

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal No. **19-058**

Appeal of
SHING KIT LEE,)
Appellant(s))
vs.)
ZONING ADMINISTRATOR,)
Respondent)

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on May 28, 2019, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on May 14, 2019, of a Notice of Violation (alleging violations of Planning Code Section 174 for an unpermitted alteration and exceeding the approved scope of work, Section 317 for the unauthorized demolition and removal of a single-family dwelling without a Conditional Use Authorization, and Section 209.1 for the unauthorized construction of a dwelling unit within the required rear yard without a Variance) at 2027-20th Avenue.

COMPLAINT NO. 2019-004623ENF

FOR HEARING ON July 31, 2019

Address of Appellant(s):

Address of Other Parties:

Shing Kit Lee, Appellant c/o Tom Tunny, Attorney for Appellant Reuben, Junius & Rose, LLP One Bush Street, Suite 600 San Francisco, CA 94104	N/A
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PRELIMINARY STATEMENT OF APPEAL

Date 5/28/2019
Filed: **BOARD OF APPEALS**

MAY 29 2019

APPEAL # 19-058

SUMMARY OF REASONS OR GROUNDS FOR APPEAL CONTINUED:

This is an appeal against the Notice of Violation
(dated May 14, 2019) for 2027 - 20th Ave. San Francisco,
CA.



SAN FRANCISCO PLANNING DEPARTMENT

BOARD OF APPEALS

MAY 29 2019

APPEAL # 19-058

NOTICE OF VIOLATION

May 14, 2019

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Property Owner
Lee Fmly Trust
390 Magellan Ave
San Francisco, CA 94116

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Site Address: 2027 20th Avenue
Assessor's Block/Lot: 2140/004A
Zoning District: RH-1, Residential, House, One-Family
Complaint Number: 2019-004623ENF
Code Violation: Section 174: Unpermitted Alteration, Exceeding Approved Scope of Work
 Section 317: Unauthorized Demolition of a Dwelling Unit
 Section: 209.1 Unauthorized Rear Yard Encroachment
Administrative Penalty: Up to \$250 Each Day of Violation
Response Due: Within 15 days from the date of this Notice
Staff Contact: Chaska Berger, (415) 575-9188, chaska.berger@sfgov.org

The Planning Department has determined that the above referenced property is in violation of the Planning Code. As the owner of the subject property, you are a responsible party to bring the above property into compliance with the Planning Code. Details of the violation are discussed below:

DESCRIPTION OF VIOLATION

The subject property is authorized as a single-family dwelling. The violation pertains to the unauthorized demolition and removal of a one-family dwelling without the benefit of a Conditional Use Authorization pursuant to Planning Code 317. Per Planning Code Section 317, a Conditional Use Authorization is required for demolition of a dwelling unit. Additionally, the property is allegedly in violation of Planning Code 209.1 for the unauthorized construction of a dwelling unit within the required rear yard without the benefit of an approved Variance.

Pursuant to Planning Code Section 171, structures and land in any zoning district shall be used only for the purposes listed in this Code as permitted in that district, and in accordance with the regulations established for that district. Further, pursuant to Planning Code Section 174, every condition, stipulation, special restriction, and other limitation under the Planning Code shall be complied with in the development and use of land and structures. Failure to comply with any Planning Code provisions constitutes a violation of the Planning Code and is subject to an enforcement process under Code Section 176.

www.sfplanning.org

TIMELINE OF INVESTIGATION

On September 11, 2015, Building Permit Application No. 2008.04.04.8918 was issued for the construction of a "three story front vertical and horizontal addition to an existing single-family dwelling; 4 bedrooms, 5 baths, living room, dining room, kitchen, family room and two-car garage."

On February 22, 2019, a revision permit, Building Permit Application No. 2018.11.01.4764, was issued for additional alterations to the building's previously approved configuration.

On March 29, 2019, the Department of Building Inspection suspended BPA Nos. 2008.04.04.8918 and 2018.11.01.4764 in response to the Planning Department's request due to the work that was undertaken at the subject property which exceeded prior approvals.

On April 9, 2019, the Planning Department sent you a Notice of Complaint to inform you about the complaint.

On April 10, 2019, Chaska Berger received photos of the subject property showing the building had been demolished by October, 2018 and photos of conditions that existed at the property on March, 2019 when the new building was constructed (see attached).

On April 11, 2019, the Planning Department sent you a Notice of Enforcement to inform you about the complaint. In that notice, you were advised to take corrective actions and provide evidence of compliance to the Planning Department within fifteen (15) days from April 11, 2019.

On April 12, 2019, Shing Kit Lee appealed the issuance of the Request for Suspension of BPA Nos. 2008.04.04.8918 and 2018.11.01.4764. A Hearing with the Board of Appeals has been scheduled for Wednesday, June 12, 2019.

On April 25, 2019, Planning Department staff, Gabriela Pantoja and Chaska Berger, conducted the site visit and confirmed the violation. The exterior framing has been disassembled and reconstructed, windows that did not match prior approvals has been installed, and unpermitted exterior siding was installed without review by the Planning Department.

HOW TO CORRECT THE VIOLATION

The Planning Department requires that you immediately proceed to abate the violation by filing the following:

1. **Project Application.** This form must be submitted for any work requiring Planning Department review. A Project Application can be found on our website at: http://forms.sfplanning.org/Project_Application.pdf
2. **Conditional Use Authorization.** Since the project is determined to be a demolition, pursuant to Section 317 of the Planning Code, a Conditional Use Authorization (CUA) is required. The Planning Commission will consider the replacement structure as part of its decision on the CU application. A CU authorization supplemental application can be found on the Planning Department's website at: http://forms.sfplanning.org/CUA_SupplementalApplication.pdf

3. **Variance Application.** Since the unauthorized construction of the dwelling unit is located within the required rear yard, pursuant to Planning Code 209.1, a variance is required. The Zoning Administrator will consider the replacement structure as part of the decision on the CU application. A Variance supplemental application can be found on the Planning Department's website at: http://forms.sfplanning.org/VAR_SupplementalApplication.pdf
4. **Building Permit Application.** File a new Building Permit Application with plans showing three conditions: 1) existing building prior to demolition, 2) previously approved permit application 2008.04.04.8918 and 2018.11.01.4764, and 3) proposed new replacement structure. Please ensure accurate demolition calculations are included in the drawings.
 - a. **Permit Application Intake Checklist.** The Permit Application Intake Checklist is used by the Planning Department for filing permit applications. The checklist outlines required information for specific scopes of work. Please use the checklist to determine requirements for your project. If you have any questions, visit a Preservation Planner at the PIC. It is the applicant's responsibility to provide a complete application for successful submittal. The checklist can be found on our website at: http://forms.sfplanning.org/Permit_Application_Intake_Checklist.pdf

The responsible party will need to provide adequate evidence to demonstrate that either no violation exists or that the violation has been abated.

You may also need to obtain a building permit for any additional alterations done at the property. Please contact the Department of Building Inspection (DBI), 1660 Mission Street, San Francisco, CA 94103, telephone: (415) 558-6088, website: www.sfgov.org/dbi, regarding the Building Permit Application process. Please visit the Planning Information Counter located at the first floor of 1660 Mission Street or website: www.sf-planning.org for any questions regarding the planning process.

TIMELINE TO RESPOND

The responsible party has fifteen (15) days from the date of this notice to either:

- 1) Correct the violation as noted above; or
- 2) Appeal this Notice of Violation as noted below.

The corrective actions shall be taken as early as possible. Please contact the enforcement staff as noted above to submit evidence of correction. Any unreasonable delays in abatement of the violation in the timeline set forth above will result in both the accrual of administrative penalties and further enforcement action by the Planning Department.

APPEAL PROCESSES

If the responsible party believes that this order to remove violation of the Planning Code is an abuse of discretion by the Zoning Administrator, the following appeal processes are available within fifteen (15) days from the date of this notice:

- 1) The responsible party may request a Zoning Administrator Hearing under Planning Code Section 176 to show cause why this Notice of Violation is issued in error and should be rescinded by submitting the Request for Zoning Administrator Hearing Form and supporting evidence to the Planning Department. The Zoning Administrator shall render a decision on the Notice of Violation within 30 days of such hearing. The responsible party may appeal the Zoning Administrator's decision to the Board of Appeals within 15 days from the date of the decision.
- 2) The responsible or any interested party may waive the right to a Zoning Administrator Hearing and proceed directly to appeal the Notice of Violation to the Board of Appeals located at 1650 Mission Street, Room 304, San Francisco, CA 94103, telephone: (415) 575-6880, website: www.sfgov.org/bdappeal. The Board of Appeals may not reduce the amount of penalty below \$100 per day for each day the violation continues unabated, excluding the period of time the matter has been pending either before the Zoning Administrator or before the Board of Appeals.

ADMINISTRATIVE PENALTIES

If any responsible party does not request any appeal process and does not take corrective action to abate the violation **within the 15-day time limit** as noted above, this Notice of Violation will become final. Beginning on the following day, administrative penalties of up to **\$250 per day** to the responsible party will start to accrue for each day the violation continues unabated. The penalty amount shall be paid **within 30 days** from the issuance date of a Notice of Penalty. After 30 days, the Planning Department may forward the matter to the Bureau of Delinquent Revenue for collection as authorized by Article V, Section 10.39 of the San Francisco Administrative Code. Please be advised that payment of penalty does not excuse failure to correct the violation or bar further enforcement action. Additional penalties will continue to accrue until a corrective action is taken to abate the violation.

ENFORCEMENT TIME AND MATERIALS FEE

Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting the Planning Code violations. Accordingly, the responsible party is currently subject to a fee of **\$1,395.00** for 'Time and Materials' costs associated with the Code Enforcement investigation. Please submit a check payable to 'San Francisco Planning Department' for Code Enforcement within 15 days from the date of this notice. Additional fees will continue to accrue until the violation is abated. This fee is separate from the administrative penalties described above and is not appealable.

OTHER APPLICATIONS UNDER CONSIDERATION

The Planning Department requires that any pending violations be resolved prior to the approval and issuance of any new applications that you may wish to pursue in the future. Therefore, any applications not related to abatement of the violation on the subject property will be placed on hold until the violation is corrected. We want to assist you in ensuring that the subject property is in full compliance with the Planning Code.

Please contact the enforcement planner noted above if you have any questions or wish to review the enforcement file related to the above matter. The enforcement file is available for public inspection at

2027 20th Avenue
Complaint No.: 2019-004623ENF

Notice of Violation
May 14, 2019

the Planning Department during normal office hours (Monday to Friday, 8:00 a.m. to 5:00 p.m., 1650 Mission Street, Room 400) and in the hearing room on the date the matter is scheduled to be heard upon receipt of a request for a hearing.

Sincerely,



Tina Tam
Acting Zoning Administrator

Enc.: Notice of Enforcement, dated April 11, 2019
Site Photos

cc: Mr. Thomas Tunny, Reuben, Junius & Rose LLP, One Bush Street, Suite 600, San Francisco, CA 94104 (Via email: ttunny@reubenlaw.com)

**BRIEF(S) SUBMITTED
BY APPELLANT(S)**

REUBEN, JUNIUS & ROSE, LLP

July 11, 2019

Via Hand Delivery

President Rick Swig
San Francisco Board of Appeals
1650 Mission Street, Room 304
San Francisco, CA 94103

Re: Appeal No. 19-058
Subject Property: 2027 20th Avenue
Determination Type: Notice of Violation
Permit Nos.: 200804048918 and 201811014764
Permit Holder's Brief
Our File No.: 11322.01

Dear President Swig and Board Members:

This office is working with Shing Kit Lee, the owner of 2027 20th Avenue (the “Property”). Mr. Lee and his wife are elderly first-generation immigrants who came to the United States as students with no money.

The approved project at the Property is a remodel and expansion of a tiny, 90-year-old, non-historic and nearly uninhabitable cottage, resulting in a modestly-sized (2,234 square feet), three-bedroom, family home (the “Project”; see photos attached as Exhibit A). Mr. and Mrs. Lee have owned the Property for 19 years. They began the Project application and approval process eleven years ago, with construction finally beginning two years ago. Now, with construction nearly complete (the building envelope is constructed), the Planning Department has issued a last-minute Notice of Violation (“NOV”) concerning a confusing demolition technicality that has been changing over time, thus adding to the confusion. (The NOV is attached as Exhibit B.)

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin
Tuija I. Catalano | Jay F. Drake | Matthew D. Visick | Lindsay M. Petrone | Sheryl Reuben¹
Thomas Tunny | David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight
Chloe V. Angelis | Corie A. Edwards | Coryn E. Millstagle | Jared Eigerman^{2,3} | John McInerney III²

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

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tel: 510-257-5589

www.reubenlaw.com

This is a case of an inconsequential and reasonable misunderstanding of a unique and unusual San Francisco rule threatening to undo a Project that has been thoroughly reviewed and repeatedly approved by numerous City entities, including this Board, has been in the works for eleven years, and is nearly constructed. Enforcement of the NOV could mean the permit would have to undo construction of the Project, making the potential costs to the permit owner at this stage of construction potentially enormous, whereas the demolition violation, if it occurred, is relatively minor, and enforcement would not serve the policies behind the demolition rules. If ever there was equity to be wielded by this Board, this case is it. We urge the Board to overturn the NOV for the following reasons:

- The “demolition” at issue concerns the replacement of dry-rotted framing of the existing 765 square-foot cottage, originally constructed in 1925 and in near total disrepair after 75 years of neglect. The dry rot is shown in Exhibit C. Normally, this replacement would have been allowed and no NOV issued if the contractor had asked the Department of Building Inspection (“DBI”) to inspect the dry rot prior to replacement. However, the contractor, based in San Leandro, was unaware of this unusual rule. The contractor believed he was proceeding according to code as the construction had passed numerous DBI inspections, including a rough framing inspection performed after this enforcement case had commenced.

- The anti-demolition policies are intended to prevent speculative real estate ventures that replace affordable housing, but Mr. and Mrs. Lee are elderly and have put this home in trust for their granddaughter, a model student starting high school in San Francisco next year, and whose mother left her at two years old. Mr. and Mrs. Lee felt a responsibility to care for their granddaughter, and have placed the Property in trust for her. To guarantee this and if desired by the Board, they would be willing to record a restriction against conveyance of the Property for a time certain.
- The anti-demolition policies also seek to prevent the replacement of affordable housing with “monster” homes. Again, this is not such a case. The Project will result in a 2,234 square-foot, 3-bedroom family home that is consistent in massing and scale with the adjacent properties (see Exhibit A), and replaces a nearly uninhabitable 765-square-foot, 90-year-old, non-historic cottage.
- The Project has been subject to a very lengthy and detailed review and approval process, even by San Francisco standards. Originally submitted in 2008, the initial Project was rejected by Planning Dept. staff and a new proposal submitted. This proposal was revised at Planning staff’s direction, and then approved by staff in 2014. The 311 notice was provided and no discretionary review was requested. The building permit was appealed to this Board by the adjacent neighbor to the north (at 2023 20th Ave.) in late 2015 and early 2016. The Board denied the

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appeal unanimously, as well as a rehearing request. This same disgruntled neighbor, not coincidentally, sought to purchase the Property from Mr. and Mrs. Lee. However, given that the Property is intended for their granddaughter, they were unwilling to sell. Construction began in 2016. Given this lengthy history and the City's repeated approvals of the Project, it is finally time to allow this worthy project to be completed.

Project Construction and Demolition Background

The first Project application was submitted in 2008. Following a lengthy review and approval process, the building permit was issued on September 11, 2015 (Building Permit Application No. 200804048918; the "2008 Permit"). Following the aforementioned appeal of the 2008 Permit to this Board and the Board's denial of the appeal, the Permit was reinstated on February 11, 2016. The 2018 Permit drawings showed a certain amount of demolition of the existing cottage, but not enough to be considered a full demolition under the Planning Code. Construction began in 2016.

In October 2018, a complaint was filed concerning the Project demolition. DBI inspected and determined that the demolition had exceeded the amount of demolition authorized by the 2008 Permit. The increased amount of demolition still did not exceed the Planning Code, and thus a revision permit was submitted and approved by DBI and Planning, reflecting the new demolition calculations (Building Permit Application No. 201811014764; the "2019 Permit").

The 2019 Permit was issued on February 22, 2019. A copy of the 2019 Permit plans is attached as Exhibit D.

During Project construction, DBI performed at least five inspections of the construction, with the Project passing all inspections. One of these inspections was of the Project's framing on December 26, 2018, including inspection of the demolition at issue here and the new framing of the original cottage walls. These areas are shown in Exhibit E. This inspection occurred while the amount of demolition was being reviewed and, ultimately, approved.

Given the inspection and approval of the framing, and the subsequent approval of the demolition in the 2019 Permit, the contractor believed that their work, already performed, had complied with all applicable codes, including the demolition requirements. This work included the replacement of the dry rot, which the contractor reasonably assumed was allowed, given that no professional builder would ever leave dry rot in place with new construction.

The disgruntled neighbor at 2023 20th Ave. had a video camera recording activities at the Property around the clock, and unlawfully trespassed on the Property to take photos of the construction site. Nevertheless, we are not challenging the veracity of the photos. The photos show the dismantling of the original cottage, which is not disputed. The contractor dismantled the framing to replace the dry rot, and believed they were complying with code.

The alleged violation is a minor one and only procedural in nature because, even though the cottage walls were dismantled, that work is not considered a demolition by DBI as long as DBI is contacted to inspect the dry rot and approve its replacement. The contractor knew they

were allowed to replace the dry rot, but were unaware of the requirement to have DBI inspect the dry rot. Moreover, they had the inspection of the new framing on December 26, 2018, which they passed, leading them to believe they had followed proper procedures.

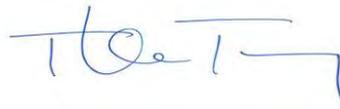
Conclusion

The City's demolition rules are complicated and traps for the unwary. To add to the confusion, the Planning and Building Departments sometimes view and apply the rules differently, even when both Departments are correct. As evidence of the confusion, new legislation has been proposed to attempt to clarify the rules. This is a Project that has been ensnared, unfairly, by these rules.

An out-of-town contractor was not aware of one of the lesser known rules, and reasonably believed they were abiding by the rules correctly. The applicability of the rule came to light eleven years after the Project application was first submitted and when the Project was substantially constructed. Enforcing the rule here would cause significant harm to the permit holder, but would not serve the policies that form the purpose of the rule. For all of these reasons, we request that the Board overturn the NOV and allow the Project to be completed.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Thomas Tunny

Enclosures

Board of Appeals

July 11, 2019

Page 7

cc: Julie Rosenberg, Board of Appeals Executive Director
Corey Teague, Zoning Administrator
Scott Sanchez, Acting Deputy Zoning Administrator

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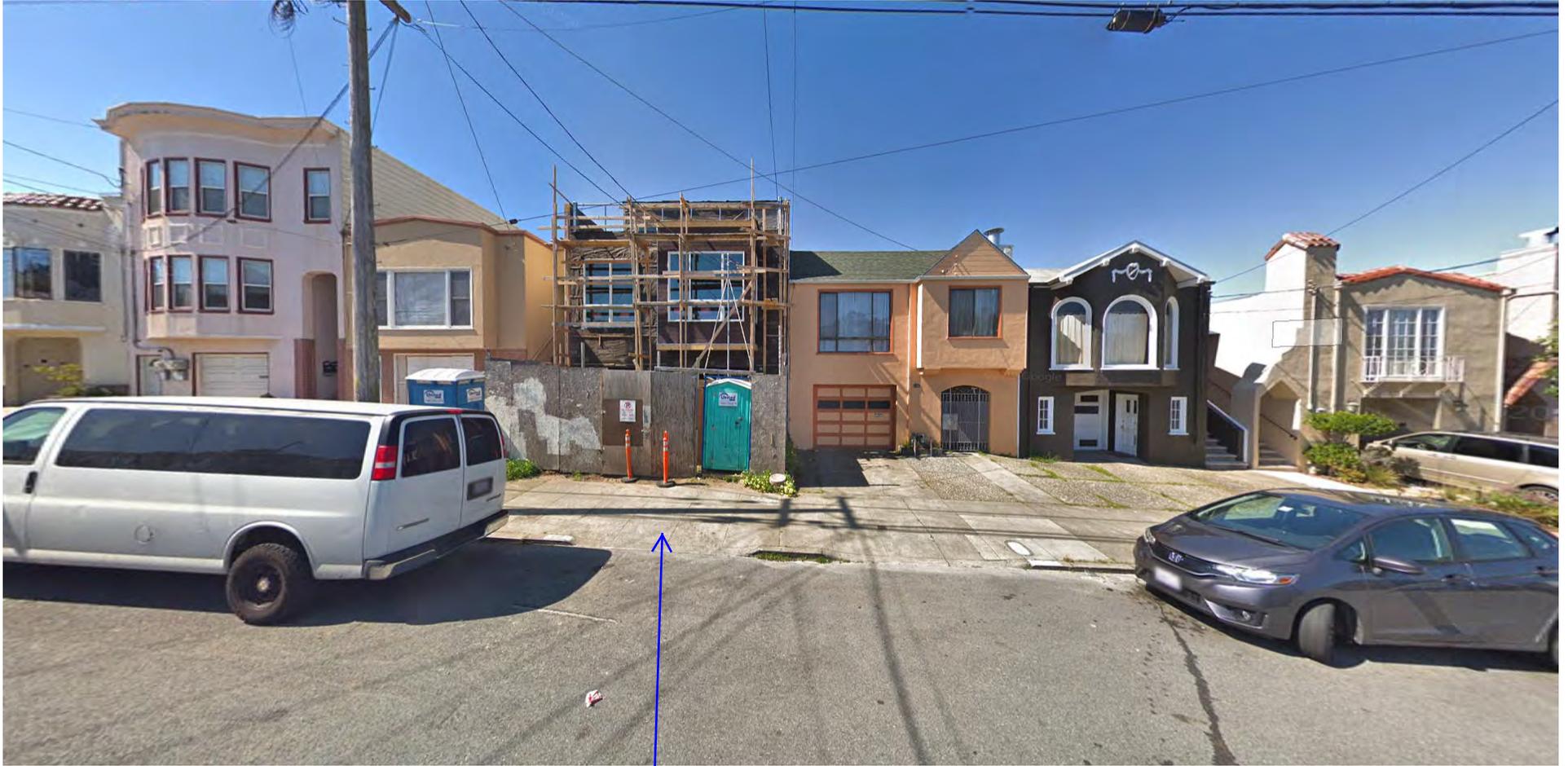
List of Exhibits

Exhibit A	Project Photos
Exhibit B	NOV
Exhibit C	Dry Rot Photos
Exhibit D	2019 Permit Plans
Exhibit E	Framing Photos

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EXHIBIT A



2027 20th Avenue



2072 20th Avenue



2027 20th Avenue



2027 20th Avenue

EXHIBIT B



SAN FRANCISCO PLANNING DEPARTMENT

NOTICE OF VIOLATION

May 14, 2019

Property Owner

Lee Fmly Trust
390 Magellan Ave
San Francisco, CA 94116

Site Address: 2027 20th Avenue
Assessor's Block/Lot: 2140/004A
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ADMINISTRATIVE PENALTIES

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Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting the Planning Code violations. Accordingly, the responsible party is currently subject to a fee of **\$1,395.00** for 'Time and Materials' costs associated with the Code Enforcement investigation. **Please submit a check payable to 'San Francisco Planning Department' for Code Enforcement within 15 days from the date of this notice.** Additional fees will continue to accrue until the violation is abated. This fee is separate from the administrative penalties described above and is not appealable.

