

BRIEF(S) SUBMITTED BY DETERMINATION HOLDER(S)

REUBEN, JUNIUS & ROSE, LLP

September 24, 2020

President Ann Lazarus
San Francisco Board of Appeals
1650 Mission Street, Room 304
San Francisco, CA 94103

Re: Appeal Nos. 20-055, 20-059, and 20-058
Subject Property: 50 Seward Street
Site Permit No.: 201704194301
Permit Holder's Brief
Our File No.: 11759.01

Dear President Lazarus and Members of the Board:

This office is working with Kelley Friedgen and Kyle Johnson, the owners of 50 Seward Street (the "Property"). Kelley and Kyle and their two children (3 and 5 years old) have lived at the Property for five years. They are currently in Switzerland on a 15-month rotation for work, expecting to return in August 2021. Their approved project consists of a new third floor at the street level and a front horizontal addition (the "Project"), with most of the additional floor area going to a new second unit. Kelley and Kyle are not developers or speculators, as alleged by one appellant. The Project will allow them a modest expansion of their existing unit (2,500 sq. ft. to 2,896 sq. ft., 4 bedrooms before and after) and a re-programming of the space to accommodate their family needs: growing children, an increasing need to work from home in this new economy, two full sets of living/visiting grandparents, and a large extended family.

The Project also restores a second unit of unknown original size that was unlawfully removed by the prior owner. This unit is now full-sized (1,718 sq. ft., 3 bedrooms) and suitable

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for a family or other multi-person housing arrangement. The Project brings the Property to the zoning's desired density (RH-2 district), consistent with a number of nearby multi-unit buildings. It goes without saying that the City needs all the new housing it can get, especially modestly-sized units for families. (Project renderings are attached as Exhibit 1; the approved Project plans are attached as Exhibit 2.)

Before this Board are three appeals of the Planning Commission's approval of the Project at a discretionary review hearing on September 12, 2019. All three appellants also requested discretionary review.

I. SUMMARY OF ARGUMENT

We respectfully submit that the appeals should be denied for the following reasons:

- Demolition Calculations. Two of the appeals allege violation of the allowed demolition thresholds, in particular appellant Mr. Pincow. Each and every allegation, including those of consulting architect Arnie Lerner, are addressed below. In sum, the amount of proposed demolition throughout the Project's evolution has remained well within the allowed thresholds. Planning Department staff will confirm this. Demolition calculations are complicated and can be confusing, but the Project architect, John Lum Architecture, has been doing them since the current controls were instituted. In fact, Planning Department staff from time to time has requested to use John Lum's demolition calculation sheets as an example for other projects.

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- Residential Design Guidelines (“RDGs”). The RDGs are intended to promote design that will protect neighborhood character. The RDGs do not require matching adjacent buildings in a neighborhood, but ask for appropriate scale and detailing. The Planning Department’s Residential Design Advisory Team (“RDAT”) reviewed the Project a second time after the discretionary review requests were filed, to consider the issues raised by the requests. RDAT found that the Project “does not present an exceptional or extraordinary circumstance with respect to height, scale, neighborhood character, light, privacy, and parking.” (Planning Commission Staff Report, June 6, 2019 Hearing, Exhibit 3.) RDAT’s detailed analysis is provided below in Section III.A.3. The Project’s design, height, and massing are appropriate in a neighborhood where three- and four-story buildings are common (the building two appellants live in is four stories with three units and the adjacent building to the south is three stories with two units); the neighborhood design is decidedly mixed. The RDGs also seek to minimize undue light, air, or privacy impacts on neighbors. This Project causes none, as confirmed by Planning staff and the Planning Commission. Mr. Hillan in particular lives three houses down the block. Mr. Pincow and appellants Fitzgerald/Mitelman live across the street and uphill from the Property in a three-unit, four-story building. The primary impact is on their view. Views are not protected and the view is far from blocked; the Project is simply visible from their units. Only Mr. Pincow has any new shadow, which staff and the Planning Commission found to be minimal (his building is south of the Property). The

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Project's shadow study proved this true. The greatest single daily impact is 40 minutes of new shading before 7:00 a.m. at the summer solstice, the longest day of the year. The shading decreases each day before and after this until there is no new shadow, which is the case for over seven months of the year. Access to sun on the Carson Street side of the Property is actually improved by the Project because of reductions in the existing massing in the rear. Staff will confirm this, as well.

- Front Setback. The front setback has been checked and re-checked by the Project planner, RDAT, the Zoning Administrator, and the Planning Commission, and confirmed to be code-complying. The setback is determined by averaging the two adjacent front yards. The two adjacent properties here present an unusual circumstance because the front property lines are angled and the buildings are stepped/angled versus being aligned with each other. The intent of the averaging rule is to ensure that front yards have a consistent neighborhood pattern. The Project's front setback achieves this, with an angled and stepped setback that transitions contextually from the north neighbor to the south, meeting both the letter and intent of the Code. Staff can confirm this one more time.
- Additional Issues. The remainder of the appellants' issues are addressed below in Section III.

II. PROJECT AND PROCEDURAL BACKGROUND

As stated, the Johnsons have two children, age 3 and 5 years old, and both sets of grandparents (and other extended family) frequently stay with them. (Please see Exhibit 4). When the Johnson's bought their house in 2015, it was listed and sold to them as a single-family home and documented as such in the City's Property Information Map. Upon submitting for the permit to expand their house, it was discovered in the 3R report that a second unit existed in the past, and was removed without permits by the prior owner. From the initiation of the Project, the Johnsons' plans have always included adding a second unit.

The resulting Project allows the Johnsons to have three bedrooms on one level so that their young children can sleep on the same level as their parents, and a fourth bedroom for visiting grandparents. With work from home now becoming a way of life (though it was the case for the Johnsons even before the pandemic), having a home office that is separate from the children is a necessity for both parents.

The restored second unit is 3 bedrooms and 1,718 square feet. It is three stories tall, with a bedroom at street level, a living room, kitchen and entry one level below, and two additional bedrooms at the basement.

The Project has gone through numerous revisions in response to neighbors' and Planning Commission input, starting with the pre-application meeting on March 23, 2017, then revisions requested by the RDAT on April 13, 2018 (reduction of rear building mass and lowering of roof), and finally the 311 process with a discretionary review hearing on June 6, 2019 (resulting

in a continuance to September 12, 2019). At the June 6, 2019 hearing, the Planning Commission requested the addition of an accessory dwelling unit (“ADU”) at street level, a reduction of the main unit’s square footage, and the modification of south-facing windows. (Please see [Exhibit 5](#) (Hearing video link).)

The architect followed the Commission’s directive to add an ADU. Given site constraints, the ADU required two waivers, which the Zoning Administrator was willing to grant, but given additional restrictions disallowing the usage of existing habitable space for the ADU, the resulting floor area was quite small at 281 square feet.

At the follow-up discretionary review hearing on September 12, 2019, the Commission deliberated on the practicality of requiring such a small ADU (See [Exhibit 6](#) (Hearing video link)), ultimately reversing their direction to add the ADU. Instead, they required the square footage to be incorporated into the second unit, resulting in a larger, three-bedroom family-sized unit of 1,718 sq. ft. With this change, the Planning Commission approved the project.

III. DETAILED RESPONSE TO APPELLANTS’ ALLEGATIONS

A. *Pincow Appeal*

1. Demolition Allegations

Mr. Pincow raises a number of allegations concerning the Project’s demolition calculations, most importantly that the proposed demolition exceeds the allowed amounts in Planning Code Section 317. Section 317 provides that demolition can occur in one of two ways,

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as set forth in the following two subsections of Section 317. Each subsection sets forth two thresholds, both of which must be exceeded to find a demolition:

- (1) the “Removal of more than 50% of the sum of the Front Facade and Rear Facade and also proposes the Removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level” [Planning Code Section 317(b)(2)(B); emphasis added]; or
- (2) the “Removal of more than 50% of the Vertical Envelope Elements and more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area”. [Planning Code Section 317(b)(2)(C); emphasis added.]

The Project’s demolition calculations demonstrate that the Project has at all times complied with both of these standards. Under Section 317(b)(2)(B), the Project removes more than 50% of the Front and Rear Facades, but removes only 40.6% of the sum of exterior walls measured in a lineal fashion. This is well under the 65% limit. Thus, no demolition under 317(b)(2)(B).

Under Section 317(b)(2)(C), the Project removes 40% of the Vertical Envelope Elements and 47.5% of the Horizontal Elements. The Project is under the 50% requirement for both these elements. Thus, no demolition under 317(b)(2)(C).

The demolition calculation drawings and tables are attached as Exhibit 7. Staff will confirm that these are accurate and that the Project complies with the Code.

We now address each of Mr. Pincow’s particular assertions with responses:

a) The Project is subject to the Building Code demolition controls. Mr. Pincoff argues the Project is subject to the demolition controls set forth in the S.F. Building Code's provisions for unlawful demolitions (S.F. Building Code Section 103A.3.2). This is incorrect. Neither the Planning Department nor the Department of Building Inspection ("DBI") rely on the Building Code to determine whether a proposed Project is a *de facto* demolition. The Building Code is too vague for this. Determining how to calculate the percentage of demolition of interior elements under Section 103A.3.2, for example, is not defined.

Instead, both Departments rely on Planning Code Section 317 for this determination. Not only are the demolition calculations in Section 317 more clearly defined, but having this one standard gives project sponsors certainty in knowing the applicable controls.

b) The Planning Department was concerned with the demolition calculations. Plans as submitted normally go through revisions as comments by Planners are taken into account. This is standard practice and discussions about demolition are common.

c) The demolition calculations have changed over time. We agree that the demolition calculations have changed through the numerous revisions to the Project. Many of these revisions were made to address neighbor concerns. For example, a small amount of new demolition is needed to accommodate the request to reduce the profile of the rear façade and reduce shadowing on neighbors. More of the rear façade had to be removed. Additional modifications required during the discretionary review process resulted in other changes in the

demolition calculations. Again, however, the demolition calculations have and remain still well within the allowed limits.

d) Erroneous calculation. After rechecking the documentation, we agree with Mr. Pincow that there is a typo with the documentation of one wall. It is correct that 17'-7" of wall is being removed from the Project, as shown on the plans. The table titled Sum of Front and Rear Facades inadvertently lists the removal as 21'-2", which was the prior amount. The amount of front and rear facades to be removed as shown in the table was therefore greater than it actually was, and the percentage of demolition was less than what the Table shows. As Staff will confirm, the Project remains in compliance with the Code.

e) Not all the areas of demolition have been calculated. The slatted portion of the building that Mr. Pincow refers to in Front Perspective #3 is a new wall that is being built at the property line. It is not a demolition of an existing wall, and therefore doesn't get counted as such.

Mr. Pincow is correct in pointing out that a portion of the existing garage wall and a new window were not accounted for in the vertical envelope elements calculation for the south-facing wall. This amounts to an additional 34 square feet of wall, which adds 1% to the wall removal. This makes the total vertical envelope element being removed 40%, rather than 39%. The Project remains well under the 50% threshold.

It is also correct that the removal of a portion of the second floor for the elevator shaft was inadvertently omitted from the calculations, as was the opening for the staircase connecting

the lower unit to the removed ADU space. On the other hand, the floors at the bay windows on the third floor do not need to be removed, so that reduces the amount of demolition. The net result is a 0.9% increase in the total horizontal elements removed. The total is 47.5%, which is still below the 50% threshold.

Additional updates to the calculations are that the parapet wall at the front façade can be excluded because it is not acting as an envelope element. The south facing wall has additional areas removed than what is shown, at the small lightwell and on the third floor at the rear setback. These updates cancel each other out with respect to the amount of demolition and therefore do not change the Project's calculations and compliance.

The Planning Department's instruction for documenting a new opening for a door or a window does not constitute the removal of the wall/façade at foundation level. It appears that Mr. Pincoff is incorrectly combining the two definitions of demolition.

f) The manner in which the calculations have been graphically presented. The shading and other graphic techniques employed to show vertical elements and areas of removal are the accepted standard the Planning Department uses to document demolition calculations. John Lum Architecture has been using this methodology on all their projects since the demolition requirements were implemented. As stated, their drawings have been used as an example by the Department for use in other projects.

In conclusion, although there were identified discrepancies, the Project continues to remain well within the Section 317 thresholds, and therefore, is not a demolition, as Staff can confirm.

2. *The Arnie Lerner Letter*

Architect Arnie Lerner states he has “concerns about the accuracy of demolition calculations.” We note he does not identify any violation of the demolition thresholds, or any other code or regulation. He supports his concern about demolition by accumulating the proposed walls to be retained, not removed, and concluding that since the dimension string adds up to 25’-1”, the calculations are incorrect. It appears Mr. Lerner is unaware that the lot width is not a standard 25’, but actually 28’-9”.

Mr. Lerner then refers to side elevation drawings, saying they do not show any demolition. He concludes, “there is simply not enough information in the materials provided by the project sponsors to support their conclusions.” We believe he is basing his opinion on incorrect drawings, as he references Sheet A3.03 Exterior Elevations- Side (South) Existing/Demo and A3.04 Exterior Elevation- Side (South) – Proposed which do not document the demolition calculations. The demolition calculations are presented on Sheets A0.06, A0.07 and A0.08, which graphically show and tabulate the areas of demolition. (See Exhibit 7.)

Lastly, the Planning Department determined that the Property is not a historic or cultural resource under the California Environmental Quality Act (“CEQA”), and that the Property is not

located in a historic district; hence a Categorical Exemption from CEQA was approved for the Project. (See Exhibit 8, Categorical Exemption.) The Project's preservation expert, Stacy Farr, came to the same conclusions in a Historic Resource Evaluation prepared for the Project. (See Exhibit 9 – Historic Resource Evaluation.) Mr. Lerner does not produce any evidence that contradicts the determinations of the Planning Department or Ms. Farr.

