





**BOARD OF APPEALS**

Date Filed:

**JUN 06 2019**

**APPEAL #**

19-0601

**CITY & COUNTY OF SAN FRANCISCO  
BOARD OF APPEALS**

**PRELIMINARY STATEMENT OF APPEAL**

I / We, **Ben Lewis**, hereby appeal the following departmental action: **ISSUANCE** of **Site Permit 2018/0111/8370** by the **Department of Building Inspection** which was issued or became effective on: **May 24, 2019**, to: **Anton Kalafati**, for the property located at: **208 Noe Street**.

**BRIEFING SCHEDULE:**

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: **July 11, 2019, (no later than three Thursdays prior to the hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible. ML

Respondent's and Other Parties' Briefs are due on or before: **July 25, 2019, (no later than one Thursday prior to hearing date)**, up to 12 pages in length, doubled-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible.

**Only photographs and drawings may be submitted by the parties at the hearing.**

Hearing Date: **Wednesday, July 31, 2019, 5:00 p.m., City Hall, Room 416, One Dr. Carlton B. Goodlett Place.**

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule **MAY** also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should submit eleven (11) copies of all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

**Please note** that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection at the Board's office. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

**If you have any questions please call the Board of Appeals at 415-575-6880**

**The reasons for this appeal are as follows:**

*see attached*

**Appellant or Agent (Circle One):**

Signature: *Ben Lewis*

Print Name: *BEN LEWIS*

**Building Permit Appeal** - Permit No.: 1500220 Permit address: 208 Noe Street

June 4, 2019

Appellant: Ben Lewis, 210-212 Noe Street, owner occupant (210)

Permit Holder: Anton Kalafati, 208 Noe Street

Date Permit Issues: 5/24/19, received 5/31 by appellant

BOARD OF APPEALS  
JUN 06 2019  
APPEAL # 19-061

**Preliminary statement**

Appellant requesting appeal of the above referenced building permit and review of project and

Appellant's concerns, including but not limited to the following:

- Seismic - adjacent properties
- Setbacks
- Water runoff from new 4th story addition
- Lot coverage
- Access / Easement
- Adjoining roof connections
- Construction staging - air space over neighboring buildings - lack of direct front access of subject building
- Other

**Background:**

During the preliminary application process, notification was received by Appellant from DBI. Appellant immediately reached out to SF DBI including making two or more calls to the DBI person listed on the preliminary notice. Calls resulted in leaving detailed voice messages on the inspector's voice mail. Appellant left detailed messages on the material received, application number, address and Appellant's wish to express his concerns. In addition, Appellant detailed some of the concerns stated above with each voice message. DBI inspector, or any representative from DBI never returned Appellant's calls/voice messages thereby not allowing due process at that time. Next notification received was the subject permit approval dated 5/24/2019, which was received 5/31 with 6 calendar days to appeal.

Capacity Charges  
 Work Order: 2/20/19  
 APPROVED  
 Dept. of Building Insp.  
 M. S. S. 331 SPT 9/11/19

REVIEWED BY FIRE DEPT.  
 DP

FIRE

FIRE DEPT INSPECTIONS  
 NOT REQUIRED  
 BUILDING ENLARGEMENT  
 DESCRIPTION  
 VERTICAL  
 HORIZONTAL

SUBMITTALS  
 PERMIT  
 JUN 11 2019  
 THIS APPLICATION SUBMITTED FOR SITE ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

APPROVED FOR ISSUANCE  
 APR 11 2019

BLDG. FORM 3/8  
 APPLICATION NUMBER 20180118370  
 APPROVAL NUMBER 9  
 OSIA APPROVAL REQUIRED

APPLICATION FOR BUILDING PERMIT  
 ADDITIONS, ALTERATIONS OR REPAIRS  
 DEPT. OF BUILDING INSPECTION  
 DIRECTOR S.E.  
 FORM 3  OTHER AGENCIES REVIEW REQUIRED  
 FORM 8  OVER-THE-COUNTER ISSUANCE  
 2 NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO  
 DEPARTMENT OF BUILDING INSPECTION  
 APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSES HEREINAFTER SET FORTH.  
 DCP FEE

DATE FILED 1 JAN 19 2019	FILING FEE RECEIPT NO. 18013372	(1) STREET ADDRESS OF JOB 208 N O ST.	BLOCK & LOT 3561 / 001A
PERMIT NO. 1500220	ISSUED MAY 24 2019	(2A) ESTIMATED COST OF JOB \$100,000	(2B) REVISED COST: \$237,000 DATE 1/16/19

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V.B	(5A) NO. OF STORIES OF OCCUPANCY: 3	(6A) NO. OF BASEMENTS AND CELLARS: 0	(7A) PRESENT USE: MFT	(8A) OCCUP. CLASS R-2	(9A) NO. OF DWELLING UNITS: 3
-----------------------------	--	---	--------------------------	--------------------------	----------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. VB	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 0	(7) PROPOSED USE (LEGAL USE) MFT	(8) OCCUP. CLASS R-2	(9) NO. OF DWELLING UNITS: 3
---------------------------	---------------------------------------	--	-------------------------------------	-------------------------	---------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES  NO

(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES  NO

(12) ELECTRICAL WORK TO BE PERFORMED? YES  NO

(13) PLUMBING WORK TO BE PERFORMED? YES  NO

(14) GENERAL CONTRACTOR: B. S. DE CONSTR. 1940 Union St. #9 Oakland CA 94612 510.451.7527 8/30/19

(15) OWNER - LESSEE (CROSS OUT ONE): DAVID MARZATT 1A 1A Gal 5 Rd. Sausalito 94965 415-699-1469

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

Vertical Addition, Roof Deck, New Master Bedroom - Bath. No change to occ. or parking.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT 40'0"	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION): DAVID MARZATT 1A 1A Gal 5 Rd. Sausalito 94965 CA 94909

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")

**IMPORTANT NOTICES**

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 386, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX  
 OWNER  
 LESSEE  
 CONTRACTOR  
 ARCHITECT  
 AGENT  
 ENGINEER

**NOTICE TO APPLICANT**

**HOLD HARMLESS CLAUSE.** The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damage(s) resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

( ) I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

( ) II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:  
 Carrier \_\_\_\_\_  
 Policy Number \_\_\_\_\_

( ) III. The cost of the work to be done is \$100 or less.

( ) IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

( ) V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent: Julie Johnson 1-11-19  
 Date

CONDITIONS AND STIPULATIONS

BOARD OF APPEALS

REFER TO:	APPROVED: <u>John Finnegan, DBI</u> JAN 16 2019 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: <u>JUN 08 2019</u> REASON: APPEAL # <u>19-061</u>
<input type="checkbox"/>	APPROVED: Vertical addition with 15' setback to rear of top floor of existing 3-story, 3-unit building <u>Jeff L. Horn</u> Approved Planning Dept. Jeffrey Horn 3/15/19 DEPARTMENT OF CITY PLANNING	NOTIFIED MR. DATE: REASON:
<input type="checkbox"/>	APPROVED: REVIEWED BY FIRE DEPT. FIRE DEPT INSPECTIONS NOT REQUIRED Dominic Fasso, SFFD APR 08 2019 BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. DATE: REASON:
<input type="checkbox"/>	APPROVED: N/A MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. DATE: REASON:
<input type="checkbox"/>	APPROVED: CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. DATE: REASON:
<input type="checkbox"/>	APPROVED: SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (415) 554-7149 TO SCHEDULE Subject to street improvement permit By <u>Blaine</u> 12/10/18 <u>Rothane T. Gaine, DPW/BSM</u> 2/25/19 BUREAU OF ENGINEERING SFPW/BSM	NOTIFIED MR. DATE: REASON:
<input type="checkbox"/>	APPROVED: N/A DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. DATE: REASON:
<input type="checkbox"/>	APPROVED: REDEVELOPMENT AGENCY	NOTIFIED MR. DATE: REASON:
<input type="checkbox"/>	APPROVED: SFPUC SFPUC - Please be advised Based on your plans and fixtures count, your existing water meter may be <u>UNDERSIZED</u> . A water meter upgrade is recommended. Please contact SFPUC - New Installations, 525 Golden Gate Ave, 2 <sup>nd</sup> Floor, San Francisco, CA 94102, Tel: (415) 551-2900 for HOUSING INSPECTION DIVISION BH: Tom	NOTIFIED MR. DATE: REASON:

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

[Signature]  
 OWNER'S AUTHORIZED AGENT

# **BRIEF(S) SUBMITTED BY APPELLANT(S)**

**Appeal No.** 19-061  
**Appeal Title:** Lewis vs. DBI, PDA  
**Subject Property:** 208 Noe Street  
**Permit Type:** Site Permit  
**Permit No:** 2018/0111/8370  
**Date:** July 11, 2019

## **INTRODUCTION:**

Appellant is appealing the subject building permit and requests Board to deny the permit.

The project will add a fourth story onto an existing 3-story, 2-unit (plus garage guest room) apartment building that currently consists of two stories over a soft story garage. The adjacent properties are a 3-story, 2-unit building and a 3-story, ground level commercial with two residential units above. This subject addition, if the permit is approved, will make the subject property 33% taller than the adjacent properties and will become the tallest property (2-units over garage) on Noe Street in Duboce Triangle.

Board is requested to deny the subject permit based on the following concerns: Size and scope out of character with the neighborhood and neighboring buildings, Seismic concerns of the to-be shorter buildings adjacent to the subject if height is increased, significantly diminished light from the light well and significant additional water runoff onto adjacent property, access to the adjacent property via shared front porch (subject to an easement), construction access and staging as a burden on adjacent property owners, history of owner/investor's prior bad acts (character) and improvements not consistent with city's housing strategy and initiatives.

I would like to point out that this is a complicated project on a very tight site with adjoining residential properties, and the subject owner/property has no direct roof access from the street without going over one of the adjacent properties, which isn't allowed. The drawings submitted are AIA renderings with no detail to assess the risks of the construction including how the improvements will be connected from the foundation up to the new addition, especially considering the units on the first and second floor are occupied, and the third floor is a furnished short term rental. No structural engineer is listed on the project team or noted as having reviewed any parts of the project. The subject building does have a small existing structure to the rear of the main building, which houses parts of the kitchen and laundry rooms on the second and third stories. Those floors are supported by four, 6x6 columns with no visible connections, no cross bracing and appear to be generally on a concrete slab. In 2010, the owner (Kalafati) added decks without going through planning or having structural drawings reviewed by a 311 process or by SF Department of Building Inspection ("BDI"). (See Prior Bad Acts section below). At the time those decks were added and connected to the previously described rear structure, no seismic upgrades were added.

It seems highly risky for the adjacent property owners to have to opine on the simple AIA renderings when the risk to the project and the adjacent properties will be discovered as the engineering drawings are finalized. It is highly likely there will be changes to the project during that process, and there is no forum after this appeal to address issues. It would be my recommendation to have those drawings completed

prior to this decision so that we can have a valid discussion on the risks of the project and those affecting the adjacent properties.

**ISSUES:**

**1. SIZE AND SCOPE OUT OF NEIGHBORHOOD CHARACTER:**

Neighborhood / street character: Duboce Triangle and specifically the Noe Street corridor have a strong visual character because of the uniform height of the buildings on the street. No two-unit building on Noe currently reaches a 40-foot allowable maximum height and all are consistently around the 30-foot level. That consistency in height of these buildings is a significant factor towards the character of this neighborhood. The only buildings reaching the 40-foot height levels are 4+ unit buildings, which are also clustered, and keep a consistent height level as you move through Duboce Triangle, especially Noe Street. Until recently the subject property was a legal 2-unit building with an unpermitted "guest room" in the rear of the garage on the ground level, which was required to be permitted by Planning as of this permit process.

Granting this building permit for a new floor containing an additional 618 SF and expansion of an existing 1,200 SF apartment (furnished short term rental) to a total of nearly 1,900 SF is not consistent with the size and character of the neighborhood and is not fulfilling the City and County's housing strategy as no new units are being added to this rental building. The current \$5,000.00 per month rent for the furnished short-term rental (see Exhibit 1) can now go to \$7,920.00 per month (assuming a constant square foot multiplier.) This will become the tallest 2-unit building in Duboce

Triangle/Noe Street at nearly 33% taller than the adjacent buildings on the street. Tucking the building back 15 feet doesn't hide the improvement from the street as the subject and two adjacent buildings sit forward 15 feet from the neighboring buildings along Noe Street from Market Street heading toward Duboce. (See Exhibit 2)

## 2. SEISMIC:

The project construction is a very complicated vertical addition on a tight building site with adjacent buildings shoulder to shoulder and the subject has no direct access to its roof during construction.

The subject permit was granted with only AIA renderings and did not include any structural engineering drawings, which deny me the opportunity to hire a consultant to review the structural plans in order to make educated comments here as to the risks associated to my building adjacent to this major addition.

### Risk factors that should require a structural engineer:

- Your home has two or more stories
- Part of your home is supported by posts, not a wall
- Your home has a garage with rooms above it
- Your home has a porch that is recessed under a second story (rear)
- Your home is almost touching an adjacent home

We should be basing our decision on a structural engineer's drawings, based on these risk factors, and not just AIA renderings. After this appeal, the appellant does not have a say in the construction or potential risks to adjacent properties, without costly litigation during construction.

With that said, I can only make preliminary comments herein as to the potential impacts and risk factors.

It also should be noted that the AIA renderings are preliminary and may change as structural drawing are completed, and reviewed and revised by SF BDI. Given there may be significant changes to the design based on structural requirements, the risks to the adjacent properties and owners aren't known at this time, which is an unfair burden for the adjacent owners.

The seismic upgrade requirements (code) for the subject building focus on upgrading the existing building and proposed addition and how the subject building's new strength through connections etc will support itself during seismic event. Building codes are not taking into account the adjacent structures that in this case are shoulder-to-shoulder buildings. Based on general seismic studies, the adjacent buildings that are both significantly older (1905 vintage construction without seismic upgrades) will be adversely impacted with the new height of the new subject building. During a seismic event, buildings of similar heights will shake fairly similarly.

However, there are many seismic studies that analyze various cases of two adjacent buildings with disparate heights, numbers of floors and equal foundation levels under earthquake loading that demonstrate the "double pounding" affect, which occurs at the top level of the lower building colliding into the taller building and the additional pounding at the foundation level. The force of collision increases in buildings that are of significant height differences. The studies create models to show and study the phenomena of "double pounding," which occur with two adjacent buildings shoulder-to-shoulder and disparate heights subjected to earthquakes. Most findings conclude

that the top lateral displacement is significantly larger in the smaller buildings (up to 3 times) than that of the taller buildings (1.5 times) and that of the base case (equal sized buildings.) The lateral normal force values in the short building in the two adjacent buildings increase by nearly 1.7 times that of the corresponding values in the tall building and the high value of the pushing forces of the tall building on the short building increased the value of the lateral normal forces at the foundation of the shorter building. These studies do not include soft story first floors or vintage 1905 construction, which would likely make the outcomes much higher for lateral displacements of smaller buildings including up to catastrophic damage or loss. The shear forces, the bending movements and the base normal forces in the two adjacent buildings are bigger in disparate height buildings than in similar height buildings. The shear force in the column in the basement level is bigger than in the floor levels for the different heights of the two adjacent buildings. The double pounding effects should be taken into consideration in the building decision and seismic analysis of adjacent buildings especially those with different heights should be considered prior to moving forward with the construction. As it is more likely for the shorter adjacent buildings to suffer greater damage, including up to catastrophic loss, I would request that a mutually agreed upon seismic study be done to consider the affects prior to decisioning any final permit.

### 3. LIGHT AND WATER RUNOFF:

The light from the light well in the adjacent property (210-212) will suffer significant diminished natural light due to the 40-foot structure along the property line. The rear

wall and northern wall of the new building will block most of the light during the year, especially to the lower floors, which will be 20-35 feet below the structure. The original design of the adjacent units (210-212 Noe) is one that relies on the light from the light well. Approximately 30%+ of the square feet in both 210-212 Noe are reliant on that light, which is significant.

The planning recommendation to require the closest subject wall to a diagonally does little to regain the diminished light as I believe the shadows will be cast by the rear and north side /height of the new addition. The AIA drawings do not include a shade study/rendering.

Water runoff: First, there is shared roofing material overlapping at the property line parapets. The overlap is covering a 2" to 5" gap between the buildings, as the adjacent property (210-212 Noe) was a stand-alone building constructed in 1905 and the subject building was infill construction approximately 20 years later. The construction doesn't address the treatment of the current water tight shared roofing material, which when removed will allow water to flood the side of the adjacent buildings with no way of accessing the damaged area.

In addition, the subject building's new addition will be adding water flow into the light well, roof and rear side yard of the adjacent building, which will impact the drains that belongs to 210-212. In 2018, I had my roof at 210 Noe Street repaired, which included added material to the top of the parapet at a significant cost, which this construction would be removing and/or cutting.

Second, the increased roof and side of the 4<sup>th</sup> story addition will gather and direct additional water onto the adjoining property.

### 3. ACCESS TO ADJOINING BUILDING (SUBJECT TO AN EASEMENT):

The adjacent building, 210-212 Noe Street originally owned the land where the subject building sits today. 210-212 Noe Street was constructed in 1905 and later subdivided the land and sold it subject to an easement for 210-212 ingress and egress, which lands on a single porch at 206-208 Noe Street (subject). That is the only ingress for the two units adjacent to the subject property. Protracted construction will be an issue for 210-212's safe and consistent access to their homes.

### 4. CONSTRUCTION ACCESS AND STAGING:

The subject property has no direct access to their roof as it is completely blocked by a city tree and its canopy to the front and surrounded by adjacent buildings on each side and rear. The only access to the subject's roof would be over the adjacent properties, most likely 210-212 Noe Street's building and roof, which is not allowed. Given the track record of the owner and GC for the subject, it is not unlikely they will continue to disrespect adjacent properties and laws during the constructions process. During the protracted past construction projects undertaken by this owner and GC, they constantly staged construction from my driveway blocking access to my building as well as having removed siding from my property, flooded my basement and were aggressive physically when complaints were lodged. Based on past experiences, there is no reason to believe that this project will be conducted in a professional

manner including considering the adjacent properties, safety, adherence to the rules and regulations, keeping access available and/or staging construction on other adjacent properties and right of ways.

#### 5. PRIOR BAD ACTS:

An interim investor, Miles Hayes on October 2007, purchased the property. Hayes evicted the tenants residing in units 208 and 206 Noe beginning December 2007. The prior owners (sellers) lived in 206A. The tenants occupying 208 Noe included a 45+/- year old woman and her college attending son and were paying \$600/mo according to court records.

The current investor owner (Kalafati) purchased the property on May 14, 2009. After renovations shortly after purchasing the property, see below section for history of renovation, and rented the three units at market rates. Over the past 2-3 years, 208 Noe has been rented as a furnished short-term rental for approximately \$5,000 per month (See Exhibit 1). The investor owner has never lived in the subject property at any time.

#### **Building Permit and Complaint History**

The owner began a complete renovation of the three units during 2009 without permits. In an effort to avoid detections of BDI, the owner (and acting as his own GC-B Side Construction) worked after business hours and began construction around 5pm most days and worked until midnight or later some nights. The owner performed substantial improvements including new kitchens and baths in each unit. As can be seen by the complaints listed below, which began in July 2009 (2 months after

purchase) and the owner managed to avoid building inspections for years. The kitchen and bath major renovation complaint wasn't closed out until November 2015, six years after the complaint was filed. Subsequent to the interior unpermitted renovation, the investor owner obtained a permit to repair the rear stairway. However, the owner demolished the stairway, without a permit, built a new stairway and constructed a new rear horizontal extension including two decks at levels two and three that extend to the property line. Complaints were filed June and October 2010, no.s 201051537 and 201072508 (Exhibits 3-4). The owner/investor and acting GC continued his pattern of avoiding building inspection calls and letters forcing building inspection to red tag the building with a notice sealed to the front doors to cease and desist. However, that didn't deter the owner from continuing the work on the weekend until the police were called as instructed by BDI. Police rang doorbell and knocked, but the contractor did not answer. The police entered through the adjacent building into the backyard where the police witnessed the contractor working on the new decks, ignoring the cease and desist order. The owner's lack of cooperation and refusal to follow building processes and regulations, it took approximately 3-years for BDI to refer the matter to Director's Hearing for abatement. BDI closed out that complaint five years later, November 2015 because they believed the statements from the owner that the construction was like kind replacement. However, this week SF Planning found historic satellite photos from 2009-2013 that reflect the decks did not exist and were newly constructed by the owner, contrary to statements by the owner to BDI to the contrary. (See Exhibit X) It is my understanding that BDI and SF Planning will address this issue again shortly.

Below are a listing of building permits and complaints that were partially discussed above. The interesting facts for this hearing are the length in time that it took BDI to bring the owner into compliance as partially discussed above. The subject owner showed a pattern of blatant disregard for the process and cooperation with BDI over years with the subject property.

Permit #	Block	Lot	Street #	Street Name	Unit	Current Stage	Stage Date
<a href="#">201801118370</a>	3561	001A	208	NOE ST		SUSPEND	06/06/2019
<a href="#">201808207750</a>	3561	001A	208	NOE ST		COMPLETE	08/21/2018
<a href="#">M847751</a>	3561	001A	208	NOE ST		ISSUED	10/24/2017
<a href="#">201311262934</a>	3561	001A	208	NOE ST		COMPLETE	02/13/2015
<a href="#">201311262935</a>	3561	001A	208	NOE ST		COMPLETE	02/13/2015
<a href="#">201311262933</a>	3561	001A	208	NOE ST		COMPLETE	02/13/2015
<a href="#">201010193316</a>	3561	001A	208	NOE ST		EXPIRED	08/07/2013
<a href="#">201101269056</a>	3561	001A	208	NOE ST		EXPIRED	08/07/2013

Complaint #	Expired	Date Filed	Active	Div	Block	Lot	Street #	Street Name
<a href="#">201717569</a>		11/07/2017	N	HIS	3561	001A	208	NOE ST
<a href="#">201536661</a>		03/25/2015	N	BID	3561	001A	206	NOE ST
<a href="#">201072508</a>		10/07/2010	N	BID	3561	001A	206	NOE ST
<a href="#">201051537</a>		06/14/2010	N	CES	3561	001A	206	NOE ST
<a href="#">200912670</a>		07/02/2009	N	CES	3561	001A	206	NOE ST

In addition to the bad acts associated with this property, according to a press release dated October 17, 2018 from the US Attorney's Office for the Northern District of California, the owner, Anton Kalafati, and President of B Side Construction, the subject permit holder herein, pleaded guilty to a federal indictment in March 2018 for his part in a conspiracy to defraud the United States in connection with a federal construction contract scheme.

## SUMMARY:

The owner, a non-resident of the building and neighborhood will again be the general contractor for the subject project. He has shown a pattern and practice for disregarding the rules and oversight of the planning and BDI for years. Now he wants to be rewarded for these prior bad acts with this request. A request, which will only increase the square footage of a short term, furnished rental for his financial gain. However, notwithstanding the significant financial gain here, it's about the neighborhood and surrounding residents who have suffered through the construction and protracted chase by the BDI. It's about the significant off-hour nighttime noise of construction. More importantly, for the reasons outlined above, the risks that this construction may present adjoining buildings for seismic and size and scale issues. Our society relies on its citizens being honest and adhering to the rules and requirements of our city and county and federal laws and cooperation in regulatory and oversight actions.

## 6. CITY'S HOUSING STRATEGY:

This permit does not fulfill any of the city's housing initiatives, which in general is to increase the number of units, and preferably with affordable units.

However, in 2007 a low-income tenant and her college attending son who resided in the building at \$600/month for decades were evicted. The current owner then rented the property, after the renovations, at market and currently rents the unit as a high-

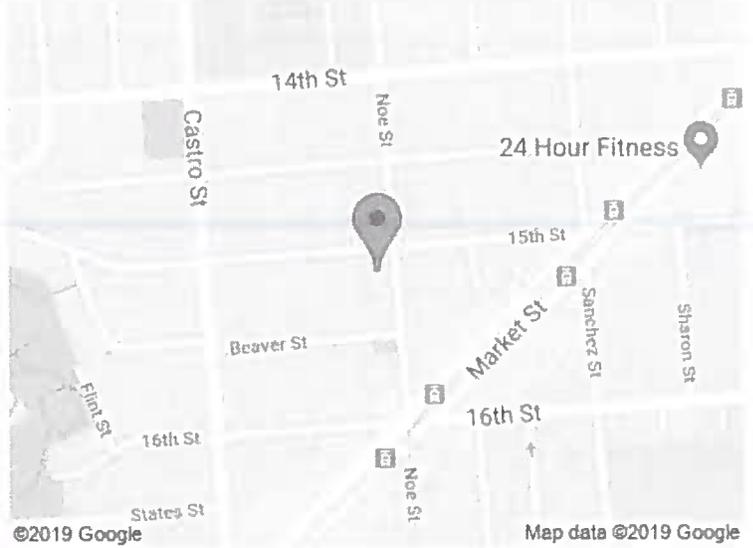
end, short-term furnished apartment at \$5,000/month. Since purchasing the property, he has never lived in the building and is believed to not reside in the City.

**CONCLUSION:**

The Board is strongly encouraged to find that the risks of this project present significant actual and potential impacts on adjacent properties and the greater neighborhood, it does not meet the City's housing strategy and rewards a significant bad actor and therefore should deny this permit.

208 Noe St, San Francisco, CA 94114

EXHIBIT 1



**208 Noe St,**  
**San Francisco, CA 94114**  
**2 beds · 1 bath · 1,200 sqft**

OFF MARKET  
Zestimate®: None

Is this your rental?

Get a monthly local market report with comparable rentals in your area.

- I own and manage this rental
- I manage this rental for the owner

benlewissf@gmail.com

Subscribe

*Note: This property is not currently for sale or for rent. The description below may be from a previous listing.*

Updated 2 bedroom 1 bath apartment in desirable Upper Market/Castro area. Modern feel in classic SF Victorian era home.

Upgraded spacious top floor apartment. Kitchen has full size stainless steel appliances. New paint throughout.

- Hardwood floors
- plenty of natural light
- Upgraded dual pane windows
- Upgraded kitchen
- stainless steel appliances
- under cabinet lighting
- walk-in closet
- Bathroom has Kohler rain shower head and shower jets
- gas wall

- turnace
- classic SF bay windows
- Serta Perfect Sleeper mattresses
- King bed in 1 room and queen in the other
- THIS IS A MUST SEE!!

Lease terms:

30 day minimum

Furnished rental (all items pictured are included in rental)

1 month security deposit (additional pet deposit)

Parking available for \$300 additional per month

Close to:

- Public Transportation
- The Lookout
- Cafe Flore
- Ike's Place
- Kitchen Story
- Fitness SF
- Soul Cycle
- 24 hour fitness
- Pottery Barn
- Safeway
- Whole Foods
- Starbucks
- Jamba Juice
- Chow
- HiTops
- Max Muscle
- Squat and Gobble
- Chase Bank
- Tan Bella
- The Market (Mrs Jones)
- Walgreens
- Verve Coffee
- Ritual Coffee

AND SO MUCH MORE

Jessica Hunt

Realtor ; Designer

Land West Properties

CA BRE# 01899011

925-262-7946

Minimum 30 Day Lease

Short term corporate housing

...

## Facts and Features



### Type

Apartment



### Year Built

1923



### Heating

No Data



### Cooling

No Data



### Parking

No Data



### HOA

No Data

EXHIBIT 2

set back  
2005  
subject  
↓

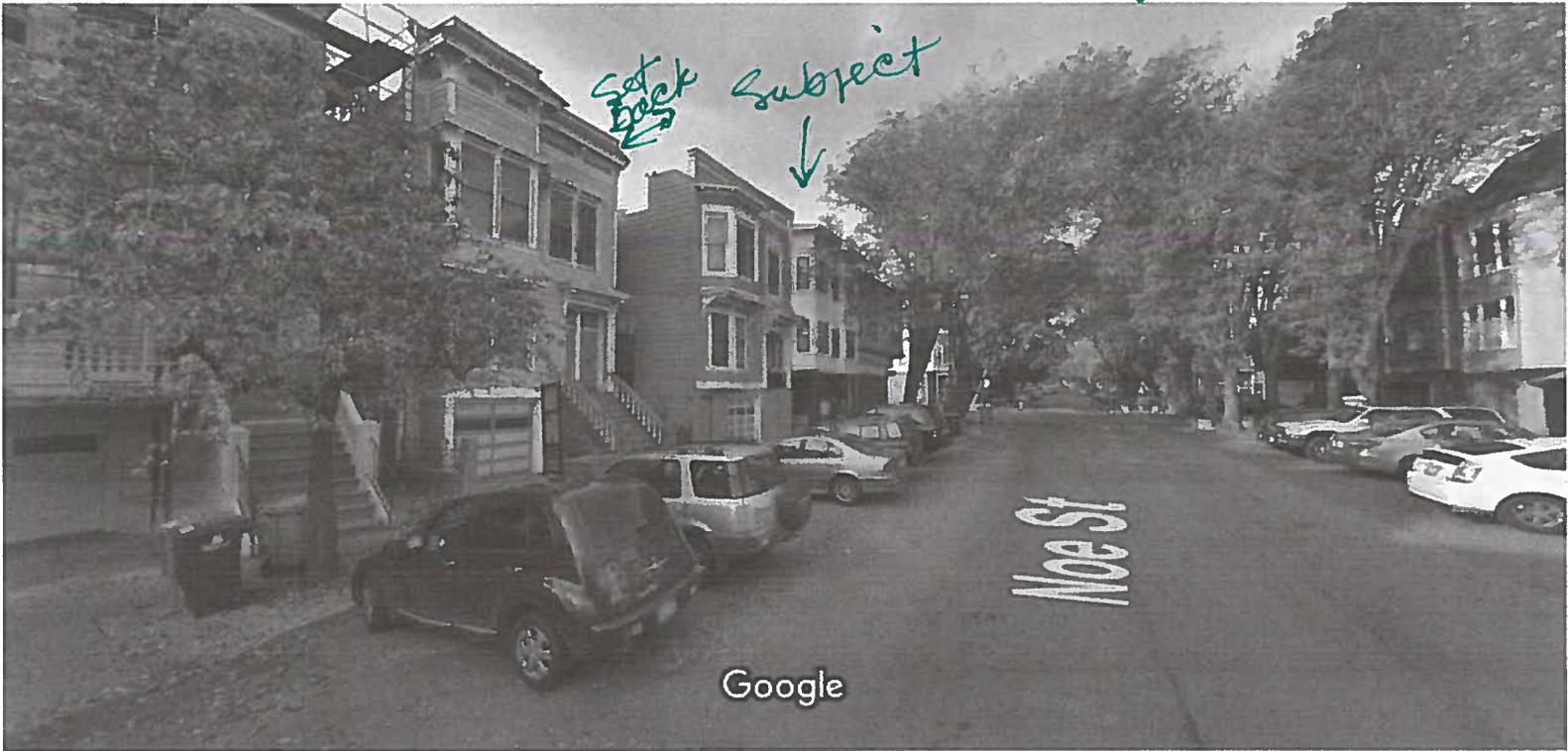
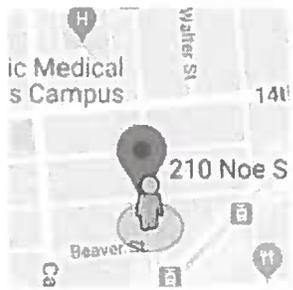


Image capture: Jan 2018 © 2019 Google

San Francisco, California



Street View - Jan 2018



---

**208 Noe Street**

**Horn, Jeffrey (CPC)** <jeffrey.horn@sfgov.org>  
To: Ben Lewis <benlewissf@gmail.com>

Tue, Jul 2, 2019 at 7:46 PM

Hi Ben,

Please review the attachment with a series yearly of photos. It seems pretty clear that the stairs/landings were replaced and enlarged between March 2010 and March 2011.

This timing coincides with Complaint No. 201051537, filed on 6/14/2010, and Complaint No. 201072508 filed on 10/7/2010.

[Quoted text hidden]

---

 **208 Noe Aerial Photos.pdf**  
354K

EXHIBIT 3

2009



NO  
DECKS

March 2010



NO  
DECKS

March 2011



NEW  
DECKS  
ADDED

2012



NEW  
DECKS

EXHIBITS 4

**COMPLAINT DATA SHEET**

**Complaint Number:** 200912670  
**Owner/Agent:** OWNER DATA SUPPRESSED  
**Owner's Phone:** --  
**Contact Name:** --  
**Contact Phone:** --  
**Complainant:** COMPLAINANT DATA SUPPRESSED  
**Date Filed:**  
**Location:** 206 NOE ST  
**Block:** 3561  
**Lot:** 001A  
**Site:**  
**Rating:**  
**Occupancy Code:**  
**Received By:** Czarina Moreno  
**Division:** BID  
**Complainant's Phone:**  
**Complaint Source:** TELEPHONE  
**Assigned to Division:** CES  
**Description:** Major demolition on interior without permit.

