESIGNER DRAWINGS AND ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT
- DESIGN BUILD FIRE SUPPRESSION SYSTEMS TO BE COORDINATED WITH ARCHITECT AND LIGHTING CONSULTANT

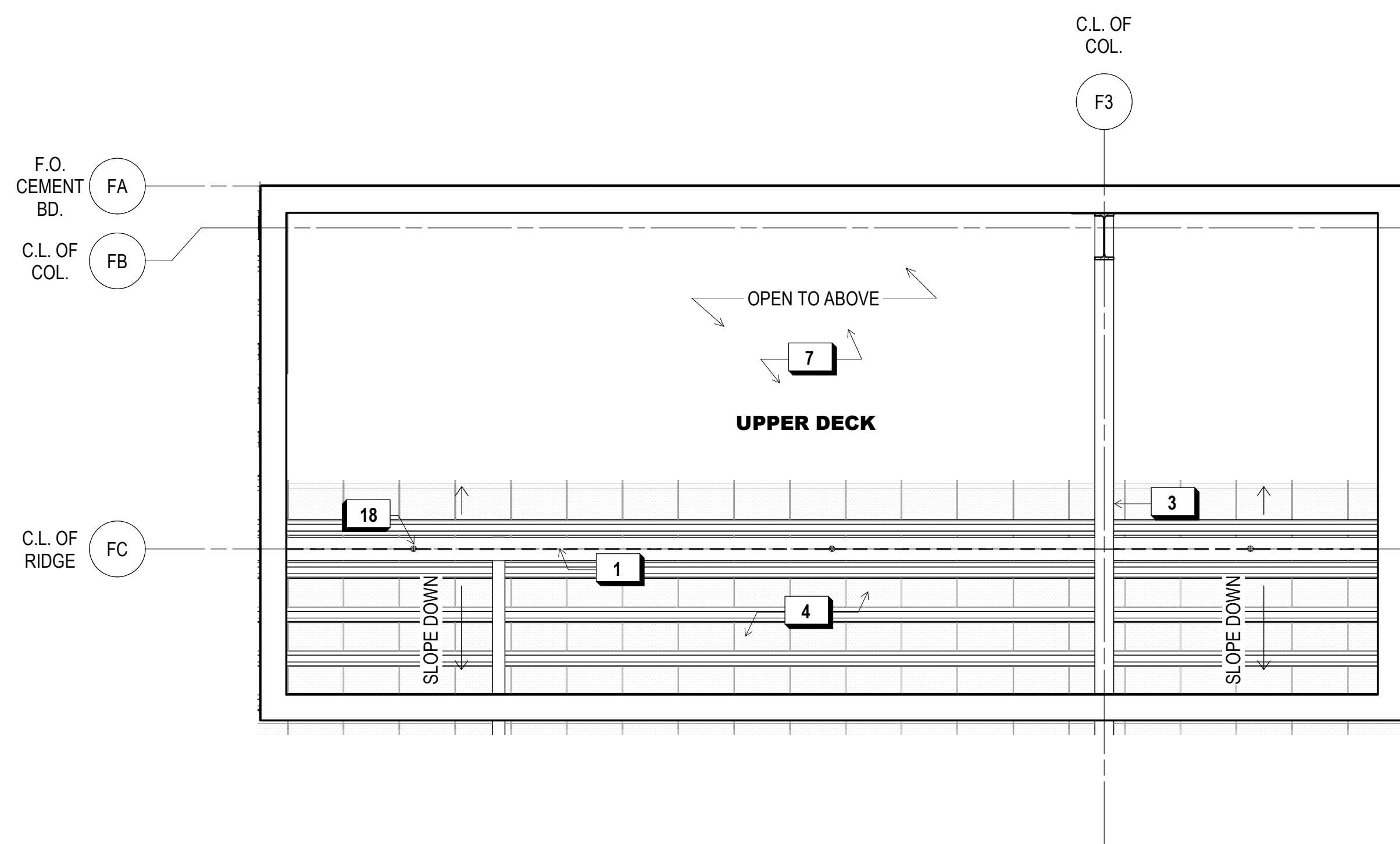
**X KEY NOTES:**

- ROOF HIGH-POINT
- ROOF LOW-POINT
- EXPOSED STRUCTURE, TYP.
- PERF. METAL PANEL @ WALL & ROOF, TYP.
- OVERHEAD DOOR COUNTERWEIGHT EXTENTS IN OPEN POSITION
- OPEN TO UNDERSIDE OF CONC. SLAB ABOVE
- MECHANICAL EQUIPMENT AREA
- PIPES AND EXPOSED DUCTWORK TO BE PAINTED
- TRIMLESS WET DOWNLIGHT
- BOH LINEAR LIGHT
- LINEAR COVE LIGHT
- BEAM MOUNTED FLOOD LIGHT
- KITCHEN EXHAUST VENT, S.M.D.
- FCU ACCESS PANEL, S.M.D.
- RESTROOM EXHAUST VENT, S.M.D.
- CEILING MOUNTED WIRELESS ACCESS POINT, S.T.D.
- CEILING MOUNTED MOTION DETECTOR, TYP., S.U.D.
- EXPOSED SPRINKLER HEAD, TYP.



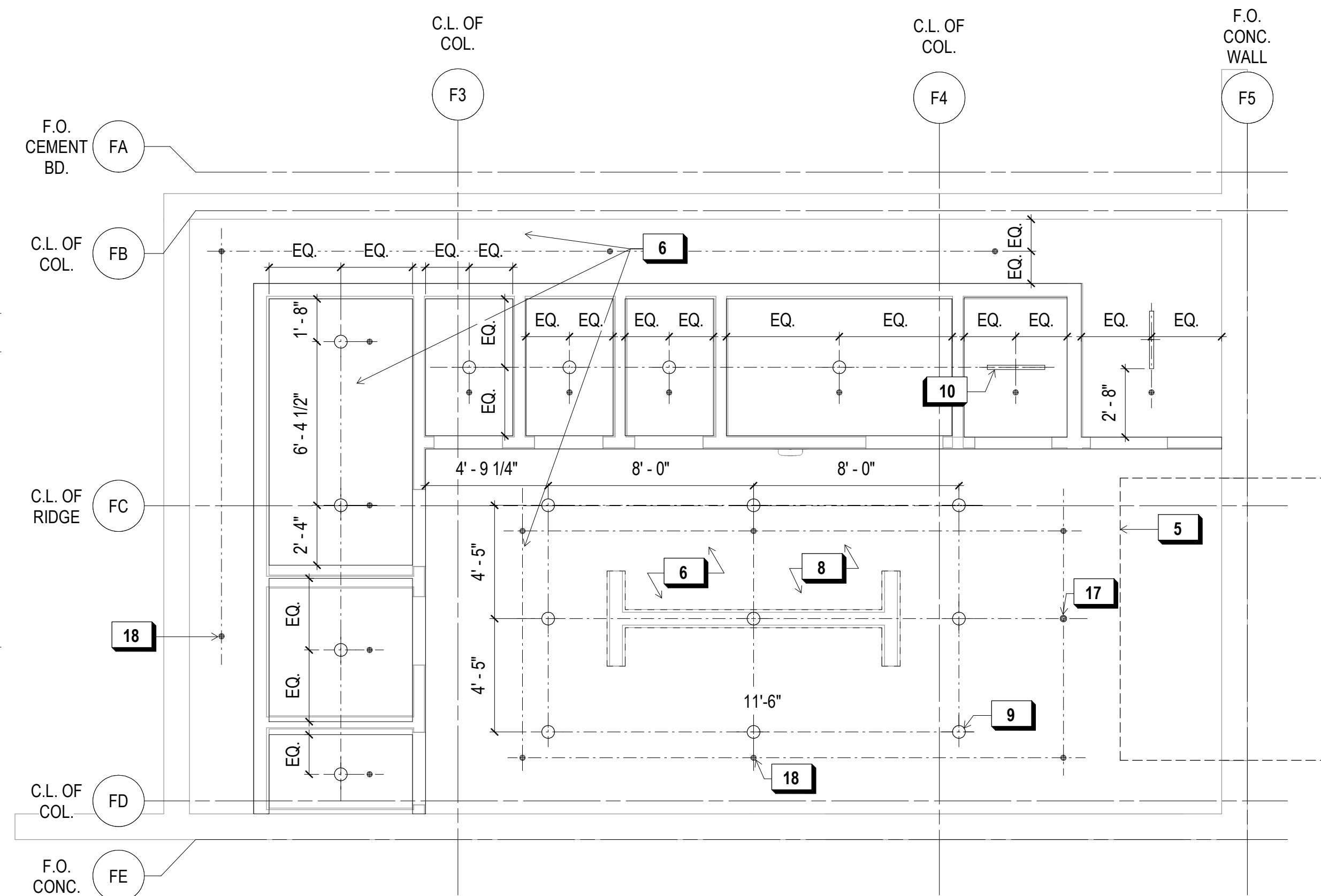
**3 FOOD PAVILION - STREET LEVEL RCP**

1/4" = 1'-0"



**2 FOOD PAVILION - UPPER DECK RCP**

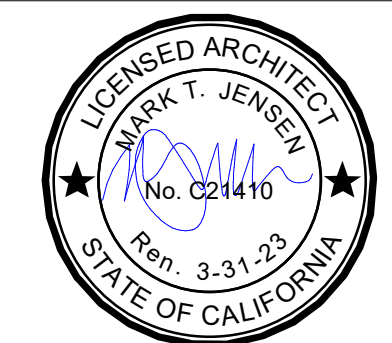
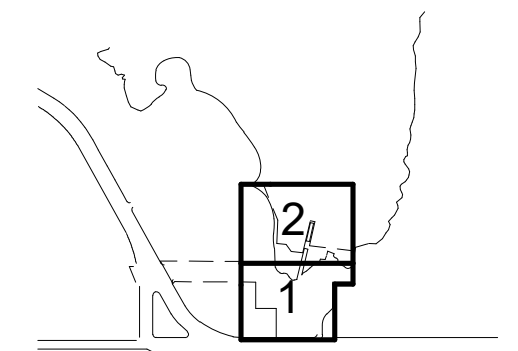
1/4" = 1'-0"



**1 FOOD PAVILION - BOATYARD LEVEL RCP**

1/4" = 1'-0"

KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

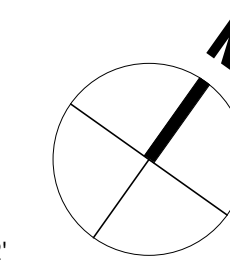
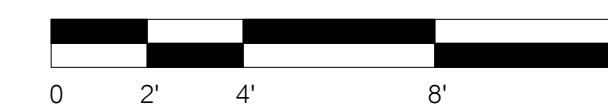
ISSUANCE

BID SET

DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

FOOD PAVILION - RCPS

**A230.1**





**900 INNES  
PARK DEVELOPMENT**

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RECREATION AND PARKS DEPARTMENT  
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SAN FRANCISCO, CA 94102  
PH. 415-831-2700

THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014

PRIME CONSULTANT / LANDSCAPE ARCHITECT  
GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650

ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650

ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820

STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

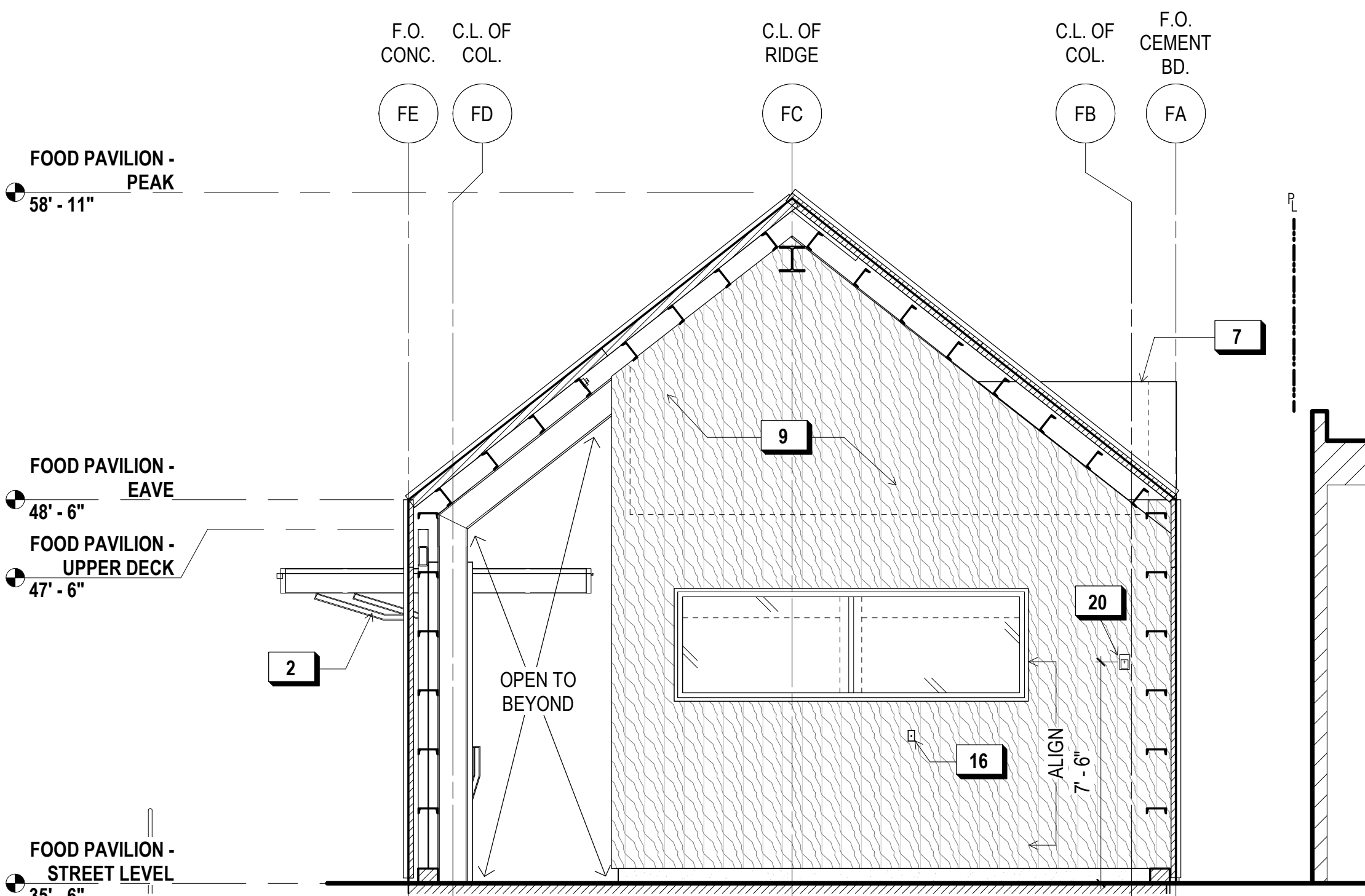
MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

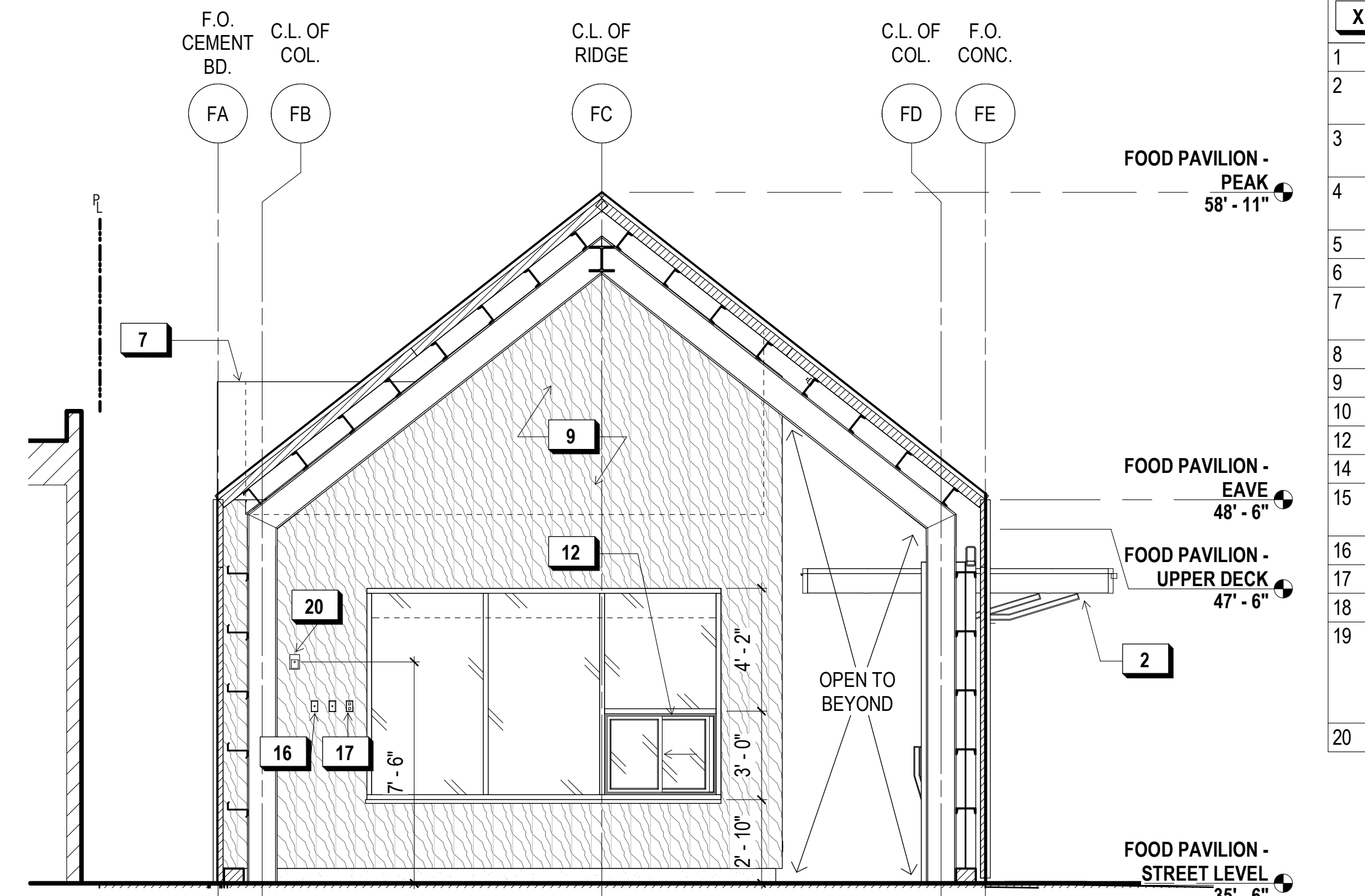
SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

**KEY NOTES:**

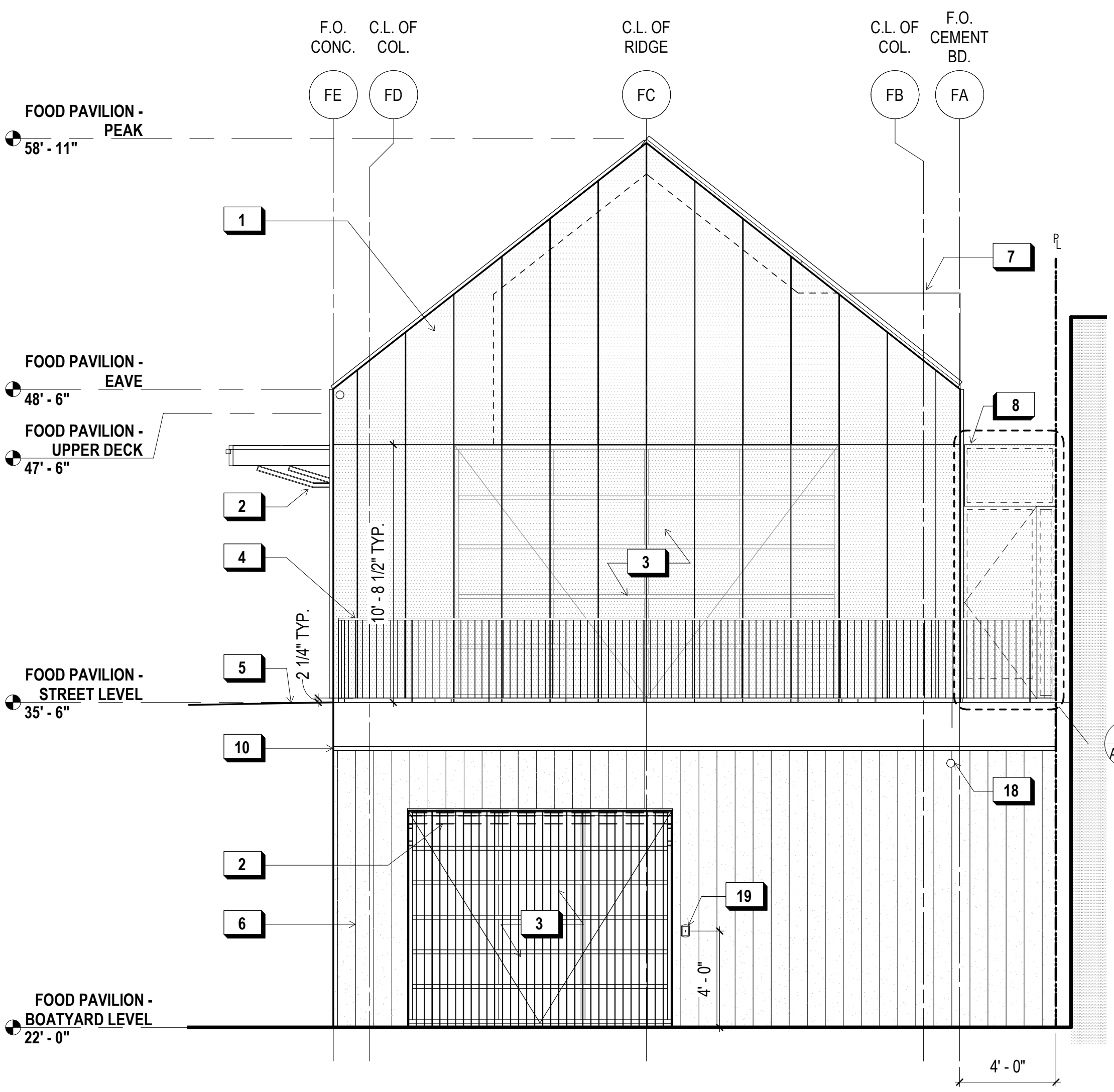
- PERF. MTL. PANEL, TYP.
- OVERHEAD GARAGE DR. (SHOWN IN OPEN POSITION)
- OVERHEAD GARAGE DR. (SHOWN IN CLOSED POSITION)
- CUSTOM STL. AND CABLE RAIL GUARDRAIL W/ WD. CAP, SEE DETAIL 1/A290.1
- EXT. GRADE BEYOND - S.L.D.
- BOARD FORMED CONC. FIN.
- TALL PARAPET WALL W/ CEMENT BD. FIN. @ MECH. WELL
- SECURITY/EGRESS GATE
- WD. BD. & BATTEN CLAD WALL
- 2" REVEAL
- WALK-UP SERVICE WDW.
- UNEXCAVATED
- LINE OF FOUNDATION AT HABITABLE SPACE BEYOND
- DATA CONNECTION, S.E.D.
- WALL OUTLET, S.E.D.
- SECURITY CAMERA, TYP.
- RECESSED SOLID MTL. PANEL, FIN. TO MATCH PERF. PANELS. PROVIDE CARD READER AND SIGNAGE: 'DOOR TO REMAIN OPEN DURING NORMAL BUSINESS HOURS.'
- MOTION DETECTOR, WALL MTD.



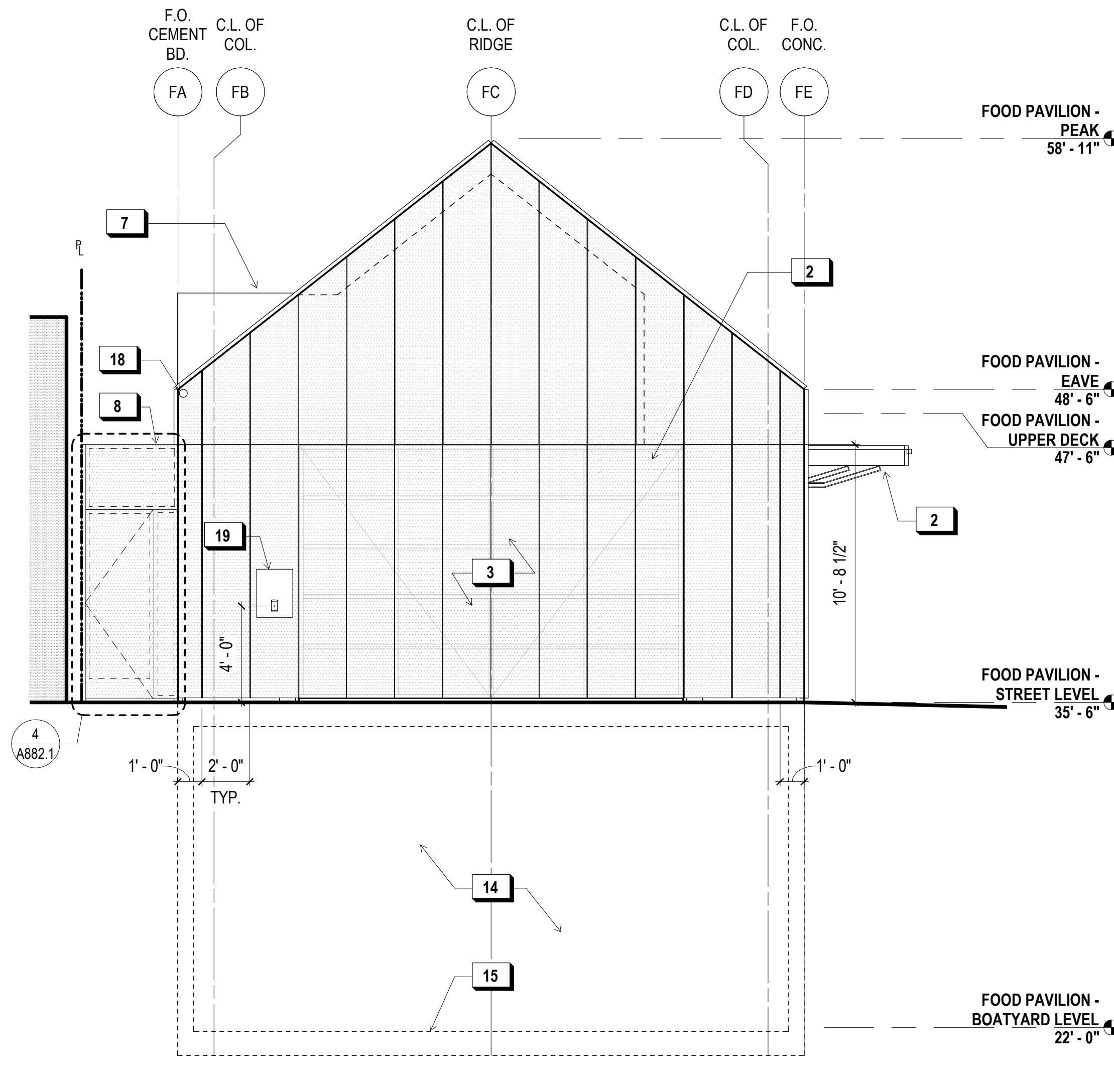
**4 FOOD PAVILION - EAST ELEVATION INTERIOR**  
1/4" = 1'-0"



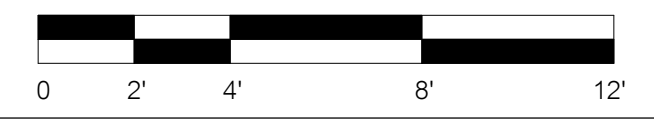
**3 FOOD PAVILION - WEST ELEVATION INTERIOR**  
1/4" = 1'-0"



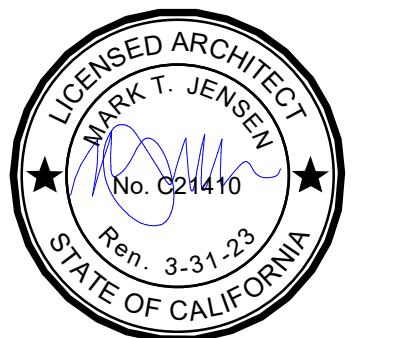
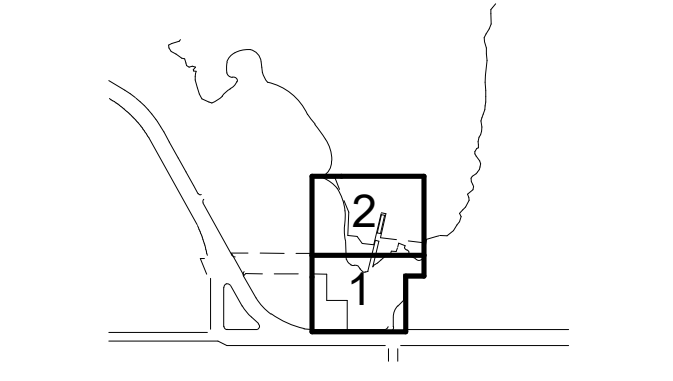
**2 FOOD PAVILION - EAST ELEVATION**  
1/4" = 1'-0"



**1 FOOD PAVILION - WEST ELEVATION**  
1/4" = 1'-0"



FOR OFFICIAL USE



**REVISIONS:**

NO.	DATE	DESCRIPTION
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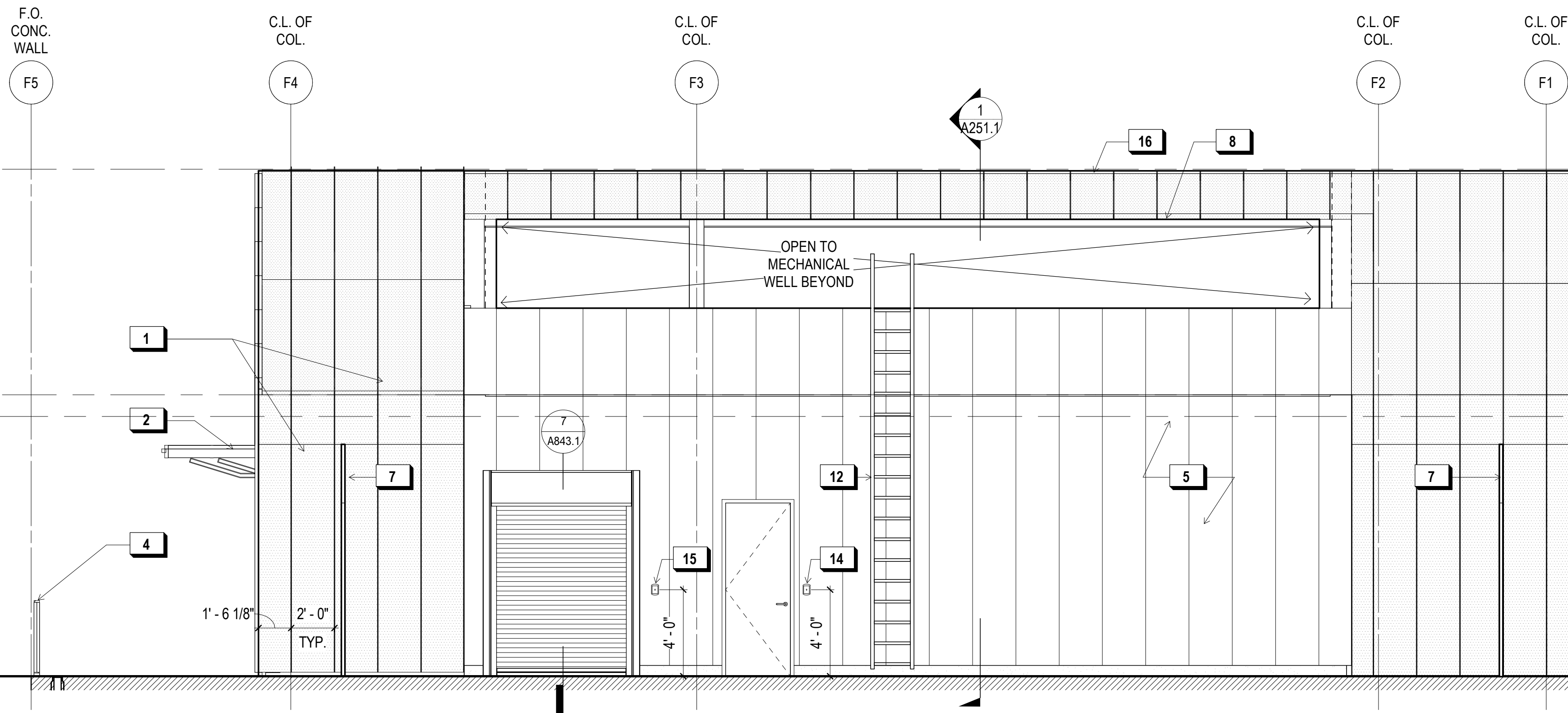
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JENSEN	

DATE	GGN PROJECT #
7/01/2021	1608

**FOOD PAVILION - EXT. ELEVATIONS**

**A240.1**





**X KEY NOTES:**

- PERF. MTL. PANEL @ WALL & ROOF, TYP.
- O.H. GARAGE DR. (OPEN POSITION)
- OVERHEAD GARAGE DR. (SHOWN IN CLOSED POSITION)
- CUSTOM STL. AND CABLE RAIL GUARDRAIL W/ WD. CAP
- VERT. CEMENT BD. SIDING
- BD. FORMED CONC. FIN.
- CUSTOM MTL. SECURITY / EGRESS GATE
- OPENING IN PERF. MTL. SUNSHADE, OPEN TO MECH. WELL
- OPENING W/ PTD. BAR GRATING
- SECURITY CAMERA
- 2" REVEAL
- CAL/OSHA FIXED VERT. LADDER
- EXT. STAIRS, S.L.D.
- CARD READER
- KEYED DOOR OPERATOR
- PROVIDE FALL ARREST SYSTEM AT ROOF, SEE ROOF PLAN FOR LAYOUT

**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
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PH. 415-831-2700

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101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
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GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

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SHERWOOD DESIGN ENGINEERS  
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PH. 415-348-9650

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RANA CREEK  
PH. 831-659-3820

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JON BRODY STRUCTURAL ENGINEERS  
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COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

