



Castro Mission Health Center Seismic Upgrade

Amendments to Approved CDR Phase 2 Design Following Input by Historic Preservation

July 17th 2018

Castro Mission Health Center Design Approach

Project Background

Castro Mission Health Center is a 15,000 square foot, two-story concrete frame building completed in 1964. The building was designed by the Bureau of Architecture at the San Francisco Department of Public Works. It is the only public health clinic serving the Castro and parts of the Mission neighborhoods. In 2014, MEI Architects were engaged by DPW to help modernize the provision of healthcare at the facility.

Structural analysis undertaken as part of that modernization effort has revealed that the building is unlikely to maintain life safety in a major seismic event. To remedy this, approximately one hundred linear feet of the façade must be covered with concrete shear walls. There is no other feasible solution except to raze the building and construct a new one in it's place.

Civic Design Review Phase 2 Approved Façade Treatment

The addition of these concrete shear walls necessitates the coverage of a significant portion of the building. Care was taken to limit the shear walls to areas of the building which do not currently feature fenestration – instead covering only embedded decorative pilasters and earth toned CMU block.

The existing facade suffers from a lack of a cohesive organizational concept – columns and pilasters are unevenly spaced and do not have a strong logic to their placement. In designing the form and patterning of the concrete shear walls, the approach was to take the dominant cue from the existing façade – the horizontal banding – and carry it across into the new cast in place concrete. To this end, the proposed elevations show horizontal control joints aligned with the major elements of the retained existing façade – sill and head heights, as well as steps in the spandrel band itself. Vertical punctuation was to be by score lines, aligned with the existing pilasters and the retained breaks in the cornice. Additional horizontal banding between the major datums further emphasizes the horizontality of the overall building.

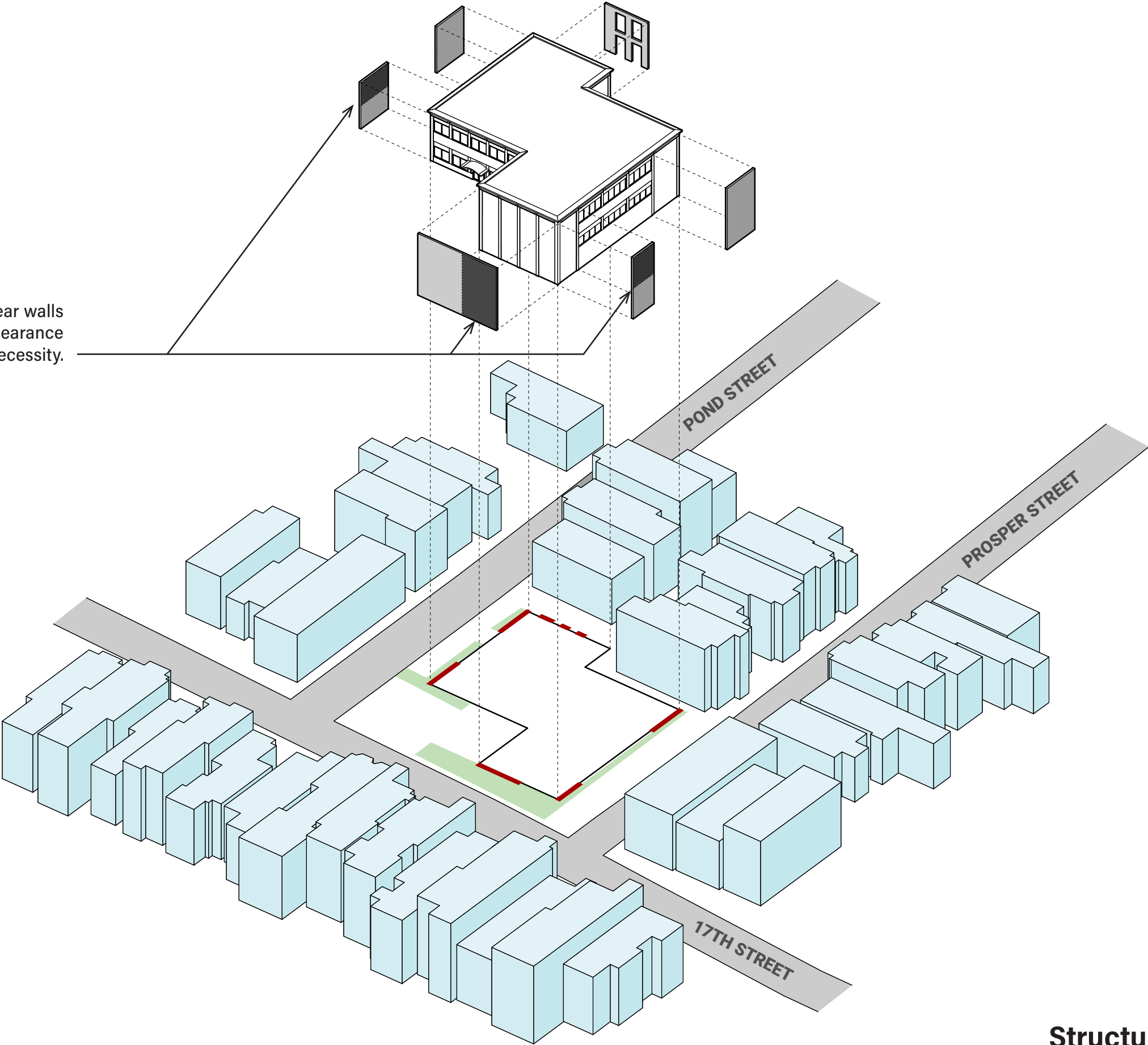
The blockwork spandrel band between the first and second floors is damaged; a repair which is indistinguishable from the existing is not technically feasible. The design team's proposed solution is to repair any voids and and cover the entire band with a cement plaster skimcoat. Integral color would provide a uniform appearance and avoid the maintenance issues posed by flaking paint.