Instructions:

**INSPECTOR INFORMATION**  
**DIVISION INSPECTOR**

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
CES	GRIECO	6227		

**REFERRAL INFORMATION**

DATE	REFERRED BY	TO	COMMENT
6/11/2010	Christina Wang	SPS	send to Director for Hearing of Complaint
6/11/2010	Christina Wang	CES	send to Director for Hearing of Complaint

**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
07/02/09	CASE OPENED	BID	Donnelly	CASE RECEIVED	
07/06/09	WITHOUT PERMIT - OTHER	BID	Donnelly	UNABLE TO ENTER	Site visit - no access. Left call notice.
07/13/09	WITHOUT PERMIT - OTHER	BID	Fessler	UNABLE TO ENTER	Site visit - no access. Left call notice.
07/15/09	WITHOUT PERMIT - OTHER	BID	Donnelly	UNABLE TO ENTER	Request for appointment mailed 7/16/09.
09/15/09	WITHOUT PERMIT - OTHER	BID	Donnelly	UNABLE TO ENTER	Inspection Request mailed 9/16/09. 2nd Notice.
05/04/10	WITHOUT PERMIT - OTHER	BID	Donnelly	FIRST NOV SENT	
05/04/10	WITHOUT PERMIT - OTHER	BID	Donnelly	UNABLE TO ENTER.	
06/07/10	WITHOUT PERMIT - OTHER	BID	Donnelly	SECOND NOV SENT	
06/10/10	WITHOUT PERMIT - OTHER	BID	Donnelly	REFERRED TO OTHER DIV	refer to CES
06/11/10	WITHOUT PERMIT - OTHER	CES	Grieco	CASE RECEIVED	
09/09/10	WITHOUT PERMIT - OTHER	CES	Li	CASE CONTINUED	jqli
11/18/10	WITHOUT PERMIT - OTHER	CES	Li	ADVISEMENT	jqli-14-day adv. W/ o/a
12/06/10	WITHOUT PERMIT - OTHER	CES	Li	ORDER OF ABATEMENT ISSUED	jqli
12/14/10	WITHOUT PERMIT - OTHER	CES	Li	ORDER OF ABATEMENT POSTED	jqli
07/19/13	WITHOUT PERMIT - OTHER	CES	Therault	CASE UPDATE	Permits have expired
11/18/13	WITHOUT PERMIT - OTHER	CES	Therault	CASE UPDATE	Placer title co. Amber 924-552-5360 P/C for information
02/17/15	WITHOUT PERMIT - OTHER	CES	Gutierrez	CASE ABATED	Ok to agate under PA #201311262933 signed off on 2/13/15. No Monitoring fee due
11/09/15	WITHOUT PERMIT - OTHER	CES	Grieco	CASE CLOSED	Closed by C. Byrd

**COMPLAINT ACTION BY DIVISION**

**COMPLAINT DATA SHEET**

**Complaint Number:** 201051537

**Owner/Agent:** OWNER DATA SUPPRESSED

**Date Filed:**

**Owner's Phone:** --

**Location:** 206 NOE ST

**Contact Name:**

**Block:** 3561

**Contact Phone:** --

**Lot:** 001A

**Complainant:** COMPLAINANT DATA SUPPRESSED

**Site:**

**Rating:**

**Occupancy Code:**

**Received By:** Czarina Moreno

**Division:** BID

**Complainant's**

**Phone:**

**Complaint**

**Source:** TELEPHONE

**Assigned to**

**Division:** CES

**Description:** Work beyond scope of permit - took away rear staircase (egress for both units) last Sunday; gutted the interior - remodeled kitchen, pipes venting on property line (1ft away from neighbor's house); have been working steadily for a year. They work late at night & on weekends.

**Instructions:**

**INSPECTOR INFORMATION**

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
CES	HINCHION	1125		

**REFERRAL INFORMATION**

DATE	REFERRED BY	TO	COMMENT
10/15/2013	Ying Pei	CES	Sent to Director's Hearing for abatement

**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
06/14/10	CASE OPENED	BID	Donnelly	CASE RECEIVED	
06/15/10	WRK OVER PRMIT SCOPE	BID	Donnelly	UNABLE TO ENTER	Left notice with owner and contractor to schedule an inspection.
06/22/10	WRK OVER PRMIT SCOPE	BID	Donnelly	CASE UPDATE	Contractor requested to reschedule.
07/06/10	WRK OVER PRMIT SCOPE	BID	Donnelly	FIRST NOV SENT	
07/20/12	WRK OVER PRMIT SCOPE	PID	Power	OFFICE/COUNTER VISIT	PAs expired. 2nd NOV req'd.(TV)
08/07/13	WRK OVER PRMIT SCOPE	INS	Yu	REFER TO DIRECTOR'S HEARING	Referred to CES by Inspector -- mst
08/07/13	WRK OVER PRMIT SCOPE	INS	Yu	SECOND NOV SENT	2nd NOV Issued by Inspector F. Clancy
08/14/13	WRK OVER PRMIT SCOPE	INS	Yu	CASE UPDATE	Mailed copy of 2nd NOV -- mst
10/15/13	GENERAL MAINTENANCE	BID	Yu	REFERRED TO OTHER DIV	transfer to div CES
10/17/13	CASE OPENED	CES	Hinchion	CASE RECEIVED	
11/19/13	WRK OVER PRMIT SCOPE	CES	Therault	CASE UPDATE	review for monitoring fee
12/05/13	WRK OVER PRMIT SCOPE	CES	Gutierrez	CASE UPDATE	
01/30/14	WRK OVER PRMIT SCOPE	CES	Gutierrez	DIRECTOR HEARING NOTICE POSTED	
02/10/14	WRK OVER PRMIT SCOPE	CES	Gutierrez	CASE UPDATE	
02/11/14	WRK OVER PRMIT SCOPE	CES	Gutierrez	DIRECTOR'S HEARING DECISION	O of A
02/12/14	WRK OVER PRMIT SCOPE	CES	Gutierrez	CASE UPDATE	Interim Assessment
04/15/14	WRK OVER PRMIT SCOPE	CES	Gutierrez	ORDER OF ABATEMENT POSTED	
02/17/15	WRK OVER PRMIT SCOPE	CES	Gutierrez	ASSESSMENTS DUE	No fees due
02/17/15	WRK OVER PRMIT SCOPE	CES	Gutierrez	CASE ABATED	Ok to abate under PA # 201101269056
11/09/15	WRK OVER PRMIT SCOPE	CES	Hinchion	CASE CLOSED	Closed by C. Byrd

**COMPLAINT DATA SHEET**

**Complaint Number:** 201072508  
**Owner/Agent:** OWNER DATA SUPPRESSED  
**Owner's Phone:** --  
**Contact Name:** --  
**Contact Phone:** --  
**Complainant:** COMPLAINANT DATA SUPPRESSED

**Date Filed:** --  
**Location:** 206 NOE ST  
**Block:** 3561  
**Lot:** 001A  
**Site:** --  
**Rating:** --  
**Occupancy Code:** --  
**Received By:** Christina Wang  
**Division:** BID

**Complainant's Phone:** --  
**Complaint Source:** TELEPHONE  
**Assigned to Division:** BID  
**Description:** The rear stairs being rebuilt under PA#01007287691 are exceeding the provisions of Planning Department approval.

**Instructions:**

**INSPECTOR INFORMATION**

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	POWER	6270	17	

**REFERRAL INFORMATION**

**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
10/07/10	OTHER BLDG/HOUSING VIOLATION	BID	Donnelly	FIRST NOV SENT	
10/07/10	CASE OPENED	BID	Donnelly	CASE RECEIVED	
10/16/10	OTHER BLDG/HOUSING VIOLATION	BID	Donnelly	SECOND NOV SENT	1st Notice of Violation issued by Deputy Director Ed Sweeney for Dist 17
01/26/11	OTHER BLDG/HOUSING VIOLATION	CES	Grieco	CASE ABATED	PA201007287691/valid/exceed scope 2x paid. 9x N/A

**COMPLAINT ACTION BY DIVISION**

**NOV (HIS):** NOV (BID): 10/16/10  
 10/07/10

Inspector Contact Information

Online Permit and Complaint Tracking home page.

**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

**Permit Details Report****Report Date:** 7/9/2019 8:34:28 AM

Application Number: 201010193316

Form Number: 8

Address(es): 3561 / 001A / 0 206 NOE ST  
3561 / 001A / 0 208 NOE ST

Description: 206A: remodel of kitchen &amp; bathroom &amp; laundry rooms. 208: remodel of kitchen &amp; bathroom, comply with nov#200912670.

Cost: \$40,000.00

Occupancy Code: R-3

Building Use: 28 - 2 FAMILY DWELLING

**Disposition / Stage:**

Action Date	Stage	Comments
10/19/2010	TRIAGE	
10/19/2010	FILING	
10/19/2010	FILED	
10/28/2010	APPROVED	
10/28/2010	ISSUED	
8/7/2013	EXPIRED	1768022 Stage updated from inspection

**Contact Details:****Contractor Details:**

License Number: OWN

Name: OWNER OWNER

Company Name: OWNER

Address: OWNER \* OWNER CA 00000-0000

Phone:

**Addenda Details:****Description:**

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	INTAKE	10/19/10	10/19/10			10/19/10	VALLE JAIME	
2	BLDG	10/19/10	10/19/10			10/19/10	VALLE JAIME	
3	MECH	10/21/10	10/21/10			10/21/10	LAI JEFF	
4	CES	10/19/10	10/19/10			10/19/10	HINCHION JOHN	
5	BID-INSP	10/18/10	10/18/10			10/18/10	DUFFY JOSEPH	
6	HIS	10/19/10	10/19/10			10/19/10	WILLIAMS OSCAR	NO HIS RECORD
7	CPB	10/28/10	10/28/10			10/28/10	GREEN EMILIE	

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

**Appointments:**

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

**Inspections:**

Activity Date	Inspector	Inspection Description	Inspection Status
8/7/2013	Fergal Clancy	SITE VERIFICATION	EXPIRE

**Special Inspections:**

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
-------------	----------------	--------------	-----------------	-------------	---------

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)[Online Permit and Complaint Tracking home page.](#)**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

**Permit Details Report****Report Date:** 7/9/2019 8:32:49 AM

Application Number: 201101269056

Form Number: 8

Address(es): 3561 / 001A / 0 206 NOE ST  
3561 / 001A / 0 208 NOE ST

Description: REVISION TO 201007287691 TO CORRECT ACTUAL SCOPE OF WORK. WORK IS TO REBUILD STAIRS AND LANDINGS IN KIND, SAME SIZE AND LOCATION. NO DECK AT REAR YARD, REDUCE LANDING SIZE TO ABATE NOV 201072508,201051537

Cost: \$500.00

Occupancy Code: R-3

Building Use: 28 - 2 FAMILY DWELLING

**Disposition / Stage:**

Action Date	Stage	Comments
1/26/2011	TRIAGE	
1/26/2011	FILING	
1/26/2011	FILED	
1/26/2011	APPROVED	
1/26/2011	ISSUED	
8/7/2013	EXPIRED	1768021 Stage updated from inspection

**Contact Details:****Contractor Details:**

License Number: 914843

Name: ANTON KALAFATI

Company Name: ANTON KALAFATI

Address: 208 NOE ST \* SAN FRANCISCO CA 94118-0000

Phone:

**Addenda Details:****Description:**

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	INTAKE	1/26/11	1/26/11			1/26/11	BUFKA SUSAN	
2	BLDG	1/26/11	1/26/11			1/26/11	LEUNG DAVID	
3	CPB	1/26/11	1/26/11			1/26/11	BUFKA SUSAN	

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

**Appointments:**

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

**Inspections:**

Activity Date	Inspector	Inspection Description	Inspection Status
8/7/2013	Fergal Clancy	SITE VERIFICATION	EXPIRE

**Special Inspections:**

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
-------------	----------------	--------------	-----------------	-------------	---------

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)
[Online Permit and Complaint Tracking home page.](#)
**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

THE UNITED STATES ATTORNEY'S OFFICE  
NORTHERN DISTRICT *of* CALIFORNIA

[U.S. Attorneys](#) » [Northern District of California](#) » [News](#)

Department of Justice

U.S. Attorney's Office

Northern District of California

FOR IMMEDIATE RELEASE

Wednesday, October 17, 2018

## **Political Consultant Pleads Guilty To Conspiring To Defraud The United States And Making False Statements To Federal Investigators**

SAN FRANCISCO – Derf Butler, owner and president of San Francisco-based Butler Enterprises, pleaded guilty today to conspiracy to defraud the United States in connection with a federal construction contract, and making false statements to federal investigators, announced United States Attorney Alex G. Tse, Federal Bureau of Investigation Special Agent in Charge John F. Bennett, and the Department of Energy (DOE) Office of Inspector General Special Agent in Charge James Breckenridge. The plea was accepted by the Honorable Charles R. Breyer, U.S. District Judge.

A federal grand jury indicted Butler, 54, of Vallejo, with the charges on April 6, 2017. In pleading guilty to the charges without a plea agreement, Butler has admitted that he conspired with others to knowingly and intentionally defraud the DOE. Specifically, Butler admitted that beginning no later than July 17, 2013, he was involved with others in an illegal scheme to obtain a contract with the DOE to renovate a building on the campus of the Lawrence Berkeley National Laboratory (LBNL).

Contractors seeking construction work with the DOE are legally required to obtain work through a competitive bidding process. In this case, Butler and others agreed to submit, or participate in the submission of, fraudulent and non-competitive bids to perform the renovation of LBNL Building 84. Specifically, Butler agreed to take steps to ensure that a particular “developer” won the contract by ensuring the developer’s bid on the renovation project was the lowest bid. Butler also helped to orchestrate the submission of bids by other contractors in amounts dictated by the developer. Butler also admitted he understood the bids he arranged for submission by other contractors were not genuine bids and were intended to be higher than the bid submitted to the DOE by the developer.

In addition, Butler admitted meeting with the developer in July of 2013, at which time Butler agreed to locate contractors to submit bids for the DOE contract in amounts higher than the contractor’s bid. During the meeting, the developer gave Butler \$2,000 in cash. At the same meeting, Butler proposed that, instead of paying the contractors for submitting the bids, the developer could give the bidders sub-contracting work once the developer won the contract. Later that same month, Butler met with the developer other contractors. All agreed that the contractors would submit separate bids and none of the bids would be lower than the \$5.7 million bid to be submitted by the developer. Within the next three months, the contractors’ additional, higher bids were submitted to the DOE and Butler received two additional cash payments of \$4,000 and \$9,000.

Butler also admitted facts related to making fraudulent statements to investigators. On March 26, 2014, agents from the Federal Bureau of Investigation interviewed Butler about his dealings with the developer. Butler told the agents he had never received money from and that he had no financial relationship with the developer. In truth, Butler already had received \$15,000, he had requested an additional \$15,000, and he had multiple conversations with the

developer about the financial benefits he expected to receive once the DOE contract for the renovation project was awarded.

The grand jury charged Butler with one count of conspiracy to defraud the United States, in violation of 18 U.S.C. § 371, and one count of making a false statement, in violation of 18 U.S.C. § 1001(a)(2). Pursuant to today's plea agreement, he pleaded guilty to both counts. Judge Breyer scheduled Butler's sentencing for January 23, 2019.

Butler faces a maximum penalty of five years imprisonment, a three-year term of supervised release and a \$250,000 fine for the conspiracy charge. In addition, Butler faces a maximum penalty of ten years imprisonment, a three-year term of supervised release, and a \$250,000 fine for the false statement count. However, any sentence following conviction would be imposed by the court after consideration of the U.S. Sentencing Guidelines and the federal statute governing the imposition of a sentence, 18 U.S.C. § 3553.

On March 9, 2018, Anton Kalafati, 34, of San Francisco, President of B Side Inc. in San Francisco, pleaded guilty to his role in the scheme. Kalafati admitted to being one of the contractors who submitted a sham bid for the LBNL Building 84 renovation contract. There is currently no date scheduled for Kalafati's sentencing hearing.

The investigation that led to the charges in the indictment arose out of the FBI's 2012-2014 public corruption investigation of San Francisco political consultant Keith Jackson and then-State Senator Leland Yee, and the related organized crime investigation of Raymond "Shrimp Boy" Chow. The FBI source who was posing as the developer and acting undercover in connection with the CalVet and DOE contracts described above was also involved in the investigation of Jackson and Yee. Jackson and Yee were convicted of corruption charges in 2015.

Assistant United States Attorneys Cynthia Frey, William Frentzen, and David Countryman are prosecuting the case with the assistance of Rosario Calderon and Bridget Kilkenny. The prosecution is the result of an investigation by the Federal Bureau of Investigation and United States Department of Energy, Office of Inspector General. Additional assistance was provided by the California Department of Veteran's Affairs.

---

**Component(s):**

USAO - California, Northern

Updated October 18, 2018

**BRIEF(S) SUBMITTED BY THE  
DETERMINATION HOLDER(S)**

**Appeal No: 19-061**  
**Lewis v DBI, PDA**  
**Subject Property: 208 Noe St**  
**Permit Type: Site Permit**  
**Permit No.: 2018/0111/8370**  
**Date: July 25, 2019**

**Introduction:**

This appeal should be denied for three fundamental reasons:

1. No building permit to construct has been issued. The very permit review that the appellant has requested has been stopped by his own actions. Appellant is appealing a SITE permit issued by the PLANNING Department, not the issuance of a permit to construct by the DBI, yet he repeatedly accuses the project of failing to meet design criteria under DBI jurisdiction. The building permit addenda (Exhibits 1 & 2) were submitted in May, but, because of the appeal, the DBI cannot review many of the very issues the appellant claims that the project fails to meet.
2. There is no failure in process by the Planning Department. Appellant fails to cite a single instance of the Planning Department's failure to follow its well established and published procedures for staff review and evaluation of conformance with the Planning Code, conformance with the Residential Design Guidelines, solicitation of community input through the pre-application meeting and neighborhood notification (i.e. 311). Despite ample opportunities, at no time during did this long process did the appellant attend a meeting, contact the applicant or the department.
3. There is nothing exceptional or extraordinary in this project that merits appeal. It is just a 9' vertical addition set back 15' from the front property line. It is not visible from the street. It is not the "tallest property on Noe St...". It is not "33% taller than adjacent

properties.” Following on points 1 and 2, the project followed the Planning Department procedures at each step (the appellant does not refute this), and the entire building permit review process is not even complete. To grant this appeal casts doubt over every permit application that follows department procedures and is not even permitted a complete review.

The arguments in the appellant’s brief fall into three categories:

1. Design issues which were either evaluated and deemed acceptable by staff (and subsequently noticed to the appellant and all neighbors) or are not beyond the Planning Department’s jurisdiction,
2. Compliance issues that are not under the Planning Department’s jurisdiction, but will be evaluated by the DBI through the Addenda, and
3. Personal and speculative attacks against the Mr. Kalafati that are either false, irrelevant or both.

#### 1. SIZE AND SCOPE

The project was evaluated by staff for compliance with the Planning Code and Residential Design Guidelines. The proposed building contains three legal units as evidenced in the 3R Report (Exhibit 3) and its height is similar to the buildings at 242 Noe, 221 Noe, 229 Noe, 237 Noe, and 243 Noe. Moreover, the added height is set back 15’ from the property line and almost 18’ from the face of the bay windows. It is not visible from the street (Exhibit 4) as the appellant claims.

The appellant's speculation about potential rental income is not relevant, and, in any case, the Kalafatis are developing this property as their own primary residence to raise a family.

## 2. SEISMIC

Of course, the project must comply with all applicable sections of the CA Building Code and will be reviewed for compliance in due course by DBI. The structural drawings submitted with the permit addenda are Exhibit 1. Structurally, this is not a complicated or unusual building. It is Type V construction. It is unclear what "AIA Renderings" refers to, but the Board has been provided with the approved site permit set for review.

Ironically, while complaining about the structural integrity of 208 Noe, the appellant fails to appreciate that such remodel/addition projects actually IMPROVE the seismic and fire safety of the building and thereby benefit his building as well.

## 3. LIGHT AND WATER RUNOFF

The appellant's property is south of 208 Noe, therefore, the addition *cannot* cast shadows on his property except the early morning and late afternoon around the summer solstice, and even then he will be shaded first by other buildings.

The project incorporates a lightwell adjacent to the appellant's property and even slopes the stair roof to create a "light scoop" effect that minimizes any reduction in his ambient light.

Per DBI requirements, all rainwater run-off is collected and directed to the city sewer. This is noted in the addenda drawings (Exhibit 2) that DBI is now suspended from reviewing. The project does not increase the roof area and it cannot be claimed that it creates additional water run-off.

#### 4. ACCESS TO ADJOINING BUILDING

The appellant has an easement access to cross the landing stoop at the front door to 208 Noe. This will not be impeded. Construction workers and material deliveries may pass through the 208 Noe front door as is their right, but they can also circulate through the garage and ascend the rear stairs. No scaffolding is proposed for the project, and there is simply no reason that the appellant's building access or egress will ever be prevented.

#### 5. CONSTRUCTION ACCESS AND STAGING

Mr. Kalafati has ample access to his roof through the front and rear stairs. Type-V wood construction typically uses lumber and sheet sizes that can be hand carried. As is very common in San Francisco, some building material deliveries may be lifted through a front window on the third floor or even over the front fascia, but these deliveries are exceptional and at no time cross neighboring properties. The appellant claims there is a large street tree in front of 208 Noe, but this tree is in fact in front of 200 Noe.

San Francisco has regulations concerning street space use, blocking of driveways, double parking and more. These regulations are not administered by the Planning Department or the DBI, and of course, the applicant must – and will – respect all relevant laws and regulations. The appellant's suggestions otherwise are spurious.

#### 6. PRIOR BAD ACTS

The appellant makes numerous personal accusations against Mr Kalafati (*and even the building owner who preceded him!*) and speculates that these irrelevant accusations are

evidence of future behavior. The appellant's own bad behavior is evidenced by the fact that he is responsible for filing every complaint registered against 208 Noe and even filed two new frivolous complaints at the same time as his appeal!

It is correct that a permitted project to replace a rear stair in-kind almost 10 years ago went beyond its permitted scope. Notices of Violation were duly issued and the matter was abated and closed with Mr Kalafati paying a penalty of 9x the permit fee (Exhibit 5). This was a mistake, but there is no current open violation related to these stairs.

In early 2010 Eugene Bachmanov (Mr Kalafati's father) Lic #712180 pulled permit 201002226923 for a 50% Rear Balcony and Landing Replacement as the stairs were badly rotten. Once work started, it was clear that they were in too much disrepair and he demolished them. The appellant filed a complaint because the rear stair was removed. NOV 201051537 was issued for of work being done beyond the permitted scope and work stopped. No new construction work had actually started at the time of the first NOV.

Plans were drawn, and in July 2010 Mr. Bachmanov pulled second Permit # 201007287691 to construct the same size deck and stairs. The appellant called DBI again to complain that the work exceeded the permit scope and NOV201072508 was issued. It was correct that the size of the stairs and landings had increased due to meeting current code requirements. Mr Bachmanov paid the fines and abatement fees for doing work above the permitted scope.

January 2011, the drawings were revised and Permit # 201101269056 was issued to comply with NOV 201072508 & 201051537. The permit scope was: "TO CORRECT ACTUAL SCOPE OF WORK. WORK IS TO REBUILD STAIRS AND LANDINGS IN KIND, SAME SIZE AND LOCATION. NO DECK AT REAR YARD, REDUCE LANDING SIZE TO ABATE." The

rear stair/balcony was reduced in size considerably. but the stair footprint did increase somewhat to comply with the building code for rise and run requirements and landing size.

In November 2013, Mr Kalafati pulled permit 201311262934 to renew # 201101269056. In February 2015, as part of a property re-financing, the rear stair was finally inspected and closed by DBI with all fines and fees being paid.

The appellant also references a Federal court case involving Mr. Kalafati. While it is complicated and irrelevant to the appeal, the case involves an incident that occurred over 7 years ago involving a multitude of people, while Mr Kalafati was still new to construction and perhaps naive. Mr Kalafati has been cooperating with the government to correct his error.

## 7. CITY'S HOUSING STRATEGY

Mr Kalafati and his wife Jessica intend to occupy the refurbished unit and raise a family in San Francisco. Retaining families and making our City more child friendly is certainly one of the City's most important "housing strategies."

In attacking Mr Kalafati, the appellant alleges actions by a previous building owner. This is irrelevant, but also false. The previous owner's family members occupied the property and voluntarily moved out after it was sold.

The appellant falsely states the current apartment is used for short term rentals. A short term rental in San Francisco is defined as a rental term of 30 days or less. The property has been rented as a furnished unit for the past two years (not three) with no tenant staying less than 30 days and one tenant remaining for an entire year. This rental is only to bridge the gap created by the permitting (and now appeals) process. It is certainly consistent with the City's "housing strategy" to not let apartments sit vacant while permit applications are pending.

The Kalfatis have also been very transparent with the tenants in #208 with regards to the permitting process and tentative construction start date (Exhibit 5). They have been great landlords throughout the years and their tenants can vouch for that. Darian and his husband in #208 only moved out after an 8-year tenancy because they bought a home in Palm Springs. David, in #206, has lived there for 8 years, at first with a roommate and now with his wife. Mathew, in #206A has been there for over 2 years now and that unit has a track record of tenancy of 2+ years.

## SUMMARY

The appellant's claims are comprised of three categories of issues:

1. Design issues which were duly considered, reviewed and approved by Planning Department staff with subsequent neighborhood notification in which the appellant failed to participate
2. Compliance issues which will be duly considered by the relevant plan checkers at DBI based on the applicant's submitted addenda, and
3. Irrelevant and often spurious attacks on the applicant character with groundless speculation as to his future behavior.

This is a modest residential addition using conventional construction techniques as happens in hundreds of projects across the City. Projects such as 208 Noe create better housing where families can grow. They enhance the neighborhood by bringing buildings up to current seismic and fire codes and providing modern amenities that encourage families to continue to live and work in San Francisco.

Even the appellant does not claim that the Planning Department through its actions has done any wrong or denied him any of the rights he shares with other citizens. He failed to contact the Planning Department or Mr Kalafati during the application process despite ample opportunities to do so. The Kalafatis reached out to the appellant following the appeal (Exhibit 6), and he failed to respond to that attempt as well. He is now seeking a special privilege to stop the Kalafatis from exercising their own rights to improve and enjoy their property. We hope that the Board will recognize the appellant's claims as baseless and deny his appeal.

Table of Contents for Exhibits:

1. Structural drawings submitted in Addenda
2. Architectural drawings submitted in Addenda
3. 3R report evidencing 206-208 Noe Street as a 3-unit building
4. Context rendering of Noe St with addition
5. Emails with tenants evidencing transparency and no short term rentals
6. Email reaching out to Ben Lewis to address his concerns

## DRAWING INDEX

<b>S0.0</b>	<b>GENERAL NOTES</b>
<b>S0.1</b>	<b>GENERAL NOTES</b>
<b>S1.0</b>	<b>TYPICAL DETAILS</b>
<b>S1.1</b>	<b>TYPICAL DETAILS</b>
<b>S1.2</b>	<b>TYPICAL DETAILS</b>
<b>S2.0</b>	<b>FOUNDATION/LEVEL 1 FRAMING PLAN</b>
<b>S2.1</b>	<b>LEVEL 2 FRAMING PLAN</b>
<b>S2.2</b>	<b>LEVEL 3 FRAMING PLAN</b>
<b>S2.3</b>	<b>LEVEL 4 FRAMING PLAN (ADDITION)</b>
<b>S2.4</b>	<b>ROOF FRAMING PLAN</b>
<b>S3.0</b>	<b>CUSTOM FOUNDATION DETAILS</b>
<b>S3.1</b>	<b>CUSTOM FRAMING DETAILS</b>

## STRUCTURAL NOTES

**PROJECT DESCRIPTION**  
 THESE DRAWINGS DOCUMENT THE STRUCTURAL SYSTEM FOR A NEW VERTICAL ADDITION (FOURTH STORY) AND LATERAL STRENGTHENING OF THE BUILDING AT 208E STREET. IT ALSO DOCUMENTS ALTERATIONS TO THE 208E STREET UNIT. THE STRUCTURE IS REINFORCED CONCRETE WOOD STRUCTURE AND THE FOUNDATION IS OF CONCRETE CONSTRUCTION.

- GENERAL**
- CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE.
  - THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
  - VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BEFORE COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED. DO NOT SCALE DRAWINGS.
  - UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
  - ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS.
  - SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY. PROVIDING NECESSARY SHORING AND BRACING, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. ALL DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL BRING OMISSIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS TO THE STRUCTURAL ENGINEER'S ATTENTION PRIOR TO PROCEEDING WITH THE WORK.

**SUBMITTALS**  
 SUBMIT A PDF COPY OF ALL REQUIRED SUBMITTALS TO ENGINEER/ARCHITECT FOR REVIEW. THE ENGINEER SHALL HAVE 10 WORKING DAYS OF RECEIPT TO COMPLETE AND RETURN THE SUBMITTAL REVIEW.

- STRUCTURAL CERTIFICATES**
  - MATERIAL CERTIFICATIONS FOR ALL STEEL AND FASTENERS
  - SHOP DRAWINGS INCLUDING MINIMUM ASTM MATERIAL DESIGNATIONS, MEMBER SIZES, SIZES AND TYPES OF WELDS, SIZES AND TYPES OF BOLTS WITH DIMENSIONS
- REINFORCING STEEL**
  - MATERIAL CERTIFICATES FOR REINFORCING STEEL
  - DRAWINGS FOR FABRICATION, BENDING, AND PLACE OF REINFORCING STEEL IN ACCORDANCE WITH ACI 315.
- CONCRETE**
  - MO DESIGN FOR CONCRETE TO BE USED ON THE PROJECT
  - PROPOSED CONSTRUCTION AND CONTROL JOINT LOCATIONS
  - CURING MATERIALS AND METHODS

**TESTS & INSPECTIONS**

- PROVIDE TESTS AND SPECIAL INSPECTIONS FOR ALL ITEMS AS REQUIRED BY THE CALIFORNIA BUILDING CODE 2016 EDITION SECTIONS 1704, 1707 AND 1708.
- THE OWNER (NOT THE CONTRACTOR) SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND SPECIAL INSPECTIONS. A COPY OF ALL INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER.
  - PULL TEST ALL EPOXYED HOLD-DOWNS TO THE LOADS SHOWN ON 4-10
  - STRUCTURAL WELDING: CONTINUOUS INSPECTION FOR ALL BUTT, COMPLETE AND PARTIAL PENETRATIONS WELDS; CONTINUOUS INSPECTION AND 100% ULT/5% SONIC TESTING AND 25% MAGNET SPATIAL TESTING OF ALL COMPLETE PENETRATIONS WELDS TO BE USED IN MOMENT RESISTING FRAMES; CONTINUOUS INSPECTION OF ALL FILLET WELDS EXCEEDING 3/8" PERIODIC INSPECTION OF SINGLE-PASS FILLET WELDS NOT EXCEEDING 3/8"
- THE FOLLOWING SPECIFIC ITEMS WILL BE OBSERVED BY THE ENGINEER OF RECORD OR THE ENGINEER WILL NOT BE PROVIDING SPECIAL INSPECTIONS
  - CONCRETE AND REINFORCING PLACEMENT
  - SHEAR WALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS

\*\*THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO TIME OF INSPECTION.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AND ENSURING THAT ALL REQUIRED TESTING & INSPECTION IS PERFORMED TO THE SATISFACTION OF THE INSPECTOR.

**STRUCTURAL OBSERVATIONS**  
 STRUCTURAL OBSERVATIONS SHALL BE UNDERTAKEN BY THE ENGINEER OF A PERSON UNDER SUPERVISION OF THE ENGINEER AS REQUIRED BY THE CALIFORNIA BUILDING CODE 2016 EDITION SECTION 1707. THESE ARE IN ADDITION TO THE SPECIAL INSPECTIONS NOTED ABOVE, AND NOT IN LIEU OF.

- THE ENGINEER OF RECORD SHALL BE ENGAGED TO PROVIDE OBSERVATIONS ON THE FOLLOWING COMPONENTS OF CONSTRUCTION
  - FOUNDATION REINFORCEMENT AND CONSTRUCTION
  - COMPLETION OF STRUCTURAL STEEL FRAMING
  - LATERAL FORCE RESISTING ELEMENTS
  - WOOD FRAMING

\*\*THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO TIME OF INSPECTION.