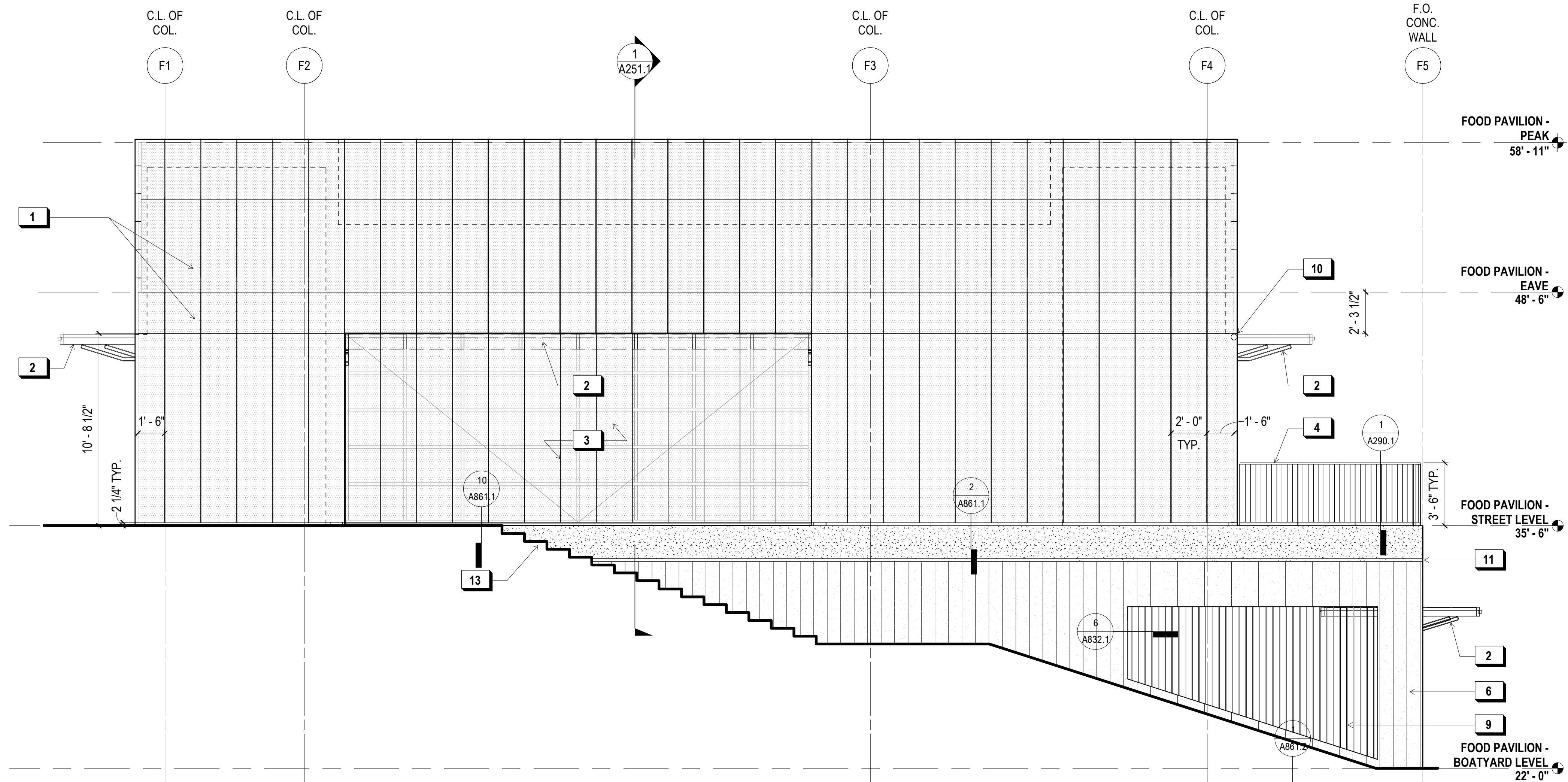
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PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

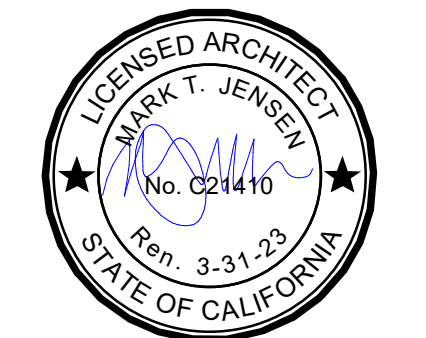
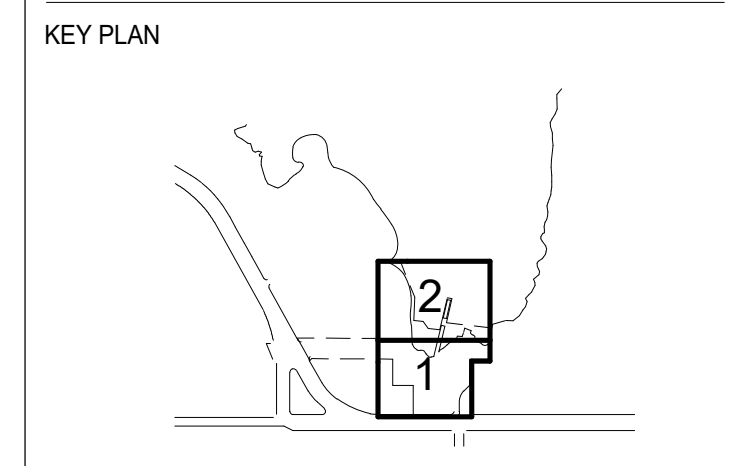
**2 FOOD PAVILION - NORTH ELEVATION**

1/4" = 1'-0"



**1 FOOD PAVILION - SOUTH ELEVATION**

1/4" = 1'-0"



**REVISIONS:**

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

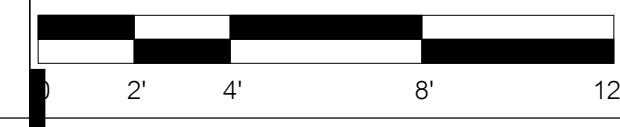
**ISSUANCE**

**BID SET**

DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

**FOOD PAVILION - EXT. ELEVATIONS**

**A241.1**





**SHEET NOTES:**

1. SEE SHEET A811.1 FOR FLOOR AND ROOF ASSEMBLIES.

**KEY NOTES:**

- 1 PERF. METAL PANEL, TYP.
- 2 STEEL STRUCT. FRAME- S.S.D.
- 3 OVERHEAD GARAGE DOOR (OPEN POSITION)
- 4 CUSTOM STEEL AND CABLE RAIL GUARDRAIL WITH WOOD CAP
- 5 REFER TO INT. ELEV. FOR DETAILS AND DIMS.

**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700

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101 MONTGOMERY STREET  
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SAN FRANCISCO, CA 94104  
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GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

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SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650

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STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

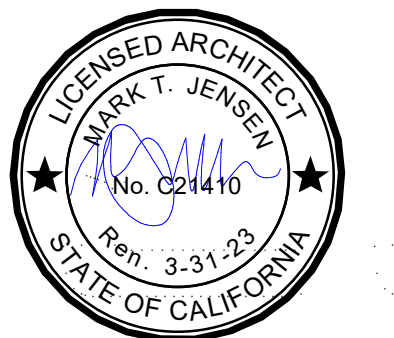
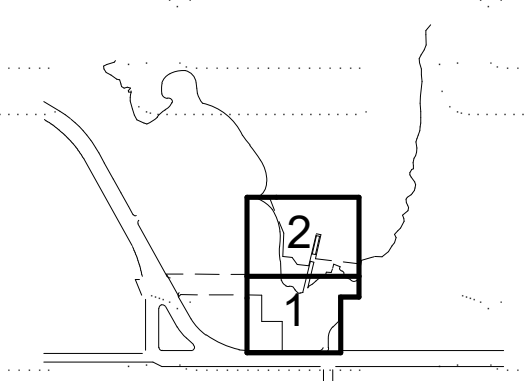
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INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
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PH. 415-259-0422

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KEY PLAN



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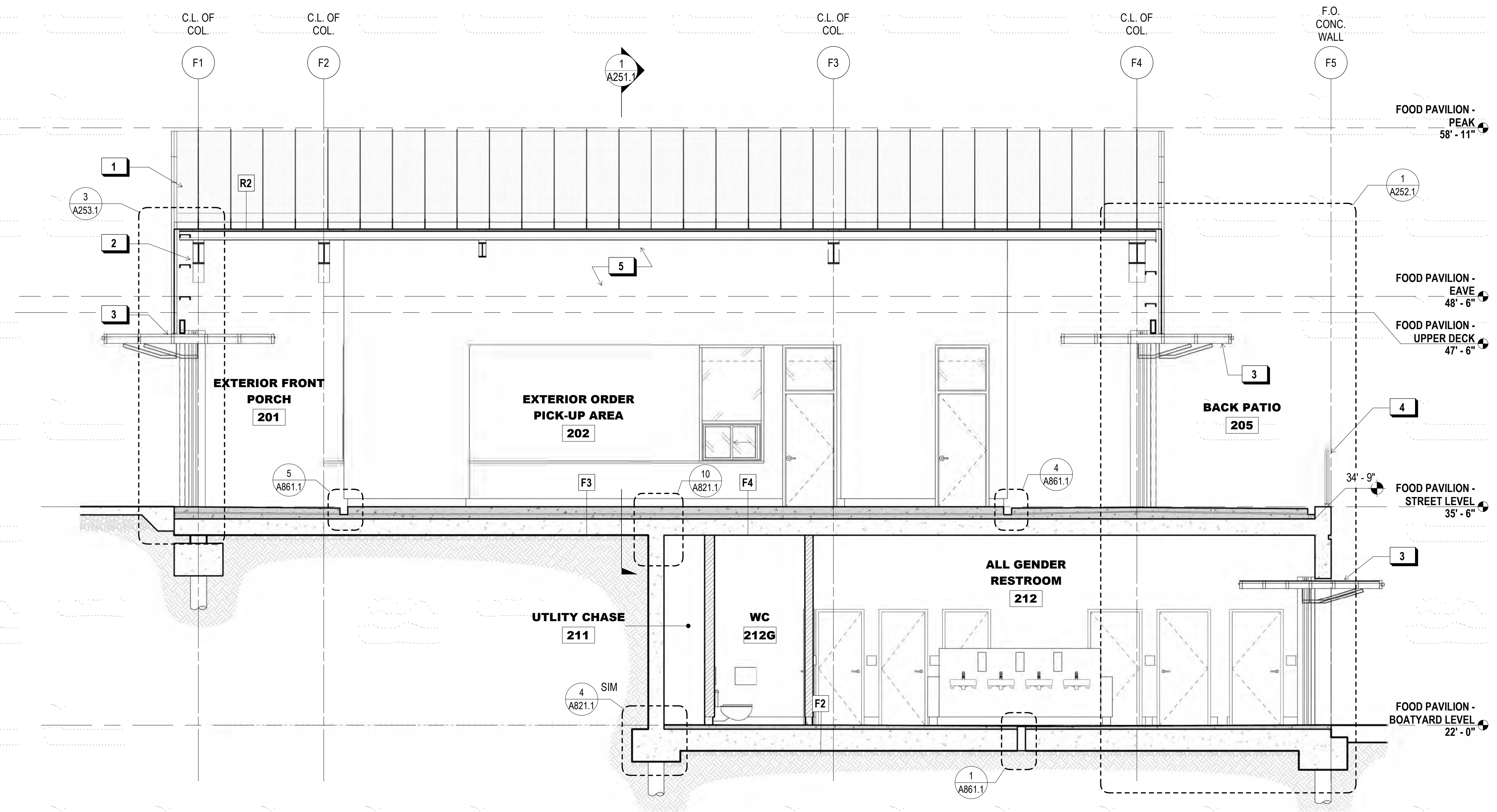
ISSUANCE

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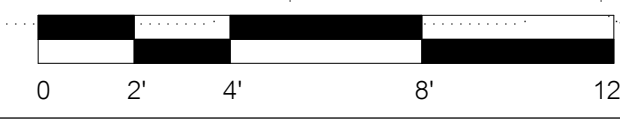
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DATE 7/01/2021	GGN PROJECT # 1608

FOOD PAVILION - SECTION

**A250.1**



**1 E-W SECTION AT FOOD PAVILION**  
1/4" = 1'-0"





**SHEET NOTES:**

1. SEE SHEET A811.1 FOR FLOOR AND ROOF ASSEMBLIES.

**X KEY NOTES:**

- 1 PERF. METAL PANEL, TYP.
- 2 STEEL STRUCT. FRAME- S.S.D.
- 3 PERF. MTL. O.H. DR.
- 4 TALL PARAPET WALL W/ CEMENT BD. FIN. @ MECH. WELL
- 5 DROPPED T-BAR CLG. (T.I. SCOPE)
- 6 TOPPING SLAB (T.I. SCOPE)

**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
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COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

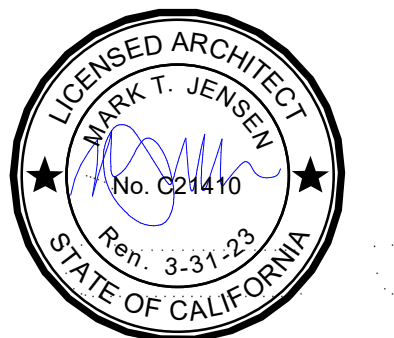
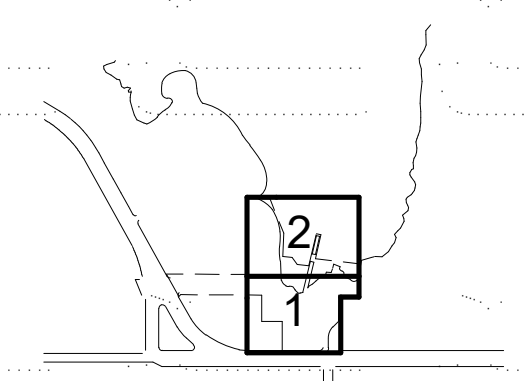
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KEY PLAN



**REVISIONS:**

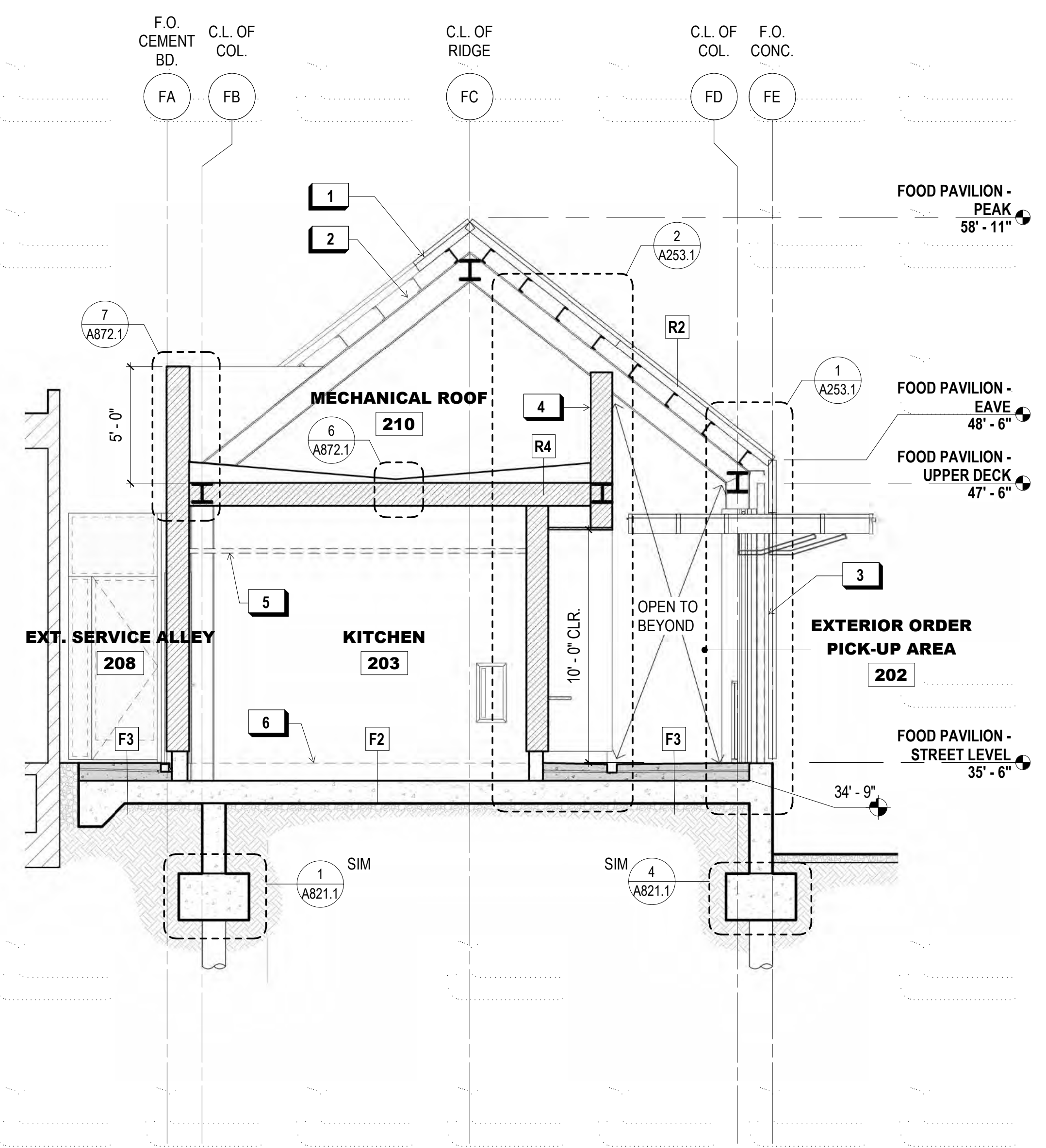
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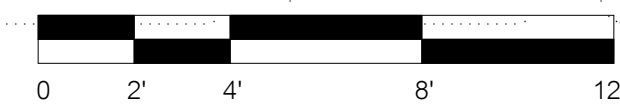
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DATE 7/01/2021	GGN PROJECT # 1608

**FOOD PAVILION - SECTION**



**1 N-S SECTION AT FOOD PAVILION**  
1/4" = 1'-0"



**A251.1**



**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
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PH. 415-831-2700



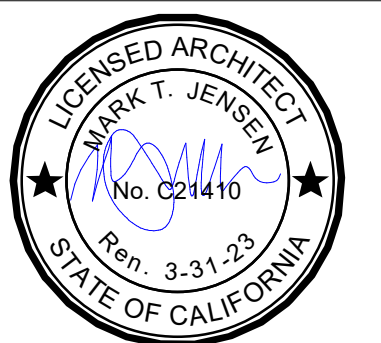
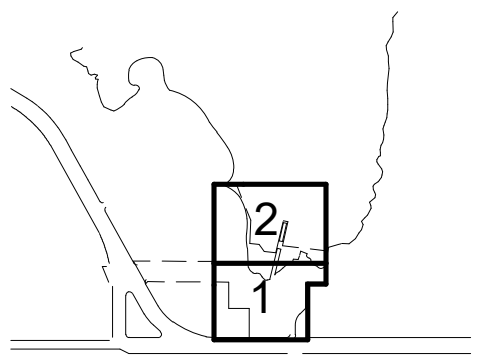
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SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014



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GUSTAFSON GUTHRIE NICHOL  
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CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
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ARCHITECT  
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ECOLOGICAL RESTORATION  
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COASTAL ENGINEER  
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SECURITY CONSULTANT  
ZBETA CONSULTING  
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KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

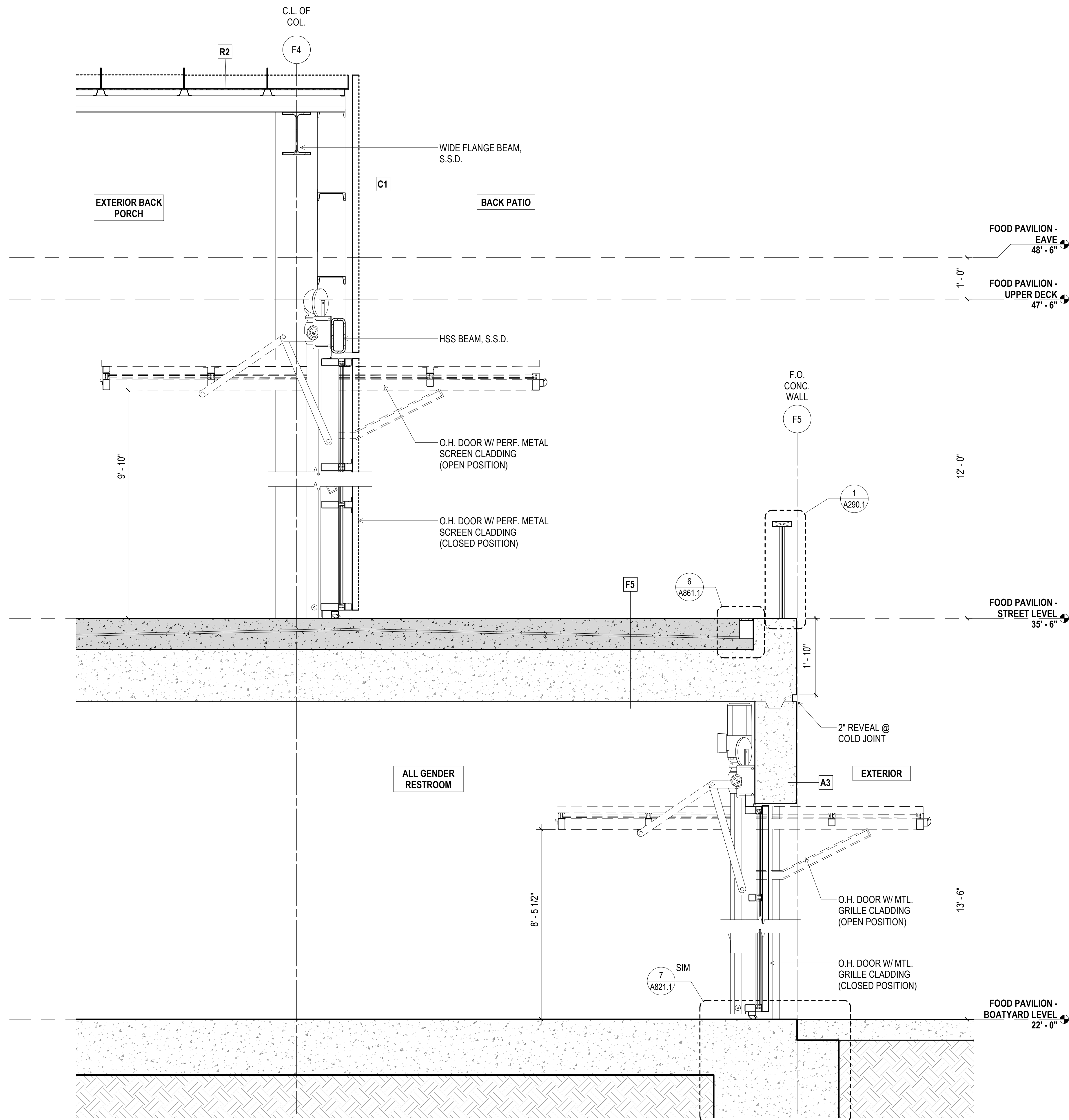
ISSUANCE

**BID SET**

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**FOOD PAVILION - WALL  
SECTIONS**

**A252.1**



**1 WALL SECTION - COL. LINE F4 & F5**  
3/4" = 1'-0"



**900 INNES  
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CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700



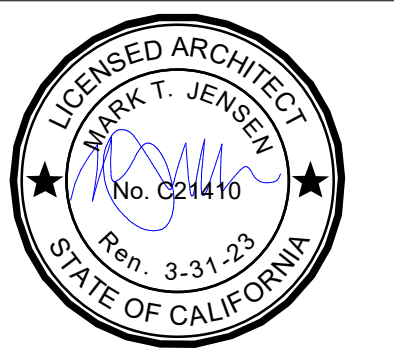
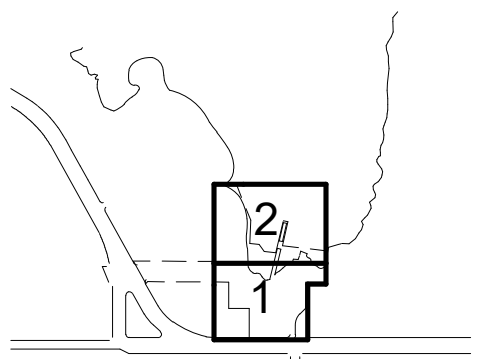
THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014



PRIME CONSULTANT / LANDSCAPE ARCHITECT  
GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802  
CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650  
ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650  
ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820  
STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494  
COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411  
LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232  
MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240  
GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240  
SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

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KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

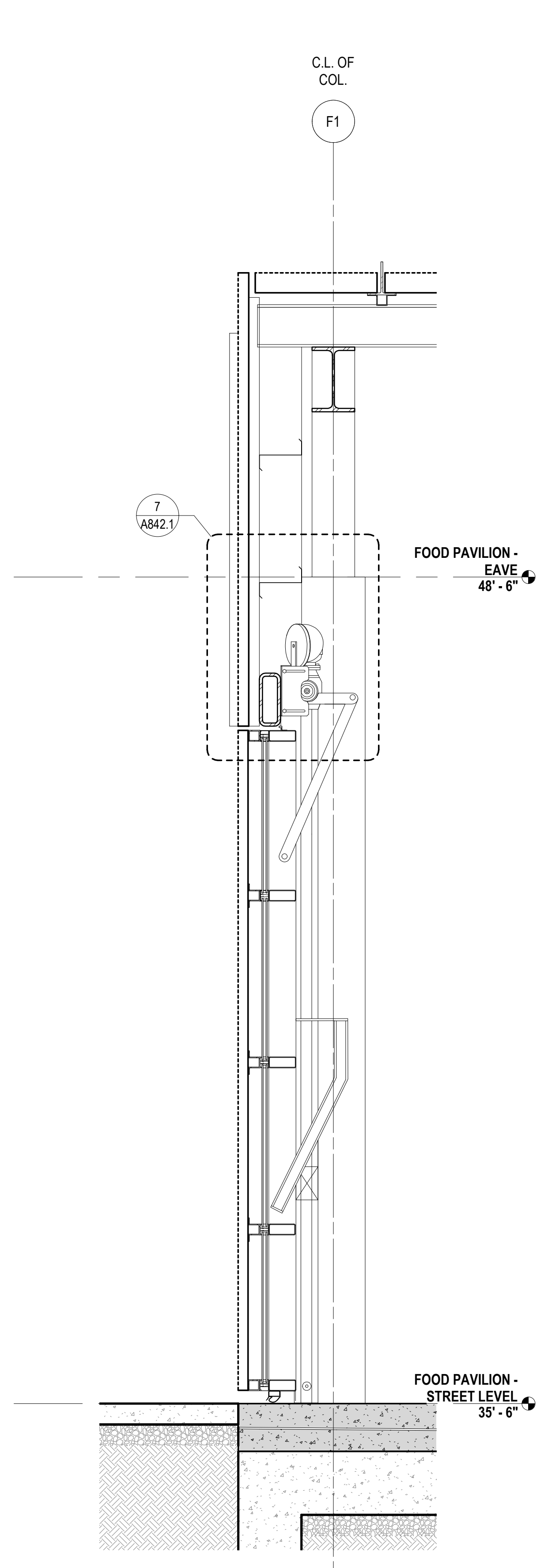
ISSUANCE

BID SET

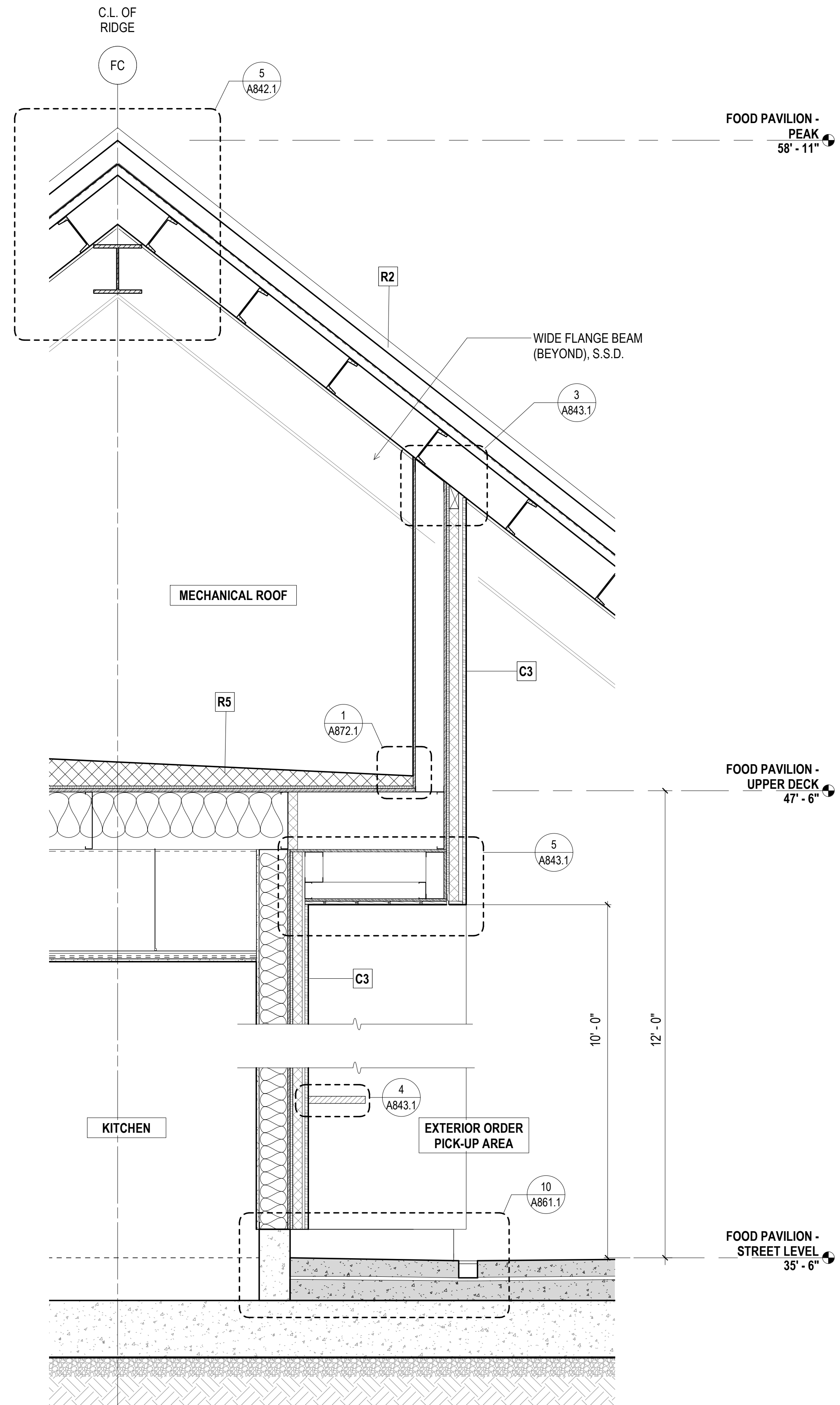
DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**FOOD PAVILION - WALL  
SECTIONS**

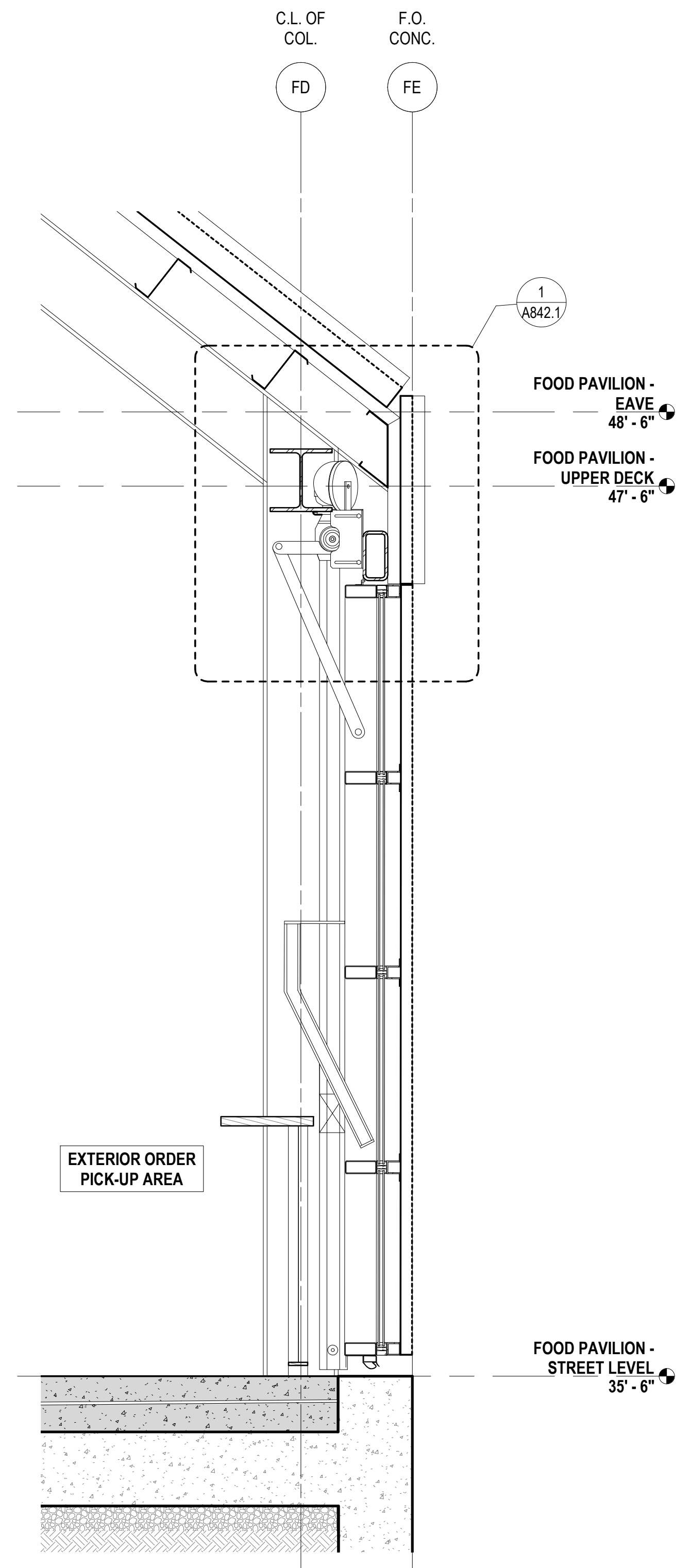
**A253.1**



**3 WALL SECTION - COL. LINE F1**  
3/4" = 1'-0"



**2 WALL SECTION - COL. LINE FC**  
3/4" = 1'-0"



**1 WALL SECTION - COL. LINE FE**  
3/4" = 1'-0"



**SHEET NOTES:**

1. SEE LIGHTING DESIGNER DRAWINGS AND ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT
2. SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE
3. SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

- 1 VERTICAL STRUCTURAL SUPPORT, S.S.D.
- 2 CONG. CURB FOR FRAMED WALL, TYP.
- 3 DATA CONNECTION
- 4 FRP WALL PANELING JOINT
- 5 BUILT-IN MILLWORK (BEYOND)
- 7 SLIDING SERVICE WINDOW, TYP.