3. *RDG Allegations*

Mr. Pincow asserts that the Project was approved erroneously as it is not compatible with the neighborhood and, therefore, the RDGs. Mr. Pincow bases this allegation on the existence of similar houses uphill from the Property. But these houses can't be viewed in isolation, as Mr. Pincow does, thereby failing to recognize that the neighborhood as a whole has a mixed character. For example, none of the residences down the hill toward Douglass Street conform to the visual characteristics of the houses uphill from the Property nor to each other, including the adjacent neighbor to the south of the Property, which is three stories tall, Mr. Pincow's own building across from the Subject Property, which is four stories in height, or the neighbor adjacent to Mr. Pincow's building to the northwest, which is three stories. The building adjacent to Mr. Pincow's on the other side is a three-story, six-unit apartment building. (See Exhibit 2, p. 5.)

The RDGs do not require matching adjacent buildings in a neighborhood, but ask for appropriate scale and detailing, and consideration of the neighborhood as whole. [RDG at p. 5.]

Inconsistency with one or a few houses can't be the rule for compliance; if so, every proposed design would be non-compliant. Planning Department staff and the Planning Commission recognized this and found the Project consistent with the RDGs. The RDAT reviewed the Project after the discretionary review requests were filed to consider the issues raised by the requests, and found that the Project "does not present an exceptional or extraordinary circumstance with respect to height, scale, neighborhood character, light, privacy, and parking." RDAT further found as follows in the Staff Report for the June 6, 2019 Planning Commission hearing:

1. The street is a mix of buildings that range in height from 2- 4 stories. The high roof parapets of the adjacent existing 2-story buildings along with the modest height of the proposed 3rd story addition result in a building half a story higher than its lower neighbors. This range is typically considered compatible with the scale of the buildings at the street. It is also worth noting that horizontally expanding the building to the front and reducing massing at the rear improves the condition at the rear.
2. The proposed addition is compatible with the architectural character of the street through the use of material (stucco) and use of window scale, pattern, and proportion that keeps with the surrounding character.
3. The roof lines of shaped parapets and tile mansard roofs over angled bays of the Mediterranean style houses are one of several roof forms found in this block. The

proposed roof form of the project is defined with a slightly projecting horizontal band and is thus not out of character with the surrounding buildings.

4. Though the location of the entrance and garage has changed the essential scale and pattern of a recessed entrance is retained.
5. The vertical addition combined with a horizontal expansion toward the front will change light to some effect, but most of the shading will fall on the roof of the adjacent building to the north and to the street. The additional shading was deemed to be de minimis.
6. The impacts to privacy are also considered to be minimal and normal with buildings that are setback and face each other across a street 45'-6" right-of-way.
7. On-site parking is not required by the Planning Code. The project is proximate to transit rich options. On-street parking is not regulated by the Planning Department, nor is it known how the construction of this project will temporarily impact on-street parking or pedestrian safety. DBI and DPT regulate street use and construction hours. It is assumed the project sponsor will follow all applicable normal rules and regulations during construction.

(Planning Commission Staff Report, June 6, 2019 Hearing, Exhibit 3.)

Mr. Pincow states that “the Planning Department has a legal obligation to actually apply the RDG, not just state that a project complies with the RDG ...”, yet he does not demonstrate how the Project is out of compliance with the RDGs, and he ignores RDAT’s careful analysis.

We have addressed his shading allegations above. (See Exhibit 10 (Sun Studies).)

Finally, the existing building is not a historic resource; therefore, the Planning Code and Planning Department regulations permit the front façade to be altered.

B. Hillan Appeal

Mr. Hillan argues that the method of averaging in determining the front setback under Planning Code Section 132 was erroneous. As this is an unusual circumstance with the two adjacent lots having angled front property lines and angled and stepped front facades, the averaging of the front yard required an interpretation from the Zoning Administrator. The intent of the averaging rule is to ensure that additions will respect the neighborhood pattern and do not result in additional square footage than would be allowed under a numerical standard.

For an angled lot, one first must determine the setback following the angle of the front property line. One can then place square footage in front of this setback, as long as the square footage is subtracted behind the setback – a stepping effect. (See Exhibit 11 - front setback diagram). The Project’s front yard setback was reviewed and approved by the Project planner, RDAT, the Zoning Administrator, and the Planning Commission. Mr. Hillan questioned the front

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yard setback during the discretionary review proceedings. After the Planning Commission approval, he continued to question the Project planner, who brought it to the Zoning Administrator, who determined that the front yard averaging had been interpreted correctly. (See Exhibit 12 - Corey Teague email.)

Mr. Hillan points to a particular provision of Planning Code Section 132, which provides that when averaging, “all portions of the resulting setback area on the subject property shall be directly exposed laterally to the setback area of the adjacent building having the greater setback.” Mr. Hillan interprets this to mean that the entire area of the setback must be completely exposed to the adjacent building with the greater setback. But that can’t be the rule or no “stepping” would be allowed with averaged front setbacks. Every front façade that relies on averaging would have to be a flat horizontal plane. Instead, the rule is as the Zoning Administrator concluded, that all areas must have some exposure to the adjacent building with the greater setback, which is the case here.

Mr. Hillan’s suggestion that the Project architect forced a favorable response through improper pressure is evidence only of the weakness of his arguments.

Mr. Hillan raises the same unfounded arguments as Mr. Pincow concerning consistency with the RDGs. He improperly focuses on the character of a few houses on the street, where consideration of the whole is required.

C. *Mitelman-Fitzgerald Appeal*

Appellants Mitelman-Fitzgerald also allege the Project exceeds the allowed demolition thresholds. They offer no evidence different than the assertions made by Mr. Pincow. For the same reasons we have described in response to Mr. Pincow, appellants Mitelman-Fitzgerald are incorrect.

They also imply that the Johnsons' motivations are somehow inappropriate and they state the Johnsons may seek to mislead this Board in describing the neighborhood support for the Project. We do not believe such *ad hominem* arguments bear discussion. We would note, however, the Johnsons have invited their neighbors to be a part of this process since embarking on this renovation over three years ago. In fact, the Johnsons met separately with appellants Mitelman-Fitzgerald in their home after the appellants explained they were not available for the pre-application meeting the Johnsons held on March 23, 2017, in their home for neighbors. (Notably, appellant Hillan did not attend this meeting, nor did he ever contact the Johnsons prior to filing his discretionary review request. Appellant Pincow did not yet live in his current residence when the initial permits were filed in April 2017.) The Johnsons have met with appellants Mitelman-Fitzgerald and Hillan at their home and at their architect's office and spoken twice by teleconference with appellant Pincow since each filed their discretionary review requests. These meetings have been cordial and respectful.

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While the Johnsons have not agreed with the conclusions of appellants Mitelman-Fitzgerald, Hillan or Pincow, they have appreciated the appellants' willingness to meet and to explain their point of view. The Johnsons have, in fact, adapted the plans over time to address the appellants' concerns as well as those of other neighbors and the RDAT. While they did not attend the discretionary review hearings, several neighbors did submit letters of support of this project (See Exhibit 13.) The stated motivations of the Johnsons have remained unchanged throughout.

The Appellants also assert they may have missed an opportunity to appeal the Project by not having been provided notice of the Planning Commission's approval of the Project. There is no such requirement that they be provided notice, and there was no missed opportunity to appeal. This appeal is their next opportunity.

Lastly, appellants Mitelman-Fitzgerald allege that the ADU was improperly removed from the Project, levying yet another personal attack, this time against the Project architect. The appellants' brief presents their argument as if they were unaware that the Planning Commission required the removal of the ADU from the Project. We note the Commission discussed this removal at length, put it to a vote, and then mandated the removal and relocation of this square footage to the lower unit at the discretionary review hearing on September 12, 2019, which appellants Mitelman-Fitzgerald attended. Additionally, they have cited the video and the

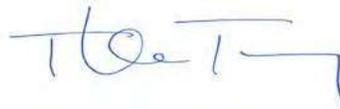
transcript of this hearing in their brief filed in this action (though the transcript link was to the September 19, 2019 Planning Commission hearing.)

IV. CONCLUSION

The approved Project is a creative, tasteful, sensitive, imaginatively-designed proposal that stays far below the allowed building envelope yet still achieves desired density with two reasonably-sized units suitable for families. The appellants' allegations concerning demolition, the front setback, neighborhood character, and a variety of other Project components are without merit. As such, we respectfully request that the appeals be denied.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Thomas Tunny

Enclosures

cc: Julie Rosenberg, Board of Appeals Executive Director
Corey Teague, Zoning Administrator
Scott Sanchez, Acting Deputy Zoning Administrator

List of Exhibits

- Exhibit 1 Project Renderings
- Exhibit 2 Approved Project Plans
- Exhibit 3 Planning Commission Staff Report
- Exhibit 4 Property Owner's Letters with Family Photos
- Exhibit 5 Planning Commission Hearing Video Link (6/6/19)
- Exhibit 6 Planning Commission Hearing Video Link (9/12/19)
- Exhibit 7 Demolition Calculations Drawings and Tables
- Exhibit 8 Categorical Exemption Determination
- Exhibit 9 HRE Report
- Exhibit 10 Sun Study
- Exhibit 11 Front Setback Diagram
- Exhibit 12 Correspondence from Corey Teague
- Exhibit 13 Letters of Support

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EXHIBIT 1



1
A0.03 PROPOSED FRONT PERSPECTIVE #1



2
A0.03 PROPOSED FRONT PERSPECTIVE #2



3
A0.03 PROPOSED FRONT PERSPECTIVE #3



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client : kelly friedgen & lytle johnson
san francisco, ca 94115

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (RDAT)	rk
01.15.19	Site Permit Rev 3	rk
02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk
10.23.19	Site Permit Rev 6 (DRA)	rk
06.02.20	Site Permit Rev 7	rk

APPROVED
Dept. of Building Insp.
- San Francisco -

August 19, 2020
201704194301_SITE DWGS-REV7

Patrick O'Riordan
PATRICK O'RIORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

PERSPECTIVES

A0.03

EXHIBIT 2

APPROVED

Dept. of Building Insp.
- San Francisco -

August 19, 2020
201701494301_SITE APP FORM 3

Patrick O'Riordan
PATRICK O'RIORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION



Capacity Charges
Water: \$2815
Sewer: \$7388
2/6/20
DC 7/17/20

SITE PERMIT
APR 19 2017
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.
ENLARGEMENT
BUILDING ENLARGEMENT DESCRIPTION
 VERTICAL
 HORIZONTAL

BLDG. FORM 318
APPLICATION NUMBER
2017.04.19.4301
OSHA APPROVAL REQ'D

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED APR 19 2017	FILED FEE RECEIPT NO. 17042860	(1) STREET ADDRESS OF JOB 50 SEWARD STREET	BLOCK & LOT 2701/024A
PERMIT NO. 20200810-169OL	ISSUED 08/19/2020	(2A) ESTIMATED COST OF JOB \$612,992	(2B) REVISED COST: BY: 1,870,000 jc DATE: 6/23/20

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V-B	(5A) NO. OF STORIES OF OCCUPANCY: 3	(6A) NO. OF BASEMENTS AND CELLARS: 1	(7A) PRESENT USE: SINGL FAMIL DWELLING	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS: X2
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. V-B	(5) NO. OF STORIES OF OCCUPANCY: 4	(6) NO. OF BASEMENTS AND CELLARS: 1	(7) PROPOSED USE (LEGAL USE) SINGL FAMIL DWELLING	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS: 2
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
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(14) GENERAL CONTRACTOR T.B.D	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
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(15) OWNER - LESSEE (CROSS OUT ONE) KELLEY FRIEDSEN / KYIE C. JOHNSON	ADDRESS 50 SEWARD ST	ZIP 94114	BTRCH#	PHONE (FOR CONTACT BY DEPT.) (410) 802-5603	CALL AGENT
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(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
RENOVATION & ADDITION TO SINGLE FAMILY DWELLING, ADDITION OF 2ND RESIDENTIAL UNIT. (N) 4TH FLOOR ADDITION, (N) 3 STORY ADDITION TO FRONT OF BUILDING, CONVERT (E) BASEMENT & 1ST FLOOR SPACE TO HABITABLE SPACE & CREATE (N) UNIT, (N) UNIT 2 (N) BEDROOMS 1 (N) BATHROOM.
(1) POWDER ROOM. FIRE SPRINKLER UNDER SEPARATE PERMIT

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT 28'-7"	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> JOHN LUM JOHN LUM ARCHITECTURE INC	ADDRESS 3246 17TH STREET SAN FRANCISCO CA 94110	CALIF. CERTIFICATE NO. 21837	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") UNKNOWN		ADDRESS	

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.
Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.
Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.
ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.
APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).
THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.
CHECK APPROPRIATE BOX
 OWNER
 LESSEE
 CONTRACTOR
 ARCHITECT
 AGENT
 ENGINEER

APPLICANT'S CERTIFICATION

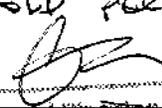
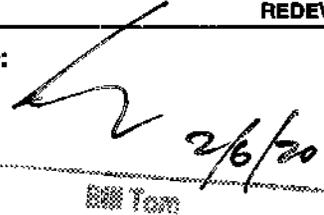
I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREOF WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.
In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.
I hereby affirm under penalty of perjury one of the following declarations:
() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
() II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
() III. The cost of the work to be done is \$100 or less.
() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fall to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
X V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent: *T.B.D* Date: 04/19/2017
OFFICE COPY APR 19 2017

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED:  Jimmy Cheung DEPARTMENT OF BUILDING INSPECTION June 23, 2020 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: APPROVED PERMITS TO LFC DISCRETIONARY PERMITS BEYOND UTILITY QUOTE FOR PERMITS MUST MAINTAIN EXISTING BUILDING THRESHOLD PER SEC 317 OPA-0062  12/3/19 DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (415) 554-7149 TO SCHEDULE By  Rassen/Dennis, SFPW/BSM BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  DENNIS PUBLIC WORKS July 09, 2020 DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: REDEVELOPMENT AGENCY  DCHUNG PUBLIC UTILITIES COMMISSION July 17, 2020	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  2/6/20 SFPUC Bill Tom  SFPUC Capacity Charges See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges. HOUSING INSPECTION DIVISION SFPUC	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT

FRIEDGEN - JOHNSON RESIDENCE REMODEL

50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 568 9550 FAX 415 568 0554

ABBREVIATIONS:

& C @ #	AND ANGLE AT NUMBER
CL	CENTER LINE
PL	PROPERTY LINE
(E) (N) (R)	EXISTING NEW REPLACE
ABV.	ABOVE
ADJ.	ADJACENT
ALUM.	ALUMINUM
ARCH.	ARCHITECTURE
ASPH.	ASPHALT
BD.	BOARD
BASE BD.	BASE BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BOT.	BOTTOM
BM.	BEAM
B.U.	BUILT UP
CLG.	CEILING
CNTL.	CONTROL
CONT.	CONTINUOUS
CTR.	CENTER
CLR.	CLEAR
CLL.	CENTER LINE
DBL.	DOUBLE
D.F.	DOUGLAS FIR
DIM.	DIMENSION
DN.	DOWN
D.P.	DOUBLE POLE
D.S.	DOWN SPOUT
DWG.	DRAWING
E	EAST
EA	EACH
EL OR ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUIPMENT
EXP.	EXPOSED
EXT.	EXTERIOR
F.A.U.	FORCED AIR UNIT
FDN.	FOUNDATION
F.F.	FINISHED FLOOR
F.O.C.	FINISHED FLOOR ELEVATION
FIN.	FINISH
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.P.	FACE OF PLYWOOD
F.P.	FIRE PLACE
FURN.	FURNITURE
GA.	GAUGE
GALV.	GALVANIZED
GND.	GROUND
GYP BD.	GYP SUM BOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HOWD.	HARD WOOD
H.V.A.C.	HEATING VENTILATION, AIR CONDITIONING
I.	INSIDE DIMENSION
INSUL.	INSULATION
INT.	INTERIOR
JOI.	JOIST
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MANUF.	MANUFACTURER
MIN.	MINIMUM
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
O.V.	OVER
O.C.	ON CENTER
OPNG.	OWNER FURNISHED, CONTRACTOR INSTALLED
O.PNG.	OPENING
O.D.	OUTSIDE DIMENSION
P.C.	PLUMBING CHASE
PL.	PLATE
PLYWD.	PLYWOOD
PT.	PRESSURE TREATED
PT.	POINT
PTD.	PAINTED
R	RADIUS
RET. AIR	RETURN AIR
RM	ROOM
RDWD	REDWOOD
R.W.L.	RAIN WATER LEADER
S	SOUTH
S.S.D.	SEE STRUCTURAL DRAWINGS
SO. FT.	SO. FT. FOOT
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.P.	SINGLE POLE
SQ.	SQUARE
S.T.	STAINLESS STEEL
ST.	STEEL
STD.	STANDARD
SUP. AIR	SUPPLY AIR
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
THK.	THICK
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.F.	TOP OF FINISHED FLOOR
T.O.W.	TOP OF WALL
T.P.	TOILET PAPER HOLDER
T.R.	TOWEL RACK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VAR.	VARIABLE
V.D.C.	VERIFY DURING CONSTRUCTION
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W	WEST
W.	WITH
W.C.	WATER CLOSET
WD	WOOD
WP	WATER PROOF
W.H.	WATER HEATER

SYMBOLS:

EXISTING WALL	
NEW WALL	
NEW RATED WALL	
DEMO WALL	
LINE OVERHEAD OR HIDDEN	
CENTERLINE	
PROPERTY LINE	
DIMENSION TO FACE OF FINISH	
DIMENSION TO CL OF STUD	
DATUM LINE	
WINDOW SYMBOL	
DOOR SYMBOL	
COLOR SYMBOL	
FLOOR SYMBOL	
SECTION MARKER	
ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
PLAN DETAIL MARKER	
DETAIL MARKER	
REVISION MARKER	

SFPUC - Please be advised
Your plans and fixture count indicate a larger water meter is required. A water meter upgrade is recommended.
Please contact SFPUC-New Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102, Tel: (415) 551-2900 for more information.

SFPUC - Capacity Charges
See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges.

Capacity Charges
Water: \$2,815.00
Wastewater: \$7,388.00
DC 07/17/20



GENERAL NOTES:

AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT", ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
- CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
- SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
- DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
- ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
- IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
- WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
- DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
- "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- "TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
- CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
- ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
- WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
- PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
- MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
 - MINIMUM ROOF/CEILING INSULATION: R-19
 - MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS: R-13
 - MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES: R-13.
 - ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 - INFILTRATION CONTROL:
 - DOORS AND WINDOWS WEATHER-STRIPPED.
 - EXHAUST SYSTEMS DAMPENED.
 - DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
 - ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
 - DUCTS CONSTRUCTED AND INSTALLED PER UMC.
 - ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
- SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
- GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES
- LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

PROJECT DATA:

CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
2013 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

APPLICABLE SAN FRANCISCO MUNICIPAL CODES

PROJECT ADDRESS:

50 SEWARD STREET
SAN FRANCISCO, CA 94114

PROJECT DESCRIPTION:

RENOVATION AND ADDITION TO (E) 2 UNIT DWELLING

VERTICAL ADDITION SHALL BE A (N) 4TH FLOOR, AND HORIZONTAL ADDITION SHALL BE ON THE FRONT ON ALL 3 STORIES. EXCAVATE AND EXPAND (E) BASEMENT AND 1ST FLOOR TO RE-ESTABLISH AND REDEFINE THE UNKNOWN 2ND UNIT. THE INTERIOR WILL BE REMODELED THROUGHOUT.

THE BUILDING WILL BE FULLY SPRINKLERED WITH NFPA 13R SYSTEM UNDER A SEPARATE PERMIT

ZONING INFORMATION:

BLOCK / LOT: 2701 / 024A
ZONING DISTRICT: RH-2
LOT SIZE: 1,885 SQ FT
BUILDING HEIGHT: (40-X)
NO. OF STORIES: (E) 3 OVER BASEMENT
(N) 4 OVER BASEMENT

SETBACKS / YARD REQMENTS:

FRONT: (AVG OF ADJ BLDGS - 15' MAX)
REAR: (AVG OF ADJ BLDGS - 45% LOT DEPTH MAX)

GROSS FLOOR AREA:

EXISTING BASEMENT:	541 SQ.FT.	(UNCONDITIONED)
EXISTING 1ST FLR:	0 SQ.FT.	(CONDITIONED)
EXISTING 2ND FLR:	119 SQ.FT.	(UNCONDITIONED)
EXISTING 3RD FLR:	781 SQ.FT.	(CONDITIONED)
EXISTING 4TH FLR:	329 SQ.FT.	(UNCONDITIONED)
EXISTING 5TH FLR:	1,182 SQ.FT.	(CONDITIONED)
TOTAL EXISTING:	2,952 SQ.FT.	(UNCONDITIONED)
PROPOSED BASEMENT:	659 SQ.FT.	(CONDITIONED)
PROPOSED 1ST FLR:	310 SQ.FT.	(UNCONDITIONED)
PROPOSED 2ND FLR:	835 SQ.FT.	(CONDITIONED)
PROPOSED 3RD FLR:	343 SQ.FT.	(UNCONDITIONED)
PROPOSED 4TH FLR:	938 SQ.FT.	(CONDITIONED)
PROPOSED 5TH FLR:	1,210 SQ.FT.	(CONDITIONED)
PROPOSED 6TH FLR:	977 SQ.FT.	(CONDITIONED)

TOTAL PROPOSED: 4,614 SQ.FT. (CONDITIONED)
653 SQ.FT. (UNCONDITIONED)

NET CHANGE: +2,114 SQ.FT. (CONDITIONED)
-426 SQ.FT. (UNCONDITIONED)

GFA BY UNIT:
EXISTING UNIT 1 & 2*: 2,500 SQ.FT.* (CONDITIONED)
988 SQ.FT. (UNCONDITIONED)

PROPOSED UNIT 1: 2,896 SQ.FT. (CONDITIONED)
653 SQ.FT. (UNCONDITIONED)

PROPOSED UNIT 2: 1,718 SQ.FT. (CONDITIONED)

*EXISTING PROPERTY IS RECORDED AS A 2 UNIT BUILDING PER 3-R REPORT NO. 201507212189. THE SECOND UNIT WAS REMOVED AT A DATE PRIOR TO CURRENT OWNERSHIP AND THE EXTENTS OF THE "SECOND UNIT" ARE UNKNOWN AS SUCH, "BY UNIT" CALCULATIONS FOR THE EXISTING PROPERTY ARE GIVEN AS A COMBINED BUILDING TOTAL.

HABITABLE SPACE

EXISTING 1ST FLOOR:	222 SQ.FT.
EXISTING 2ND FLOOR:	358 SQ.FT.
EXISTING 3RD FLOOR:	793 SQ.FT.
TOTAL EXISTING:	1,373 SQ.FT.
PROPOSED BASEMENT:	303 SQ.FT.
PROPOSED 1ST FLOOR:	583 SQ.FT.
PROPOSED 2ND FLOOR:	317 SQ.FT.
PROPOSED 3RD FLOOR:	880 SQ.FT.
PROPOSED 4TH FLOOR:	448 SQ.FT.
TOTAL PROPOSED:	2,521 SQ.FT.
NET CHANGE:	+ 1,148 SQ.FT.

BUILDING INFORMATION

CONSTRUCTION TYPE: TYPE - 5B
OCCUPANCY: GROUP R, DIVISION 3
MINIMUM ROOF CLASS: CLASS B ROOF

DRAWING INDEX:

ARCHITECTURAL

- A0.00 TITLE SHEET
- SU-1 PROPERTY SURVEY
- A0.01 SITE PHOTOS
- A0.02 SITE PLANS
- A0.03 PERSPECTIVES
- A0.04 PERSPECTIVES
- A0.05 PERSPECTIVES
- A0.06 DEMO CALCS
- A0.07 DEMO CALCS
- A0.08 DEMO CALCS
- AB-009
- A0.10 GLASS FIRE WALLS
- A1.01 BASEMENT FLOOR PLANS
- A1.02 FIRST FLOOR PLANS
- A1.03 SECOND FLOOR PLANS
- A1.04 THIRD FLOOR PLANS
- A1.05 FOURTH FLOOR PLANS
- A1.06 (P) ROOF PLANS
- A3.01 EXT. ELEVATIONS (WEST)
- A3.02 EXT. ELEVATIONS (EAST)
- A3.03 EXT. ELEVATIONS (SOUTH)
- A3.04 EXT. ELEVATIONS (SOUTH)
- A3.05 EXT. ELEVATIONS (NORTH)
- A3.06 EXT. ELEVATIONS (NORTH)
- A3.07 (E) BUILDING SECTION
- A3.08 (P) BUILDING SECTION
- A9.10 GREEN BUILDING

PROJECT PARTICIPANTS:

OWNER: KELLY FRIEDGEN & KYLE JOHNSON 50 SEWARD STREET SAN FRANCISCO, CA 94114	ARCHITECT: JOHN LUM ARCHITECTURE 3246 17TH STREET SAN FRANCISCO, CA 94110
PROJECT MANAGER: KHOAN DUONG t. 415 - 568 - 9550 x0013 f. 415 - 568 - 0554	STRUCTURAL ENGINEER: T.B.D.
GENERAL CONTRACTOR: T.B.D.	

VICINITY MAP:



FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A



August 19, 2020
201704194301_SITE DWGS-REV7

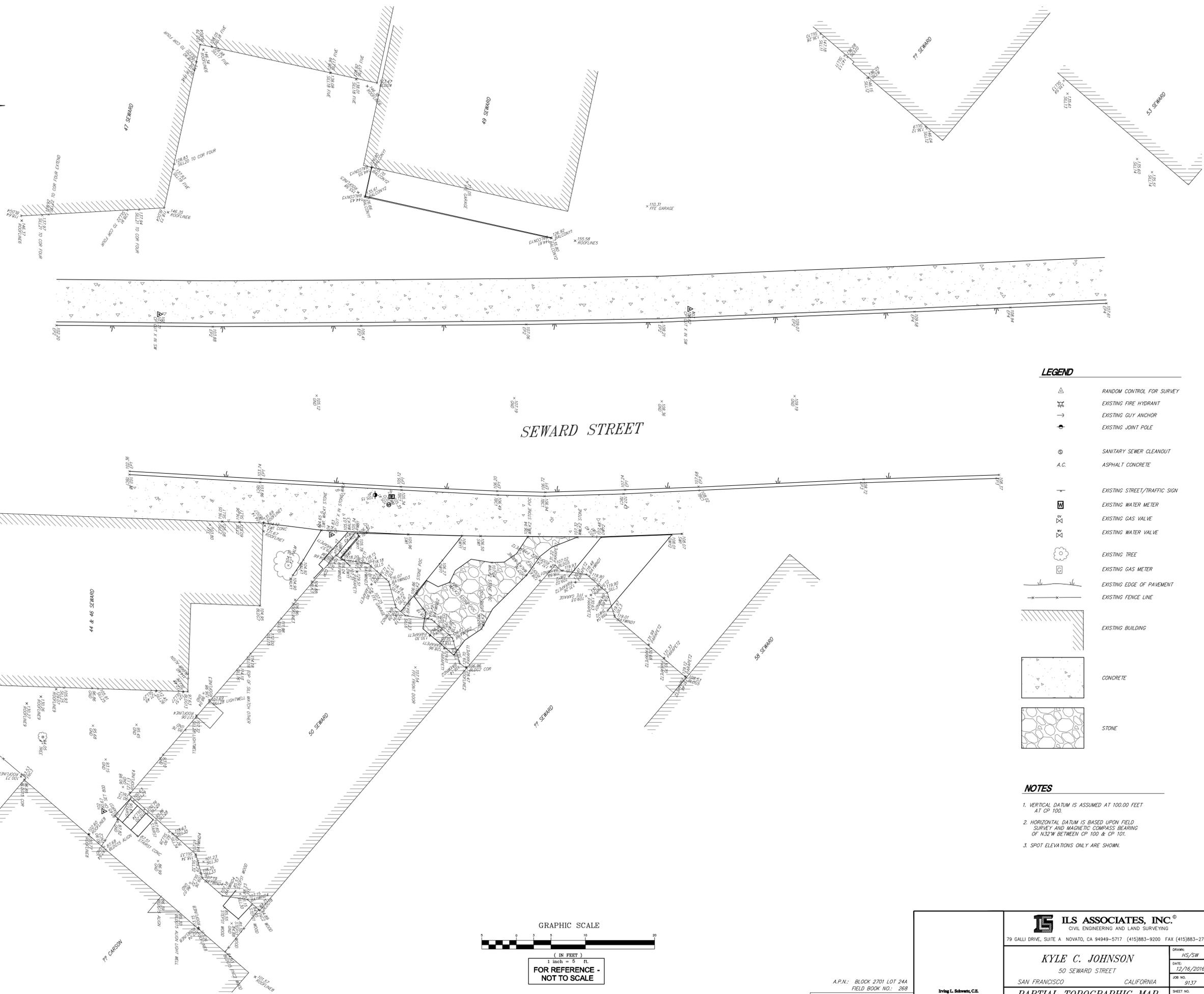


date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
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06.02.20	Site Permit Rev 7	rk