**DESIGN BASIS - BUILDING STRUCTURES**

- CONSTRUCT IN CONFORMANCE WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- GENERAL DESIGN DATA:
 

DL (FPS)	LL (FPS)
18	20
FLOOR	21
DECK	15
	60
- WIND DESIGN DATA:
 

BASIC WIND SPEED	110 MPH
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE	B
WIND PRESSURE(S) (MWFRS)	19.7 & 12.2 PSF
- SEISMIC DESIGN DATA:
 

SEISMIC IMPORTANCE FACTOR	I = 1.0
OCCUPANCY CATEGORY	II
MAPPED SPECTRAL RESPONSE ACCELERATION	S <sub>s</sub> = 1.53 S <sub>1</sub> = 0.69
SITE CLASSIFICATION	ASSUME D
SPECTRAL RESPONSE COEFFICIENTS	S <sub>DS</sub> = 1.02 S <sub>DS1</sub> = 0.69
SEISMIC DESIGN CATEGORY	D
BASIC SEISMIC FORCE RESISTING SYSTEM(S)	WOOD STRUCTURAL PANEL SHEAR WALLS
RESPONSE MODIFICATION FACTOR(S)	R = 6.5
SEISMIC RESPONSE COEFFICIENT(S)	C <sub>s</sub> = 0.16 (STRENGTH)
DESIGN BASE SHEAR	1.019 (ASD)
ANALYSIS PROCEDURE USED	EQUIVALENT LATERAL FORCE PROCEDURE

- SELECT FILL AND SITE PREPARATION**
- STRIP THE AREA TO BE BUILT OVER OF ALL ORGANIC MATERIAL AND TOP SOIL.
  - SCAFFRY THE TOP 6" OF THE STRIPPED SURFACE, BRING TO THE CORRECT MOISTURE CONTENT, THEN RECOMPACT TO AT LEAST 98% UNDER FOOTINGS AND 90% ELSEWHERE.
  - FILL MATERIAL TO BE PLACED IN 6" LAYERS AND COMPACTED.
  - FILL MATERIAL SHALL BE FREE OF PLASTIC CLAYS, VEGETATION, AND OTHER DELETERIOUS MATERIAL. IT SHALL BE OF SUCH QUALITY THAT IT WILL COMPACT THROUGH 1" WHEN WATERED AND ROLLED. THE FILL SHALL NOT CONTAIN ROCKS OR LUMPS OVER 2" IN GREATEST DIMENSION.
  - STEP CONTINUOUS FOOTINGS PER TYPICAL DETAILS. DO NOT SLOPE FOOTINGS.

- FOUNDATIONS**
- THE FOUNDATION DESIGN IS BASED UPON CHAPTER 18 OF THE CALIFORNIA BUILDING CODE.
    - VERTICAL BEARING: 1500 PSF
  - EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE POURED WITHOUT THE USE OF SIDE FORMS WHEREVER POSSIBLE. IF THE TRENCHES CANNOT STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN.
  - DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTOMS OF TRENCHES BECOME SOFTENED DUE TO BANK OR OTHER WATER BEFORE CONCRETE IS CAST, EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY COMPACTED BACKFILL OR CONCRETE AT NO COST TO OWNER.

- CONCRETE**
- REINFORCE ALL CONCRETE. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING AND SECURELY TIE PRIOR TO PLACING CONCRETE.
  - NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT.
  - CONCRETE SHALL BE HARDROCK CONCRETE, USING PORTLAND CEMENT TYPE I OR II LOW ALKALINE AND SHALL ATTAIN AN ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
 

MINIMUM CEMENT CONTENT	4.5 SACKS/100 CY
FLYASH MAY BE SUBSTITUTED FOR UP TO 25% WEIGHT OF THE CEMENT CONTENT.	
MAXIMUM SLUMP	4"
AGGREGATE SIZE	MAXIMUM SIZE APPROPRIATE FOR FORM & REBAR CLEARANCE.
  - CONCRETE SHALL BE CONTINUOUSLY CURED FOR 10 DAYS AFTER PLACING IN ANY APPROVED MANNER, INCLUDING CURING COMPOUND, CURING PAPER, ETC. NOTE: FOOTINGS ARE EXCEPTED FROM THIS REQUIREMENT.
  - CONDUITS OR PIPES (C.O.) WITH SLAB SHALL NOT EXCEED 30% OF SLAB THICKNESS AND SHALL BE SPACED AT LEAST FOUR DIAMETERS AWAY, UNLESS SPECIFICALLY DETAILED OTHERWISE.

- VERIFY ALL CONCRETE WORK DIMENSIONS WITH ARCHITECTURAL DRAWINGS BEFORE POURING CONCRETE.

- REINFORCING STEEL**
- ALL REINFORCING STEEL BARS SHALL CONFORM WITH THE STANDARD SPECIFICATIONS FOR DEFORMED BILLET STEEL FOR CONCRETE REINFORCEMENT, ASTM DESIGNATION A630C OR A630E FOR SHEAR WALLS AND REINFORCING TO BE WELDED. ALL BARS SHALL BE GRADE 60, UNLESS OTHERWISE NOTED.
  - WIRE MESH SHALL CONFORM WITH ASTM A185-84.
  - SUITABLE DEVICES OF SOME STANDARD MANUFACTURE SHALL BE USED TO HOLD REINFORCEMENT IN ITS TRUE HORIZONTAL AND VERTICAL POSITIONS. THESE DEVICES SHALL BE SUFFICIENTLY RIGID AND NUMEROUS TO PREVENT DISPLACEMENT OF THE REINFORCEMENT DURING PLACING OF CONCRETE.
  - LAP SPICE ALL BARS TO CLASS 8 SPICE AND 2" MINIMUM UNLESS OTHERWISE NOTED. PROVIDE 1/2" CLEARANCE BETWEEN PARALLEL BARS.
  - UNLESS OTHERWISE NOTED, MAINTAIN COVERAGE TO FACE OF BARS AS FOLLOWS:
    - 3" WHERE CONCRETE IS DEPOSITED AGAINST EARTH EXCEPT SLAB-ON-GRADE
    - 2" WHERE CONCRETE IS EXPOSED TO EARTH BUT FORMED
    - 1/2" FOR BEAMS, COLUMNS AND EXTERIOR SURFACES
    - 1/2" FOR INTERIOR SLABS, JOISTS AND WALLS
  - ALL SLABS ON GRADE SHALL HAVE CONTROL JOINTS TO CREATE APPROXIMATELY 20-FOOT SQUARES, UNLESS OTHERWISE NOTED ON THE PLANS.
  - UNLESS DETAILED OTHERWISE, REINFORCING STEEL IN THE CONTINUOUS BEAMS, GRADE BEAMS, AND SPANDRILLS SHALL HAVE TOP STEEL SPLICED AT THE MIDSPAN, AND THE BOTTOM STEEL SPLICED OVER SUPPORTS. DO NOT DIAMETER SPICE MINIMUM. AT DISCONTINUOUS ENDS, THE TOP STEEL SHALL BE BENT DOWN 12-DIAMETER OR 12" MINIMUM, WHICHEVER IS GREATER.

- FRAMING LUMBER (UNLESS OTHERWISE NOTED)**
- ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16 WITH MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION.
  - ALL POSTS AND BEAMS SHALL BE DOUGLAS FIR #1 OR BETTER.
  - ALL FLOORS, ROOFS, AND CEILING JOISTS OR RAFTERS SHALL BE DOUGLAS FIR #2 OR BETTER.
  - ALL STUDS, PLATES, ETC. SHALL BE DOUGLAS FIR #2 OR BETTER.
  - ALL FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE-TREATED DOUGLAS FIR UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.
  - ALL TIMBER PLACED AGAINST BRICK, MASONRY, OR CONCRETE CONSTRUCTION SHALL BE PRESSURE-TREATED.
  - ALL EXTERIOR DOCKING SHALL BE REDWOOD SELECT, PRESSURE-TREATED, OR MANUFACTURED BECKING, REFER TO THE ARCHITECTURAL DRAWINGS.

- WOOD STRUCTURAL PANELS**
- ALL WOOD STRUCTURAL PANELS SHALL BE MARKED WITH THE APPROPRIATE TRADEMARK OF APA AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF VOLUNTARY PRODUCT STANDARD PSL, VOLUNTARY PRODUCT STANDARD OR S OR APA TRU-100 PERFORMANCE STANDARDS. PANEL THICKNESS, GRADE AND GRIP NUMBER OR SPAN RATING SHALL BE AT LEAST EQUAL TO THAT SHOWN ON THE DRAWINGS. APPLICATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF APA.
  - WOOD STRUCTURAL PANEL SHEETS SHALL HAVE THICKNESS AS SPECIFIED HEREIN OR AS NOTED ON DRAWINGS
  - WOOD STRUCTURAL PANEL SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS, UNLESS OTHERWISE SPECIFIED ON PLANS.
  - WOOD STRUCTURAL PANEL SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL EDGES. MINIMUM DIMENSION OF PANELS ON WALLS, FLOORS OR ROOF SHALL BE 24".
  - UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL ROOF SHEATHING SHALL BE 5/8" THICK WITH SPAN RATING 4020. EXPOSURE 1 WITH 100 NAILS @ 6" O.C. @ PANEL EDGES AND WITH 100 NAILS @ 12" O.C. IN THE FIELD. PROVIDE PLYCLIPS BETWEEN JOISTS WHERE EDGES ARE NOT BLOCKED.
  - UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL FLOOR SHEATHING SHALL BE UNBLOCKED 3/4" STRUPLUM FLOOR WITH SPAN RATING 4020. EXPOSURE 1, 1 X 3 WITH 100 NAILS @ 6" O.C. @ PANEL EDGES AND WITH 100 NAILS @ 12" O.C. IN THE FIELD. (CONTRACTOR MAY OMIT 1 X 3 WHERE BLOCKED EDGES ARE SPECIFIED ON THE DRAWINGS).
  - UNLESS OTHERWISE SPECIFIED IN A SHEARWALL SCHEDULE OR CDX ON THE DRAWINGS, ALL EXTERIOR SHEATHING SHALL BE 1/2" APA CDX 1 WITH SPAN RATING 240 EXPOSURE 1, NAILED WITH 100 @ 6" O.C. PANEL EDGES AND @ 12" O.C. FIELD. SEE SHEAR WALL SCHEDULE WHERE PROVIDED ON PLANS.

- ENGINEERED LUMBER**
- ENGINEERED LUMBER, INCLUDING T4 PREFABRICATED WOOD JOISTS (ICC-ESR-1153), T3 RIM BOARD (ICC-ESR-1387), TIMBERSTRAND LSL (ICC-ESR-1387), MICROLAM LVL (ICC-ESR-1387), AND PARALLAM PSL (ICC-ESR-1387), SHALL BE USED ONLY WHEN MANUFACTURED IN ACCORDANCE WITH ALL REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER.
  - LAMINATED STRAND LUMBER (LSL) SHALL BE 1.5SE TIMBERSTRAND LSL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
 

E	= 2,000,000 PSI
F <sub>v</sub>	= 2,600 PSI
F <sub>t</sub>	= 250 PSI
F <sub>t</sub>	= 2,510 PSI (PARALLEL)
F <sub>t</sub>	= 290 PSI (PERPENDICULAR)
F <sub>t</sub>	= 1,070 PSI
  - LAMINATED VENEER LUMBER (LVL) SHALL BE 2.2E MICROLAM LVL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
 

E	= 2,000,000 PSI
F <sub>v</sub>	= 2,600 PSI
F <sub>t</sub>	= 250 PSI
F <sub>t</sub>	= 2,510 PSI (PARALLEL)
F <sub>t</sub>	= 1,070 PSI (PERPENDICULAR)
F <sub>t</sub>	= 2,025 PSI
  - PARALLEL STRAND LUMBER (PSL) SHALL BE 2.2E PARALLAM PSL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
 

E	= 2,000,000 PSI
F <sub>v</sub>	= 2,600 PSI
F <sub>t</sub>	= 290 PSI
F <sub>t</sub>	= 2,600 PSI (PARALLEL)
F <sub>t</sub>	= 625 PSI (PERPENDICULAR)
F <sub>t</sub>	= 2,025 PSI

- ROUGH CARPENTRY**
- ALL CONSTRUCTION SHALL COMPLY WITH STANDARDS OF QUALITY REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, SECTION 2303.
  - CONVENTIONAL CONSTRUCTION PROVISIONS NOT SPECIFICALLY DETAILED ON THE PLANS SHALL BE IN COMPLIANCE WITH THE CALIFORNIA BUILDING CODE, SECTION 2308.
  - FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1, CALIFORNIA BUILDING CODE. 16 PENNY NAIL CONTROL BRACKETS MAY BE SUBSTITUTED FOR 16 PENNY BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.
  - SLIS ON CONCRETE SHALL BE 3X PRESSURE-TREATED DOUGLAS FIR. SLIS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND NO FASTENERS FURTHER THAN 8 INCHES FROM END OF PIECE.
  - PLACE SAWN LUMBER MEMBERS WITH THE CROWN UP.
  - RETTIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.
  - ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED AND FIRE RETARDANT TREATED LUMBER, OR PERMANENTLY EXPOSED TO WEATHER SHALL BE OF HOT-DIPPED ZINC-COATED, GALVANNEED OR STAINLESS STEEL IN ACCORDANCE WITH THE CBC SECTION 2304.9.5.
  - DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE.
  - BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM 2X SOLID BLOCKING. BLOCK AND BRIDGE ROOF JOISTS AT 10 FEET AND FLOOR JOISTS AT 8 FEET BETWEEN SUPPORTS. NOTE: FOR MANUFACTURED JOISTS, PROVIDE BLOCKING AT AND BETWEEN SUPPORTS PER THE MANUFACTURER'S SPECIFICATIONS.
  - ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE EMPSON STRONG TIE, INC. STANDARD FASTENERS OR APPROVED EQUAL.
  - BOLT HOLES SHALL BE BORED NO MORE THAN 102 OF AN INCH LARGER THAN THE DIAMETER OF THE BOLT.
  - DOUBLE TOP PLATES ON ALL EXTERIOR, INTERIOR BEARING, AND INTERIOR SHEAR WALLS SHALL LAP 4" MINIMUM, WITH 16-180 NAILS AT SPICE U.O.N.

- STRUCTURAL & MISCELLANEOUS STEEL**
- STEEL SHAPES AND MISCELLANEOUS STEEL SHALL CONFORM TO THE FOLLOWING:
    - WIDE FLANGES - ASTM A72, GR 50
    - EXCEPT WHERE NOTED ON THE PLANS, ALL STEEL SHALL BE ASTM A992 GR 50
    - MISCELLANEOUS SHAPES (I.E. CHANNELS, ANGLES, ETC.) - ASTM A36
    - STANDARD, EXTRA STRONG, AND DOUBLE EXTRA STRONG PIPE - ASTM A53 GR B
    - HOLLOW STRUCTURAL SECTIONS (HSS)
      - SQUARE OR RECTANGULAR - ASTM A500 GR B (F<sub>y</sub> = 42 ksi)
      - ROUND - ASTM A500 GR B (F<sub>y</sub> = 42 ksi)
      - PLATES, BARS - ASTM A36
      - EXCEPT AS IN MOMENT FRAMES WHICH ASTM A36 SHALL BE ASTM A992 GR 50
  - ALL BOLTS SHALL CONFORM WITH ASTM A307 EXCEPT FOR STEEL-TO-STEEL CONNECTIONS WHICH SHALL CONFORM WITH ASTM A325. ANCHOR BOLTS SHALL CONFORM WITH ASTM A36.
  - PAINT STEEL (EXCEPT PORTIONS TO BE ENCASED IN CONCRETE) WITH ONE COAT OF PRIMER STANDARD WITH MANUFACTURER.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF AISC SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL, FOR BUILDINGS.
  - WELDING SHALL CONFORM WITH THE LATEST EDITION OF THE AWS SPECIFICATIONS. USE E70XX ELECTRODES.
  - ALL STEEL EXPOSED TO WEATHER INCLUDING BOLTS, NUTS, SCREWS, ETC. SHALL BE GALVANIZED. USE GALVANIZED PAINT OVER EXPOSED WELLS OR OTHER UNPROTECTED MARKINGS INCURRED DURING THE TRANSPORTATION, HANDLING, OR ERECTION PROCESS.
  - BOLT HOLES FOR MACHINE BOLTS SHALL BE NO MORE THAN 1/8" OVERSIZED U.O.N.
  - ALL STEEL MEMBERS CONNECTING TO OR SUPPORTING WOOD FRAMING SHALL HAVE 3/4" DIAMETER THREADED STUDS AT 24-INCHES ON CENTER TYP. U.O.N., ATTACHED WITH A 3/4" FILET WELD ALL AROUND (MIN).

**SYMBOLS LEGEND**

GRID LINE AND BUBBLES  
 SECTION OR DETAIL NUMBER  
 SECTION MARK  
 SECTION OR DETAIL NUMBER  
 DETAIL ELEVATION  
 PLAN VIEW DETAIL  
 SECTION MARK ON DETAIL DRAWING  
 REVISION I.D.  
 NUMBER  
 SPAN DIRECTION  
 ELEVATION  
 ELEVATION  
 W.P.  
 WORK POINT  
 IN FOUNDATION BELOW  
 IN FOUNDATION BELOW  
 WALL BELOW

MOMENT CONNECTION  
 INDICATES SHEARWALL WITH OPENING. SEE DETAIL FOR HARDWARE. SEE SWS FOR NAILING.  
 INDICATES WOOD SHEARWALL WITH OPENING. SEE DETAIL FOR LENGTH 10'-0" SEE SWS.  
 COLUMN ABOVE FLOOR  
 COLUMN BELOW FLOOR  
 IN CONCRETE SECTION  
 IN CONCRETE SECTION  
 STEEL  
 EARTH  
 GRAVEL  
 BRICK

**ABBREVIATIONS**

K	AND	JP	JOINT
L	ANGLE	K#	1,000 POUNDS
AB	AT	MSF	SQ. FEET PER SQUARE INCH
AB	ANCHOR BOLT	LB	POUNDS
ACI	AMERICAN CONCRETE INSTITUTE	LONG	LONG
AD	ADDITIONAL	LONG LEG	LONG LEG HORIZONTAL
ADJ	ADJACENT	LONG LEG VERTICAL	LONG LEG VERTICAL
AIN	AMERICAN IRON AND STEEL INSTITUTE	LN	LINE
ATC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION	LT	TIMBERSTRAND LUMBER
ALT	ALTERNATE	LVL	LIGHT MICROLAM LUMBER
APPROX	APPROXIMATE	LWL	LIGHT WEIGHT CONCRETE
ARCH	ARCHITECT, ARCHITECTURAL	MAL	MATERIAL
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	MA	MACHINE BOLT
AWS	AMERICAN WELDING SOCIETY	MCH	MECHANICAL
BETW	BETWEEN	MF	MANUFACTURER
BUILD	BUILDING	MIN	MINIMUM
BM	BEAM	MISC	MISCELLANEOUS
BOF	BOTTOM OF FOOTING	MTL	METAL
BOFF	BOTTOM	#	NUMBER
BOT	BOTTOM	N	NOT IN CONTRACT
BV	BEYOND	NO	NUMBER
BYD	BEYOND	NO	NOMINAL
C	CANTILEVER	NS	NEAR SIDE
CA	CHANNEL PREFIX	NSG	NON-SHINK GROUT
CANT	CANTILEVER	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OC	ON CENTER
CL	CENTRINE	OD	OUTSIDE DIAMETER
CLR	CLEAR	OP	OPENING
CONC	CONCRETE	OPF	OPPOSITE HAND
CONN	CONNECTION	OPD	POWER DRIVEN FASTENERS
CONSTR	CONSTRUCTION	PL	PLATE
CONTD	CONTINUOUS, CONTINUITY	PLYWD	PLYWOOD
CONT	CONTINUED	PS	POUNDS PER SQUARE FOOT
CTR	CENTER	PSF	POUNDS PER SQUARE INCH
CTSK	COUNTERSINK	PT	POINT
CUBIC	CUBIC	QTY	QUANTITY
DBL	DOUBLE	RAD	RADIUS
DBLR	DOUBLER	RC	CONCRETE REINFORCEMENT
DET	DETAIL	RENF	REINFORCING
DL	DEAD LOAD	REQD	REQUIRED
DIAG	DIAGONAL	RJ	ROOF JOIST
DIST	DISTANCE	SCH	SCHEDULE
DN	DOWN	SCD	SEE ARCHITECTURAL DRAWINGS
DO	DOWN	SAD	SEE CIVIL DRAWING
DP	DEEP	SECT	SECTION
DWD	DRAWING	SEI	SEE ELECTRICAL DRAWINGS
(E)	EXISTING	SH	SHAW CUT JOINT
EA	EACH	SM	SMALLER
EF	EACH FACE	SMS	SEE MECHANICAL DRAWINGS
EN	EDGE NAILING	SND	SHEET METAL SCREWS
EJ	EXPANSION JOINT	SQA	SQUARE
ELEV	ELEVATION	SQ	SQUARE
ENGR	ENGINEER	STAGD	STANDARD
EQ	EQUAL	STD	STANDARD
ES	EACH SIDE	STR	STRENGTH
EW	EACH WAY	STRB	STRENGTH
EWT	EACH WAY BOTTOM	STRU	STRUCTURAL
ENH	EACH WAY MIDDLE	SWK	SHEARWALL SCHEDULE
EWB	EACH WAY TOP	THK	THICK THICKNESS
EXT	EXTENSION	THRD	THREAD, THREADED
FF	FINISH FLOOR	TOC	TOP OF CONCRETE
FINSH	FINISH	TOP	TOP OF FOOTING
FJ	FLOOR JOIST	TOP OF STEEL	TOP OF STEEL
FLD	FLOOR FIELD	TYP	TYPICAL
FLR	FLOOR	TYP	TYPICAL
FOC	FACE OF CONCRETE	UBC	UNIFORM BUILDING CODE
FW	FACE OF WALL	UP	UNLESS OTHERWISE NOTED
FRAMG	FRAMING	VAP	VAPOR BARRIER
FR	FAR SIDE	VER	VERIFY IN FIELD
FT	FEET	W	WITH
FTG	FOOTING	WD	WOOD
GA	GAUGE	WF	WIDE FLANGE
GALV	GALVANIZED	WTD	WIDE FLANGE WITHOUT
GOL	GOLD	WT	WEIGHT, OR IN SECTION PREFIX
GB	GRADE BEAM	WV	WELDED WIRE FABRIC
GDR	GROD	WVF	WIDE, SIDE FABRIC PREFIX
GRD	GROUND		
HD	HOLLOW		
HK	HOOK		
HORIZ	HORIZONTAL		
HPT	HIGH POINT		
HSS	HOLLOW STEEL SECTION		
ID	INSIDE DIAMETER		
INT	INTERIOR		
INV	INVERT		

**wmstructural**  
 engineering consultants  
 4098 PIEDMONT AVE. STE 279  
 OAKLAND, CA 94611  
 info@wmstructural.com  
 510.995.6428

PROFESSIONAL SEAL  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA  
 05/17/2019  
 DATE SIGNED

**OWNERS**  
 ANTON KALAFATI

**PROJECT ADDRESS**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114

**208 NOE STREET - ALTERATIONS**

**SUBMITTAL**  
 PERMIT SET 05.17.2019

18-076  
 wmstructural JOB NUMBER

EL  
 DRAWN BY  
 1" = 1'-0"  
 SCALE

**GENERAL NOTES**  
 SHEET TITLE

**S0.0**





05/17/2019  
DATE SIGNED

OWNERS  
ANTON KALAFATI

PROJECT ADDRESS  
208 NOE STREET  
SAN FRANCISCO, CA 94114

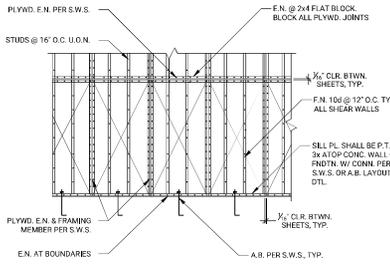
208 NOE STREET -  
ALTERATIONS

SUBMITTAL  
PERMIT SET 05.17.2019

18-076  
wmstructural JOB NUMBER  
EL  
DRAWN BY

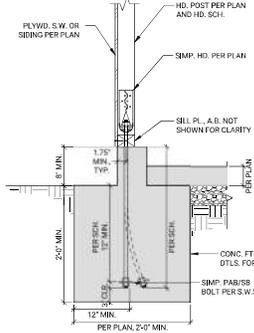
SCALE  
TYPICAL DETAILS  
SHEET TITLE

**S1.0**

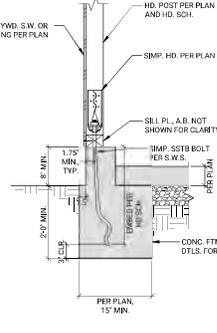


1 TYPICAL SHEARWALL PLYWOOD FRAMING

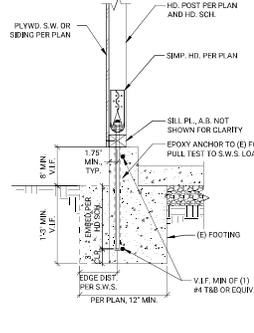
NTS



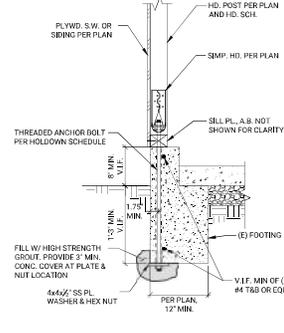
A HOLLOWDOWN AT FOUNDATION - TYPE A



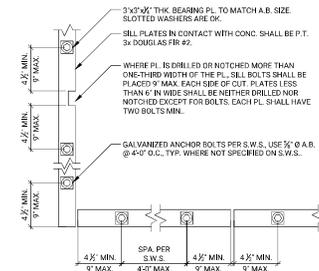
B HOLLOWDOWN AT FOUNDATION - TYPE B



C HOLLOWDOWN AT FOUNDATION - TYPE C



D HOLLOWDOWN AT FOUNDATION - TYPE D



2 TYPICAL ANCHOR BOLT LAYOUT

NTS

3 TYPICAL HOLLOWDOWN AT FOUNDATION

NTS

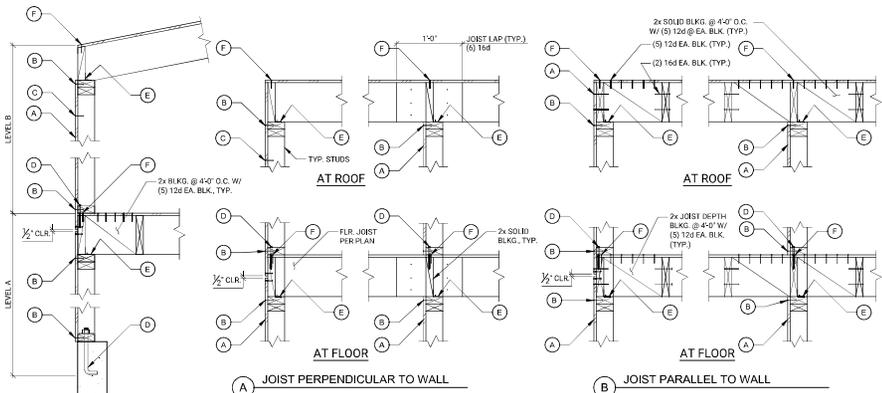
SHEAR WALL SCHEDULE (1/2" C-D WOOD STRUCTURAL PANEL)									
MARK	PLYWOOD	EDGE NAILING	FIELD NAILING	PLYWOOD AT (2)	SILL PLATE CONN.	BLKG. RIM TO TOP 4' OF WALL			
	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)
(1)	3/4" (310 #4)	10d @ 6" o.c.	10d @ 12" o.c.	2x NOMINAL	3/4" O.A.B. @ 4'-0" S/S SCREWS @ 12" o.c.	16" o.c.	16" o.c.	16" o.c.	16" o.c.
(2)	3/4" (440 #4)	10d @ 4" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" O.A.B. @ 12" o.c.	10" o.c.	16" o.c.	16" o.c.	16" o.c.
(3)	3/4" (600 #3)	10d @ 3" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" O.A.B. @ 2'-0" S/S SCREWS @ 9" o.c.	8" o.c.	12" o.c.	12" o.c.	12" o.c.
(4)	3/4" (770 #3)	10d @ 2" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" O.A.B. @ 2'-0" S/S SCREWS @ 8" o.c.	6" o.c.	10" o.c.	10" o.c.	10" o.c.
(5)	3/4" (920 #3)	10d @ 4" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" O.A.B. @ 1'-0" S/S SCREWS @ 9" o.c.	4" o.c.	8" o.c.	8" o.c.	8" o.c.
(6)	3/4" (1200 #3)	10d @ 4" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" O.A.B. @ 1'-0" S/S SCREWS @ 4" o.c.	4" o.c.	6" o.c.	6" o.c.	6" o.c.
(7)	3/4" (1540 #3)	10d @ 2" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" O.A.B. @ 1'-0" S/S SCREWS @ 4" o.c.	4" o.c.	6" o.c.	6" o.c.	6" o.c.

LEGEND:

- (A) STRUCTURAL PANEL SHEAR WALL. SEE PLAN FOR LOCATION AND TYPE.
  - (B) STRUCTURAL PANEL EDGE NAILING AT PERIMETER OF EACH PLYWOOD SHEET.
  - (C) STRUCTURAL PANEL FIELD NAILING IS TYPICAL ON ALL STUDS, EXCEPT FOR PLYWOOD EDGES.
  - (D) SOLE (OR SILL AT FOUNDATION) PLATE ATTACHMENT.
- SIMPSON **FRAMING CLIP** AT SHEAR WALLS. SEE SHEAR WALL SCHEDULE, WHERE CLIP SPACING ARE LESS THAN 5'-0". CLIPS ARE TO BE STAGGERED IN ALL BOTH SIDES OF THE WALL.
- ROOF AND **CEILING** STRUCTURAL PANELS TO BE NAILED WITH 10d NAILS @ 6" O.C. AT PANEL EDGES.

SHEAR WALL NOTES:

- ALL EXTERIOR WALL TO BE 1/2" 2x10 C-D STRUCTURAL PANEL SHEAR WALL TYPE (C) U.O.N.
- PROVIDE 2x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES FOR SHEAR WALLS TYPE (2) THRU (5). 2x SILL PLATE BE 2x AT UPPER FLOOR FOR ALL TYPES (2) THRU (5). PANEL APPLIED TO BOTH SIDES OF THE WALL SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
- PROVIDE 1/16" HORIZONTAL GAP BETWEEN ADJOINING PANEL EDGES.
- SIMPSON S/S SHALL BE 4 1/2" LONG AT 2X PLATES AND 8" LONG AT 3X PLATES. SCREWS SHALL HAVE 1/2" MIN. EDGE DISTANCE. MULTIPLE ROWS SHALL BE SPACED 1" APART, AND ROWS SHALL BE STAGGERED BLOCKING/RIM BELOW TYPES (2) THRU (5) SHALL BE 2x OR 1 1/2" S/L MIN.
- SHEAR WALLS FALLING OVER EXISTING FOUNDATION SHALL USE ALL THROUGH RODS MATCHING THE SPECIFIED A.B. U.O.N. SEE EPOXY BOLT SECTION OF THE GENERAL NOTES.
- STAGGER DBL. TOP PLATE NAILING TO ENAGE EACH PLATE, TYPICAL.
- ALL NAILS SPECIFIED SHALL BE COMMON NAILS. NAIL GUN USING CLIPPED HEAD OR 'SINKER NAILS' ARE NOT ACCEPTABLE.
- FOUNDATION ANCHOR BOLTS IN ALL SHEAR WALLS SHALL HAVE 3"x3"x29 BEARING PLATES UNDER EACH NUT. NUTS SHALL BE TIGHTENED JUST PRIOR TO CLOSING WALL FRAMING.
- A.B. HOLES DRILLED IN SOLE PLATE SHALL BE NO LARGER THAN 1/16" DIAMETER OF THE BOLT.
- SILL PLATES IN CONTACT WITH CONCRETE SHALL BE 2x PRESSURE TREATED DOUGLAS FIR #2. USE GALVANIZED A.S. AND NAILS INTO ALL F.L. WOOD AT WALL TYPE (C). A 2x PLATE MAY BE USED PROVIDED THE PLATE IS ANCHORED BY 2 TIMES THE MEMBER OF BOLTS LISTED IN THE TABLE ABOVE.
- MINIMUM ANCHOR BOLT EMBEDMENT INTO CONCRETE SHALL BE 7". EPOXYED ALL-THREAD RODS SHALL BE EMBEDDED A MINIMUM OF 6" U.O.N.
- ALL WOOD SHEATHING PANEL EDGES SHALL BE BLOCKED WITH MINIMUM 2x BLOCKING, U.O.N.
- PROVIDE 2/8" MIN. EDGE DISTANCES FOR ALL SHEATHING AND FRAMING MEMBER EDGE NAILING.
- STUCCO AND/OR EXTERIOR VENEER OVER A WOOD SHEATHING SHEARWALL SHALL BE WATERPROOFED WITH A MINIMUM OF 2 LAYERS OF FELT PAPER.
- THE SHEAR WALL LENGTH NOTED ON THE FLOOR PLANS INDICATES THE MINIMUM REQUIRED LENGTH REQUIRED BY ENGINEERING DESIGN. THE ACTUAL WALL LENGTH MAY EXCEED THIS LENGTH. PLEASE NOTIFY ENGINEER IF WALL LENGTH IS SHORTER THAN NOTED.
- NAILS ARE TO BE DRIVEN FLUSH TO THE SHEATHING. ADD 1 NEW NAIL FOR EVERY 2 OVERDRIVEN NAILS IF MORE THAN 20% OF NAILS ARE 1/16" OVERDRIVEN OR IF ANY NAILS ARE 1/8" OVERDRIVEN. IF SPLITTING CONDITION OCCURS, USE STAPLES. IF ADDING NAILS WILL DECREASE SPACING TO 10" O.C. OR LESS, ADD ANOTHER STUD TO RECEIVE END NAILING FOR EACH PLYWOOD EDGE AND CONNECT STUDS WITH 10d @ 6" O.C..
- WALL TYPES (2) AND (3) REQUIRED PERIODIC SPECIAL INSPECTION OF SHEATHING AND FASTENER INSTALLATION.