OTHER APPLICATIONS UNDER CONSIDERATION

The Planning Department requires that any pending violations be resolved prior to the approval and issuance of any new applications that you may wish to pursue in the future. Therefore, any applications not related to abatement of the violation on the subject property will be placed on hold until the violation is corrected. We want to assist you in ensuring that the subject property is in full compliance with the Planning Code.

Please contact the enforcement planner noted above if you have any questions or wish to review the enforcement file related to the above matter. The enforcement file is available for public inspection at

2027 20th Avenue
Complaint No.: 2019-004623ENF

Notice of Violation
May 14, 2019

the Planning Department during normal office hours (Monday to Friday, 8:00 a.m. to 5:00 p.m., 1650 Mission Street, Room 400) and in the hearing room on the date the matter is scheduled to be heard upon receipt of a request for a hearing.

Sincerely,



Tina Tam
Acting Zoning Administrator

Enc.: Notice of Enforcement, dated April 11, 2019
Site Photos

cc: Mr. Thomas Tunny, Reuben, Junius & Rose LLP, One Bush Street, Suite 600, San Francisco, CA 94104 (Via email: ttunny@reubenlaw.com)



SAN FRANCISCO PLANNING DEPARTMENT

NOTICE OF ENFORCEMENT

April 11, 2019

Property Owner

Lee Fmly Trust
390 Magellan Avenue
San Francisco, CA 94116

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Site Address: 2027 20th Avenue
Assessor's Block/Lot: 2140/004A
Zoning District: RH-1, Residential-House, One-Family
Complaint Number: 2019-004623ENF
Code Violation: **Section 174:** Unpermitted Alteration, Exceeding Approved Scope of Work
Section 317: Unauthorized Demolition of a Dwelling Unit
Section: 209.1 Unauthorized Rear Yard Encroachment
Administrative Penalty: Up to \$250 Each Day of Violation
Response Due: Within 15 days from the date of this Notice
Staff Contact: Chaska Berger, (415) 575-9188, chaska.berger@sfgov.org

The Planning Department has received a complaint that a Planning Code violation exists on the above referenced property that needs to be resolved. As the owner of the subject property, you are a responsible party. The purpose of this notice is to inform you about the Planning Code Enforcement process so you can take appropriate action to bring your property into compliance with the Planning Code. Details of the violation are discussed below:

DESCRIPTION OF VIOLATION

The subject property is authorized as a single-family dwelling. The complaint alleges the existing building at the subject property has been demolished beyond the scope of work that was approved in Building Permit Applications. Such demolition has not been reviewed and approved by the Planning Department for compliance with the Planning Code. The violation pertains to the unauthorized demolition and removal of a one-family dwelling without the benefit of a Conditional Use Authorization pursuant to Planning Code 317. Per Planning Code Section 317, a Conditional Use Authorization is required for demolition of a dwelling unit. Additionally, the property is allegedly in violation of Planning Code 209.1 for the unauthorized construction of a dwelling unit within the required rear yard without the benefit of an approved Variance.

On September 11, 2015, Building Permit Application No. **2008.0404.8918** was issued for the construction of a "three story front vertical and horizontal addition to an existing single-family dwelling; 4 bedrooms, 5 baths, living room, dining room, kitchen, family room and two-car garage".

www.sfplanning.org

On February 22, 2019, a revision permit, Building Permit Application No. **2018.1101.4764**, was reviewed and issued for additional alterations to the building's previously approved configuration.

On March 29, 2019, the Department of Building Inspection suspended building permit numbers 2008.0404.8918 and 2018.1101.4764 in response to the Planning Department's request due to the work that was undertaken at the subject property which exceeded prior approvals.

On April 9, 2019, the Planning Department sent you a Notice of Complaint to inform you about the complaint.

Pursuant to Planning Code Section 171, structures and land in any zoning district shall be used only for the purposes listed in this Code as permitted in that district, and in accordance with the regulations established for that district. Further, pursuant to Planning Code Section 174, every condition, stipulation, special restriction, and other limitation under the Planning Code shall be complied with in the development and use of land and structures. Failure to comply with any Planning Code provisions constitutes a violation of the Planning Code and is subject to enforcement process under Code Section 176.

HOW TO CORRECT THE VIOLATION

The Planning Department requires that you immediately proceed to abate the violation by 1) contacting the Staff Planner listed above to schedule a site inspection within 15 days of the date of this notice and 2) filing the following:

1. **Project Application.** This form must be submitted for any work requiring Planning Department review. A Project Application can be found on our website at: http://forms.sfplanning.org/Project_Application.pdf
2. **Conditional Use Authorization.** Since the project is determined to be a demolition, pursuant to Section 317 of the Planning Code, a Conditional Use Authorization (CUA) is required. The Planning Commission will consider the replacement structure as part of its decision on the CU application. A CU authorization supplemental application can be found on the Planning Department's website at: http://forms.sfplanning.org/CUA_SupplementalApplication.pdf
3. **Variance Application.** Since the unauthorized construction of the dwelling unit is located within the required rear yard, pursuant to Planning Code 209.1, a variance is required. The Zoning Administrator will consider the replacement structure as part of the decision on the CU application. A Variance supplemental application can be found on the Planning Department's website at: http://forms.sfplanning.org/VAR_SupplementalApplication.pdf
4. **Building Permit Application.** File a new Building Permit Application with plans showing three conditions: 1) existing building prior to demolition, 2) previously approved permit application **2008.0404.8918** and **2018.1101.4764**, and 3) proposed new replacement structure. Please ensure accurate demolition calculations are included in the drawings.

- a. **Permit Application Intake Checklist.** The Permit Application Intake Checklist is used by the Planning Department for filing permit applications. The checklist outlines required information for specific scopes of work. Please use the checklist to determine requirements for your project. If you have any questions, visit a Preservation Planner at the PIC. It is the applicant's responsibility to provide a complete application for successful submittal. The checklist can be found on our website at:
http://forms.sfplanning.org/Permit_Application_Intake_Checklist.pdf

The responsible party will need to provide adequate evidence to demonstrate that either no violation exists or that the violation has been abated.

You may also need to obtain a building permit for any additional alterations done at the property. Please contact the Department of Building Inspection (DBI), 1660 Mission Street, San Francisco, CA 94103, telephone: (415) 558-6088, website: www.sfgov.org/dbi, regarding the Building Permit Application process. Please visit the Planning Information Counter located at the first floor of 1660 Mission Street or website: www.sf-planning.org for any questions regarding the planning process.

TIMELINE TO RESPOND

The responsible party has **fifteen (15) days from the date of this notice** to contact the staff planner noted at the top of this notice and submit evidence to demonstrate that the corrective actions have been taken to bring the subject property into compliance with the Planning Code. A site visit may also be required to verify the authorized use at the above property. The corrective actions shall be taken as early as possible. Any unreasonable delays in abatement of the violation may result in further enforcement action by the Planning Department.

PENALTIES AND APPEAL RIGHTS

Failure to respond to this notice by abating the violation or demonstrating compliance with the Planning Code **within fifteen (15) days from the date of this notice** will result in issuance of a **Notice of Violation** by the Zoning Administrator. Administrative penalties of up to **\$250 per day** will also be assessed to the responsible party for each day the violation continues thereafter. The Notice of Violation provides appeal processes noted below.

- 1) Request for Zoning Administrator Hearing. The Zoning Administrator's decision is appealable to the Board of Appeals.
- 2) Appeal of the Notice of Violation to the Board of Appeals. The Board of Appeals may not reduce the amount of penalty below \$100 per day for each day the violation exists, excluding the period of time the matter has been pending either before the Zoning Administrator or before the Board of Appeals.

ENFORCEMENT TIME AND MATERIALS FEE

Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting Planning Code violations and violations of Planning Commission and Planning Department's Conditions of Approval. Accordingly, the responsible party

may be subject to an amount of **\$1,395.00** plus any additional accrued time and materials cost for Code Enforcement investigation and abatement of violation. This fee is separate from the administrative penalties as noted above and is not appealable.

OTHER APPLICATIONS UNDER CONSIDERATION

The Planning Department requires that any pending violations be resolved prior to the approval and issuance of any new applications that you may wish to pursue in the future. Therefore, any applications not related to abatement of the violation on the subject property will be placed on hold until the violation is corrected. We want to assist you in ensuring that the subject property is in full compliance with the Planning Code. You may contact the enforcement planner as noted above for any questions.

EXHIBIT C





EXHIBIT D

12

GENERAL NOTES

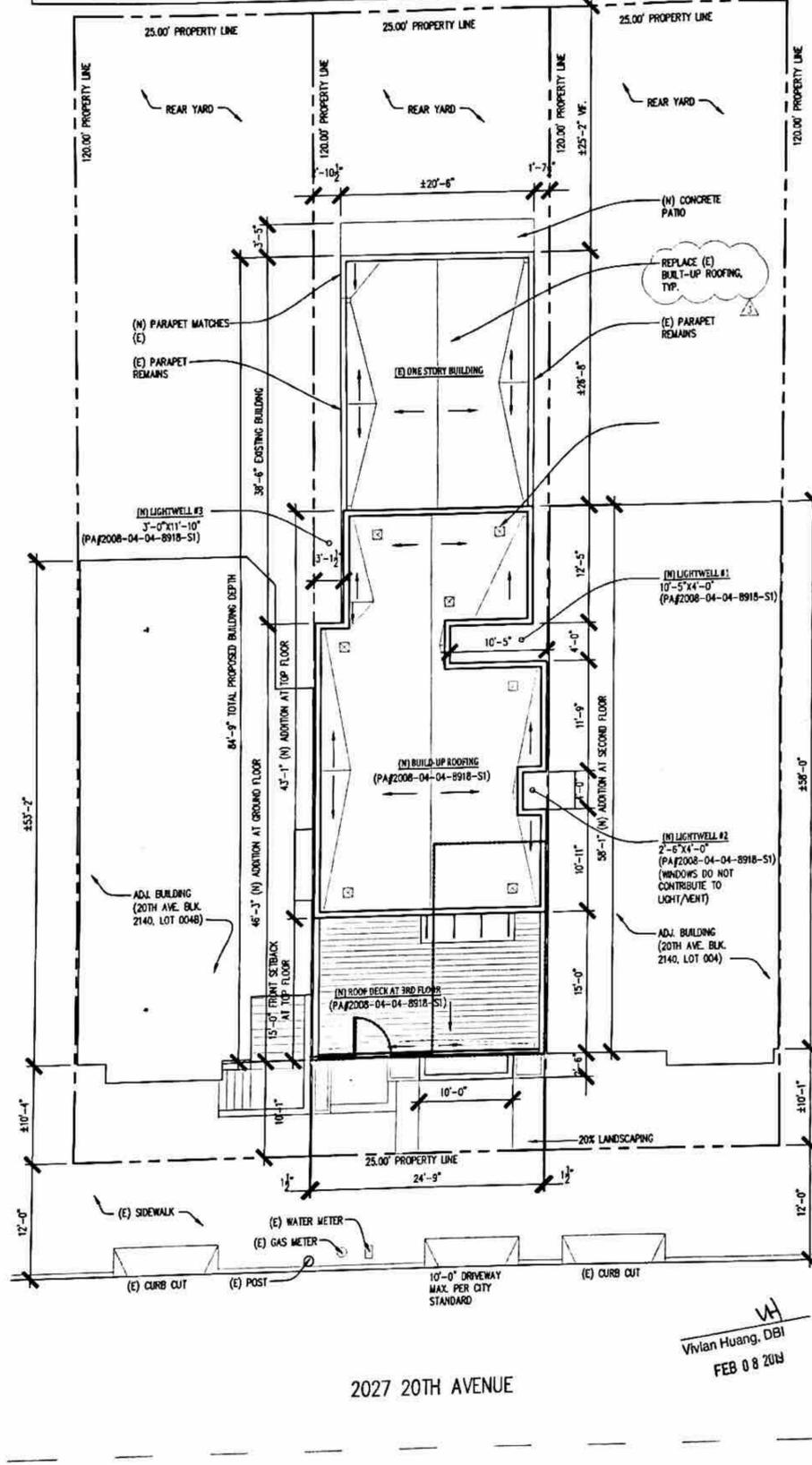
- ALL WORK SHALL CONFORM TO THE 2013 EDITION OF THE STATE OF CALIFORNIA BUILDING CODE AND SAN FRANCISCO COUNTY AMENDMENTS, THE 2013 TITLE 24 ENERGY CODE, AND ALL OTHER APPLICABLE CODES. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY.
- MECHANICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 CMV; PLUMBING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 CPC; ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 CALIFORNIA ELECTRICAL CODE AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST UNIFORM FIRE CODE. ALL CODES SHALL BE AS AMENDED BY THE STATE OF CALIFORNIA.
- VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW PLANS AND EXISTING SITE CONDITIONS AND NOTIFY DESIGNER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.
- DURING CONSTRUCTION, REPORT ALL DISCREPANCIES AND/OR CONFLICTS IN THE DRAWINGS TO THE DESIGNER IMMEDIATELY.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK REQUIRED FOR A COMPLETELY FINISHED PROJECT.
- INSTALL ALL MATERIALS AND PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE ICBO REPORTS, FURNISH AND INSTALL ALL REQUIRED FOR A COMPLETE OPERATING SYSTEM.
- DIMENSIONS SHALL GOVERN ON WORKING DRAWINGS. DO NOT SCALE DRAWINGS.
- IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
- NEITHER THE DESIGNER, NOR THE OWNER SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONTRACTOR; SAFETY PRECAUTIONS AND PROGRAMS OF CONTRACTOR; THE ACTS OR OMISSIONS OF CONTRACTOR; OR THE FAILURE OF CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE BUILDING OFFICIAL. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL PER SECTION 303 OF THE INTERNATIONAL BUILDING CODE AS AMENDED BY THE CALIFORNIA AMENDMENTS.
- THE DESIGNERS DO NOT ASSUME RESPONSIBILITY FOR UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS. THE LOCATION OF EXISTING UNDERGROUND UTILITY FACILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTORS SHALL CONTACT THE RESPECTIVE UTILITY COMPANY & PROVIDE UTILITY LOCATION SERVICES AS REQUIRED TO OBTAIN THE EXACT DEPTH OF BURIAL AND HORIZONTAL LOCATION OF UTILITY LINES, CONDUITS, PIPING, ETC. PRIOR TO PERFORMING UNDERGROUND CONSTRUCTION, THE CONTRACTORS SHALL MAKE THE NECESSARY PROBES AND EXPLORATION TO IDENTIFY AREAS OF POSSIBLE CONFLICT WITH THE PROPOSED WORK.
- ALL SHEET METAL FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA, THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION MANUAL.

CAL GREEN MANDATORY MEASURES

- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.504.1).
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1).
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2).
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS (4.504.2.3). CONTRACTOR SHALL PROVIDE VERIFICATION AS REQUIRED.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE. WOOD FRAMING SHALL HAVE MOISTURE CONTENT OF 19% MAX. (4.505.3).
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
- 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
- SEE SAN FRANCISCO GREEN BUILDING SUBMITTAL, SHEET G1, FOR ADDITIONAL LOCAL REQUIREMENTS.

ATTC VENTILATION NOTE
INSURE 1 SF MIN. ATTC VENTILATION FOR EACH 300 SF ATTC AREA (PER CBC 1203.2)
FLAT ROOF @ ADDITION = 960 SF / 300 = 3.2 SF. OF VENTILATION REQUIRED
(2" x 5 SF) = 4.2 SF. (ROOF VENTS)
FLAT ROOF @ EXISTING = EXISTING TO REMAIN, MODIFY AS REQUIRED DUE TO NEW WORK

ROOF DRAIN CALCULATIONS
1. PER CPC APPENDIX D, ASSUME 1.5 INCHES PER HOUR FOR A 60 MINUTE DURATION, 100-YEAR RETURN.
2. PER CPC TABLE 11-1, MAXIMUM ALLOWABLE ROOF AREA IS:
2" DRAIN/LEADER = 2,100 SF
3" DRAIN/LEADER = 6,500 SF
3. PROPOSED NEW ROOF: 960 SF < 2,100 SF (ONE 2" DRAIN, MIN.)
(6) 2" ROOF DRAINS WITH OVERFLOW > (1) 2" ROOF DRAIN
4. EXISTING ROOF: DRAINAGE SYSTEM REMAINS, MODIFY AS REQUIRED DUE TO NEW WORK

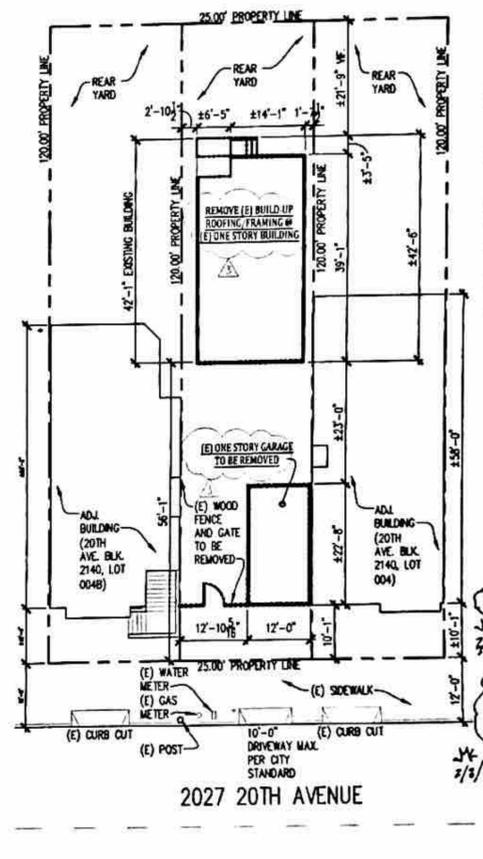


(B) PROPOSED PLOT AND ROOF PLAN
1/8" = 1'-0" NORTH

VICINITY MAP AND PHOTOS



Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Materials, or Use to the Planning Department for reapproval.



(A) EXISTING/DEMO PLOT AND ROOF PLAN
1/16" = 1'-0" NORTH

PROJECT DATA

ZONING	RH-1, RESIDENTIAL - HOUSE, ONE FAMILY
APN	2140/004A
REQUIRED SETBACKS	AVG. OF TWO ADJ.-FRONT, 0' SIDE, 10' REAR
MAX. HEIGHT LIMIT	40'-X FT
REQUIRED PARKING	1 SPACE
(E) LOT AREA	3,000 SF
FAR	5,400 SF
OPEN SPACE	300 SF (803 SF PROVIDED)

	EXISTING	ALLOWABLE	PROPOSED
CONSTRUCTION TYPE	V-B	V-B	V-B
OCCUPANCY GROUP	R-3	R-3	R-3
BUILDING HEIGHT	12'-0"	40'-0"	31'-6"
STORIES/AREA PER STORY	1(970)	3(UNLIMITED)	3(1703/1245/864)
NUMBER OF UNITS	1	2	REQUIRED (NFPA 13D)
FIRE SPRINKLER	-	-	REQUIRED
SEISMIC UPGRADE	-	-	REQUIRED

AREA	EXISTING	REMODEL	ADDITION	TOTAL	
THIRD FLOOR	0 SF	0 SF	537 SF	537 SF	HABITABLE
SECOND FLOOR	0 SF	0 SF	327 SF	327 SF	NON-HABITABLE
GROUND FLOOR	0 SF	0 SF	1028 SF	1028 SF	HABITABLE
	618 SF	0 SF	217 SF	217 SF	NON-HABITABLE
	352 SF	669 SF	0 SF	669 SF	HABITABLE
	352 SF	301 SF	733 SF	1034 SF	NON-HABITABLE
	618 SF	669 SF	1565 SF	2234 SF	HABITABLE
	352 SF	301 SF	1277 SF	1578 SF	NON-HABITABLE

CODE REFERENCES:
ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE 2016 CALIFORNIA CODE OF REGULATIONS TITLE 24: BUILDING CODE (CBC); GREEN BUILDING CODE (GBC); ELECTRICAL CODE (CEC); MECHANICAL CODE (CMC); PLUMBING CODE (CPC); ENERGY CODE [2013 ENERGY STANDARDS] (CNC), WITH SAN FRANCISCO AMENDMENTS.

PROJECT ARCHITECT: JARED KUYKENDALL LEED AP BD+C
STUDIO 797
1618 SULLIVAN AVENUE #486, DALY CITY, CA 94015
415.871.9976

PROJECT ENGINEER: LAWRENCE LIAO, S.E.
415.793.7769

APPROVED
Dept. of Building Insp.
FEB 15 2019

PROJECT DESCRIPTION

REVISION TO PA#2008-04-04-8918-S1:
1. REVISE EXTENT OF DEMOLITION WORK AT (E) GROUND FLOOR BUNGALOW. NO CHANGE TO PROPOSED LAYOUT.
2. CHANGE MULLION PATTERN @ (2) SECOND FLOOR WINDOWS.

PA#2008-04-04-8918-S1 ORIGINAL SCOPE OF WORK:
(THIS PROJECT CONSIST OF REMODELING AN EXISTING ONE STORY DETACHED GARAGE STRUCTURE AT THE FRONT OF THE PROPERTY AND INTEGRATING IT INTO A THREE STORY FRONT ADDITION TO THE EXISTING ONE STORY HOUSE IN THE REAR. THE EXISTING ONE STORY STRUCTURE WILL BE REMODELED AND THE EXTERIOR WILL REMAIN THE SAME. NEW PROPOSED WILL BE A FOUR BEDROOM, FIVE BATH RESIDENCE.)

QUICK RESPONSE FIRE SPRINKLERS ARE REQUIRED. THE SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH 2013 NFPA 13-D. SPRINKLER SYSTEM DESIGN AND INSTALLATION UNDER SEPARATE PERMIT.

SCOPE OF WORK INCLUDES FULL SEISMIC UPGRADE FOR ENTIRE BUILDING.