TITLE SHEET

A0.00

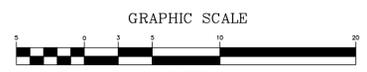


LEGEND

- RANDOM CONTROL FOR SURVEY
- EXISTING FIRE HYDRANT
- EXISTING GUY ANCHOR
- EXISTING JOINT POLE
- SANITARY SEWER CLEANOUT
- A.C. ASPHALT CONCRETE
- EXISTING STREET/TRAFFIC SIGN
- EXISTING WATER METER
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING TREE
- EXISTING GAS METER
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE LINE
- EXISTING BUILDING
- CONCRETE
- STONE

NOTES

1. VERTICAL DATUM IS ASSUMED AT 100.00 FEET AT CP 100.
2. HORIZONTAL DATUM IS BASED UPON FIELD SURVEY AND MAGNETIC COMPASS BEARING OF N32°W BETWEEN CP 100 & CP 101.
3. SPOT ELEVATIONS ONLY ARE SHOWN.



(IN FEET)
1 inch = 5 ft.
FOR REFERENCE - NOT TO SCALE

A.P.N.: BLOCK 2701 LOT 24A
FIELD BOOK NO.: 268

9137T.dwg

Irving L. Schmitt, C.E.
R.C.S. 18221

ILS ASSOCIATES, INC.
CIVIL ENGINEERING AND LAND SURVEYING
79 GALLI DRIVE, SUITE A NOVATO, CA 94949-5717 (415)883-9200 FAX (415)883-2763

KYLE C. JOHNSON
50 SEWARD STREET
SAN FRANCISCO CALIFORNIA

PARTIAL TOPOGRAPHIC MAP

DRAWN:	HS/SW
DATE:	12/16/2016
JOB NO.:	9137
SHEET NO.:	1 OF 1

APPROVED
Dept. of Building Insp.
- San Francisco -

August 19, 2020
201704194301_SITE DWGS-REV7

Patrick O'Riordan
PATRICK O'RIORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

PROPERTY SURVEY

SU-1

X:\P04501\161271.dwg (12/27/16) User: E:\michael.c.2016\161271.dwg User: E:\michael.c.2016\161271.dwg User: E:\michael.c.2016\161271.dwg



ADJACENT PROPERTY: 54 SEWARD ST.: FRONT



SUBJECT PROPERTY: 50 SEWARD ST.: FRONT



ADJACENT PROPERTY: 44 & 46 SEWARD ST.: FRONT



ADJACENT PROPERTY: ACROSS SEWARD ST



ADJACENT PROPERTY: ACROSS SEWARD ST



ADJACENT PROPERTY: ACROSS SEWARD ST



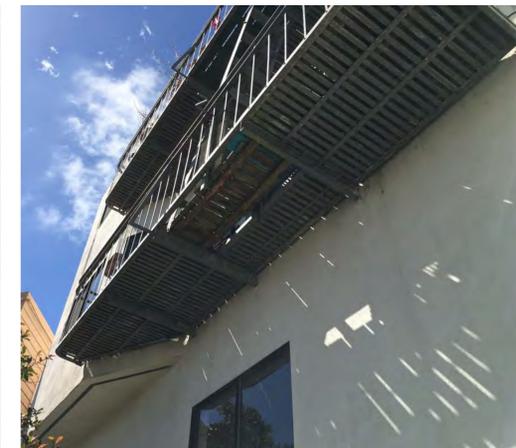
ADJACENT PROPERTY: 54 SEWARD STREET: REAR



SUBJECT PROPERTY: 50 SEWARD ST.: REAR



SUBJECT PROPERTY: 35 CARSON ST.: SIDE & REAR



ADJACENT PROPERTY: 998 SANCHEZ STREET: REAR

LJM

JOHN LIM ARCHITECTURE, INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: Kelly Friedgen & Kyle Johnson
50 Seward St
San Francisco, CA 94115

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Patrick O'Riordan
PATRICK O'RIRDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PHOTOS

A0.01



1
A0.03 PROPOSED FRONT PERSPECTIVE #1



2
A0.03 PROPOSED FRONT PERSPECTIVE #2



3
A0.03 PROPOSED FRONT PERSPECTIVE #3



**FRIEDGEN JOHNSON RESIDENCE
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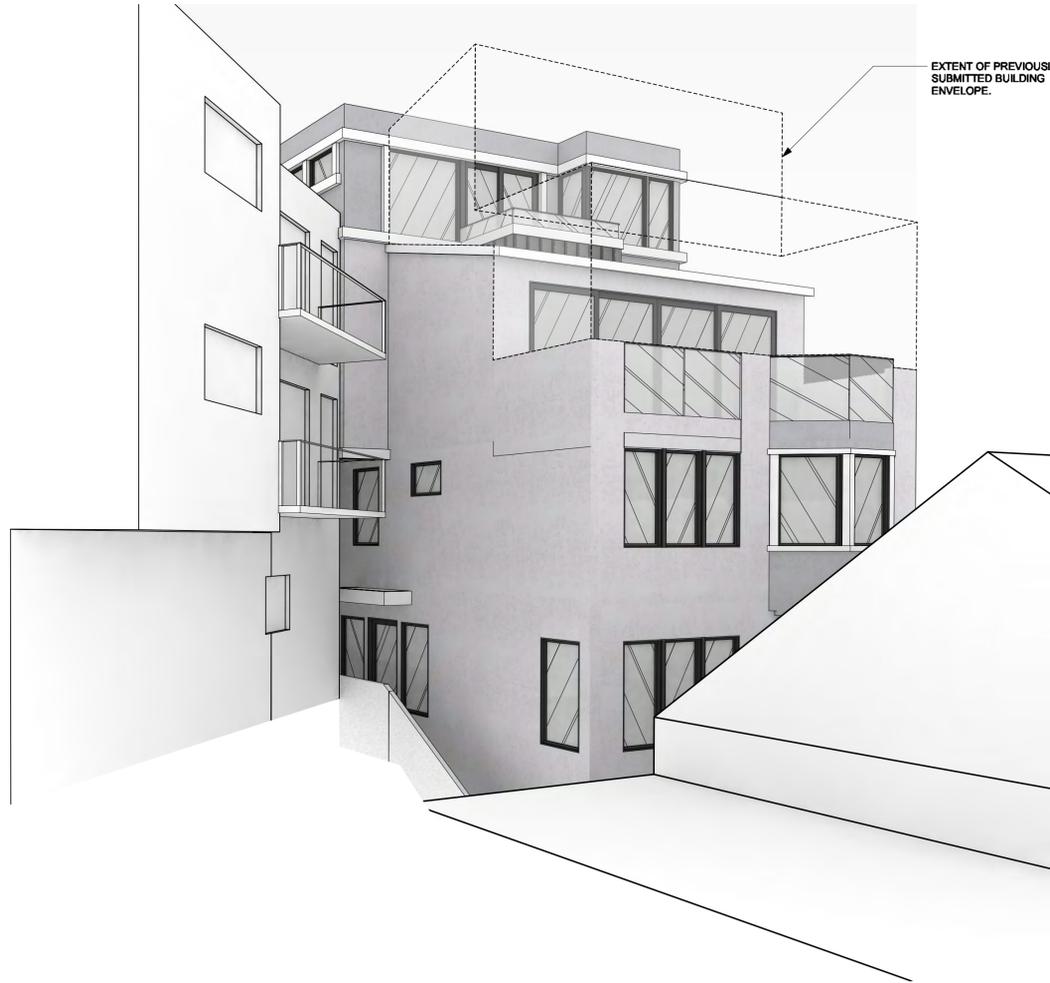
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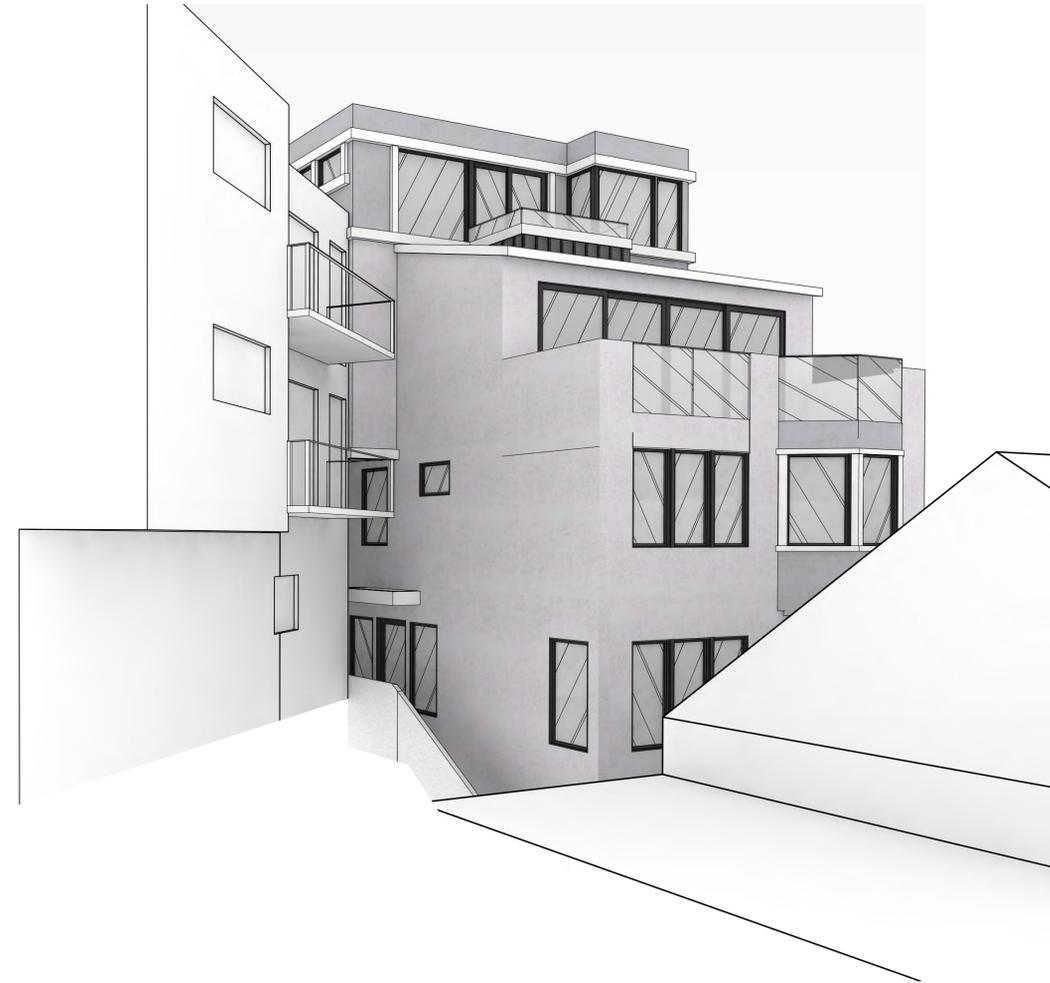
Patrick D. Riordan
PATRICK D. RIORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

PERSPECTIVES

A0.03



1 REAR PERSPECTIVE #1 - CURRENT PROPOSAL
A0.04



2 REAR PERSPECTIVE #1 - CURRENT PROPOSAL
A0.04



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

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APPROVED
Dept. of Building Insp.
- San Francisco -

August 19, 2020
201704194301_SITE DWGS-REV7

Patrick O'Riordan
PATRICK O'RIRDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