Design Changes in Response to Historic Preservation Comments

In place of the more subtle and streamlined shear walls, the design in response to the comments from historic preservation entails the recreation of the existing pilasters in the new shear walls, mimicing both the width and depth of the existing. Horizontal control joints are fewer in number, but still align with the window sill and head datum.

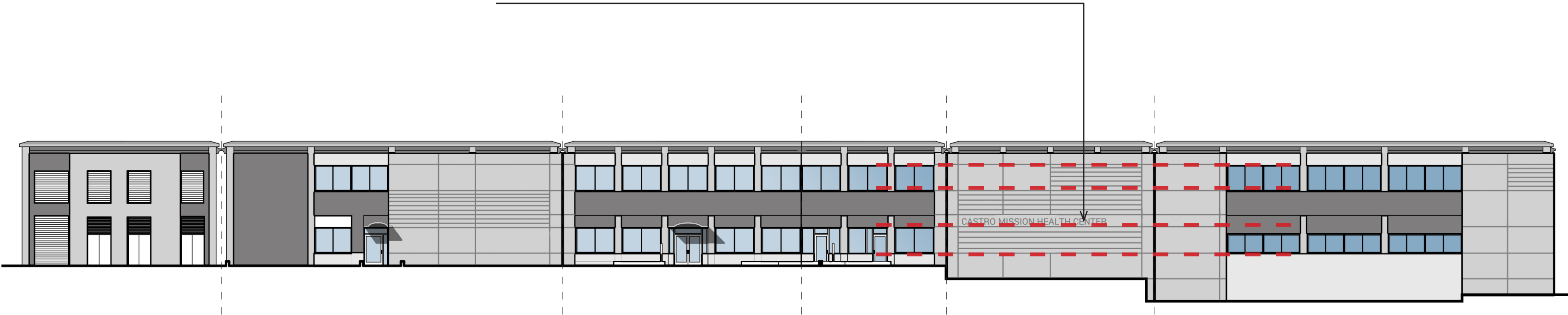
At the existing CMU spandrel bands, it is not technically possible to recreate score lines in the proposed skim coat to mimic CMU patterning. Therefore, the smooth skim coat approach approved at CDR Phase 2 is preferred.

Hatch indicates areas where shear walls are extended for consistency of appearance rather than strict structural necessity.



Structural Upgrade Overview

The design intent of the previously proposed elevation treatment is to emphasize the horizontality of the existing facade in the new shear walls.



CDR Phase 2 Approved Elevation Treatment (unrolled)



Integral Color Cement Plaster



Elastomeric Paint



New CIP Concrete



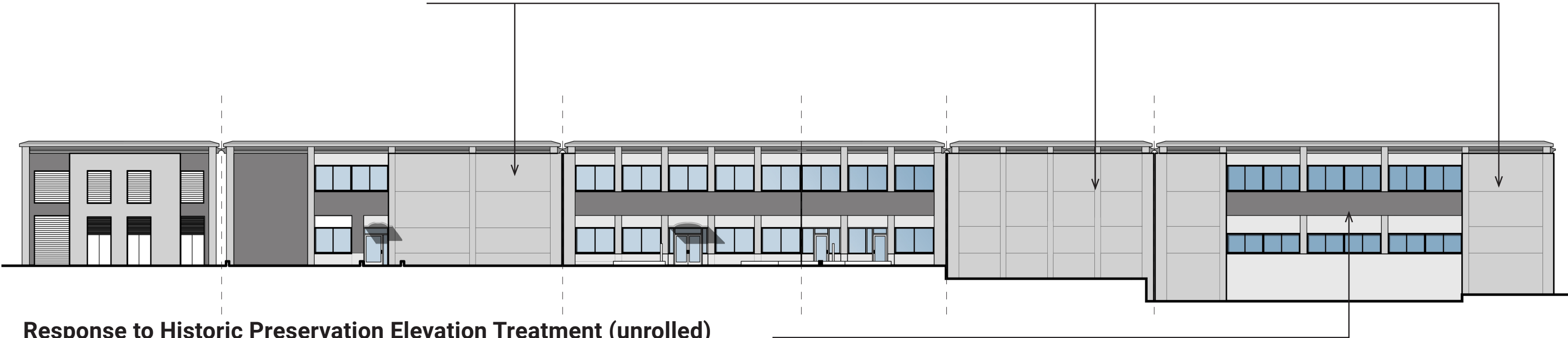
Existing Concrete, cleaned



New Blinds & Signage

Unwrapped Elevation Study

A response to historic preservation recreates the pilasters in front of the new shear walls. Horizontal control joints mimic the existing banding of the building.



Response to Historic Preservation Elevation Treatment (unrolled)

The remainder of the facade, excepting the glazed areas, are to be cleaned, painted, and/or covered with a cement plaster to echo the appearance of the new shear walls.