DRAWING INDEX

- A SHEETS**
- A-1 TITLE SHEET EXISTING/DEMO AND PROPOSED PLOT AND ROOF PLAN
 - A-1.1 DEMOLITION CALCULATIONS
 - A-2 EXISTING/DEMO AND PROPOSED GROUND FLOOR PLAN & GENERAL FLOOR PLAN NOTES
 - A-3 FLOOR PLAN NOTES & ADMIN BULLETIN NO. 5
 - A-4 PROPOSED SECOND AND THIRD FLOOR PLAN & WINDOW DETAILS
 - A-5 EXISTING AND PROPOSED FRONT AND REAR ELEVATIONS
 - A-6 EXISTING AND PROPOSED NORTH SIDE ELEVATIONS
 - A-7 EXISTING AND PROPOSED SOUTH SIDE ELEVATIONS
 - A-8 PROPOSED LONG AND CROSS BUILDING SECTIONS
 - A-9 PROPOSED LONG AND CROSS BUILDING SECTIONS
 - A-10 TYPICAL DETAILS
- S SHEETS**
- S1.1 GENERAL NOTES
 - S2.1 FOUNDATION AND FLOOR PLANS
 - S3.1 SECTION AND DETAILS

PLAN REVISION
IAN 23 2019

CONSTRUCTION CLARIFICATION DRAWINGS REVISION 3 - DECEMBER 10, 2018

TITLE SHEET & PROPOSED PLOT AND ROOF PLAN

2018.11.01.4764R2

ADDITION TO THE LEE RESIDENCE
2027 20TH AVE
SAN FRANCISCO, CA 94116

ARCH: JULIE LEE / SHING KIT LEE
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SAN FRANCISCO, CA 94116

ARCH: JULIE LEE / SHING KIT LEE
2027 20TH AVE
SAN FRANCISCO, CA 94116
415-860-6989

Studio 797
1618 SULLIVAN AVENUE #486
DALY CITY, CA 94015
415.871.9976

APPROVED
Dept. of Building Insp.
FEB 15 2019

CONSTRUCTION CLARIFICATION DRAWINGS REVISION 3 - DECEMBER 10, 2018

TITLE SHEET & PROPOSED PLOT AND ROOF PLAN

2018.11.01.4764R2

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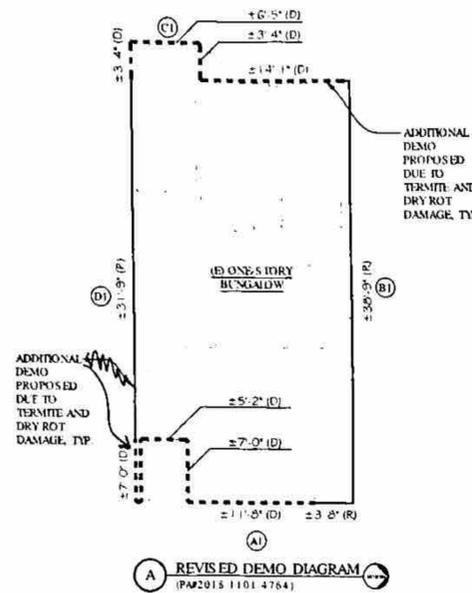
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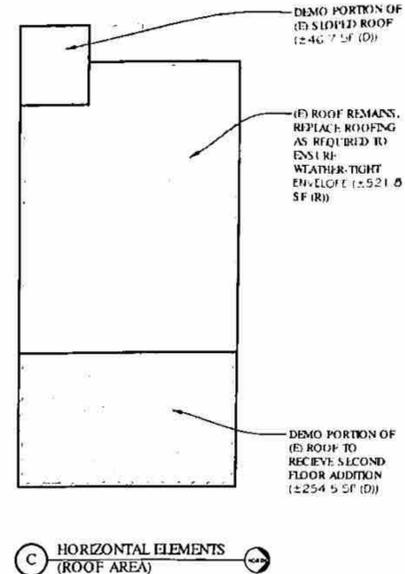


FRONT AND REAR FACADE (MEASURED IN LINEAL FEET @ FOUNDATION LEVEL)

	TO REMAIN	DEMOLISH	TOTAL
A1 FRONT FACADE	3'-8"	16'-10"	20'-6"
C1 REAR FACADE	-	20'-6"	20'-6"
TOTAL	3'-8"	37'-4"	41'-0"
	9%	91%	100%
		(50% MAX)	

SUM OF EXTERIOR WALLS (MEASURED IN LINEAL FEET @ FOUNDATION LEVEL)

	TO REMAIN	DEMOLISH	TOTAL
A1 FRONT FACADE	3'-8"	16'-10"	20'-6"
B1 SIDE FACADE	38'-9"	3'-4"	42'-1"
C1 REAR FACADE	-	20'-6"	20'-6"
D1 SIDE FACADE	31'-9"	17'-4"	49'-1"
TOTAL	58'-0"	74'-2"	132'-2"
	43.9%	56.1%	100%
		(65% MAX)	



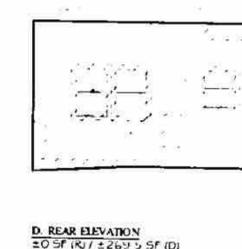
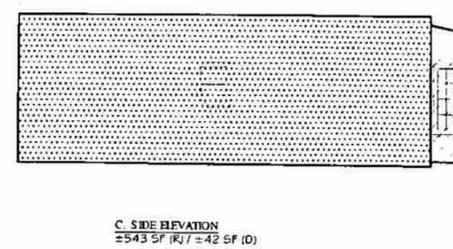
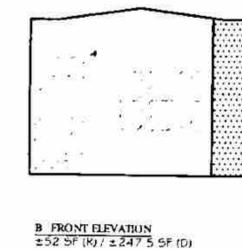
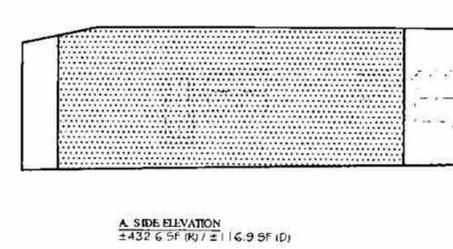
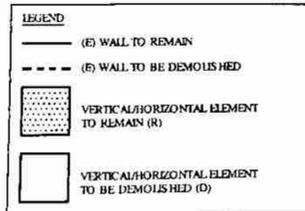
SUM OF HORIZONTAL ELEMENTS IN SQUARE FEET

	TO REMAIN	DEMOLISH	TOTAL
FIRST FLOOR	NA	NA	NA
ROOF	521.8	101.2	623
TOTAL	521.8	101.2	623
	61.4%	16.6%	100%
		(50% MAX)	

SUMMARY TABLE NON-DEMOLITION DEMONSTRATION

SEC. 317 - LOSS OF DWELLING UNITS THROUGH MERGER, CONVERSION, AND DEMOLITION

CODE	(E) BUILDING	REMAINING PROPOSED	OUTCOME / CODE	COMPLIANCE
FRONT + REAR FACADE (LINEAR FEET @ FOUNDATION)	FRONT = 20'-6" REAR = 20'-6" TOTAL = 41'-0"	FRONT = 3'-8" REAR = 0" TOTAL = 3'-8"	9% REMAINING OR 91% DEMO >50%	X
ALL EXTERIOR WALLS (LINEAR FEET @ FOUNDATION)	FRONT = 20'-6" SIDE = 42'-1" REAR = 20'-6" SIDE = 49'-1" TOTAL = 132'-2"	FRONT = 3'-8" SIDE = 38'-9" REAR = 0" SIDE = 31'-9" TOTAL = 58'-0"	43.9% REMAINING OR 56.1% DEMO <65%	OK
VERTICAL ELEMENTS (SF OF SURFACE AREA)	FRONT = 299.5 SF SIDE = 58.5 SF REAR = 269.5 SF SIDE = 549.5 SF TOTAL = 1,707.5 SF	FRONT = 52 SF SIDE = 543 SF REAR = 0 SIDE = 432.6 SF TOTAL = 1,027.6 SF	60.3% REMAINING OR 39.7% DEMO <50%	OK
HORIZONTAL ELEMENTS (SF OF SURFACE AREA)	FLOOR = NA ROOF = 823 SF TOTAL = 823 SF	FLOOR = NA ROOF = 521.8 SF TOTAL = 521.8 SF	63.4% REMAINING OR 36.6% DEMO <50%	OK



D VERTICAL ELEMENTS

APPROVED
Dept. of Building Insp.
FEB 15 2018
Tom C. Lee
DEPT. OF BUILDING INSPECTION

SUM OF VERTICAL ENVELOPE ELEMENTS IN SQUARE FEET

	TO REMAIN	DEMOLISH	TOTAL
A SIDE ELEVATION	432.6	116.9	549.5
B FRONT ELEVATION	52	247.5	299.5
C SIDE ELEVATION	543	42	585
D REAR ELEVATION	-	269.5	269.5
TOTAL	1,027.6	635.9	1,663.5
	60.1%	39.7%	100%
		(50% MAX)	

W. J. J. J. J.
FEB 08 2018

Handwritten signature and date
1/24/19

CONSTRUCTION CLARIFICATION DRAWINGS REVISION 3 - DECEMBER 10, 2018

DEMOLITION CALCULATIONS

ADDITION TO THE
LEE RESIDENCE
2027 20TH AVE
SAN FRANCISCO, CA 94116

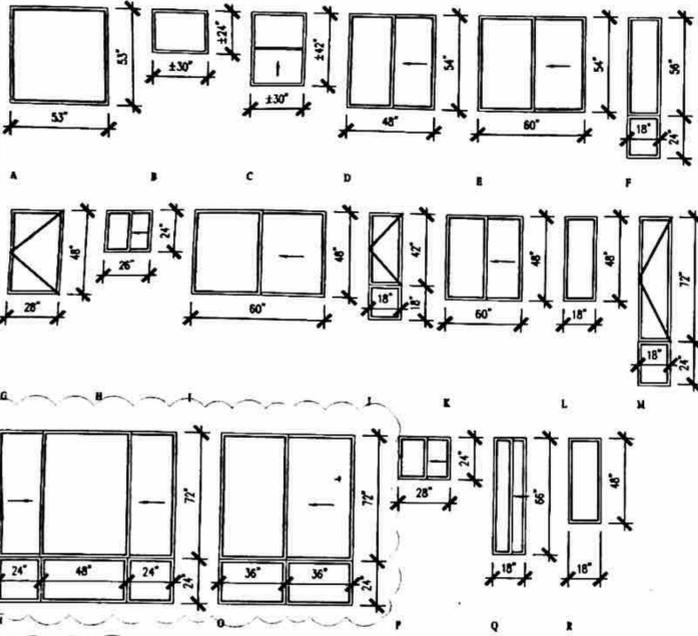
OWNER: JULIE LEE/SHING KIT LEE
2027 20TH AVE
SAN FRANCISCO, CA 94116
415-860-6599

Studio797
1111 CALIFORNIA ST
SAN FRANCISCO, CA 94108
415-774-7977

SEPTEMBER 1, 2015
DRAWN BY: KC
CHECKED BY: 2027

A-1.1

WINDOW NUMBER	NOMINAL WIDTH x HEIGHT	WINDOW TYPE	REMARKS
A	53" x 53"	FIXED	VINYL FRAME (PA#2008-04-04-8918-S1)
B	30" x 24"	FIXED	EXISTING
C	48" x 42"	SINGLE HUNG	EXISTING
D	60" x 54"	SLIDER	VINYL FRAME / PRIVACY WINDOW (PA#2008-04-04-8918-S1)
E	60" x 54"	SLIDER	VINYL FRAME (PA#2008-04-04-8918-S1)
F	18" x 80"	FIXED SIDE LITE	FIBERGLASS FRAME / TEMPERED (PA#2008-04-04-8918-S1)
G	28" x 48"	CASEMENT	VINYL FRAME / EGRESS (PA#2008-04-04-8918-S1)
H	26" x 24"	SLIDER	VINYL FRAME / PRIVACY WINDOW (PA#2008-04-04-8918-S1)
I	72" x 48"	SLIDER	VINYL FRAME / EGRESS (PA#2008-04-04-8918-S1)
J	18" x 60"	CASEMENT / FIXED	VINYL FRAME (PA#2008-04-04-8918-S1)
K	42" x 48"	SLIDER	VINYL FRAME (PA#2008-04-04-8918-S1)
L	18" x 48"	FIXED	VINYL FRAME (PA#2008-04-04-8918-S1)
M	18" x 96"	CASEMENT / FIXED	FIBERGLASS FRAME (PA#2008-04-04-8918-S1)
N	96" x 96"	SLIDER / FIXED	FIBERGLASS FRAME
O	72" x 96"	SLIDER / FIXED	FIBERGLASS FRAME
P	28" x 24"	SLIDER	VINYL FRAME / PRIVACY WINDOW (PA#2008-04-04-8918-S1)
Q	18" x 66"	SLIDER	VINYL FRAME / TEMP / PRIVACY WINDOW (PA#2008-04-04-8918-S1)
R	18" x 48"	FIXED	VINYL FRAME / TEMP / PRIVACY WINDOW (PA#2008-04-04-8918-S1)
S	72" x 48"	FIXED	FIBERGLASS FRAME



GENERAL DOOR / WINDOW NOTES

- CONTRACTOR SHALL FURNISH AND INSTALL HEAD FLASHING FOR ALL EXTERIOR DOORS AND WINDOWS AS REQUIRED.
- TEMPERED GLASS WHERE SPECIFIED SHALL BE AFFIXED WITH A PERMANENT LABEL.
- CONTRACTOR SHALL INCLUDE INSECT SCREENS FOR ALL OPERABLE WINDOWS.
- GLASS DOORS AND WINDOWS ARE SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING, OR PROTECTIVE GRILL, OR PUSH BAR.
- EMERGENCY ESCAPE WINDOWS FOR SLEEPING ROOMS MUST MEET CODE REQUIREMENTS:
 - MIN. NET CLEAR OPERABLE AREA 5.7 SF
 - MIN. NET CLEAR OPERABLE WIDTH 20 INCHES.
 - MIN. NET CLEAR OPERABLE HEIGHT 24 INCHES.
 - MAX. SILL HEIGHT ABOVE FLOOR 44 INCHES.
- NFRC TEMPORARY LABELING ON NEW WINDOWS OR DOORS SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY.
- SEE TITLE 24 CALCULATIONS, SHEETS T-24.1 & T-24.2 FOR ADDITIONAL REQUIREMENTS.

DOOR NUMBER	DOOR SIZE (WIDTH x HEIGHT)	DOOR TYPE	REMARKS
1	3'-0" x 6'-8"	INTERIOR	20 MIN. / SELF-CLOSING / SELF LATCHING
2	3'-0" x 6'-8"	INTERIOR	TEMPERED INTERIOR LITES
3	3'-0" x 6'-8"	INTERIOR	TEMPERED INTERIOR LITES
4	3'-0" x 6'-8"	INTERIOR	TEMPERED INTERIOR LITES
5	2'-4" x 6'-8"	INTERIOR/POCKET	
6	6'-0" x 6'-8"	SLIDING GLASS	
7	2'-6" x 6'-8"	INTERIOR/POCKET	
8	2'-6" x 6'-8"	INTERIOR	
9	2'-4" x 6'-8"	INTERIOR	
10	5'-0" x 6'-8"	INTERIOR / PAIR	
11	7'-0" x 6'-8"	INTERIOR / PAIR	
12	8'-0" x 6'-8"	SLIDING GLASS	

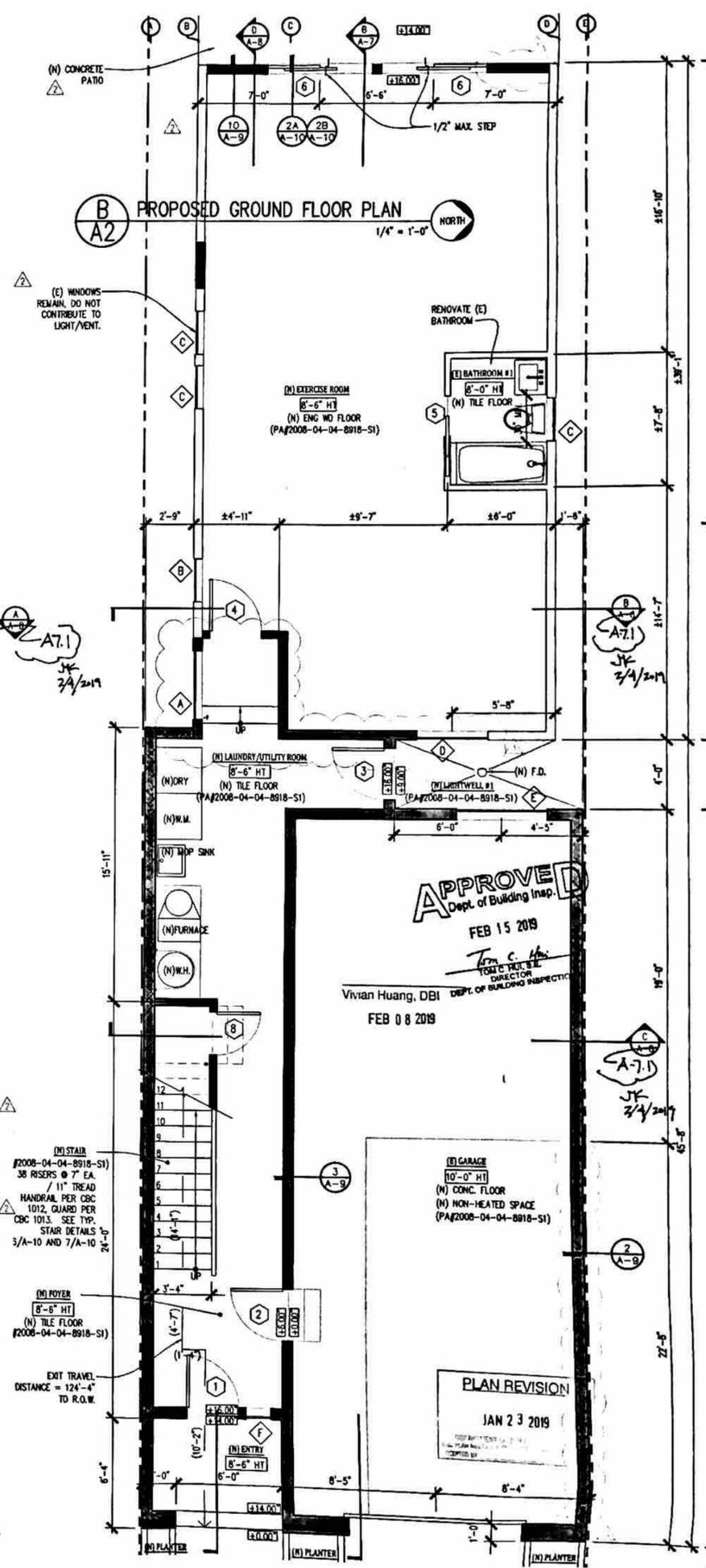
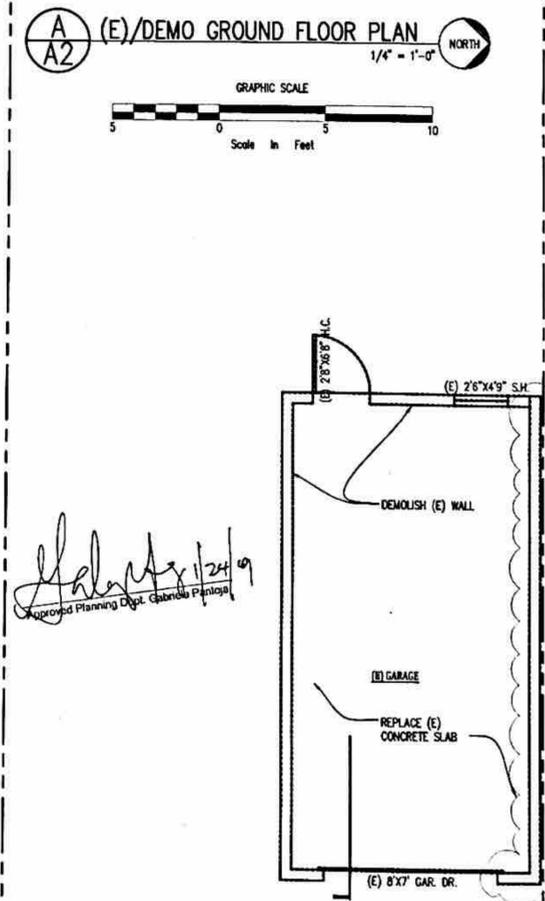
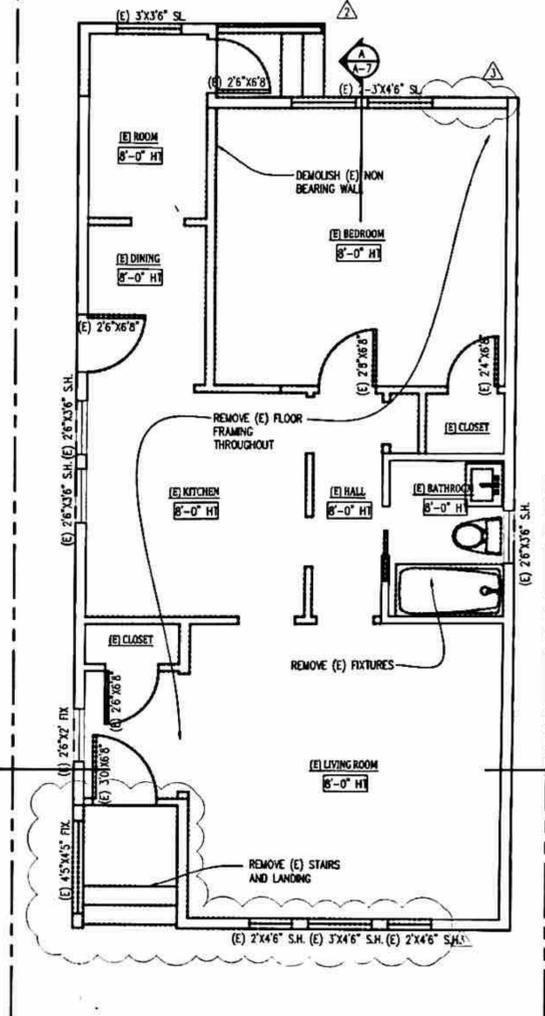
DOOR AND WINDOW SCHEDULE