PERSPECTIVES

A0.04



1 REAR PERSPECTIVE #2 - CURRENT PROPOSAL
A0.05



2 REAR PERSPECTIVE #2 - CURRENT PROPOSAL
A0.05



**FRIEDGEN JOHNSON RESIDENCE
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50 SEWARD ST. SAN FRANCISCO, CA 94114
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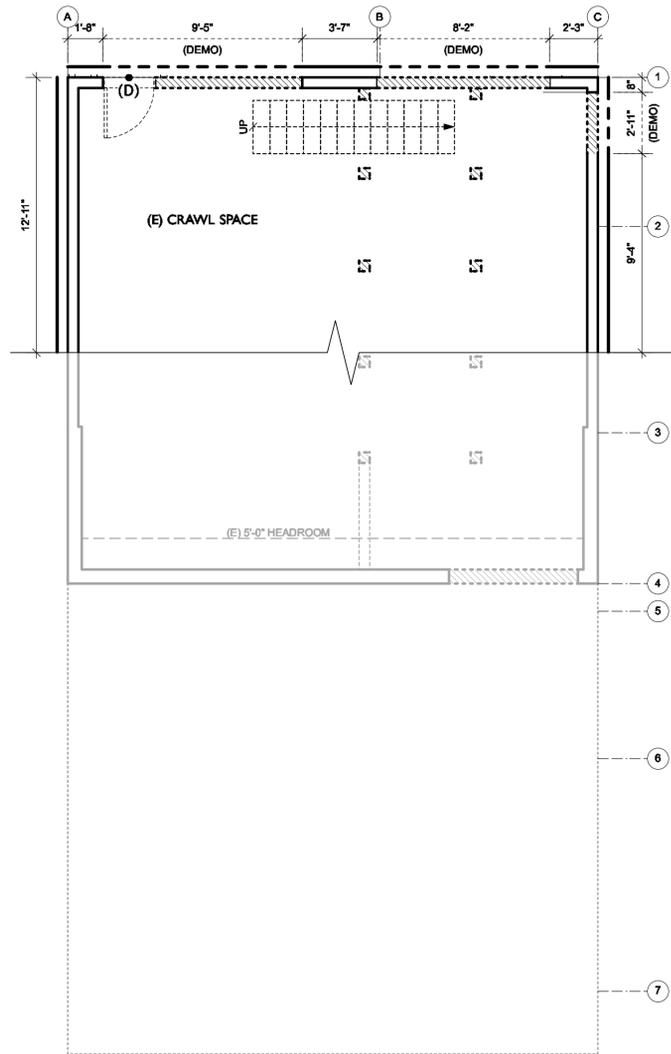
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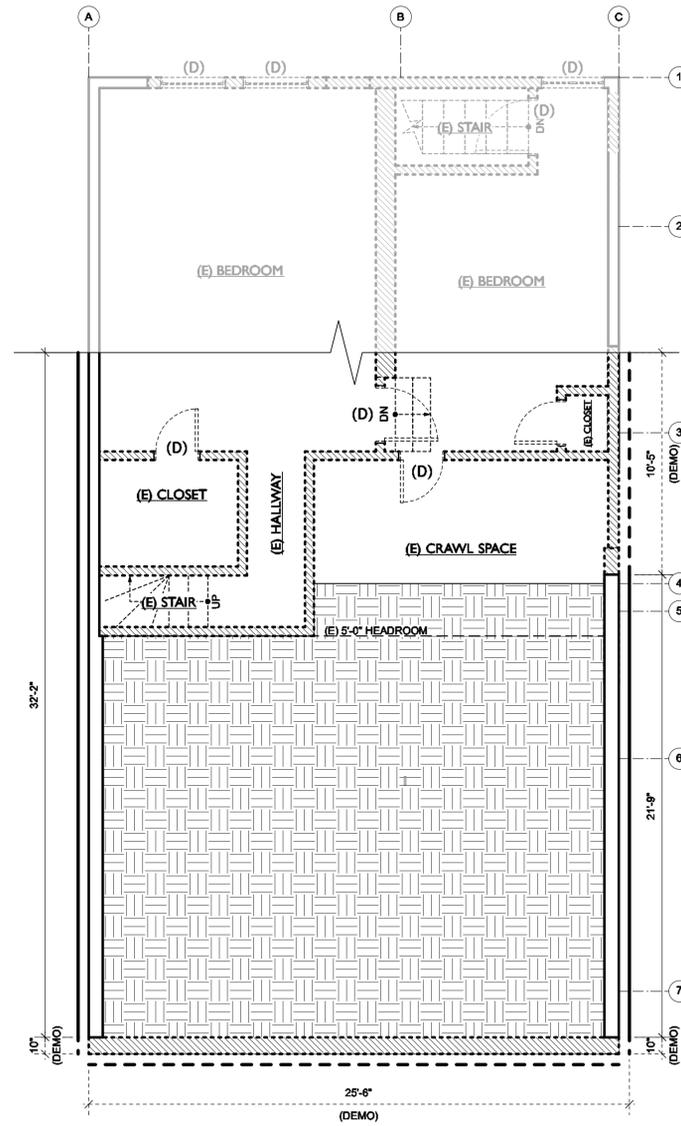
Patrick O'Riordan
PATRICK O'RIRDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

PERSPECTIVES

A0.05



1 BASEMENT FLOOR PLAN - EXISTING/DEMOLITION
A0.06 Scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - EXISTING/DEMOLITION
A0.06 Scale: 1/4" = 1'-0"



SYMBOLS	
TO BE RETAINED	—————
TO BE REMOVED	- - - - -

SEC. 317 (2) (B)
REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

SUM OF FRONT AND REAR FACADE					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	25'-0"	25'-0"	100%	0'-0"	0%
REAR (EAST) FACADE	25'-0"	21'-2"	84.7%	3'-10"	15.3%
TOTALS	50'-0"	46'-2"	92.3%	3'-10"	7.7%

SEC. 317 (2) (B)
REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

LINEAR FOOTAGE MEASUREMENT: 1ST FLOOR					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	25'-0"	25'-0"	100%	0'-0"	0%
REAR (EAST) FACADE	25'-0"	17'-7"	70.3%	7'-6"	29.7%
LEFT (NORTH) FACADE	45'-11"	10"	1.8%	45'-1"	98.2%
RIGHT (SOUTH) FACADE	45'-11"	14'-2"	24.5%	31'-9"	75.5%
TOTALS	141'-10"	57'-7"	40.8%	84'-4"	59.4%

DETERMINATION:

PASSED SEC. 317 (2) (B)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL.

PROPOSED SUM OF FRONT AND REAR FACADE TO BE REMOVED IS > 50%

PROPOSED SUM OF ALL EXTERIOR WALLS TO BE REMOVED IS < 65%



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 568 9550 FAX 415 568 0554



FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: Kelly Friedgen & Kyle Johnson
san francisco, ca 94115

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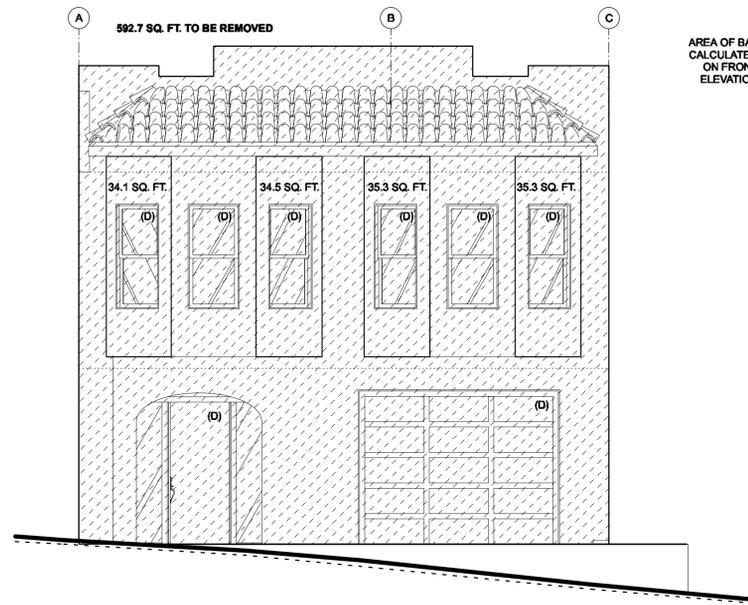


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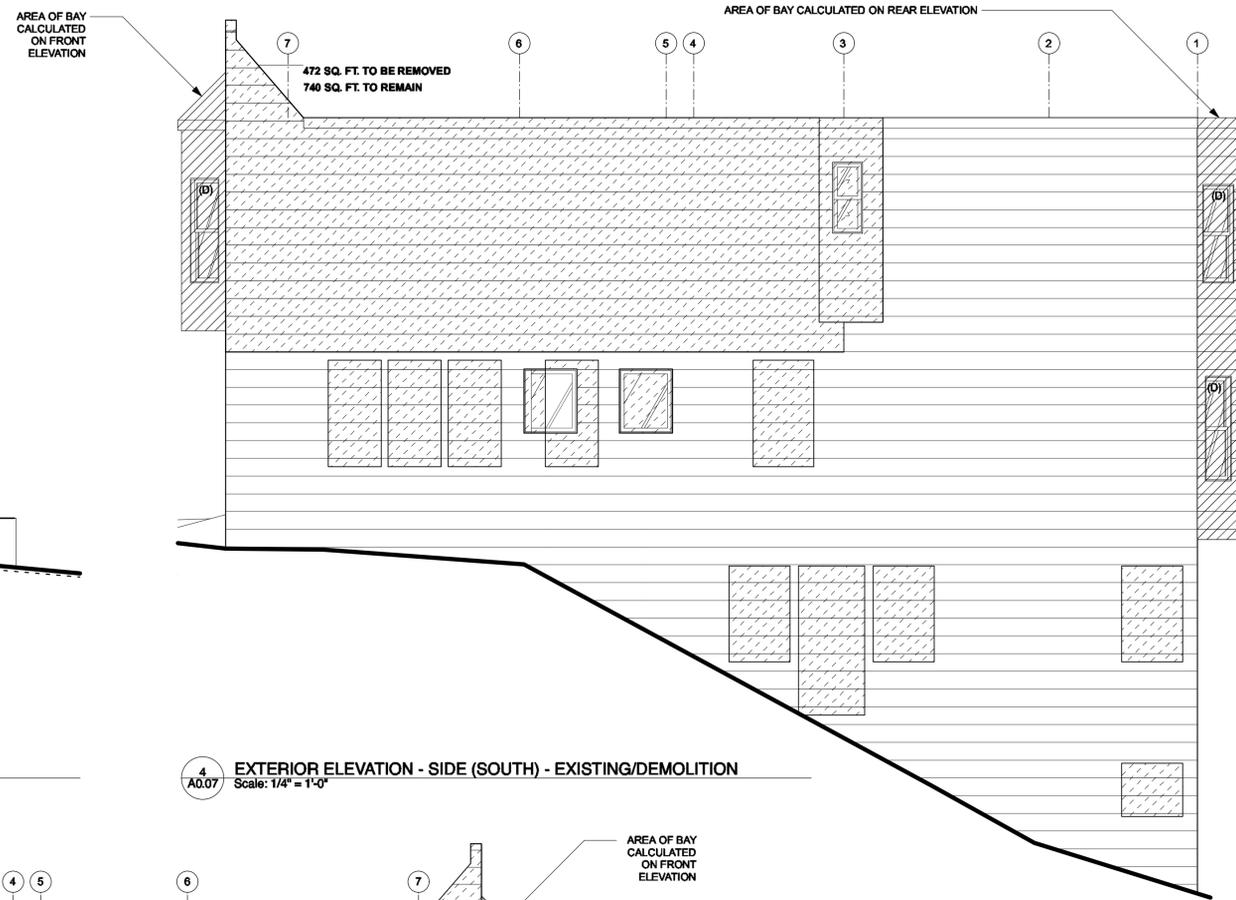
Patrick D. Riordan
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