6 TYPICAL WOOD FRAMING DETAILS

NTS

HOLLOWDOWN SCHEDULE										POST SCHEDULE	
TYPE	HOLLOWDOWN HARDWARE	ANCHOR DIAMETER	UPPER 1/16" TEST LOAD (LBS)	TEST LOAD (LBS)	EMBEDMENT INTO IN. CONCRETE U.O.N.	(E) CONC. W/ 2" EDGE DIST.	(F) CONC. W/ 6" EDGE DIST.			MINIMUM REQUIRED U.S.N.	MINIMUM REQUIRED U.S.N.
(FSC)	FSC	3/4"	1830	3580	N/A	N/A	N/A	(1) 2x4	(1) 2x4		
(H202)	HD2	3/4"	3075	7690	TYPE B S2TB 1/4" A.B. EMBED 13" MIN.	TYPE C EMBED 5" MIN.	TYPE C EMBED 5" MIN.	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4
(H204)	HD4	3/4"	4565	9940	TYPE B S2TB 2" A.B. EMBED 17" MIN.	TYPE C EMBED 15" MIN.	TYPE C EMBED 15" MIN.	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4
(H205)	HD5	3/4"	5645	9940	TYPE B S2TB 2 1/2" A.B. EMBED 21" MIN.	TYPE D	TYPE D	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4
(H208)	HD8	3/4"	6970	17425	TYPE B S2TB 2 3/4" A.B. EMBED 21" MIN.	TYPE D	TYPE D	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4
(H211)	HD11	1"	9535	23840	TYPE A S2TB 3" A.B. EMBED 24" MIN.	N/A	N/A	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4
(H214)	HD14	1"	14390	25445	TYPE A S2TB 3 1/2" A.B. EMBED 24" MIN.	N/A	N/A	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4
(H219)	HD19	1 1/2"	19070	39760	TYPE A S2TB 4" A.B. EMBED 26" MIN.	N/A	N/A	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4	4x4 OR (2) 2x4

HOLLOWDOWN NOTES:

- INSTALL ALL HOLLOWDOWN HARDWARE PER MANUFACTURERS INSTRUCTIONS.
- ONLY FULL-HEIGHT (TOP TO BOTTOM PLATE) POSTS SHALL BE USED FOR HOLLOWDOWN CONNECTIONS.
- PROVIDE SHEAR WALL END NAILING (AS NOTED IN THE S.W.S.) TO ALL POSTS WITH HOLLOWDOWNS AT THE TOP OR BOTTOM OF POST.
- HOLLOWDOWNS SHALL BE INSTALLED DIRECTLY ON TOP OF SILL PLATES U.O.N.
- USE SIMPSON S/S SCREWS ON ALL HOLLOWDOWN CONNECTIONS.
- POSTS SHOWN ARE MINIMUM REQUIREMENTS FOR HOLLOWDOWNS. SHEAR WALL TYPE MAY REQUIRE LARGER FRAMING MEMBERS AT PANEL EDGES, SEE PLAN.
- WHERE HOLLOWDOWNS ARE CALLED OUT ON UPPER FLOORS, THEY SHALL BE CARRIED DOWN TO FOUNDATION WITH MATCHING HOLLOWDOWN OR ONE WITH GREATER CAPACITY UNLESS A DIFFERENT HOLLOWDOWN IS SPECIFIED ON PLAN.
- HOLLOWDOWN ANCHORS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING. BOLT NUT SHOULD BE FINGER-TIGHT PLUS 1/2 TO 1/2 TURN WITH A WOOD WRENCH. DO NOT OVER-TORQUE THE NUT.
- WHERE HOLLOWDOWNS ARE CONNECTED TO A WOOD OR STEEL MEMBER BELOW, A 2"x4" BEARING PLATE SHALL BE APPLIED TO THE BOTTOM OF THE MEMBER.
- HOLLOWDOWN CAPACITIES SHOWN ARE FOR MINIMUM POST SIZE IN SCHEDULE. WHERE LARGER POSTS ARE SHOWN ON PLAN REFER TO LATEST SIMPSON CATALOG FOR CAPACITIES.
- UNLESS NOTED OTHERWISE ON DRAWINGS.

4 HOLLOWDOWN (HD.) SCHEDULE

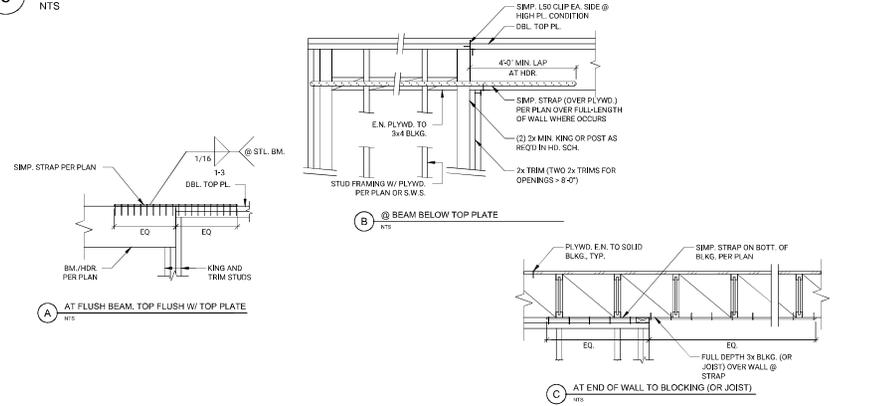
NTS

5 SHEAR WALL SCHEDULE (S.W.S.)

NTS

7 TOP PLATE STRAP TIE TO BEAM

NTS



7 TOP PLATE STRAP TIE TO BEAM

NTS



05/17/2019  
DATE SIGNED

OWNERS  
ANTON KALAFATI

PROJECT ADDRESS  
208 NOE STREET  
SAN FRANCISCO, CA 94114

208 NOE STREET -  
ALTERATIONS

SUBMITTAL

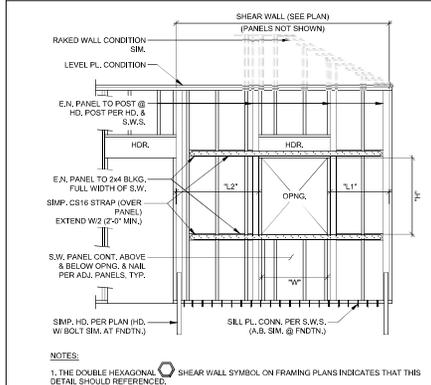
PERMIT SET 05.17.2019

18-076  
wmstructural JOB NUMBER

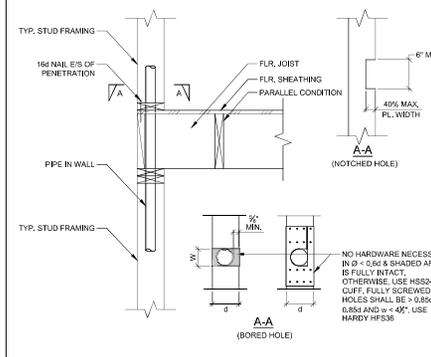
EWL  
DRAWN BY  
1" = 1'-0"  
SCALE

TYPICAL DETAILS  
SHEET TITLE

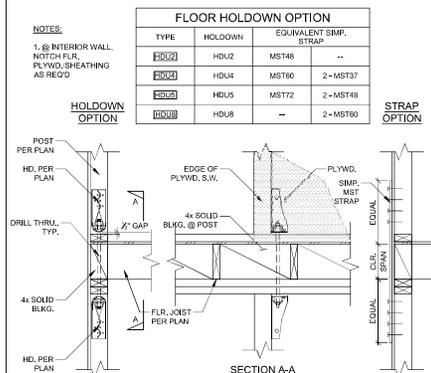
S1.1



1 PERFORATED SHEAR WALL ELEVATION  
NTS



2 DIAPHRAGM PLYWOOD  
NTS (ROOF OR FLOOR)

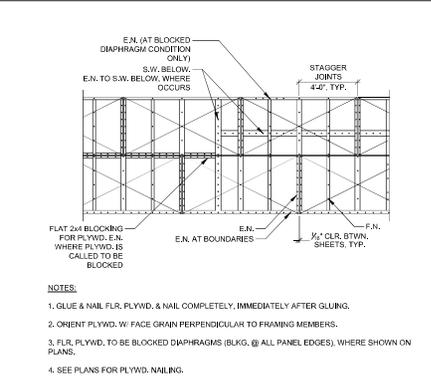


3 WALL FRAMING WITH OPENING  
NTS

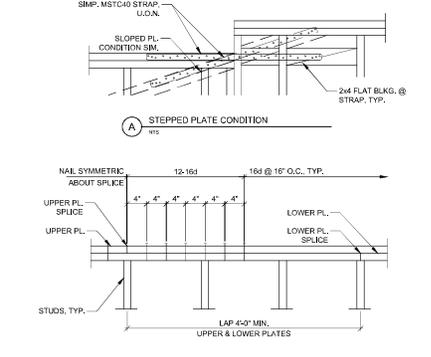
4 LIMIT ON NOTCH AND BORING IN TOP PLATE  
NTS

5 TOP PLATE SPLICE  
NTS @ ALL EXTERIOR, BEARING, AND SHEAR WALLS

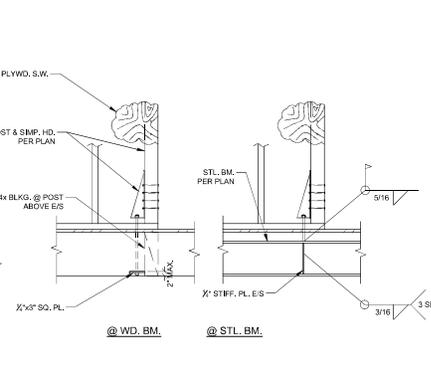
6 ALLOWABLE PENETRATIONS  
NTS FOR JOISTS AND STUDS



4 LIMIT ON NOTCH AND BORING IN TOP PLATE  
NTS



5 TOP PLATE SPLICE  
NTS @ ALL EXTERIOR, BEARING, AND SHEAR WALLS

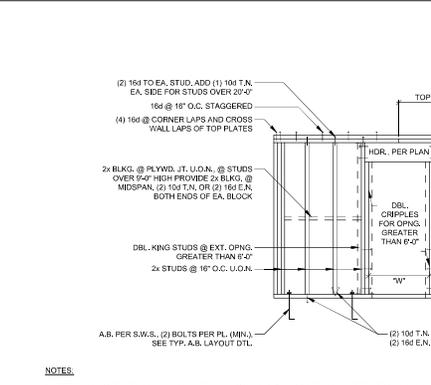


6 ALLOWABLE PENETRATIONS  
NTS FOR JOISTS AND STUDS

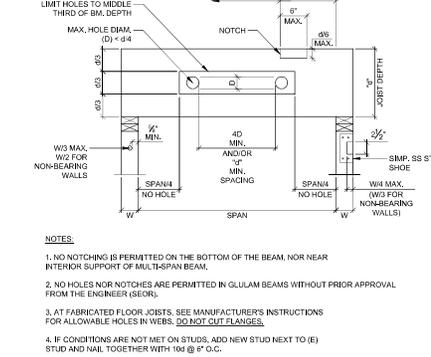
7 BUILT-UP BEAM CONNECTIONS  
NTS

8 TYPICAL HOLDDOWN BETWEEN FLOORS  
NTS

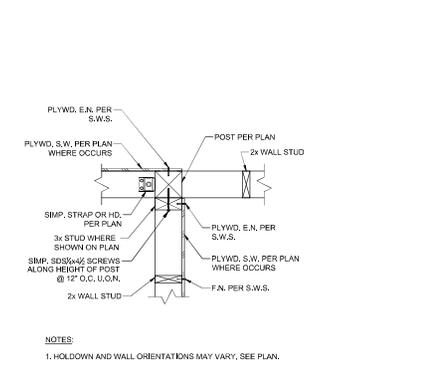
9 HOLDDOWN AT BEAM  
NTS



7 BUILT-UP BEAM CONNECTIONS  
NTS



8 TYPICAL HOLDDOWN BETWEEN FLOORS  
NTS

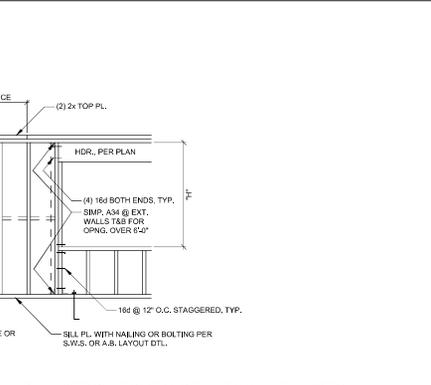


9 HOLDDOWN AT BEAM  
NTS

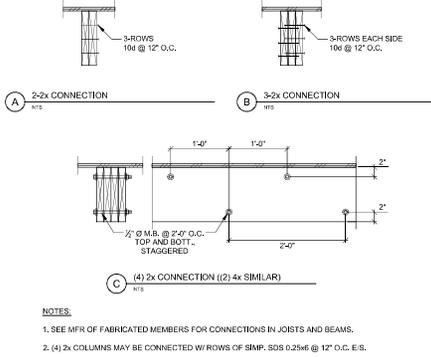
10 STUD TO HOLDDOWN CONNECTION  
NTS

11 DIAPHRAGM OPENINGS  
NTS

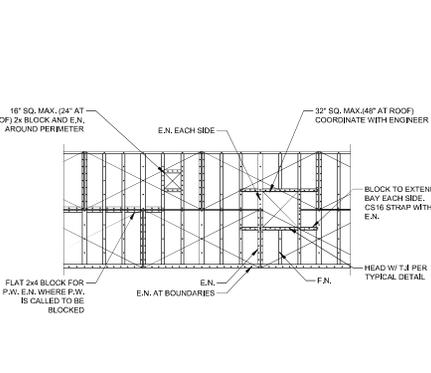
12 PERFORATED SHEAR WALL ELEVATION  
NTS



10 STUD TO HOLDDOWN CONNECTION  
NTS

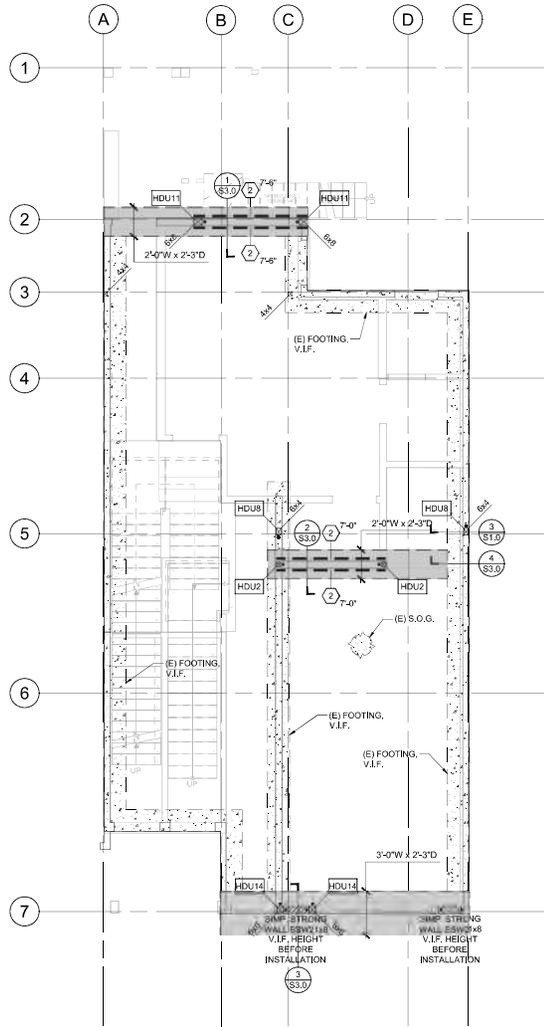


11 DIAPHRAGM OPENINGS  
NTS



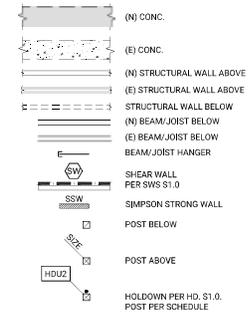
12 PERFORATED SHEAR WALL ELEVATION  
NTS





**1** FOUNDATION/LEVEL 1 FRAMING PLAN  
1/4" = 1'-0"

**KEY:**



**SHEET NOTES:**

1. FOR GENERAL NOTES SEE SHEET S0.
2. FOR TYPICAL DETAILS SEE SHEET S1.0, S1.1 & S1.2.
3. FOR CUSTOM DETAILS SEE SHEET S3.0, S3.1 & S3.2.
4. IF (E) CONCRETE ENDS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
5. WATERPROOFING, DRAINAGE AND VENTILATION BY OTHERS.
6. ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX. SEE S2/S1.0.
7. FOR HOLDDOWN INSTALLATION AT (E)/(N) FOOTING SEE S2/S1.0.
8. ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
9. ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 1 SHEAR WALL U.O.N.
10. FOR SHEAR WALLS TYPE 3 & 4 PROVIDE 3x STUDS, PLATES AND BLOOMING AT ADJOINING PANEL EDGES PER SWS, SEE S6/S1.0.
11. 4x, 6x AND 8x MAY BE MADE UP OF (2)2x, (2)2x AND (4)2x, RESPECTIVELY, CONNECTED TOGETHER PER DET. 751.1.
12. HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N. HANGERS FOR 4x OR 6x BEAMS TO BE RJ U.O.N.
13. NEW HEADERS TO BE #5 U.O.N.
14. PROVIDE SIMP 1/2"X2" POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
15. SHORING OF EXISTING STRUCTURE BY CONTRACTOR.

**KEY NOTES:**

1. 3/4" PLYWOOD FLOOR, UNBLOCKED W/ 10d E.N. @ 6" O.C. PER 2/S1.1
2. 7/8" PLYWOOD FLOOR, ALL EDGES BLOCKED W/ 10d E.N. @ 6" & F.N. @ 12" O.C.
3. SIMP. CS16x4-2" PER 7/S1.0, PROVIDE BLKG. IF PERPENDICULAR TO JOISTS
4. 4x4 SHORT POST BELOW BEAMS TO HEADER, SIMP. PC4Z TAB OF POST
5. PROVIDE DIAPHRAGM EDGE NAILS TO BEAM/JOIST BELOW



05/17/2019  
DATE SIGNED

**OWNERS**  
ANTON KALAFATI

**PROJECT ADDRESS**  
208 NOE STREET  
SAN FRANCISCO, CA 94114

**208 NOE STREET -  
ALTERATIONS**

**SUBMITTAL**

PERMIT SET 05.17.2019

18-076

wmstructural JOB NUMBER

EL

DRAWN BY

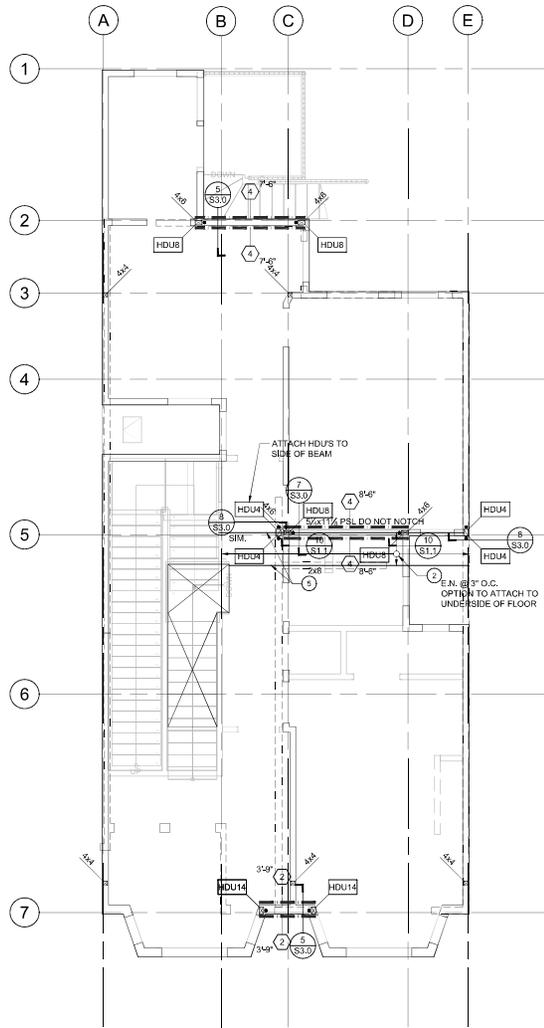
1/4" = 1'-0"

SCALE

FOUNDATION/LEVEL 1 FRAMING  
PLAN

SHEET TITLE

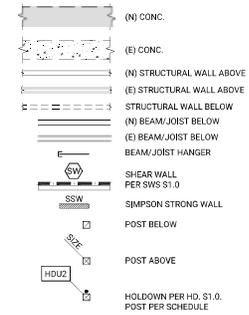
**S2.0**



1 LEVEL 2 FRAMING PLAN  
1/4" = 1'-0"



**KEY:**



**SHEET NOTES:**

1. FOR GENERAL NOTES SEE SHEET S0.
2. FOR TYPICAL DETAILS SEE SHEET S1.0, S1.1 & S1.2.
3. FOR CUSTOM DETAILS SEE SHEET S3.0, S3.1 & S3.2.
4. IF (U) CONNECTIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
5. WATERPROOFING, FLASHING, AND VENTILATION BY OTHERS.
6. ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX. SEE 2/S1.0.
7. FOR HOLDDOWN INSTALLATION AT (E)(N) FOOTING SEE 2/S1.0.
8. ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
9. ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 1 SHEAR WALL U.O.N.
10. FOR SHEAR WALLS TYPE 3 & 4 PROVIDE 3x STUDS, PLATES AND BLOOMING AT ADJOINING PANEL EDGES PER SWS. SEE 6/S1.0.
11. 4x, 6x AND 8x MAY BE MADE UP OF (2)2x, (3)2x AND (4)2x, RESPECTIVELY. CONNECTED TOGETHER PER DET. 7/S1.1.
12. HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N. HANGERS FOR 4x OR 6x BEAMS TO BE H.U.O.N.
13. NEW HEADERS TO BE #5 U.O.N.
14. PROVIDE SIMP. 6PCZ POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
15. SHORING OF EXISTING STRUCTURE BY CONTRACTOR.

**KEY NOTES:**

- 1 3/4" PLYWOOD FLOOR, UNBLOCKED W/ 10# E.N. @ 6" O.C. PER 2/S1.1
- 2 7/8" PLYWOOD FLOOR, ALL EDGES BLOCKED W/ 10# E.N. @ 6" & F.N. @ 12" O.C.
- 3 SIMP. CS16x4-2" PER 7/S1.0, PROVIDE BLKG. IF PERPENDICULAR TO JOISTS
- 4 4x4 SHORT POST BELOW BEAMS TO HEADER. SIMP. PC4Z TAB OF POST
- 5 PROVIDE DIAPHRAGM EDGE NAILS TO BEAM/JOIST BELOW



05/17/2019  
DATE SIGNED

**OWNERS**  
ANTON KALAFATI

**PROJECT ADDRESS**  
208 NOE STREET  
SAN FRANCISCO, CA 94114

**208 NOE STREET -  
ALTERATIONS**

**SUBMITTAL**

PERMIT SET 05.17.2019

18-076

wmstructural JOB NUMBER

EL

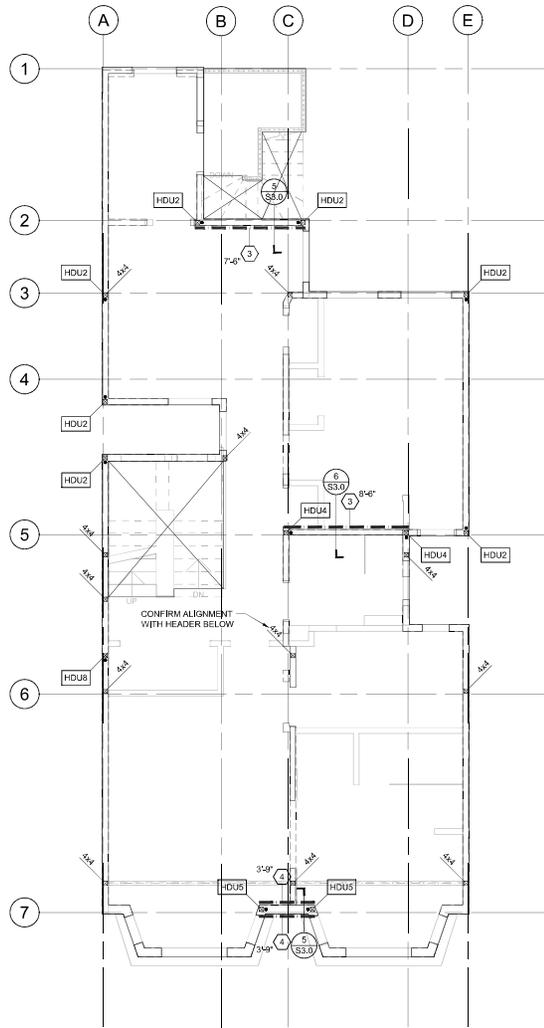
DRAWN BY

3/4" = 1'-0"

SCALE

LEVEL 2 FRAMING PLAN  
SHEET TITLE

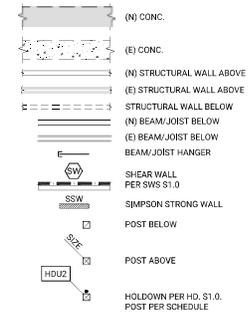
**S2.1**



1 LEVEL 3 FRAMING PLAN  
1/4" = 1'-0"



**KEY:**



**SHEET NOTES:**

1. FOR GENERAL NOTES SEE SHEET S0.
2. FOR TYPICAL DETAILS SEE SHEET S1.0, S1.1 & S1.2.
3. FOR CUSTOM DETAILS SEE SHEET S3.0, S3.1 & S3.2.
4. IF (U) CONNECTIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
5. WATERPROOFING, FLASHING, AND VENTILATION BY OTHERS.
6. ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX. SEE 2/S1.0.
7. FOR HOLDDOWN INSTALLATION AT (E)(N) FOOTING SEE 5/S1.0.
8. ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
9. ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 1 SHEAR WALL U.O.N.
10. FOR SHEAR WALLS TYPE 3 & 4 PROVIDE 3x STUDS, PLATES AND BLOOMING AT ADJOINING PANEL EDGES PER SWS. SEE 6/S1.0.
11. 4x, 6x AND 8x MAY BE MADE UP OF (2)2x, (2)2x AND (4)2x, RESPECTIVELY. CONNECTED TOGETHER PER DET. 7/S1.1.
12. HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N. HANGERS FOR 4x OR 6x BEAMS TO BE H.U.O.N.
13. NEW HEADERS TO BE 4x U.O.N.
14. PROVIDE SIMP. EPCZ POST CAPS OR SWS AT ALL POST TO BEAM CONNECTIONS.
15. SHORING OF EXISTING STRUCTURE BY CONTRACTOR.

**KEY NOTES:**

- ① 3/4" PLYWOOD FLOOR, UNBLOCKED W/ 10d E.N. @ 6" O.C. PER 2/S1.1
- ② 7/8" PLYWOOD FLOOR, ALL EDGES BLOCKED W/ 10d E.N. @ 6" & F.N. @ 12" O.C.
- ③ SIMP. CS16x4-2" PER 7/S1.0, PROVIDE BLKG. IF PERPENDICULAR TO JOISTS
- ④ 4x4 SHORT POST BELOW BEAMS TO HEADER. SIMP. PC4Z TAB OF POST
- ⑤ PROVIDE DIAPHRAGM EDGE NAILS TO BEAM/JOIST BELOW



05/17/2019  
DATE SIGNED

**OWNERS**  
ANTON KALAFATI

**PROJECT ADDRESS**  
208 NOE STREET  
SAN FRANCISCO, CA 94114

**208 NOE STREET -  
ALTERATIONS**

**SUBMITTAL**

PERMIT SET 05.17.2019

18-076

wmstructural JOB NUMBER

EL

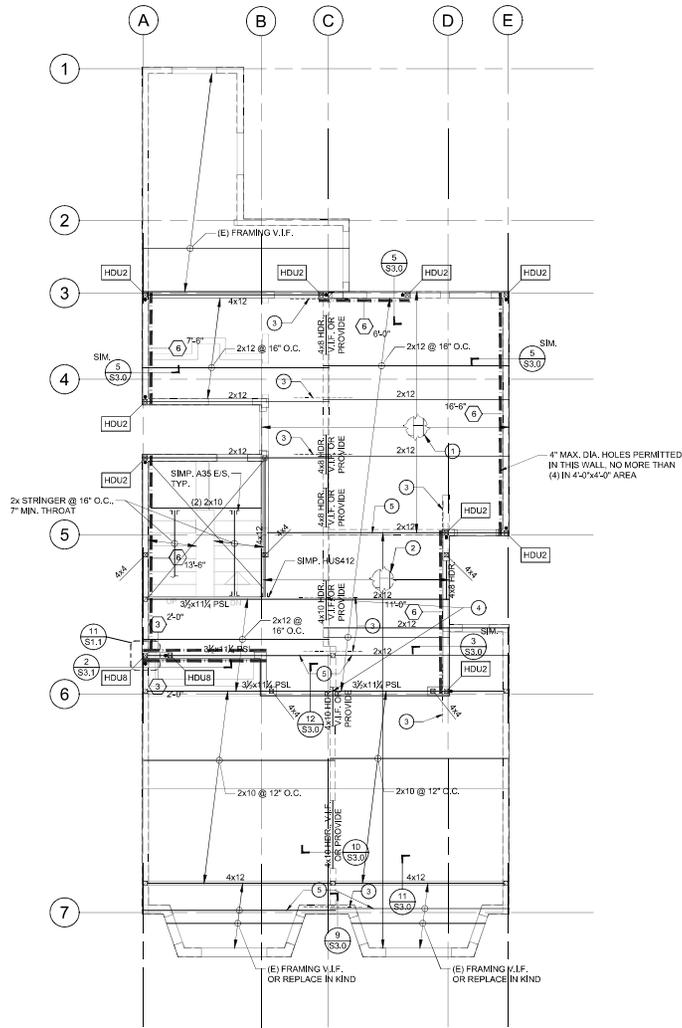
DRAWN BY

3/4" = 1'-0"

SCALE

LEVEL 3 FRAMING PLAN  
SHEET TITLE

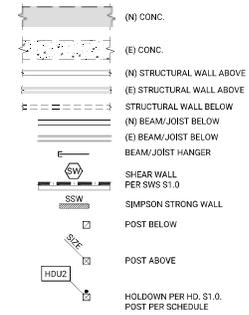
**S2.2**



1 LEVEL 4 FRAMING PLAN (ADDITION)  
1/4" = 1'-0"



**KEY:**



**SHEET NOTES:**

- FOR GENERAL NOTES SEE SHEET S0.
- FOR TYPICAL DETAILS SEE SHEET S1 (S1.1 & S1.2).
- FOR CUSTOM DETAILS SEE SHEET S3.0, S3.1 & S3.2.
- IF (U) CONNECTIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
- WATERPROOFING, FLASHING AND VENTILATION BY OTHERS.
- ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX. SEE S2/S1.0.
- FOR HOLDDOWN INSTALLATION AT (E)(N) FOOTING SEE S2/S1.0.
- ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
- ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 1 SHEAR WALL U.O.N.
- FOR SHEAR WALLS TYPE 3 & 4 PROVIDE 3x STUDS, PLATES AND BLOOMING AT ADJOINING PANEL EDGES PER SWS. SEE S1.0.
- 4x, 6x AND 8x MAY BE MADE UP OF (2)2x, (2)2x AND (4)2x, RESPECTIVELY. CONNECTED TOGETHER PER DET. 751.1.
- HANGERS FOR 2x JOISTS TO BE TYPE LU, LUU, OR JB U.O.N. HANGERS FOR 4x OR 6x BEAMS TO BE RJ.U.N.
- NEW HEADERS TO BE #5 U.O.N.
- CHORDS (SMP) #2x2 POST CAPS OR SMA. AT ALL POST TO BEAM CONNECTIONS.
- SHORING OF EXISTING STRUCTURE BY CONTRACTOR.