Integral Color Cement Plaster



Elastomeric Paint

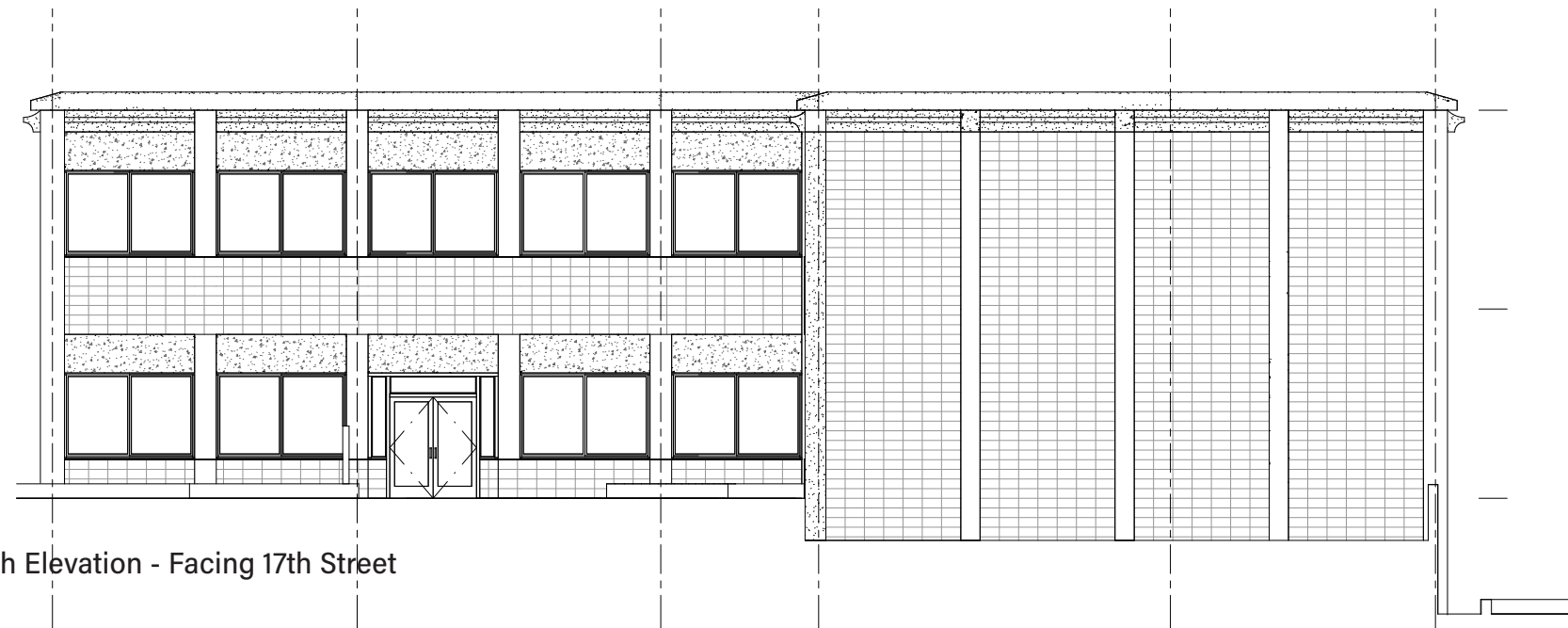


New CIP Concrete



Existing Concrete, cleaned

Unwrapped Elevation Study



Existing South Elevation - Facing 17th Street



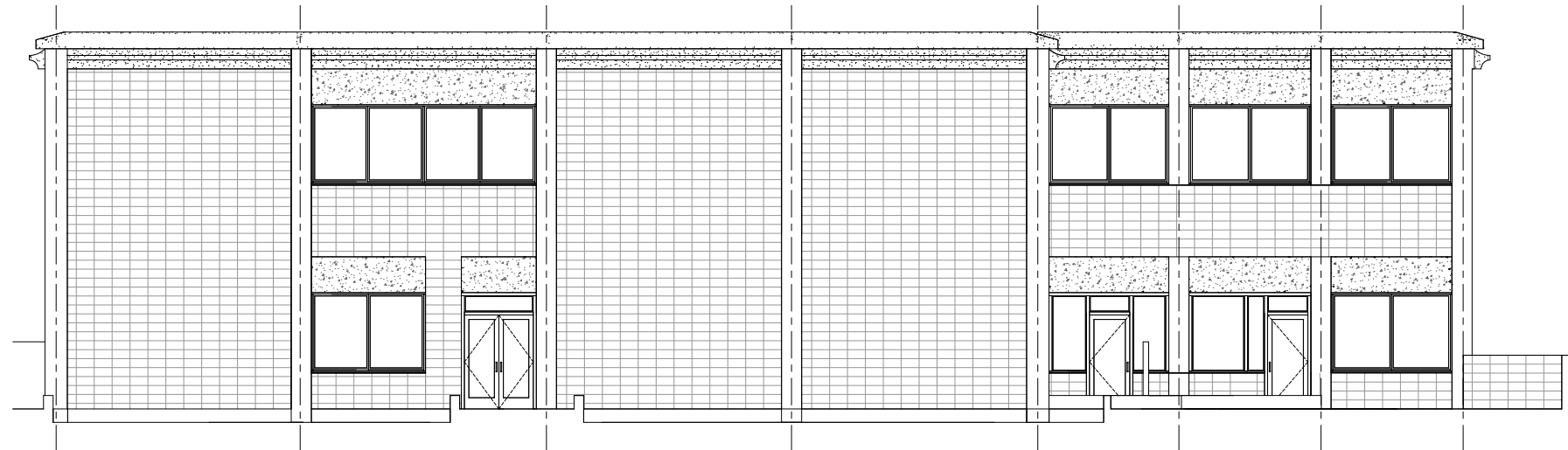
CDR Phase 2 Approved South Elevation - Facing 17th Street