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT NOTIFY DESIGNER. FLOOR PLAN BY DESIGNER TAKES PRECEDENCE OVER ALL OTHER PLANS. ALL WALLS/PARTITIONS ARE DIMENSIONED FROM STUD TO STUD. DIMENSIONS NOTED "CLEAR" OR "GR" MUST BE ACCURATELY MAINTAINED. AND SHALL NOT VARY MORE THAN 1/8" WITHOUT WRITTEN INSTRUCTION FROM DESIGNER. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE DESIGNER. SECURE DESIGNER'S APPROVAL.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS OR LINES. ALL SCREWS OR OTHER ATTACHMENT DEVICES SHALL BE PATCHED AND NOT VISIBLE. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ADJUST PARTITION THICKNESS AND CAVITY FOR INTERNAL INCLUSIONS, SUCH AS PLUMBING AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOSS, ETC. ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM. ALIGNMENT ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER ALIGNMENT.
- USE NON-ABSORBENT FINISH MATERIALS BELOW 72" IN BATHROOMS, INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- USE 4X10 DF/1 HEADERS IN ALL OPENINGS, WINDOWS & DOORS, U.O.M.
- ALL WINDOW AND EXTERIOR DOORS SHALL BE OBL. GLAZED, WEATHER-STRIPPED AND FLASHED.
- NEW AND RETROFIT WINDOWS SHALL BE MAXIMUM 0.40 U-FACTOR. NFRC TEMPORARY LABELING SHALL NOT BE REMOVED UNTIL AFTER INSPECTION.
- NEW TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.
- WATER HEATER SHALL BE SEISMICALLY ANCHORED TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION. THE LOWER STRAPS/ANCHORS LOCATED TO MAINTAIN A MIN. DISTANCE OF 4" ABOVE THE CONTROLS.
- WATER HEATER MUST BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALVANIZED STEEL, OR HAND DRAIN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF THE PIPE NOT MORE THAN (2) TWO FT. OR LESS SIX INCHES ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL AND BEING UNTHREADED.
- WHERE A FORCE AIR FURNACE SHALL BE LOCATED IN ATTIC, PROVIDE A 30"x30" MIN. ACCESS TO ACCESS THE FURNACE. CONSTRUCT A 24" WIDE PLATFORM PATH FORM ACCESS OPENING TO FAU AND SPECIFY AN ELECTRICAL RECEPTACLE AT THE FAU AND A LIGHT SWITCHED AT THE ACCESS OPENING.
- MAX FLOOR LEVEL CHANGE AT DOOR IS 1.5" EXCEPT IF STAIRS ARE USED AND DOOR(S) DO NOT SWING OVER THE TOP STEP.
- GLASS DOORS AND WINDOWS ARE SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING, OR PROTECTIVE GRILL, OR PUSH BAR.
- EMERGENCY ESCAPE WINDOWS FOR SLEEPING ROOMS MUST:
 - MIN. NET CLEAR OPERABLE AREA 5.7 SF
 - MIN. NET CLEAR OPERABLE WIDTH 20 INCHES.
 - MIN. NET CLEAR OPERABLE HEIGHT 24 INCHES.
 - MAX. SILL HEIGHT ABOVE FLOOR 44 INCHES.
- NFRC TEMPORARY LABELING ON NEW WINDOWS OR DOORS SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY.
- HEIGHT OF COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGE SHALL BE 30" (UNPROTECTED) 24" (PROTECTED).
- TOP OF FOUNDATION MUST BE 8" MIN. ABOVE THE GRADE.
- UNDER FLOOR ACCESS SHALL BE 18"x24" CLR. WITHOUT PIPE OR INTERFERENCE PER CBC. CLEARANCE FOR UNTREATED WOOD MIN. OF 18" FOR JOIST AND 12" FOR GRIER. UNDER FLOOR AREA SHALL BE VENTILATED BY OPENINGS OF A NET AREA OF NOT LESS 1/50 OF THE UNDER FLOOR AREA. OPENING SHALL BE PROTECTED BY METAL MESH WITH 1/4" MAX. OPENING.
- FOUNDATION CONCRETE STRENGTH SHALL BE 2500PSI AT 28 DAYS MIN. U.O.M.
- ALL FOUNDATION STEEL SHALL BE CONFORM TO A.S.T.M. A615 GRADE 40, WITH 400 LAPS MIN.
- TYPICAL ANCHOR BOLTS FOR JOE SILL PLATE SHALL BE 5/8"x12" LONG @ 48" MAX. O.C. THE ANCHOR BOLTS, NAILS AND OTHER FASTENERS AT THE PRESSURE TREATED SILL PLATE ARE REQUIRED TO BE A HOT-DIPPED ZINC COATED GALVANIZED OR EQUAL.
- IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. CUTTING OR NOTCHING OR STUDS TO A DEPTH NOT GREATER THAN 40% OF THE WIDTH OF THE STUD IS PERMITTED IN NONBEARING PARTITIONS SUPPORTING TO NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION.
- A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH MAY BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 50% OF THE WIDTH OF THE STUD ARE PERMITTED IN NONBEARING PARTITIONS OR IN ANY WALLS WHERE EACH BORED STUD IS DOUBLE. NO ANY HOLE SHALL BE BORED NEARER 5/8" TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- NEW BATHROOM FINISH MATERIALS SHALL HAVE SMOOTH, HARD NON-ABSORBENT SURFACE FOR CERAMIC TILE, A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- PROVIDE A ONE HR. FIRE RESISTIVE CONSTRUCTION ON WALL AND CEILING UNDER INTERIOR STAIRWAYS.
- MINIMUM HANDRAIL HEIGHT AT STAIRS OF 34 TO 38 INCHES ABOVE TREAD NOSING (CBC 1012.2).
- HANDRAILS SHALL RETURN TO THE WALL, GUARD OR WALKING SURFACE.
- THE VENTILATION FAN FOR THE POWDER ROOM SHALL DISCHARGE OUTSIDE THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- ALL NEW FRAMING TO COMPLY WITH CBC 2013 CHAPTER 23.
- PROTECT ANNULAR SPACES AROUND PIPES, CONDUIT, OR OTHER OPENINGS IN BOTTOM PLATE AT EXTERIOR WALLS.

LEGEND

- EXISTING WALL TO REMAIN
 - DEMO EXISTING WALL
 - NEW WALL
 - INTERIOR: 5/8" GYP. BD. EACH SIDE OF 2x FRAMING PER STRUCTURAL.
 - EXTERIOR: 3 COAT PLASTER OVER GRADE 'D' BUILDING PAPER AND METAL LATH OVER PLYWOOD SHEATHING OVER 2x FRAMING AND R-13 INSULATION (MIN.). 5/8" GYP. BD. @ INTERIOR.
 - NEW 1-HOUR INTERIOR WALL
 - 5/8" TYPE 'X' GYP. BD. OVER RESILIENT FURRING CHANNELS OVER 2x FRAMING AND 3" SOUND CONTROL BATT INSULATION. 5/8" TYPE 'X' GYP. BD. OTHER SIDE.
 - NEW 1-HOUR RATED EXTERIOR WALL
 - 3 COAT PLASTER OVER GRADE 'D' BUILDING PAPER AND METAL LATH OVER PLYWOOD SHEATHING OVER 2x FRAMING AND R-13 INSULATION (MIN.). 5/8" TYPE 'X' GYP. BD. @ INTERIOR.
- NOTE: UNLESS NOTED OTHERWISE, INSULATION VALUES ARE PER TITLE 24.



OWNER: JULIE LEE / SHING KIT LEE
 2027 20TH AVE.
 SAN FRANCISCO, CA 94118
 415-860-6999

CONSTRUCTION CLARIFICATION DRAWINGS REVISION 3 @ DECEMBER 10, 2018

ADDITION TO THE
LEE RESIDENCE
 2027 20TH AVE
 SAN FRANCISCO, CA 94118

(E)/DEMO & PROPOSED
 GROUND FLOOR PLAN, AB-005,
 & GENERAL NOTES

APPROVED
 FEB 15 2019
 Tom C. Han
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

Vivian Huang, DBI
 FEB 08 2019

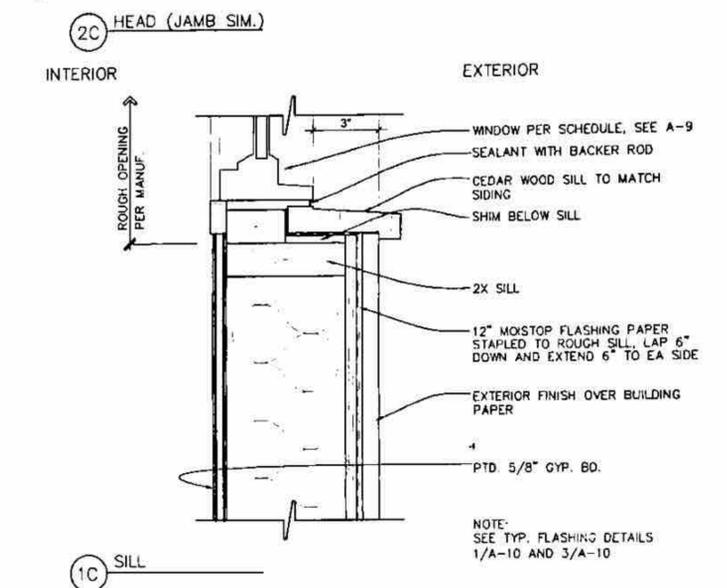
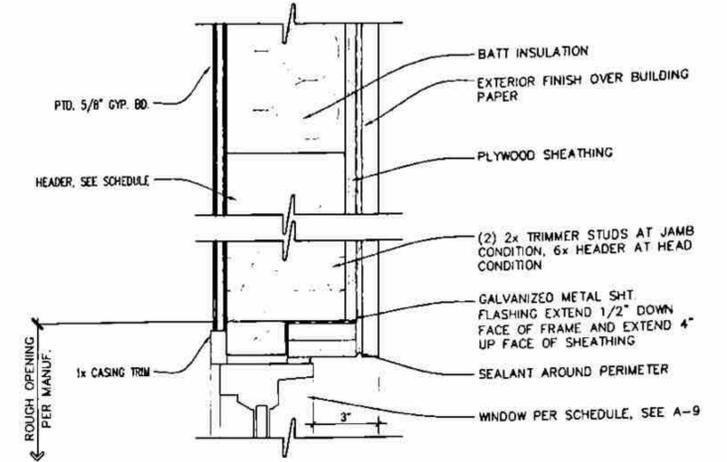
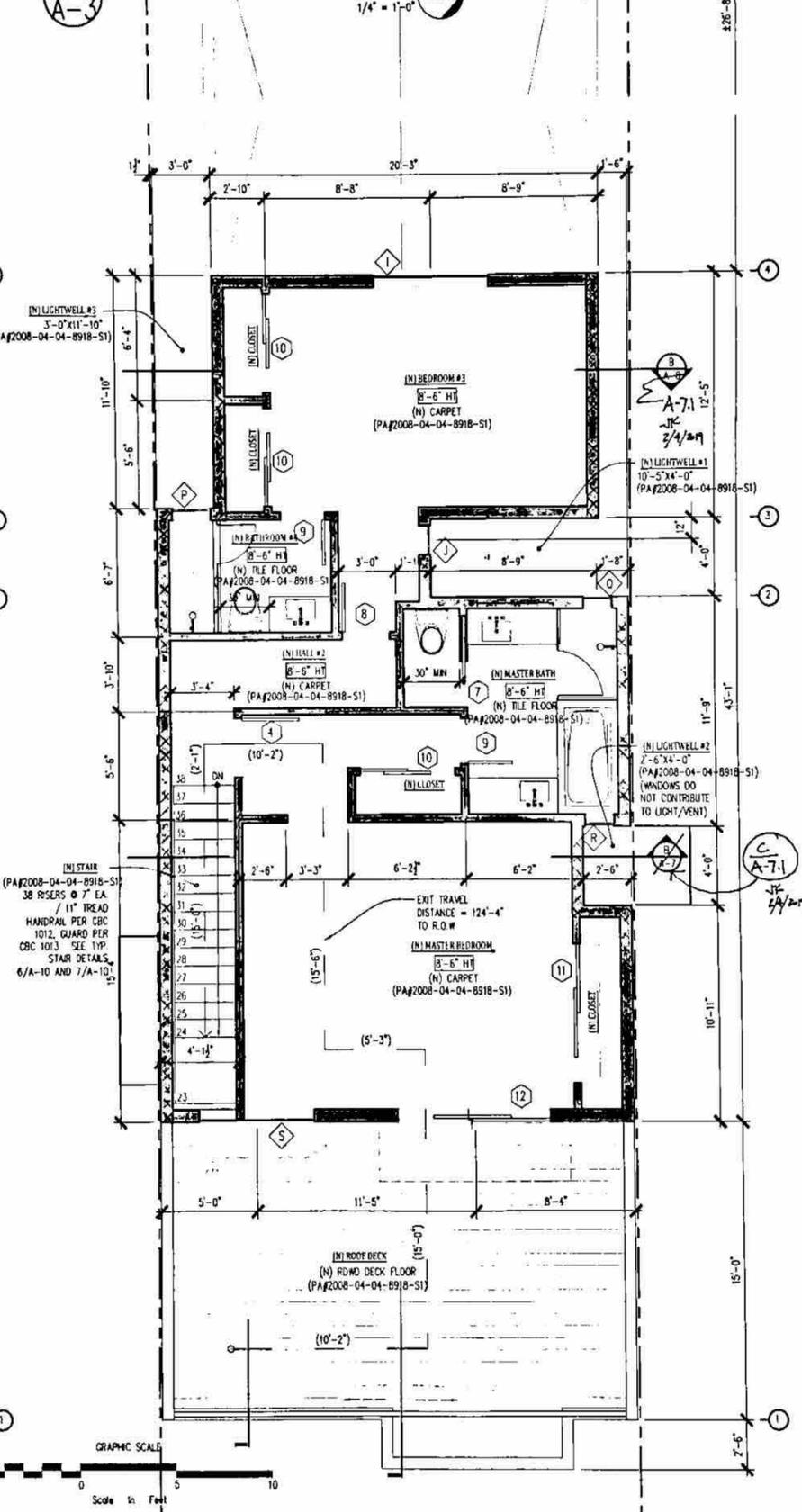
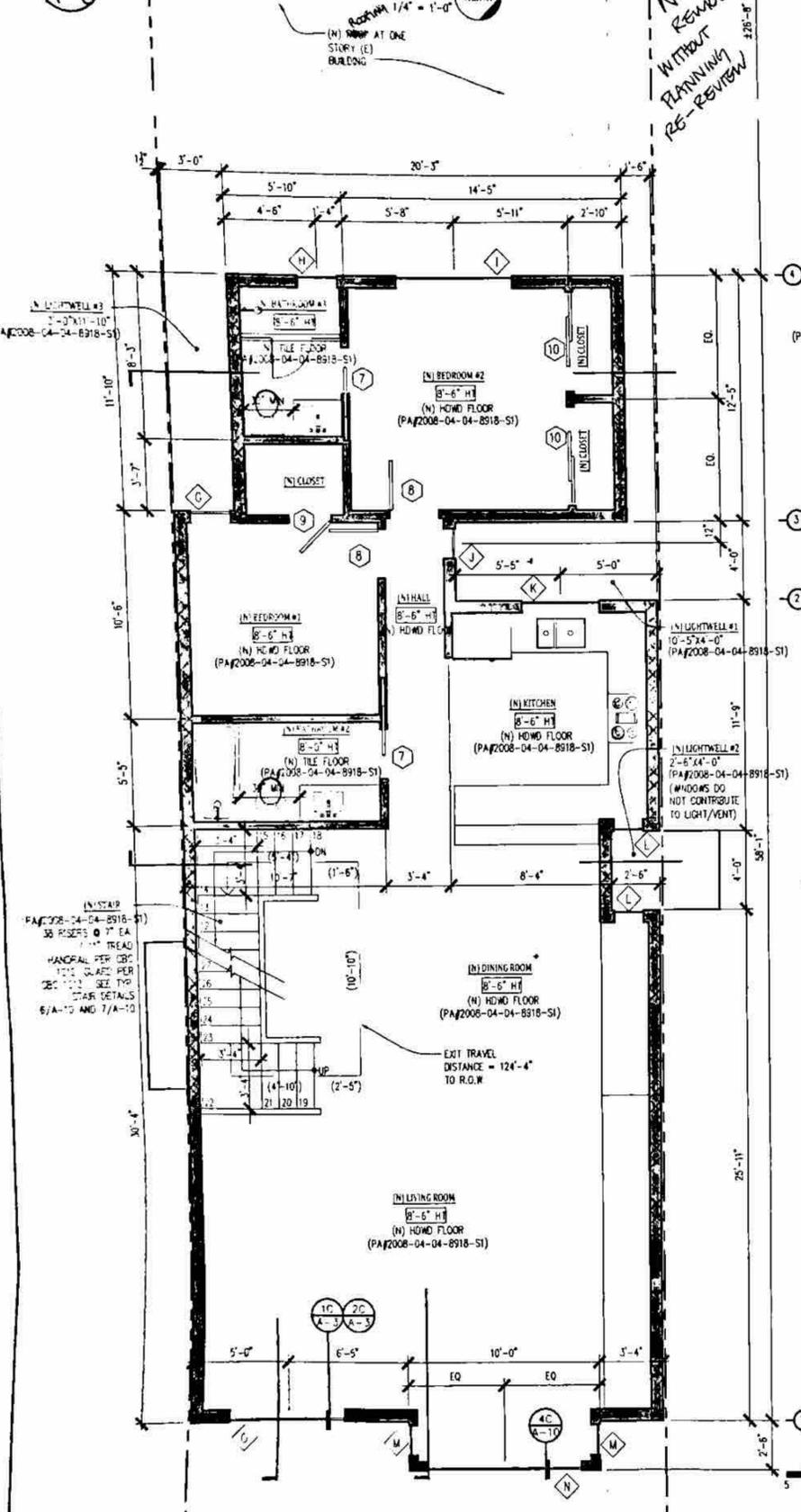
PLAN REVISION
 JAN 23 2019

ISSUE DATE: SEPTEMBER 1, 2015
 DRAWN BY: KC
 JOB NUMBER: 2027

A-2

PROPOSED SECOND FLOOR PLAN

PROPOSED THIRD FLOOR PLAN



(A-3) TYPICAL (N) WINDOW SILL & HEAD CONDITION

NOTE: STRUCTURAL ELEMENTS SUPPORTING ROOF SHALL BE 1-HOUR PROTECTED, TYP.

EXIT REQUIREMENTS
 MAX. EXIT DIST. = 250' (CBC TABLE 1016.2)
 MAX. COMMON PATH OF EGRESS TRAVEL = 125' (CBC TABLE 1014.3)
 MAX. EXIT TRAVEL DIST. FOR STORIES W/ ONE EXIT = 125' (CBC TABLE 1021.2)

PROPOSED MAX. TRAVEL DISTANCE = 124'-4\"

LIGHT & VENTILATION CALCULATIONS

ROOM	AREA (SF)	REQUIRED (SF)	PROVIDED (SF)	CHECK
(N) EXERCISE ROOM	859	53.5	26.76	49.36 26.32 OK/OK
(N) BEDROOM #1	95	7.6	3.8	9.51 OK/OK
(N) BEDROOM #2	126	10.08	5.04	21.17 11.5 OK/OK
(N) LIV/DIN/OT	790	83.2	31.6	129.11 46.76 OK/OK
(N) BEDROOM #3	212	16.96	8.48	26.76 13.91 OK/OK
(N) MASTER BDR	322	25.76	12.88	58.72 29.47 OK/OK

LEGEND

- EXISTING WALL TO REMAIN
- DEMOLISH EXISTING WALL
- NEW WALL
- INTERIOR 5/8\"/>
- NEW 1-HOUR INTERIOR WALL
- 5/8\"/>
- NEW 1-HOUR RATED EXTERIOR WALL
- 3 COAT PLASTER OVER GRADE 'D' BUILDING PAPER AND METAL LATH OVER PLYWOOD SHEATHING OVER 2x FRAMING AND R-13 INSULATION (MIN.). 5/8\"/>
- FOR DOOR AND WINDOW SIZE AND REQUIREMENTS, SEE SCHEDULES, SHEET A-2

NOTE: UNLESS NOTED OTHERWISE, INSULATION VALUES ARE PER TITLE 24

APPROVED
 Dept. of Building Insp.
 FEB 15 2019

Tom C. Hui
 TOM C. HUI, S.E.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