DEMO CALCS

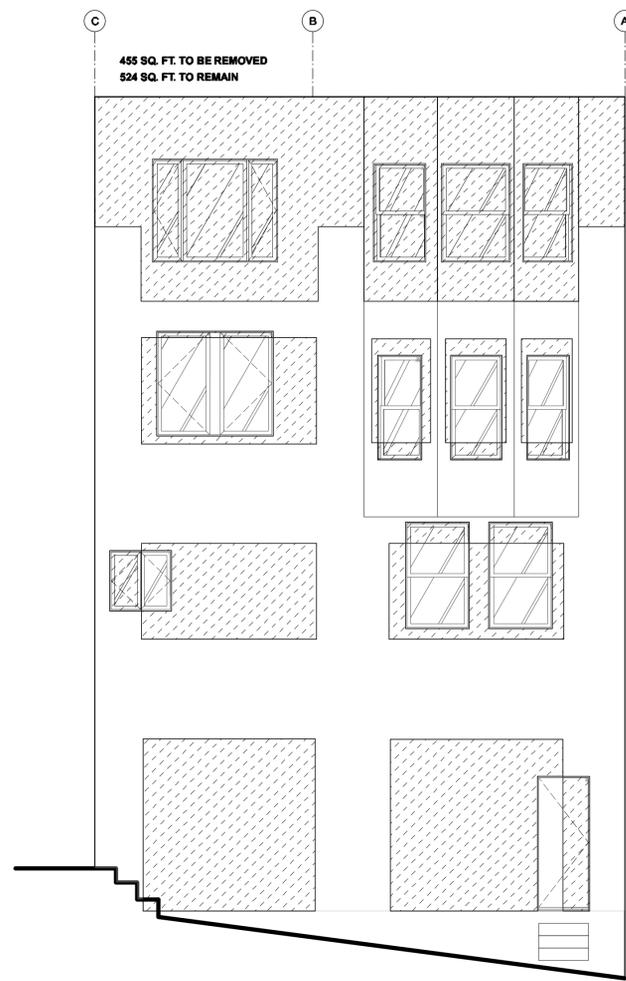
A0.06



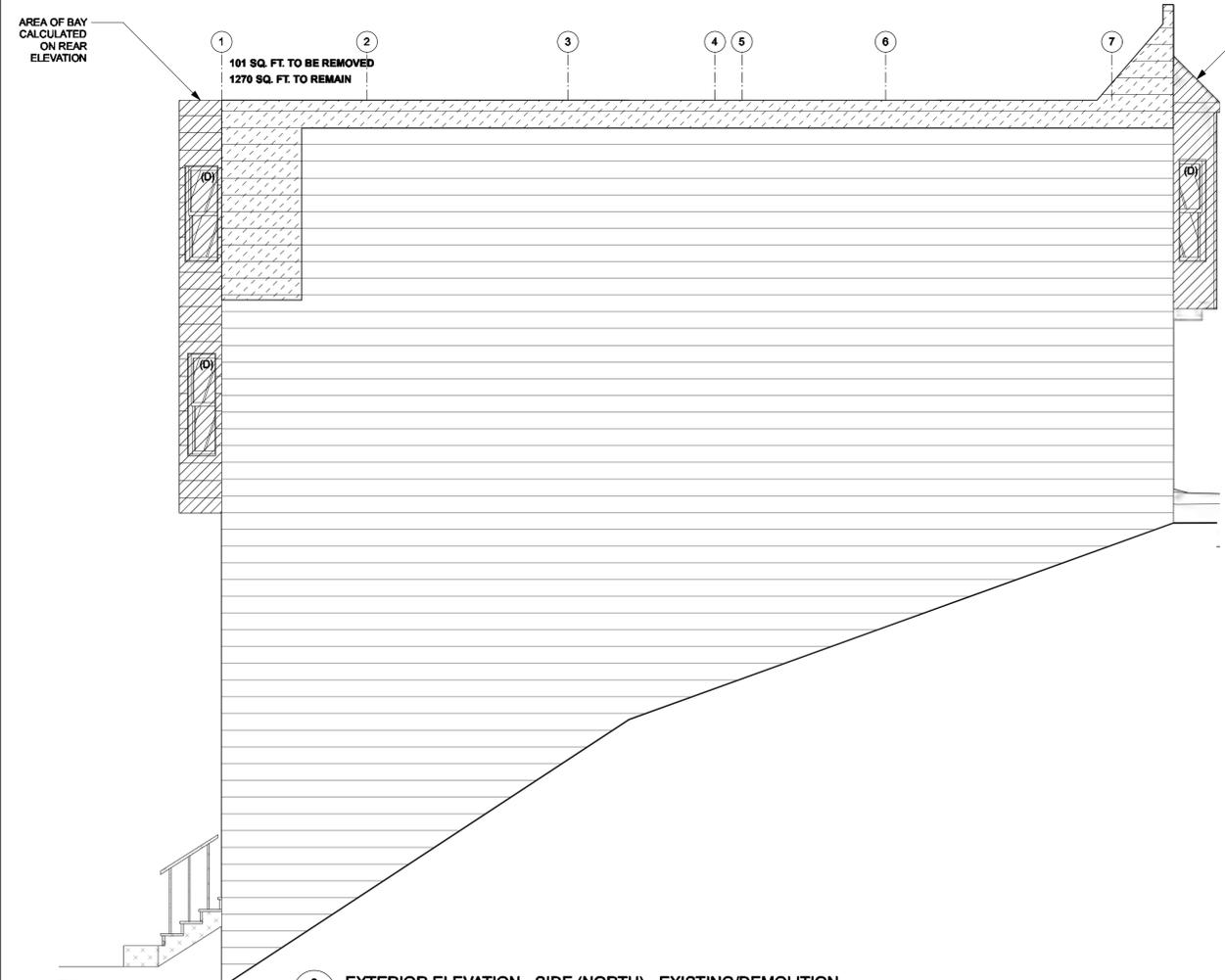
1
A0.07
EXTERIOR ELEVATION - FRONT (WEST) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



4
A0.07
EXTERIOR ELEVATION - SIDE (SOUTH) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2
A0.07
EXTERIOR ELEVATION - REAR (EAST) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



3
A0.07
EXTERIOR ELEVATION - SIDE (NORTH) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"

SEC. 317 (2) (C)
REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS

TO BE RETAINED	
TO BE REMOVED	

DETERMINATION:

PASSED SEC. 317 (2) (C)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.4)

PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)

EXISTING & DEMO AREAS PER FACADE					
ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	593 SQ. FT.	593 SQ. FT.	100.0%	0 SQ. FT.	0.0%
REAR (EAST) FACADE	979 SQ. FT.	455 SQ. FT.	46.4%	524 SQ. FT.	53.6%
RIGHT (SOUTH) FACADE	1,212 SQ. FT.	472 SQ. FT.	38.9%	740 SQ. FT.	61.1%
LEFT (NORTH) FACADE	1,371 SQ. FT.	101 SQ. FT.	7.3%	1,270 SQ. FT.	92.7%
TOTALS	4,155 SQ. FT.	1,621 SQ. FT.	39.0%	2,534 SQ. FT.	61%



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client :
kelly friedgen & lyne johnson
san francisco, ca 94115

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Patrick D. Riordan
PATRICK D. RIORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

SEC. 317 (2) (C)
 REMOVAL OF MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE BUILDING MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS

TO BE RETAINED	
TO BE REMOVED	

AREA MEASUREMENT					
ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
1ST FLOOR	536 SQ. FT.	536 SQ. FT.	100%	0 SQ. FT.	0%
2ND FLOOR	1,095 SQ. FT.	52 SQ. FT.	4.7%	1,043 SQ. FT.	95.3%
3RD FLOOR	1,182 SQ. FT.	108 SQ. FT.	9.1%	1,074 SQ. FT.	90.9%
ROOF	1,153 SQ. FT.	1,153 SQ. FT.	100%	0 SQ. FT.	0%
TOTALS	3,966 SQ. FT.	1,849 SQ. FT.	46.8%	2,117 SQ. FT.	53.4%

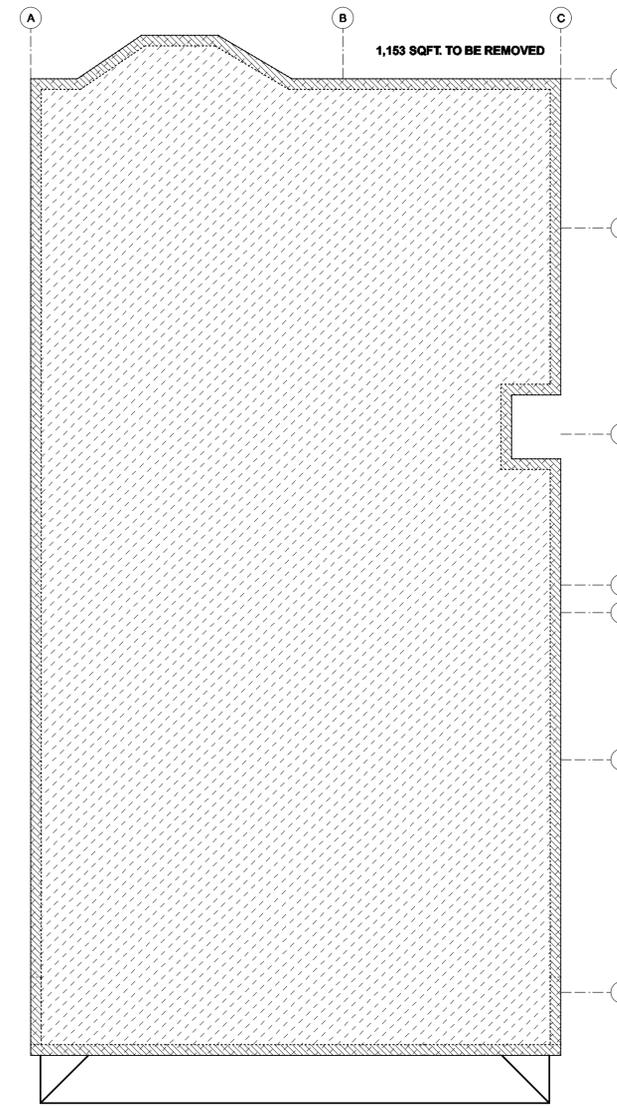
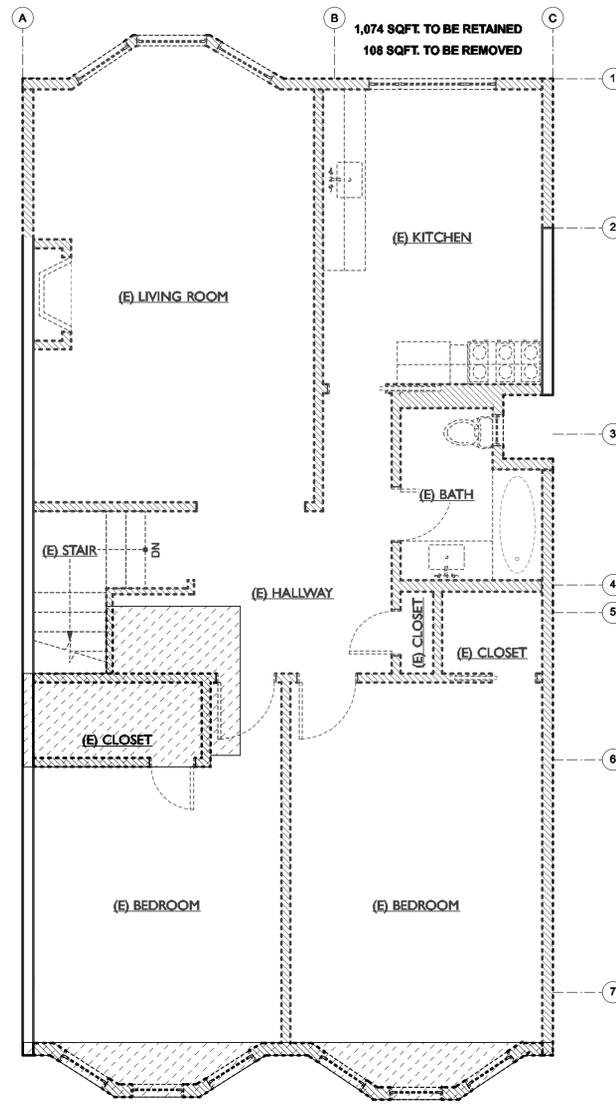
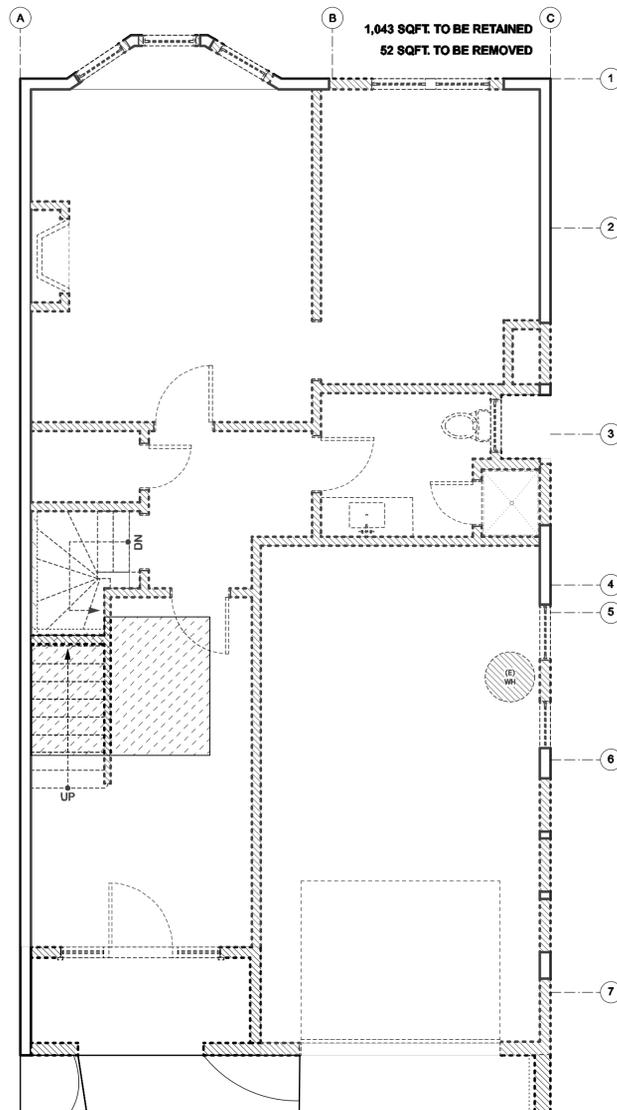
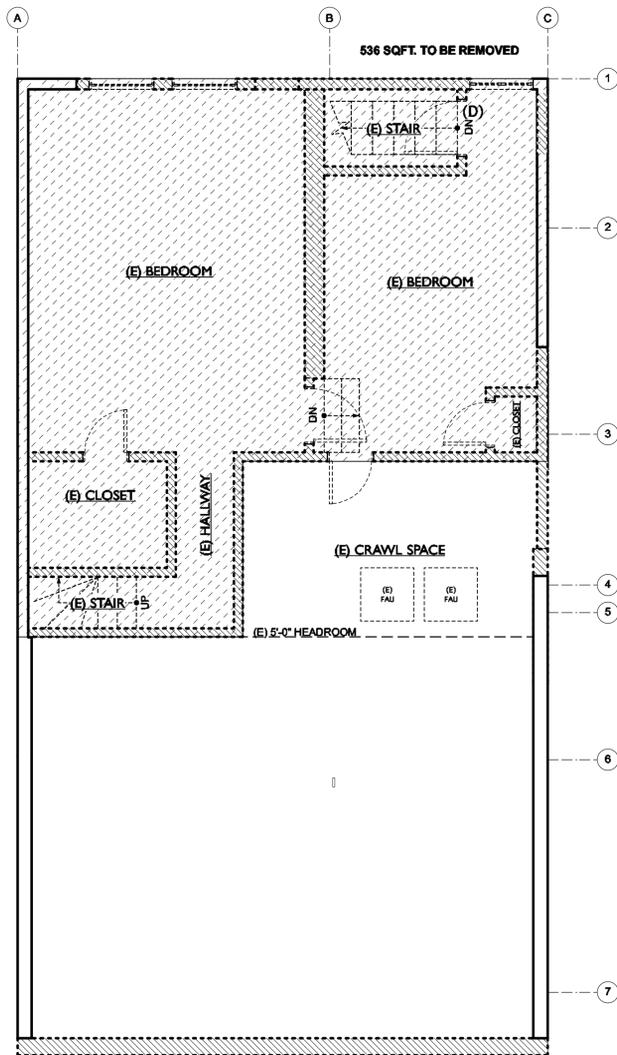
DETERMINATION:

PASSED SEC. 317 (2) (C)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.4)

PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)



1
A0.08 FIRST FLOOR PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"

2
A0.08 SECOND FLOOR PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"

3
A0.08 THIRD FLOOR PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"

4
A0.08 ROOF PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



FRIEDGEN JOHNSON RESIDENCE
 REMODEL & ADDITION
 50 SEWARD ST., SAN FRANCISCO, CA 94114
 BLOCK 2701 - LOT 024A

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 DEPT. OF BUILDING INSPECTION

DEMO CALCS

A0.08



JOHN LIM ARCHITECTURE INC.
 3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
 TEL 415 588 9550 FAX 415 588 0554



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

ATTACHMENT A

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED _____ [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2017-0419-4301

Property Address: 50 SEWARD ST.