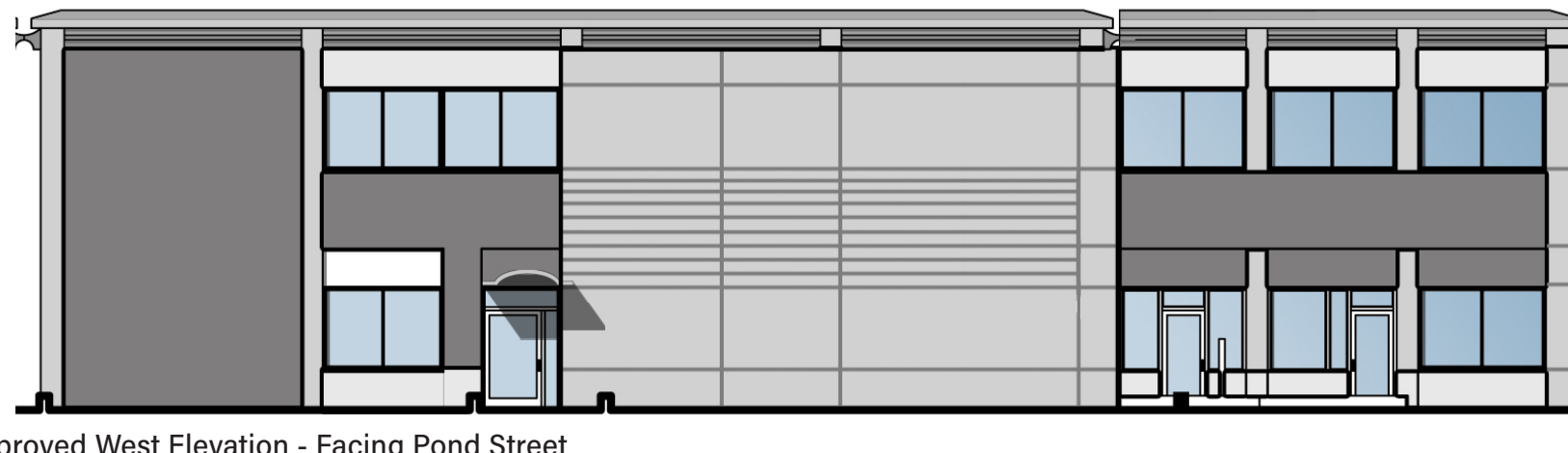
Response to Historic Preservation South Elevation - Facing 17th Street