Wen Huang, DEB
 FEB 08 2019

[Signature]
 Approved Planning Dept. Gabriela Pankaja
 1/24/19

PLAN REVISION
 IAN 23 2019

OWNER: JULIE LEE/SHING KIT LEE
 2027 20TH AVE.
 SAN FRANCISCO, CA 94116
 415-860-6999



studio797
 ARCHITECTURE & INTERIOR DESIGN
 1618 S. LUTHER AVENUE #405
 SAN FRANCISCO, CA 94116
 415-860-6999

ADDITION TO THE
LEE RESIDENCE
 2027 20TH AVE
 SAN FRANCISCO, CA 94116

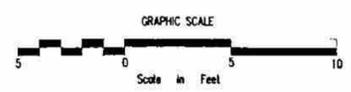
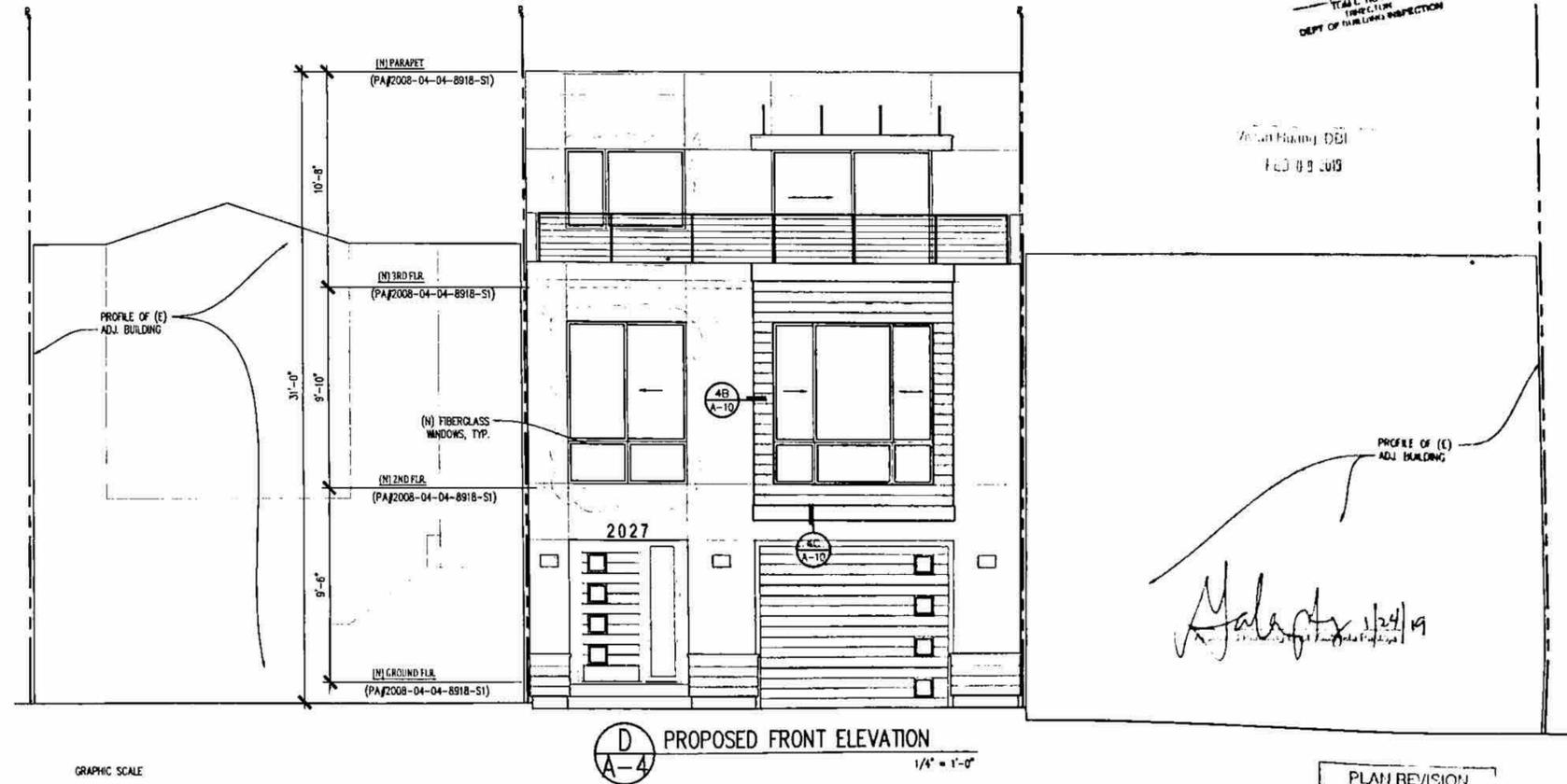
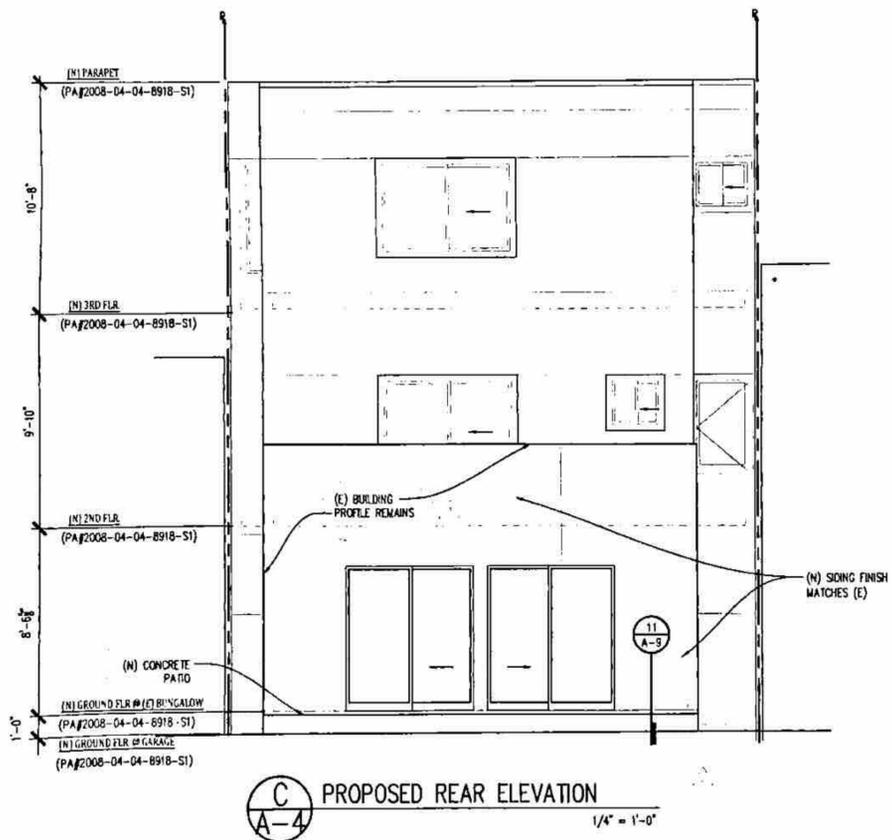
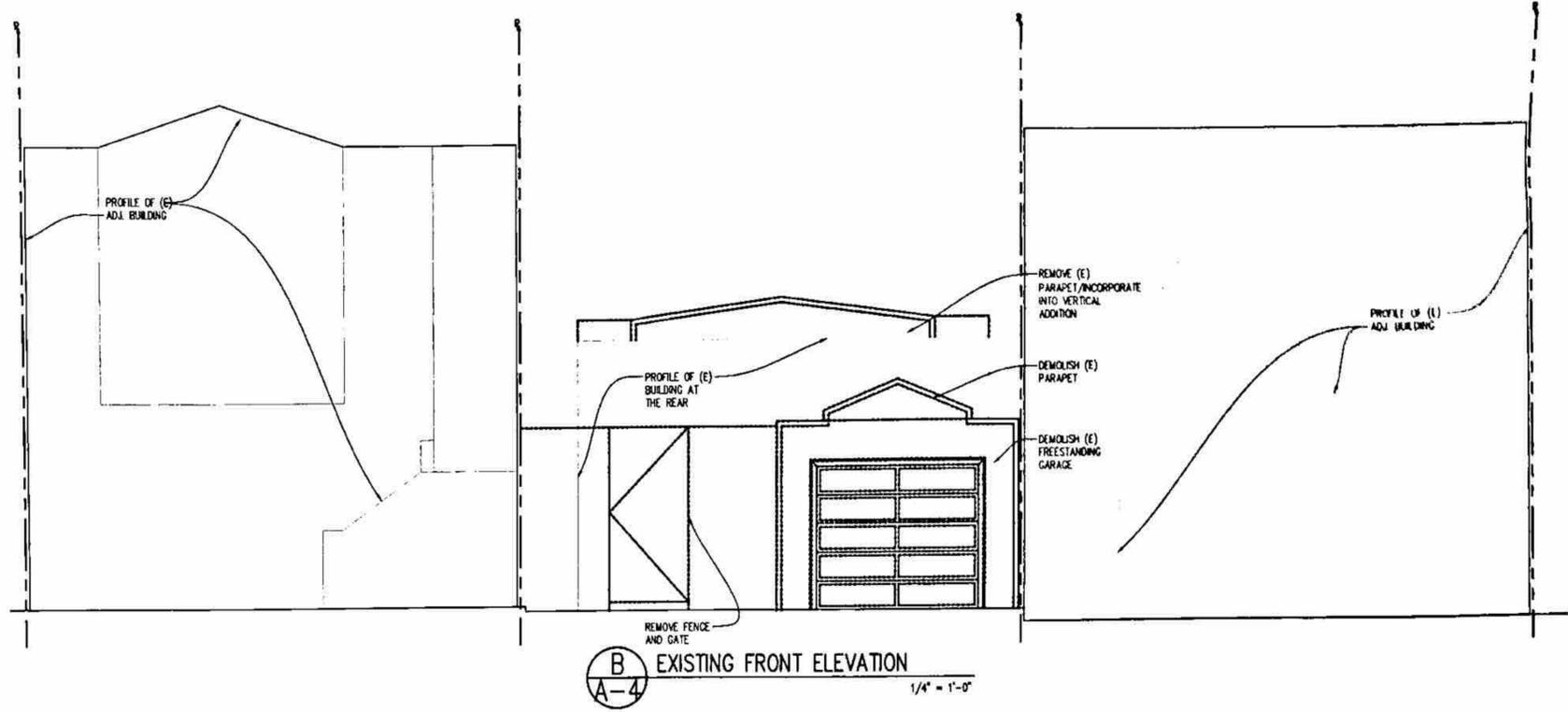
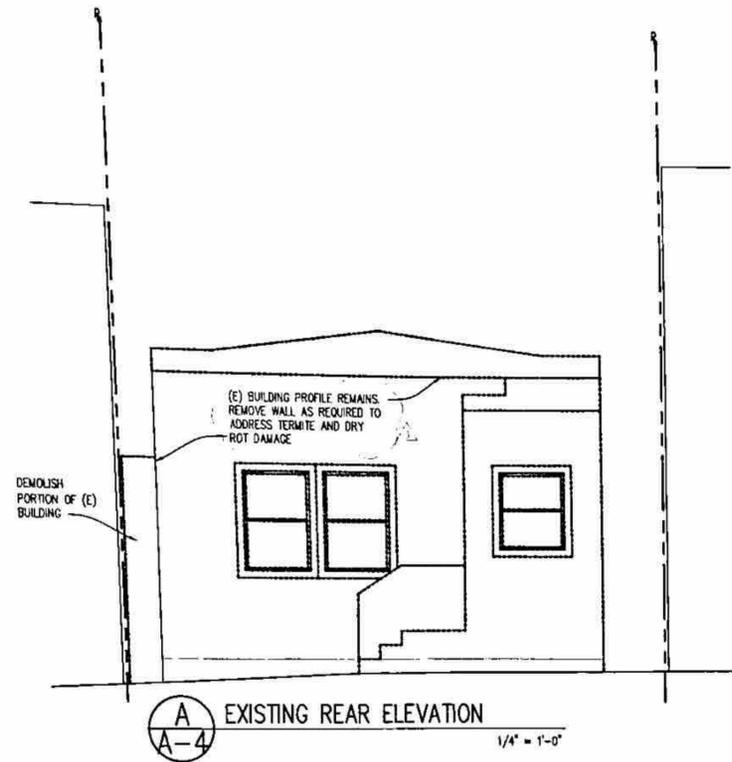
CONSTRUCTION CLARIFICATION DRAWINGS REVISION 3 - DECEMBER 10, 2018

PROPOSED 2ND AND 3RD FLOOR PLAN AND WINDOW DETAILS

DATE: 1/24/19
 LOGS: 2019/01/23
 SITE PERMITS: 2019/02/19
 BUILDING: 2019/02/23
 PLANNING: 2019/03/27

DATE: SEPTEMBER 1, 2015
 DRAWN BY: KC
 JOB NUMBER: 2027

A-3



APPROVED
Dept. of Building Insp.
FEB 15 2019
Tom C. [Signature]
TEAM C. TRIP. 101
INSPECTOR
DEPT. OF BUILDING INSPECTION

John Fanning DBI
FEB 09 2019

Galaxy 1/24/19

PLAN REVISION
JAN 23 2019

OWNER: JULIE LEE/SHING KIT LEE
2027 20TH AVE
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415-860-6999

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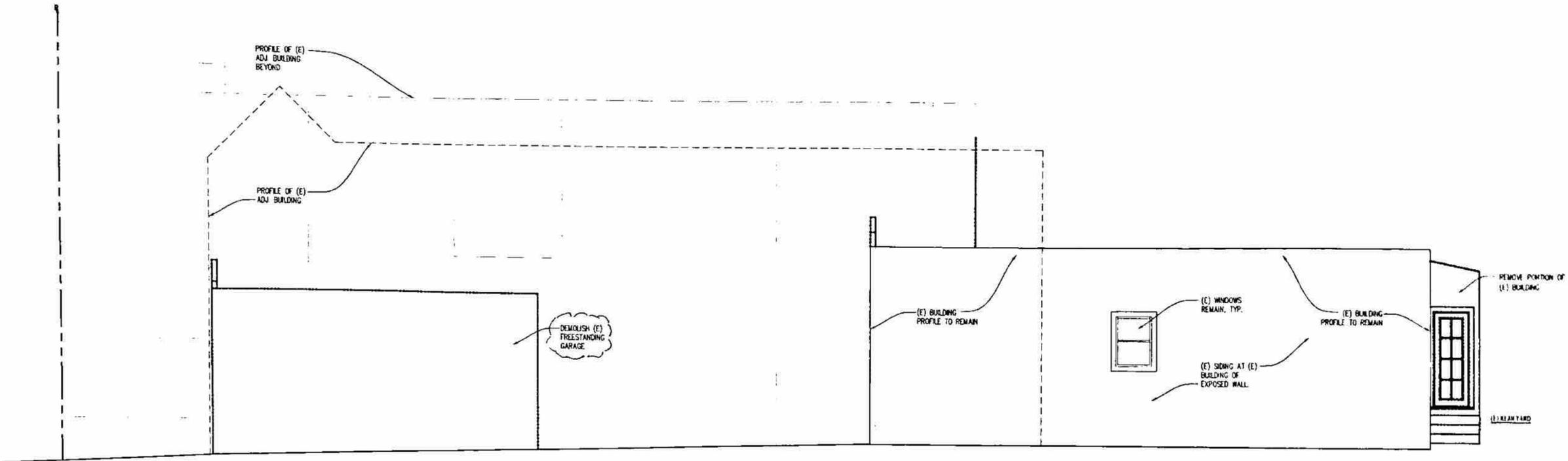
CONSTRUCTION CLARIFICATION DRAWINGS REVISION 3 - DECEMBER 10, 2018

ADD TO THE
LEE RESIDENCE
2027 20TH AVE
SAN FRANCISCO, CA 94116

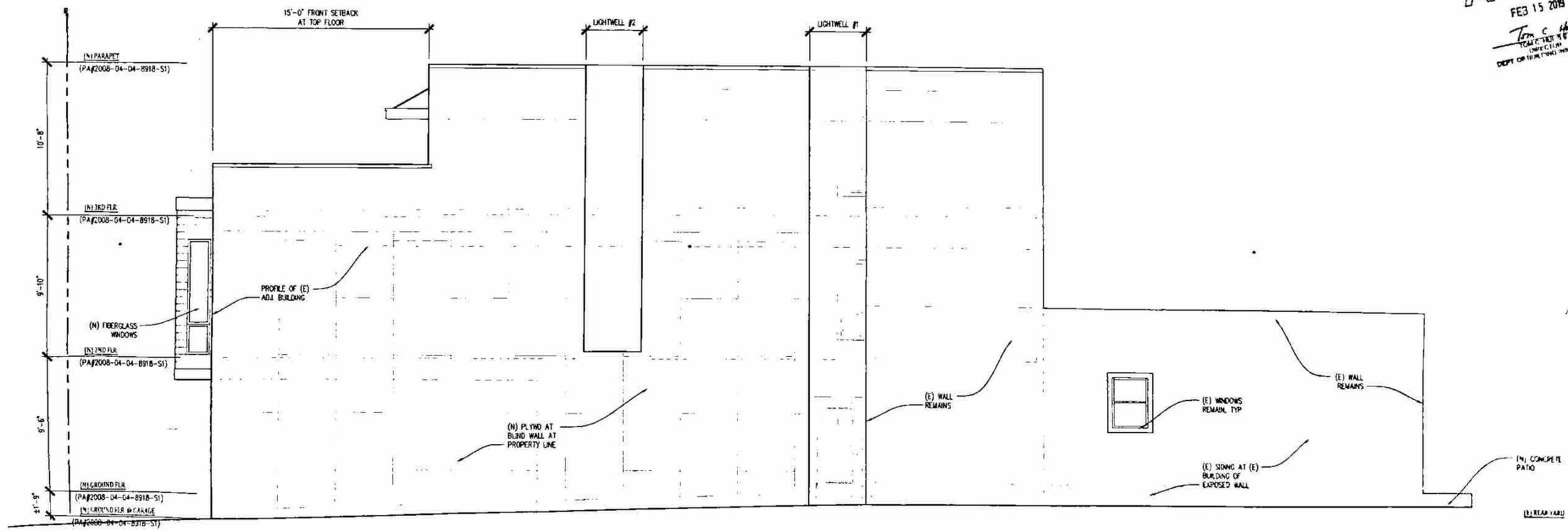
EXISTING AND PROPOSED
FRONT AND REAR
ELEVATION

NO. 1	DATE
1	7/27/17
2	2/17/18
3	7/27/18
4	7/27/18
5	7/27/18
6	7/27/18
7	7/27/18
8	7/27/18
9	7/27/18
10	7/27/18
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99	7/27/18
100	7/27/18

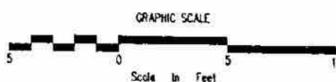
A-4



A
A-5 EXISTING NORTH ELEVATION
1/4" = 1'-0"



B
A-5 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



APPROVED
Dept. of Building Insp.
FEB 15 2019
Tom C. [Signature]
CALIF. DEPT. OF BUILDING INSPECTION
DEPT. OF PUBLIC WORKS

APPROVED
FEB 03 2019

Yale [Signature]
1/24/19

PLAN REVISION
JAN 23 2019

OWNER: JULIE LEE/SHING KIT LEE
2027 20TH AVE.
SAN FRANCISCO, CA 94116
415-860-8999



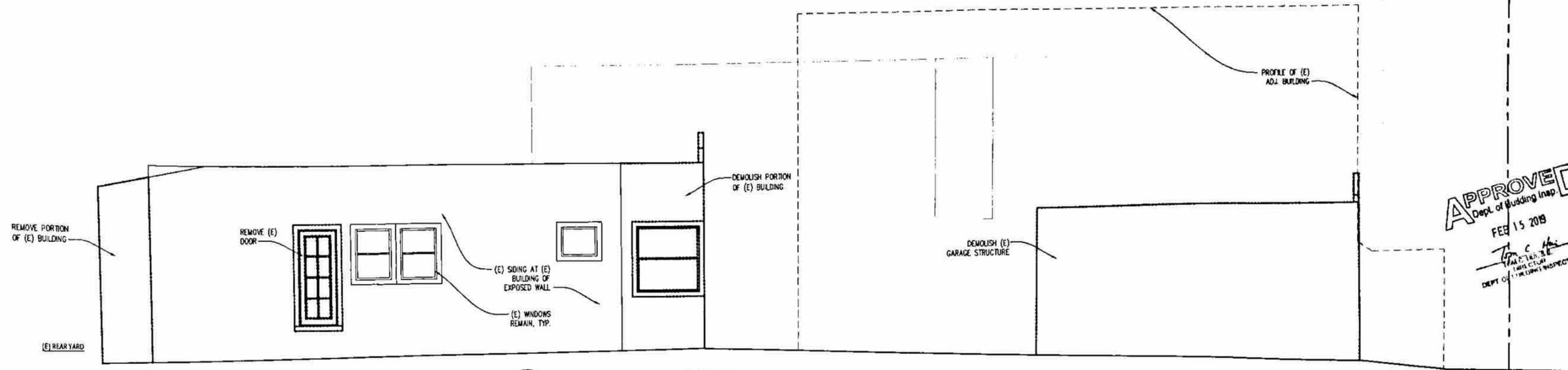
studio797
1115 BUSH STREET, SUITE 200
SAN FRANCISCO, CA 94109
415.774.7977

ADD ON TO THE
LEE RESIDENCE
2027 20TH AVE
SAN FRANCISCO, CA 94116

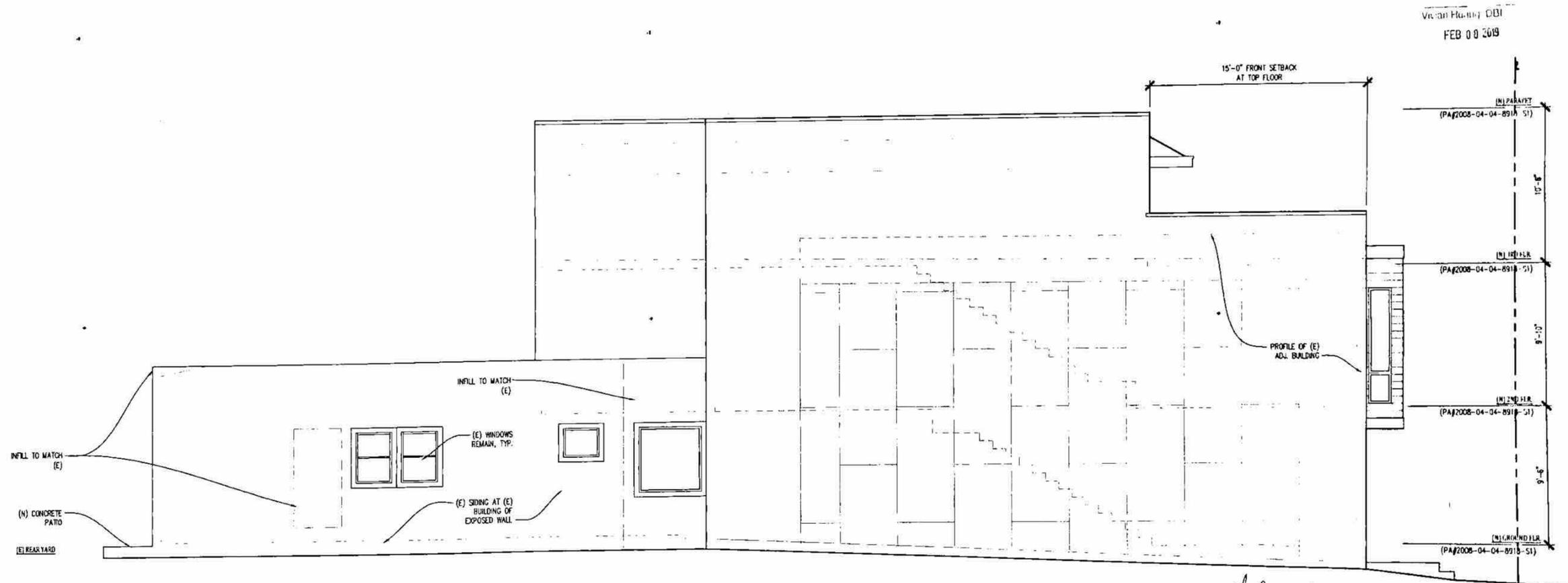
EXISTING AND PROPOSED
NORTH ELEVATIONS

NO.	DATE	DESCRIPTION
1	SEP 01 2015	ISSUED FOR PERMITS
2	SEP 01 2015	ISSUED FOR PERMITS
3	SEP 01 2015	ISSUED FOR PERMITS
4	SEP 01 2015	ISSUED FOR PERMITS
5	SEP 01 2015	ISSUED FOR PERMITS
6	SEP 01 2015	ISSUED FOR PERMITS
7	SEP 01 2015	ISSUED FOR PERMITS
8	SEP 01 2015	ISSUED FOR PERMITS
9	SEP 01 2015	ISSUED FOR PERMITS
10	SEP 01 2015	ISSUED FOR PERMITS

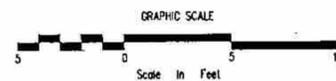
A-5



A EXISTING SOUTH ELEVATION
A-6 1/4" = 1'-0"



B PROPOSED SOUTH ELEVATION
A-6 1/4" = 1'-0"



PC 111
JAN 23 2019

CONSTRUCTION CLARIFICATION DRAWINGS REVISED 3 - DECEMBER 10, 2018

EXISTING AND PROPOSED SOUTH ELEVATIONS

ADDITION TO THE
LEE RESIDENCE
2027 20TH AVE
SAN FRANCISCO, CA 94116

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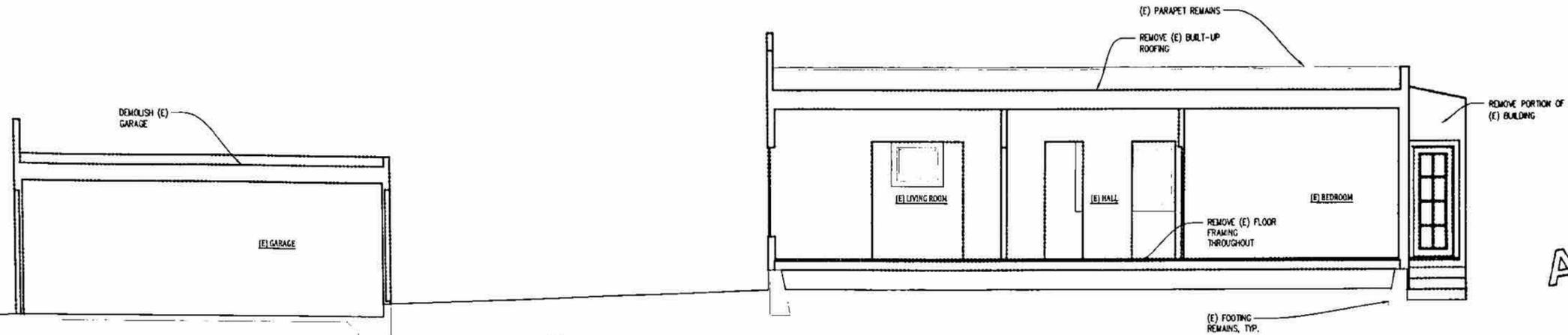
OWNER: JULIE LEE/SHING KIT LEE
2027 20TH AVE.
SAN FRANCISCO, CA 94116
415-860-6999