**KEY NOTES:**

- 3/4" PLYWOOD FLOOR, UNBLOCKED W/ 10d E.N. @ 6" O.C. PER 2/S1.1
- 3/4" PLYWOOD FLOOR, ALL EDGES BLOCKED W/ 10d E.N. @ 6" & F.N. @ 12" O.C.
- SIMP. CS16x4-2" PER 7/S1.0, PROVIDE BLKG. IF PERPENDICULAR TO JOISTS
- 4x4 SHORT POST BELOW BEAMS TO HEADER. SIMP. PC4Z TAB OF POST
- PROVIDE DIAPHRAGM EDGE NAILS TO BEAM/JOIST BELOW



05/17/2019  
DATE SIGNED

**OWNERS**  
ANTON KALAFATI

**PROJECT ADDRESS**  
208 NOE STREET  
SAN FRANCISCO, CA 94114

**208 NOE STREET -  
ALTERATIONS**

**SUBMITTAL**

PERMIT SET 05.17.2019

18-076  
wmstructural JOB NUMBER

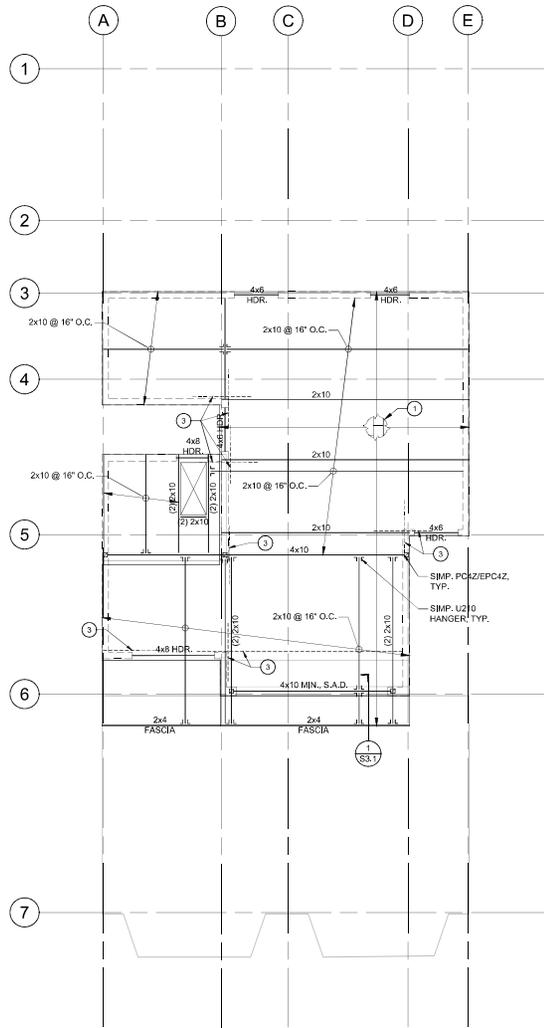
EL

DRAWN BY

3/4" = 1'-0"  
SCALE

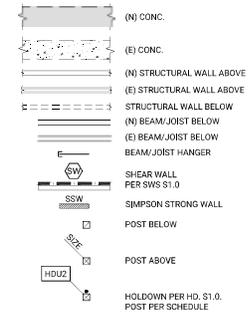
LEVEL 4 FRAMING PLAN  
(ADDITION)  
SHEET TITLE

**S2.3**



**1** ROOF FRAMING PLAN  
1/4" = 1'-0"

**KEY:**



**SHEET NOTES:**

1. FOR GENERAL NOTES SEE SHEET S0.
2. FOR TYPICAL DETAILS SEE SHEET S1.0, S1.1 & S1.2.
3. FOR CUSTOM DETAILS SEE SHEET S3.0, S3.1 & S3.2.
4. IF (U) CONNECTIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
5. WATERPROOFING, FLASHING, AND VENTILATION BY OTHERS.
6. ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX. SEE 2/S1.0.
7. FOR HOLDUP INSTALLATION AT (E)/(N) FOOTING SEE 5/S1.0.
8. ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
9. ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 1 SHEAR WALL U.O.N.
10. FOR SHEAR WALLS TYPE 3 & 4 PROVIDE 3x STUDS, PLATES AND BLOOMING AT ADJOINING PANEL EDGES PER SWS, SEE 6/S1.0.
11. 4x, 6x AND 8x MAY BE MADE UP OF (2)2x, (3)2x AND (4)2x, RESPECTIVELY. CONNECTED TOGETHER PER DET. 7/S1.1.
12. HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N. HANGERS FOR 4x OR 6x BEAMS TO BE H.U.O.N.
13. NEW HEADERS TO BE #5 U.O.N.
14. PROVIDE SIMP. EPCZ POST CAPS OR SMC AT ALL POST TO BEAM CONNECTIONS.
15. SHORING OF EXISTING STRUCTURE BY CONTRACTOR.

**KEY NOTES:**

- ① 3/4" PLYWOOD FLOOR, UNBLOCKED W/ 10d E.N. @ 6" O.C. PER 2/S1.1
- ② 7/8" PLYWOOD FLOOR, ALL EDGES BLOCKED W/ 10d E.N. @ 6" & F.N. @ 12" O.C.
- ③ SIMP. CS16x4" Q" PER 7/S1.0, PROVIDE BLKG. IF PERPENDICULAR TO JOISTS
- ④ 4x4 SHORT POST BELOW BEAMS TO HEADER. SIMP. PC4Z TAB OF POST
- ⑤ PROVIDE DIAPHRAGM EDGE NAILS TO BEAM/JOIST BELOW



05/17/2019  
DATE SIGNED

**OWNERS**  
ANTON KALAFATI

**PROJECT ADDRESS**  
208 NOE STREET  
SAN FRANCISCO, CA 94114

**208 NOE STREET -  
ALTERATIONS**

**SUBMITTAL**

PERMIT SET 05.17.2019

18-076

wmstructural JOB NUMBER

EL

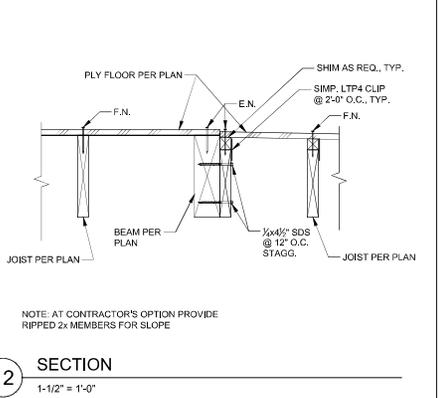
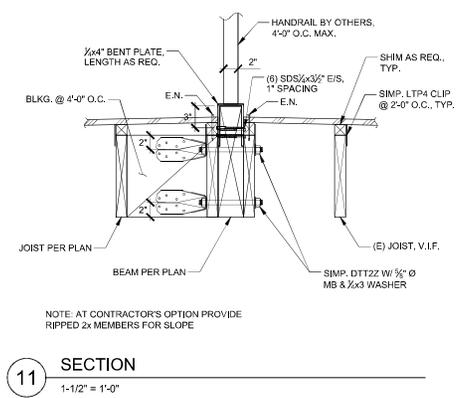
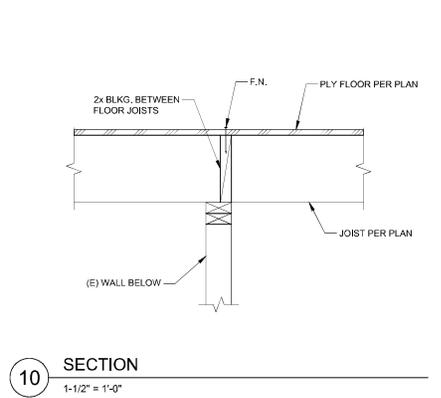
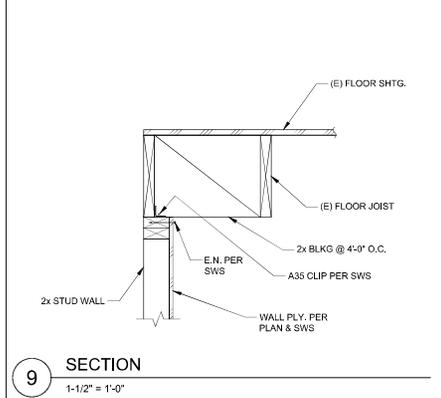
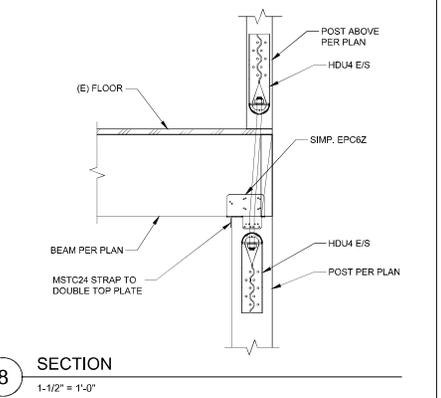
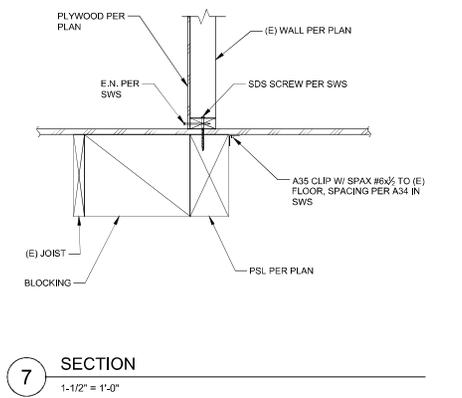
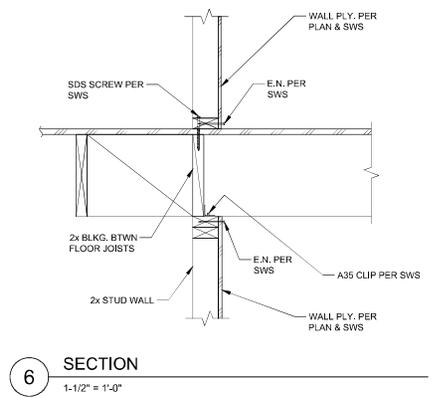
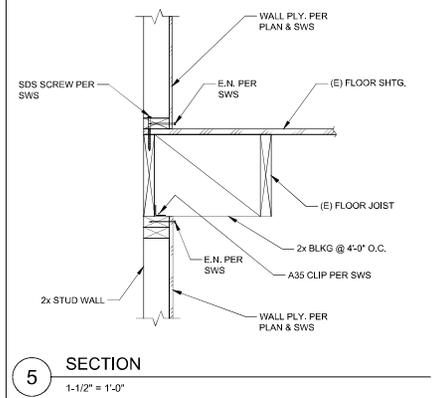
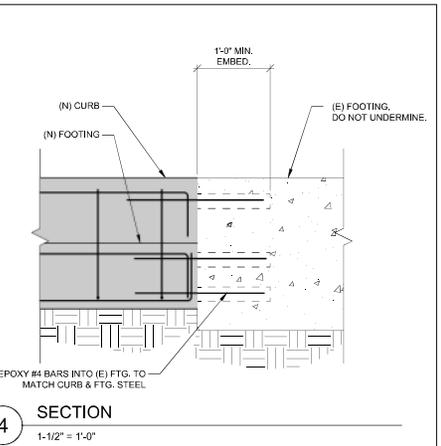
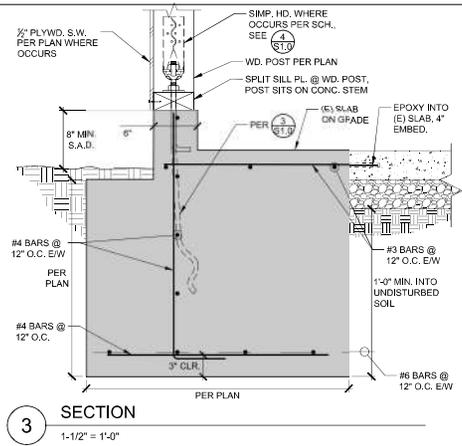
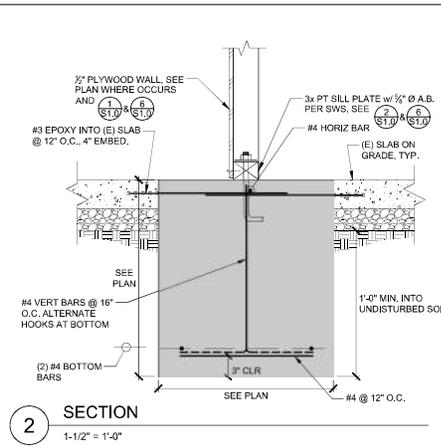
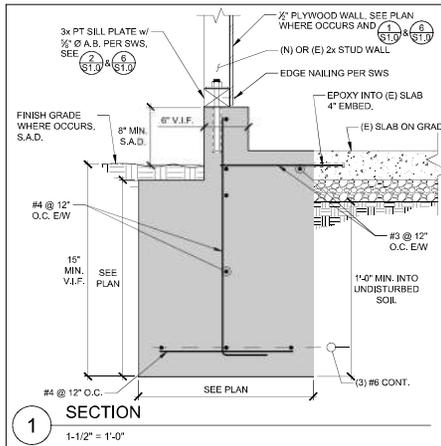
DRAWN BY

3/4" = 1'-0"

SCALE

ROOF FRAMING PLAN  
SHEET TITLE

**S2.4**



05/17/2019  
DATE SIGNED

**OWNERS**  
ANTON KALAFATI

**PROJECT ADDRESS**  
208 NOE STREET  
SAN FRANCISCO, CA 94114

**208 NOE STREET - ALTERATIONS**

**SUBMITTAL**  
PERMIT SET 05.17.2019

18-076  
wmstructural JOB NUMBER  
EL  
DRAWN BY  
1 1/2" = 1'-0"  
SCALE

CUSTOM FOUNDATION DETAILS  
SHEET TITLE

**S3.0**



05/17/2019  
DATE SIGNED

OWNERS  
ANTON KALAFATI

PROJECT ADDRESS  
208 NOE STREET  
SAN FRANCISCO, CA 94114

208 NOE STREET -  
ALTERATIONS

SUBMITTAL

PERMIT SET 05.17.2019

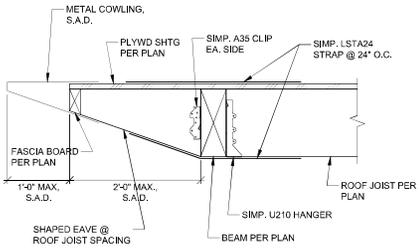
18-076  
wmstructural JOB NUMBER

EL  
DRAWN BY

1/2" = 1'-0"  
SCALE

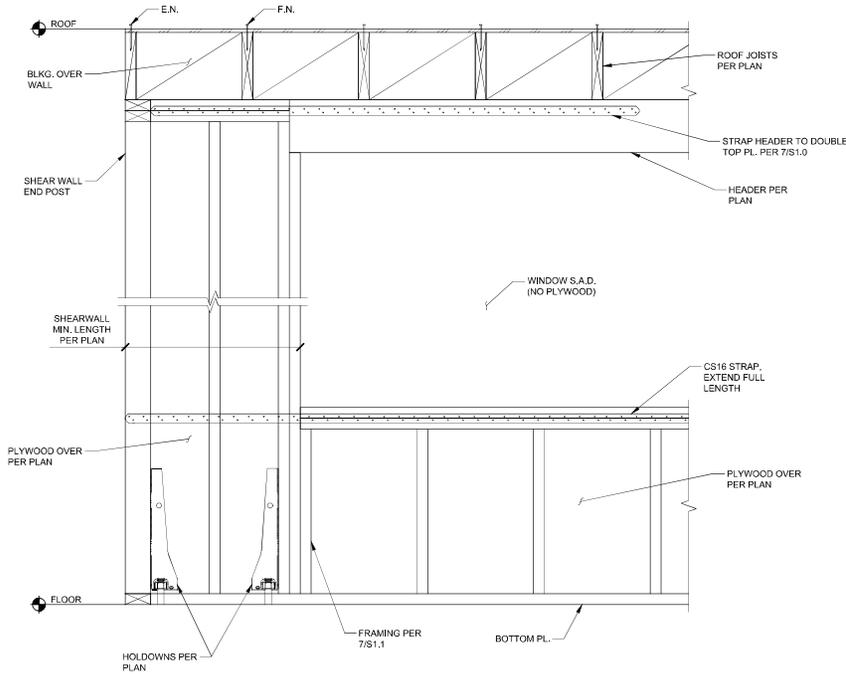
CUSTOM FRAMING DETAILS  
SHEET TITLE

S3.1



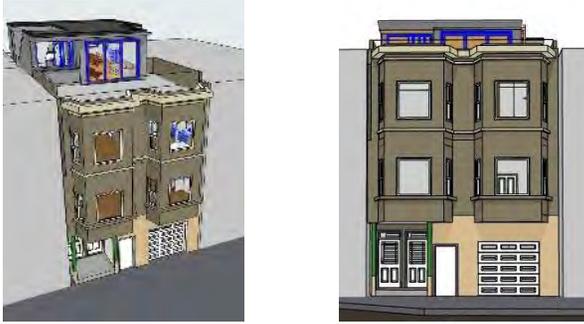
1 SHAPED EAVE CONNECTION

1-1/2" = 1'-0"



2 SECTION

1-1/2" = 1'-0"



## 208 NOE - PROJECT NOTES

THE FOLLOWING NOTES ARE INCORPORATED INTO THE PROJECT SCOPE AND GENERAL CONTRACTORS CONTRACT.

- 01 GENERAL**
- PROVIDE PROJECT SCHEDULE INCLUDING KEY MILESTONES, INSPECTIONS AND DATES WHEN OWNER SELECTIONS ARE REQUIRED. SCHEDULE IS TO BE UPDATED BI-WEEKLY.
  - APPLY AND PAY FOR ALL REQUIRED PERMITS EXCEPT THE BUILDING PERMIT. PERMIT COSTS ARE NOT REBURSABLE UNLESS SPECIFICALLY STIPULATED IN THE CONTRACT.
  - RESPECT ALL LOCAL ORDINANCES RELATING TO HOURS OF WORK, STREET USE PERMITS, DEBRIS COLLECTION AND OTHER RELEVANT LOCAL ORDINANCES AND REGULATIONS.
  - CONSTRUCTION & DEMOLITION DEBRIS MUST BE RECYCLED OR DIVERTED USING A CERTIFIED FACILITY IN COMPLIANCE WITH SAN FRANCISCO CONSTRUCTION AND DEMOLITION DEBRIS RECOVERY PROGRAM ORDINANCE.

- 02 EXISTING CONDITIONS**
- PROTECT EXISTING TILES, FIXTURES AND ALL OTHER FINISHES TO REMAIN FROM DAMAGE. DO NOT DISTURB EXISTING FINISHES WITHOUT CONSULTING OWNER.
  - Owner is responsible to identify hazardous material or substance before beginning construction and any materials DISCOVERED during construction, inform Owner immediately of any suspected hazardous materials found on the project site and coordinate with Owner's remediation contractor to facilitate their prompt removal.
  - PROMPTLY INFORM OWNER WHEN DRY ROT OR OTHER SUBSTANDARD CONDITIONS ARE UNCOVERED BEFORE TAKING ANY CORRECTIVE ACTION. OWNER WILL PROMPTLY DECIDE ON CORRECTIVE MEASURES TO MINIMIZE DISRUPTION TO THE PROJECT SCHEDULE.

- 03 CONCRETE**  
SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS.

- 05 METALS**
- FLASHING: galvanized metal where painted and not readily visible. Brushed aluminum where indicated in drawings.

- 06 WOOD & PLASTICS**
- Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.
  - Wall and floor framing shall be verified to not exceed 19% moisture content prior to enclosure. Materials with visible signs of moisture damage shall not be installed. (CalGreen 4.506.3)
  - INTERIOR WINDOW AND DOOR CASING: PRIME PAINT GRADE POPLAR IN SIZES INDICATED ON PLANS. FINISH PER SECTION 09.

- 07 THERMAL & MOISTURE PROTECTION**
- Low VOC Caulks, Construction adhesives, and Sealants: Meet SCAQM Rule 1168. See CalGreen Tables 4.504.1 and 4.504.2. (CalGreen 4.504.2.1)
  - ROOF MATERIAL: CLASS A fire rated MODIFIED BITUMENOUS MEMBRANE. STD COLOR SELECTED BY OWNER.
  - RIGID BOARD INSULATION: POLYISOCYANURATE FOAM BOARDS IN THICKNESS INDICATED ON PLANS OR ENERGY COMPLIANCE DOCUMENTS.
  - FIBERGLASS INSULATION: glass fiber insulation by Owens-Corning or equal. R-value as indicated on ENERGY COMPLIANCE DOCUMENTS.
  - INSTALL INSULATION AS REQUIRED IN WALLS AND CEILING EXPOSED BY CONSTRUCTION TO MIN VALUES INDICATED IN ENERGY COMPLIANCE DOCUMENTS.
  - PROVIDE CFR2 FORMS AS REQUIRED IN ENERGY COMPLIANCE DOCUMENTS AND LOCAL JURISDICTION.

- 08 OPENINGS**
- DOOR STYLES AND OPTIONS TO BE CONFIRMED BY OWNER. **DO NOT ORDER DOORS WITHOUT OWNER'S REVIEW AND CONSENT.** INTERIOR DOORS TO BE 1-3/4" SOLID CORE. PRIMED. B. INTERIOR DOOR HARDWARE: OMINA, ENTER OR EQUAL. LEVERS STYLE IN BRUSHED NICKEL OR SATIN CHROME FINISH. **DO NOT ORDER WITH OWNER'S REVIEW AND CONSENT**

- 09 FINISHES**
- CEMENT STUCCO SHALL BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF CBC CHAPT. 25 AND ASTM C-847, C-926, C-933, C-1032 AND C-1063.
  - STUCCO ACCESSORIES, EXCEPT WEEP SCREED, SHALL BE INSTALLED OVER WRB AND BEYOND METAL LATH IS INSTALLED.
  - GYPSON BOARD SHALL BE 5/8" THICK TYPE X. FINISHED TO LEVEL 4.
  - ALL ROOMS WHERE WORK HAS OCCURRED WILL BE PAINTED.
  - NEW INTERIOR SURFACES WILL RECEIVE ONE COAT OF WATER-BASED PRIMER AND TWO FINISH COATS OF LATEX PAINT. COLOR AND FINISH AS SPECIFIED BY OWNER.
  - EXISTING INTERIOR SURFACES TO BE PAINTED WILL RECEIVE ONE COAT OF WATER-BASED PRIMER, AS REQUIRED TO COMPLETELY HIDE STAINS, AND TWO FINISH COATS OF LATEX PAINT. COLOR AND FINISH AS SPECIFIED BY OWNER.
  - NEW hardwood floor: minimum 3/4" thick sand+glace red oak hardwood w/2 coats of polyurethane finish. **DO NOT ORDER WITHOUT OWNERS REVIEW AND CONSENT**
  - INTERIOR BATH TILE: 3/8" FULL BODY PORCELAIN CERAMIC, SIZE AND COLOR TBD. GROUT TO BE SANDED EPOXY. COLOR TBD. **DO NOT ORDER WITHOUT OWNERS REVIEW AND CONSENT**
  - Interior walls and ceiling: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.
  - LowVOC aerosol paints and coatings: Meet BAQMMD VOC limits (Regulation 8, Rub 49) and Product-Weighted MIR Limits for ROC. (CalGreen 4.504.2.3.)

- 10 SHOWERS**
- SHOWER DOORS & GLASS: provide allowance to furnish and install 3/8" thick, tempered, custom frameless glass shower partitions & doors with satin chrome or stainless steel hardware where indicated on plans.
  - MIRROR: 1/4" WITH POLISHED EDGES, IN SIZES INDICATED ON DRAWINGS.
  - MEDICINE CABINETS: provide allowance to furnish and install recessed or semi-recessed medicine cabinets WITH MIRROR FRONT IN ALL BATHROOMS WHERE indicated on plans.

- 11 EQUIPMENT**  
ALL APPLIANCES TO BE FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.

- 12 FURNISHINGS**
- CABINETS & SHELVING INDICATED IN DRAWINGS TO BE FURNISHED & INSTALLED BY GC.
  - CABINET & SHELF boxes TO BE constructed of 3/4" maple finish plywood, doors to be FULL OVERLAY w/ SOFT CLOSE HARDWARE, DOOR STYLE AND FINISH TBD.
  - KITCHEN AND VANITY COUNTERTOPS WILL BE granite or quartzite ON 3/4" PLYWOOD SUBTOP FURNISHED & INSTALLED BY GC. provide allowance for material. **DO NOT ORDER WITHOUT OWNERS REVIEW AND CONSENT**

- 21 FIRE SUPPRESSION**
- INSTALL FIRE SPRINKLER SYSTEM PER NFPA-13D USING LICENSED C-16 CONTRACTOR UNDER SEPARATE PERMIT.
  - PROVIDE CONNECTION FROM WATER METER TO RISER, VALVES, ELECTRICAL CONNECTION FOR ALARM, AND ALL OTHER ITEMS REQUIRED FOR COMPLETE CODE COMPLIANT FIRE SUPPRESSION SYSTEM.
  - WATER METER UPGRADE AND NEW SERVICE FROM METER TO HOUSE IS NOT INCLUDED IN BASE CONTRACT. IF A NEW METER AND SERVICE ARE IS REQUIRED, OWNER WILL CONTRACT DIRECTLY WITH M/M/W. AND CONTRACTOR WILL PROVIDE A CHANGE ORDER FOR THE WORK.

- 22 PLUMBING**
- FIXTURES. **DO NOT ORDER WITHOUT OWNERS REVIEW AND CONSENT**
  - EXISTING HOT WATER HEATER TO REMAIN. INSULATE NEW HOT WATER PIPES PER PEC REQUIREMENTS.

- 23 HEATING**
- EXISTING FURNACE TO REMAIN FOR 3<sup>rd</sup> FLOOR. NEW MINI-SPLIT HEAT PUMP SYSTEM ADDED FOR 4<sup>th</sup> FLOOR.
  - INSTALL VENTILATION DUCTS AS REQUIRED PER ACCA Manual J, D, and S (CalGreen 4.507.2).
  - HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. (CalGreen 702.1).
  - Duct openings and other air distribution component openings shall be covered during all phases of construction with tape, plastic, sheet metal, or other acceptable methods to reduce the amount of water, dust, and debris entering the system. (CalGreen 4.504.1).
  - NEW AND REPLACEMENT DUCTS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CALGREEN SECTIONS BELOW.
    - NEW DUCTS IN UNCONDITIONED SPACE SHALL MEET APPLICABLE REQUIREMENTS OF CALGREEN SECTIONS 150.0(m)1 THROUGH 150.0(m)1.1, AND MIN R6 DUCT INSULATION PER TABLE 150.2.
    - DUCT SYSTEM, REGARDLESS OF LOCATION, SHALL BE SEALED AS CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING IN ACCORDANCE WITH ALL APPLICABLE PROCEDURES FOR DUCT SEALING OF ALTERED DUCTS SYSTEMS AS SPECIFIED IN THE REFERENCE RESIDENTIAL APPENDIX RA3.1, UTILIZING THE LEAKAGE COMPLIANCE CRITERIA SPECIFIED IN REFERENCE RESIDENTIAL APPENDIX TABLE RA3.1-2.
    - CONDUCT A DUCT LEAKAGE TEST & PROVIDE A CFR. REPAIR AND RETEST THE DUCT SYSTEM AS REQUIRED TO PASS THE DUCT LEAKAGE TEST.
    - WHERE DUCTING IN CRAWL SPACES IS NOT PROVIDED, ELEVATE DUCTING ABOVE GROUND PER CODE.
    - VACUUM EXISING DUCTS THAT ARE TO REMAIN.

- 26 ELECTRICAL**
- CONTRACTOR AND ELECTRICIAN SHALL SURVEY EXISTING ROOMS AND ADD OUTLETS AS REQUIRED TO COMPLY WITH ELECTRICAL CODE, EVEN IF OUTLETS ARE NOT INDICATED IN THE DRAWINGS.
  - REPLACE ANY LOW CODE COMPLIANT WIRING DISCOVERED DURING DEMOLITION WITH CODE COMPLIANT WIRING.
  - FIXTURES: PROVIDE ALLOWANCE FOR LIGHT FIXTURES IN UTILITY SCHEDULE. **DO NOT ORDER WITHOUT OWNERS REVIEW AND CONSENT.** ACCEPTABLE MANUFACTURERS FOR RECESSED LIGHTS ARE HALO, NORA, ELITE. SURFACE MOUNT AND SUSPENDED FIXTURES ARE GEORGE KOWAL, TECH LIGHTING.
  - RECEPTACLES, SWITCHES, DIMMERS:
    - COVER PLATES TO BE DECORA DECORA SERIES WITH SCREWLESS PLATES. COLOR TBD.
    - LEVITON DECORA SERIES, White.

- 28 ELECTRONIC SAFETY & WIRING**
- PROVIDE LOW VOLTAGE WIRING FOR SECURITY AT KITCHEN, MASTER BEDROOM AND FRONT GATE. COORDINATE EXACT LOCATIONS WITH OWNER.

- 33 UTILITIES**
- OWNER WILL CONTRACT DIRECTLY WITH PUE TO UPGRADE WATER METER OR ADD NEW METER FOR FIRE SPRINKLERS. COORDINATE PATCHING AND INSTALLATION OF UPGRADED WATER SERVICE WITH AND OWNER. ANY COSTS ASSOCIATED WITH REPLACING THE WATER METER, INCLUDING CUTTING AND PATCHING OF PAVEMENT, ARE EXCLUDED FROM BASE CONTRACT.
  - OWNER WILL CONTRACT DIRECTLY WITH PG&E TO RE-LOCATE GAS OR ELECTRIC METERS IF REQUIRED. ANY COSTS ASSOCIATED WITH REPLACING THE METERS, INCLUDING CUTTING AND PATCHING OF SIDEWALK, ARE EXCLUDED FROM BASE CONTRACT.

# 208 NOE STREET SAN FRANCISCO, CA

## PROJECT DATA

**DESCRIPTION:** ADD VERTICAL ADDITION SET BACK 19' FROM PROPERTY LINE + ROOF DECK, INCLUDING NEW MASTER BEDROOM AND BATH. NO CHANGE TO OCCUPANCY OR PARKING.

**LOCATION:** 208 NOE STREET  
SAN FRANCISCO, CA 94114

**APN:** 3561001A

**LOT SIZE:** 1,450 SQ. FT.

**BUILDING AREA CALCULATION:**

	EXISTING	ADDITION	PROPOSED	DECKS	ROOF
1ST STORY	708 sf	0 sf	708 sf		
2ND STORY	1,197 sf	0 sf	1,197 sf		
3RD STORY	1,198 sf	0 sf	1,198 sf (HABITABLE)		
4TH STORY		592 sf	592 sf (HABITABLE)	328 sf	277 sf
<b>TOTAL</b>	<b>3,093sf</b>	<b>592 Ssf</b>	<b>3,685 sf</b>		

**CONSTRUCTION:** V-B CHANGING TO VA

**HEIGHT:** 40x (E) 30'-10" (N) 30'-11"

**DISTRICT:** RH-3

**OCCUPANCY:** R-2

## FIRE PROTECTION

- AUTOMATIC FIRE SPRINKLERS SHALL COMPLY WITH NFPA-13 AND BE INSTALLED BY LICENSED C-16 CONTRACTOR.
- SMOKE AND CO DETECTORS SHALL BE INSTALLED AS REQUIRED BY CODE, WHERE INDICATED ON PLANS, AND POWERED BY 110V AC CURRENT WITH 12V BATTERY BACK-UP.