**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700



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SHERWOOD DESIGN ENGINEERS  
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PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-866-2232

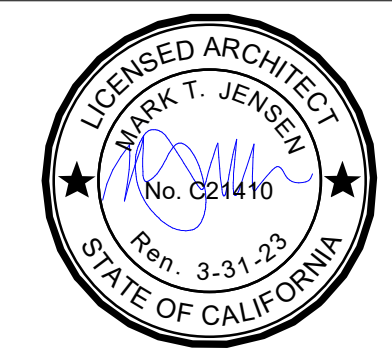
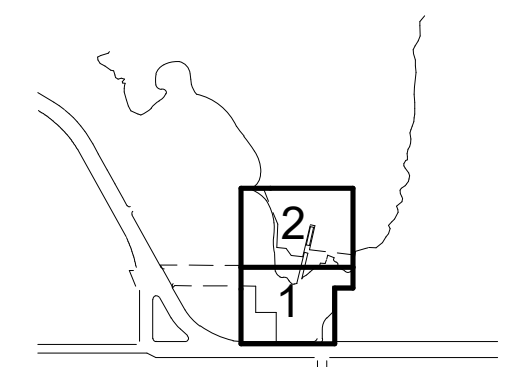
MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
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ZBETA CONSULTING  
PH. 415-259-0422

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KEY PLAN



**REVISIONS:**

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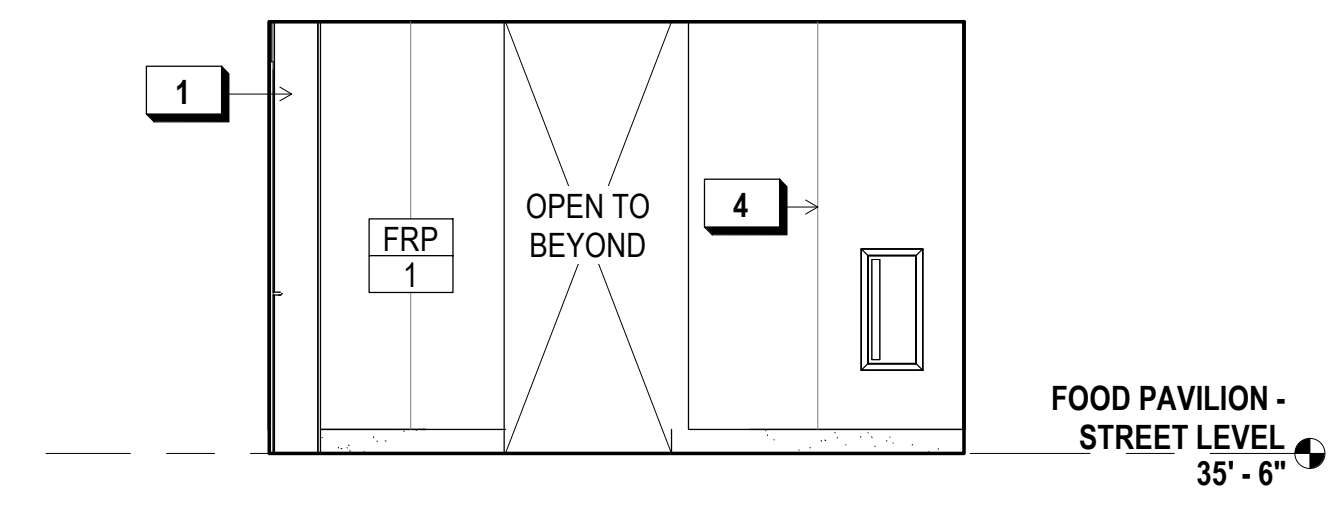
ISSUANCE

BID SET

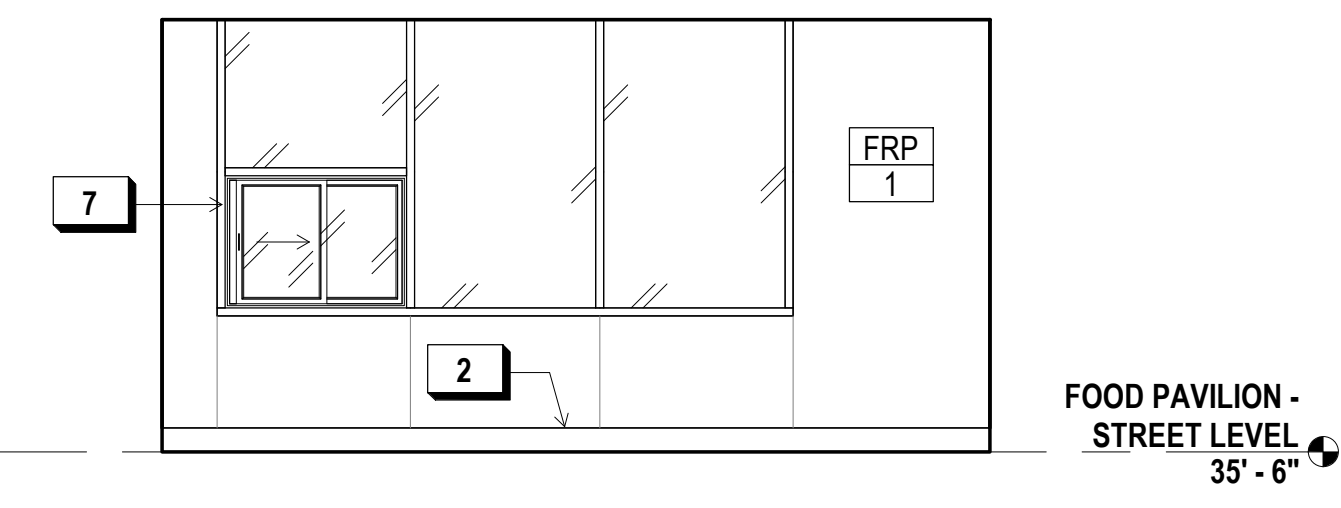
DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

**FOOD PAVILION -  
INTERIOR ELEVATIONS**

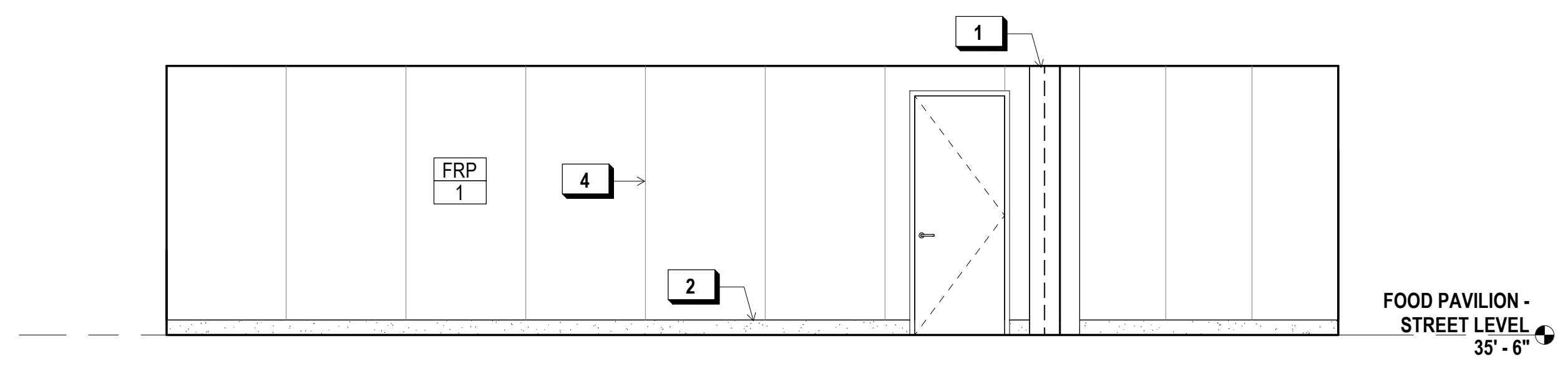
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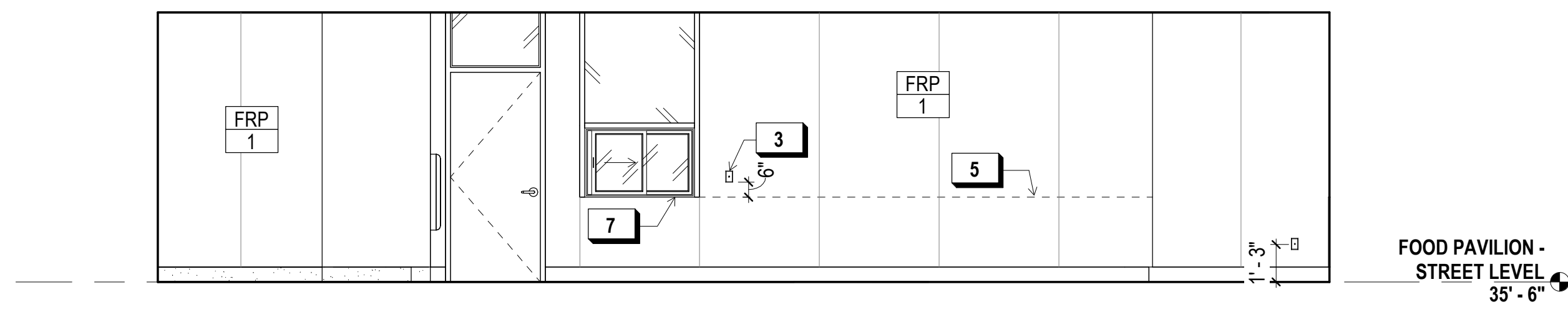
**4 WEST KITCHEN ELEVATION**  
1/4" = 1'-0"



**2 EAST KITCHEN ELEVATION**  
1/4" = 1'-0"



**3 SOUTH KITCHEN ELEVATION**  
1/4" = 1'-0"



**1 NORTH KITCHEN ELEVATION**  
1/4" = 1'-0"



**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
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MOFFATT AND NICHOL  
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LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

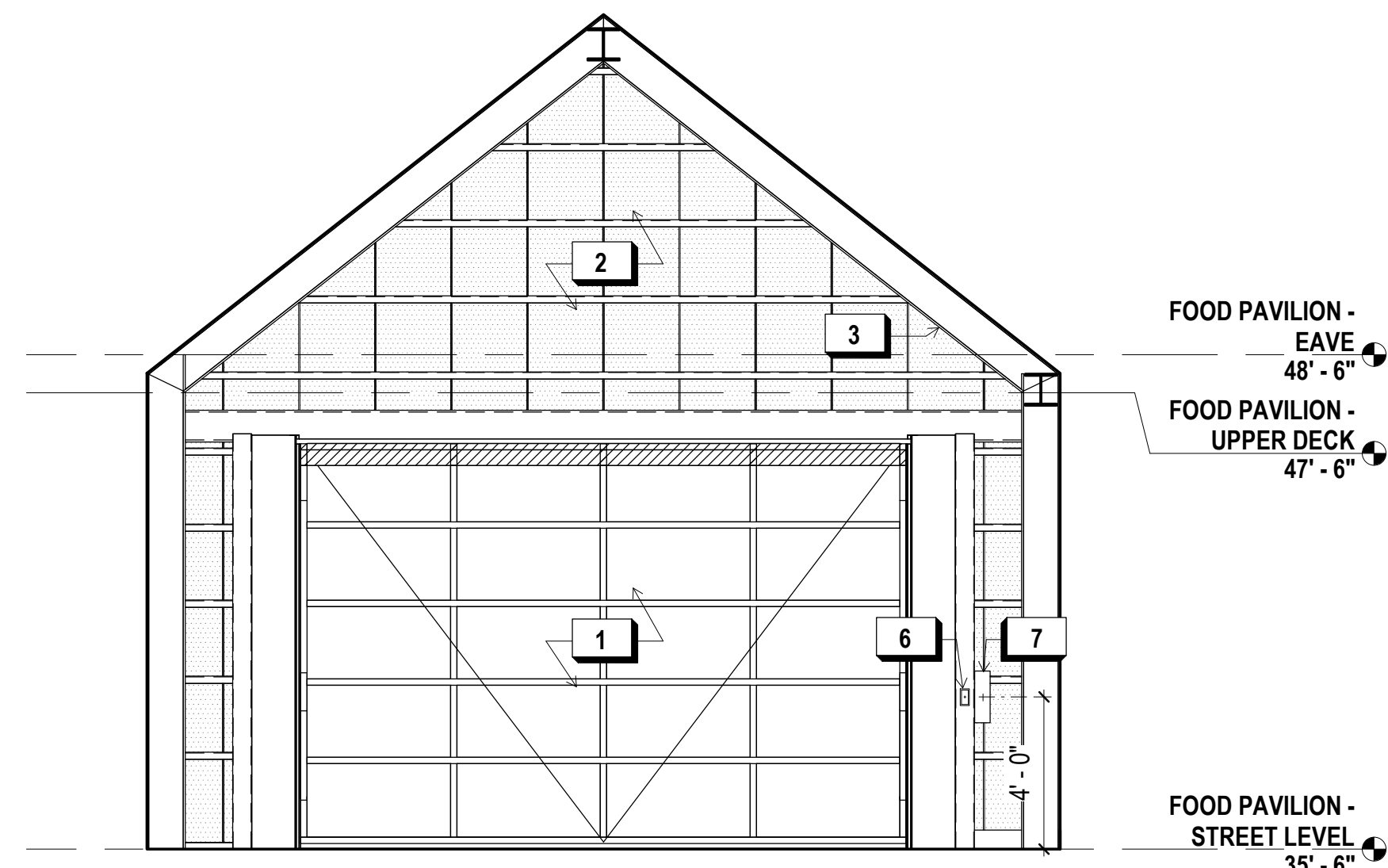
SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

**SHEET NOTES:**

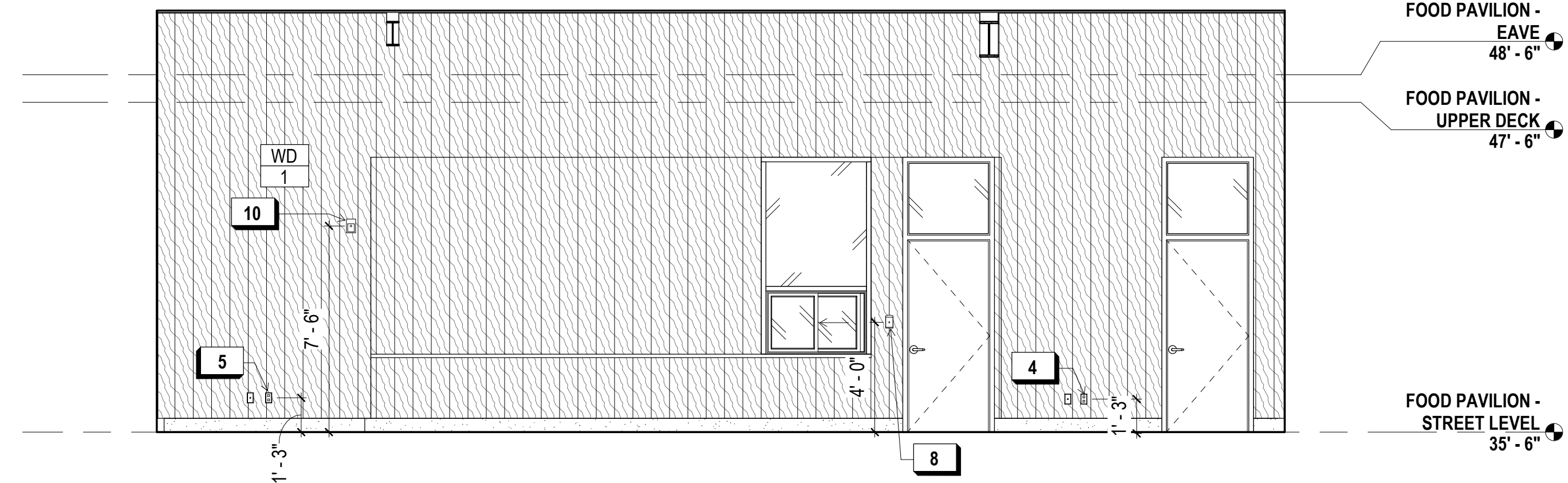
1. SEE LIGHTING DESIGNER DRAWINGS AND ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT
2. SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE
3. SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

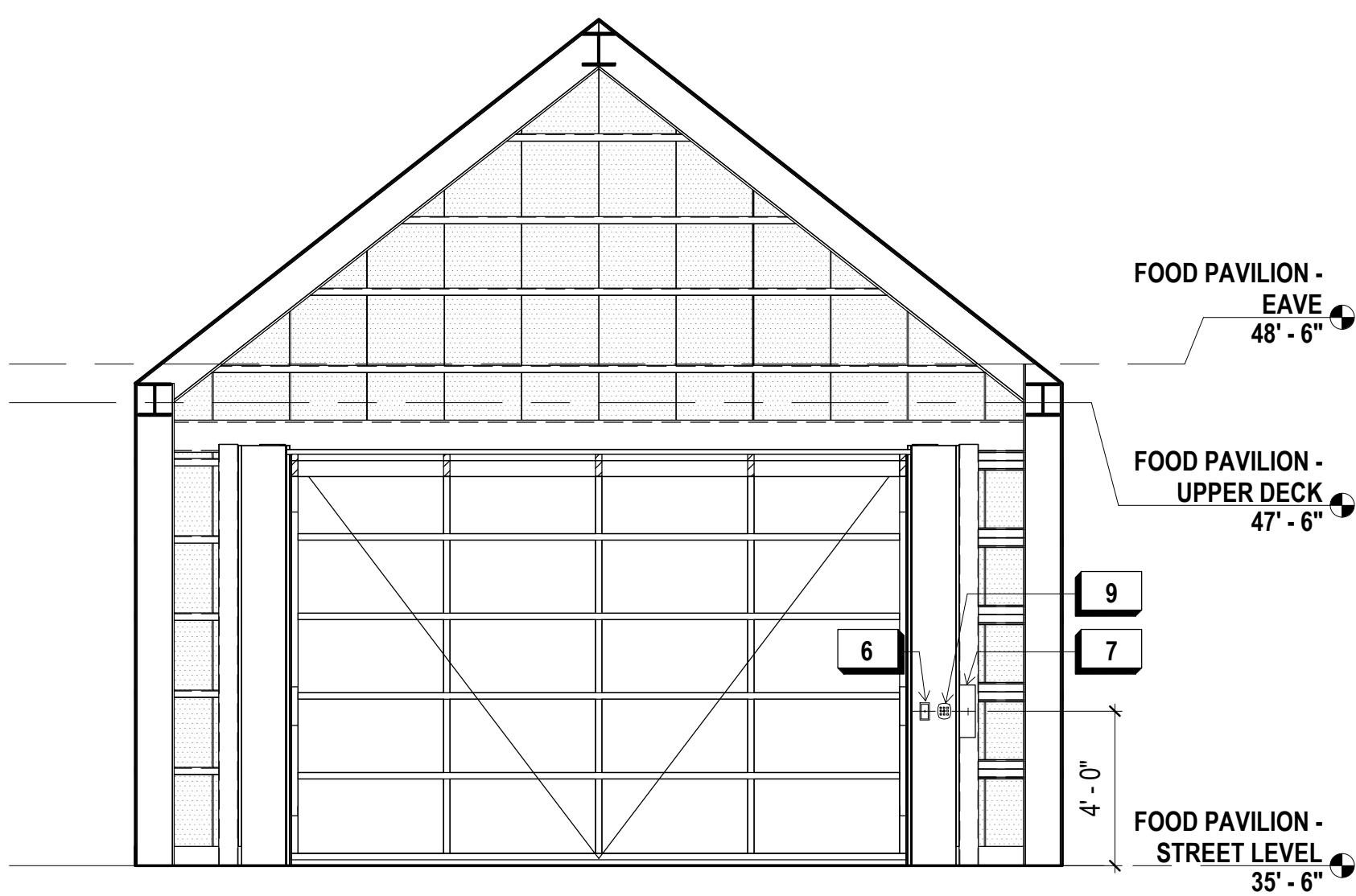
- 1 OVERHEAD DOOR (CLOSED POSITION)
- 2 PERFORATED METAL CLADDING W/ STRUCTURAL FRAMING (BEYOND)
- 3 STEEL STRUCTURAL FRAMING, S.S.D.
- 4 WALL OUTLET
- 5 DATA CONNECTION
- 6 OVERHEAD DOOR CONTROLLER
- 7 OVERHEAD DOOR POWER BOX, S.E.D.
- 8 CARD READER
- 9 ALARM KEYPAD
- 10 MOTION DETECTOR, WALL MTD.



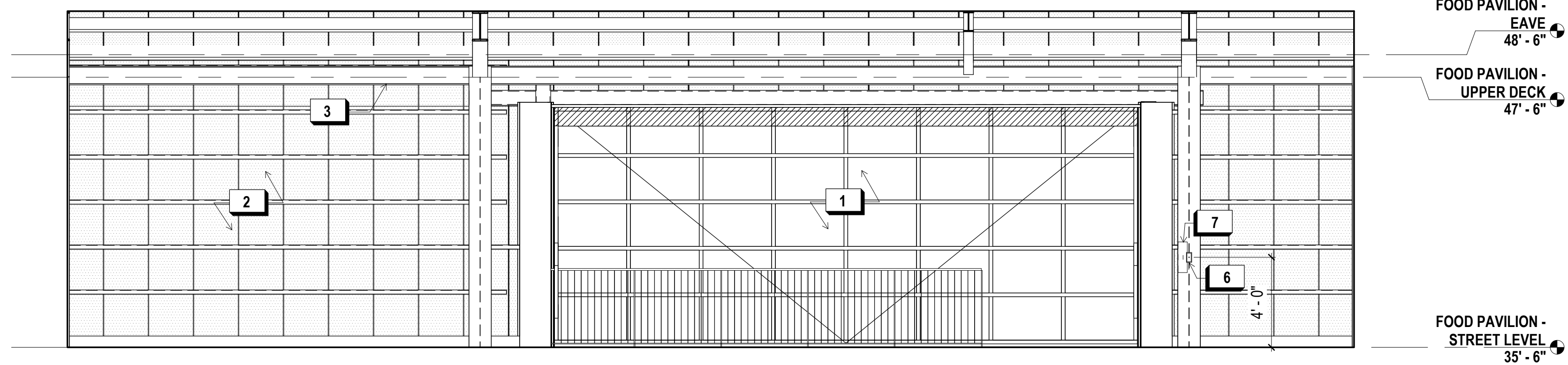
**4 WEST OVERHEAD DOOR ELEVATION**  
1/4" = 1'-0"



**2 FP STREET LEVEL SOUTH INTERIOR ELEVATION**  
1/4" = 1'-0"



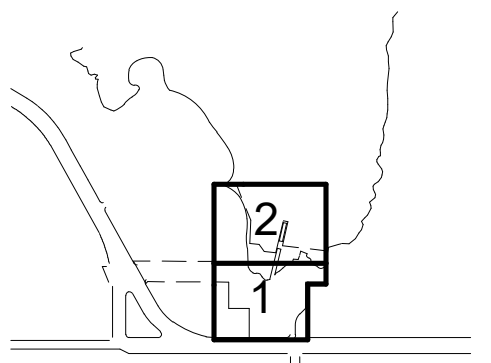
**3 EAST OVERHEAD DOOR ELEVATION**  
1/4" = 1'-0"



**1 NORTH OVERHEAD DOOR ELEVATION**  
1/4" = 1'-0"

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KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

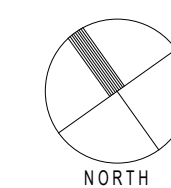
ISSUANCE

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DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

**FOOD PAVILION -  
INTERIOR ELEVATIONS**

**A261.1**





**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700



THE TRUST FOR PUBLIC LAND  
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PH. 415-495-4014



PRIME CONSULTANT / LANDSCAPE ARCHITECT  
GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650

ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650

ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820

STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

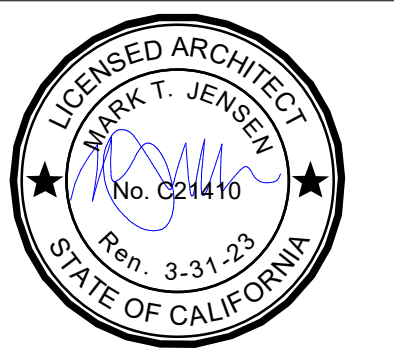
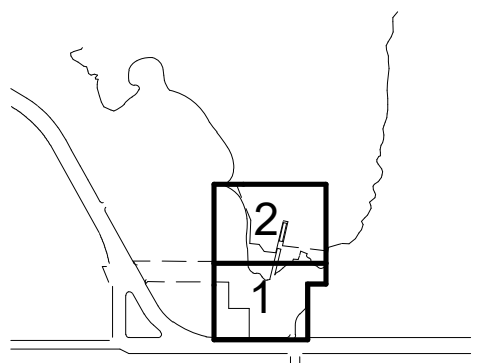
MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

FOR OFFICIAL USE

KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

ISSUANCE

**BID SET**

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**INNES PERGOLA  
DRAWINGS**

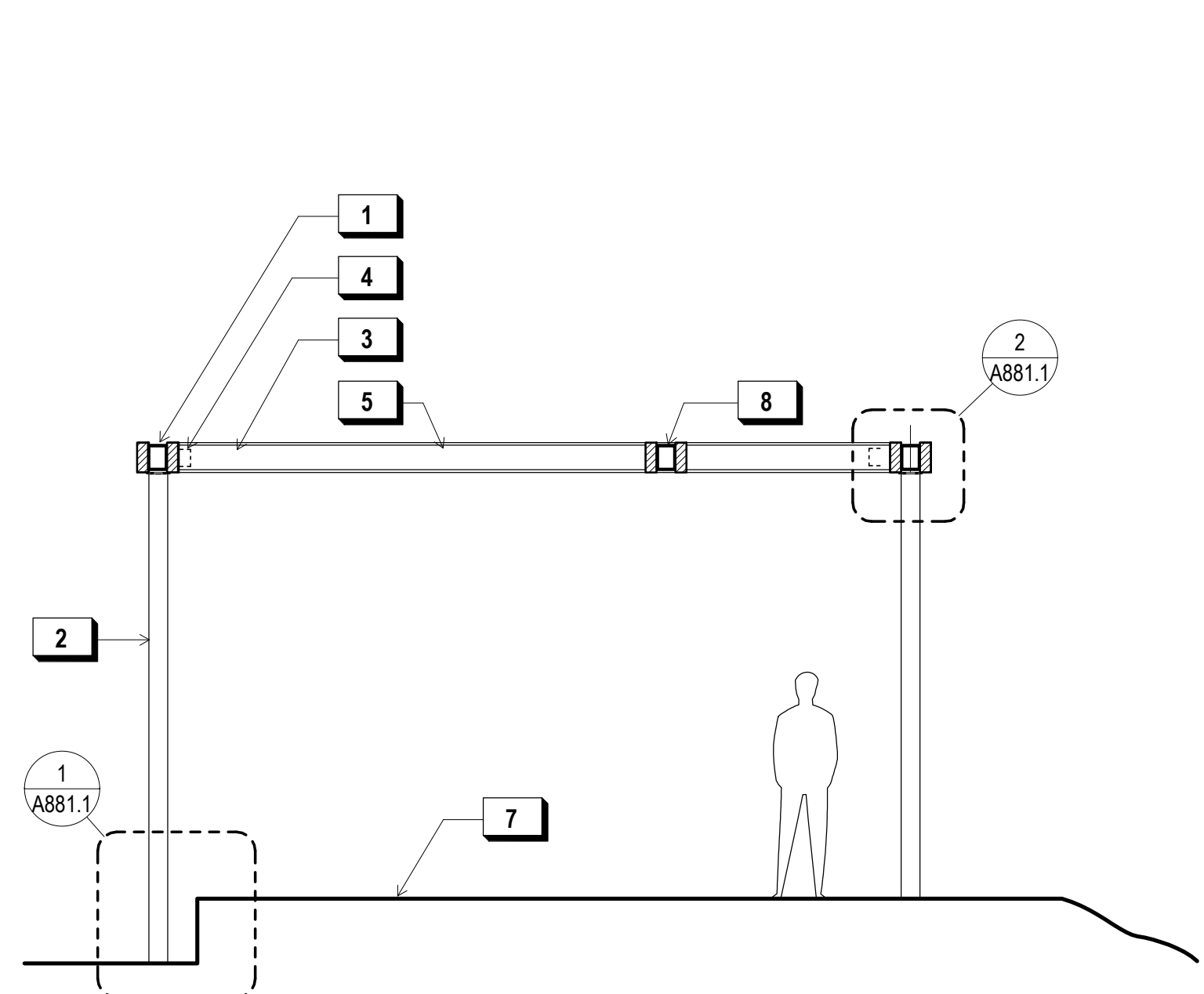
**A270.1**

**SHEET NOTES:**

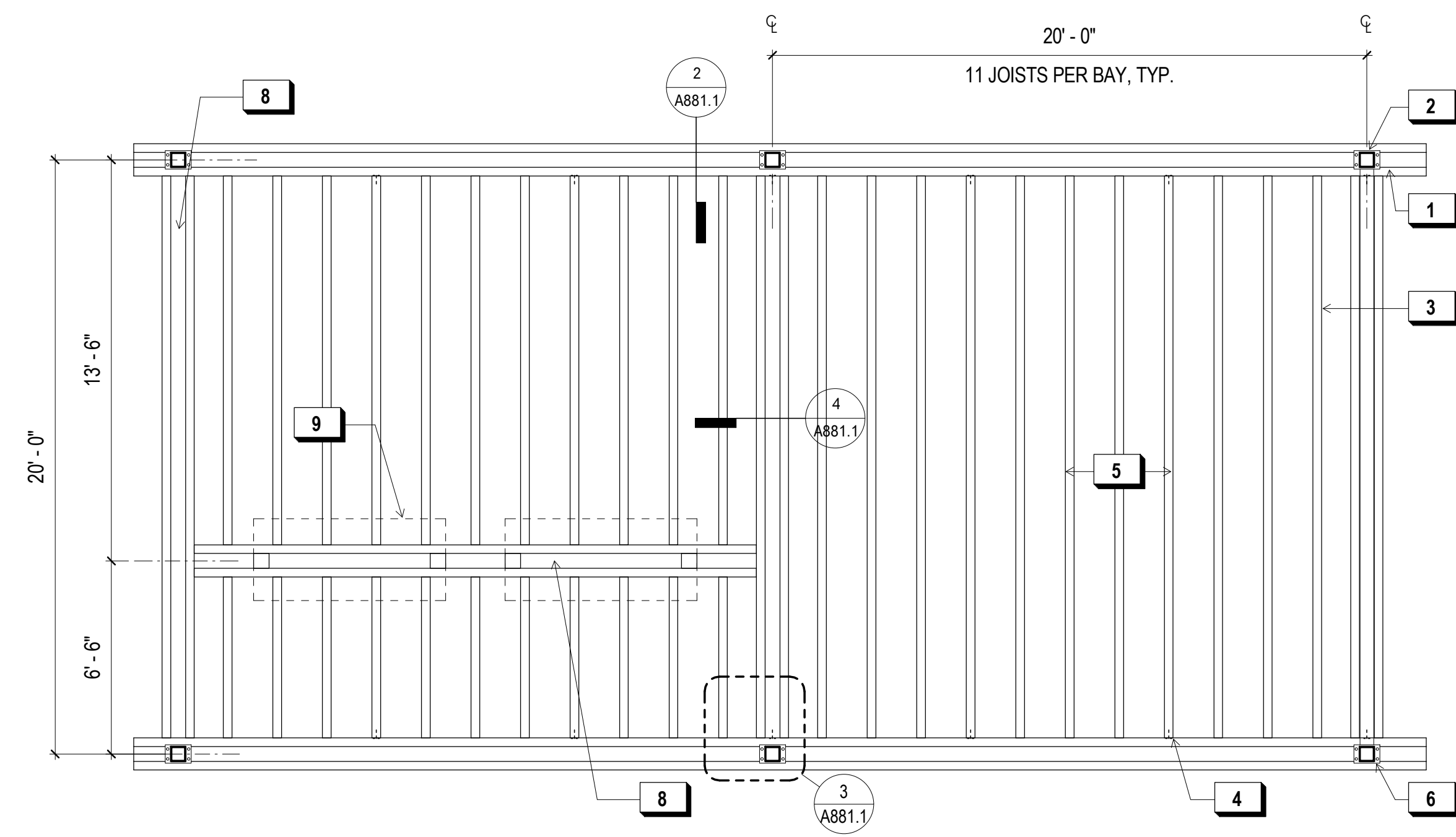
- S.L.D. FOR FLR. FIN. AND LANDSCAPE DETAILS
- S.S.D. FOR STRCUT. DETAILS
- ALL EXTERIOR STEEL IS TO BE GALVANIZED AND PAINTED, PER SPECIFICATIONS

**X KEY NOTES:**

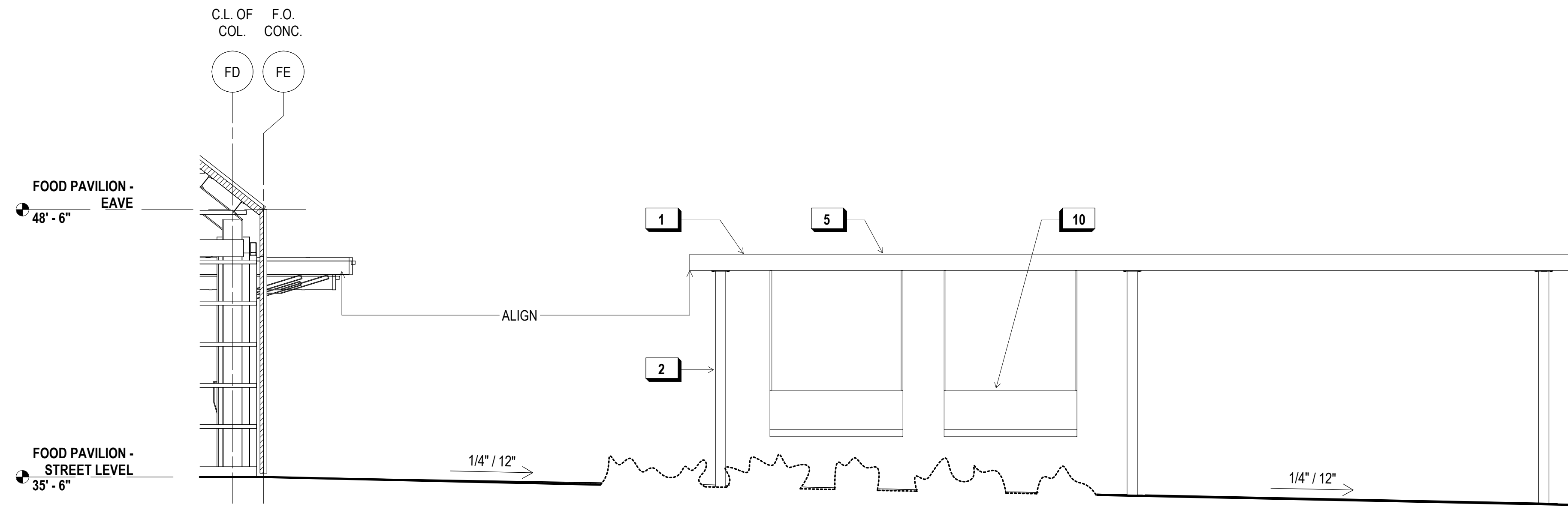
- WESTERN RED CEDAR BEAM, (GRADE C CLR., CLR. SEAL), S.S.D.
- HSS COL., PTD., S.S.D.
- WESTERN RED CEDAR JOISTS, (GRADE C CLR., CLR. SEAL), S.S.D.
- CONCEALED JOIST HANGER, TYP., S.S.D.
- BIRD DETTERENT ELECTRIFIED SHOCK TRACK @ TOP SIDE SURFACE OF ALL MEMBERS, TYP.
- FASTENING PL., TYP., S.S.D.
- WD. DECKING, S.L.D.
- COMPOSITE HSS (PTD.) & WESTERN RED CEDAR BEAM (GRADE C CLR., CLR. SEAL), S.S.D.
- LINE OF SWING BELOW, SEE LANDSCAPE SPECS.
- LANDSCAPE SWING, CUSTIM BY MFR., SEE LANDSCAPE FOR DETAILS AND SPECS.