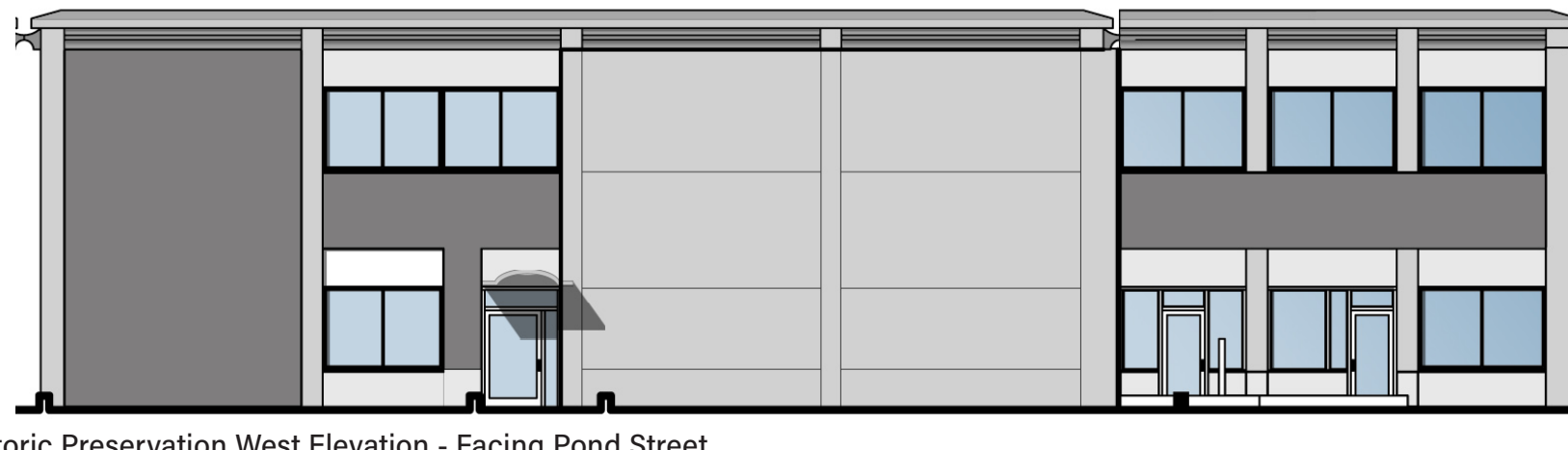
Elevation Comparison



Existing West Elevation - Facing Pond Street



CDR Phase 2 Approved West Elevation - Facing Pond Street

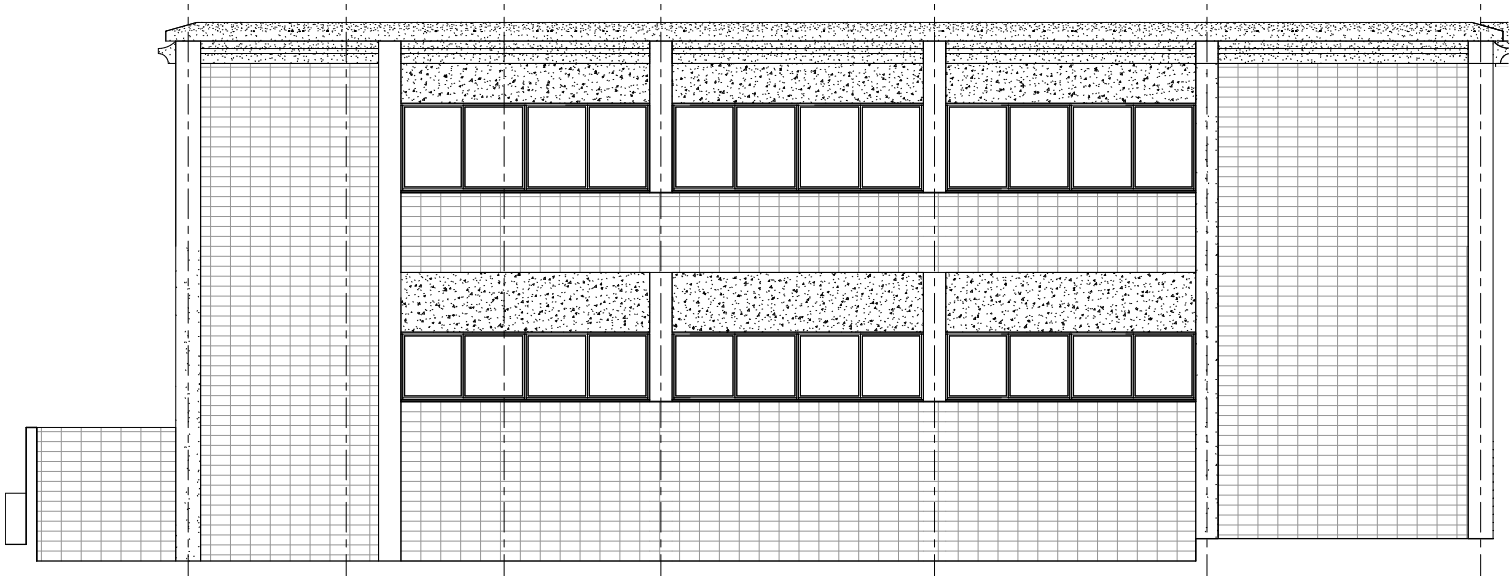


Response to Historic Preservation West Elevation - Facing Pond Street



Before - After Elevation Comparison

Existing East Elevation
- Facing Prosper Street



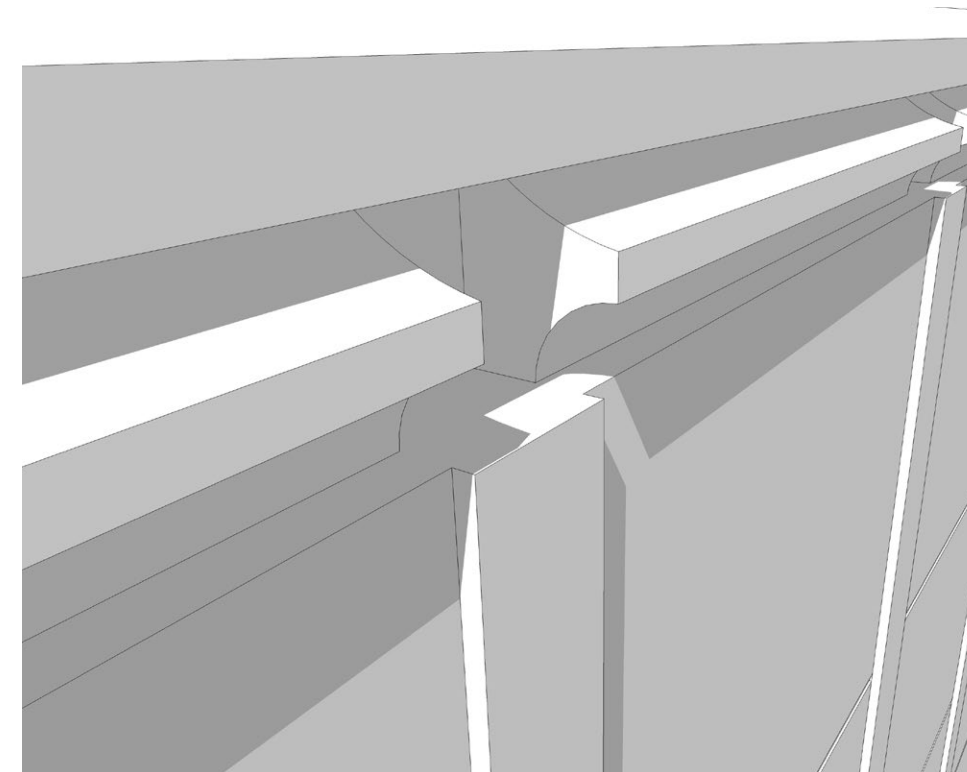