## GENERAL NOTES

- THE WORD CONTRACTOR AS USED HEREIN SHALL MEAN THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.
- THE TERM CONSTRUCTION DOCUMENTS SHALL MEAN ALL OF THE DRAWINGS, SCHEDULES AND SPECIFICATIONS AND OTHER WRITTEN ORDERS ISSUED BY THE ARCHITECT'S, ENGINEERS AND OTHER DESIGN PROFESSIONALS FOR THE PURPOSE OF CONSTRUCTING THE PROJECT.
- CONTRACTOR SHALL PROMPTLY NOTIFY OWNER'S REPRESENTATIVE IF THE CONTRACTOR BECOMES AWARE DURING THE PERFORMANCE OF THE WORK THAT THE CONSTRUCTION DOCUMENTS ARE IN CONFLICT WITH APPLICABLE CODE REQUIREMENTS. IF CONTRACTOR PERFORMS WORK WHICH HE KNOWS OR SHOULD KNOW IS UNLAWFUL TO APPLY BECAUSE OF CODE REQUIREMENTS WITHOUT THE AGREEMENT OF OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH WORK AND SHALL BARE THE RESULTANT LOSSES INCLUDING WITHOUT LIMITATION THE COSTS OR CORRECTING DEFECTIVE WORK.
- CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (C.B.C.) AS AMENDED AS OF THE DATE OF THESE DRAWINGS AND WITH LOCAL ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION OVER OWNER, CONTRACTOR, ANY SUBCONTRACTOR, THE PROJECT, THE PROJECT SITE, THE WORK, OR THE PROSECUTION OF THE WORK.
- CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY FIELD CONDITIONS AND CAREFULLY COMPARE WITH THE CONSTRUCTION DOCUMENTS. ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS KNOWN TO CONTRACTOR BEFORE COMMENCING THE WORK, ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AT ANY TIME SHALL BE PROMPTLY REPORTED IN WRITING TO THE OWNER.
- DO NOT SCALE DRAWINGS.** WRITTEN DIMENSIONS TAKE PRECEDENCE. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. ELEVATION DIMENSIONS ARE TO SUBFLOORS AND PLATES UNLESS OTHERWISE NOTED. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- CONTRACTOR SHALL CAREFULLY STUDY AND REVIEW THE CONSTRUCTION DOCUMENTS AND INFORMATION FURNISHED BY OWNER AND SHALL PROMPTLY REPORT TO OWNER'S REPRESENTATIVE ANY ERRORS, INCONSISTENCIES OR OMISSIONS OBSERVED BY THE CONTRACTOR. IF CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY WHICH HE KNOWS OR SHOULD KNOW INVOLVES AN ERROR, INCONSISTENCY OR OMISSION REFERRED TO ABOVE WITHOUT NOTIFYING AND OBTAINING THE WRITTEN CONSENT OF OWNER'S REPRESENTATIVE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTANT LOSSES INCLUDING, WITHOUT LIMITATION, COSTS OF CORRECTING DEFECTIVE WORK.
- ALL TRADE NAMES AND BRAND NAMES CONTAINED HEREIN ARE TYPICAL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COORDINATION OF ALL SUB-CONTRACTORS WORK AND THE COMPLETION OF SAID WORK. CONTRACTOR SHALL REVIEW ALL MATERIALS AND WORKMANSHIP AND REJECT DEFECTIVE WORKMANSHIP WITHOUT WAITING FOR THE ARCHITECT OR OWNER TO REJECT THE WORK. CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE ACCEPTABLE TO OWNER PRIOR TO COMMENCEMENT OF WORK.
- BY SUBMITTAL OF BID, CONTRACTOR WARRANTS TO OWNER THAT ALL MATERIALS AND EQUIPMENT TO BE FURNISHED ARE NEW UNLESS NOTED OTHERWISE AND ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM FAULTS AND DEFECTS.
- ALL TRADE NAMES AND BRAND NAMES CONTAINED HEREIN ESTABLISH QUALITY STANDARDS. SUBSTITUTIONS ARE PERMITTED WITH PRIOR APPROVAL BY OWNER.
- WHERE CONSTRUCTION IS FOR A PART OF THIS PROJECT ARE NOT SHOWN, THE WORK SHALL BE THE SAME AS OTHER SIMILAR WORK FOR WHICH DETAILS ARE SHOWN.
- CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR SCHEDULING AND THE WORK CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY AND FOR THE COMPLIANCE OF APPLICABLE OSHA SAFETY STANDARDS. JOB SITE OBSERVATIONS BY THE OWNER OR ARCHITECT ARE NOT INTENDED TO INCLUDE CHECKING THE CONTRACTOR'S SAFETY STANDARDS.
- CONTRACTOR SHALL PROTECT ALL INSTALLED WORK AND MATERIALS STORED ON THE SITE FROM RAIN OR ANY ADVERSE WEATHER CONDITIONS. VANDALISM AND THEFT. ANY MATERIALS OR WORK LEFT UNPROTECTED AND THEN DAMAGED OR STOLEN SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL OBTAIN ALL CHANGE ORDERS IN WRITING PRIOR TO COMMENCING ANY WORK NOT INCLUDED IN THE ORIGINAL CONTRACT. FAILURE TO OBTAIN SUCH AUTHORIZATION MAY INVALIDATE CONTRACTOR'S AND ANY ADDITIONAL COMPENSATION.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AGAINST GRAVITY AND SEISMIC LOADS - AND TAKE COMPLETE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF SUCH BRACING - UNTIL ALL STRUCTURAL ITEMS HAVE BEEN COMPLETELY INSTALLED AS PER THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL GUARANTEE HIS WORK AND THAT OF HIS SUB-CONTRACTORS FOR A MINIMUM OF ONE YEAR FROM THE DATE OF SUBMITTAL OF THE COMPLETION CERTIFICATE. CONTRACTOR SHALL NOT VOID OR SHORTEN ADDITIONAL WARRANTIES THAT MAY BE AVAILABLE TO THE OWNER THROUGH PRODUCT MANUFACTURERS OR CONSUMER LAW.
- THE CONSTRUCTION DOCUMENTS AND ALL COPIES THEREOF FURNISHED TO CONTRACTOR ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED FOR OTHER WORK.

## CODE DATA

- 2016 CA BUILDING CODE
- 2016 CA MECHANICAL CODE
- 2016 CA ELECTRICAL CODE
- 2016 CA PLUMBING CODE
- 2016 CA ENERGY CODE
- 2016 CA GREEN BUILDING CODE

COMPLY WITH ALL LOCAL ORDINANCES AND AMENDMENTS

## PROJECT LOCATION MAP



## PROJECT CONTACTS

**OWNER:** ANTON KALAFATI  
B-SIDE INC  
1940 UNION STREET #9  
OAKLAND, CA 94607  
E: akalafati@bssideconstruction.com  
T: 415-699-1469

**ARCHITECT:** DNM ARCHITECTURE  
1A GATE 5 ROAD  
SAUSALITO, CA 94965  
DAVID MARLATT, AIA  
E: david@dnmarchitecture.com  
T: 510-995-8428

**ENGINEER:** WM STRUCTURAL  
4096 PIEMONTE AVE  
OAKLAND, CA 94611  
ERIK MCGREGOR, P.E.  
E: erik@wmstructural.com  
T: 510-995-8428

**CONTRACTOR:** B-SIDE INC  
1940 UNION STREET #9  
OAKLAND, CA 94607  
ANTON KALAFATI  
E: akalafati@bssideconstruction.com  
T: 415-699-1469

## DRAWING INDEX

NO.	TITLE	1/11/18	6/12/18	1/14/19	5/2/19
A0.0	PROJECT DATA	X	X	X	X
A0.2	ASSEMBLIES & SCHEDULES				X
A0.3	ENERGY COMPLIANCE				X
A0.4	ENERGY COMPLIANCE				X
A0.5	MANDATORY MEAS. & ENERGY INSP CHECK...				X
A0.6	GREEN BUILDING REQUIREMENTS				X
A0.7	EXITING DIAGRAMS				X
A0.9	SITE PLANS				X
A1.0	[E] FLOOR PLANS	X	X	X	
A1.1	[E] ROOF PLAN	X	X	X	
A1.2	[N] FLOOR PLANS	X	X	X	X
A2.0	[E] NORTH & SOUTH ELEVS	X	X	X	
A2.1	[E] EAST & WEST ELEVATIONS	X	X		
A2.2	[N] NORTH & SOUTH ELEVATIONS	X	X	X	X
A2.3	[N] EAST ELEVATION	X	X	X	
A2.4	[N] WEST ELEVATION	X	X	X	X
A3.0	SECTIONS	X	X	X	X
A3.1	SECTIONS	X	X	X	X
A5.0	DETAILS				X
E1.0	UTILITY PLANS				X
S0.0	GENERAL NOTES				X
S0.1	GENERAL NOTES				X
S1.0	TYPICAL DETAILS				X
S1.1	TYPICAL DETAILS				X
S1.2	TYPICAL DETAILS				X
S2.0	FOUNDATION/LEVEL 1 FRAMING PLAN				X
S2.1	LEVEL 2 FRAMING PLAN				X
S2.2	LEVEL 3 FRAMING PLAN				X
S2.3	LEVEL 4 FRAMING PLAN (ADDITION)				X
S2.4	ROOF FRAMING PLAN				X
S3.0	CUSTOM FOUNDATION DETAILS				X
S3.1	CUSTOM FRAMING DETAILS				X
S3.2	CUSTOM FRAMING DETAILS				X

- Revisions:**
- 6/12/2018
  - 1/14/2019
  - 5/20/2019
  - 
  - 
  - 
  -

01/19/2018

# A0.0

**DNM ARCHITECTURE**  
 DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965  
 T: 415.348.8910 • E: info@dnmarchitecture.com  
 APN: 3561001A  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 LICENSED ARCHITECT  
 DAVID N. MARLATT  
 C27090  
 REN 9002019  
 STATE OF CALIFORNIA



MARK	MODEL NO.	LENGTH	WIDTH	NOTES
SK1	FCM 2246	3'-10"	1'-10"	FIXED SKYLIGHT

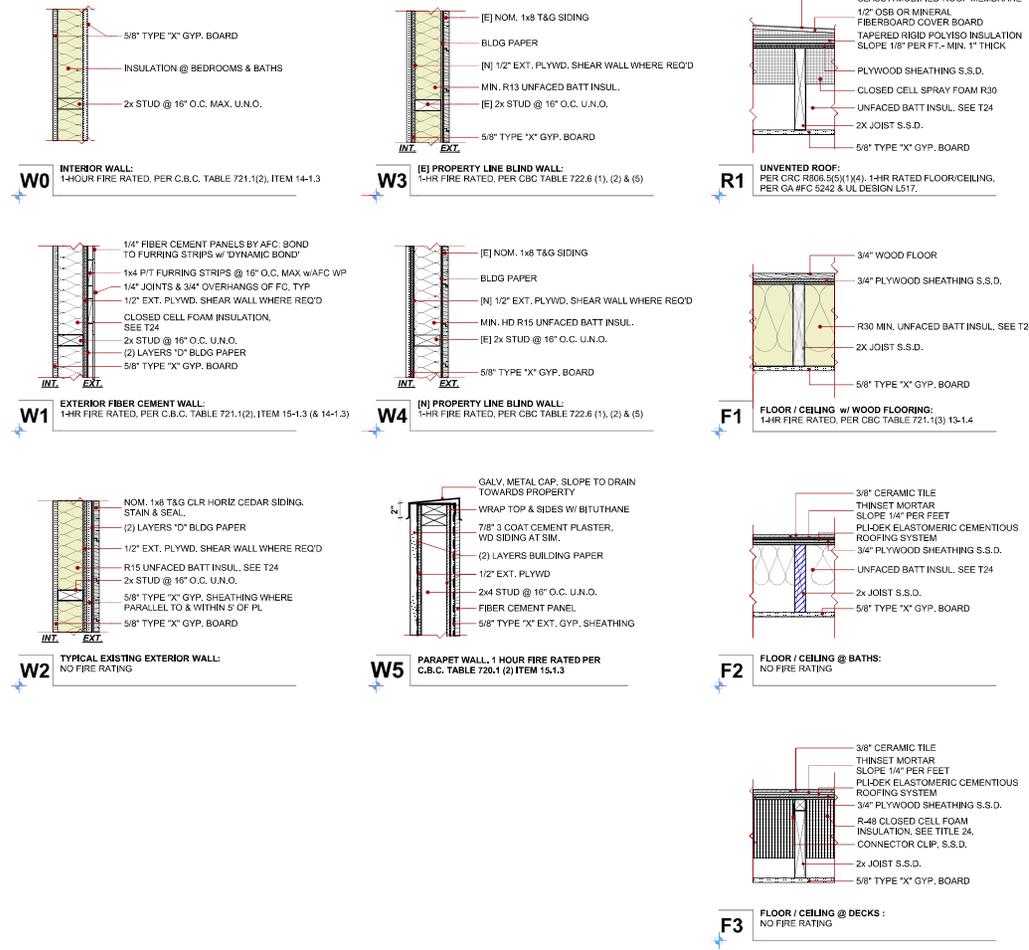
**Skylight Schedule** ④  
 SCALE: 1" = 1'-0"

MARK	STATUS	NOM. LEAF SIZE		POSITION	HAND	FIRE RATING	TEMP.	U-VALUE	NOTES
		W	H						
D01	Existing	3'	6'-8"	Undefined	R				
D10	New	3'	6'-8"	Undefined	L	1 HOUR			1 HR RATED
D21	New	2'-8"	6'-8"	Undefined	R				45 MINUTE RATED
D31	New	2'-6"	6'-8"	Interior	R				
D31	New	2'-6"	6'-8"	Interior	L				
D31	New	2'	6'-8"	Interior	R				
D32	New	4'-6"	6'-8"	Interior					BARN DOOR SLIDER
D33	Existing	2'-6"	6'-8"	Undefined	R				
D33	New	6'	6'-8"	Interior					BIFOLD
D36	New	1'-4"	6'-8"	Interior					
D37	New	2'-8"	6'-8"	Undefined	R				
D38	New	2'-8"	6'-8"	Undefined	R				
D41	New	10'	7'-4"	Exterior	R		YES	SEE T24	3 PANEL SLIDER
D42	New	8'-0"	4'-0"	Exterior			YES	SEE T24	STACKING DOOR OVER COUNTER

**DOOR SCHEDULE** ③  
 SCALE: 1" = 1'-0"

MARK	STATUS	FRAME SIZE		HDR HT	MATERIAL	OPERATION	U-VALUE	TEMP.	ESCAPE	NOTES
		W	H							
W29	New	2'-8"	5'	7'-8"						
W30	New	2'-2"	4'-9"	4'-9" <sup>1/2</sup>	CLAD WOOD	CASEMENT	SEE T24	YES	NO	
W40	New	1'-8" <sup>1/2</sup>	7'-4" <sup>1/2</sup>	2'-7"	CLAD WOOD	CASEMENT	SEE T24	YES	NO	
W42	New	3'	6'-8"	6'-11"	CLAD WOOD	CASEMENT	SEE T24	YES	NO	PROVIDE FALL GUARD
W43	New	2'-8"	4'	7'	CLAD WOOD	CASEMENT	SEE T24		NO	
W45	New	3'	4'	7'	CLAD WOOD	CASEMENT	SEE T24	YES	NO	

**WINDOW SCHEDULE** ②  
 SCALE: 1" = 1'-0"



**TYPICAL ASSEMBLIES** ①  
 SCALE: 1 1/2" = 1'-0"







### 2016 Low-Rise Residential Mandatory Measures Summary

NOTE: Owner or residential building subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Always the stricter approach or more restrictive "whichever applies." (California Energy Code, Section 101.2)

Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Mechanical, and Electrical. Measures include requirements for air leakage, insulation, windows, doors, and HVAC systems.



### 2016 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Mechanical, and Electrical. Measures include requirements for air leakage, insulation, windows, doors, and HVAC systems.



### 2016 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Mechanical, and Electrical. Measures include requirements for air leakage, insulation, windows, doors, and HVAC systems.



### 2016 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Mechanical, and Electrical. Measures include requirements for air leakage, insulation, windows, doors, and HVAC systems.

### TITLE 24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (BUILDING)

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS: #Site Address # APPLICATION NO. #ADDRESS NO. #CITY/STATE/ZIP

ENGINEER/ARCHITECT/DRAWER NAME: DAVID N. MARLATT PHONE NO: (415) 348-8910

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the contractor. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERIS tester.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the building elements in this project:

- 1. Insulation
2. Windows
3. Mechanical
4. Electrical
5. ... (Detailed list of requirements for various building components)

QUESTIONS ABOUT TITLE 24 ENERGY INSPECTION SHOULD BE DIRECTED TO: Energy Inspection Services (415) 348-8912 or: dnm@dmn-architect.com or FAX: (415) 348-8914

### TITLE 24 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS: #Site Address # APPLICATION NO. #ADDRESS NO. #CITY/STATE/ZIP

ENGINEER/ARCHITECT/DRAWER NAME: DAVID N. MARLATT PHONE NO: (415) 348-8910

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the contractor. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERIS tester.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the building elements in this project:

- 1. Insulation
2. Windows
3. Mechanical
4. Electrical
5. ... (Detailed list of requirements for various building components)

QUESTIONS ABOUT TITLE 24 ENERGY INSPECTION SHOULD BE DIRECTED TO: Energy Inspection Services (415) 348-8912 or: dnm@dmn-architect.com or FAX: (415) 348-8914

### TITLE 24 LOW-RISE RESIDENTIAL SPECIAL INSPECTION (PLUMBING)

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS: #Site Address # APPLICATION NO. #ADDRESS NO. #CITY/STATE/ZIP

ENGINEER/ARCHITECT/DRAWER NAME: DAVID N. MARLATT PHONE NO: (415) 348-8910

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the contractor. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERIS tester.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the plumbing elements in this project:

- 1. Installation
2. Testing
3. ... (Detailed list of requirements for plumbing components)

QUESTIONS ABOUT TITLE 24 ENERGY INSPECTION SHOULD BE DIRECTED TO: Energy Inspection Services (415) 348-8912 or: dnm@dmn-architect.com or FAX: (415) 348-8914

### TITLE 24 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS: #Site Address # APPLICATION NO. #ADDRESS NO. #CITY/STATE/ZIP

ENGINEER/ARCHITECT/DRAWER NAME: DAVID N. MARLATT PHONE NO: (415) 348-8910

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the contractor. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERIS tester.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the building elements in this project:

- 1. Insulation
2. Windows
3. Mechanical
4. Electrical
5. ... (Detailed list of requirements for various building components)

QUESTIONS ABOUT TITLE 24 ENERGY INSPECTION SHOULD BE DIRECTED TO: Energy Inspection Services (415) 348-8912 or: dnm@dmn-architect.com or FAX: (415) 348-8914

DMN ARCHITECTURE logo and contact information: 208 NOE STREET SAN FRANCISCO, CA 94114. Includes a circular seal for the State of California.

BUILDING PERMIT MANDATORY MEAS. & ENERGY INSP. CHECKLIST. Includes a vertical checklist with 7 items and a signature line for David N. Marlatt dated 5/23/2019.

Revisions: 1. 2. 3. 4. 5. 6. 7. A0.5

# City and County of San Francisco Green Building Submittal: Residential Additions and Alterations

## REQUIREMENTS

The following items are required for all additions and alterations to residential occupancy which increase conditioned area, volume, or size of a residential building. Requirements apply only to areas and systems within the scope of addition and alteration, with the exception of "Existing Noncompliant Plumbing Fixtures" (below). An abbreviated summary of each requirement is included for reference. To determine if this form is appropriate for a project, see Administrative Bulletin 55, Attachment A, Table 1. Projects required to meet a LEED standard must use C-3 "Submittal for LEED Projects", and projects required to meet GreenPoint Rated must use the C-4 "Submittal for GreenPoint Rated Projects." Projects seeking certification may use the C-3 "Submittal for LEED Projects" or C-4 "Submittal for GreenPoint Rated" as alternatives to this form.

<b>Construction and Demolition Debris:</b> 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance (San Francisco Building Code Chapter 13B and Environment Code Chapter 14)
<b>Recycling by Occupants:</b> Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. - See Administrative Bulletin 088.
<b>Water Efficient Irrigation:</b> Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance. (See www.sfwater.org/landscape)
<b>Stormwater Control Plan:</b> Projects disturbing ≥5,000 square feet in combined or separate sewer areas, or replacing ≥2,500 impervious sq ft in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. (See www.sfwater.org/sdg)
<b>Grading and paving:</b> Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, drains, or water retention gardens. (CalGreen 4.106.3)
<b>Smart Irrigation Controller:</b> Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller. (CalGreen 4.304.1)
<b>Indoor Water Efficiency:</b> Install water-efficient fixtures and fittings as summarized in CalGreen 4.303.1. Replace all noncompliant fixtures in project area (San Francisco Housing Code 12A)
<b>Energy Efficiency:</b> Comply with California Energy Code (Title 24, Part 6 2016)
<b>Rodent Proofing:</b> Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing with cement mortar, concrete masonry, or a similar method acceptable to the San Francisco Department of Building Inspection. (CalGreen 4.406.1)
<b>Moisture content:</b> Verify wall and floor framing shall be verified to not exceed 19% moisture content prior to enclosure as detailed below. Materials with visible signs of moisture damage shall not be installed. (CalGreen 4.505.3) 1) Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 2) Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified. 3) At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure
<b>Capillary break for concrete slab on grade:</b> Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: (CalGreen 4.505.2) 1) A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2) A slab design specified by a licensed design professional.
<b>Fireplaces and woodstoves:</b> Install only direct-vent or sealed-combustion appliances; comply with US EPA Phase II limits. (CalGreen 4.503.1)
<b>Design and Install HVAC System to ACCA Manual J, D, and S</b> (CalGreen 4.507.2)
<b>HVAC Installer Qualifications:</b> HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. (CalGreen 702.1)
<b>Covering duct openings and protecting mechanical equipment during construction:</b> Duct openings and other air distribution component openings shall covered during all phases of construction with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust, and debris entering the system. (CalGreen 4.504.1)
<b>ENERGY STAR Compliant Bathroom exhaust fans:</b> Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidistat capable of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan. (CalGreen 4.506.1)
<b>Carpet:</b> All carpet must meet one of the following: (CalGreen 4.504.3) 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.
<b>Resilient flooring systems:</b> For 80% of floor area receiving resilient flooring, install resilient flooring complying with (CalGreen 4.504.4): 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program, 2. Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1, 3. Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR 4. Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria.
<b>Composite wood products:</b> Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.
<b>Interior paints and coatings:</b> Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.
<b>Low-VOC aerosol paints and coatings:</b> Meet BAAQMD VOC limits (Regulation 8, Rule 49) and Product-Weighted MIR Limits for ROC. (CalGreen 4.504.2.3.)
<b>Low VOC Caulks, Construction adhesives, and Sealants:</b> Meet SCAQMD Rule 1168. See CalGreen Tables 4.504.1 and 4.504.2. (CalGreen 4.504.2.1)

## WATER EFFICIENCY

Fixture Type	Maximum Prescriptive Flow Rate
Showerheads <sup>1</sup>	2.0 gpm @ 80 psi per valve and per showerhead <sup>2</sup>
Lavatory faucets - residential	1.5 gpm @ 60 psi
Lavatory faucets - common and public use areas	0.5 gpm @ 60 psi
Metering faucets	.25 gallons/cycle
Kitchen faucets	1.8 gpm @ 80 psi default, allowed to temporarily increase to 2.2 gpm
Tank-type water closets	1.28 gallons/flush <sup>1</sup> and EPA WaterSense Certified
Flushometer valve water closets	1.28 gallons/flush <sup>1</sup>
Urinals	Wall mount: 0.125 gallons/flush Floor mount: 0.5 gallons/flush

<sup>1</sup> For dual flush toilets, effective flush volume is defined as the average volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification - 1.28 gal (4.8 L).  
<sup>2</sup> The combined flow rate of all showerheads in one shower shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time. (CalGreen 4.303.1.3)

## EXISTING NONCOMPLIANT PLUMBING FIXTURES

All fixtures that are not compliant with the San Francisco Residential Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards at left. For more information, see the DBI brochure, "San Francisco's Residential Energy and Water Conservation Requirements", available at SFDBI.org, and also see the "Residential Water Conservation" section of the SFPUC website - SFWATER.org.

Noncompliant plumbing fixtures include:

- Any toilet manufactured for use more than 1.6 gallons of water per flush.
- Any urinal manufactured for use more than 1 gallon of water per flush.
- Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
- Any interior faucet that emits more than 2.2 gallons of water per minute.

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

## VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. **Projects that increase total conditioned floor area by ≥1,000 square feet are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 85.** For projects that increase total conditioned floor area by <1,000 square feet, the applicant or design professional may sign below, and no license or special qualifications are required.

FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.

**#Project Name** \_\_\_\_\_  
**Project Name** \_\_\_\_\_  
**#Site APN** \_\_\_\_\_  
**Block/Lot** \_\_\_\_\_  
**#Site Full Address** \_\_\_\_\_  
**Address** \_\_\_\_\_  
**#Occupancy** \_\_\_\_\_  
**Primary Occupancy** \_\_\_\_\_  
**### SQ. FT.** \_\_\_\_\_  
**Gross Building Area** \_\_\_\_\_  
**### SQ. FT.** \_\_\_\_\_  
**Increase In Conditioned Floor Area** \_\_\_\_\_

I will assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

*[Signature]* 5/23/2019

Licensed Professional: Sign & Date  
 (May be signed by the applicant when less than 1,000 square feet is added.)

Affix professional stamp:

**Projects that increase total conditioned floor area by ≥1,000 square feet:**  
 The Green Building Compliance Professional of Record for this project is:

Green Building Compliance Professional - Name and Contact Phone Number \_\_\_\_\_

Green Building Compliance Professional - Firm \_\_\_\_\_

- I am a LEED Accredited Professional  
 I am a GreenPoint Rater  
 I am an ICC Certified CalGreen Inspector

Green Building Compliance Professional - Sign & Date \_\_\_\_\_

Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green requirements are met.

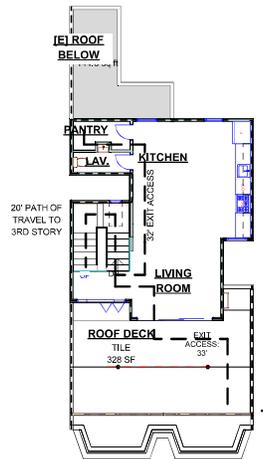


**BUILDING PERMIT  
GREEN BUILDING  
REQUIREMENTS**

- Revisions:**
- 1.
  - 2.
  - 3.
  - 4.
  - 5.
  - 6.
  - 7.

5/23/2019

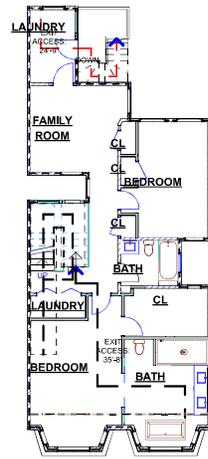
A0.6



FOURTH STORY

SCALE: 1/8" = 1'-0"

4



THIRD STORY

SCALE: 1/8" = 1'-0"

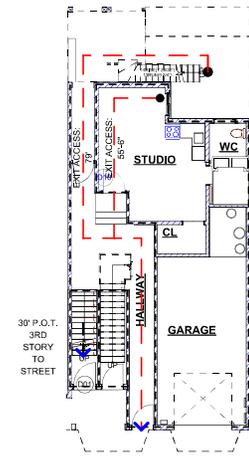
3



SECOND STORY

SCALE: 1/8" = 1'-0"

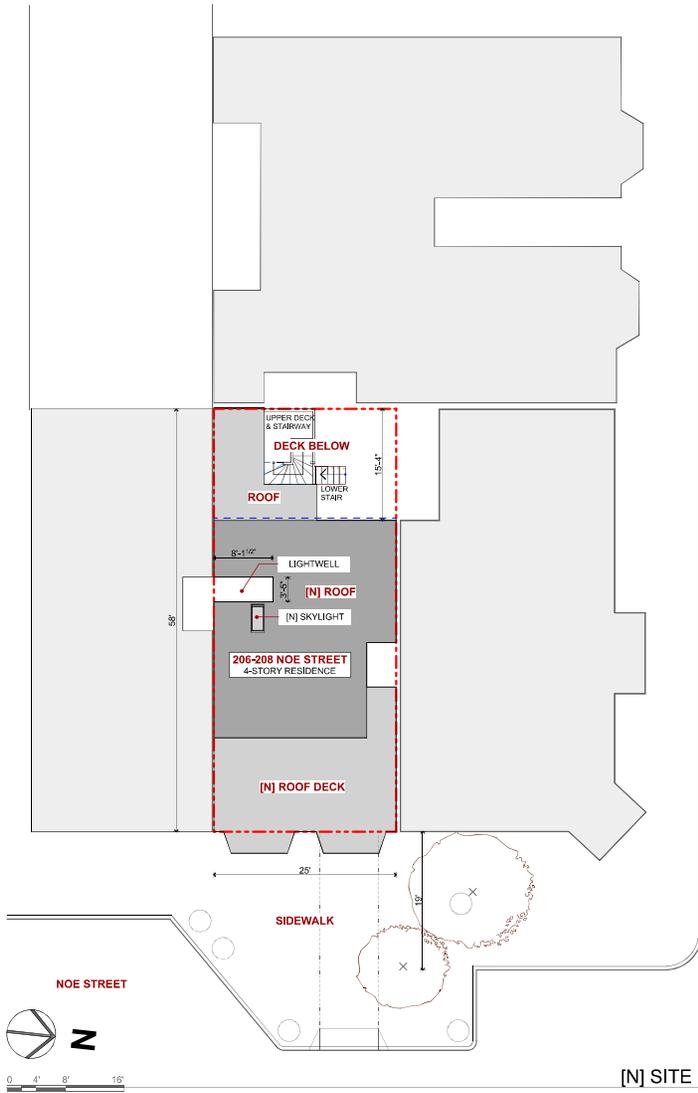
2



FIRST STORY

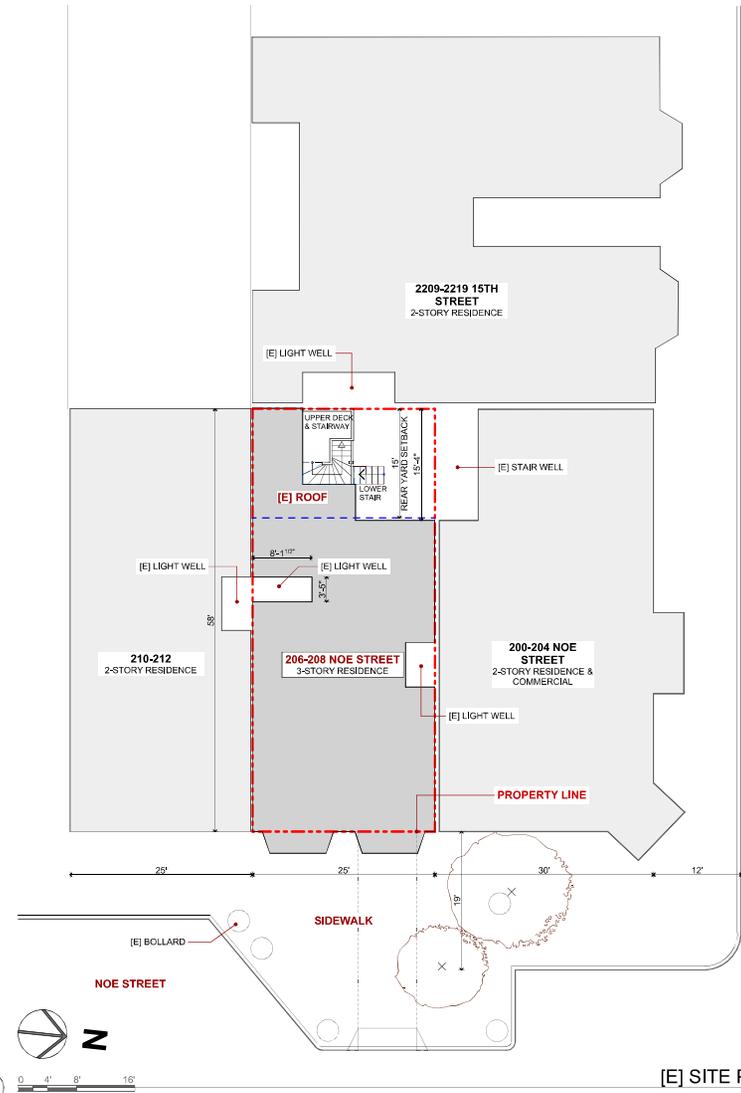
SCALE: 1/8" = 1'-0"

1



[N] SITE PLAN

SCALE: 1/8" = 1'-0"



[E] SITE PLAN

SCALE: 1/8" = 1'-0"



**208 NOE STREET**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561001A

**BUILDING PERMIT**  
**SITE PLANS**

- Revisions:
- 1.
  2. 08/27/2018
  3. 5/2/2019
  - 4.
  - 5.
  - 6.
  - 7.

01/11/2018  
**A0.9**

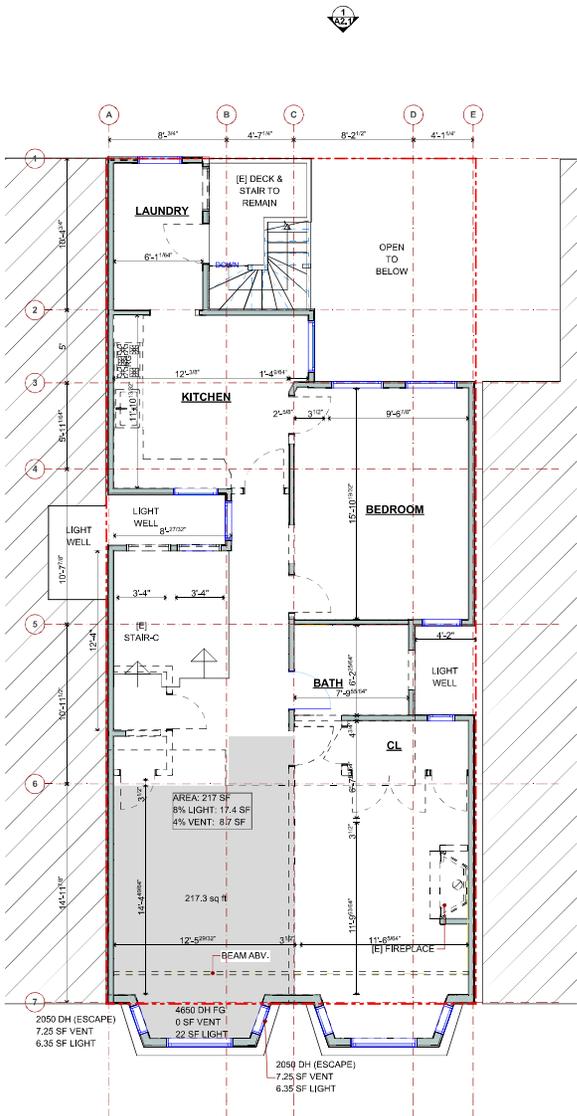


**208 NOE STREET**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3551/001A

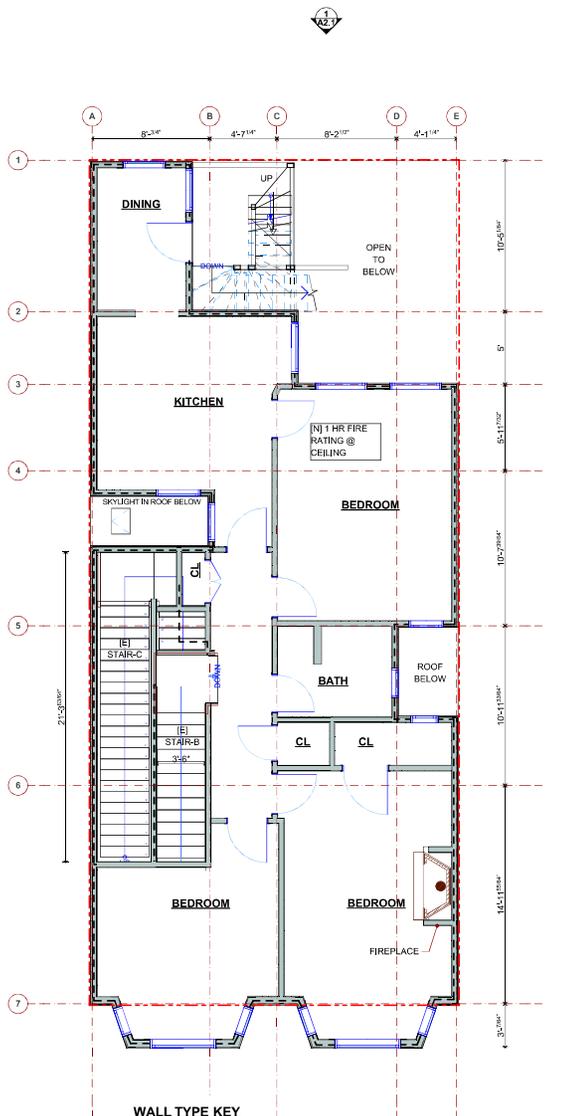
**BUILDING PERMIT**  
**[E] FLOOR PLANS**

- Revisions:**  
 1. 6/12/2018  
 2.  
 3.  
 4.  
 5.  
 6.  
 7.