**3 PERGOLA EAST ELEVATION**  
1/4" = 1'-0"



**2 PERGOLA REFLECTED CEILING PLAN**  
1/4" = 1'-0"



**1 PERGOLA SOUTH ELEVATION**  
1/4" = 1'-0"



**PLUMBING FIXTURE / ACCESSORIES LEGEND**

TAG	MANUFACTURER	MODEL	DESCRIPTION
LAV-1	AMERICAN STANDARD	DECORUM 9134001EC	WALL HUNG SINK
LAV-2	AMERICAN STANDARD	WHEELCHAIR USERS 9141	WALL HUNG SINK
LAV-3	AMERICAN STANDARD	OVALYN 0495	UNDERCOUNTER SINK
WC-1	AMERICAN STANDARD	AFWALL MILLENNIUM FLOWISE ELONGATED FLUSHOMETER	WALL HUNG TOILET
WC-2	AMERICAN STANDARD	MADERA FLOWISE FLUSHOMETER	FLOOR MOUNTED TOILET
SP-1	GEORGIA PACIFIC	GP MANUAL 53053	MANUAL SOAP DISPENSER
TA-1	XLERATOR	XL - BW - VOLTAGE	RECESSED HAND DRYER
TA-2	THINAIR	TA-SB	WALL MOUNTED HAND DRYER
SK-1	AMERICAN STANDARD	LAKEWELL SERVICE SINK - 7692	SERVICE MOP LINK
SF-1	CHICAGO FAUCETS	807-E12-665PAB	SINGLE-INLET METERING FAUCET
SF-2	CHICAGO FAUCETS	1100-GNAE35-369AB	MANUAL SINK FAUCET

CT-1	KOALA KARE	KB112-01RE	RECESSED MTD. CHANGING TABLE
CT-2	KOALA KARE	KB110-SSWM	WALL MTD. CHANGING TABLE
GB-1	BOBRICK	B-6806	STAINLESS STL. GRAB BARS
TP-1	BOBRICK	B-2840	TOILET PAPER HOLDER
TSC-1	BOBRICK	B-221	TOILET SEAT COVER DISPENSER

**SHEET NOTES:**

- SEE DETAIL 1/A032.1 FOR TYP. ACCESSIBLE DOOR THRESHOLD AND LEVER REQUIREMENTS
- SEE DETAIL 1/A033.1 FOR TYP. ACCESSIBLE DOOR CLEARANCE REQUIREMENTS
- SEE 3A AND 3B/A032.1 FOR TYP. RESTROOM DR. SIGNAGE DETAILS
- PROVIDE SHT. MTL. PL. O/ BLK. IN WALL BEHIND GRAB BARS & WALL-MTD. FIXT., TYP. @ RESTROOMS
- SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

- TRASH BIN
- WALL MOUNTED SOAP DISPENSER
- SURFACE-MTD. HAND DRYER
- 30"x48" ACCESSIBLE CLR. FLR. SPACE
- DOOR SIGNAGE

**900 INNES PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700

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PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

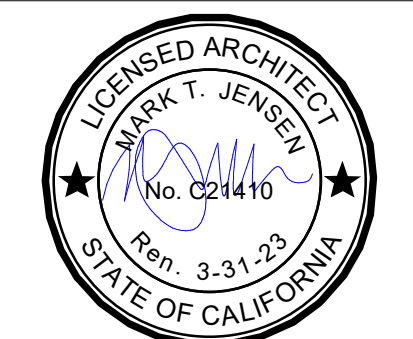
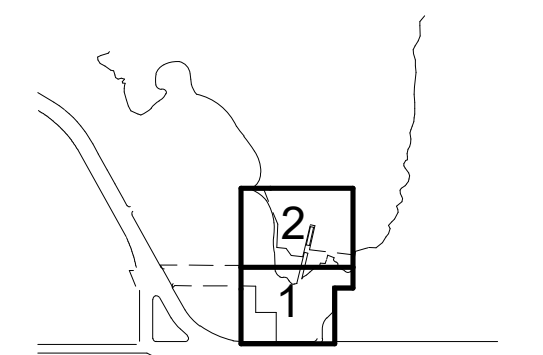
MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
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PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
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FOR OFFICIAL USE

KEY PLAN



**REVISIONS:**

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01	12/18/2020	PERMIT SUBMITTAL

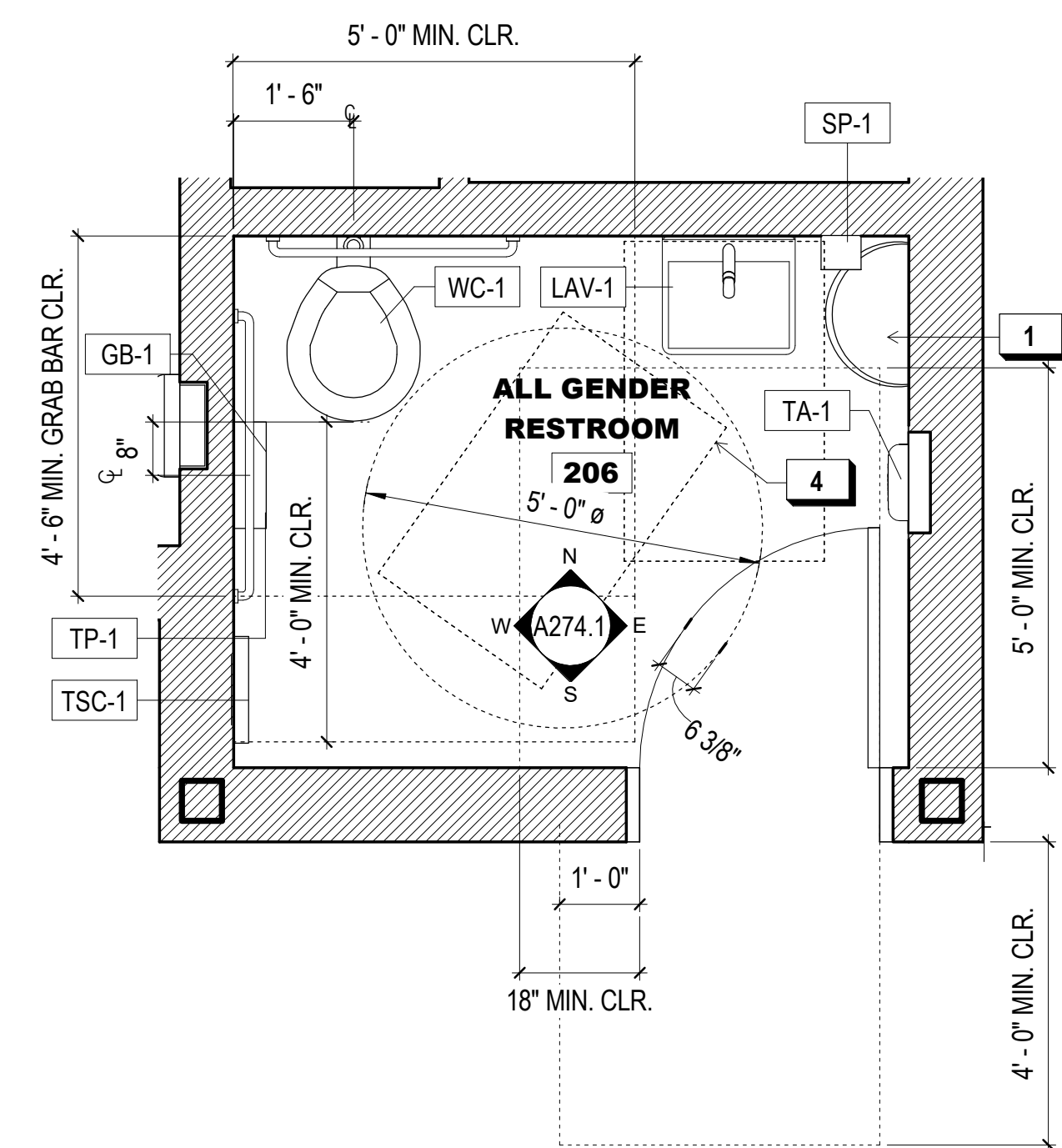
ISSUANCE

BID SET

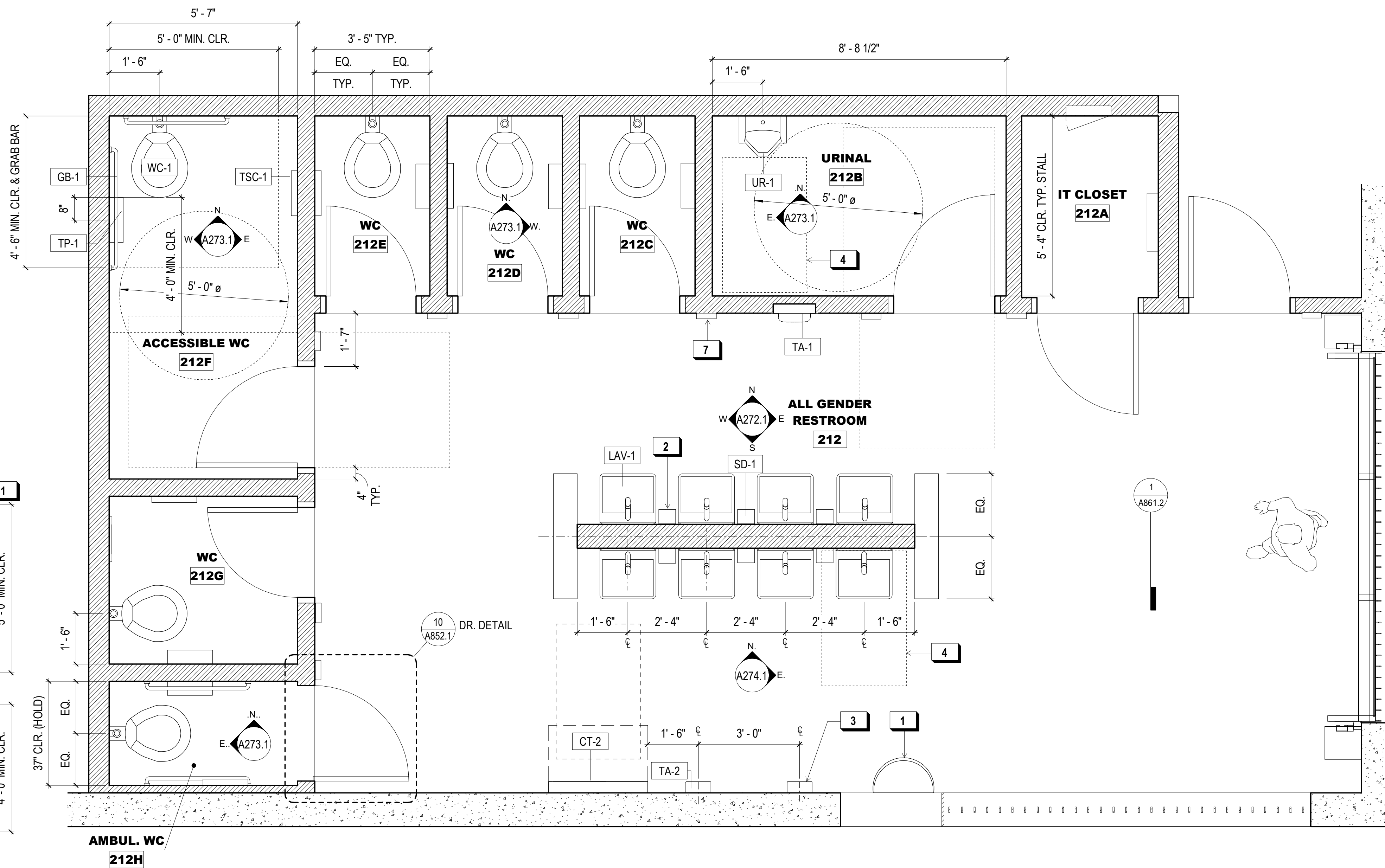
DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

FOOD PAVILION - ENLARGED PLANS

**A271.1**



**2 ALL GENDER WC 206 PLAN**  
1/2" = 1'-0"



**1 ALL GENDER RESTROOM 212 PLAN**  
1/2" = 1'-0"



**PLUMBING FIXTURE / ACCESSORIES LEGEND**

TAG	MANUFACTURER	MODEL	DESCRIPTION
LAV-1	AMERICAN STANDARD	DECORUM 9134001EC	WALL HUNG SINK
LAV-2	AMERICAN STANDARD	WHEELCHAIR USERS 9141	WALL HUNG SINK
LAV-3	AMERICAN STANDARD	OVALYN 0495	UNDERCOUNTER SINK
WC-1	AMERICAN STANDARD	AFWALL MILLENNIUM FLOWISE ELONGATED FLUSHOMETER	WALL HUNG TOILET
WC-2	AMERICAN STANDARD	MADERA FLOWISE FLUSHOMETER	FLOOR MOUNTED TOILET
SP-1	GEORGIA PACIFIC	GP MANUAL 53053	MANUAL SOAP DISPENSER
TA-1	XLERATOR	XL - BW - VOLTAGE	RECESSED HAND DRYER
TA-2	THINAIR	TA-SB	WALL MOUNTED HAND DRYER
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TP-1	BOBRICK	B-2840	TOILET PAPER HOLDER
TSC-1	BOBRICK	B-221	TOILET SEAT COVER DISPENSER

**SHEET NOTES:**

- SEE DETAIL 1/A032.1 FOR TYP. ACCESSIBLE DOOR THRESHOLD AND LEVER REQUIREMENTS
- SEE DETAIL 1/A033.1 FOR TYP. ACCESSIBLE DOOR CLEARANCE REQUIREMENTS
- SEE 3A AND 3B/A032.1 FOR TYP. RESTROOM DR. SIGNAGE DETAILS
- PROVIDE SHT. MTL. PL. O/ BLK. IN WALL BEHIND GRAB BARS & WALL-MTD. FIXT., TYP. @ RESTROOMS
- SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

- |   |                     |
|---|---------------------|
| 1 | DOOR SIGNAGE        |
| 2 | TRASH BIN           |
| 3 | WALL OUTLET         |
| 4 | ALARM KEYPAD        |
| 5 | CONCRETE CURB, TYP. |
| 6 | DOOR SIGNAGE        |
| 7 | TRASH BIN           |
| 8 | CARD READER         |

**900 INNES PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
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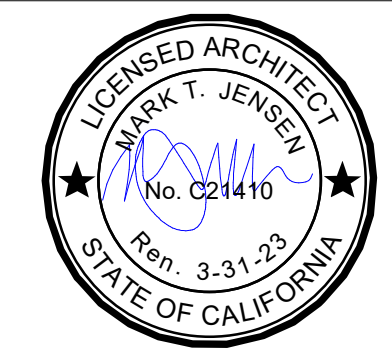
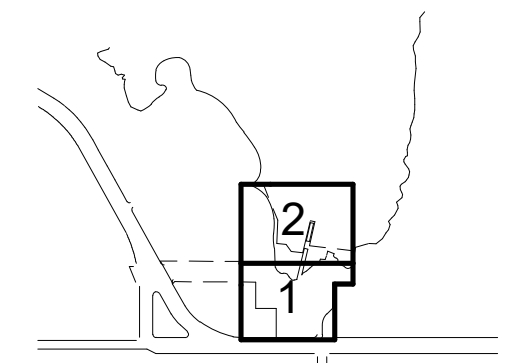
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NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

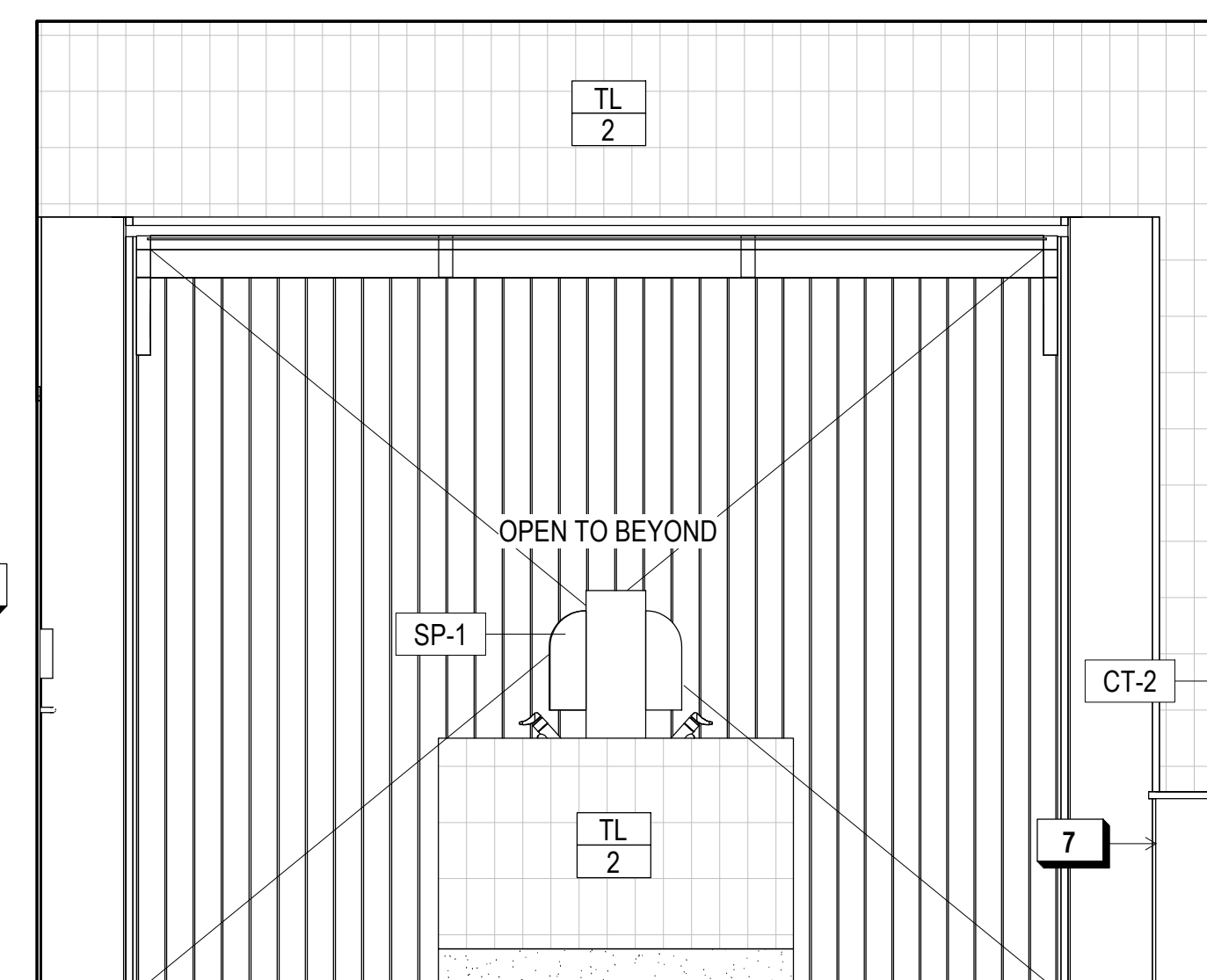
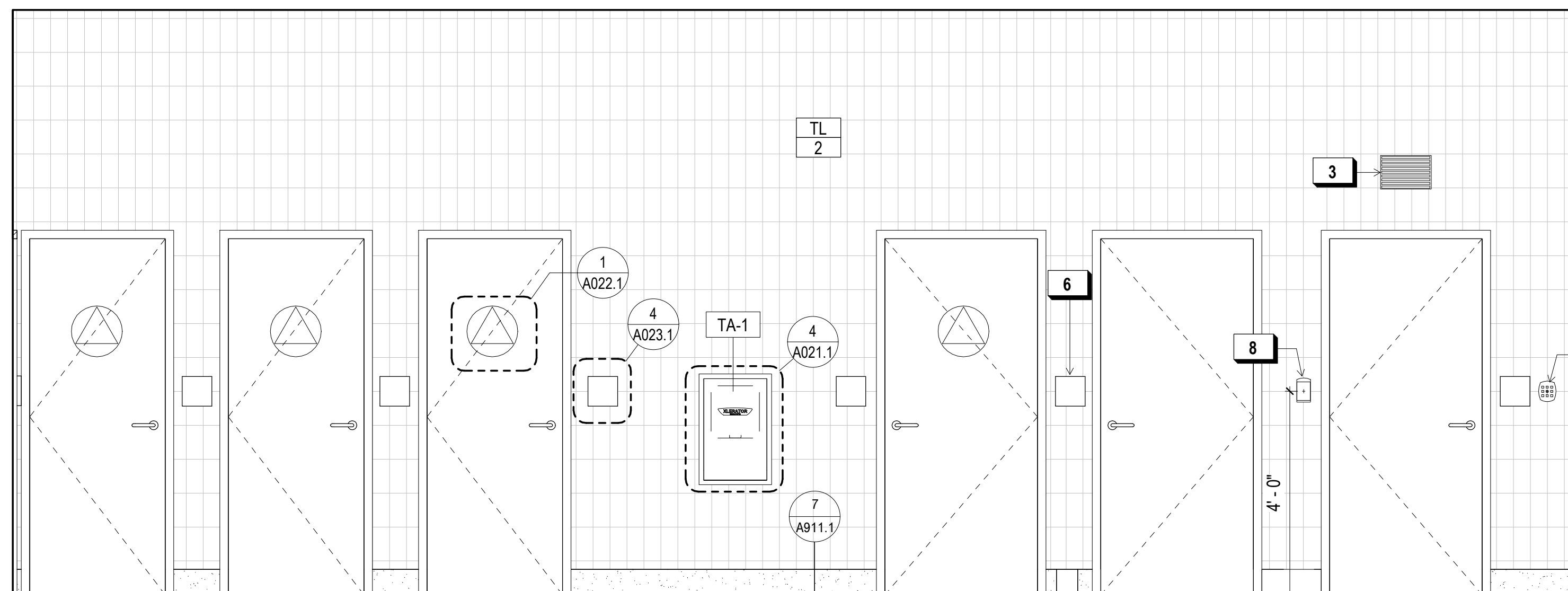
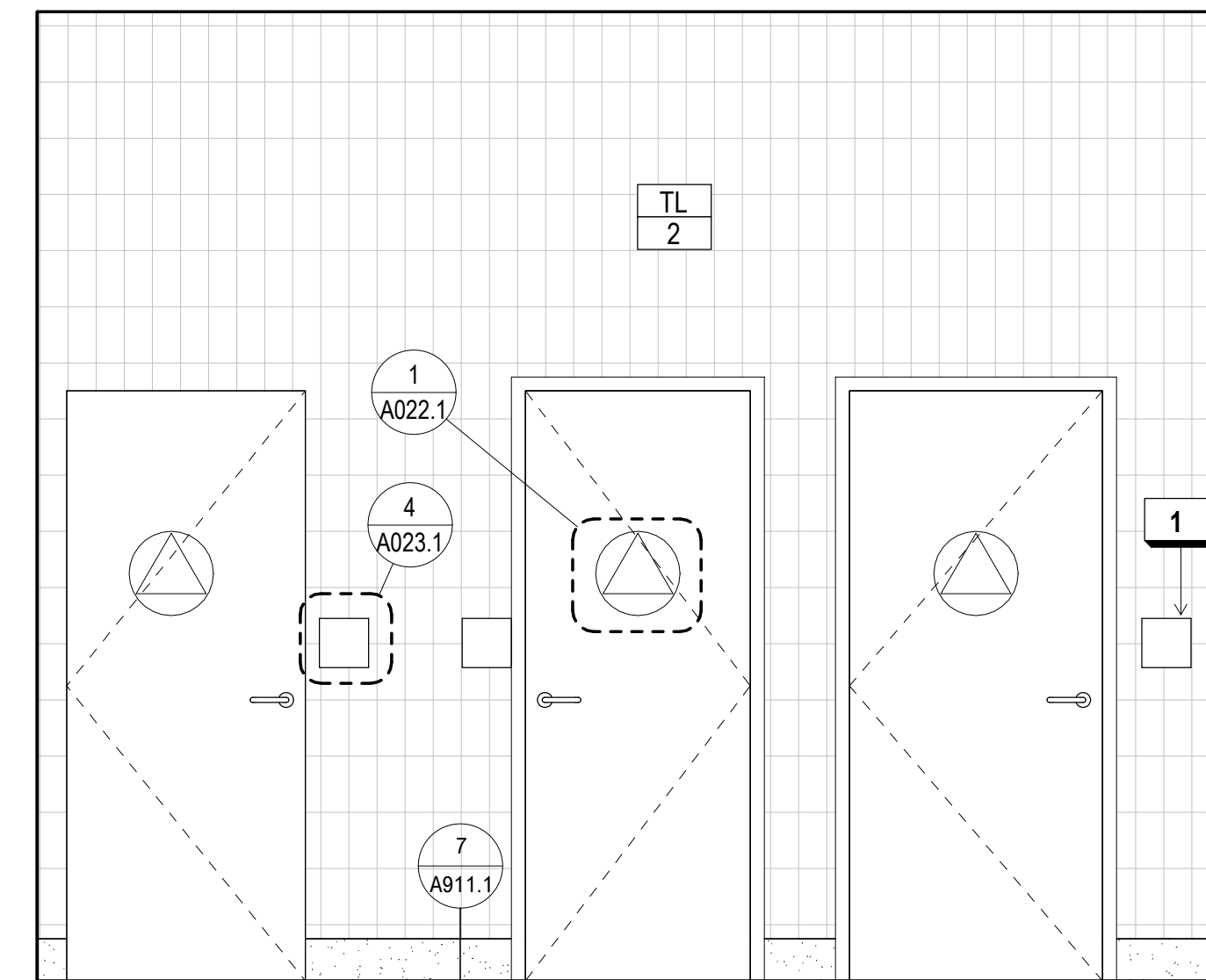
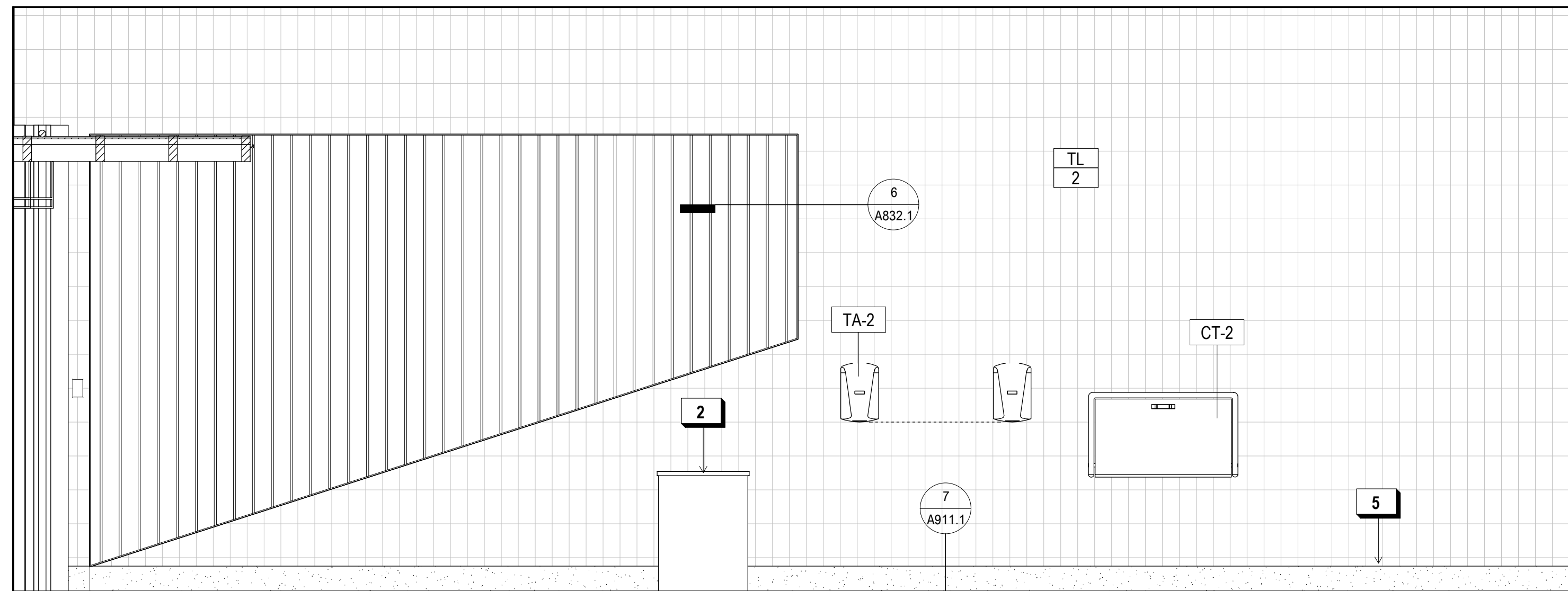
ISSUANCE

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DATE	7/01/2021	GGN PROJECT #	1608

FOOD PAVILION - ENLARGED EL.

**A272.1**



**1 ALL GENDER RESTROOM 431 PLAN**  
1/2" = 1'-0"



**PLUMBING FIXTURE / ACCESSORIES LEGEND**

TAG	MANUFACTURER	MODEL	DESCRIPTION
LAV-1	AMERICAN STANDARD	DECORUM 9134001EC	WALL HUNG SINK
LAV-2	AMERICAN STANDARD	WHEELCHAIR USERS 9141	WALL HUNG SINK
LAV-3	AMERICAN STANDARD	OVALYN 0495	UNDERCOUNTER SINK
WC-1	AMERICAN STANDARD	AFWALL MILLENNIUM FLOWISE ELONGATED FLUSHOMETER	WALL HUNG TOILET
WC-2	AMERICAN STANDARD	MADERA FLOWISE FLUSHOMETER	FLOOR MOUNTED TOILET
SP-1	GEORGIA PACIFIC	GP MANUAL 53053	MANUAL SOAP DISPENSER
TA-1	XLERATOR	XL - BW - VOLTAGE	RECESSED HAND DRYER
TA-2	THINAIR	TA-SB	WALL MOUNTED HAND DRYER
SK-1	AMERICAN STANDARD	LAKEWELL SERVICE SINK - 7692	SERVICE MOP LINK
SF-1	CHICAGO FAUCETS	807-E12-665PAB	SINGLE-INLET METERING FAUCET
SF-2	CHICAGO FAUCETS	1100-GNAE35-369AB	MANUAL SINK FAUCET

CT-1	KOALA KARE	KB112-01RE	RECESSED MTD. CHANGING TABLE
CT-2	KOALA KARE	KB110-SSWM	WALL MTD. CHANGING TABLE
GB-1	BOBRICK	B-6806	STAINLESS STL. GRAB BARS
TP-1	BOBRICK	B-2840	TOILET PAPER HOLDER
TSC-1	BOBRICK	B-221	TOILET SEAT COVER DISPENSER

**SHEET NOTES:**

- SEE DETAIL 1/A032.1 FOR TYP. ACCESSIBLE DOOR THRESHOLD AND LEVER REQUIREMENTS
- SEE DETAIL 1/A033.1 FOR TYP. ACCESSIBLE DOOR CLEARANCE REQUIREMENTS
- SEE 3A AND 3B/A032.1 FOR TYP. RESTROOM DR. SIGNAGE DETAILS
- PROVIDE SHT. MTL. PL. O/ BLK. IN WALL BEHIND GRAB BARS & WALL-MTD. FIXT., TYP. @ RESTROOMS
- SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

- CONC. CURB FOR FRAMED WALL, TYP.