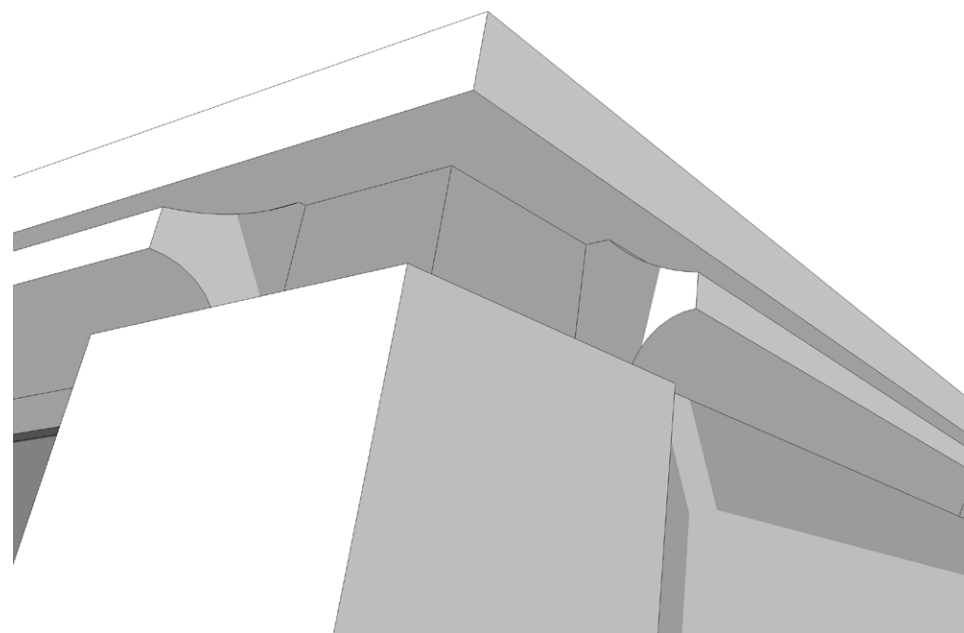
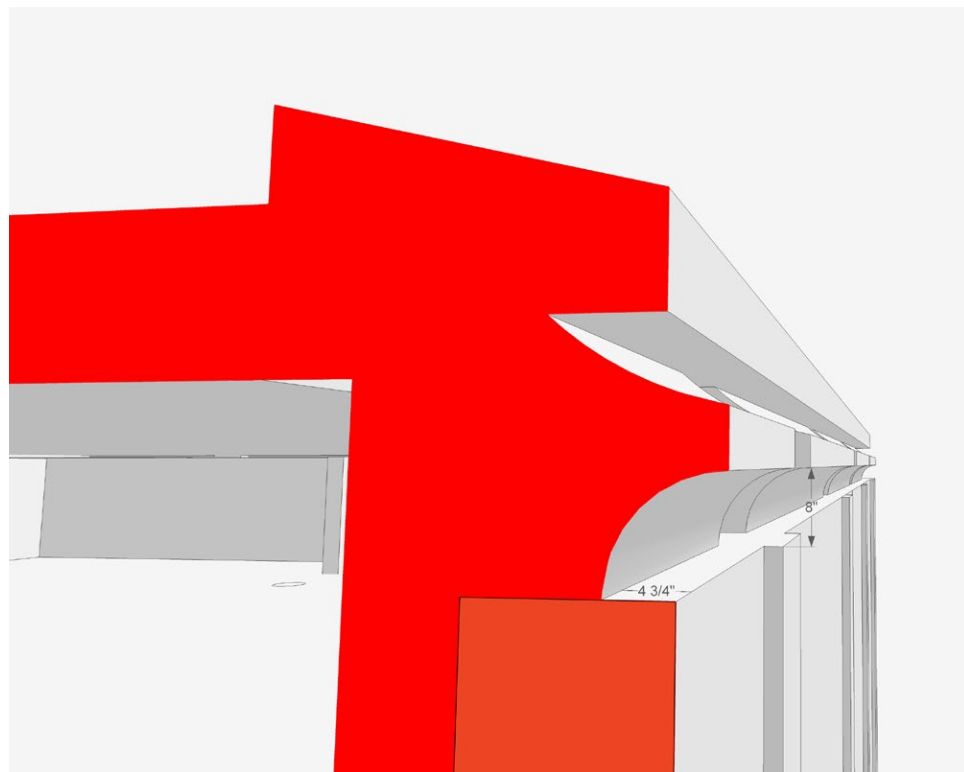
CDR Phase 2 Approved East Elevation
- Facing Prosper Street



Response to Historic Preservation Elevation
- Facing Prosper Street



Before - After Elevation Comparison



New pilasters project 2" from face of new shear wall. This matches the projection of the current pilasters from the face of the existing CMU.