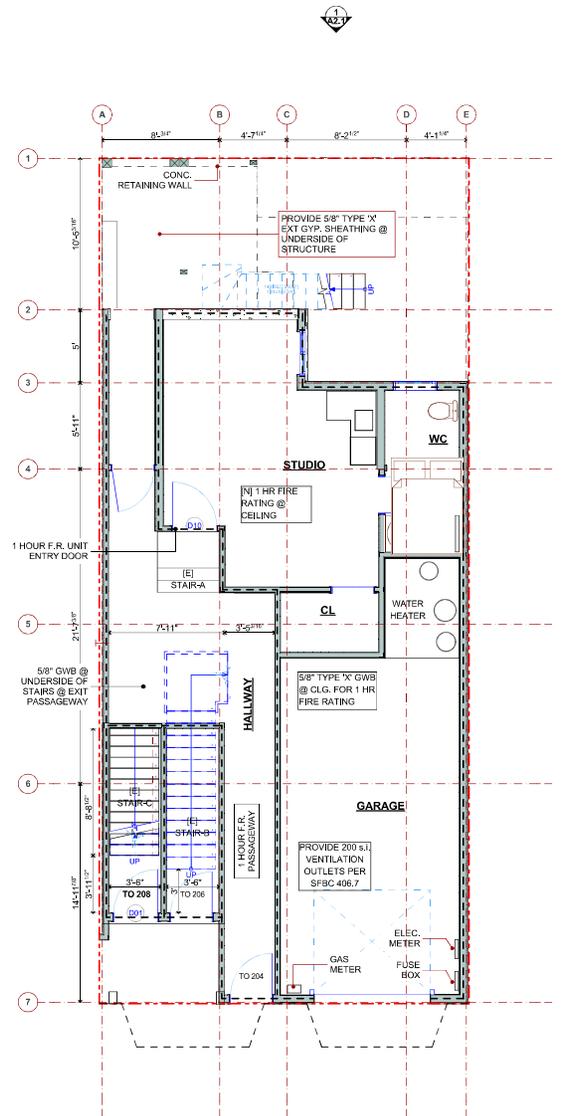
01/11/2018  
**A1.0**



**DEMO THIRD STORY (208)** ③  
 SCALE: 1/4" = 1'-0"



**SECOND STORY (206 NOE)** ②  
 SCALE: 1/4" = 1'-0"

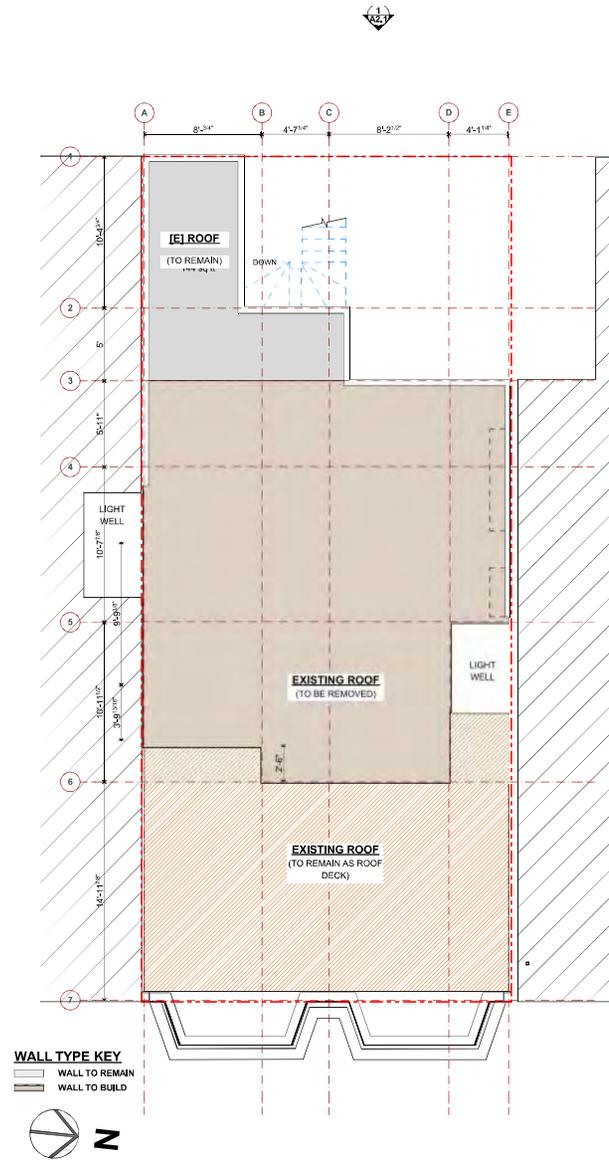


**FIRST STORY (Garage)** ①  
 SCALE: 1/4" = 1'-0"

**WALL TYPE KEY**

[Symbol]	WALL TO DEMO
[Symbol]	WALL TO REMAIN
[Symbol]	WALL TO BE MADE 1 HR RATED





**WALL TYPE KEY**  
 [Symbol] WALL TO REMAIN  
 [Symbol] WALL TO BUILD



DEMO ROOF PLAN  
 SCALE: 1/4" = 1'-0"

1

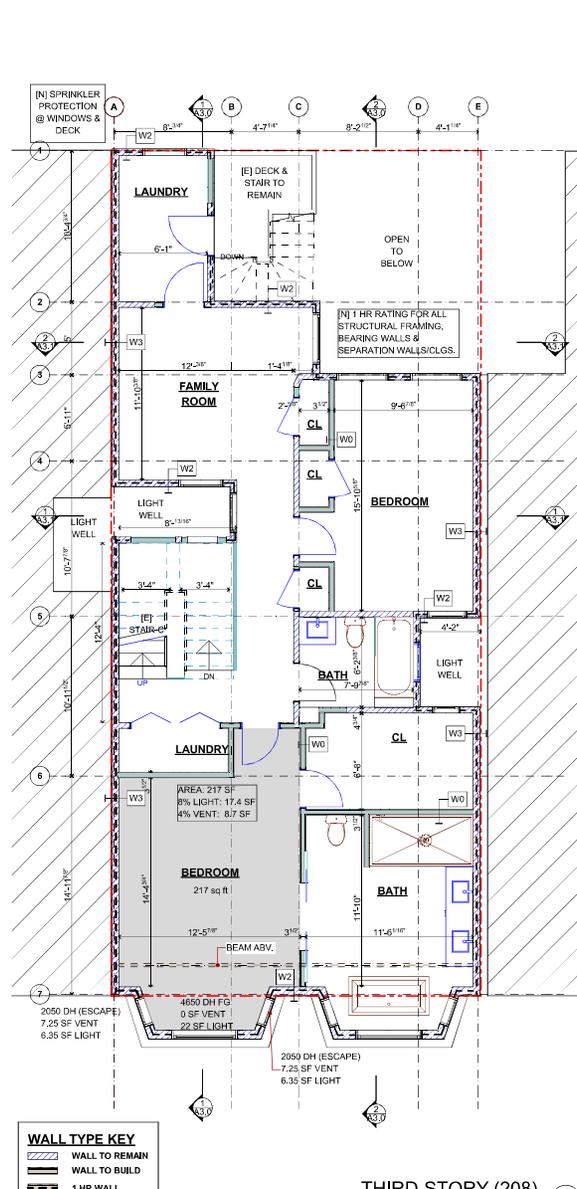
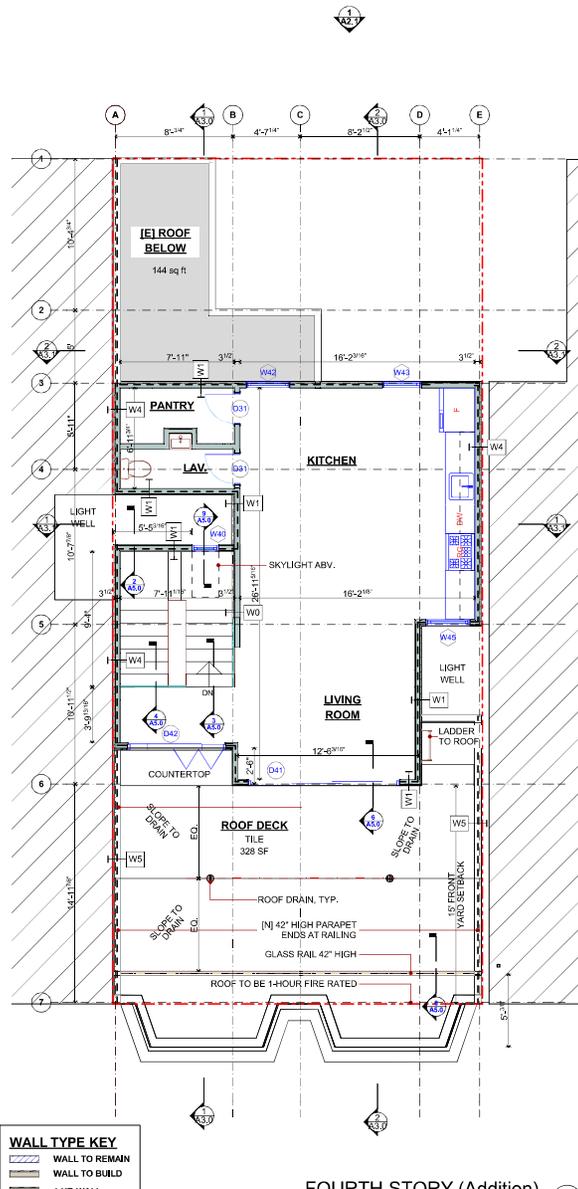
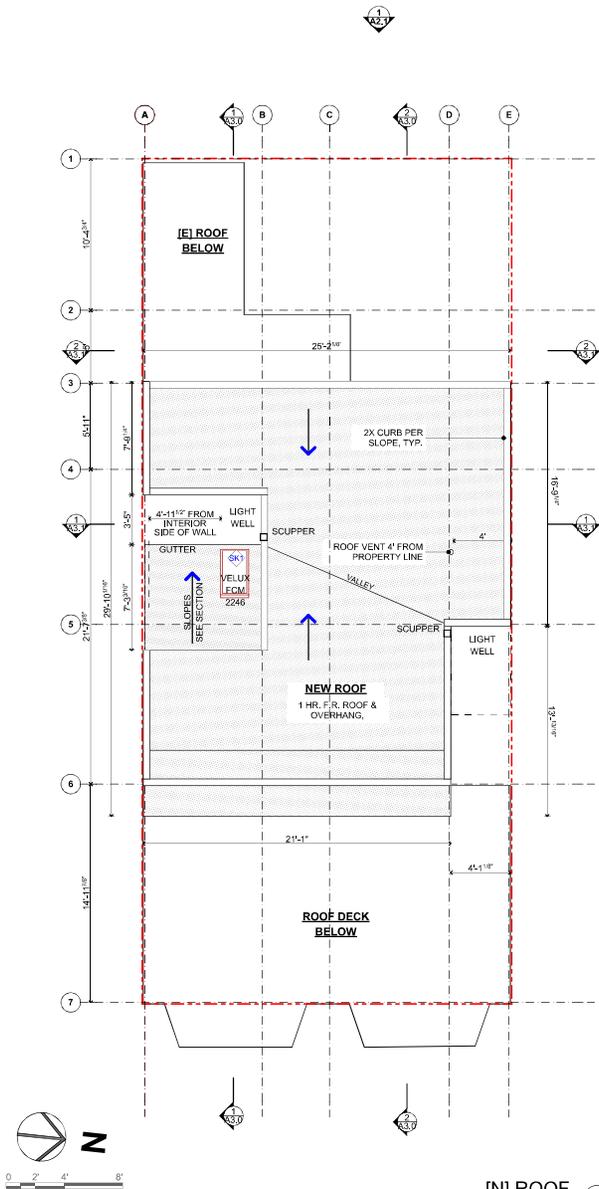


**208 NOE STREET**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561001A

**BUILDING PERMIT**  
**[E] ROOF PLAN**

- Revisions:**
1. 01/12/2018
  2. 01/14/2019
  3. 02/20/2019
  - 4.
  - 5.
  - 6.
  - 7.

01/11/2018  
**A1.1**



**WALL TYPE KEY**

- WALL TO REMAIN
- WALL TO BUILD
- 1 HR WALL

**WALL TYPE KEY**

- WALL TO REMAIN
- WALL TO BUILD
- 1 HR WALL

Copyright © 2019. All rights reserved. These drawings may not be used, copied or reproduced, in whole or in part, without express written permission of David Koobitz.

**DNN ARCHITECTURE**  
 DNN Architecture • 1A Gate 5 Road • San Rafael, CA 94965  
 T: 415.348.8910 • E: info@dnnarchitecture.com

**BUILDING PERMIT**  
**[N] FLOOR PLANS**

**208 NOE STREET**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561/0014

REVISIONS:  
 1. 6/12/2019  
 2. 1/14/2019  
 3. 5/2/2019  
 4.  
 5.  
 6.  
 7.

01/11/2018  
**A1.2**



208 NOE STREET  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561001A

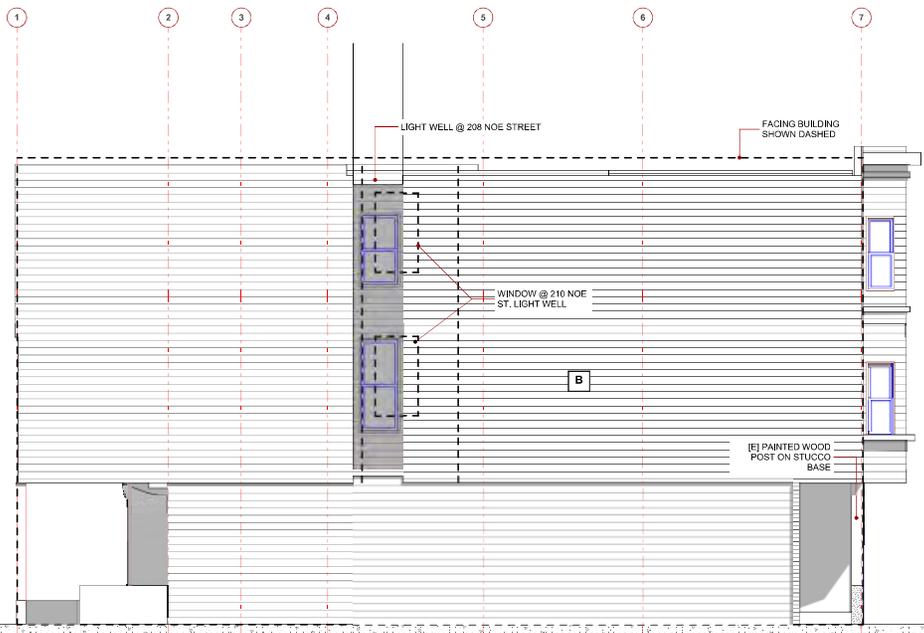
**BUILDING PERMIT**  
**[E] NORTH & SOUTH ELEVS**

**[E] NORTH & SOUTH ELEVS**

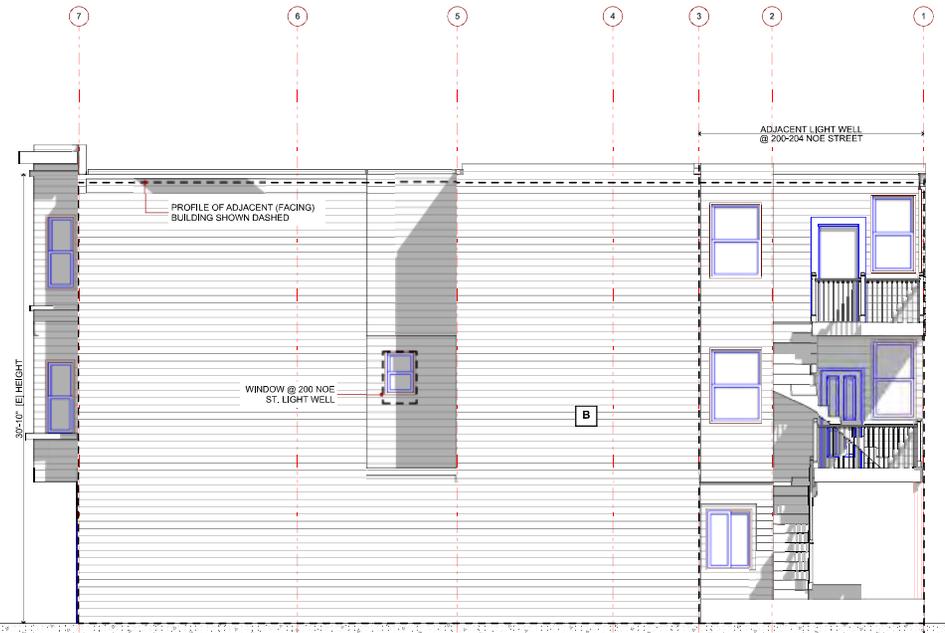
- Revisions:**
1. 8/12/2018
  2. 1/16/2019
  3. 5/2/2019
  - 4.
  - 5.
  - 6.
  - 7.

01/11/2018  
**A2.0**

MATERIALS	
A	[E] STUCCO SIDING
B	[E] PAINTED HORIZONTAL SIDING
C	[N] FIBER CEMENT PANELS



**[E] SOUTH ELEVATION 1**  
 SCALE: 1/4" = 1'-0"



**[E] NORTH ELEVATION 2**  
 SCALE: 1/4" = 1'-0"



MATERIALS	
A	[E] STUCCO SIDING
B	[E] PAINTED HORIZONTAL SIDING
C	[N] FIBER CEMENT PANELS



[E] WEST ELEVATION 1  
SCALE: 1/4" = 1'-0"



[E] EAST ELEVATION 2  
SCALE: 1/4" = 1'-0"



Revisions:

- 1.
2. 1/14/2019
3. 5/2/2019
- 4.
- 5.
- 6.
- 7.



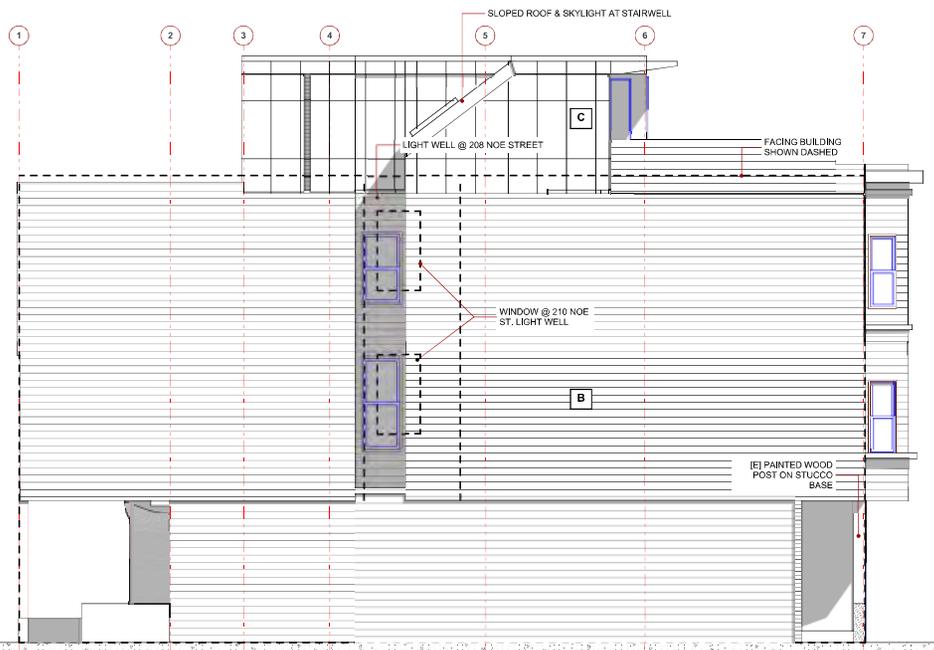
208 NOE STREET  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561001A

**BUILDING PERMIT**  
**[N] NORTH & SOUTH ELEVS**

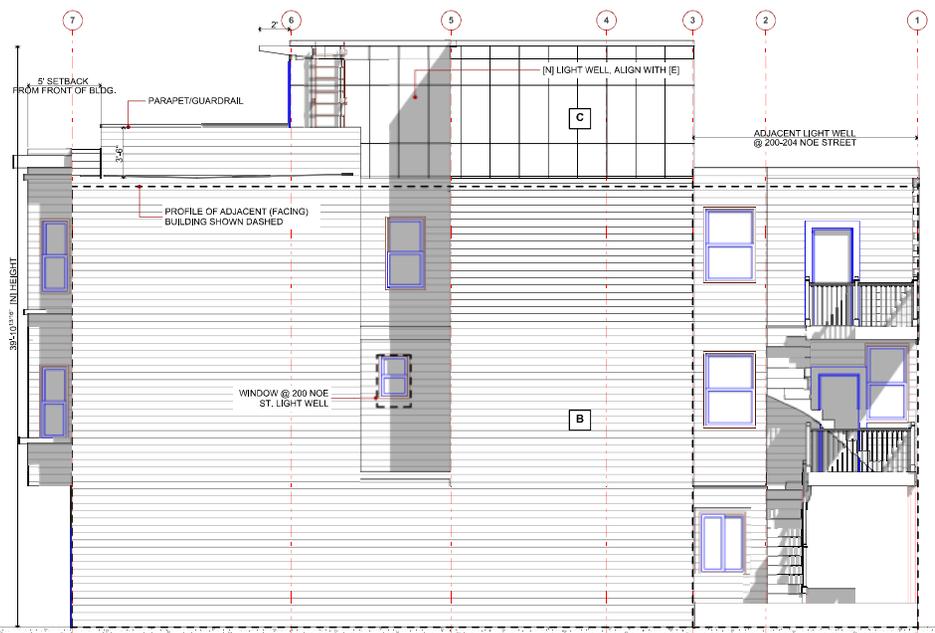
**Revisions:**  
 1. 6/12/2018  
 2. 1/16/2019  
 3. 5/2/2019  
 4.  
 5.  
 6.  
 7.

01/11/2018  
**A2.2**

MATERIALS	
A	[E] STUCCO SIDING
B	[E] PAINTED HORIZONTAL SIDING
C	[N] FIBER CEMENT PANELS



**[N] SOUTH ELEVATION** ②  
 SCALE: 1/4" = 1'-0"



**[N] NORTH ELEVATION** ①  
 SCALE: 1/4" = 1'-0"



**208 NOE STREET**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561001A

**BUILDING PERMIT**  
**[N] EAST ELEVATION**

- Revisions:**
1. 6/12/2018
  - 2.
  3. 5/2/2019
  - 4.
  - 5.
  - 6.
  - 7.

01/11/2018

**A2.3**

MATERIALS	
A	[E] STUCCO SIDING
B	[E] PAINTED HORIZONTAL SIDING
C	[N] FIBER CEMENT PANELS





**208 NOE STREET**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561001A

**BUILDING PERMIT**  
**[N] WEST ELEVATION**

- Revisions:**
1. 6/12/2018
  2. 1/14/2019
  3. 5/2/2019
  - 4.
  - 5.
  - 6.
  - 7.

01/11/2018

**A2.4**

MATERIALS	
A	[E] STUCCO SIDING
B	[E] PAINTED HORIZONTAL SIDING
C	[N] FIBER CEMENT PANELS



**[N] WEST ELEVATION** ①  
 SCALE: 1/4" = 1'-0"



**208 NOE STREET**

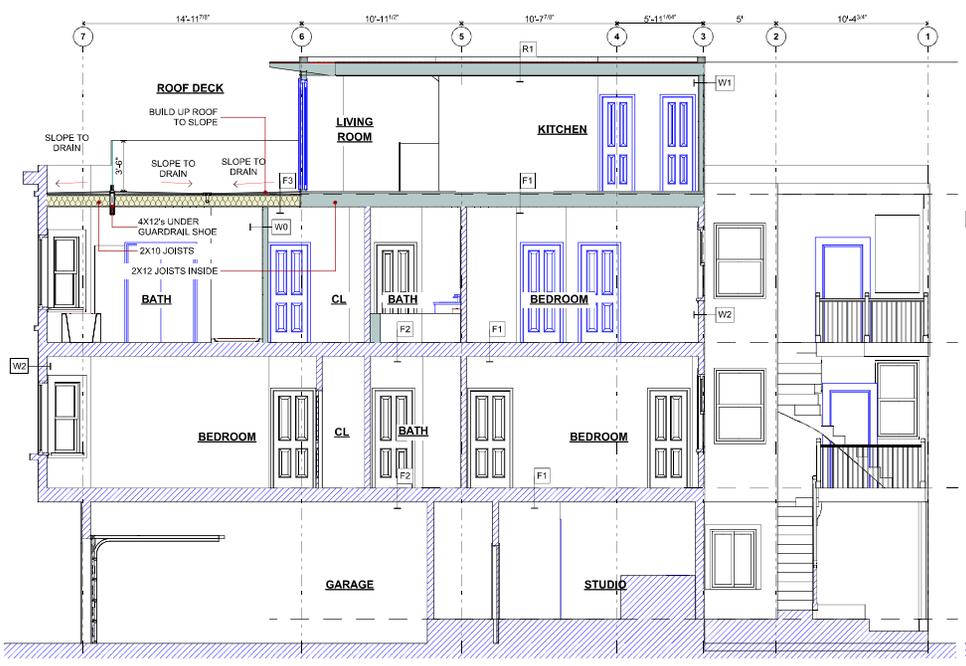
208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561001A

**BUILDING PERMIT SECTIONS**

- Revisions:**
1. 6/12/2019
  2. 1/16/2019
  3. 5/2/2019
  - 4.
  - 5.
  - 6.
  - 7.

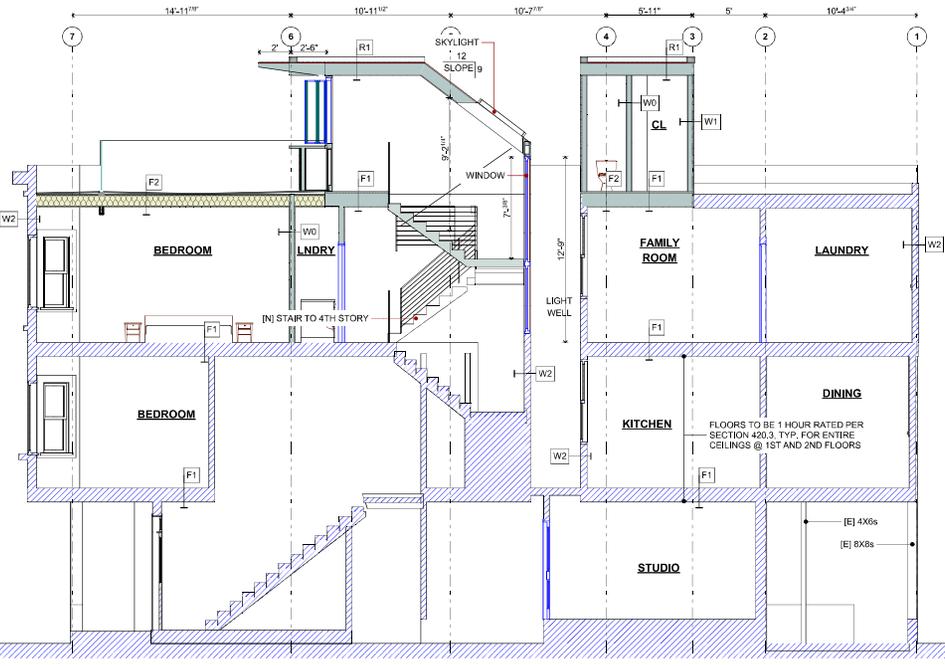
01/11/2018

**A3.0**



**SECTION THROUGH LIVING ROOM & KITCHEN** ②

SCALE: 1/4" = 1'-0"



**SECTION THROUGH FAMILY ROOM & BEDROOM** ①

SCALE: 1/4" = 1'-0"

**WALL TYPE KEY**

	EXISTING TO REMAIN
	NEW





**BUILDING PERMIT SECTIONS**

**208 NOE STREET**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114

APN: 3561001A

**SECTIONS**

**Revisions:**

- 1.
2. 1/14/2019
3. 5/2/2019
- 4.
- 5.
- 6.
- 7.

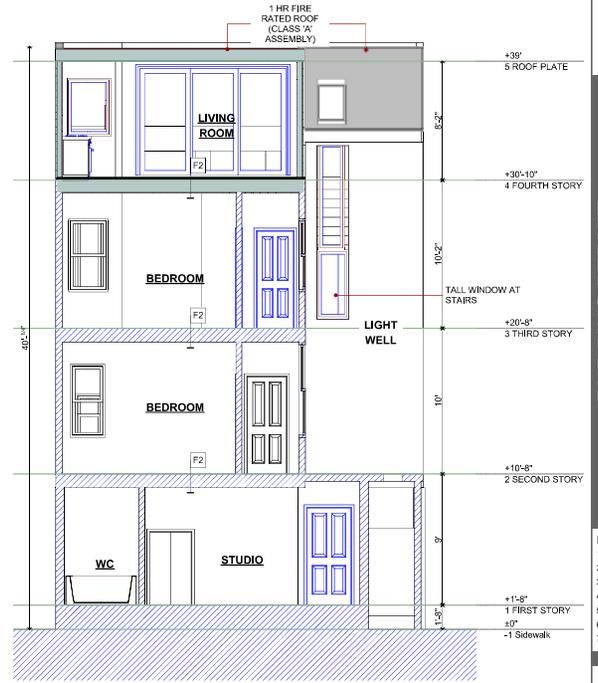
01/11/2018

**A3.1**



**SECTION THROUGH KITCHEN**

SCALE: 1/4" = 1'-0"



**CROSS SECTION AT LIGHT WELL**

SCALE: 1/4" = 1'-0"

**WALL TYPE KEY**

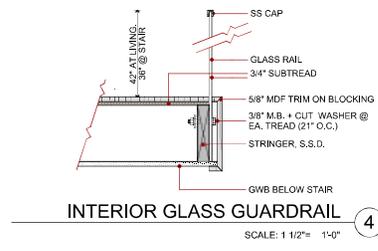
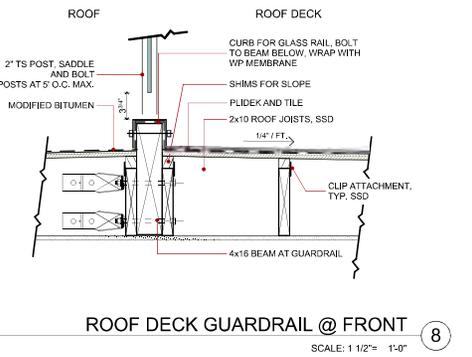
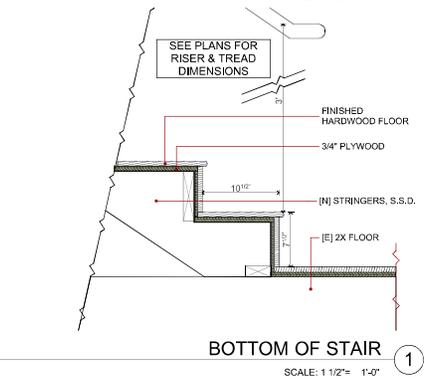
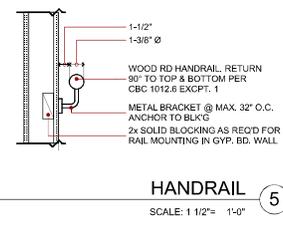
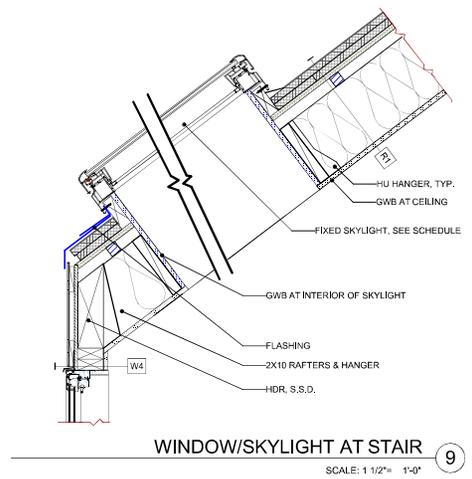
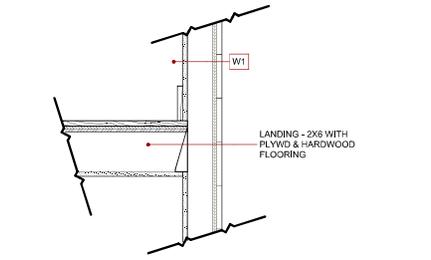
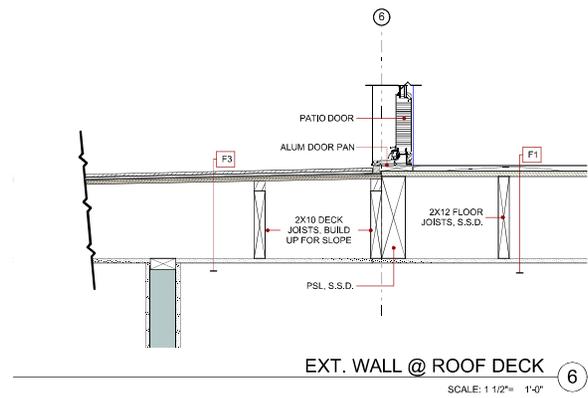
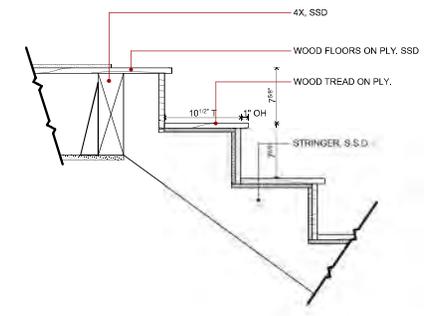
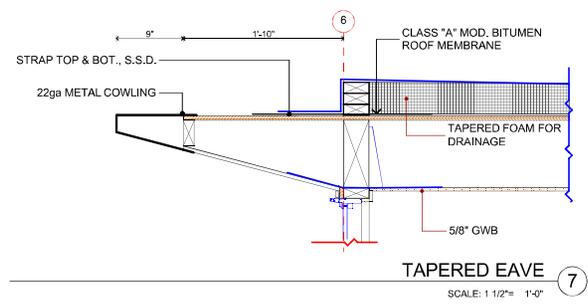
	EXISTING TO REMAIN
	NEW





**Revisions:**

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.