**900 INNES PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700

THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014

PRIME CONSULTANT / LANDSCAPE ARCHITECT  
GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650

ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650  
ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820

STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

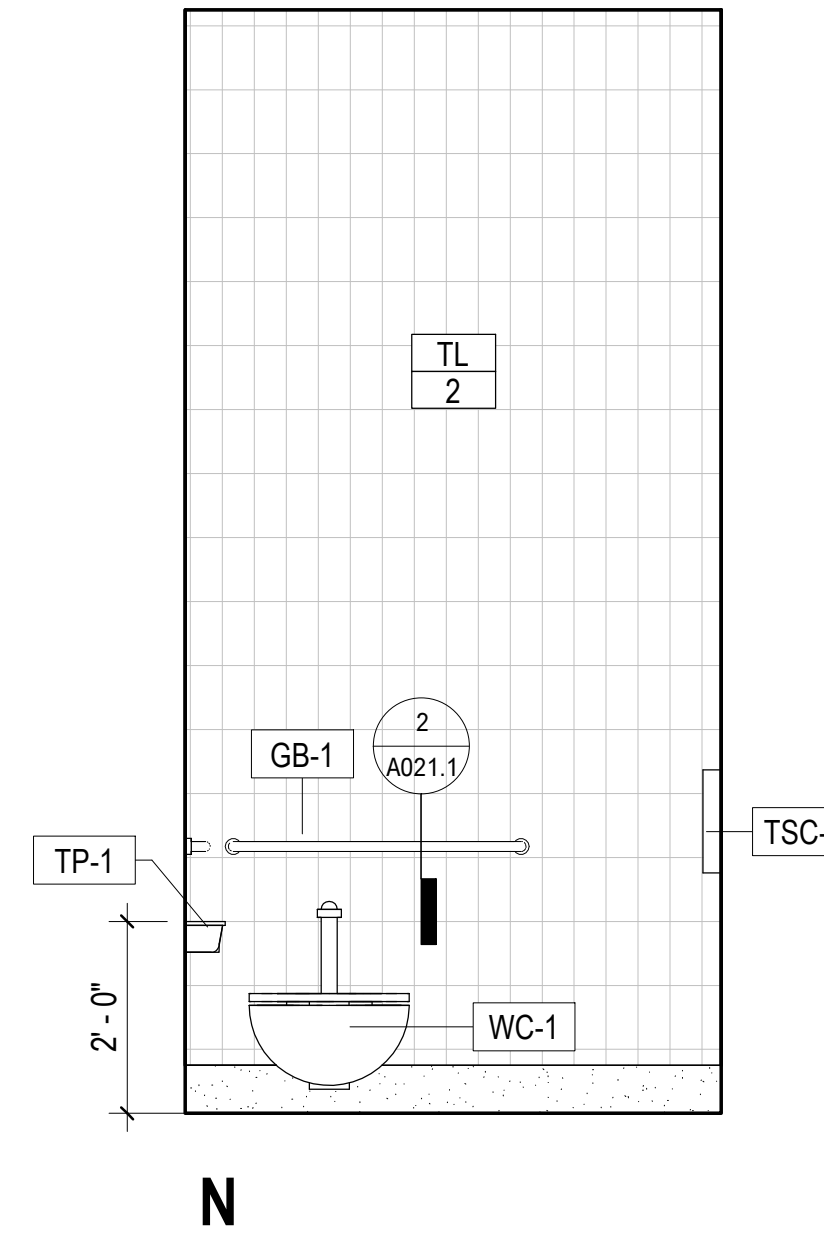
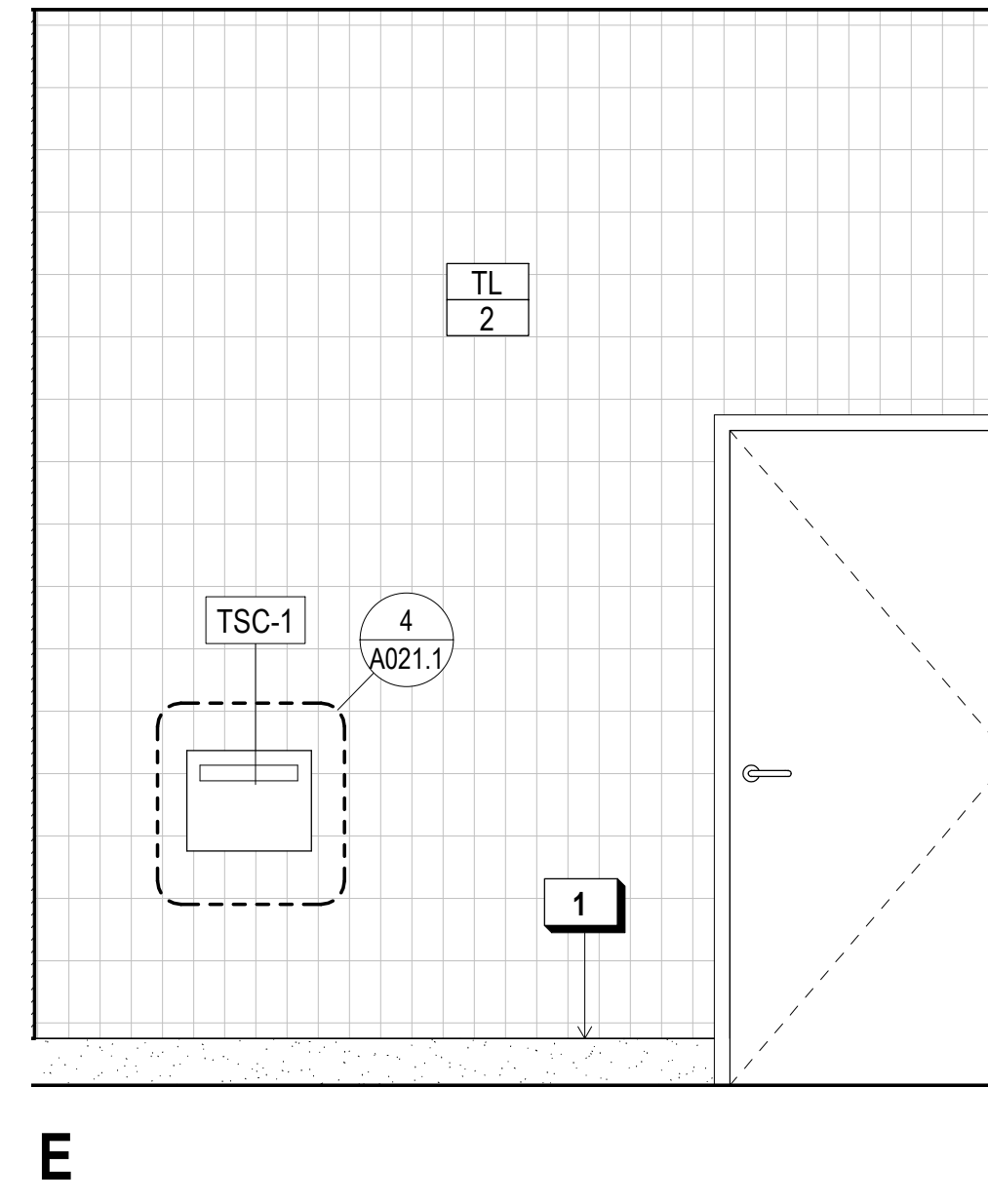
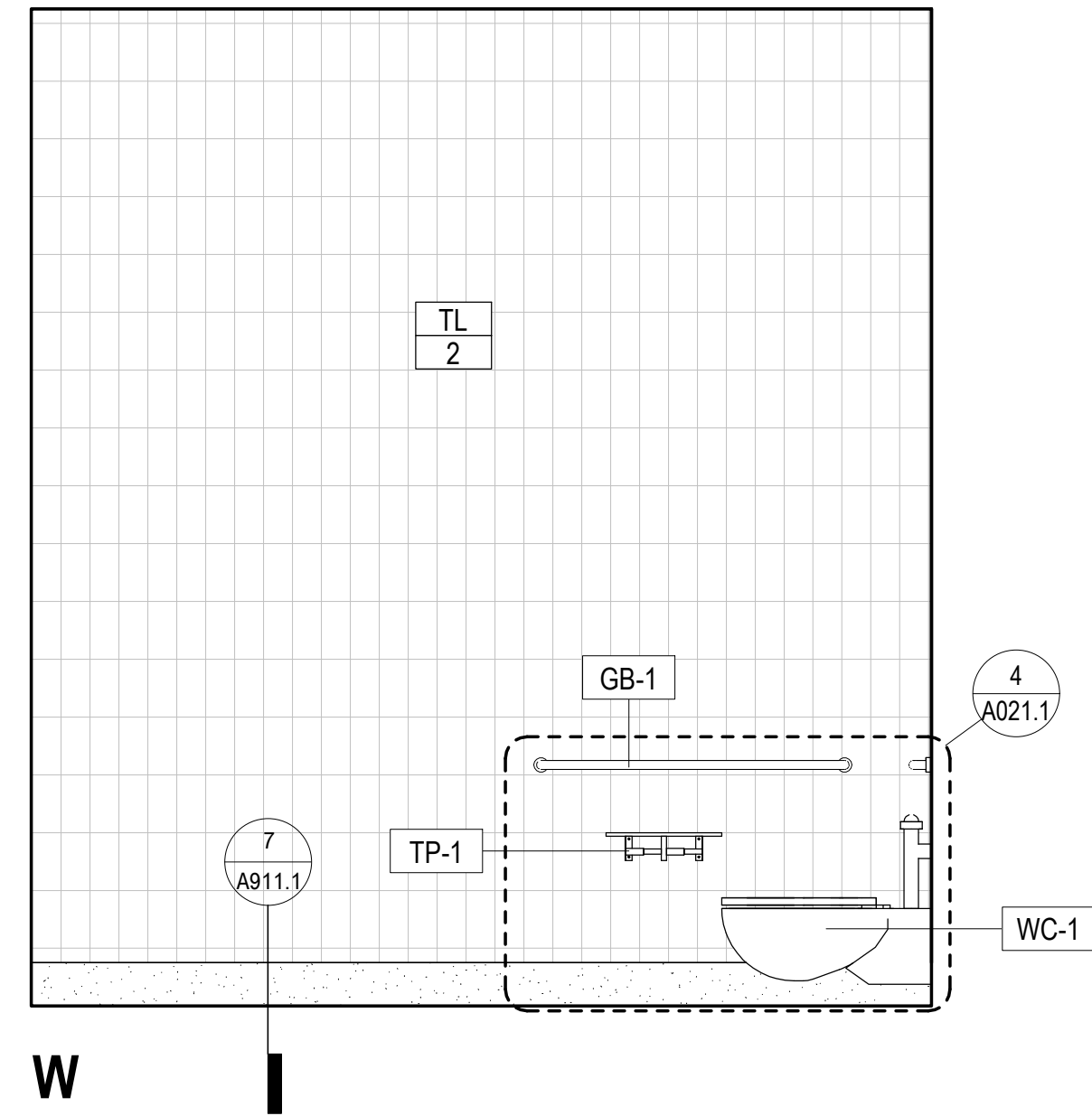
LIGHTING  
NITEO CALIFORNIA  
PH. 415-866-2232

MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
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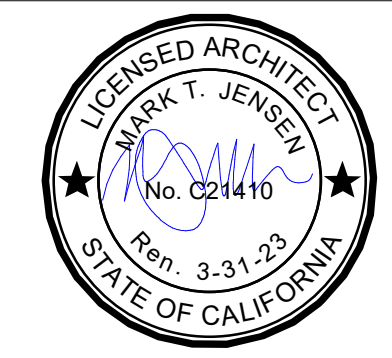
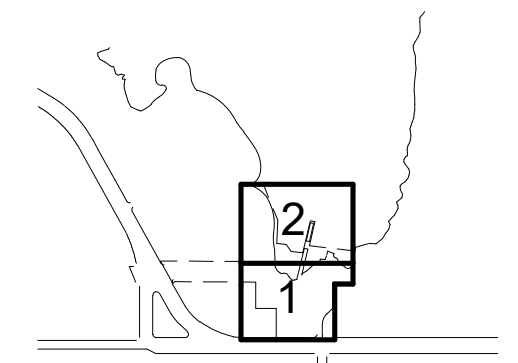
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**1 ACCESSIBLE STALL 212E**  
1/2" = 1'-0"

KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION
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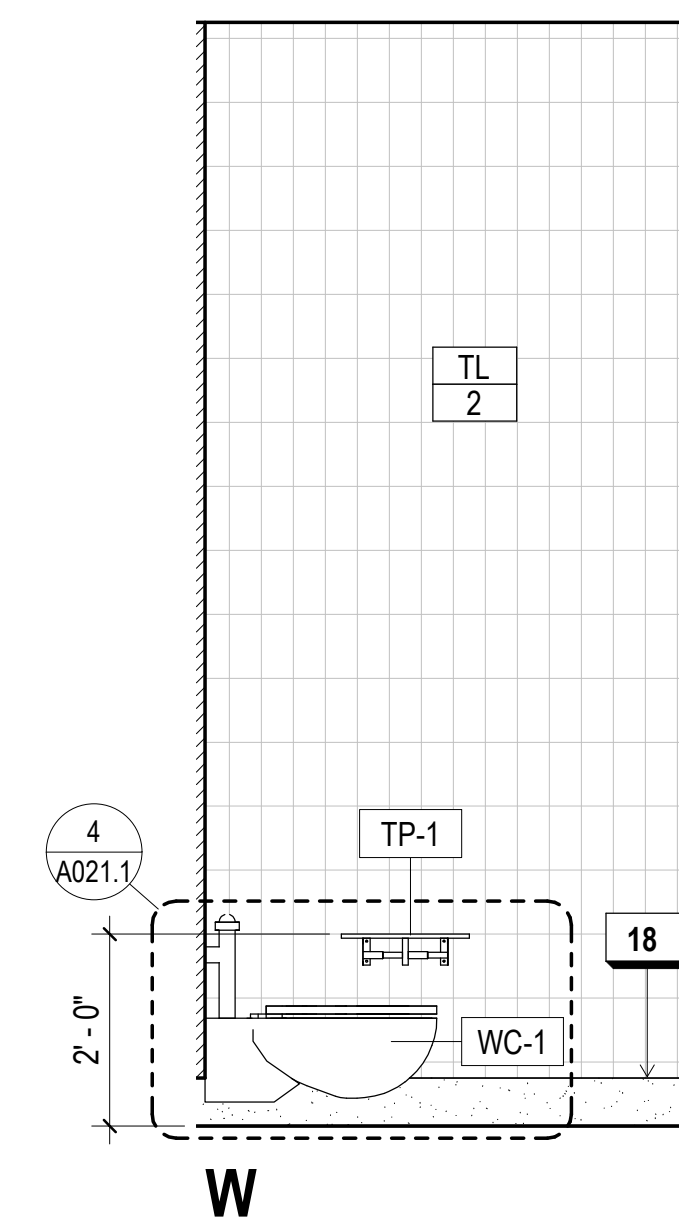
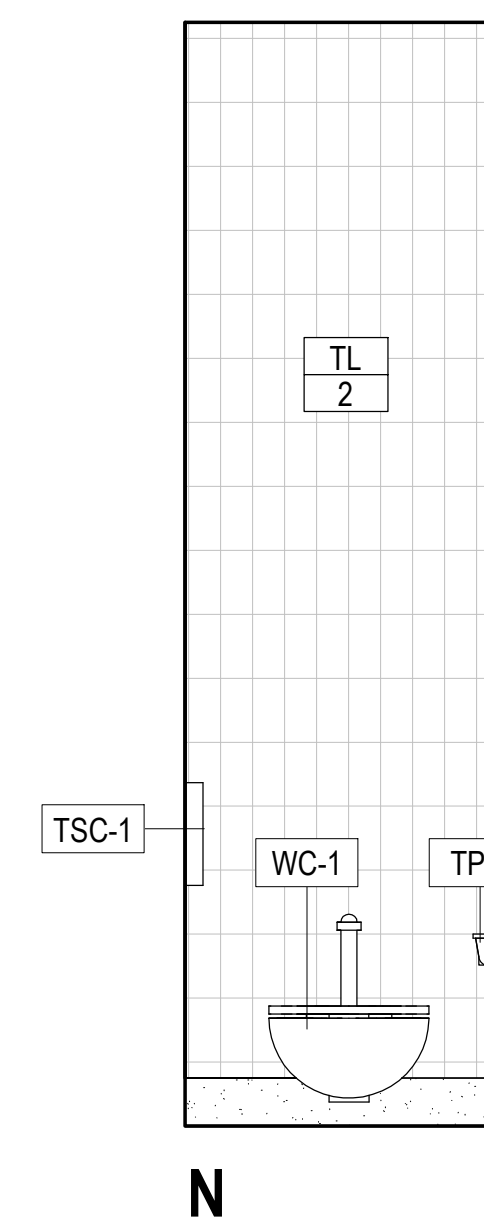
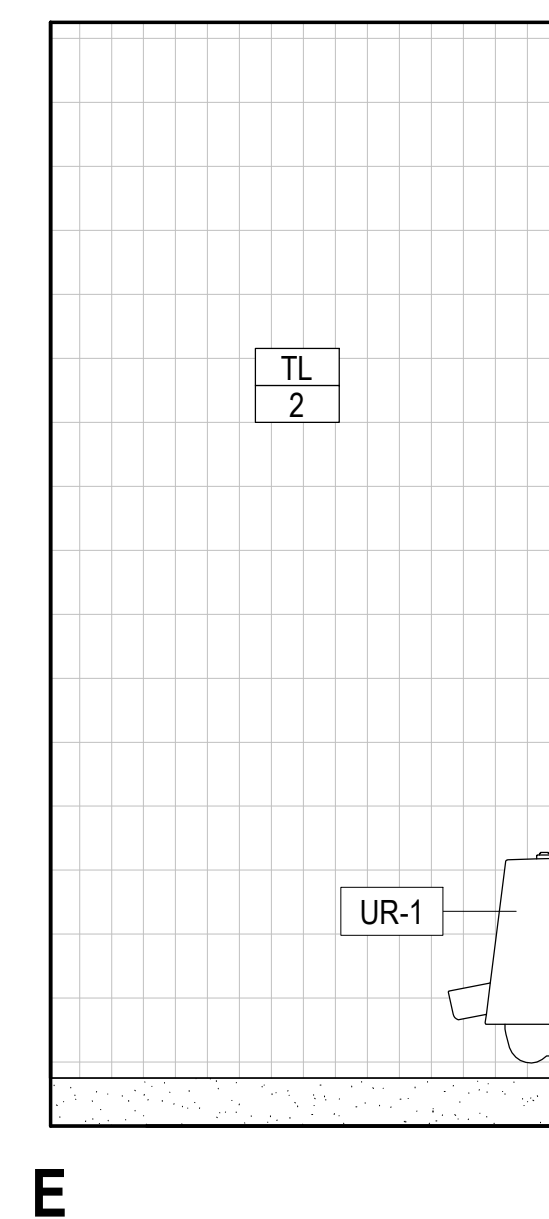
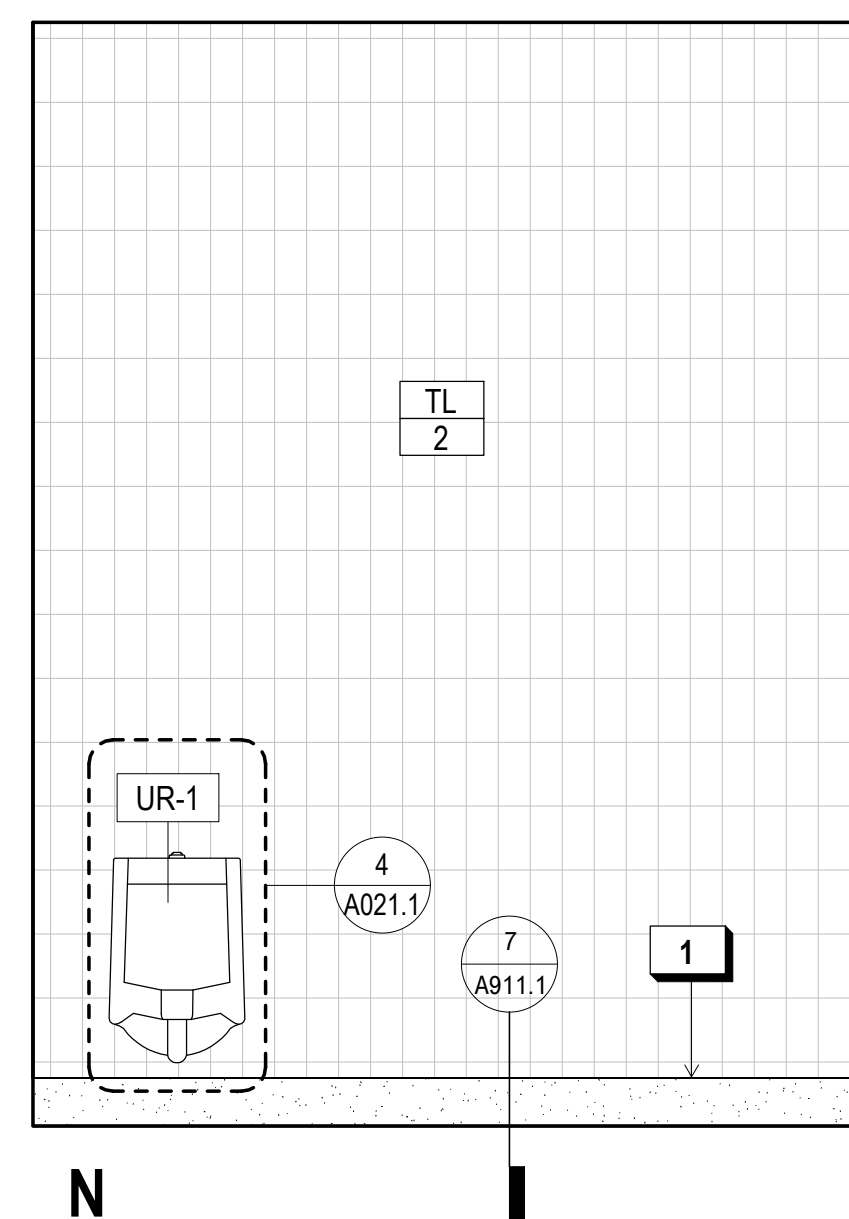
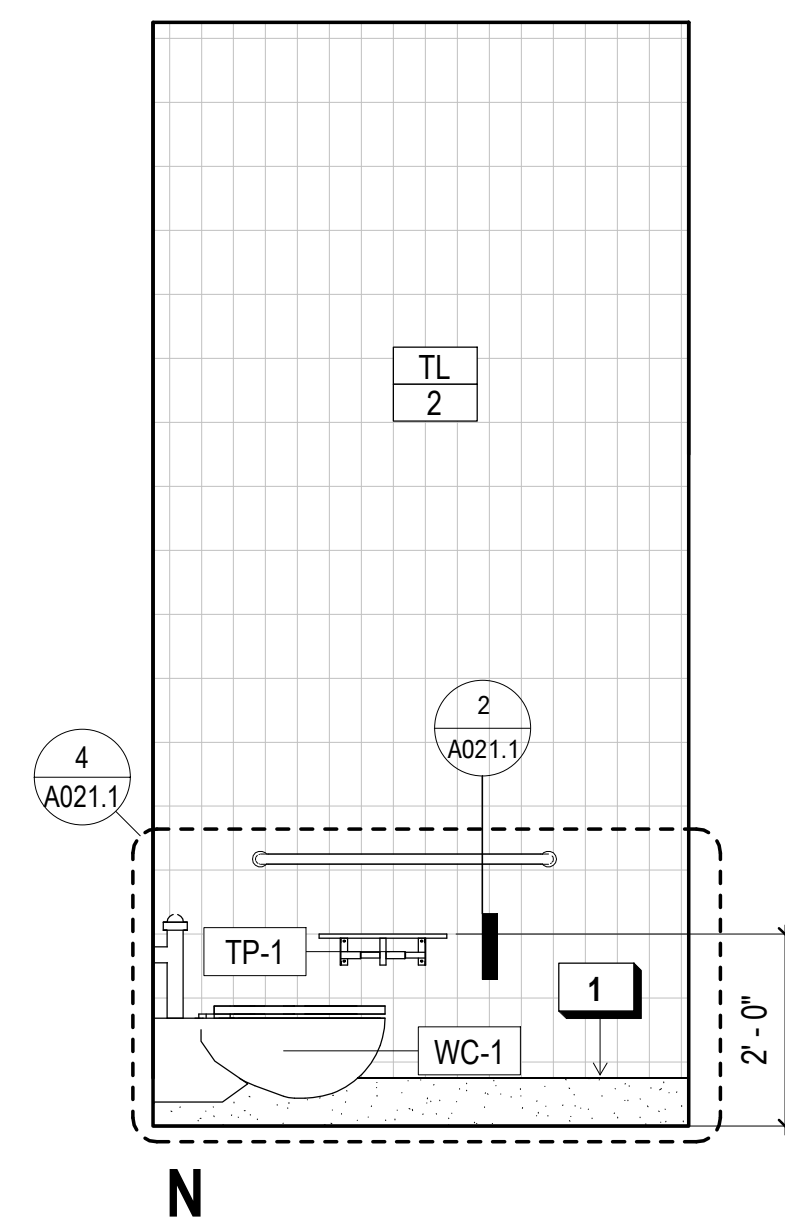
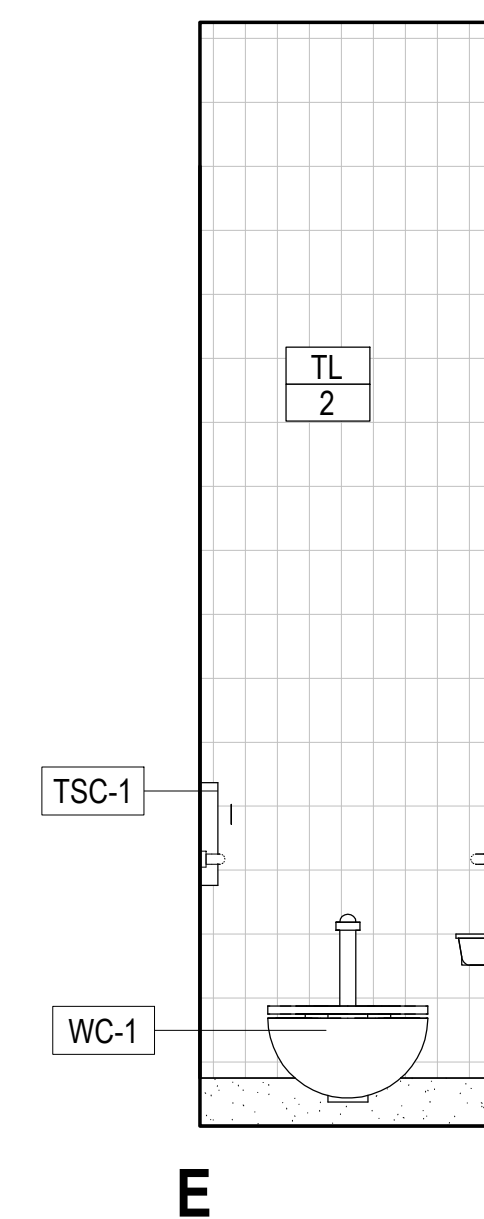
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DATE	7/01/2021	GGN PROJECT #	1608

FOOD PAVILION - ENLARGED EL.

**A273.1**



**4 TYP. STALL 212H**  
1/2" = 1'-0"

**3 URINAL STALL 212B**  
1/2" = 1'-0"

**2 TYP. STALL 212C**  
1/2" = 1'-0"



**PLUMBING FIXTURE / ACCESSORIES LEGEND**

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TA-1	XLERATOR	XL - BW - VOLTAGE	RECESSED HAND DRYER
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TSC-1	BOBRICK	B-221	TOILET SEAT COVER DISPENSER

**SHEET NOTES:**

- SEE DETAIL 1/A032.1 FOR TYP. ACCESSIBLE DOOR THRESHOLD AND LEVER REQUIREMENTS
- SEE DETAIL 1/A033.1 FOR TYP. ACCESSIBLE DOOR CLEARANCE REQUIREMENTS
- SEE 3A AND 3B/A032.1 FOR TYP. RESTROOM DR. SIGNAGE DETAILS
- PROVIDE SHT. MTL. PL. O/ BLK. IN WALL BEHIND GRAB BARS & WALL-MTD. FIXT., TYP. @ RESTROOMS
- SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

- CONC. CURB FOR FRAMED WALL, TYP.
- TRASH BIN
- OCCUPANCY SENSOR LIGHT SWITCH, S.E.D.
- WALL OUTLET

**900 INNES PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700

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PRIME CONSULTANT / LANDSCAPE ARCHITECT  
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CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
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ARCHITECT  
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PH. 415-296-9494

COASTAL ENGINEER  
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LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

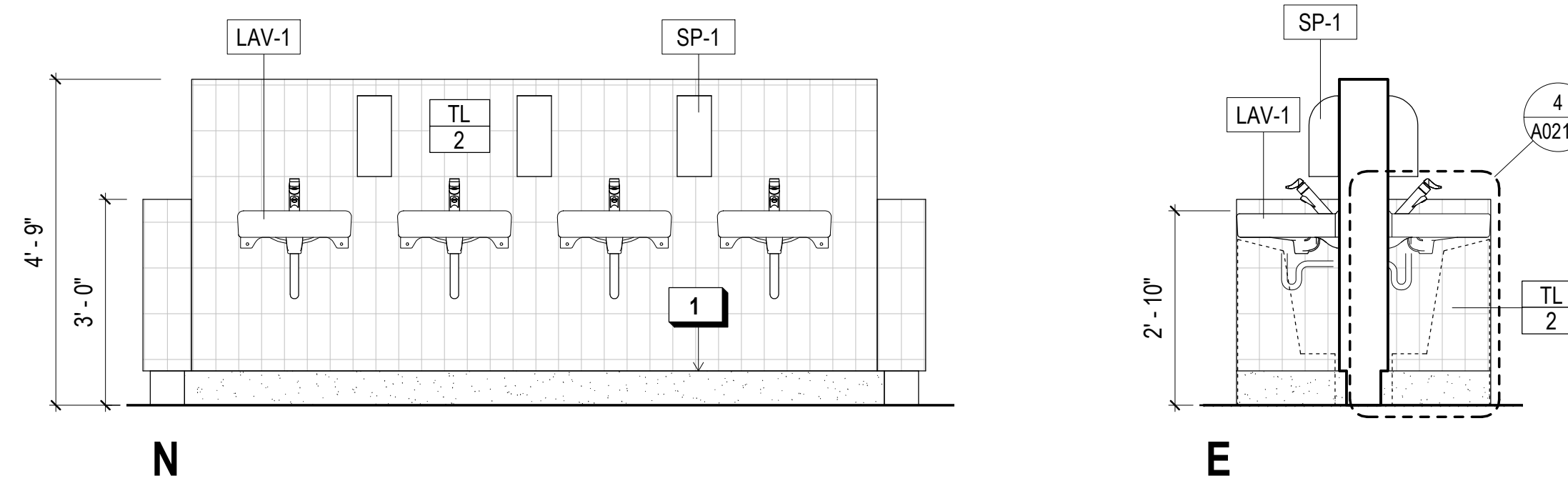
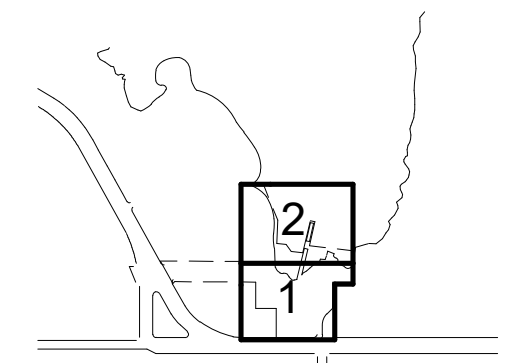
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PH. 415-957-9240

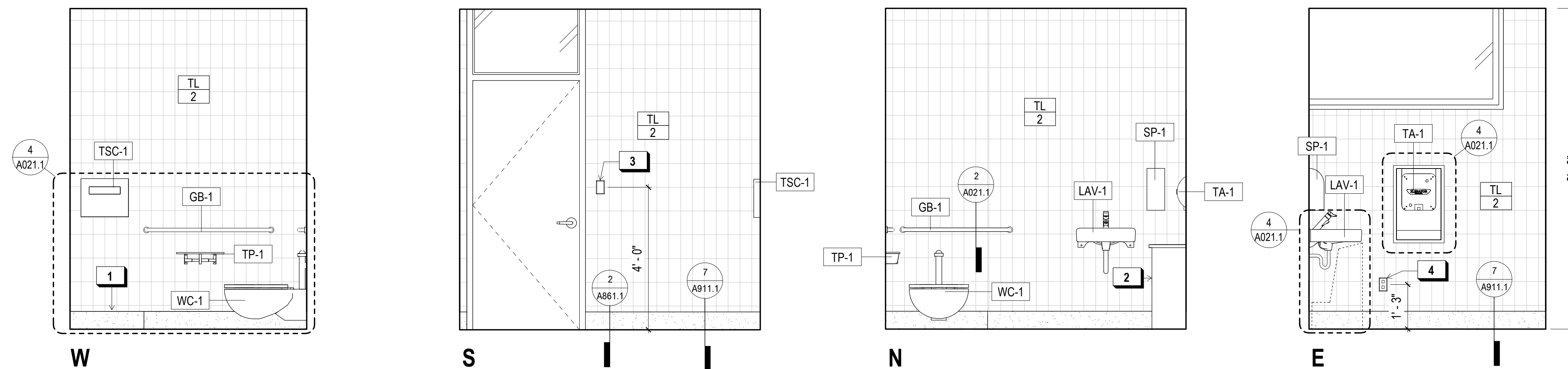
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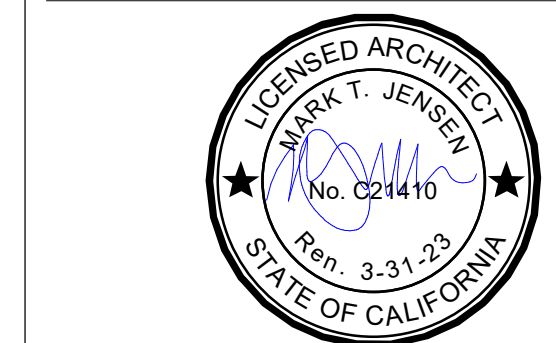
KEY PLAN



**2 ISLAND SINK 212 ELEVATIONS**  
1/2" = 1'-0"



**1 ALL GENDER RESTROOM 206 ELEVATIONS**  
1/2" = 1'-0"



**REVISIONS:**

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ISSUANCE

BID SET

DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

FOOD PAVILION - ENLARGED EL.