Block and Lot: 2701 / 024A Occupancy Group: R-3 Type of Construction: V-B No. of Stories: 3

Describe Use of Building TWO FAMILY DWELLING

Under the authority of the 2016 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2016 San Francisco Mechanical Code, Section 302.2; the 2016 San Francisco Electrical Code, Section 89.117; and the 2016 San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)
2016 CBC SEC. 705.8, Table 705.8 prohibits wall openings where the fire separation distance is between 0'-0" and 3'-0"

Proposed Modification or Alternate
Per SFBC 2016 AB-009, we are seeking local equivalency to allow fire rated openings along a shared property line wall. The proposed opening will comply with the following requirements:

- Openings will not be used to provide required access to light, air, egress or emergency access.
- Openings shall be fixed (non-operable).
- Openings shall be protected with fire rated assemblies having a minimum rating of 3/4 hour (45 min).
- Openings shall be located no closer than six feet (6'-0"), measured in any direction to any existing opening on the adjoining building

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

The lot width does not allow proper fire separation distances.

The proposal meets the intent of the code by adhering to the 2016 SFBC AB-009 and ensuring all openings maintain a minimum fire-rating of 3/4 Hr. (45 min.)

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER

Print Name: Richard Klaja John Lum

Signature: [Signature] [Signature]

Telephone: 415-558-9550 x. 10022 415-558-9550 x. 10016

PLAN REVIEWER COMMENTS:

RECOMMENDATIONS: [signed off/dated by:]

Plan Reviewer: [Signature] [Signature] [Signature]

Division Manager: [Signature] [Signature] [Signature]

for Director of Bldg. Inspection [Signature] [Signature] [Signature]

for Fire Marshal: [Signature] [Signature] [Signature]

CONDITIONS OF APPROVAL or OTHER COMMENTS

Recording Requested By And When Recorded

ATTACHMENT B

Return To: DIRECTOR, DEPARTMENT OF BUILDING INSPECTION
1660 MISSION STREET, SAN FRANCISCO, CA 94103-2414

or _____ DIVISION

DECLARATION OF USE LIMITATION
I/We, Kelley Friedgen & Kyle Johnson owner/s of the herein described property Commonly known as 50 Seward Street in San Francisco, Assessor's Block No. 2701 Lot No. 024A hereby consent to the within described limitations that:

In the event that the property located at 44 - 46 Seward Street commonly known as Block No. 2701 Lot No. 018 is improved in such a matter that the openings in the building located at 50 Seward Street no longer comply with the San Francisco Building Code, then said openings shall be closed off or protected as required by the Director of the Department of Building Inspection.

The herein limitations shall be binding on me/us until amended by conforming to the San Francisco Building Code Requirements.

Signed: [Signature] [Signature]
OWNERS

Date of Execution: 02/20/2020 2-20-2020

NOTARY ACKNOWLEDGMENT:

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA

County of SAN FRANCISCO

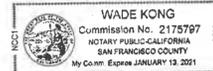
On FEB 20 2020 before me, WADE KONG, NOTARY PUBLIC

personally appeared, Kelley Anne Friedgen + Kyle Christopher Johnson who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____ (Seal)
Notary Public and for said Country and State



03/12/2020, 2020K914322
03/12/2020, 2020K914322
03/12/2020, 2020K914322
03/12/2020, 2020K914322



REC # 0006171379
March 12, 2020 10:56:27
San Francisco Assessor-Recorder
Carman Cho, Assessor-Recorder
Official # 20-K914322-00
Check Number 7330
8200 69
Recording Fee \$11.00
Page Fee \$4.00
Microprint Fee \$1.00
State Fees \$3.00
Recording \$4.00
Recording Fee SP \$5.00
S&S State Housing \$75.00
Total fee \$99.00
Amount Tendered \$99.00
Change \$0.00
001.05/1/4



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554



FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: Kelley Friedgen & Kyle Johnson
san francisco, ca 94115

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
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01.15.19	Site Permit Rev 3	rk
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04.09.19	Site Permit Rev 5	rk
10.23.19	Site Permit Rev 6 (DRA)	rk
06.02.20	Site Permit Rev 7	rk

APPROVED
Dept. of Building Insp.
- San Francisco -

August 19, 2020
201704194301_SITE DWGS-REV7

[Signature]
PATRICK O'RIORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

AB-009

A0.09

Fire-Rated, Safety-Rated Transparent Wall Panel
Fire-Rating: 45-120 Minutes

Pilkington Pyrostop® is a fire-rated and impact safety-rated glazing material that blocks radiant heat, protecting people and valuables on the non-fire side of the glass where radiant heat transfer might be a concern. It is listed for use in doors, sidelites, transoms, borrowed lites and wall applications.

FEATURES

- Fire-rated for up to 120 minutes with required hose stream test
 - Impact safety-rated-meets ANSI Z97.1 and CPSC 16 CFR1201 (Cat. I and II)
 - Fits in most Fireframes® frame and door systems by TGP
 - Available in insulated units with other glass products, including (but not limited to): Tinted; Art Glass; One-Way Mirror; Low-E; Reflective; Security Glass
 - Withstands thermal shock
 - Large sizes available
 - May be lightly sandblasted or etched on one side without affecting fire rating
 - 5-year limited warranty
 - Protection against radiant and conductive heat transfer
- Comprised of layers of Pilkington Optiwhite™ nearly colorless, wireless, low-iron float glass and clear intumescent interlayers
 - Multi-laminate, not a sensitive polymer gel unit
 - For use in interior and exterior applications
 - Most configurations are available with a translucent interlayer for added obscurity and privacy
 - Available with bullet resistance to UL Level III
 - Pilkington Pyrostop can be combined with Vision Control® integrated cord-free louvers in a UL-tested fire protection-rated glazing system available directly from Unicel Architectural

Pilkington Pyrostop sales are a cooperative effort between Technical Glass Products and Pilkington North America.

LISTINGS/STANDARDS

Classified and labeled by Underwriters Laboratories, Inc.® and Underwriters Laboratories of Canada. File number for labeled fire-rated assemblies is R13377 (45 minutes) and R38725 (60-120 minutes). Tests performed in accordance with:

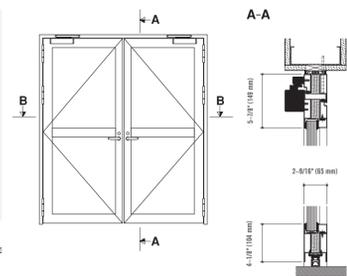
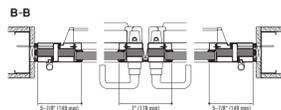
UL 9	NFPA 80	CAN4 S-104	ASTM E119	MEA 241-00-M
UL 10B	NFPA 251	CAN4 S-106		LARR 25798
UL 10C	NFPA 252	CAN/ULC-S101		
UL 263	NFPA 257			

DOOR DETAILS

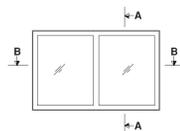
All door hardware for Fireframes Heat Barrier Series doors is supplied by Technical Glass Products. Please contact TGP regarding your individual hardware requirements.

Standard hardware may include:

- Hinges
- Surface mounted closers
- Single mortise lock
- Panic hardware
- Tail bottom rails



WINDOW DETAILS



PRODUCT DATA

INTERIOR USE	FIRE RATING	MANUFACTURER'S DESIGNATION	SUPPLY FORM	NOMINAL THICKNESS	WEIGHT APPROX.	U-VALUE	DAYLIGHT TRANS. APPROX. (%)	ETC RATING APPROX. (dB)	ASSEMBLY	MAX. EXPOSED AREA	MAX. WIDTH OF EXPOSED GLAZING	MAX. HEIGHT OF EXPOSED GLAZING
	45 min.	45-200	Single Glazing	3/4" (19 mm)	9.22 lb / ft ² (45.00 kg / m ²)	.86	86	40	OTHER THAN DOORS	4,500 in ² (2,900 m ²)	95-1/4" (2,420 mm)	95-1/4" (2,420 mm)
60 min.	60-101	Single Glazing	7/8" (23 mm)	10.86 lb / ft ² (53.00 kg / m ²)	.83	87	41	OTHER THAN DOORS	5,616 in ² (3,620 m ²)	96" (2,440 mm)	96" (2,440 mm)	
60 min.	60-201	Single Glazing	1-1/16" (27 mm)	12.90 lb / ft ² (63.00 kg / m ²)	.83	86	44	OTHER THAN DOORS	7,442 in ² (4,800 m ²)	96" (2,440 mm)	118-1/8" (3,000 mm)	
90 min.	90-102	Single Glazing	1-7/16" (37 mm)	17.61 lb / ft ² (86.00 kg / m ²)	.74	84	45	OTHER THAN DOORS	3,724 in ² (2,400 m ²)	96" (2,440 mm)	96" (2,440 mm)	
2 hours	120-104	I.G. Units	2-1/8" (54 mm) with 3/8" spacer or 2-3/8" (59 mm) with 1/4" spacer	21.71 lb / ft ² (106.00 kg / m ²)	.44	75	46	OTHER THAN DOORS	3,730 in ² (2,410 m ²)	111" (2,810 mm)	111" (2,810 mm)	
2 hours	120-106	I.G. Units	2-1/4" (57 mm)	23.94 lb / ft ² (112.00 kg / m ²)	.42	75	46	OTHER THAN DOORS	3,730 in ² (2,410 m ²)	111" (2,810 mm)	111" (2,810 mm)	
2 hours	120-401	I.G. Units	2-13/16" (72 mm)	30.72 lb / ft ² (150.00 kg / m ²)	.46	73	45	FIREFRAMES CLEARFLOW™ SYSTEM	2,372 in ² (1,530 m ²)	47-1/4" (1,200 mm)	50-3/8" (1,280 mm)	

EXTERIOR USE	FIRE RATING	MANUFACTURER'S DESIGNATION	SUPPLY FORM	NOMINAL THICKNESS	WEIGHT APPROX.	U-VALUE	DAYLIGHT TRANS. APPROX. (%)	ETC RATING APPROX. (dB)	ASSEMBLY	MAX. EXPOSED AREA	MAX. WIDTH OF EXPOSED GLAZING	MAX. HEIGHT OF EXPOSED GLAZING
	45 min.	45-200	Single Glazing	3/4" (19 mm)	9.22 lb / ft ² (45.00 kg / m ²)	.86	86	40	OTHER THAN DOORS	4,500 in ² (2,900 m ²)	95-1/4" (2,420 mm)	95-1/4" (2,420 mm)
45 min.	45-260	I.G. Units	1-5/16" (33 mm)	12.29 lb / ft ² (60.00 kg / m ²)	.49	77	40	OTHER THAN DOORS	4,500 in ² (2,900 m ²)	95-1/4" (2,420 mm)	95-1/4" (2,420 mm)	
45 min.	45-360*	I.G. Units	1-5/16" (33 mm)	12.29 lb / ft ² (60.00 kg / m ²)	.37-39	59-71	40	OTHER THAN DOORS	4,500 in ² (2,900 m ²)	95-1/4" (2,420 mm)	95-1/4" (2,420 mm)	
60 min.	60-201	Single Glazing	1-1/16" (27 mm)	12.90 lb / ft ² (63.00 kg / m ²)	.83	86	44	OTHER THAN DOORS	7,442 in ² (4,800 m ²)	96" (2,440 mm)	118-1/8" (3,000 mm)	
60 min.	60-261	I.G. Units	1-5/8" (41 mm)	15.98 lb / ft ² (78.00 kg / m ²)	.48	77	44	OTHER THAN DOORS	7,442 in ² (4,800 m ²)	96" (2,440 mm)	118-1/8" (3,000 mm)	
60 min.	60-361*	I.G. Units	1-5/8" (41 mm)	15.98 lb / ft ² (78.00 kg / m ²)	.37-39	59-70	44	OTHER THAN DOORS	7,442 in ² (4,800 m ²)	96" (2,440 mm)	118-1/8" (3,000 mm)	
90 min. - 2 hrs	120-202	Single Glazing	1-9/16" (40 mm)	18.64 lb / ft ² (91.00 kg / m ²)	.72	86	46	DOOR	3,724 in ² (2,400 m ²)	41-5/8" (1,060 mm)	89-3/4" (2,280 mm)	
90 min. - 2 hrs	120-262	I.G. Units	2-3/8" (60 mm) with 1/4" spacer or 2-1/2" (54 mm) with 8 mm spacer	21.71 lb / ft ² (106.00 kg / m ²)	.44	74	46	OTHER THAN DOORS	3,730 in ² (2,410 m ²)	111" (2,810 mm)	111" (2,810 mm)	
90 min. - 2 hrs	120-362*	I.G. Units	2-3/8" (60 mm) with 1/4" spacer or 2-1/2" (54 mm) with 8 mm spacer	21.71 lb / ft ² (106.00 kg / m ²)	.35	33-68	46	OTHER THAN DOORS	3,730 in ² (2,410 m ²)	111" (2,810 mm)	111" (2,810 mm)	

*Performance values vary for exterior I.G. units based on coating and configuration. Some of the available Pilkington hard coatings include Eclipse Advantage, Solar-ETM™ Solar Control Low-E and Energy Advantage Low-E. Contact TGP for availability and information on high performance hard and soft coated products.