**GENERAL NOTES FOR ELECTRICAL PLANS**

ALL RECEPTACLES SHALL BE 125V, 15 OR 20 AMP, AND LISTED AS TAMPER-RESISTANT PER CEC SECT. 406.12.

PROVIDE SEPARATE 20 AMP CIRCUITS FOR EACH BATHROOM.

ALL RECEPTACLES SHALL BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS UNO AS PER CEC 210.12 AND SHALL BE LOCATED @ 18" A.F.F. TO BOT OUTLET.

ALL ELECTRICAL OUTLETS LOCATED ON A FIRE RATED WALL SHALL COMPLY WITH CRC R302.4.2 EXCEPTIONS 1 & 2.

ALL OUTDOOR GROUND FAULT CIRCUIT-INTERRUPTERS SHALL BE 12V, 12 OR 20 AMP AS PER CEC 210.8(A).

PROVIDE A 20 AMP DEDICATED CIRCUIT FOR LAUNDRY RECEPTACLE OUTLET AS PER CEC 210.11 (C) (2).

PROVIDE A DEDICATED BRANCH CIRCUIT FOR ANY CENTRAL HEATING EQUIPMENT AS PER CEC 422.12.

PROVIDE A 20 AMP DEDICATED CIRCUIT FOR THE GARBAGE DISPOSAL AND DISHWASHER AS PER CEC 430.53.

ALL PERMANENT LUMINAIRES TO BE HIGH EFFICACY AND COMPLY WITH CEC 150 (K).

LIGHTING IN BATHROOMS SHALL COMPLY WITH CEC 150 (K)(2)(J); AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.

LIGHTING IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL COMPLY WITH CEC 150 (E) (6); ALL THE LIGHTS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.

**MECHANICAL NOTES**

DIRECT VENT APPLIANCES PER CMC 802.2.4 (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS)

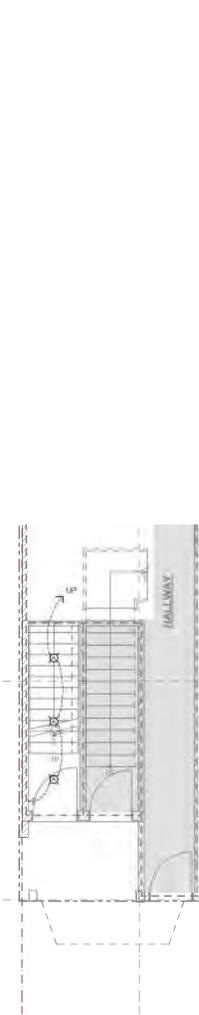
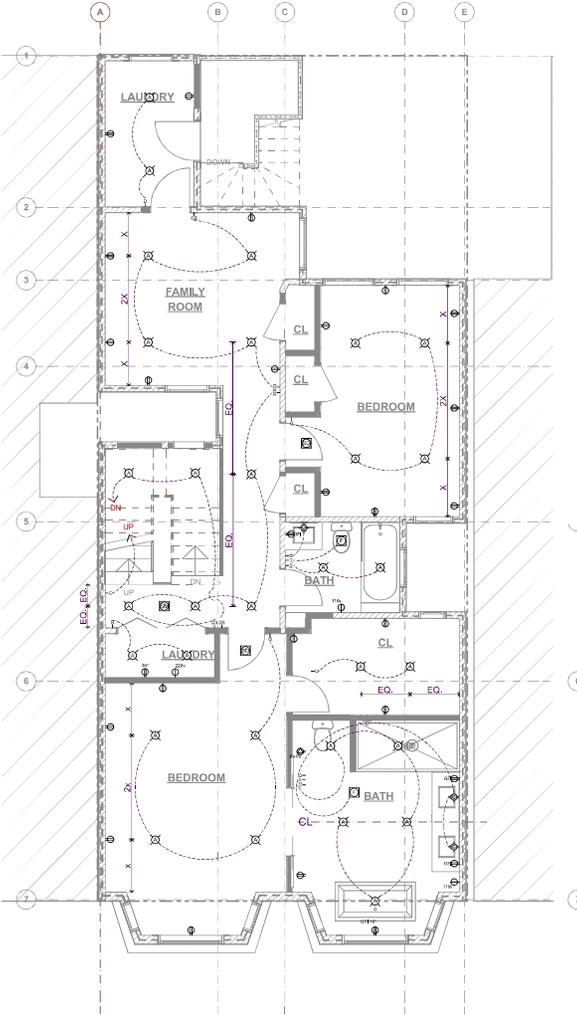
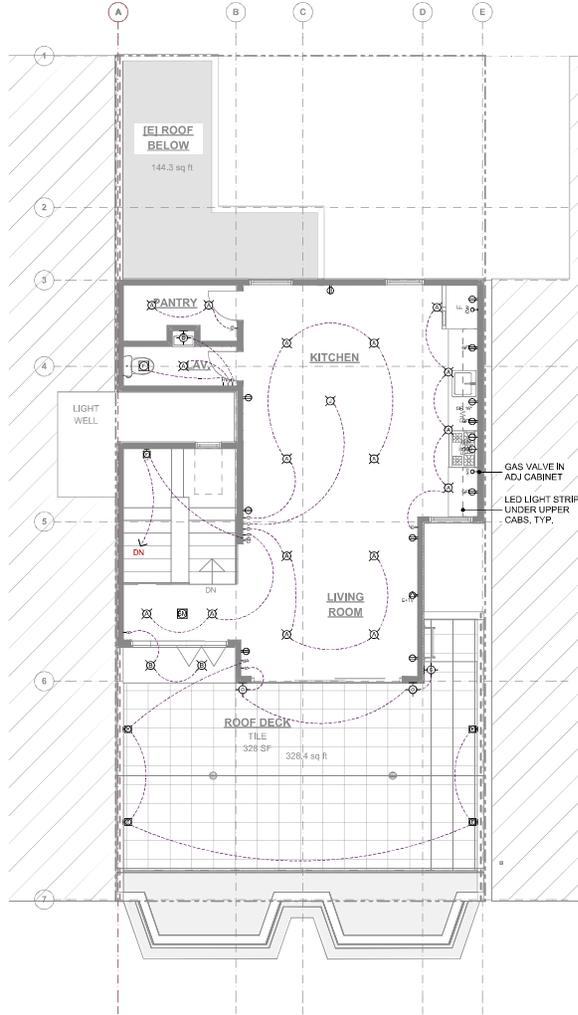
ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.

ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1.

26 GAUGE DUCT IN GARAGE

SYMBOL	TYPE	QTY	NOTES
⊖	—	30	110v/20a DUPLEX OUTLET @ 16" AFF
⊖	—	6	110v/20a GFI DUPLEX OUTLET @ 42" AFF
⊖	—	1	HOOD CONN. VERIFY HEIGHT W/OWNER
⊖	—	2	110v/20a GFI DUPLEX OUTLET @ 16" AFF
⊖	—	1	220v/40a OVEN CONN. @ 48" AFF V.I.F.
⊖	—	2	COAX + CAT6 RECEPT. @ 16" AFF
⊖	—	2	110v/20a TOWEL RACK. VERIFY W/OWNER
⊖	—	1	220v/30a DRYER OUTLET @ 38" AFF
⊖	—	1	110v/20a DUPLEX OUTLET @ 38" AFF
⊖	A	51	RECESSED LED FIXTURE
⊖	B	2	EXTERIOR LED RECESSED FIXTURE
⊖	C	4	LED SCONCE BATH. VERIFY HT W/OWNER.
⊖	CW	1	COLD WATER
⊖	D	13	SGL POLE DIMMER SWITCH
⊖	D3	7	3-WAY POLE DIMMER SWITCH
⊖	E	1	LED STEPLIGHT ON WALL
⊖	E	4	LED STEPLIGHT ON PARAPET @ 18" AFF
⊖	F	3	ENERGY STAR RATED BATH FAN 100 cfm
⊖	G	3	LED EXT WALL SCONCE ON DAYLIGHT CONTROLLED BY PHOTOCCELL & MOTION SENSOR PER CEC 150(K)(3)(a)(ii)
⊖	GAS	1	GAS SOURCE
⊖	H	3	HUMIDISTAT SWITCH
⊖	J	1	J BOX FOR LED PENDANT LIGHT
⊖	S	4	SINGLE POLE SWITCH
⊖	SD	2	NEST SMOKE DETECTOR
⊖	SM	2	NEST SMOKE AND CO DETECTOR
⊖	Vd	2	VACANCY DIMMER SWITCH
⊖	Vs	2	VACANCY SWITCH

**LIGHTING SCHEDULE** ④



**208 NOE STREET**  
 208 NOE STREET  
 SAN FRANCISCO, CA 94114  
 APN: 3561/001A

**BUILDING PERMIT**  
**UTILITY PLANS**

- Revisions:
- 1.
  - 2.
  - 3.
  - 4.
  - 5.
  - 6.
  - 7.

02/2019  
**E1.0**

Copyright © 2019. All rights reserved. These drawings may not be used, copied or reproduced, in whole or in part, without express written permission of David Malati.



Address of Building 206 - 208 NOE ST

Block 3561

Lot 001A

Other Addresses

<u>Application #</u>	<u>Permit #</u>	<u>Issue Date</u>	<u>Type of Work Done</u>	<u>Status</u>
201808207750	1471925	Aug 20, 2018	ADMINISTRATIVE PERMIT TO REFLECT THE LEGAL USE OF OCCUPANCY AND THIS BUILDING IS A 3 UNIT RESIDENTIAL BUILDING. (BASED ON SITE VISIT AND CITY ROADS ASSESSOR, DBI + PUBLIC WORKS DEPARTMENT). ADDRESS 206, 206A AND 208 NOE ST - CFC 3FD	C
201808227988	1472195	Aug 22, 2018	RENEW APPLICATION #201502249160 FOR FINAL INSPECTION. ALL WORK COMPLETED	I

8. A. Is there an active Franchise Tax Board Referral on file? Yes No ✓  
B. Is this property currently under abatement proceedings for code violations? Yes No ✓
9. Number of residential structures on property? 1
10. A. Has an energy inspection been completed? Yes No ✓ B. If yes, has a proof of compliance been issued? Yes No ✓
11. A. Is the building in the Mandatory Earthquake Retrofit of Wood-Frame Building Program? Yes No ✓  
B. If yes, has the required upgrade work been completed? Yes No

Date of Issuance: 23 AUG 2018

Date of Expiration: 23 AUG 2019

By: DEREK CHEUNG

Report No: 201808237106

Patty Herrera, Manager  
Records Management Division

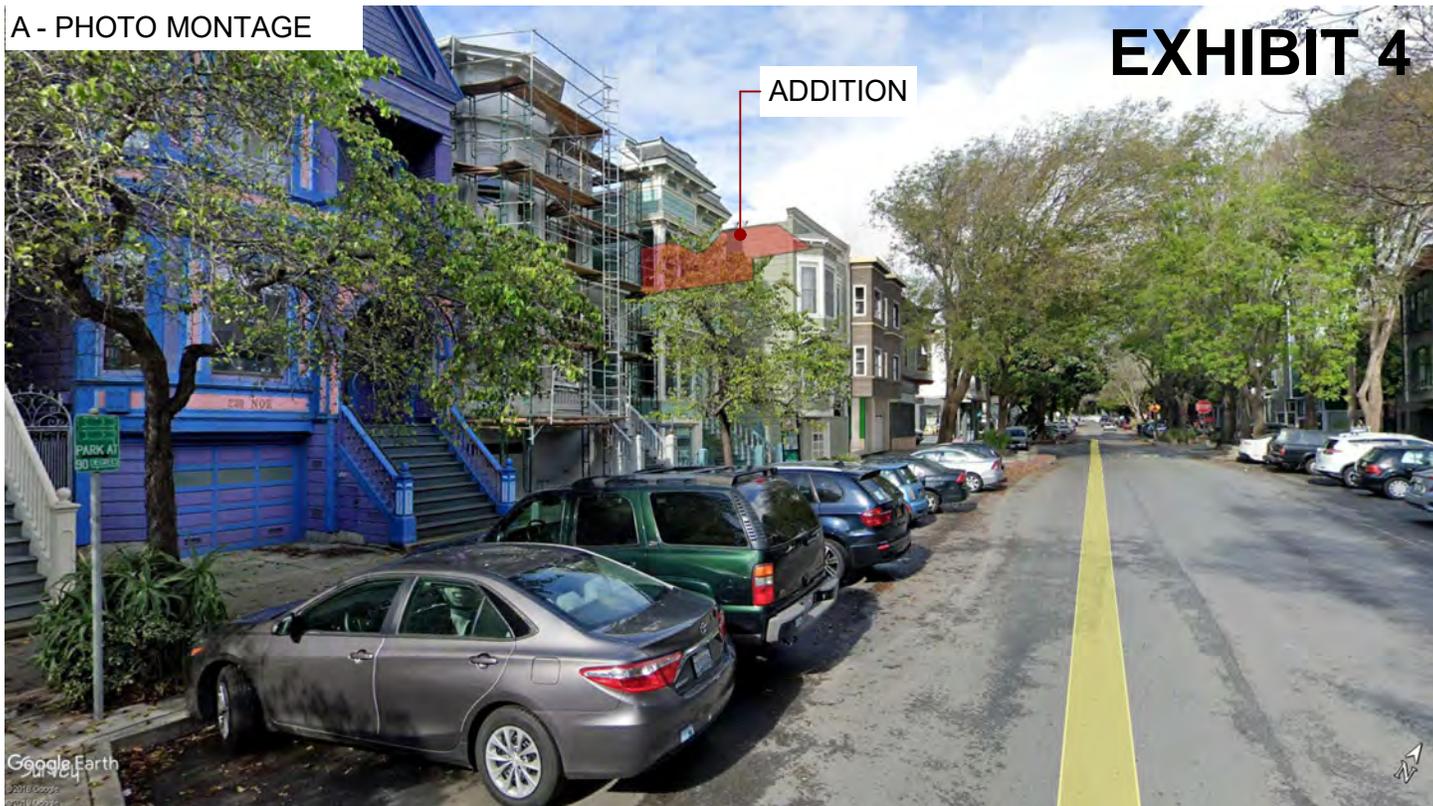
THIS REPORT IS VALID FOR ONE YEAR ONLY.

The law requires that, prior to the consummation of the sale or exchange of this property, the seller must deliver this report to the buyer and the buyer must sign it.

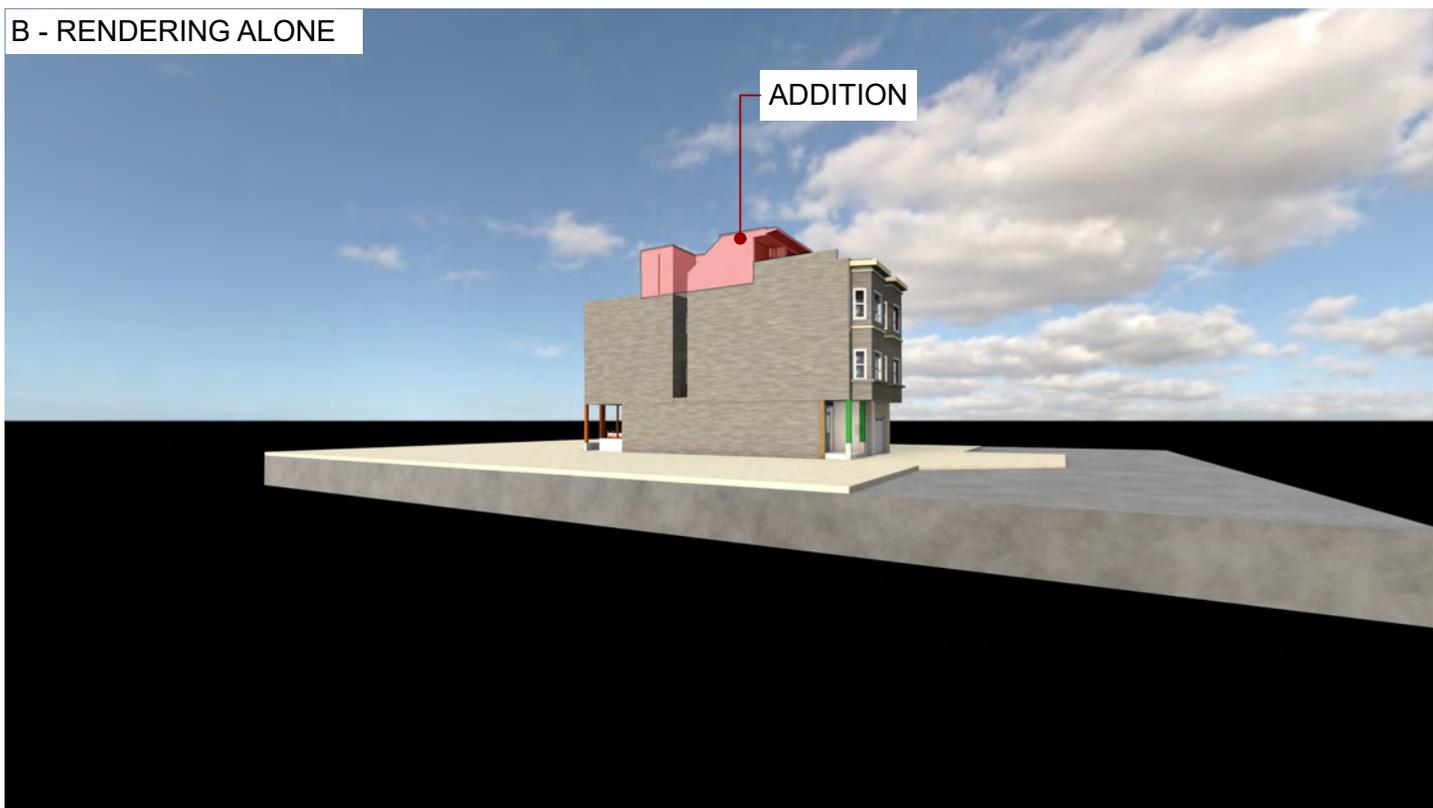
(For Explanation of terminology, see attached)

A - PHOTO MONTAGE

# EXHIBIT 4



B - RENDERING ALONE



07.24.2019

## STREET VIEW RENDER

### 208 NOE STREET ADDITION

208 NOE STREET  
SAN FRANCISCO, CA 94114

# DNM ARCHITECTURE

**DNM Architecture**  
1A Gate 5 Road • Sausalito, CA 94965  
T: 415.348.8910 • E: info@dnmarchitecture.com

# A9.0

## Download the Airbnb App



Get more reservations and higher ratings by responding to guests quickly, from anywhere.

[Get the App](#)

[Use a Saved Message](#)

[Send Message](#)

Hi Jamie,

Sorry the apartment won't be available then. We're remodeling in March so that's why we have it as an air b&b now (we're waiting for the city to approve our plans). Good luck to you and congratulations on your wedding!! We were married this year in SF too! ✨

Jessic

Dec 10, 2018



### JAIME'S INQUIRY 12/10/2018

If a guest has a profile photo, it'll be displayed after their booking is confirmed. [Learn more](#)

J

Hello Jessica,



I hope all is well.

Your place is so beautiful!!!!

We are coming to San Fran for our wedding next year and we were wondering if you would allow us to stay with you from June 7th to 10th for 3 nights? I hope this could work for you, you have a lovely home and it would be perfect for our wedding photos the morning get ready and we are having a tough time finding somewhere to stay coming from Australia

Ps sorry about the random dates I had to enter to send you a message :)

Thank you in advance for your time.

Jaime

Notice something different? We've redesigned reservation details to be easier than ever.



[Learn more](#)

**NOT POSSIBLE**

**Jaime**

**J**

4 guests · 30 nights

Modern Feels in Classic SF Victorian Era Home

This guest reached out about Dec 17, 2018 – Jan 16, but some or all of these dates are no longer available to book.

If you'd like to suggest a different price or dates, try sending a special offer.

★ [11 reviews](#)

✓ Verified

📅 Joined in August 2015

[Special offer](#)

Guests

**4 adults**

Check-in

Mon, Dec 17, 2018

Check-out

Wed, Jan 16, 2019

### Potential earnings

\$5,190 x 30 nights

\$5190

Service fee

-\$156

Total (USD)

\$5034

### Download the Airbnb App



Get more reservations and higher ratings by responding to guests quickly, from anywhere.

[Get the App](#)

[Use a Saved Message](#)

[Send Message](#)

Hi Alex, we may be able to extend your stay into September but we're supposed to start remodeling sept 1. If you want to rent for July and August we can play step by ear... is that ok? Also let me confirm with my contractor as well.

Thanks,  
Jessica

May 13, 2019



#### ALEX'S INQUIRY 05/13/2019

If a guest has a profile photo, it'll be displayed after their booking is confirmed. [Learn more](#)

A

Hi Jessica,



My wife and I are moving to SF from NYC on July 1 and are looking for a short term sublet as we get settled. Would you be open to a multi month (3) lease? Could we discuss a rate?

Best,  
Alex

May 13, 2019

Notice something different? We've redesigned reservation details to be easier than ever.



[Learn more](#)

# Alex

A

2 guests · 61 nights

Modern Feels in Classic SF Victorian Era Home

This guest reached out about Jul 1 – Aug 31, but some or all of these dates are no longer available to book.

If you'd like to suggest a different price or dates, try sending a special offer.

★ 6 reviews

✔ Verified

📅 Joined in January 2012

🏠 Lives in New York, NY

👤 Also a host

Special offer

Guests

2 adults

Check-in

Mon, Jul 1, 2019

Check-out

Sat, Aug 31, 2019

## Potential earnings

\$5,431 x 61 nights

\$10687

Service fee

-\$321

Total (USD)

\$10366



Robert Levy <roblevy1@icloud.com>

Jessica Hunt

Wed 7/17

Re: 208 Noe

 You replied to this message on 7/17/2019 3:34 PM.



Jessica.....

Just a note to you and Anton to confirm that your rental of furnished 208 Noe Street to me was handled professionally as were follow up requests from me for repairs, corrective issues and communication regarding lease and payments. Thank you for clearly communicating to me as well prior to the rental that you had plans to completely renovate the property and that the rental period might not be able to extend past January 2019 in order to facilitate the beginning of the renovation as it moved the Planning Department and planning process.

Best of fortune with your work and the property. It's a lovely neighborhood.

Thank you,

Rob Levy



To Whom It May Concern:

I live and work next door to 206/208 Noe Street. I believe Anton Kalafati to be the owner since 2009 & I have never had any issues with the work on the building. I have no objection to the current plans to add a 4<sup>th</sup> story to the existing structure.

Lester Justice  
200 Noe Street  
San Francisco CA 94114

A handwritten signature in black ink, appearing to be 'Lester Justice', written in a cursive style.

LESTER JUSTICE

Matthew Salesi

732.864.5152   matthew.r.salesi@gmail.com   206 Noe St., San Francisco, CA 94114

July 23, 2019

San Francisco Board of Appeals  
1650 Mission Street, Suite 304  
San Francisco, CA 94103

To Whom It May Concern:

I'm writing to offer my support for Anton Kalafati.

Anton has been my landlord for the two years I've lived at 206 Noe St. During that time, Anton has been nothing but friendly, helpful, and attentive to any concerns I've raised—I've had no experiences to the contrary.

As a tenant, I'm more than happy to continue to have him as a landlord, and I'm just as happy to vouch for him personally.

Sincerely,

Matthew Salesi

**July 23, 2019**

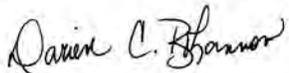
**To Whom It May Concern:**

My name is Darien Bohannon and my husband and I, Timothy Clark, lived at 208 Noe Street from February 2010 until October 2017. We were happy living at 208 Noe Street and found Anton Kalafati to be a very reasonable landlord. He responded quickly to problems we reported such as minor repairs to a garbage disposal, potential flooding challenges due to excessive rain in the garage.....etc. We moved from the property only for the purpose of purchasing our own home. The transition out of the home was made easy. We received our full deposit, plus interests owed with no challenges whatsoever. We thoroughly enjoyed living at 208 Noe Street for the time we were there.

The only challenge we experienced while living there was the behavior of the neighbor next door who's name is Ben Lewis. In general, he was unpleasant. He would literally walk past you on the stairs leading to his building and ignore you completely. He became upset the first week we lived there because we put our garbage cans in between our two drive ways.....not impeding his I might add ringing our doorbell and causing quite a scene early in the morning. Although we couldn't prove it, we believe he complained a lot in general about us though we never met him. There was a complaint filed about a car parked in our driveway which again did not impede him in anyway. There was another time when we were having a barbeque with the other tenants of our building on a Saturday in the middle of the afternoon and the cops came as a noise complaint was filed. The cops politely said, they saw no reason for this complaint. He also oddly would take all of the advertisements that we all got at our doors unsolicited and pile them in front of our door. He is in general a very unhappy person who appears to be angry with the world.

These are only a few examples of the extremely rude behavior of this neighbor. He never once spoke to us despite repeated attempt of us to be friendly. I acknowledge there is no crime with his behavior, but I believe it speaks to his character and accompanies the borderline harassment we experienced while living next to him.

SINCERELY,



DARIEN C. BOHANNON

David Conway  
206A Noe Street  
San Francisco, California, 94114  
July 24, 2019

San Francisco Board of Appeals  
1650 Mission Street, Suite 304  
San Francisco, California, 94013

Re: Letter in Opposition to Appeal 19-061, Lewis v. DPI, PDA

Dear Board of Appeals,

I am a longtime resident of San Francisco, having lived here since 2004. I have been a tenant of Anton Kalafati's in 206A Noe (the apartment on the middle floor of the 206-208 building) continuously since 2009, for nearly 10 years. I moved here for law school, and currently work as an attorney in the Bay Area. I have reviewed the appeal filed by Mr. Lewis in Appeal 19-061, *Lewis v. DPI, PDA*. I have personal knowledge of those matters which I address in this letter below.

I write first to offer a strong character reference for Mr. Kalafati. In the appeal, Mr. Kalafati is unfairly characterized as being a bad actor or inconsiderate neighbor. This is not true. Anton is a fair and responsive landlord. I have had an excellent relationship with him for the duration of my time as a tenant at 206A Noe. He complies with all landlord-tenant laws and required notices and is immediately responsive for any necessary repairs.

Anton is also an excellent contractor. Each repair or improvement he has made to our unit has held up exceptionally well. I trust his workmanship. I have never had an issue with access to the building, nor has he ever obstructed the shared entry way between my unit and 210-212 Noe.

Finally, the appeal falsely claims that Anton intends to rent out unit 208 after this project. I know this to be untrue, and that he has only ever rented out unit 208 because of economic necessity or to comply with San Francisco landlord-tenant laws.

As early as my first meeting with him in approximately October 2009, when I was considering renting 206A Noe, Anton informed me that he had originally intended to move into 208 Noe but could not do so immediately because of the continuing economic impact of the building/construction recession.

I leased 206A before Anton leased out 208 Noe to the longstanding tenants that occupied that unit from approximately 2010-2017. Even though it remained Anton's wish to ultimately move into Unit 208, he never sought to impinge on the rights of those existing 208 Noe tenants to continue living in the unit.

The appeal states in its closing that: "it is the neighborhood and surrounding residents who have suffered through [past] construction." To the contrary, his past revitalization of 206-208 has improved the neighborhood. And as the neighborhood resident who lived closest to such past constructions and who stands most to lose by any allegedly "bad" behavior, I fully support Anton in his right to improve unit 208 for him and his family to live. During past projects, Mr. Kalafati was extremely mindful of my comfort and wellbeing, continued safe access to 206, and continued access to utilities. I do not have any hesitation about this current project.

Sincerely,



David Conway  
206A Noe Street

---

## 208 Noe Street Appeal

1 message

---

**jkalafati@bconstruction.com** <jkalafati@bconstruction.com>  
To: benlewissf@gmail.com  
Cc: David Marlatt <david@dnmarchitecture.com>, akalafati@bconstruction.com

Wed, Jul 17, 2019 at 10:24 PM

Hi Ben,

We've received your appeal to our remodel/addition and would like to take this opportunity to, hopefully, help put you a little more at ease with our project.

First, let me introduce myself. My name is Jessica and I am Anton's wife. If you're willing, I would love to open this line of communication with you to address any further concerns.

I have read through your appeal letter and can understand your concerns and want you to know that we want this to be a quick and seamless remodel while being mindful of our neighbors and tenants. We've very excited to finally be able to call 208 Noe our home and are very excited to move into the Duboce Triangle neighborhood to continue to grow our family- it's been a long time coming.

As I read through your appeal, I tried to put myself in your shoes and see things from your point of view. I think some points are better suited for our architect to answer, but one point I'd like to touch on is your concern about the light getting blocked to your light well. Our architect will have a technical explanation for this in regards to the plans, but if it will help you, we would be willing to offer you a skylight for your home in an effort to allow more natural light into your apartment. You can choose your own contractor for this work and we will pay for the services, within reason, if this is something you're interested in. We want you to be happy with the work we're doing on our home and if this will help ease your concerns on the topic we don't mind making those improvements for you as well, we believe this is the neighborly thing to do.

We feel that our renovation will, not only improve our property, and allow us the space we need to grow our family, but also improve the neighborhood and surrounding property values, making everyone happy.

Another point of concern for you is the seismic. It sounds like you firmly believe adding the 4<sup>th</sup> story to our home will endanger yours in the event of an earthquake, but I assure you we have hired an experienced engineer for the plans of the 4<sup>th</sup> story addition taking all codes and requirements into consideration to structurally and seismically upgrade the building.

I also noticed that you point out Anton's Federal court case in your appeal. I'm not sure what this has to do with our home, but I feel the need to help clear the air on this as we will be neighbors. As you may have read, this was in relation to an incident that occurred over 7 years ago involving a multitude of people, when Anton was still new to construction and was not the seasoned contractor he is today. People make mistakes and no one is perfect, but I assure you, the Federal Government is doing their part to make sure he is being held responsible for his actions and Anton has been cooperating every step of the way.

Our ultimate goal here is to help ease your concerns for your appeal. I hope in some way I have done that and we can come to an understanding. I'd also like to point out construction times in SF are 7 days a week, including holidays, from 7am to 8pm but we'd be more than happy to write up some sort of neighborly contract/agreement with you stating specific working hours so that we cause the least amount of disturbance to you during the renovation.

Please let me know what you think, we're looking forward to hearing from you.

Best,

Jessica

925-262-7946