**A274.1**



**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700



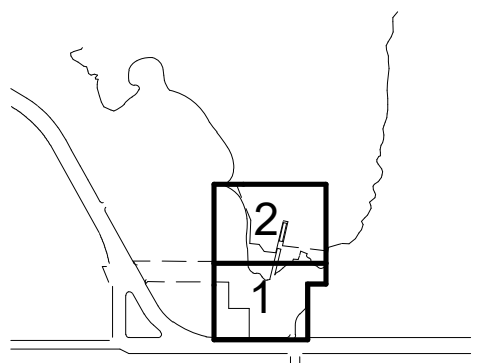
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SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014



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SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650  
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JENSEN ARCHITECTS  
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ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820  
STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494  
COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411  
LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232  
MEP & IT  
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KEY PLAN



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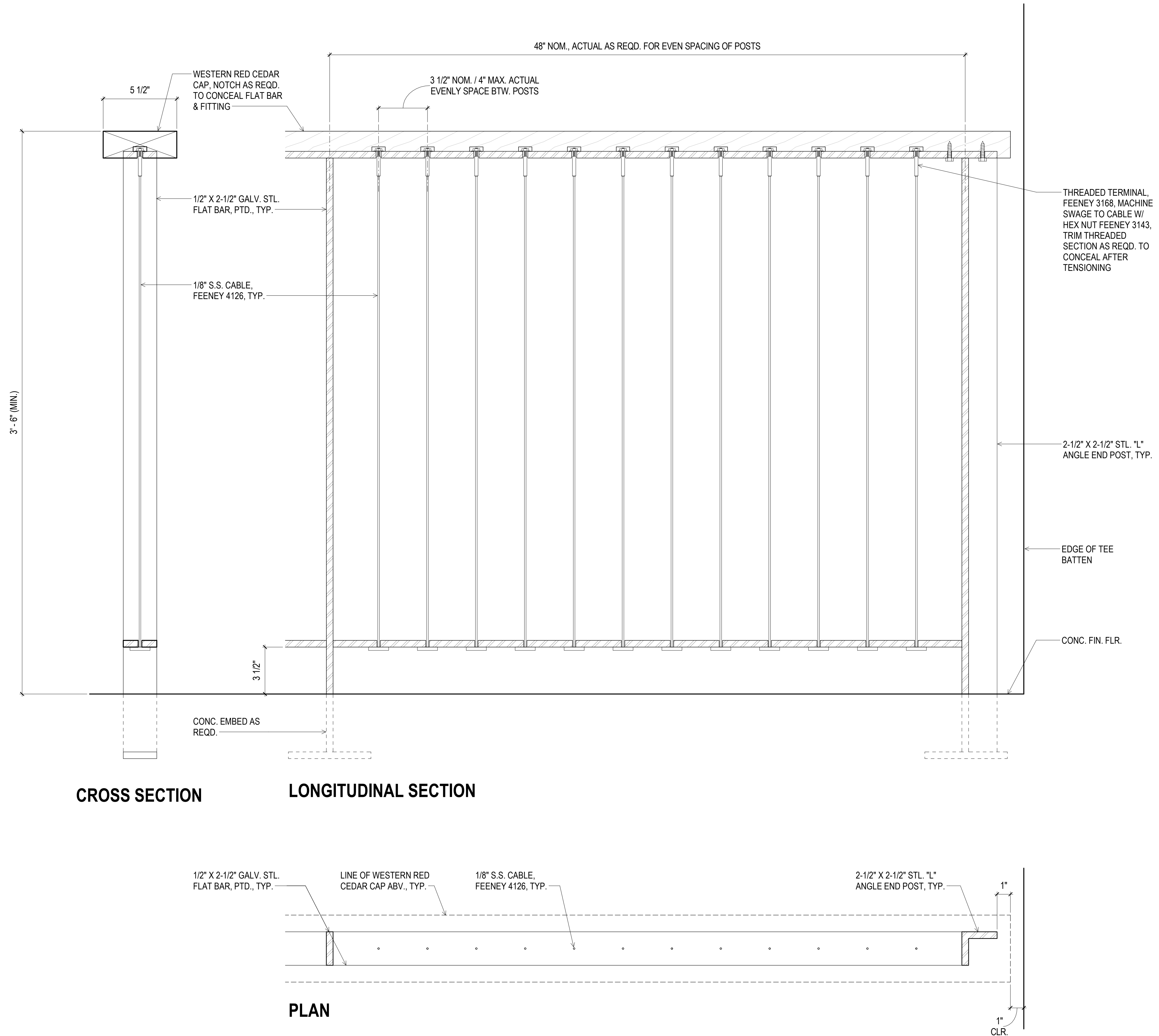
ISSUANCE

**BID SET**

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**FOOD PAVILION -  
GUARDRAIL DETAILS**

**A290.1**



**CROSS SECTION**

**LONGITUDINAL SECTION**

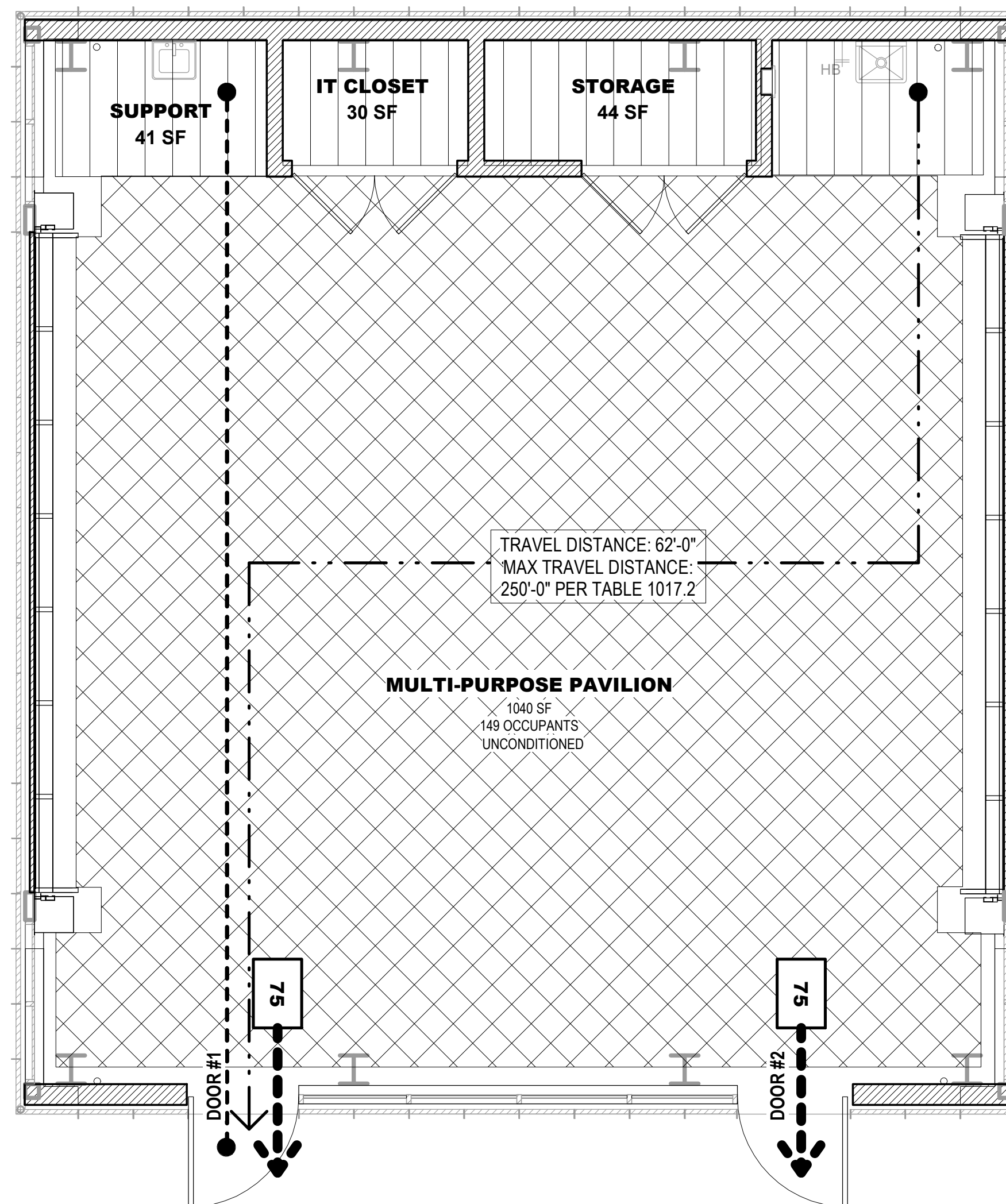
**PLAN**

**1 GUARDRAIL SECTION AND ELEVATION**  
3" = 1'-0"



**SHEET NOTES:**

1. REFERENCE 2019 CBC SECTION 302 FOR OCCUPANCY DESCRIPTIONS.
2. REFERENCE 2019 CBC TABLE 1004.5 FOR MAX. FLOOR AREA ALLOWANCES PER OCCUPANT.
3. REFERENCE 2019 CBC SECTION 1005 FOR MINIMUM EGRESS AND WIDTH REQUIREMENTS.
4. REFERENCE 2019 CBC TABLE 1006.2.1 FOR MINIMUM NUMBER OF EXITS FOR OCC. LOAD.
5. REFERENCE 2019 CBC TABLE 1017.2 FOR MAX. EXIT ACCESS TRAVEL DISTANCE WITH AUTOMATIC SPRINKLER SYSTEM. (A & E <250, B <300, S-2 & U <400)
6. REFERENCE 2019 CPC TABLE 422-1 FOR PLUMBING FIXTURE REQUIREMENTS.
7. PER 2019 CPC TABLE 422-1, NOTE 4, "FOR EACH URINAL ADDED IN EXCESS OF THE MINIMUM REQUIRED, ONE WATER CLOSET SHALL BE PERMITTED TO BE DEDUCTED. THE NUMBER OF WATER CLOSETS SHALL NOT BE REDUCED TO LESS THAN TWO-THIRDS OF THE MINIMUM REQUIREMENT."



**1** **EGRESS PLAN**  
1/4" = 1'-0"

**OCCUPANT LOAD - SHOP BUILDING**

AREA	OCC. AREA (SQ FT)	FUNCTION OF SPACE	LOAD FACTOR	OCC. TOTAL	EXITS REQ.
MULTI-PURPOSE PAVILION	1040	ASSEMBLY, CONCENTRATED	1:7 NET	149	2
ACCESSORY STORAGE	153	ACCESSORY STORAGE & MECH	1:500	1	1
<b>TOTAL OCCUPANT LOAD:</b>				150	

**PLUMBING FIXTURE SUMMARY**

**PLUMBING FIXTURE OCCUPANT COUNT SHOP BUILDING**

AREA	OCCUPIED AREA (SQ FT)	PLUMBING OCCUPANCY GROUP	LOAD FACTOR	NUMBER OF OCCUPANTS
ACCESSORY STORAGE	153	(EXCLUDED)	0 SF	0
MULTI-PURPOSE PAVILION	1040	A1 - AUDITORIUM	1:30 SF	35
<b>TOTAL PLUMBING OCCUPANT LOAD:</b>				35

**REQUIRED RESTROOM FIXTURE COUNT**

# OF OCCUPANTS	# OF FIXTURES	
	REQUIRED	PROVIDED (ALL GENDER)*
35 TOTAL OCCUPANTS / 2 = 18		
18 MEN	1 W.C. / 0 URINAL 1 LAVATORIES	2 W.C. / 0 URINAL 2 LAVATORIES
18 WOMEN	1 W.C. 1 LAVATORIES	NA NA
	1 WATER FOUNTAIN	1 WATER FOUNTAIN

\*RESTROOM FIXTURES PROVIDED AT FOOD PAVILION LOWER LEVEL. SEE A020.1 FOR LOCATION  
 \*\*PER CPC TABLE 422.1, EXCEPTION 3, URINAL MAY BE OMITTED  
 \*\*\*SHARED WATER FOUNTAIN. SEE A020.1 FOR LOCATION

**EXITING REQUIREMENTS**

EXIT COMPONENT	OCC. LOAD CAPACITY	ACTUAL OCC. LOAD	LOAD FACTOR	MIN. WIDTH	WIDTH PROVIDED
DOOR #1	210	75	0.2	34"	42"
DOOR #2	210	75	0.2	34"	42"

**EGRESS LEGEND**

← #	AREA SPECIFIC OCCUPANT LOAD		A-2 OCCUPANCY 1 : 30 SF
← 1	PATH OF TRAVEL WITH OCCUPANT LOAD		A-2 OCCUPANCY (COMMERCIAL KITCHEN) 1 : 200 SF
● - - - ●	ACCESSIBLE PATH OF TRAVEL (P.O.T.)		A-3 OCCUPANCY 1 : 7 SF
← . . . ←	MAX TRAVEL DISTANCE < 250'-0" = ACCEPTABLE		E OCCUPANCY 1 : 20 NET SF
← - - - ←	COMMON PATH OF EGRESS < 75'-0" = ACCEPTABLE		S-2 OCCUPANCY 1 : 300 SF
	1-HR RATED WALL		B OCCUPANCY 1 : 150 SF
	2-HR RATED WALL		

**900 INNES PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO RECREATION AND PARKS DEPARTMENT  
 30 VAN NESS AVENUE  
 SAN FRANCISCO, CA 94102  
 PH. 415-831-2700

THE TRUST FOR PUBLIC LAND  
 101 MONTGOMERY STREET  
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 RANA CREEK  
 PH. 831-659-3820

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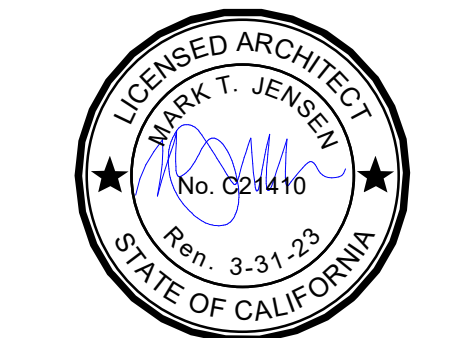
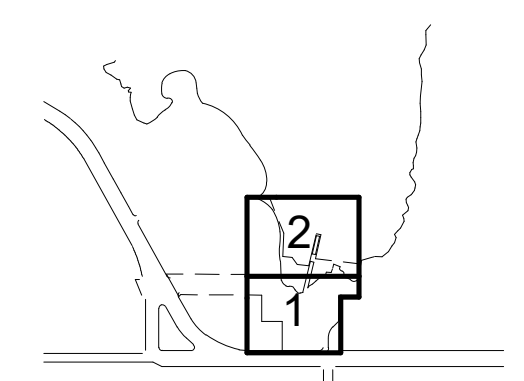
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GEOTECHNICAL ENGINEER  
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KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

ISSUANCE

**BID SET**

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**EGRESS / ACCESSIBLE POT / FIRE RATING PLAN**

**A301.1**



**BUILDING 3: SHOP BUILDING**

BUILDING INFORMATION:	EXISTING	PROPOSED	REQ. / ALLOW.
CONSTRUCTION TYPE	-	TYPE V-B	-
STORIES OF OCCUPANCY	-	1	2
BASEMENTS	-	0	-
BUILDING HEIGHT	-	18'-0"	60' - 0"
OCCUPANCY GROUP	-	A-3 / B / F-2	-
FIRE SPRINKLERS	-	YES	NONE REQ.
<b>GROSS FLOOR AREA:</b>			
MAIN LEVEL:	-	1,294 SQFT.	-
<b>TOTAL BUILDING AREA:</b>	-	1,294 SQFT.	30,000 SQFT.

**SHEET NOTES:**

1. LANDSCAPING AND SITE SHOWN FOR REF. ONLY - SEE CIVIL, LANDSCAPE, OR COASTAL ENGINEERING DRAWINGS FOR DETAILS.

**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
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30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
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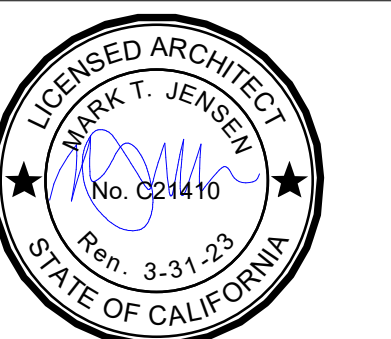
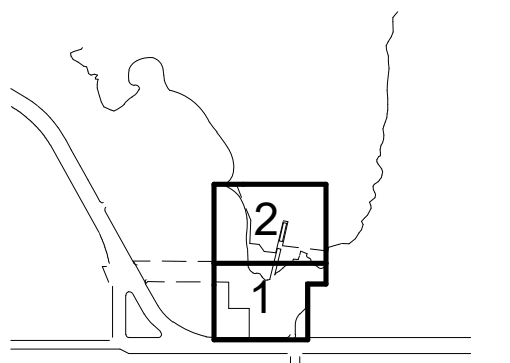
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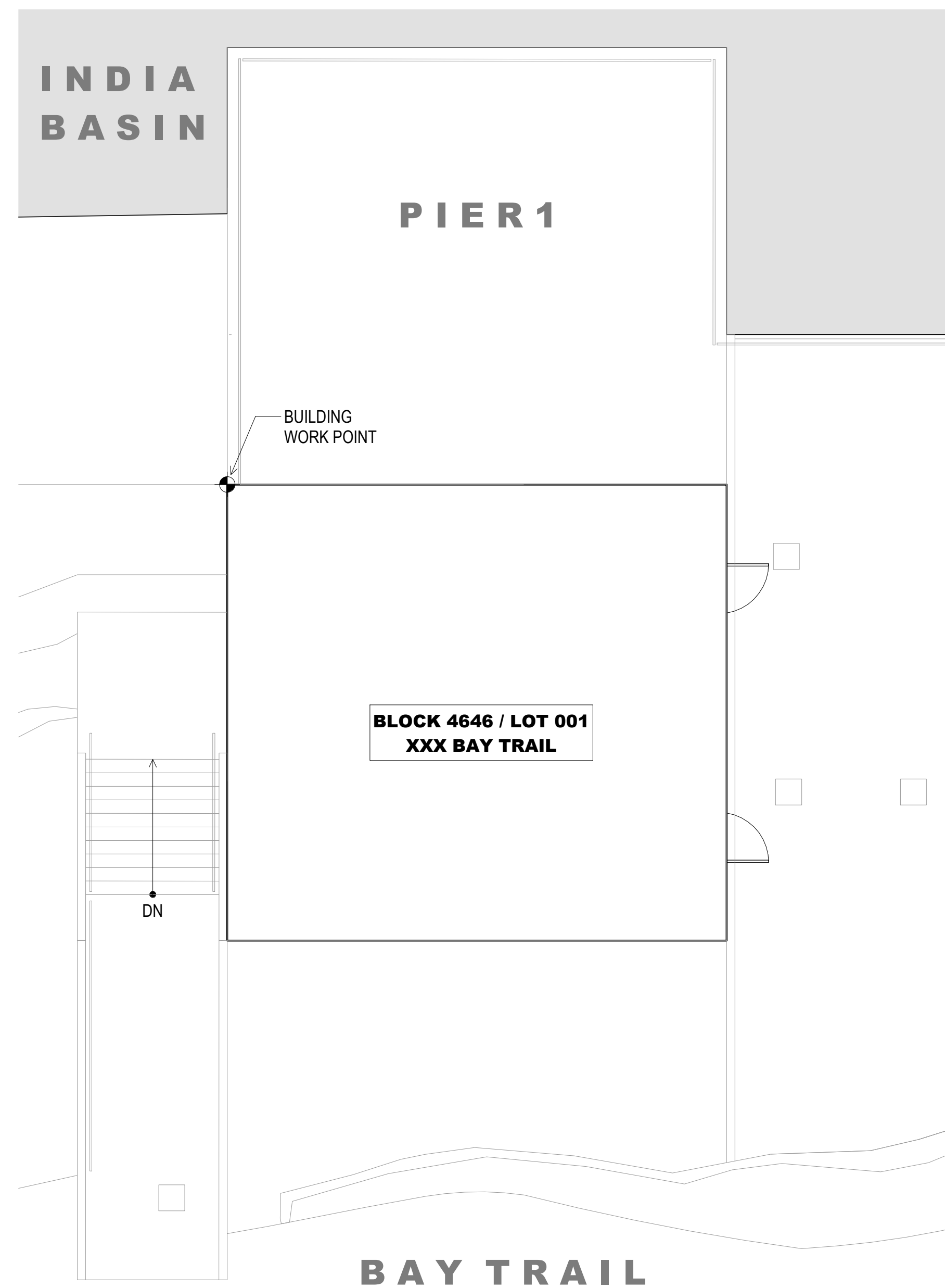
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DATE	7/01/2021	GGN PROJECT #	1608

SHOP BUILDING -  
BUILDING SITE PLAN

**A302.1**



**1 SITE PLAN - SHOP BUILDING**  
1/8" = 1'-0"



**ROOM FINISH SCHEDULE**

ROOM NO.	ROOM	FINISH				REMARKS
		FLOOR	BASE	WALL	CEILING	
301	MULTI-PURPOSE PAVILION	CONC-3	CONC-3	PLY-1	PLY-1	
302	SUPPORT	CONC-3	CONC-3	PLY-1	PLY-1	
303	IT CLOSET	CONC-3	CONC-3	PLY-1	PLY-1	
304	STORAGE	CONC-3	CONC-3	PLY-1	PLY-1	
305	SUPPORT	CONC-3	CONC-3	PLY-1	PLY-1	

**FINISH LEGEND**

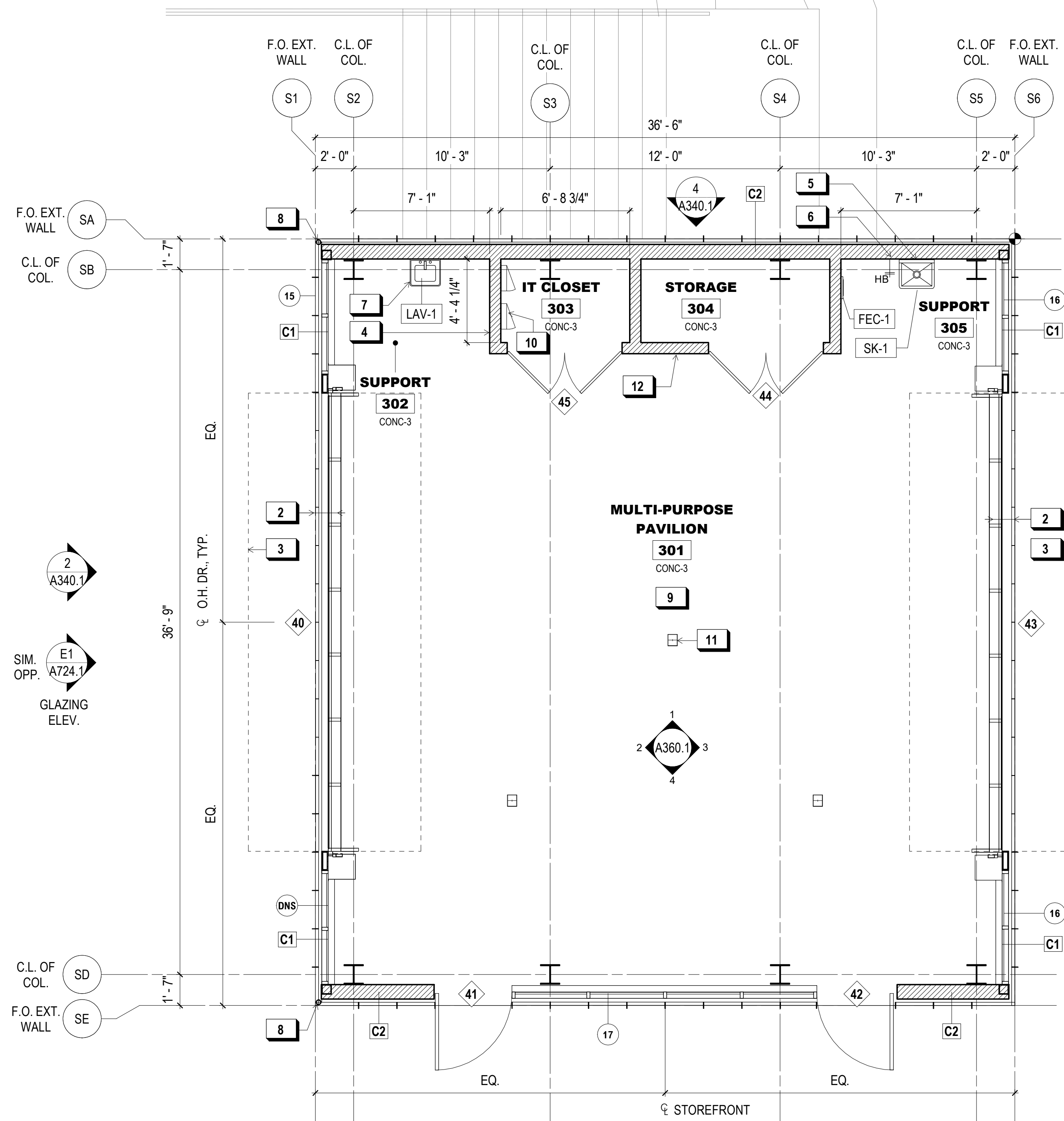
FINISH CODE	DESCRIPTION	MANUFACTURER	PRODUCT	SIZE	SPECIES / COLOR	FINISH
CONC-1	CONCRETE - EXT.	NA	NA	NA	NA	PENETRATING SEALER PER SPEC., WATER-WASHED EXPOSE AGGREGATE FINISH
CONC-3	CONCRETE - INTERIOR	NA	NA	NA	NA	INT / SLIP RESISTANT, SEAL PER SPEC.
PLY-1	PLYWOOD	-	PER SPEC.	AS SHOWN	PER SPEC.	BONA TRAFFIC HD

**F.E.C. LEGEND**

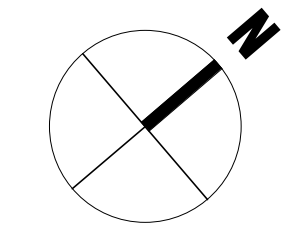
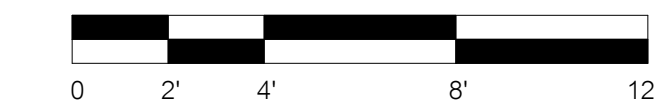
TAG	MFR.	SERIES / MODEL	TRIM STYLE	DOOR STYLE	FINISH
FEC-1	J.L. INDUSTRIES	AMBASSADOR / 1016	1-1/2" SQUARE	V10, PULL HANDLE	WHITE POWDERCOAT
FEC-2	J.L. INDUSTRIES	AMBASSADOR / 2012	4" ROLLED	V10, FLUSH PULL	WHITE POWDERCOAT

**FIRE EXTINGUISHERS:**

- TYPICAL: CLASS ABC, 5-LB CAPACITY, UL RATING 2A:10BC
- COMMERCIAL KITCHEN: CLASS K, WET CLASS(WC) IN ACCORDANCE W/ CFC SECTION 904.11.5, J.L. INDUSTRIES "SATURN"



**1 FLOOR PLAN**  
1/4" = 1'-0"



**SHEET NOTES:**

- SEE SHEETS A801.1-A803.1 FOR WALL TYPES.
- ALL SWITCHES, CONTROLS, AND ELEC. RECEPTACLES NOT DEDICATED TO EQUIP. SHALL BE WITHIN AN ACCESSIBLE REACH RANGE PER CBC 2019 11B-308.1. SEE 6/A023.1 FOR TYP. MOUNTING HGTS.

**WALL LEGEND:**

- NEW WALL / ELEMENT
- NEW CONCRETE WALL
- EXISTING WALL / ELEMENT
- BUILDING WORKING PT. (S.L.D. FOR LOC. ON SITE)

**X KEY NOTES:**

- DR. IN CLOSED POSITION
- OUTLINE OF DR. IN OPEN POSITION ABOVE
- STUB OUT FOR FUTURE EYE-WASH STATION
- MOP SINK
- HOSE BIBB
- ACCESSIBLE SINK
- 3" D.S., NOTCH PERF. MTL. FLANGES AS REQ'D.
- UNCONDITIONED PAVILION, INTENDED FOR USE WITH OVERHEAD SECURITY DOORS IN OPEN POSITION
- ELECTRICAL PANEL, S.E.D.
- FLOOR OUTLET, TYP., S.E.D.
- 6" MTL. FRAMING @ INT. WALL, TYP.

**900 INNES PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700

THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014

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GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802

CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650

ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650

ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820

STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494

COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411

LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232

MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240

GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240

SECURITY CONSULTANT  
ZBETA CONSULTING  
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FOR OFFICIAL USE

KEY PLAN

REVISIONS:

NO.	DATE	DESCRIPTION
01	12/18/2020	PERMIT SUBMITTAL

ISSUANCE

BID SET

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

SHOP BUILDING - PROPOSED FLOOR PLAN

**A320.1**



X KEY NOTES:	
1	LINE OF OVERHEAD DOOR (OPEN POSITION)
2	CONCEALED GUTTER AND DOWNSPOUT
3	LINE OF RIDGE
4	PERF. METAL ROOF CLADDING
5	EXTENTS OF OPEN-AIR SPACE BELOW
6	OSHA-COMPLIANT HORIZONTAL LIFELINE FALL PROTECTION SYSTEM, SECURE TO ALTERNATING BATTEN FINS
7	HORIZONTAL PANEL JOINT

# 900 INNES PARK DEVELOPMENT

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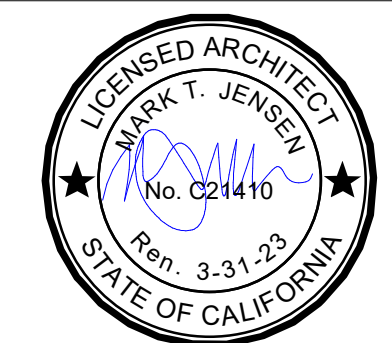
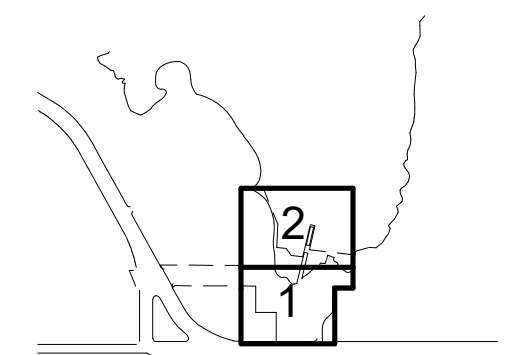
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KEY PLAN



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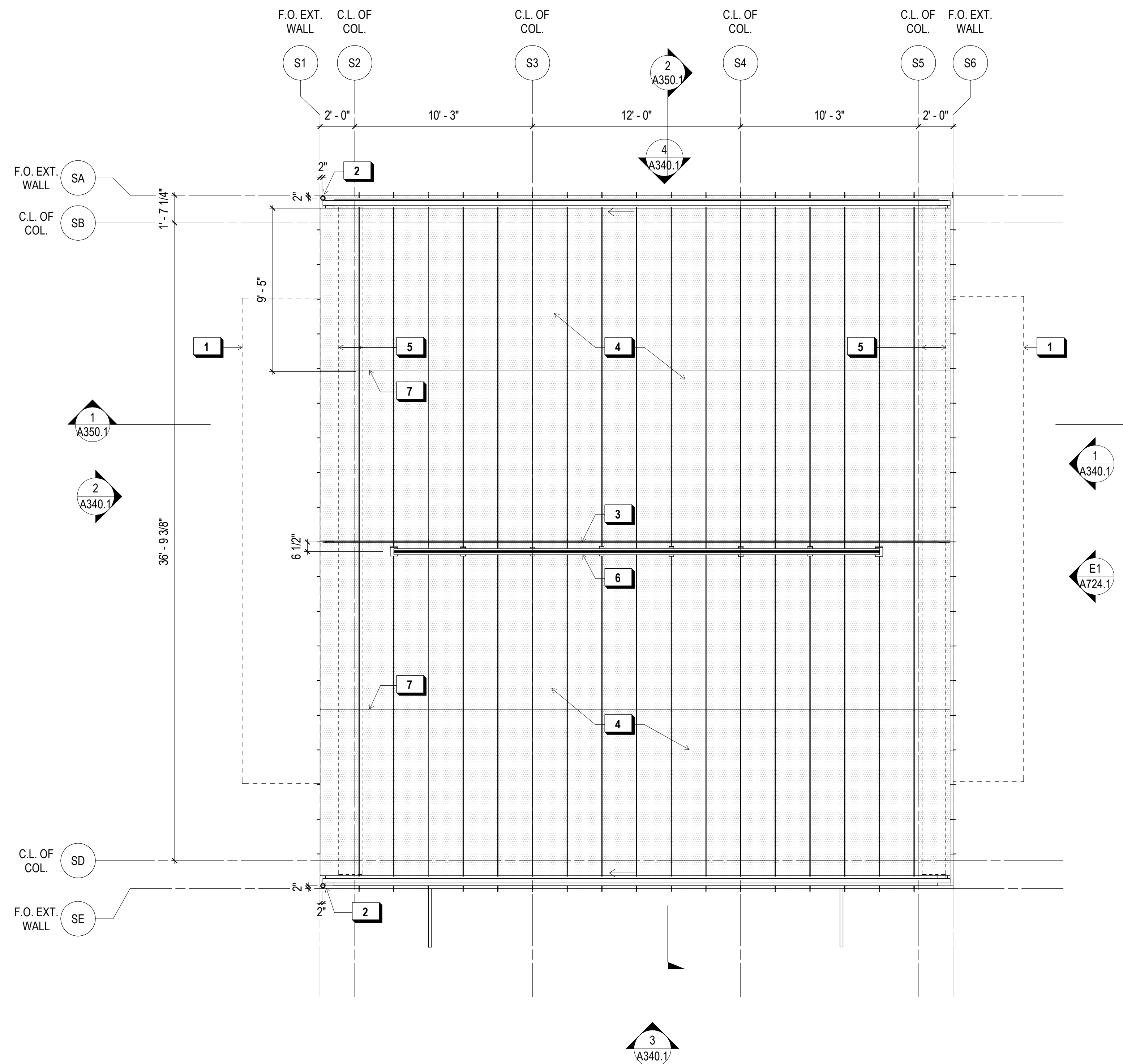
ISSUANCE

BID SET

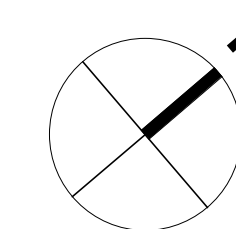
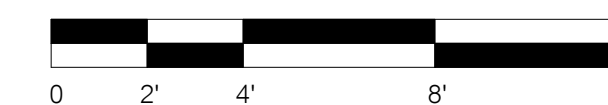
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DATE	7/01/2021	GGN PROJECT #	1608