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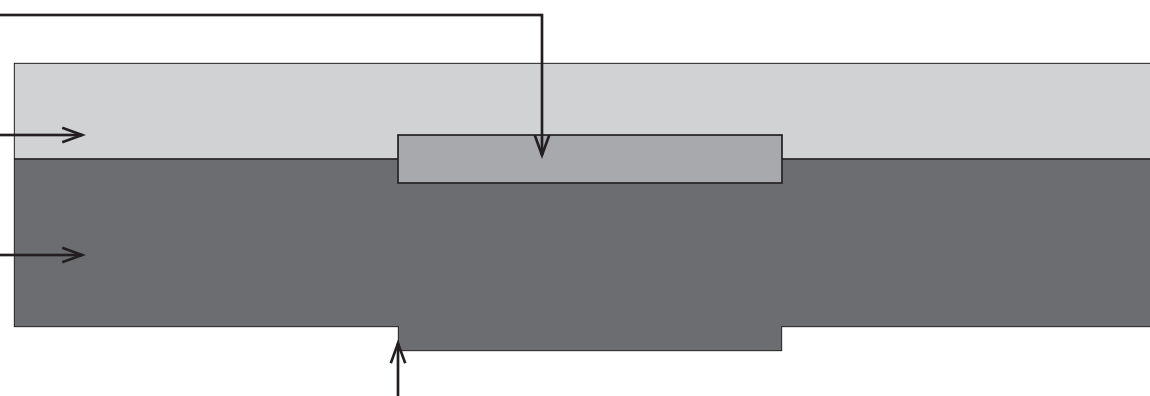
(E) Concrete Pilaster