APPROVED
FEB 15 2019
DEPT. OF BUILDING INSPECTION

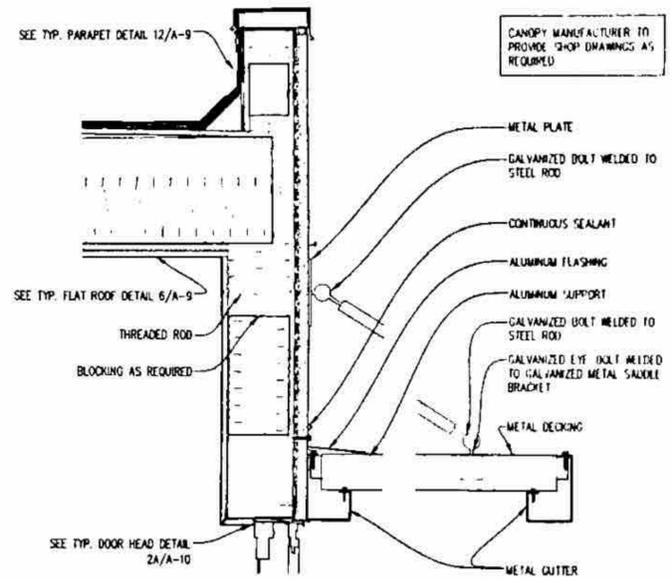
DATE: SEPTEMBER 1, 2015
DRAWN BY: KC
JULIE LEE 2027

A-6



A
A-7 EXISTING/DEMO LONG BUILDING SECTION
1/4" = 1'-0"

APPROVED
Dept. of Building Insp.
FEB 15 2018
Tom C. Allen
DIRECTOR
DEPT. OF BUILDING INSPECTION



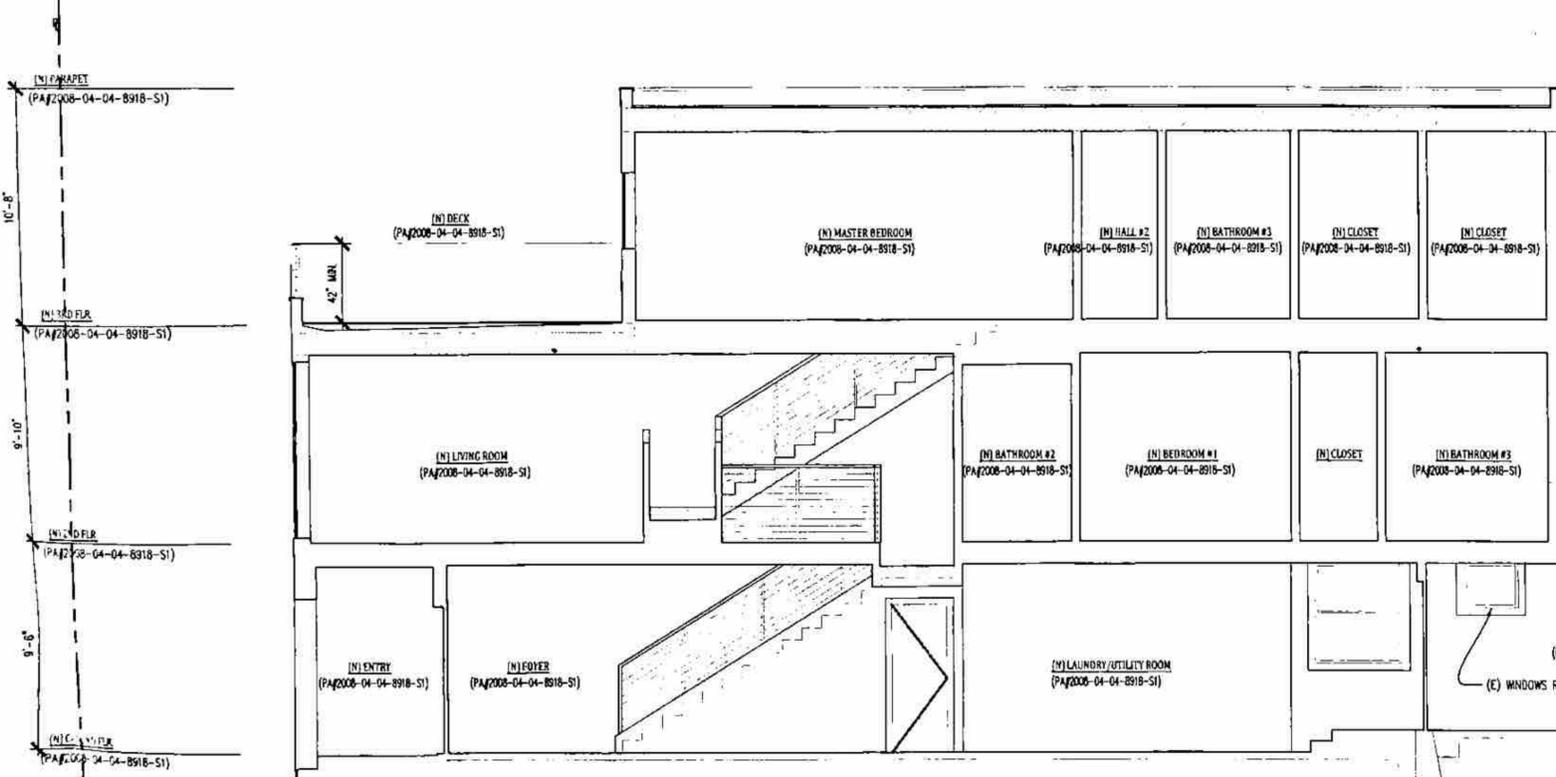
C
A-9 PREFABRICATED OVERHANG
1 1/2" = 1'-0"

NOTE:
STRUCTURAL ELEMENTS
SUPPORTING ROOF SHALL
BE 1-HOUR PROTECTED,
TYP.

REPLACE (E) PARAPET
IN KIND
(E) REPLACE BUILT-UP
ROOFING TO MATCH (E)

Vin an Huang, DSI
FEB 08 2018

Galuzeta 1/24/18



B
A-7 PROPOSED LONG BUILDING SECTION
1/4" = 1'-0"

OWNER: JULIE LEE/SHING KIT LEE
2027 20TH AVE.
SAN FRANCISCO, CA 94116
415-860-8999



studio797
ARCHITECTS
1000 MARKET STREET, SUITE 100
SAN FRANCISCO, CA 94102
415.860.8999

ADDITION TO THE
LEE RESIDENCE
2027 20TH AVE
SAN FRANCISCO, CA 94116

CONSTRUCTION CLARIFICATION DRAWINGS REVISION 3 - DECEMBER 10, 2018
**PROPOSED LONG AND
CROSS BUILDING SECTIONS**

DATE: 2018/12/13
DATE: 2018/11/11
DATE: 2018/10/29
PLANNING: 2018/09/12

DATE: SEPTEMBER 1, 2015
DRAWN BY: KC
JOB NUMBER: 2027

PLAN REVISION
IAN 23 2018

A-7

ABBREVIATIONS

A.B. ARCH.	ANCHOR BOLT ARCHITECTURAL	a.c.	ON CENTER
COL. CONN. CONT. C.	COLUMN CONNECTION CONTINUOUS CENTER LINE	PL. R. PTD.	PLATE STEEL PLATE PRESSURE TREATED
DET. DIA. DWG.	DETAIL DIAMETER DRAWING	REQ'D.	REQUIRED
EA.	EACH	S.A.D. SIM. SQ. SYMM.	SEE ARCH. DWG. SIMILAR SQUARE SYMMETRICAL
EXIST. OR (E) E.W. E.F. O.	EXISTING EACH WAY EACH FACE AT	TYP. TS.	TYPICAL TUBE STEEL
GA.	GAUGE	U.O.N. U.R.M.	UNLESS OTHERWISE NOTED UNREINFORCED MASONRY
L.	STEEL ANGLE	V.I.F.	VERIFY IN FIELD
MAX. M.B. MIN. MISC.	MAXIMUM MACHINE BOLT MINIMUM MISCELLANEOUS	W.P. W.	WORK POINT "I" SHAPED STEEL BEAM OR COLUMN
NO. N.T.S. (H)	NUMBER NOT TO SCALE NEW	W/ WT.	WITH WEIGHT

EPOXY ANCHOR / EPANSION ANCHOR

- INSTALLATION:
 - HOLES FOR GROUTED ANCHORS SHALL BE DRILLED WITH A ROTARY HAMMER OR OTHER SUITABLE METHODS TO ENSURE THAT EXISTING REINFORCING IS NOT DAMAGED. ALL MISDRILLED OR UNACCEPTABLE HOLES SHALL BE GROUTED SOLID.
 - THE ANCHORS MUST BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS GIVEN IN THE ICBO RESEARCH COMMITTEE RECOMMENDATIONS FOR THE SPECIFIC ANCHOR.
- GROUTED ANCHORS SHALL BE SIMPSON FASTENERS, MANUFACTURED BY SIMPSON-STRONGTIE, INC. THE APPLICABLE ICBO REPORT IS ER-4945 LATEST EDITION.
- ACCEPTABLE DRILLED-IN CONCRETE OR MASONRY EXPANSION ANCHORS: THE SIMPSON WEDGE-ALL ANCHOR (ICBO #ER3631)
- ACCEPTABLE EPOXY DOWEL: COVERT ADHESIVE (ICBO REPORT #4846), SIMPSON STRONG-TIE EPOXY (ICBO REPORT #4945) OR EQUAL SEE MFR SPECIFICATION FOR REQUIREMENT AND EMBED LENGTH.

THIS NAILING IS TYPICAL UNLESS NOTED OR DETAILED OTHERWISE ALL NAILS SHALL BE COMMON WIRE NAILS.

- | | | | |
|---|---------|--|---|
| JOISTS OR RAFTERS AT ALL BEARING-TOENAILS EA. SIDE | 2-10d | BLOCKING BETWEEN JOISTS OR RAFTERS-TOENAILS EA. SIDE EA. END | 2-10d |
| STUD TO BEARING-TOENAILS EA. SIDE | 2-10d | OR END NAILS | 2-16d |
| BLOCKING BETWEEN JOISTS OR RAFTERS TO JOISTS OR RAFTERS AT BEARINGS-TOENAILS EA. SIDE | 2-10d | SOLE PL. TO JOIST OR BLOCKING | 16d #16" |
| BLOCKING BETWEEN STUDS-TOENAILS EA. END OR END NAILS | 2-10d | DOUBLE TOP PLATE-LOWER PL. TO TOP OF STUD | 2-16d |
| MULTIPLE STUDS (STAGGER) | 16d #12 | UPPER PL. TO LOWER PL. SPLICE (4"-0") MIN. EA. SIDE OF BUTT IN TOP PLATE | 6-16d |
| | | UPPER PL. TO LOWER AT INTERSECTIONS | 3-16d |
| | | CLG. JOISTS TO PARALLEL RAFTERS | 3-16d |
| | | BUILT-UP BMS. (STAGGER TYP.) 10" OR LESS IN DEPTH | 16d #12" MORE THAN 10" DEEP 1/2" BOLTS #24" |

JOIST OR BEAM SIZE	HANGER TYPE
2x	U2X
4x	HU4X
TJ1a	IUT1a
3 1/8" x GLB	GLT3
5 1/8" x GLB	GLT5

GENERAL STRUCTURAL NOTES

REINFORCING STEEL

- ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318 LATEST APPROVED EDITION), AND THE "ACI DETAILING MANUAL" AS MODIFIED BY THE PROJECT DRAWINGS AND SPECIFICATIONS.
- REINFORCING BARS SHALL CONFORM TO ASTM A-615, GRADE 60, FOR #4 BARS AND LARGER (GRADE 40 FOR #3 AND SMALLER).
- ALL SPLICES SHALL BE 40 DIA. MINIMUM LAP, STAGGERED UNLESS OTHERWISE NOTED. 1-1/2" MINIMUM BETWEEN PARALLEL BARS.
- REINFORCEMENT SHALL BE PLACED IN RELATIVE POSITION SHOWN ON THE DRAWINGS. NO SPLICES IN REINFORCING WILL BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- PROVIDE FOUNDATION DOWELS TO MATCH SIZE AND SPACING OF WALL REINFORCEMENT. EXTEND DOWELS 40 DIA. MINIMUM INTO WALL AND TERMINATE WITH STANDARD HOOK 3" ABOVE BOTTOM OF FOOTING UNLESS NOTED OTHERWISE.
- MINIMUM COVER TO REINFORCING: 3" WHERE CONCRETE IS POURED AGAINST EARTH; 2" WHERE EXPOSED TO EARTH BUT PLACED IN FORMS; 2" WHEN EXPOSED TO WEATHER; 3/4" FOR SLAB ON GRADE; 3/4" WHERE NOT EXPOSED TO EARTH OR WEATHER.

CARPENTRY

- ALL FRAMING LUMBER SHALL BE GRADE MARKED DOUGLAS FIR IN ACCORDANCE WITH WCLB RULES #18 LATEST EDITION; NO. 2 OR BETTER GRADE.
- PLYWOOD SHALL CONFORM TO PS1-74 AND SHALL BE STRUCTURAL 1 GRADE CDX MINIMUM GRADE. ALL EDGES SHALL BE BLOCKED WITH 2X4 LUMBER WITH NAILING PER PLANS.
- ANY WOOD BLOCKING, LEDGER, OR POST IN CONTACT WITH CONCRETE FOUNDATION, EXTERIOR MASONRY WALL, OR SLAB-ON-GRADE SHALL BE PRESURE-PRESERVATIVE TREATED.
- BOLTS FASTENING WOOD MEMBERS SHALL BE FITTED WITH MALLEABLE IRON WASHERS AGAINST WOOD AND STANDARD CUT WASHER AGAINST NUT. HOLES FOR BOLTS SHALL BE BORED 1/32" MAXIMUM OVERSIZE. RETIGHTEN ALL BOLTS BEFORE CLOSING IN. ALL BOLTS SHALL BE GALVANIZED.
- MINIMUM NAILING SHALL BE PER SCHEDULE AS SHOWN IN S1.1, OR AS NOTED ON THE PLANS. USE COMMON NAILS. ALL NAILS FOR PLYWOOD SHALL BE GALVANIZED PLYWOOD NAILS.
- ALL JOIST HANGERS AND FRAMING HARDWARE SHALL BE SIMPSON "STRONG-TIE" OR APPROVED EQUAL. WHERE CONNECTION IS NOT DETAILED, PROVIDE APPROPRIATE CONNECTOR PER MANUFACTURER'S RECOMMENDATION.
- ALL EXISTING JOISTS, BEAMS, AND TRUSS MEMBERS ARE ROUGH SAWN, NOMINAL SIZES SHOWN ON THE DRAWINGS ARE ACTUAL DIMENSIONS.
- ALL NEW EXPOSED WOOD POSTS SHALL BE PRIMER-SEALED AND PAINTED WITH TWO COATS SEMI-GLOSS ACRYLIC ENAMEL, COLOR TO MATCH EXISTING WALLS.
- ALL NEW BLOCKING INSTALLED AGAINST EXISTING JOISTS SHALL HAVE SIMPSON ASS ANCHORS EACH END.
- ALL LAG SCREWS SHALL HAVE A CUT THREAD, NOT A ROLLED THREAD.
- DRILL HOLE FOR THREADED PORTION OF LAG SCREW 75% OF THE SHANK DIAMETER. DRILL HOLE FOR THE SHANK PORTION OF THE SCREW EQUAL TO THE SHANK DIAMETER.
- FLOOR & WALL SHEATHING:
 - GENERAL: EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF THE U.S. PRODUCT STANDARD PS 1. DO NOT USE ANY PLYWOOD PIECE WITH LEAST DIMENSION OF LESS THAN 2'-0".
 - ROOF -- 1/2" PLYWOOD CDX, WITH 10d NAILS @ 6"O.C. AT ALL EDGES
 - FLOOR -- 3/4" PLYWOOD CDX, T&G GLUE & NAILED W/ 10d NAILS @ 6"O.C. AT ALL EDGES @ 10"O.C. IN FIELD.
 - WALL-- 1/2" OR 15/32" PLYWOOD U.O.N. SHALL BE: APA RATED SHEATHING, CDX, EXTERIOR, 32/16. PLYWOOD CAN BE SUBSTITUTED WITH OSB STRUCT. SHEATHING.
- ALL GLUE LAMINATED BEAMS SHALL BE:
 - 24F-V4 FOR SIMPLY SUPPORTED BEAMS.

GENERAL

- THESE GENERAL NOTES APPLY UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL CONSTRUCTION AND INSPECTION SHALL CONFORM TO THE BUILDING CODE, 2013 EDITION & NDS 05 SUPPLEMENTAL.
- ALL DETAILS ARE TYPICAL. FOR CONDITIONS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS SIMILAR TO THOSE SHOWN.
- VERIFY ALL ARCHITECTURAL FEATURES AND CONDITIONS (DIMENSIONS, ELEVATIONS, ETC.) UPON WHICH THESE DRAWINGS RELY, PARTICULARLY DIMENSIONS AND FLOOR ELEVATIONS.
- OMISSIONS OR DISCREPANCIES BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.
- DESIGN LOADS
SEISMIC COEFFICIENT V=0.142(W) ASD R=6.5
S_a = 1.938, S₁ = 0.907, S_{DS} = 1.292, S_{D1} = 0.907, F_a = 1, F_v = 1.5
SITE CLASS D SEISMIC DESIGN CATEGORY D OCCUPANCY CATEGORY I
WIND LOAD BASIC WIND SPEED 110 MPH EXPOSURE B
ROOF LOAD DEAD LOAD = 14 PSF, LIVE LOAD = 20 PSF
FLOOR LOAD DEAD LOAD = 20.5 PSF LIVE LOAD = 40 PSF
- ALLOWABLE FOUNDATION BEARING STRESS.
NO SOIL REPORT IS AVAILABLE.
ALLOWABLE SOIL BEARING PRESSURE, 1500 PSF TABLE 1802.4
MINIMUM BOTTOM OF FOOTING BELOW ADJACENT GRADE, 12 INCHES
MINIMUM FOOTING WIDTH, 12 INCHES

CONCRETE

- ALL CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH ACI-318. USE MIXES WITH MAXIMUM AGGREGATE SIZE APPROPRIATE FOR FORM AND REBAR CLEARANCES TO BE ENCOUNTERED (SEE A.C.I.) USE 1" AGGREGATE FOR ALL FLATWORK.
- THE PROPOSED MATERIALS AND MIX DESIGN SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE STRUCTURAL ENGINEER RESPONSIBILITY FOR OBTAINING THE REQUIRED DESIGN STRENGTH IS THE CONTRACTOR'S.
- ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE THE FOLLOWING 28-DAY STRENGTH (MINIMUM 1"): 4000 PSI, 4" SLUMP MAX.
- SCHEDULING OF WORK MAY REQUIRE DESIGN STRENGTH IN SHORTER PERIODS OF TIME (LESS THAN 28 DAYS).
- CONSTRUCTION JOINTS SHALL BE THOROUGHLY ROUGHENED BY SANDBLASTING OR MECHANICAL MEANS, CLEAN, AND APPROVED FOR LOCATION BY THE STRUCTURAL ENGINEER.
- ALL CONCRETE TO BE REINFORCED UNLESS SPECIFICALLY NOTED "NOT REINFORCED".
- PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE I OR II, LOW ALKALI.
- AGGREGATE FOR HARDROCK CONCRETE SHALL CONFORM TO ALL REQUIREMENTS AND TESTS OF ASTM C-33 AND PROJECT SPECIFICATIONS. EXCEPTIONS MAY BE USED ONLY WITH PERMISSION OF THE STRUCTURAL ENGINEER.
- ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.

SCOPE OF WORK
1. REAR ADDITION

- SHEET INDEX:**
- S1.1 GENERAL NOTES
 - S2.1 FOUNDATION & FLOOR PLANS
 - S2.2 FLOOR FRAMING PLANS
 - S3.1 SECTION & DETAILS
 - S3.2 SECTION & DETAILS
 - S3.3 SECTION & DETAILS

RECEIVED
JAN 31 2013
DEPT. OF BUILDING INSPECTION

APPROVED
Dept. of Building Insp.
FEB 15 2013
Tom C. [Signature]
DEPT. OF BUILDING INSPECTION

Additions
2027-20th Ave.
San Francisco, CA

Lawrence Lido
Structural Engineer

MEHDI VERDIZI
August 1, 2013
ISAN CAROL MONTANO
January 20, 2010
CARMEN MONTANO
October 20, 2010

DEPARTMENT OF BUILDING INSPECTION
City and County of San Francisco
1660 Mission Street, 2nd Floor, San Francisco, California 94103-2414

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note the special inspections shown on the approved plan and checked on the special inspection form issued with the building permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of special inspector shall be furnished to district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6133. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6096.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Plan Check Services Division. To avoid delays in this process, the project owner should request final compliance reports from the engineer or architect of record and/or special inspection agency soon after the conclusion of work requiring special inspection. The building permit will not be finalized without the compliance of the special inspection requirements.

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1702. The building permit will not be finalized without the compliance of the structural observation requirements.