SHOP BUILDING -  
PROPOSED ROOF PLAN

# A321.1



**1 ROOF PLAN - SHOP BUILDING**  
1/4" = 1'-0"





# 900 INNES PARK DEVELOPMENT

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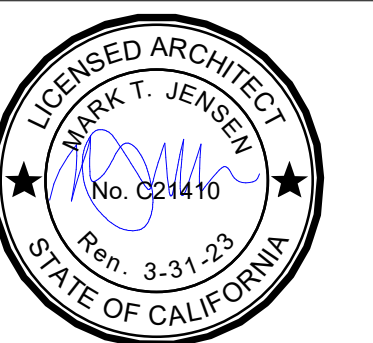
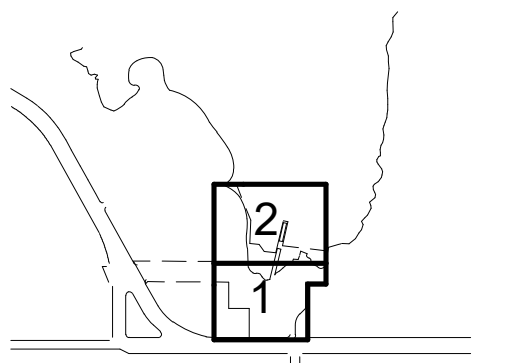
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REVISIONS:

NO.	DATE	DESCRIPTION

ISSUANCE

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DATE 7/01/2021	GGN PROJECT # 1608

SHOP BUILDING - SLAB  
PLAN

# A322.1

### WALL LEGEND:

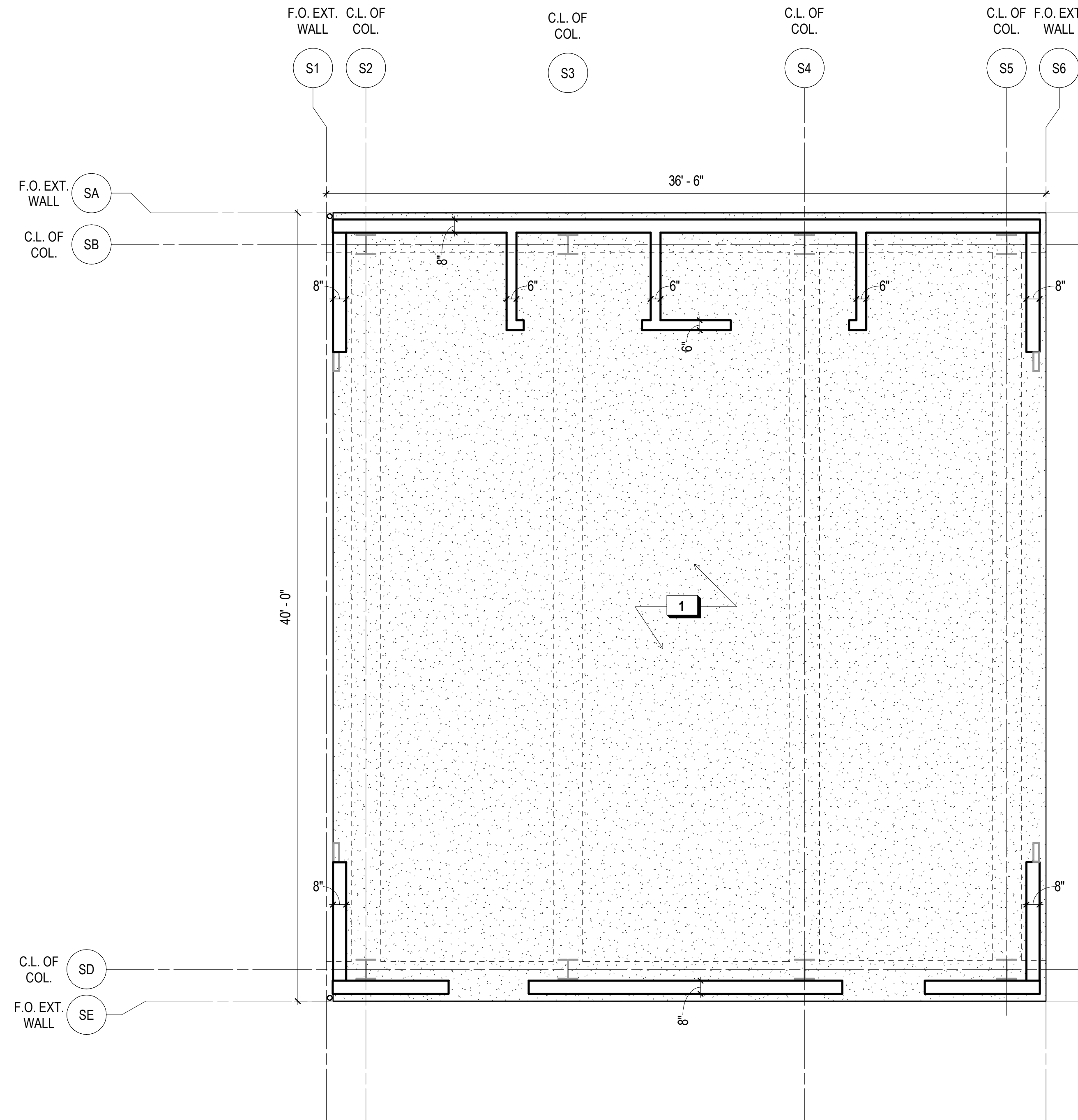
- STRUCTURAL CONC. SLAB W/ 3" TOPPING TYP. U.O.N.
- SPLIT CONC. TOPPING SLAB O/ STRUCTURAL CONC. SLAB
- CONC. WALL
- CONC. CURB (6" A.F.F. U.O.N.)
- WALL OR FOOTING BELOW
- AREA DRAIN
- LINEAR SLOT DRAIN

### SHEET NOTES:

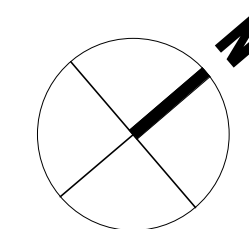
- REFER TO STRUCTURAL DRAWINGS FOR SIZING AND LOCATION OF PILES, FOUNDATIONS, RETAINING WALLS, AND STEM WALLS.
- REFER TO LANDSCAPE DRAWINGS FOR SIZING AND LOCATION OF EXTERIOR PAVING AND SLABS.
- DIMENSIONS SHOWN FOR REFERENCE ONLY. VERIFY REQUIRED CLEAR DIMENSIONS, ETC. WITH PROPOSED FLOOR PLANS.

### X KEY NOTES:

- 3" TOPPING SLAB O/ S.O.G.



**1 SLAB PLAN**  
1/4" = 1'-0"





**900 INNES  
PARK DEVELOPMENT**

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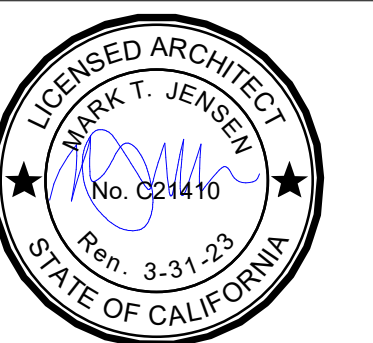
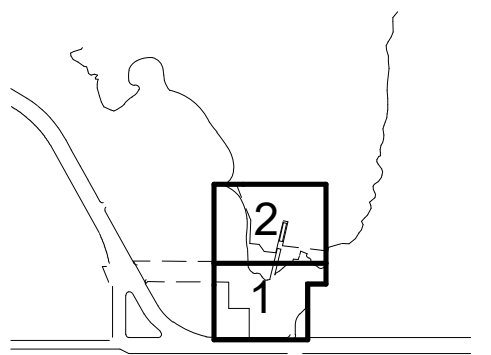
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KEY PLAN



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DATE 7/01/2021	GGN PROJECT # 1608

SHOP BUILDING - RCP

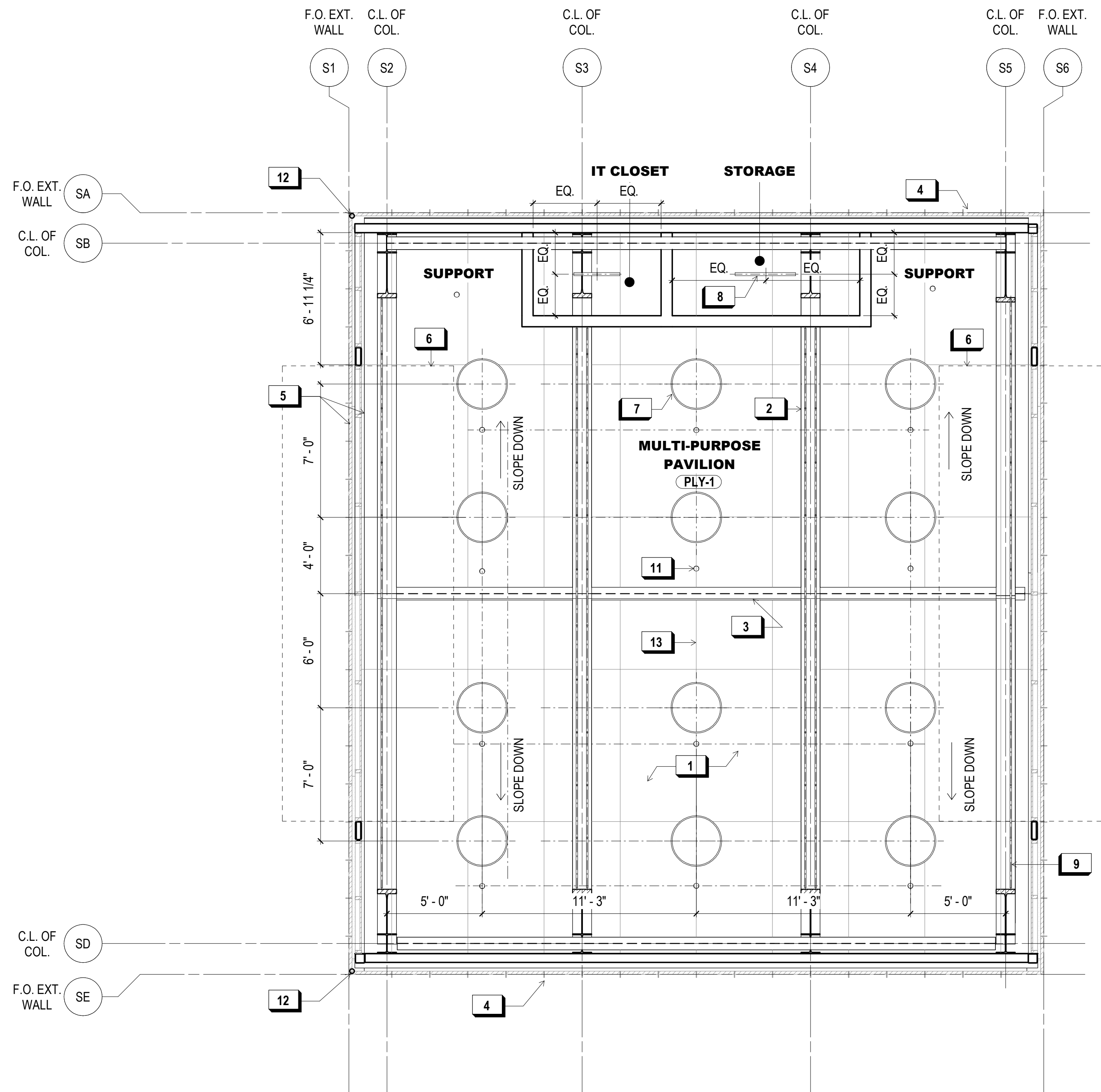
**A330.1**

**SHEET NOTES:**

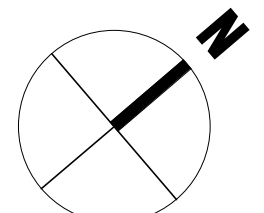
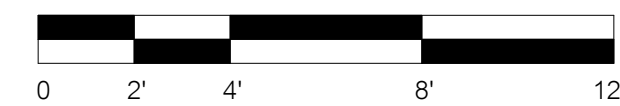
- SEE LIGHTING DESIGNER DRAWINGS AND ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT
- DESIGN BUILD FIRE SUPPRESSION SYSTEMS TO BE COORDINATED WITH ARCHITECT AND LIGHTING CONSULTANT

**X KEY NOTES:**

- FINISH DIRECTLY ATTACHED TO ROOF/FLOOR
- EXPOSED STRUCTURE, TYP.
- ROOF HIGH-POINT
- ROOF LOW-POINT
- PERF. METAL PANEL, TYP.
- OVERHEAD DOOR COUNTERWEIGHT EXTENTS IN OPEN POSITION
- PENDANT LIGHT
- PERFORATED WALL LINEAR LIGHT
- MICRO LINEAR UPLIGHT
- CONCEALED SPRINKLER HEAD, TYP.
- 3" DOWNSPOUT
- PLYWOOD PANEL CEILING JOINT, TYP.



**1 SHOP BUILDING - RCP**  
1/4" = 1'-0"





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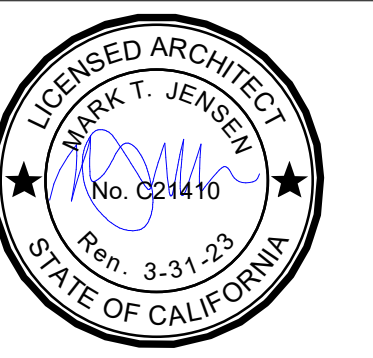
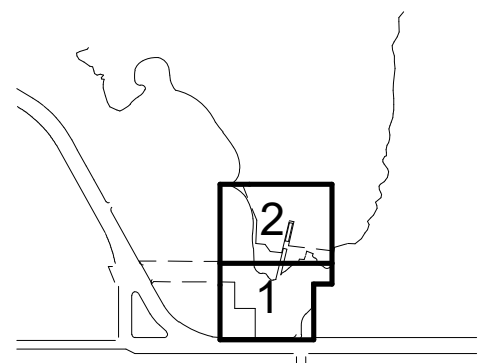
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GEOTECHNICAL ENGINEER  
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KEY PLAN



**REVISIONS:**

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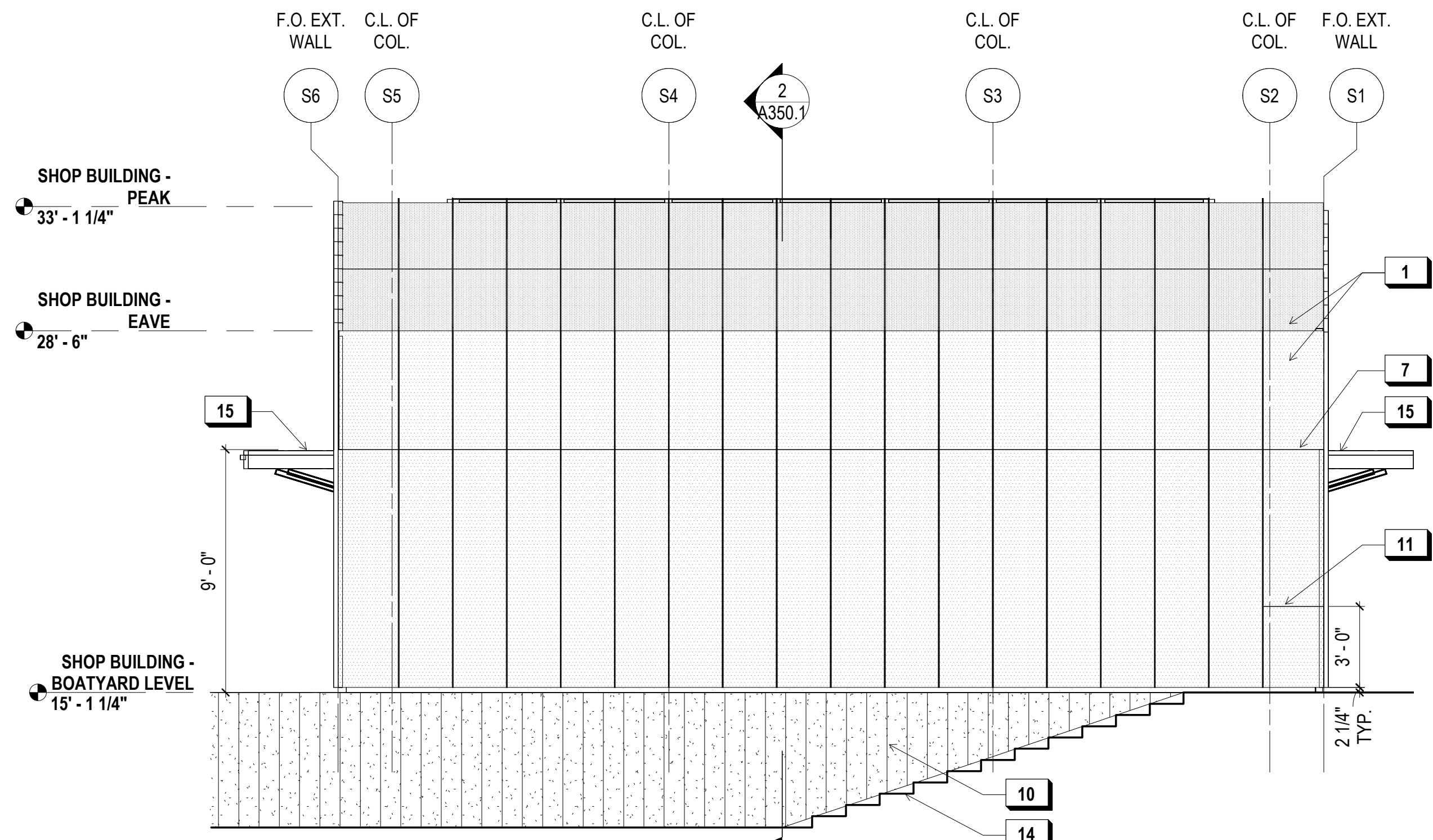
DRAWN BY	JENSEN	CHECKED BY	
DATE	7/01/2021	GGN PROJECT #	1608

**SHOP BUILDING - EXT.  
ELEVATIONS**

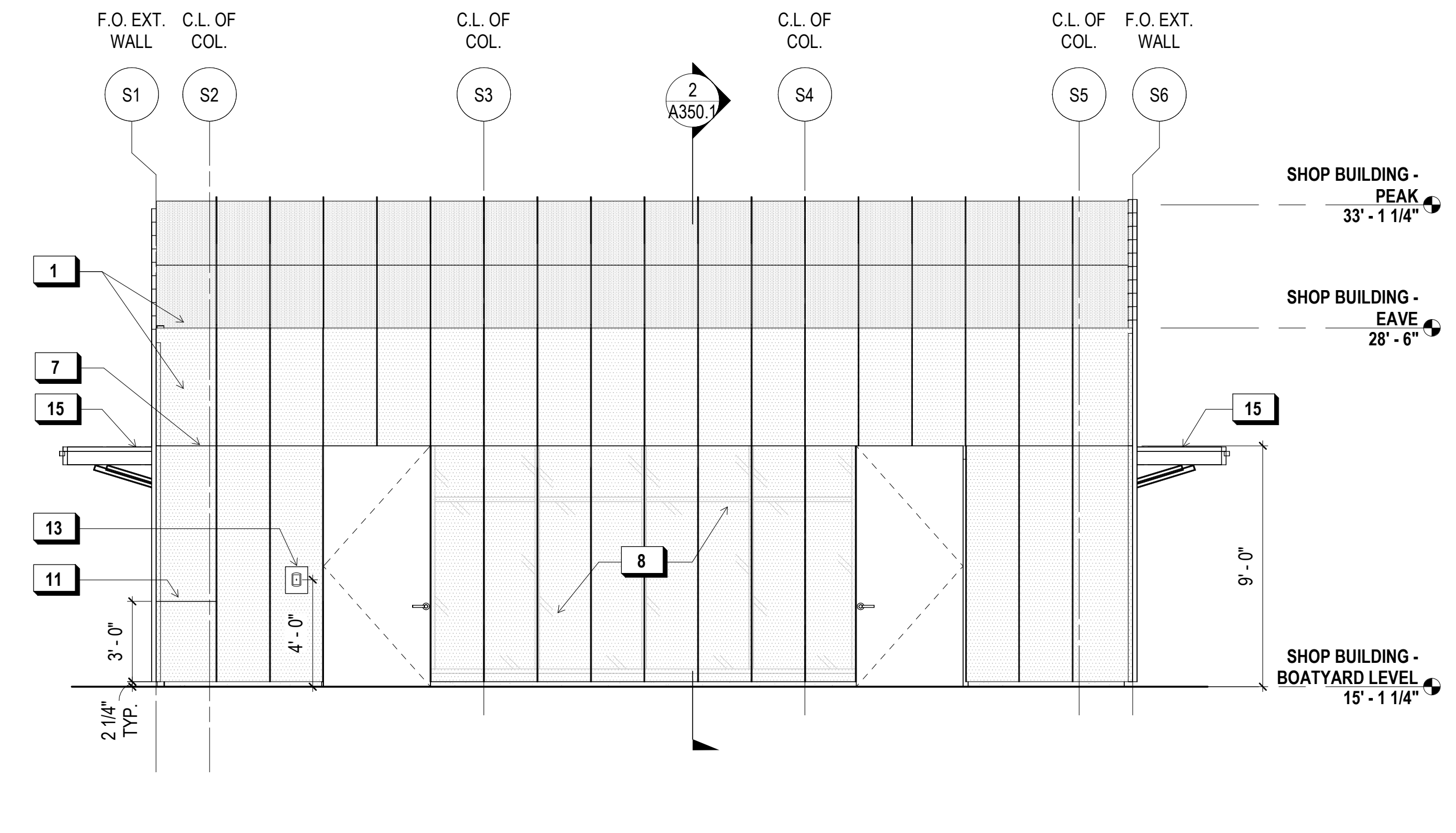
**A340.1**

**KEY NOTES:**

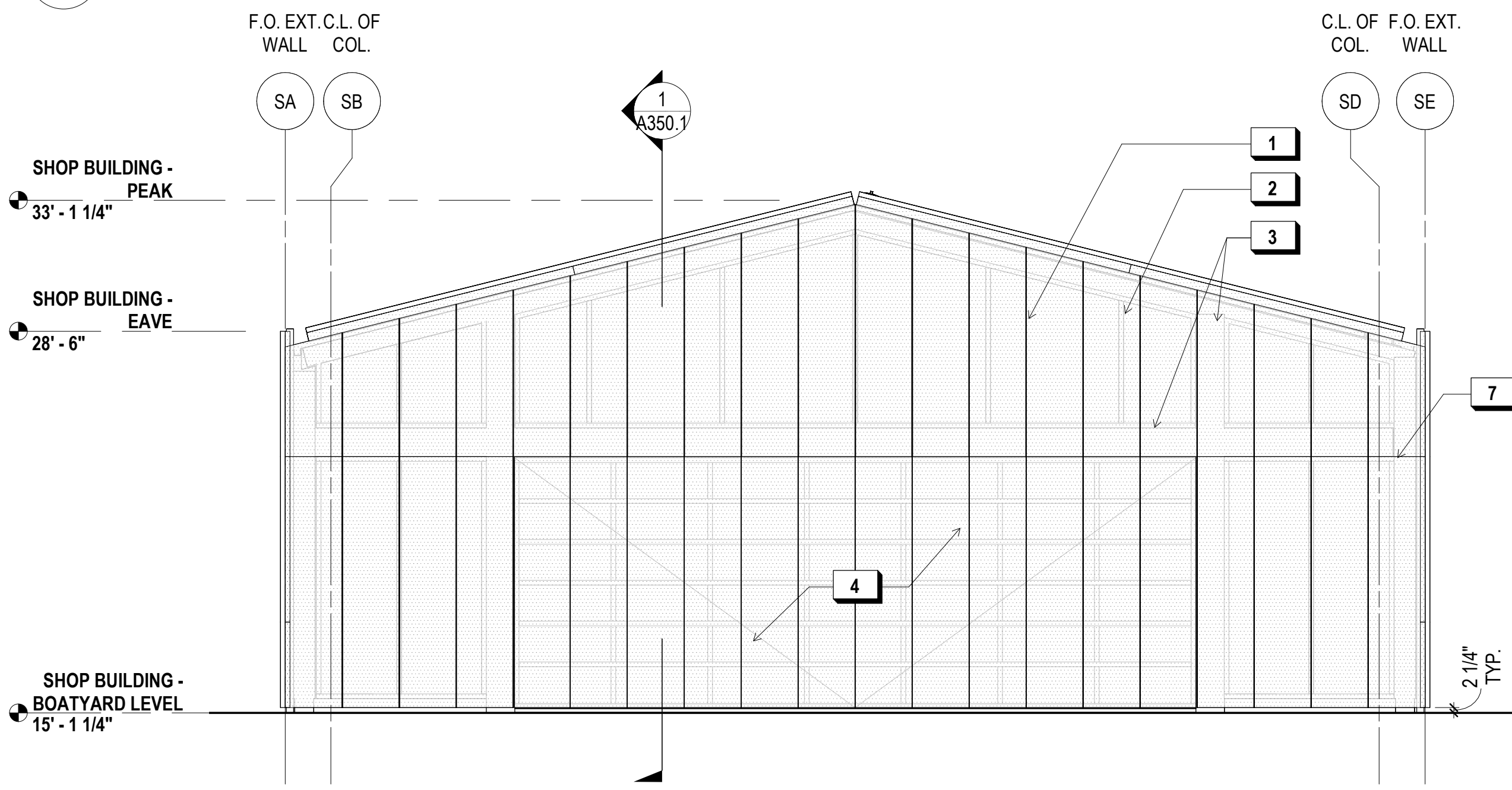
- PERF. METAL PANEL @ WALL & ROOF, TYP.
- LINE OF STOREFRONT BEYOND
- LINE OF STRUCTURE BEYOND
- OVERHEAD PERF METAL PANEL OVER ALUM. & GLASS GARAGE DOOR
- SINGLE-LEAF OPERABLE OVERHEAD ALUM. & GLASS GARAGE DOOR
- ALUM. STOREFRONT SYSTEM
- HORIZONTAL PANEL JOINT
- PERF. METAL PANEL OVER ALUM. STOREFRONT SYSTEM
- BOARD FORMED CONC. FINISH
- HATCH FOR D.S. CLEANOUT ACCESS
- SECURITY CAMERA
- RECESSED SOLID MTL. PANEL, FIN. TO MATCH PERF. PANELS. PROVIDE CARD READER AND SIGNAGE: 'DOOR TO REMAIN OPEN DURING NORMAL BUSINESS HOURS.'
- LANDSCAPE STAIR, S.L.D.
- O.H. GARAGE DR. (OPEN POSITION)



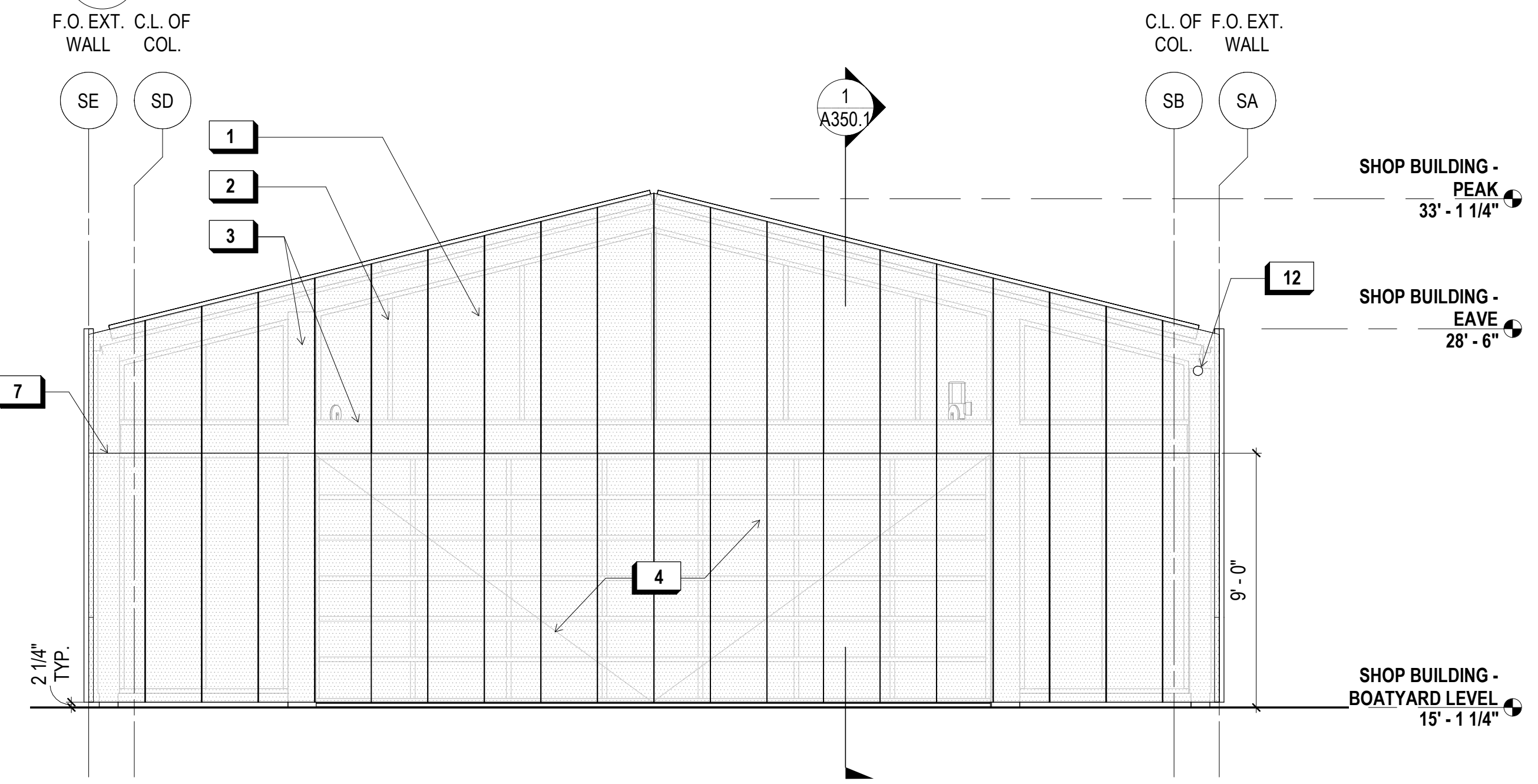
**4 SHOP BUILDING - NORTH ELEVATION**  
1/4" = 1'-0"



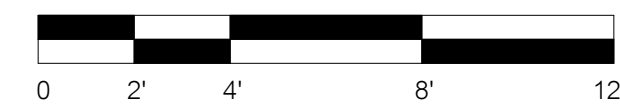
**3 SHOP BUILDING - SOUTH ELEVATION**  
1/4" = 1'-0"



**2 SHOP BUILDING - WEST ELEVATION**  
1/4" = 1'-0"



**1 SHOP BUILDING - EAST ELEVATION**  
1/4" = 1'-0"





**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
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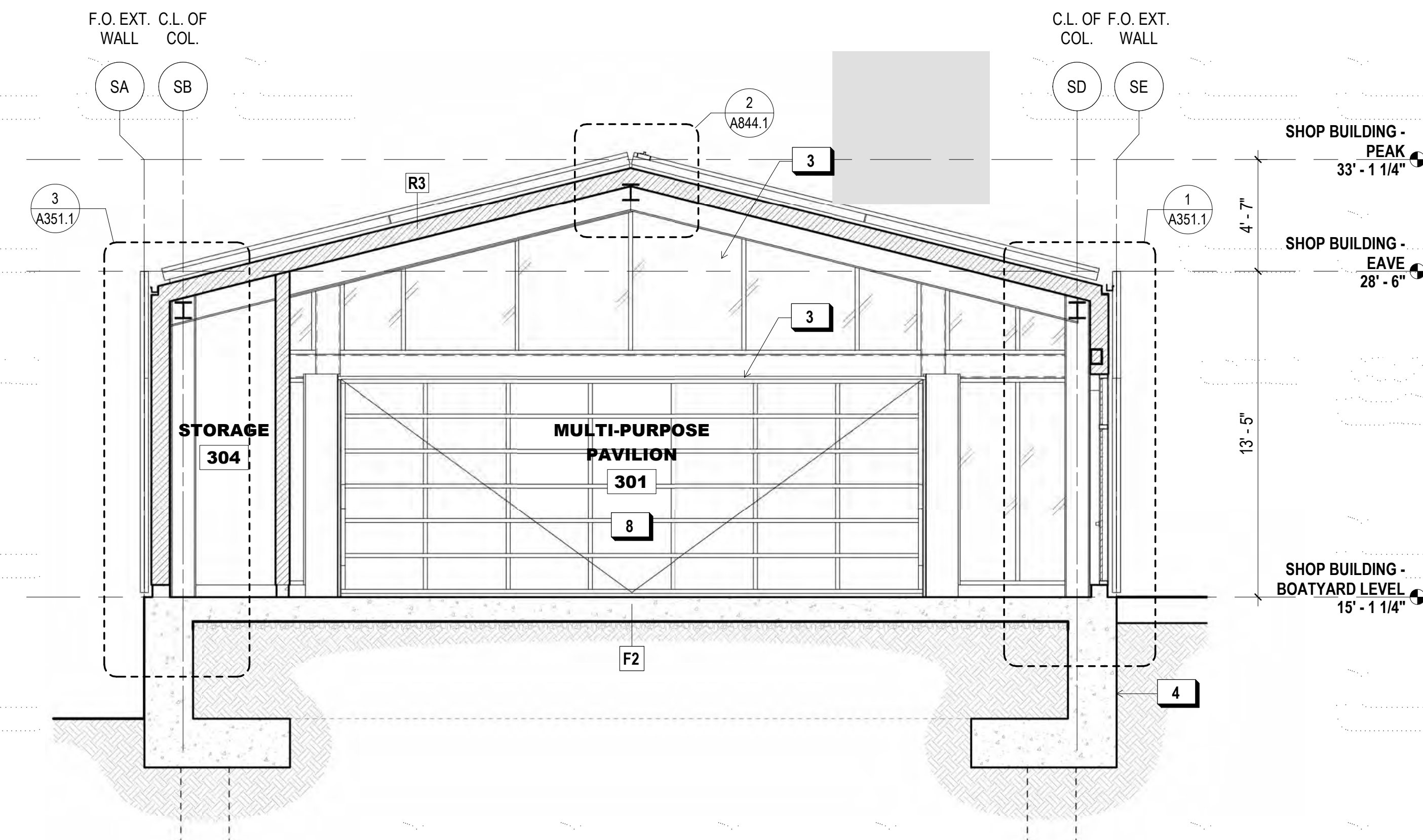
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**SHEET NOTES:**

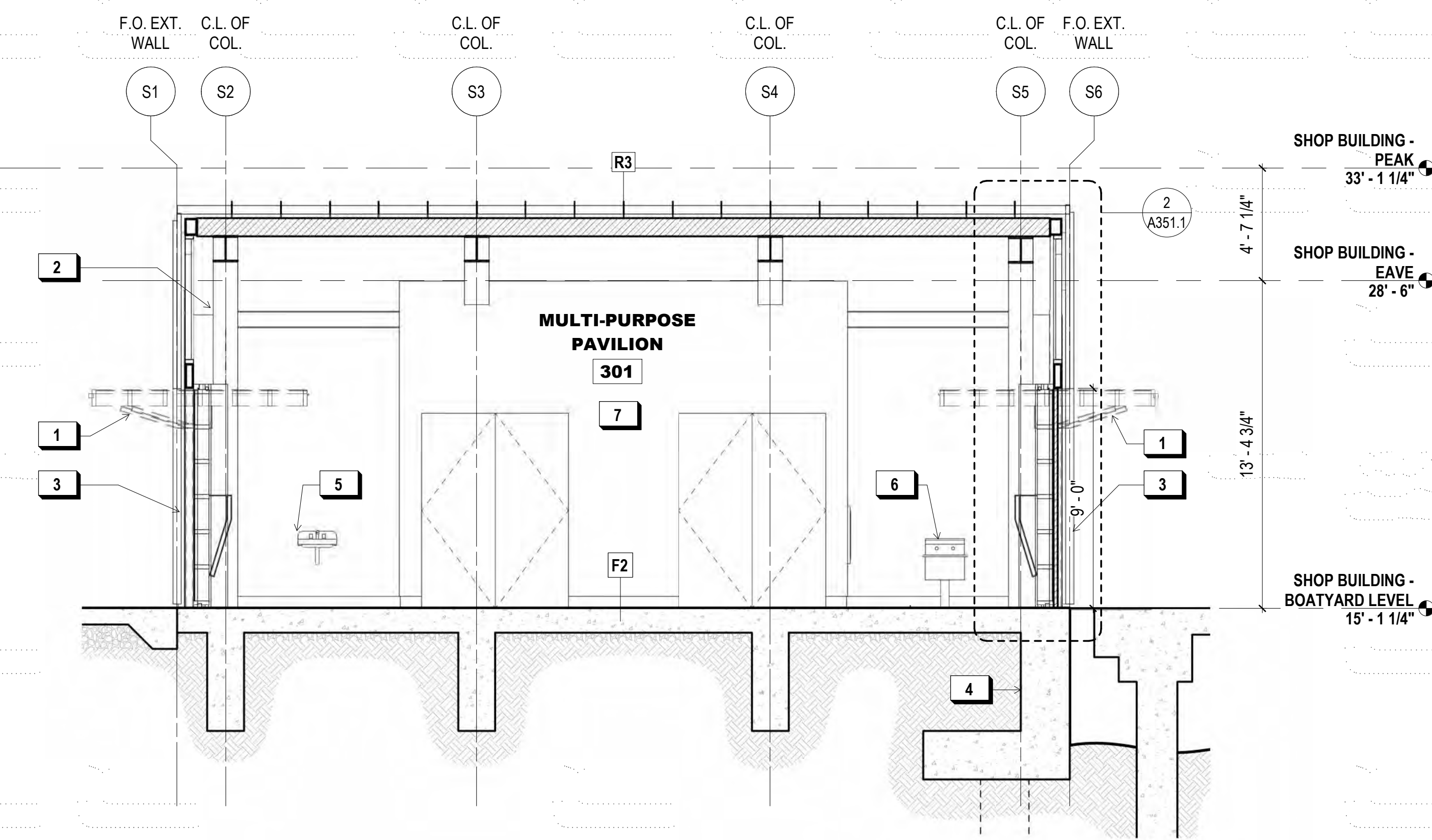
- SEE SHEET A811.1 FOR FLOOR AND ROOF ASSEMBLIES.