(E) CMU Block

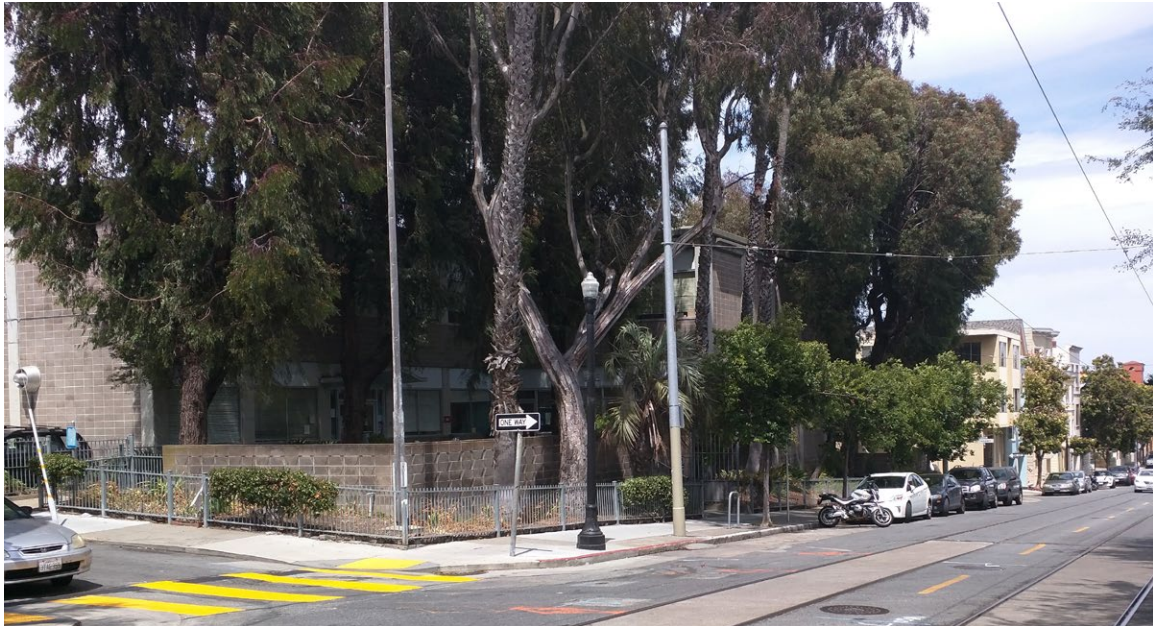
(N) 14" Cast In Place Concrete

(N) 2" Projection

Plan Detail



Cornice Detail in Response to Historic Preservation Comments



CDR Phase 2 Approved Design



Response to Historic Preservation

Not Shown: 4 no. Trees At Curb Along 17th Street

Perspective With Indicative Landscaping - Pond Street





CDR Phase 2 Approved Design



Response to Historic Preservation

Not Shown: 4 no. Trees At Curb Along 17th Street

Perspective With Indicative Landscaping - Prosper Street





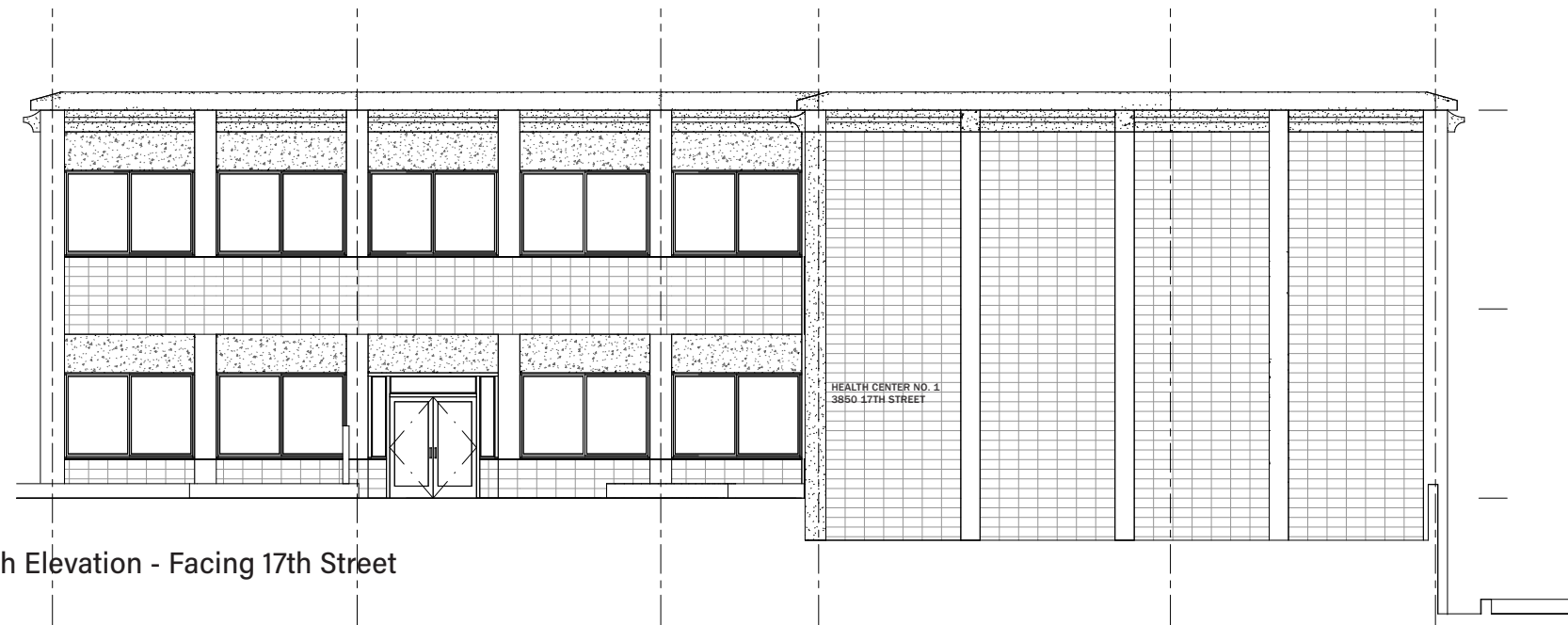
CDR Phase 2 Approved Design



Response to Historic Preservation

Not Shown: 4 no. Trees At Curb Along 17th Street

Perspective With Indicative Landscaping - Prosper Street



Existing South Elevation - Facing 17th Street



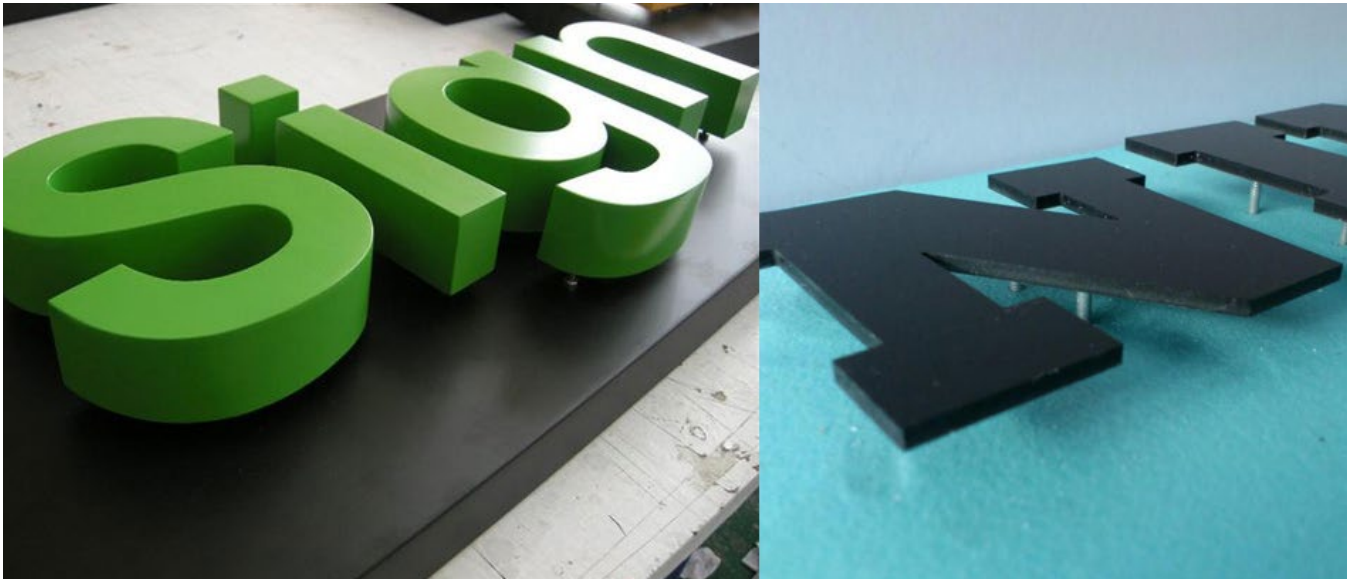
Signage Study - 4 1/2" Lettering



Signage Study - 9" Lettering

Signage Elevation Comparison





Existing Signage



Replacement Signage Intent



Elevation Comparison



Signage Study - 4 1/2" Lettering



Signage Study - 9" Lettering

Not Shown: 4 no. Trees At Curb Along 17th Street

Perspective With Indicative Landscaping - Prosper Street



Thank You