Exhibit No. 1 (Required Format)
SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS: 2027-20TH Ave. APPLICATION NO. _____ ADDENDUM NO. _____

OWNER NAME: _____ OWNER PHONE NO. _____

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Section 1701.2. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1702. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Sections 1701.1(7)(3) and 1704 (1998 SFBIC) Special Inspection and/or testing is required for the following work:

1. Concrete (Placement & Sampling)	6. High strength bolting	18. Bolts installed in existing concrete or masonry:
2. Rebar installed in concrete	7. Structural masonry	(a) Cast-in-place
3. Special moment-resisting concrete frame	8. Reinforced gypsum concrete	(b) Masonry
4. Reinforcing steel and prestressing tendons	9. Insulating concrete fill	19. Pultruded steel joists per SFBIC Sec. 1807C & 1815C
5. Structural welding:	10. Spray-on or precast concrete	20. Steel joist and floor systems used as shear diaphragms
a) Periodic visual inspection	11. Plyng, deck joists and diaphragms	21. Special cases:
(1) Single pass filler welds <5/16"	12. Shotcrete	(1) Shoring
(2) Stressing	13. Soil nail grouting, excavation and filling (Geo Engineers)	(2) Underpinning
(3) Welded studs	14. Smoke control system	(3) Others
(4) Cold formed studs and joists	15. Demolition	
(5) Steel trussing systems	16. Exterior cladding	22. Crane safety (Apply to the operation of tower cranes on highrise buildings) (Section 1701.8)
(6) Reinforcing steel	17. Retrofit of unreinforced masonry buildings (Section 1701.8)	
b) Continuous visual inspection and NDT (Section 1703)	(1) Testing of mortar quality and shear tests	
(1) All other welding (NDT exception: Filler welds)	(2) Inspection of rebar spacing	23. Others: As recommended by "professional of record"
(2) Reinforcing steel and NDT required	(3) Installation inspection of new steel bolts	
(3) Moment-resisting frames	(4) Prestressing inspection for embedded bolts	
	(5) Pultruded steel joists per SFBIC Sec. 1807C & 1815C	

Structural observation per Section 1702 (1998 SFBIC) for the following: (M) Foundations (U) Steel framing (C) Concrete construction (N) Masonry construction (W) Wood framing

Certification is required for: () Civil components () Others: _____

Prepared by: Lawrence Lido, Engineer/Architect of Record, Phone: 415 793-7769

Review by: _____, DBI Engineer or Plan Checker, Phone: (415) 558- _____

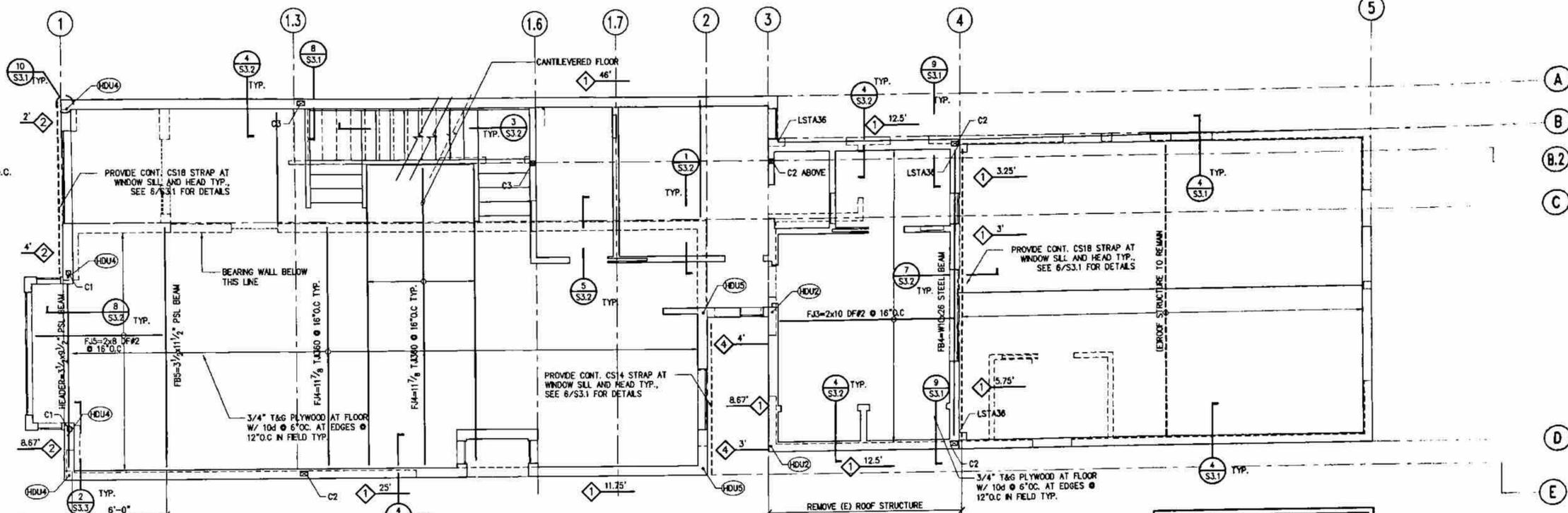
APPROVAL (Based on submitted reports):
DATE _____ DBI Engineer or Plan Checker

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED IN THE ORDER OF:
1) Plan Check Engineer/Inspector: (415) 558-6133, 2) District Building Inspector: (415) 658-6096

Vivian Huan, DBI
FEB 08 2013

GENERAL NOTES

1. ALL EXTERIOR WALLS ABOVE 2ND FLOOR ARE 2x4 STUDS @ 16" O.C.
ALL EXTERIOR WALLS BELOW 2ND FLOOR ARE 3x4 OR 2x6 STUDS @ 16" O.C.
2. PROVIDE 1/2" OSB OVER EXTERIOR WALLS, SEE PLAN WITH 10d NAILS @ 6" O.C. AT ALL EDGES @ 12" O.C. IN FIELD BLOCK ALL EDGES EXCEPT AT SHEAR WALLS.
3. PROVIDE TRIPLE 2x STUDS OR 4x4 POST MIN. AT ALL BEAM SUPPORTS. POSTS SHOWN ARE BELOW, TYPICAL, U.O.N.
4. NOT ALL POSTS ARE SHOWN, CONTRACTOR SHALL REFER TO ROOF PLAN AND TYPICAL DETAILS TO LOCATE POSTS AS REQUIRED.
5. "XX-X" INDICATES SHEAR WALL SEE SCHEDULE FOR DETAILS. IF LENGTH IF NOT SPECIFIED SEE PLAN
6. SEE ARCHITECTURAL DRAWINGS FOR HEADER LOCATIONS. SEE TYPICAL DETAIL FOR HEADER SIZE & SUPPORT.
7. PROVIDE PB POST BASE FOR ALL POST INSTALLED DIRECTLY ON CONCRETE, TYPICAL.
8. PROVIDE 2x PRESSURE TREATED SILL FOR ALL WALL SILL PLATES, EXCEPT AT SHEAR WALLS.
9. ALL INTERIOR WALLS ARE 2x4 STUDS @ 16" O.C.
11. PROVIDE BLOCKING UNDER ALL PARTITION WALLS.
12. PROVIDE STRAP AT WINDOWS SEE 6/S1.2. SEE PLAN
13. PHDX INDICATES HOLDDOWN. SEE TYPICAL DETAILS.
14. ALL MEMBER EXPOSED TO THE WEATHER UNPAINTED OR SEALED SHALL BE DECAY RESISTANT MATERIAL.



SHEAR WALL SCHEDULE

	1/2" OSB SHEATHING	10d NAILS SPACING @ EDGES/FIELD	5/8" A.B. @ MUD SILL	SILL PLATE AT WOOD FLOOR NAILING	FRAMING CLIP AT TOP PLATES
1	ONE FACE	6" O.C./@12" O.C.	32" O.C.	2-16d @ 16" O.C.	A35 @ 16" O.C.
2	ONE FACE	4" O.C./@12" O.C.	16" O.C.	2-SDS 1/4x4 1/2 @ 16" O.C.	A35 @ 8" O.C.
3	ONE FACE	3" O.C./@12" O.C.	16" O.C.	2-SDS 1/4x4 1/2 @ 8" O.C.	A35 @ 8" O.C.
4	BOTH FACES	4" O.C./@12" O.C.	8" O.C.	2-SDS 1/4x4 1/2 @ 8" O.C.	A35 @ 8" O.C.

AT SHEAR WALL 2,3&4, USE 3x4 STUD AT PLYWOOD EDGES & 3x SILL PLATE STAGGERED PLYWOOD AT EACH FACE WHERE PLYWOOD IS AT BOTH FACES. PROVIDE 3/4" SAMPSON TITEN-HD SCREWS WITH 4" EMBED AT EXISTING MUD SILL MATCH SPACING AS SPECIFIED.

2 SECOND FLOOR FRAMING PLAN 1/4"=1'-0"

COLUMN SCHEDULE:
C1 4x4 PSL POST
C2 4x6 PSL POST
C3 6x6 DF POST
ALL COLUMNS SHOWN ARE BELOW THE FLOOR EXCEPT AT FOUNDATION PLAN AND NOTED IN THE PLAN

APPROVED
Dept. of Building Insp.
FEB 15 2019
Tom C. [Signature]
DEPT. OF BUILDING INSPECTION

Additions
2027-20th Ave.
San Francisco, CA

Consultant
Lawrence Lino
Structural Engineer



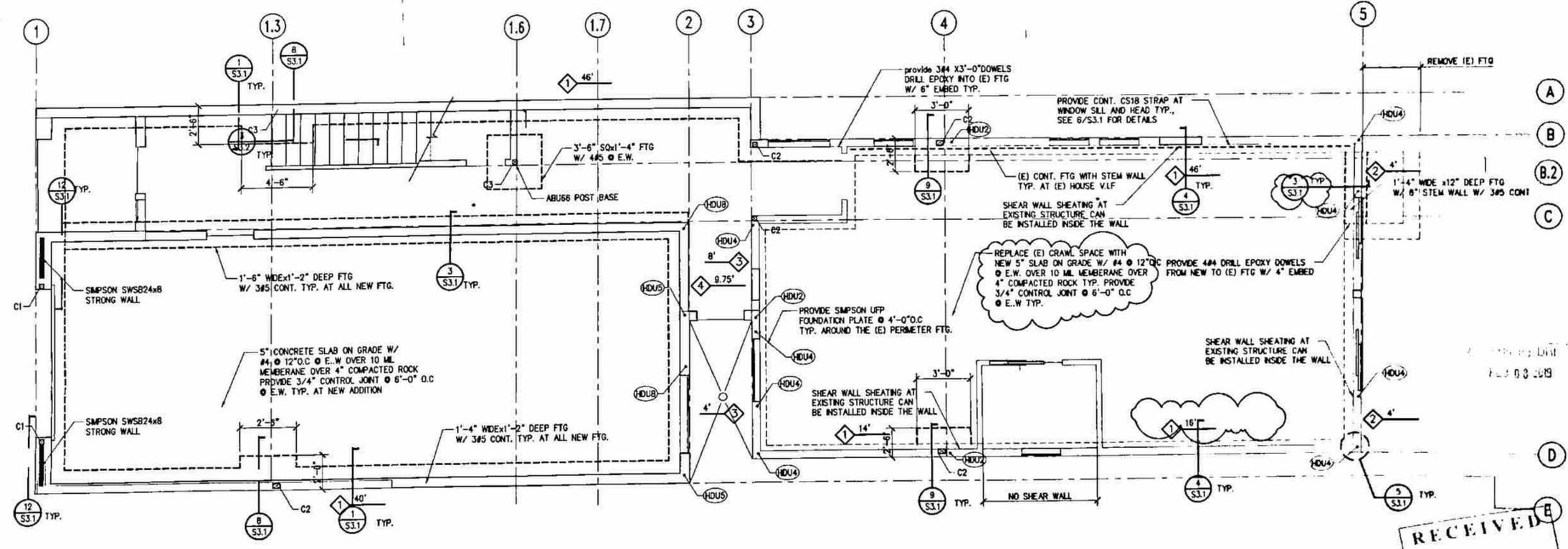
Revisions
1. APPROVAL
August 1, 2018
2. PLAN CHECK RESPONSE
January 26, 2019
3. PERMITS RESPONSE
October 20, 2018

Drawn By
L.Lino
Checked By
Date
1-30-19
Scale
as shown
Title

FOUNDATION & FLOOR FRAMING PLAN

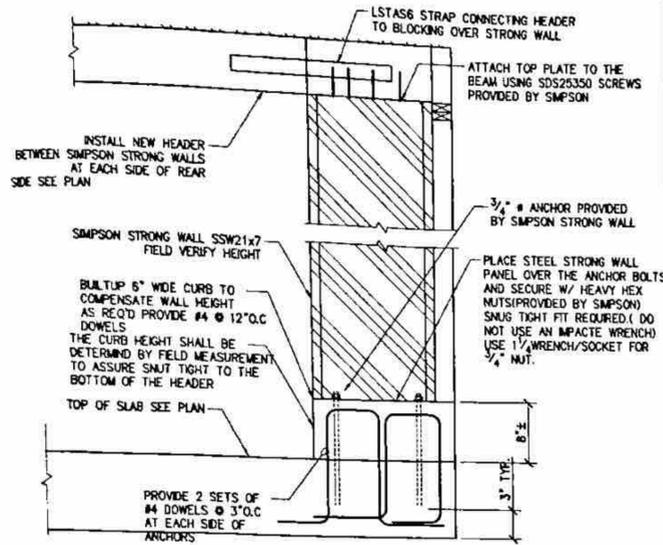
Sheet

S21

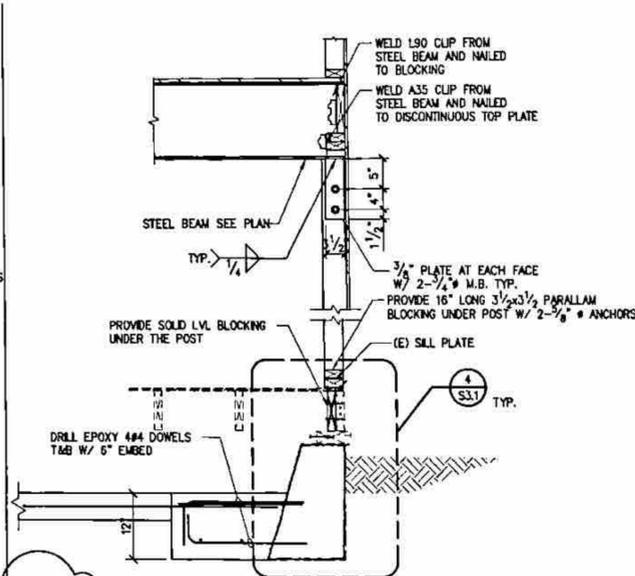


1 FOUNDATION & 1ST FLOOR PLAN 1/4"=1'-0"

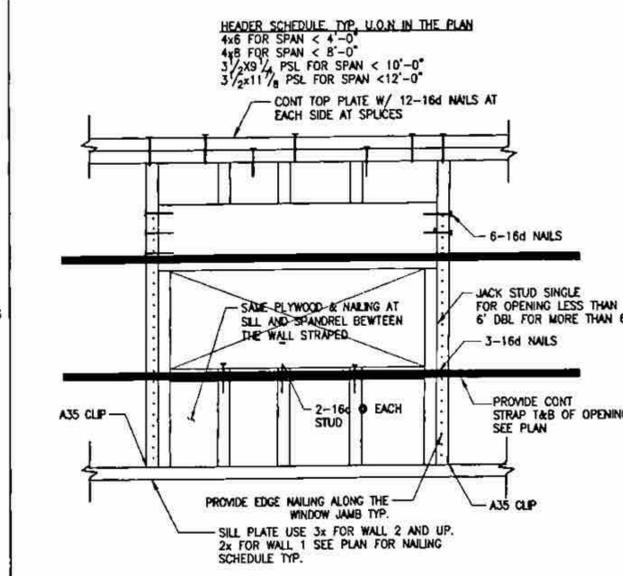
RECEIVED
JAN 31 2019



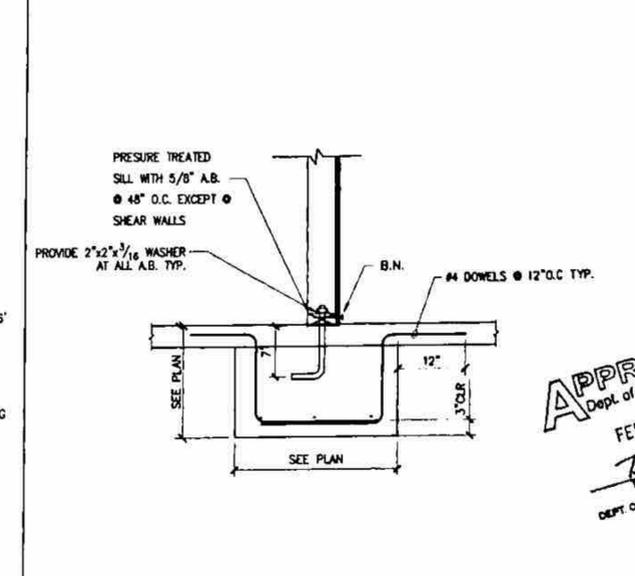
12 SIMPSON STRONG WALL ELEVATIONS



9 NEW STEEL BEAM TO POST DETAILS



6 TYPICAL OPENING IN EXTERIOR WALL ELEVATION



3 TYPICAL INTERIOR WALL AT FOOTING SECTION

APPROVED
 Dept. of Building Insp.
 FEB 15 2019
 Tom C. Hill
 CIVIL ENGINEER
 DEPT. OF BUILDING INSPECTION

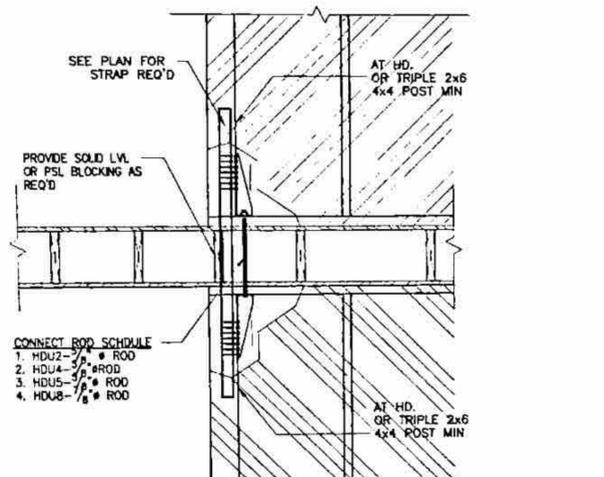
Consultant
 Luworica Lino
 Structural Engineer

REVISIONS
 PERMIT SUBMITTAL August 1, 2019
 PLAN CHECK RESPONSE January 26, 2018
 OWNER REVIEW October 26, 2016

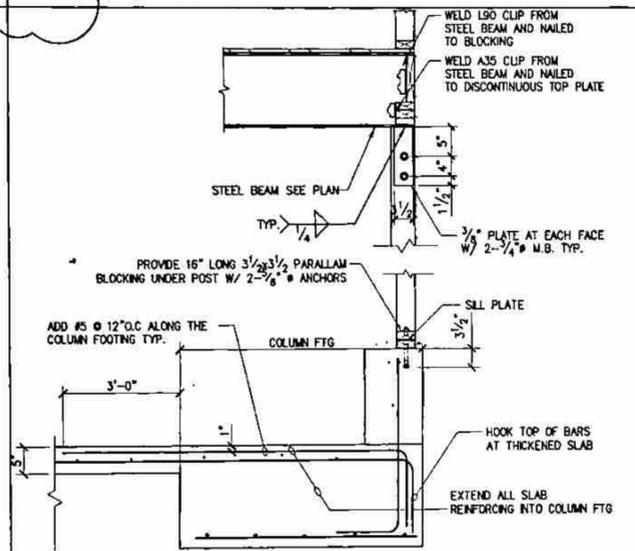
Drawn By
 L.Lino
 Checked By

Date
 1-30-18
 Scale
 as shown
 Title

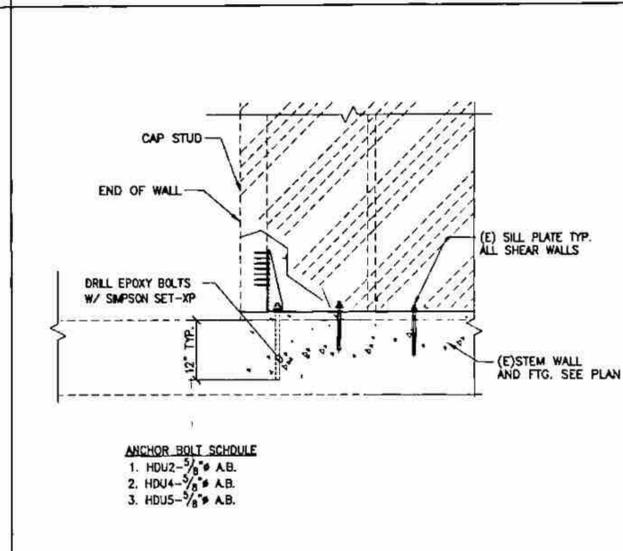
SECTION & DETAILS
 RECEIVED
 JAN 31 2019
 SHEET



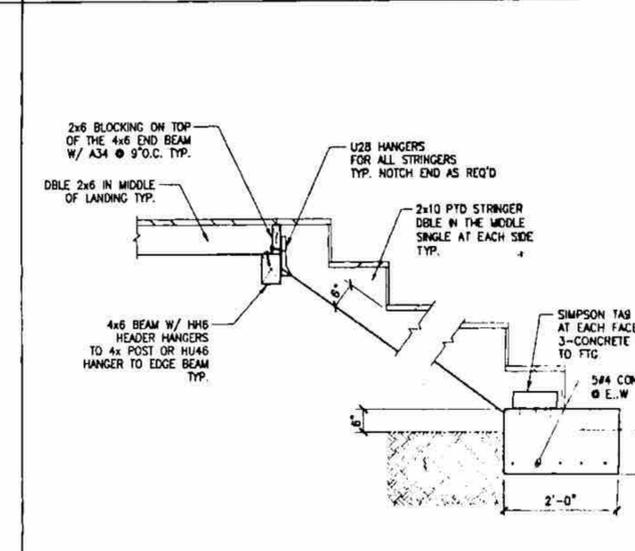
10 TYPICAL HOLDOWN DETAILS



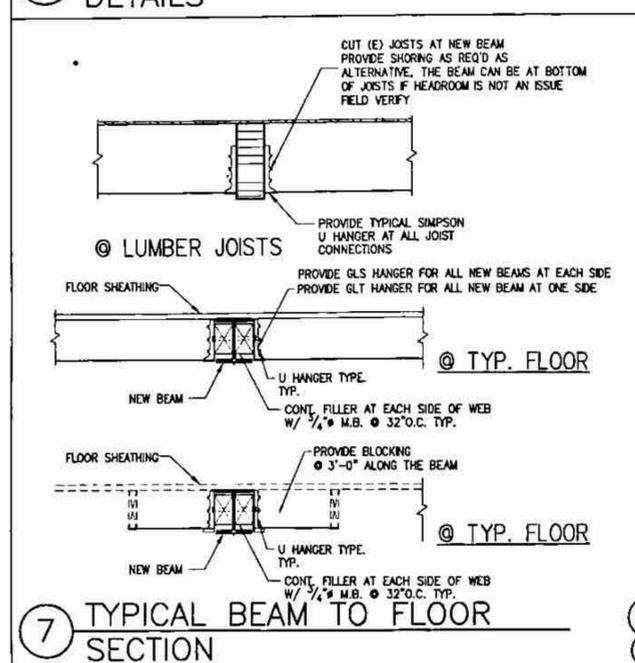
8 NEW STEEL BEAM TO POST DETAILS



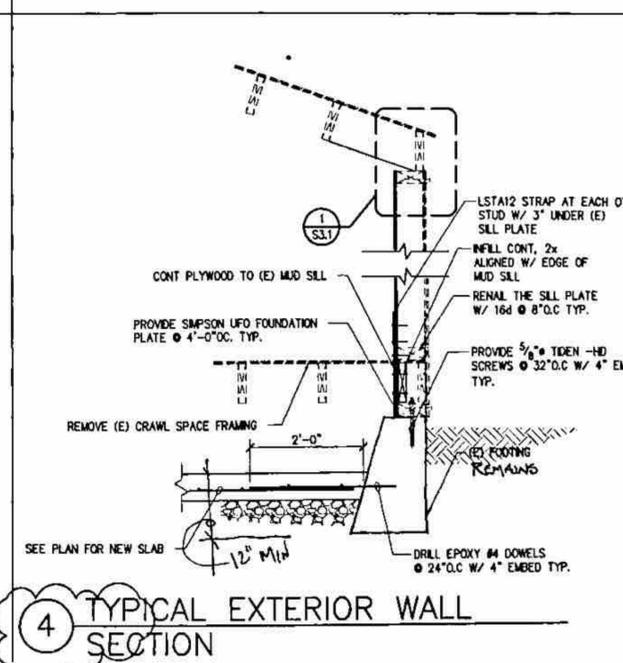
5 TYPICAL HOLDOWN DETAILS



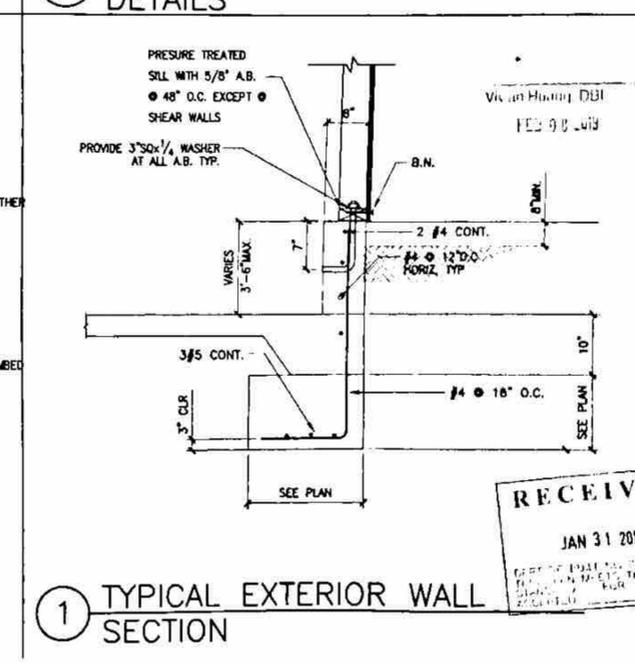
2 TYPICAL STRINGER TO GROUND DETAILS



7 TYPICAL BEAM TO FLOOR SECTION



4 TYPICAL EXTERIOR WALL SECTION



1 TYPICAL EXTERIOR WALL SECTION

EXHIBIT E



12/21/15 05:15 PM
12/21/15 05:15 PM
12/21/15 05:15 PM
12/21/15 05:15 PM

12/21/15 05:15 PM
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**BRIEF(S) SUBMITTED BY THE
RESPONDENT DEPARTMENT(S)**



SAN FRANCISCO PLANNING DEPARTMENT

HD 7/31/19

FILE

Board of Appeals Brief

Date: July 25, 2019
Hearing Date: July 31, 2019
Appeal No.: 19-058
Project Address: 2027 20th Avenue
Block/Lot: 2140/004A
Zoning/Height: RH-1 (Residential, House, One-Family)
 40-X Height and Bulk District
Staff Contact: Scott F. Sanchez – (415) 558-6326
scott.sanchez@sfgov.org

BOARD OF APPEALS

JUL 25 2019

APPEAL # 19-058

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

INTRODUCTION

On May 29, 2019, Shing Kit Lee (Appellant) appealed the Acting Zoning Administrator's Notice of Violation (NOV) for the property at 2027 20th Avenue (Property). The NOV found that the Appellant was in violation of Planning Code Section 317 for the unauthorized demolition of the single-family dwelling on the Property without Conditional Use Authorization and Planning Code Section 209.1 for the unauthorized re-construction of the non-complying structure within the required rear yard.