**KEY NOTES:**

- OVERHEAD GARAGE DOOR (OPEN POSITION)
- ALUM. STOREFRONT SYSTEM
- OVERHEAD GARAGE DOOR (CLOSED POSITION)
- CONC. RETAINING / SEA WALL, SEE COASTAL ENG. DWGS.
- WALL-MTD. SINK, S.P.D.
- MOP SINK, S.P.D.
- UNCONDITIONED PAVILION, INTENDED FOR USE WITH OVERHEAD SECURITY DOORS IN OPEN POSITION

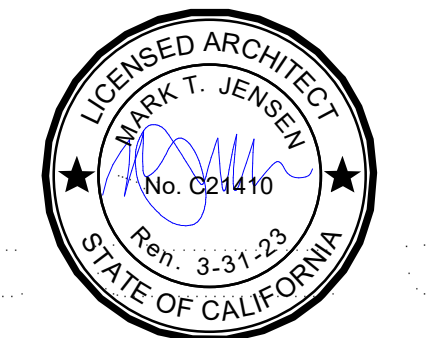
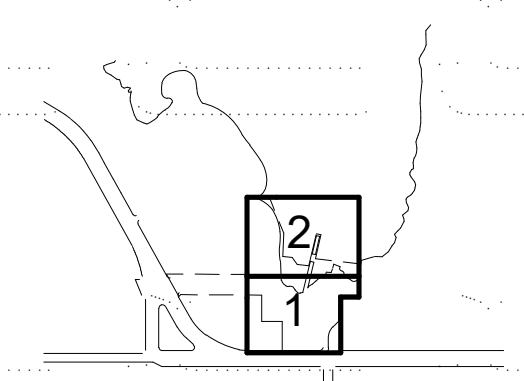


**2 N-S SECTION AT SHOP**  
1/4" = 1'-0"



**1 E-W SECTION AT SHOP**  
1/4" = 1'-0"

KEY PLAN



**REVISIONS:**

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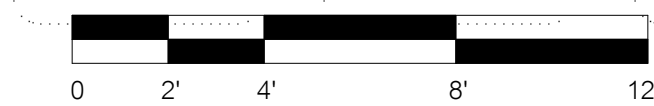
ISSUANCE

BID SET

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

SHOP BUILDING -  
SECTIONS

**A350.1**





**900 INNES  
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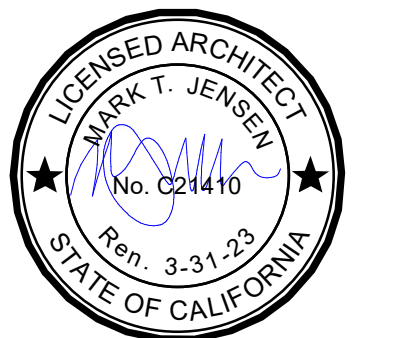
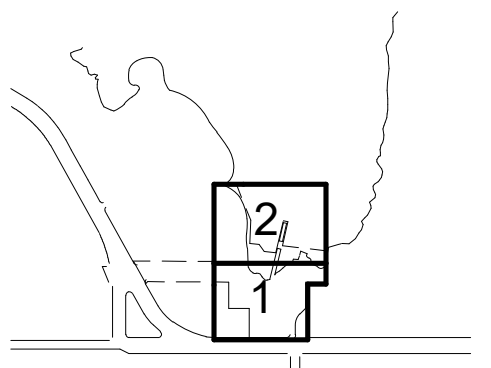
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101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014



PRIME CONSULTANT / LANDSCAPE ARCHITECT  
GUSTAFSON GUTHRIE NICHOL  
PH. 206-903-6802  
CIVIL ENGINEER  
SHERWOOD DESIGN ENGINEERS  
PH. 415-348-9650  
ARCHITECT  
JENSEN ARCHITECTS  
PH. 415-348-9650  
ECOLOGICAL RESTORATION  
RANA CREEK  
PH. 831-659-3820  
STRUCTURAL ENGINEER  
JON BRODY STRUCTURAL ENGINEERS  
PH. 415-296-9494  
COASTAL ENGINEER  
MOFFATT AND NICHOL  
PH. 925-944-5411  
LIGHTING  
NITEO CALIFORNIA  
PH. 415-666-2232  
MEP & IT  
INTERFACE ENGINEERING  
PH. 415-489-7240  
GEOTECHNICAL ENGINEER  
AGS, INC  
PH. 415-957-9240  
SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

FOR OFFICIAL USE

KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

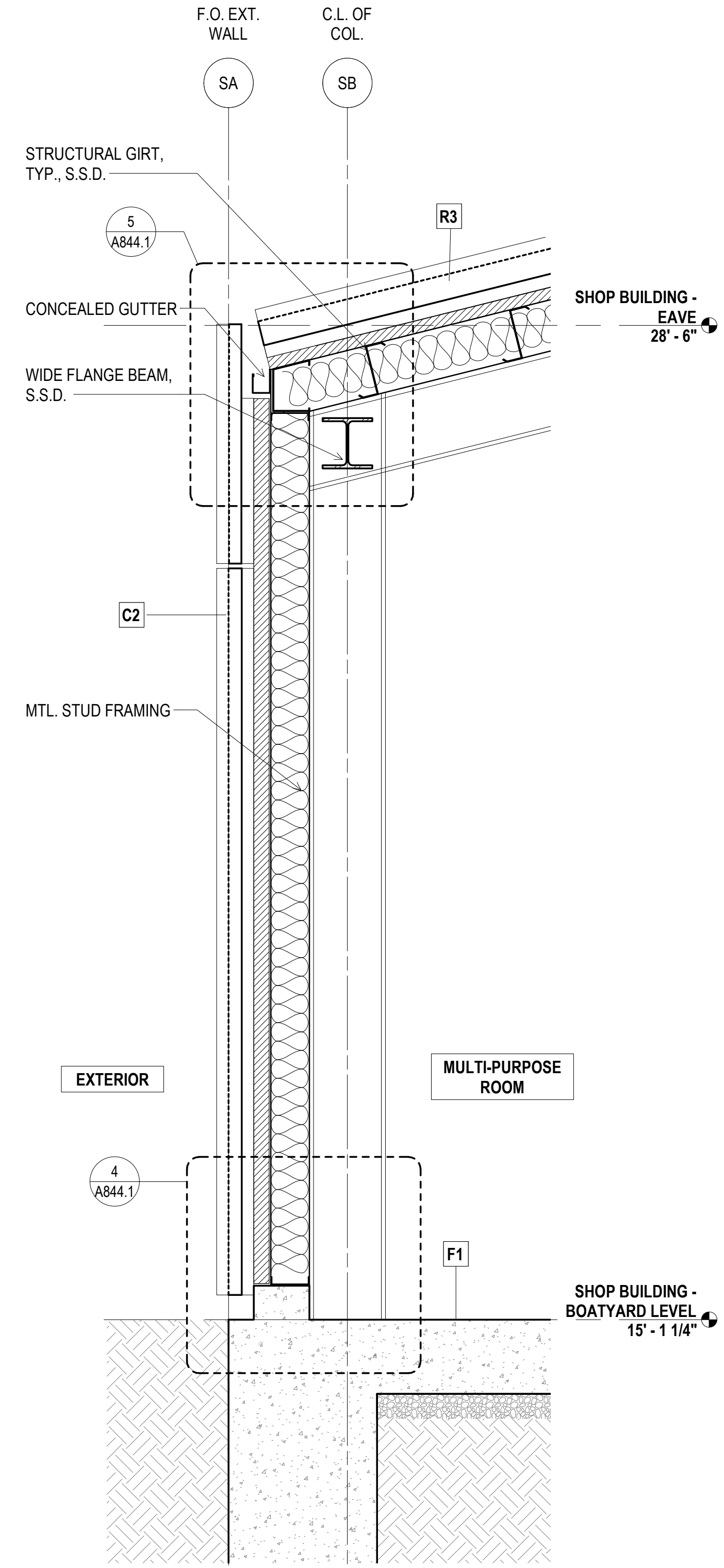
ISSUANCE

**BID SET**

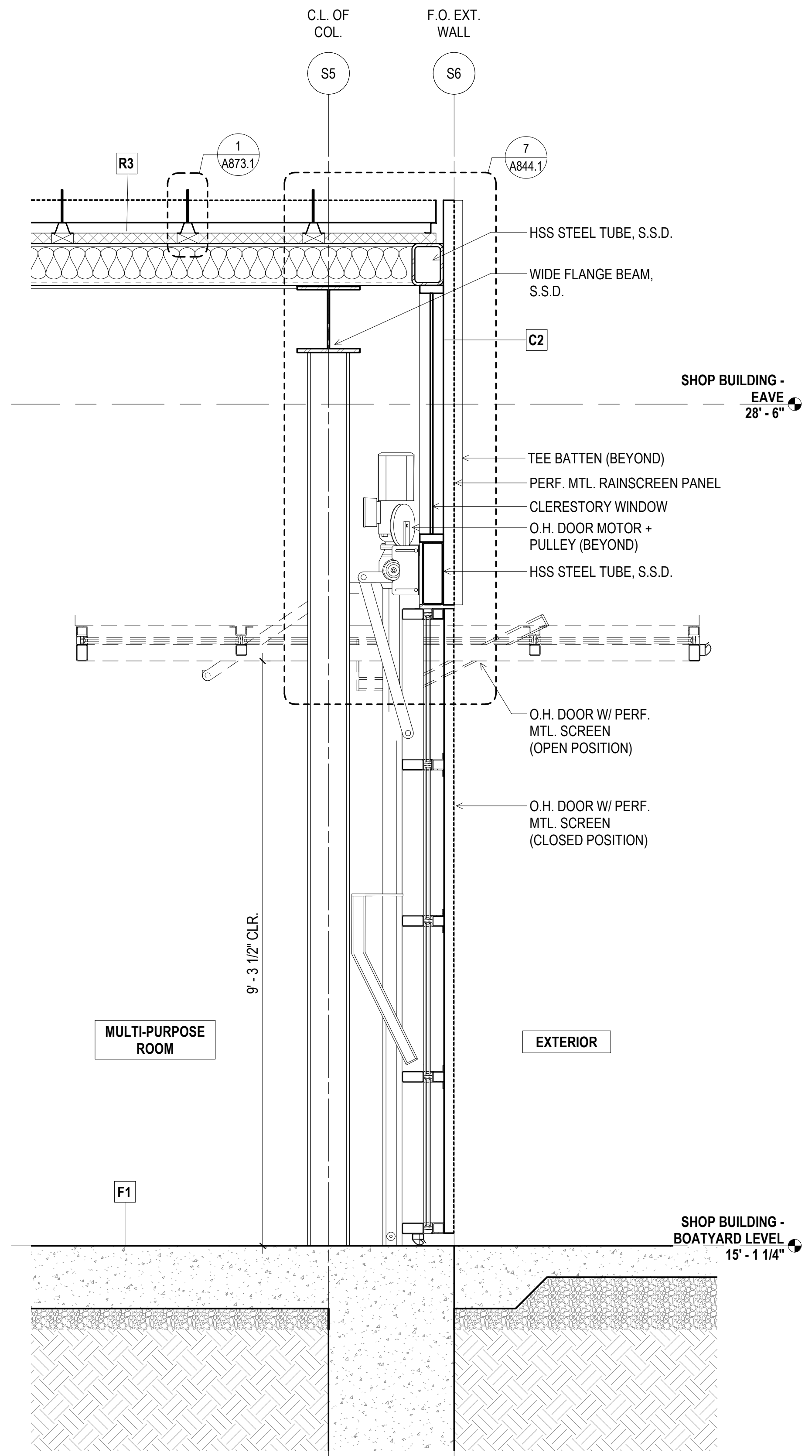
DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**SHOP BUILDING - WALL  
SECTIONS**

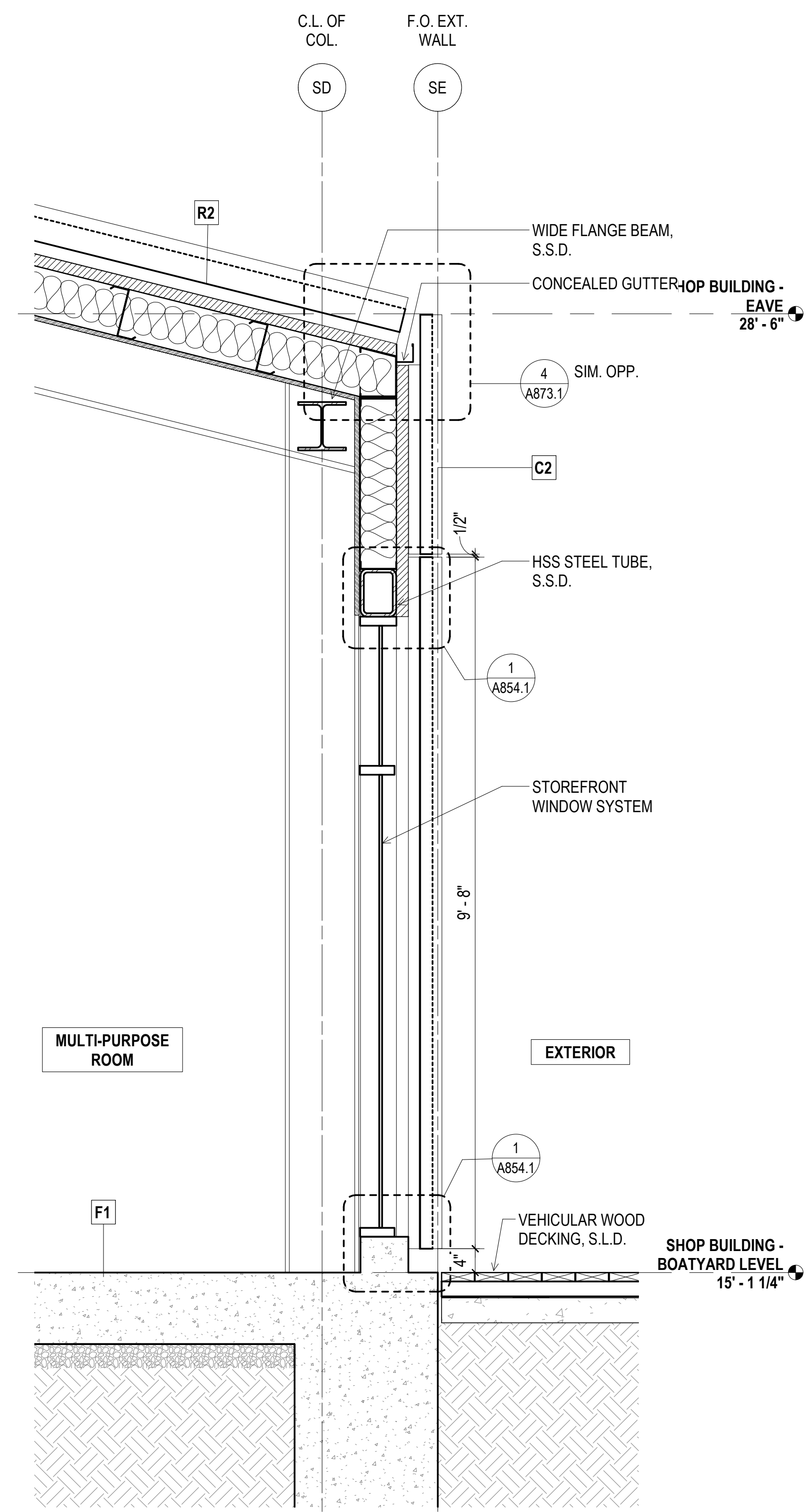
**A351.1**



**3 WALL SECTION - COL. LINE SA-SB**  
3/4" = 1'-0"



**2 WALL SECTION - COL. LINE S5 - S6**  
3/4" = 1'-0"



**1 WALL SECTION - COL. LINE SD - SE**  
3/4" = 1'-0"



**900 INNES  
PARK DEVELOPMENT**

CITY AND COUNTY OF SAN FRANCISCO  
RECREATION AND PARKS DEPARTMENT  
30 VAN NESS AVENUE  
SAN FRANCISCO, CA 94102  
PH. 415-831-2700



THE TRUST FOR PUBLIC LAND  
101 MONTGOMERY STREET  
SUITE 900  
SAN FRANCISCO, CA 94104  
PH. 415-495-4014



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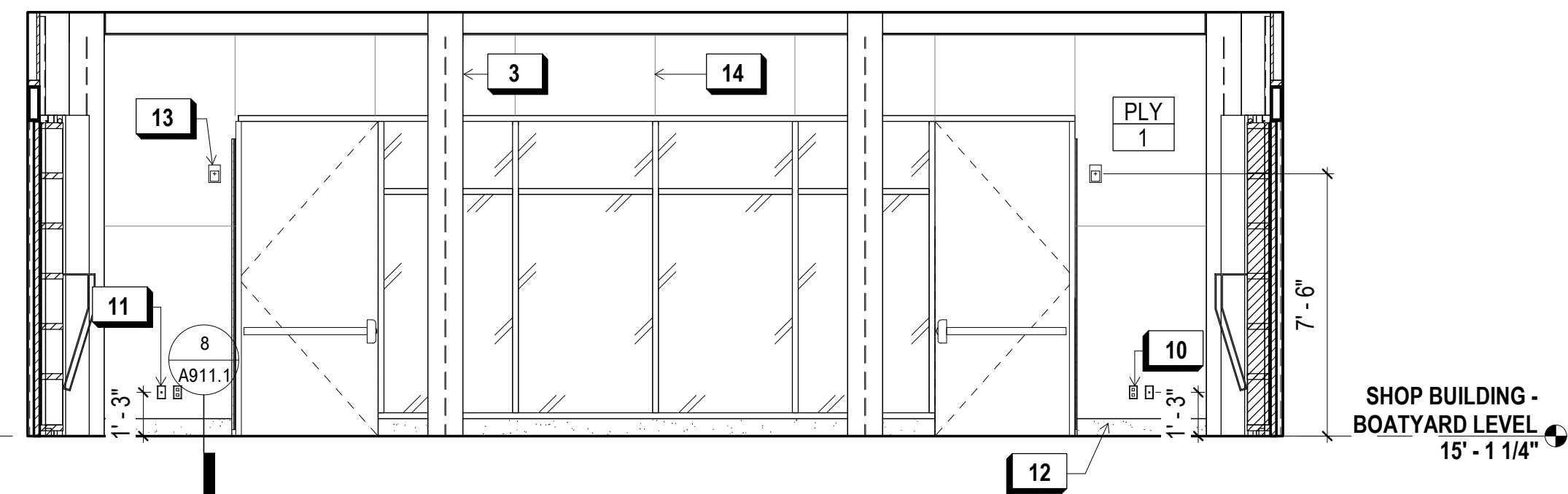
SECURITY CONSULTANT  
ZBETA CONSULTING  
PH. 415-259-0422

**SHEET NOTES:**

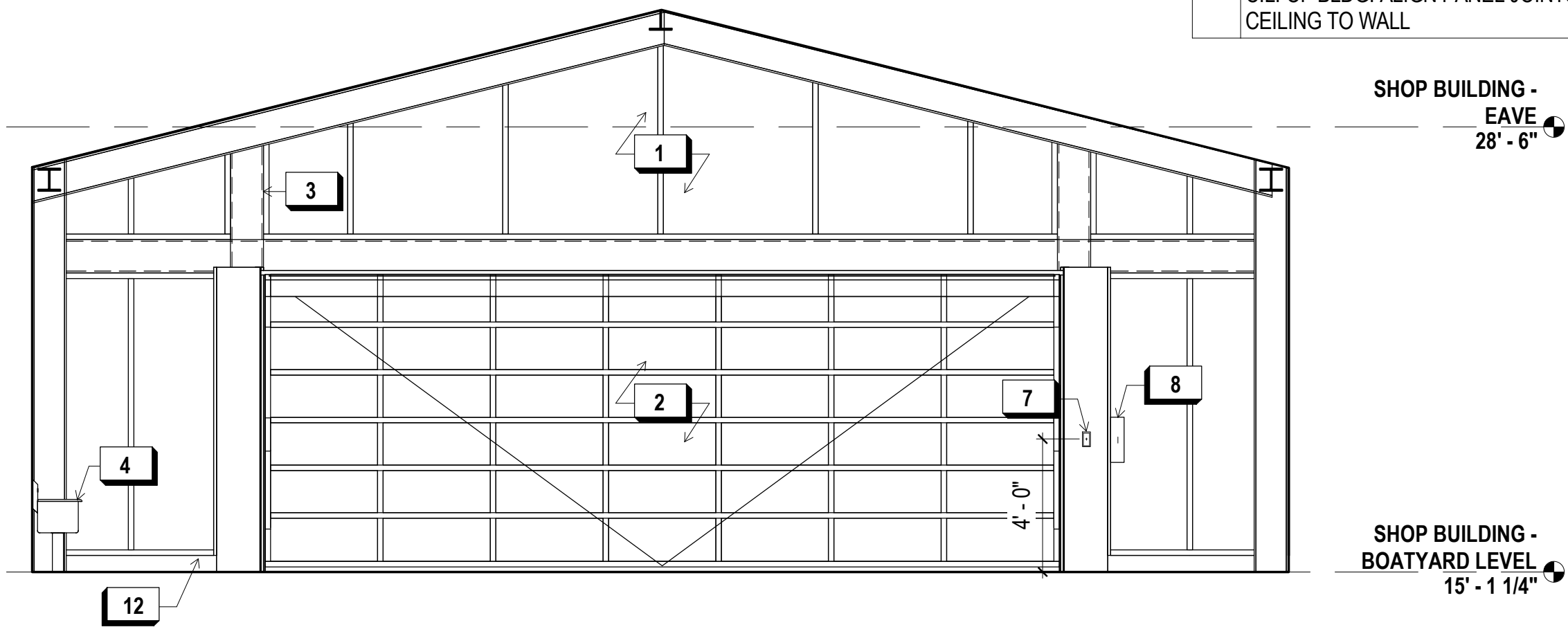
1. SEE LIGHTING DESIGNER DRAWINGS AND ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT
2. SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE
3. SEE FINISH FLOOR PLANS OR PROPOSED FLOOR PLANS FOR FINISH SCHEDULE

**X KEY NOTES:**

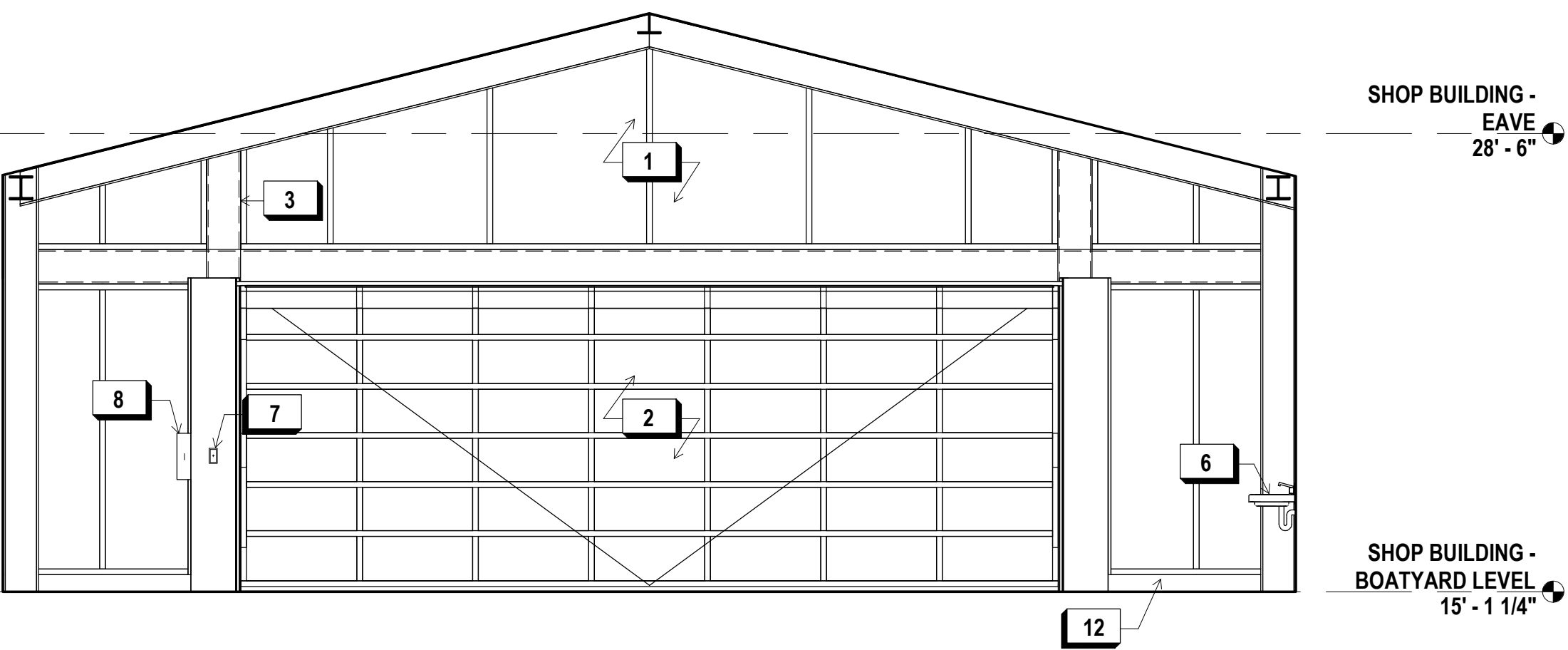
- 1 ALUM. FRAMED CLERESTORY WINDOW
- 2 OVERHEAD DOOR (CLOSED POSITION)
- 3 STEEL STRUCT. FRAME- S.S.D.
- 4 MOP SINK
- 5 HOSE BIBB
- 6 ACCESSIBLE SINK
- 7 OVERHEAD DOOR CONTROLLER
- 8 OVERHEAD DOOR POWER BOX, S.E.D.
- 9 LIGHT SWITCH
- 10 WALL OUTLET
- 11 DATA CONNECTION
- 12 CONCRETE CURB
- 13 MOTION DETECTOR, WALL MTD.
- 14 PLYWOOD PANEL JOINT, TYP. PROVIDE 48" WIDE PANELS TYP., CENTER MODULE @ C.L. OF BLDG. ALIGN PANEL JOINTS FROM CEILING TO WALL



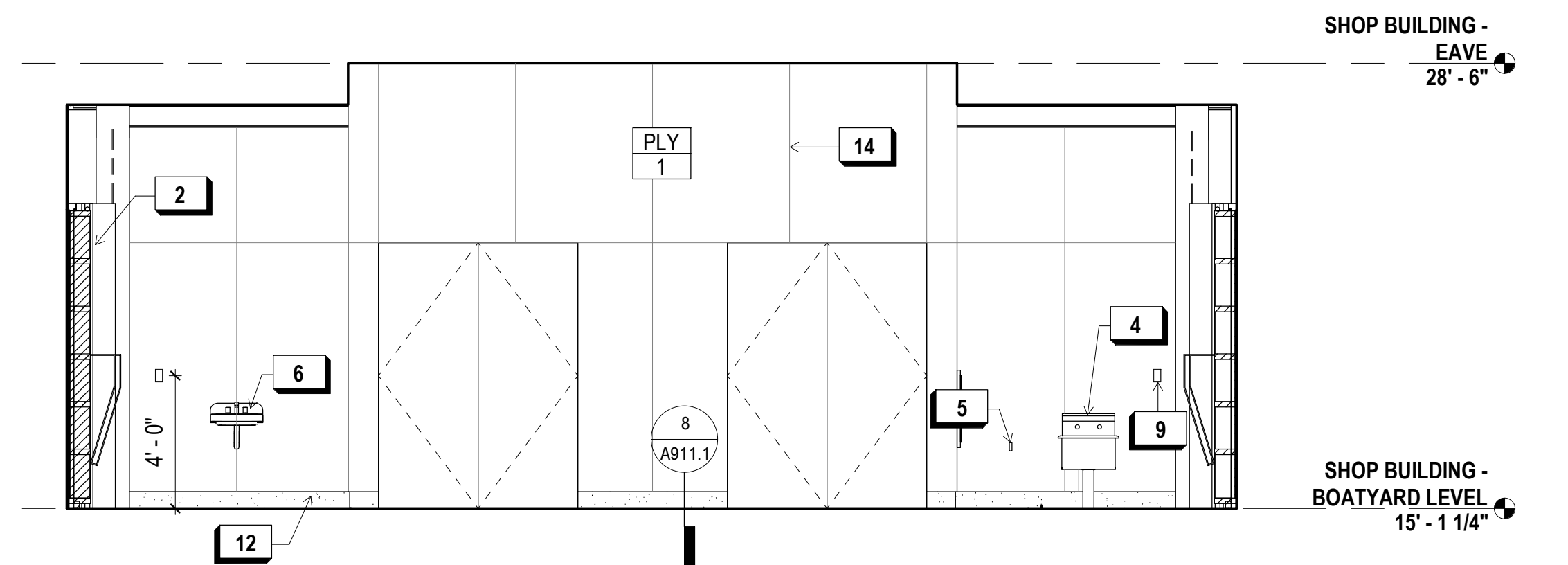
**4 NORTH ELEVATION**  
1/4" = 1'-0"



**3 EAST ELEVATION**  
1/4" = 1'-0"



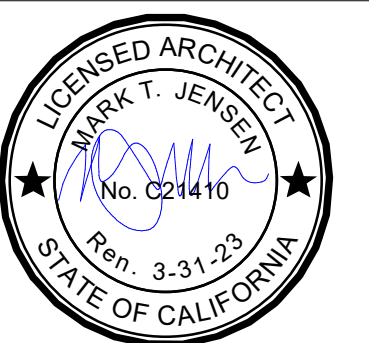
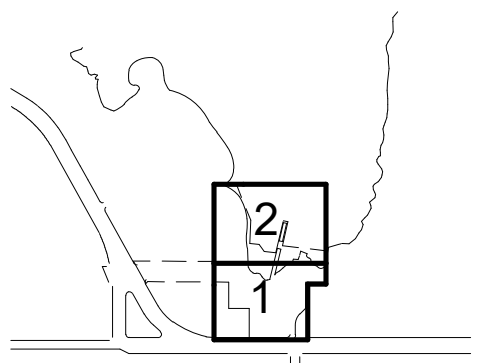
**2 WEST ELEVATION**  
1/4" = 1'-0"



**1 SOUTH ELEVATION**  
1/4" = 1'-0"

FOR OFFICIAL USE

KEY PLAN



**REVISIONS:**

NO.	DATE	DESCRIPTION

ISSUANCE

BID SET

DRAWN BY JENSEN	CHECKED BY
DATE 7/01/2021	GGN PROJECT # 1608

**SHOP BUILDING -  
INTERIOR ELEVATIONS**

**A360.1**