PROPERTY INFORMATION

The Property is located at 2027 20th Avenue (between Pacheco and Quintara Streets) within the RH-1 (Residential, House, One-Family) Zoning District and 40-X Height and Bulk District. The subject lot is approximately 25 feet wide by 120 feet deep and previously contained a one-story, single-family dwelling constructed in 1925. The dwelling unit structure was located towards the rear of the lot and partially within the required rear yard of 30 feet (25% of lot depth¹) with a separate garage structure located at the front of the lot.

¹ It should be noted that pending legislation before the Board of Supervisors (Board File No. 190048) would increase the rear yard requirement from 25% to 30% in all RH-1, RH-1(D) and RH-1(S) Zoning Districts.

BACKGROUND

On September 11, 2015, the Department of Building Inspection (DBI) issued Building Permit Application No. 200804048918 (Original Permit) to allow a three-story vertical and horizontal addition to the existing single-family dwelling on the Property.

On January 1, 2018, DBI received Complaint No. 201830781 alleging the following: "Demolition started on this property over a year ago and it was then abandoned. The exterior walls are still standing but without windows and doors, and the front property line is boarded up" (Exhibit A). DBI abated the complaint on January 12, 2018 noting "spoke to owner to keep place clean and work will start soon."

On October 17, 2018, DBI received Complaint No. 201899211 alleging the following: "Permit on file was for remodeling; not sure if the building was remodeled" (Exhibit B). DBI investigated the complaint and found that the Appellant exceeded the scope of work authorized under the Original Permit. Specifically, DBI found that walls were demolished which were shown to remain on the approved plans.

On November 1, 2018, the Appellant submitted Building Permit Application No. 201811014764 (Revision Permit) as a revision to the Original Permit to revise the extent of demolition work at the Property. Plans on file with this permit (Exhibit D of Appellant's Brief) include demolition calculations pursuant to Planning Code Section 317 (Sheet A1.1), existing and proposed floor plans (Sheet A-2) and existing and proposed side elevations (Sheets A-5 and A-6). Sheet A1.1 states the proposed remodel of the existing single-family dwelling would not be a demolition under Planning Code Section 317 given the amount of the building that would be retained. Sheet A1.1 indicates minor changes to the east and west (front and rear) walls with the note "additional demo proposed due to termite and dry rot damage." This note does not apply to the north and south side walls or most of the roof (which are show as

Board of Appeals Brief
Appeal No. 19-058
2027 20th Avenue
Hearing Date: July 31, 2019

remaining on Sheet A1.1). Sheet A-2 again depicts the revised scope of demolition as minor changes to the front and rear walls (see clouded areas highlighting the revisions on Sheet A-2). Sheet A-2 depicts the north and south side walls as “existing wall to remain” and do not note any demolition or new walls in these locations. Sheets A-5 and A-6 again note the north and south side walls as “wall remains.”

On January 24, 2019, the Planning Department approved the Revision Permit.

On February 15, 2019, DBI issued the Revision Permit.

On March 25, 2019, received Complaint No. 2019-004623ENF (Complaint) alleging that the Appellant completely demolished the single-family dwelling when it should have been remodeled.

On March 29, 2019, the Acting Zoning Administrator issued a Suspension Request to DBI for both the Original and Revision Permits (Exhibit C).

On April 9, 2019, the Planning Department issued a Notice of Complaint to the Appellant in response to the Complaint.

On April 10, 2019, Planning Department enforcement staff received photos from the complainant showing that the single-family dwelling had been demolished by October 2018 and photos showing the state of the property in March 2019 (Exhibit D).

On April 11, 2019, the Planning Department issued a Notice of Enforcement (NOE) to the Appellant. The NOE outlined the alleged violations of the Planning Code and advised the Appellant to take corrective actions and provide evidence of compliance to the Planning Department within 15 days.

On April 12, 2019, the Appellant filed Appeal No. 19-035 on the Suspension Request.

On April 25, 2019, Planning Department staff performed a site visit and confirmed the violation.

Board of Appeals Brief
Appeal No. 19-058
2027 20th Avenue
Hearing Date: July 31, 2019

On May 14, 2019, the Acting Zoning Administrator issued a Notice of Violation (NOV) to the Appellant. The NOV found the Appellant to be in violation of 1) Planning Code Section 317 for the unauthorized demolition of the single-family dwelling on the Property without Conditional Use Authorization and 2) Planning Code Section 209.1 for the unauthorized reconstruction of the non-complying structure within the required rear yard. The NOV provided the Appellant with 15 days to either correct the violation or appeal the NOV by either requesting a Zoning Administrator Hearing or appealing the NOV directly to the Board of Appeals.

On May 28, 2019, the Appellant withdrew Appeal No. 19-035. As such, the Suspension Request is now final.

On May 29, 2019, the Appellant filed Appeal No. 19-058 on the NOV.

ISSUES ON APPEAL

On July 11, 2019, the Appellant filed a brief; however, the Appellant failed to provide any evidence that the Acting Zoning Administrator erred or abused their discretion in issuing the NOV².

The Appellant argues that the demolition at issue in this case involves dry-rotted framing; however, the Appellant fails to provide adequate evidence that the structure was inflicted with dry-rot. Specifically, the Appellant fails to demonstrate that the side walls or roof elements of the building were dry-rotted and in need of replacement. Additionally, it is noted that the complaint history indicates the building was abandoned for some time after construction began and the Appellant may not have taken the necessary steps to weatherize,

² It should be noted that while the Appellant facilitated a site visit to the Property by Planning Department staff on April 25, 2019 and appealed the issuance of the Suspension Request and NOV, the Appellant has otherwise failed to respond to the Planning Department. The Appellant's July 11, 2019 Appeal Brief is the first substantive response to the Planning Department on this matter.

Board of Appeals Brief
Appeal No. 19-058
2027 20th Avenue
Hearing Date: July 31, 2019

protect, preserve, or otherwise maintain the property during construction. The Appellant fails to account for how their actions may have contributed any deterioration of the building.

The Appellant argues that dry-rotted framing is allowed to be replaced under Planning Code Section 317. While Planning Code Section 317 does allow for removal and replacement of exterior elements of a building for repair or maintenance, the Appellant has not sought or received authorization for such removal or replacement. **This failure is documented in their Revision Permit, which makes no mention of the purported dry-rotted conditions of the side walls/roof or need to replace nearly all elements of the single-family dwelling.** It is noted that the Revision Permit was submitted after the demolition took place. As such, the full extent of the dry rot would have been known to the Appellant at that time. Instead, the Appellant crafted the Revision Permit in a manner to avoid further scrutiny (by showing the side walls and most of the roof to be maintained). This sophisticated behavior to sidestep the Planning Code does not comport with the depiction of the parties in the Appellant's brief (with "an out-of-town contractor" that "was not aware of one of the lesser known rules"). Now that the Appellant has been confronted with photographic evidence confirming demolition of the structure, they cannot hide that the structure was demolished (or "dismantled") and reconstructed. In response, their argument has apparently shifted to claim that the entire building was dry-rotted and in need of replacement (which is contradicted by the plans the Appellant submitted for the Revision Permit).

Further, while Planning Code Section 317 does allow for removal and replacement of exterior elements of a building for repair or maintenance, it does not supersede any requirements for or restrictions on non-complying structures and their reconstruction as governed under the Planning Code. As noted in the NOV, a portion of the single-family dwelling was located within the required rear yard. As such, reconstruction of that portion of the building

Board of Appeals Brief
Appeal No. 19-058
2027 20th Avenue
Hearing Date: July 31, 2019

is not allowed without a rear yard variance. The Appellant has not obtained a rear yard variance to allow reconstruction of the building and did not address this fact in their appeal brief.

CONCLUSION

In light of the forgoing, the Planning Department respectfully requests that the Board of Appeals deny the appeal and uphold the Acting Zoning Administrator's Notice of Violation (NOV) finding the property to be in violation of the Planning Code.

Attachments:

Exhibit A: DBI Complaint No. 201830781
Exhibit B: DBI Complaint No. 201899211
Exhibit C: Suspension Request
Exhibit D: Photographs

Cc: Thomas Tunny (by email) – Attorney for Appellant

Complainant's
Phone:
Complaint
Source:
Assigned to
Division:

311 INTERNET REFERRAL

BID

Division:

BID

Description:

2027 20th Avenue --- Demolition started on this property over a year ago abandoned. The exterior walls are still standing but without windows and property line is boarded up. I suspect there are vermin living there as we have problems with raccoons than in the past, and it has been a graffiti magnet (8463267)

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144		

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
01/10/18	CASE OPENED	BID	Schroeder	CASE RECEIVED	
01/11/18	OTHER BLDG/HOUSING VIOLATION	BID	Schroeder	CASE UPDATE	case reviewed district inspection
01/12/18	OTHER BLDG/HOUSING VIOLATION	BID	Chan	CASE CLOSED	SPOKE TO OWNER PLACE CLEANUP START SOON

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Complainant's

Phone:

Complaint

Source:

Assigned to

Division:

Description:

311 INTERNET REFERRAL

BID

permit on file was for remodeling; not sure if the building was remodeled

Division:

BID

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	O'LEARY	6332	13	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
10/17/18	OTHER BLDG/HOUSING VIOLATION	BID	O'Leary	CASE UPDATE	case reviewed inspector. bk
10/17/18	CASE OPENED	BID	O'Leary	CASE RECEIVED	
10/18/18	BID INSPECT REQUEST	BID	O'Leary	CASE UPDATE	I recieved a call into the valid: has gone past one was on site so i left a door information a contact me. J done on the d approximetly
10/19/18	OTHER BLDG/HOUSING VIOLATION	BID	O'Leary	CASE UPDATE	a site visit wa meeting with OCT 18TH.A drawings and conditions ap walls have de shown on the of violation w the next 5 day
10/22/18	OTHER BLDG/HOUSING VIOLATION	INS	O'Leary	FIRST NOV SENT	First NOV iss
10/24/18	OTHER BLDG/HOUSING VIOLATION	INS	O'Leary	CASE UPDATE	First NOV ma
01/02/19	BID INSPECT REQUEST	BID	O'Leary	CASE UPDATE	they have a p performed 20

Exhibit C



SAN FRANCISCO PLANNING DEPARTMENT

Suspension Request

March 29, 2019

Tom Hui, CBO, SE
Director
Department of Building Inspection
1660 Mission Street
San Francisco, CA 94103

Building Application Nos.: 200804048918 and 201811014764
Property Address: 2027 20th Avenue
Block and Lot 2140/004A
Zoning District: RH-1 / 40-X
Staff Contact: Gabriela Pantoja - (415) 575-8741
Gabriela.Pantoja@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Dear Mr. Hui,

This letter is a request for the Department of Building Inspection (DBI) to suspend **Building Permit Applications Nos. 200804048918 and 201811014764** for the property at 2027 20th Avenue.

Building Permit Application No. 200804048918 was reviewed and issued for the construction of a "three story front vertical and horizontal addition to an existing single-family dwelling; 4 bedrooms, 5 baths, living room, dining room, kitchen, family room and two-car garage" on September 11, 2015. Thereafter, a revision permit, **Building Permit Application No. 201811014764**, was reviewed and issued on February 22, 2019 for additional alterations to the building's previously approved configuration.

Since the issuance of **Building Permit Applications No. 200804048918 and 201811014764**, the Planning Department has received a complaint along with supporting documentation and photographic evidence that indicates construction at the subject property does not conform with the previously approved plans and exceeds the allowable scope of work. In particular, the complaint and supporting documentation indicate the existing building at the subject property has been demolished beyond that scope of work in the approved Building Permit Applications. Such demolition has not been reviewed and approved by the Planning Department for compliance with the Planning Code.

Therefore, the Planning Department requests the suspension of **Building Permit Applications Nos. 200804048919 and 201811014764** to allow the Permit Holder to take the necessary steps and procedures to comply with the Planning Code. This suspension shall apply to all work currently underway at the subject property.

Exhibit C

Tom Hui, Director DBI
Suspension Request
2027 20th Avenue
March 29, 2019

APPEAL: Any aggrieved person may appeal this letter to the Board of Appeals within fifteen (15) days after the date of the issuance of this letter. For further information, please contact the Board of Appeals in person at 1650 Mission Street, Room 304, or call 575-6880.

Sincerely,

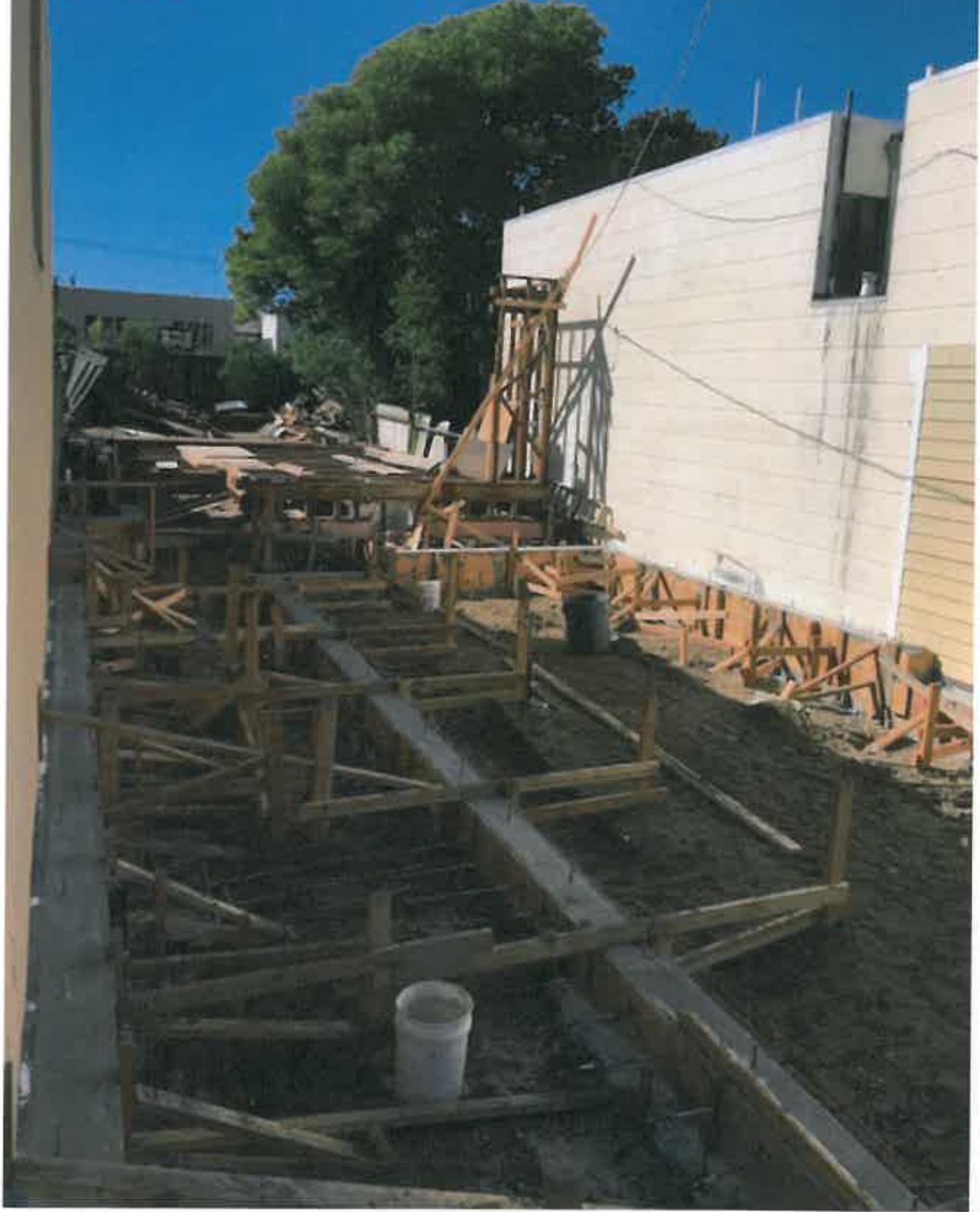


Scott F. Sanchez
Acting Zoning Administrator

CC: Lee Family Trust, 390 Magellan Avenue, San Francisco, CA 94116
Ed Sweeney, Deputy Director, Department of Building Inspection
Joseph Duffy, Senior Building Inspector, Department of Building Inspection
Mauricio Hernandez, Building Inspector, Department of Building Inspection
Jaime O'Leary, Building Inspector, Department of Building Inspection

10-06-2018

Exhibit D



10-14-2018

Exhibit D



10-14-2018

Exhibit D



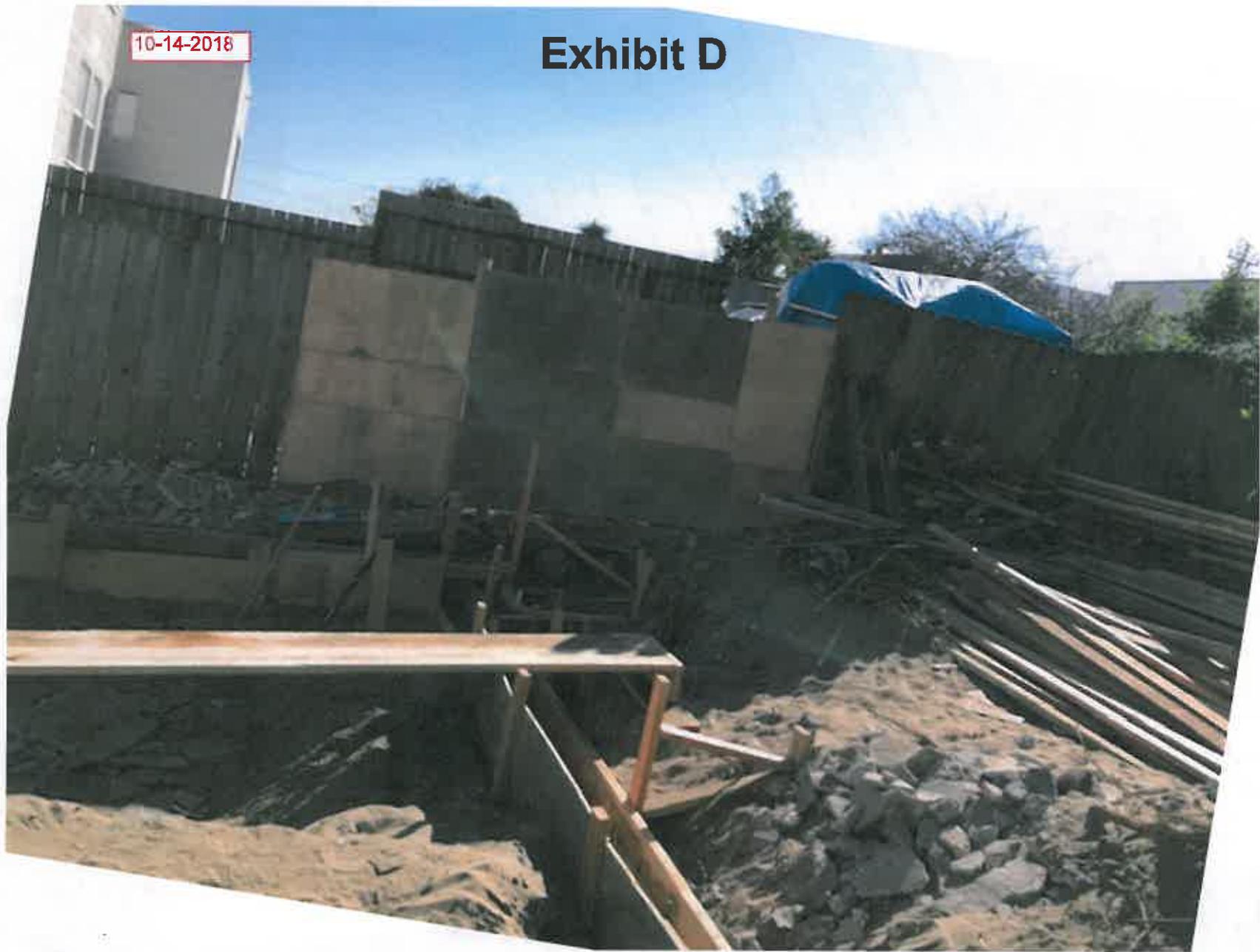
10-14-2018

Exhibit D



10-14-2018

Exhibit D















United
SITE SERVICES
1-800-TOILETS






NO PARKING
UNAUTHORIZED
VEHICLES WILL BE
TOWED AWAY
AT VEHICLE
OWNER'S EXPENSE