WHEN PROVIDED PROJECT-SPECIFIC CRITERIA (SUCH AS WIND LOAD, SEISMIC MOVEMENT, STRUCTURAL AIR/WATER RESISTANCE, ETC.), TGP CAN VERIFY THE INTENDED PENETRATION CONFIGURATION (GLASS AND FRAMING) WILL PERFORM TO MEET THOSE REQUIREMENTS. FOR APPROVED FRAMING SYSTEMS FOR USE WITH PILKINGTON PYROSTOP, VISIT FIREGLASS.COM OR CALL 800.426.0279.

Fire-Rated Narrow Profile Steel Doors & Frames
Fire Rating: 60/90/120 Minutes

Fireframes® Heat Barrier Series doors and frames combined with Pilkington Pyrostop® glass, provides a barrier to radiant and conductive heat transfer. Incorporating precise European engineering, the system also allows full-lite fire doors for aesthetic or security reasons.

FEATURES

- Fire-ratings of 60-120 minutes with required hose stream test
- Narrow steel profiles
- Full-lite doors available in single leaf or double leaf design
- Modular system that can incorporate 60/90 minute full-lite temperature rise doors
- Can incorporate large individual panes of Pilkington Pyrostop® fire-resistive-rated glass, comprised of Pilkington Optiwhite™ glass and clear intumescent interlayers
- Frames supplied "K-D" (knock-down) ready for installation or welded depending on application
- Unrestricted glazing area for use in locations where total glazing exceeds 25% of wall area
- Durable steel frames ensure low maintenance system
- Door hardware available to fit functional requirements. Check with TGP for compatibility
- Finish painted at the factory to match desired color scheme
- Easy installation similar to typical storefront systems
- Passes wall assembly test standard UL263 / ASTM E-119 for 60 and 120 minute ratings application

LISTINGS/STANDARDS

Classified and labeled by Underwriters Laboratories Inc.® and Underwriters Laboratories of Canada. File numbers R19207 (doors), R25229 (windows), R25274 (walls), design number U533 (W474 Canada). Tests performed in accordance with:

UL 9	NFPA 251	CAN/ULC-S101	ASTM E119	MEA 240-00-M
UL 10B	NFPA 252	CAN4 S-104		LARR 25798
UL 10C	NFPA 257	CAN4 S-106		
UL 263				
UL 752 (110 mm frame)				

SPECIFICATIONS

Complete 3-part CSI format specifications are available online at fireglass.com, or by calling 800.426.0279.

FRAMING

RATING	MAX. EXPOSED GLASS AREA PER PIECE	MAX. EXPOSED GLASS DIMENSION	RATING	MAX. SINGLE DOOR LEAF SIZE	MAX. EXPOSED GLASS SIZE PER PIECE
60 min.	7,442 in ² (4,800 m ²)	118-1/8" (3,000 mm)	60 min.	48-7/8" x 95-15/16" (1,24 m x 2,44 m)	41-5/8" x 89-3/4" (1,06 m x 2,28 m)
90 min.	3,724 in ² (2,400 m ²)	96" (2,440 mm)	90 min.	48-7/8" x 95-15/16" (1,24 m x 2,44 m)	41-5/8" x 89-3/4" (1,06 m x 2,28 m)
120 min.	3,730 in ² (2,410 m ²)	111" (2,810 mm)			

Note: Individual lite sizes cannot exceed "Max. Exposed Area" shown above.



JOHN LJM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 568 9590 FAX 415 568 0584



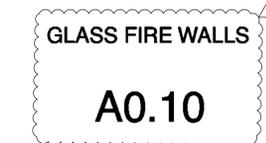
**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: Kelly Hiedgen & Kyle Johnson
san francisco, ca 94115

date :	issues/ revisions :	by :
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04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
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06.02.20	Site Permit Rev 7	rk



August 19, 2020
201704194301_SITE DWGS-REV7
PATRICK D. RICHARD
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION



LEGEND, DEMOLITION

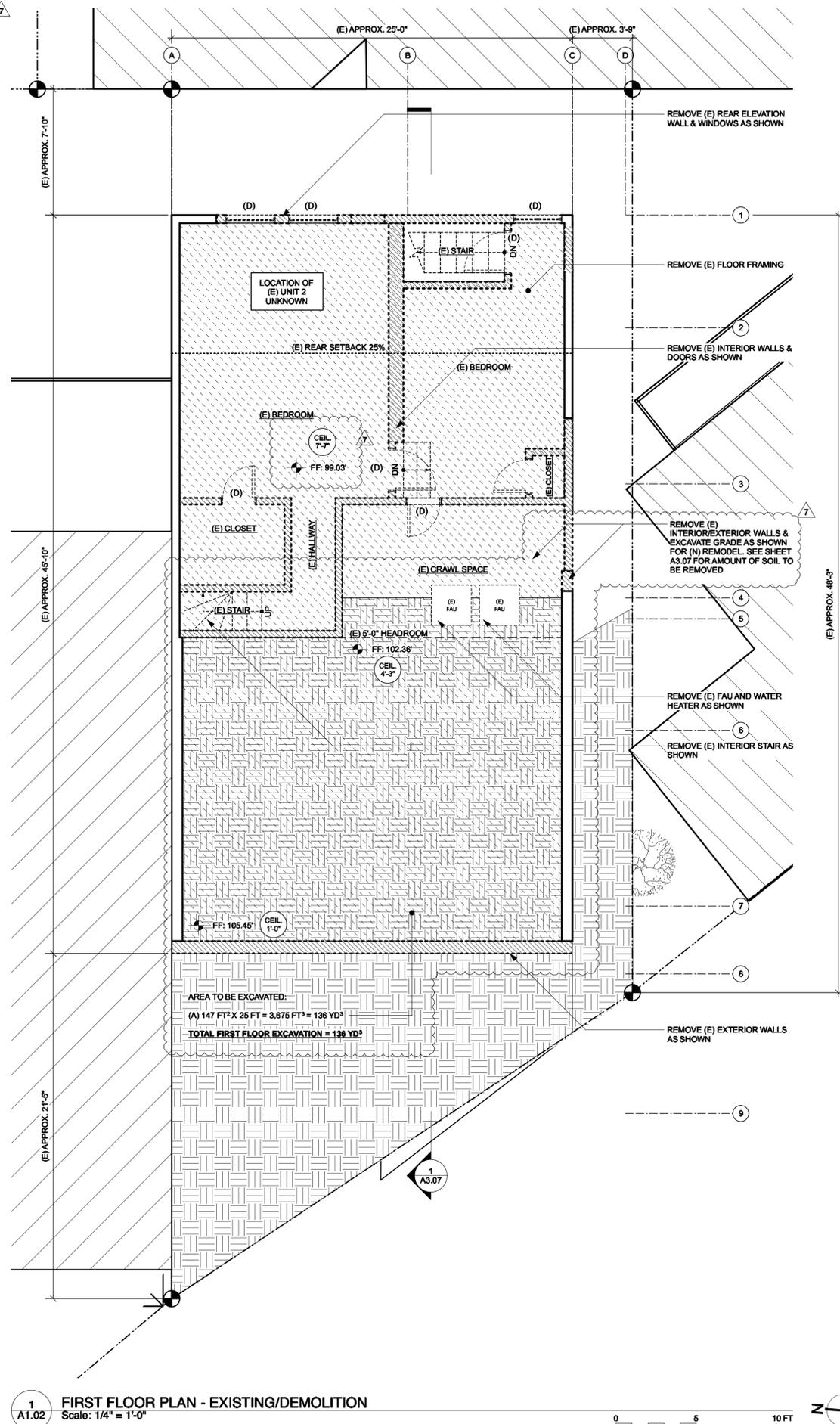
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

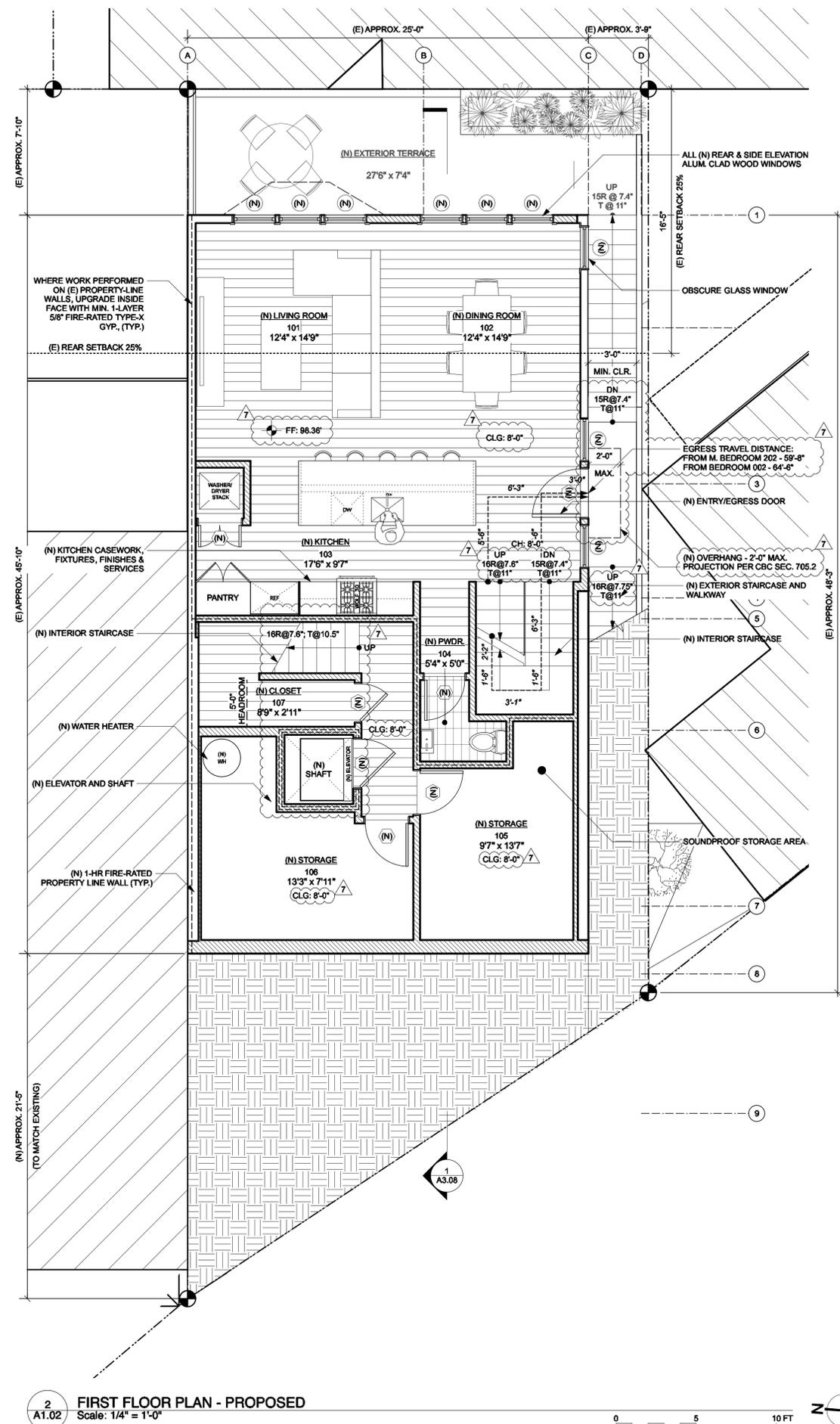
- NEW EXTERIOR WALL (NON-RATED):**
 (N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.)
 (N) WEATHER RESISTIVE BARRIER
 (N) EXTERIOR GRADE PLYWOOD,
 (N) WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 (N) 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL (NON-RATED):**
 (N) 5/8" TYPE 'X' GYPSUM BOARD,
 (N) 2X WD. STUDS,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED INTERIOR WALL:**
 (N) 5/8" TYPE 'X' GYPSUM BOARD,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) 2X WD. STUDS, S.S.D.
 (N) 5/8" TYPE 'X' GYPSUM BOARD
- NEW 2-HOUR FIRE-RATED INTERIOR WALL:**
 (N) 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) WD. STUDS, S.S.D.
 (N) 2-LAYERS 5/8" TYPE 'X' GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED EXTERIOR WALL:**
 (N) FINISH MATERIAL (REFER TO EXT. ELEVS.)
 (N) WEATHER RESISTIVE BARRIER
 (N) 5/8" TYPE 'X' GYPSUM BOARD,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 (N) 5/8" TYPE 'X' GYPSUM BOARD

NOTES, CONSTRUCTION

- 01 CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- 02 CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
- 03 CONTRACTOR SHALL REPAIR ANY DAMAGE TO (E) WALLS AND FLOORS CAUSED BY DEMOLITION OF (E) PARTITIONS & CEILINGS.
- 04 ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE, U.N.O.
- 05 ALL BLOCK'S AND FURRING SHALL BE FIRE TREATED AS REQ. BY BLDG. CODE
- 06 ALL PARTITIONS ABUTTING EXISTING BLDG. CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE U.N.O.
- 07 ALL PARTITIONS SHALL BE BRACED PER THE REQUIREMENTS OF CURRENT LOCAL SEISMIC CODE
- 08 ALL DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"
- 09 ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
- 10 CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 A1.02 FIRST FLOOR PLAN - EXISTING/DEMOLITION
 Scale: 1/4" = 1'-0"



2 A1.02 FIRST FLOOR PLAN - PROPOSED
 Scale: 1/4" = 1'-0"



**FRIEDGEN JOHNSON RESIDENCE
 REMODEL & ADDITION**
 50 SEWARD ST., SAN FRANCISCO, CA 94114
 BLOCK 2701 - LOT 024A

date :	issues/ revisions :	by :
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04.09.19	Site Permit Rev 5	rk
10.23.19	Site Permit Rev 6 (DRA)	rk
06.02.20	Site Permit Rev 7	rk



LEGEND, DEMOLITION

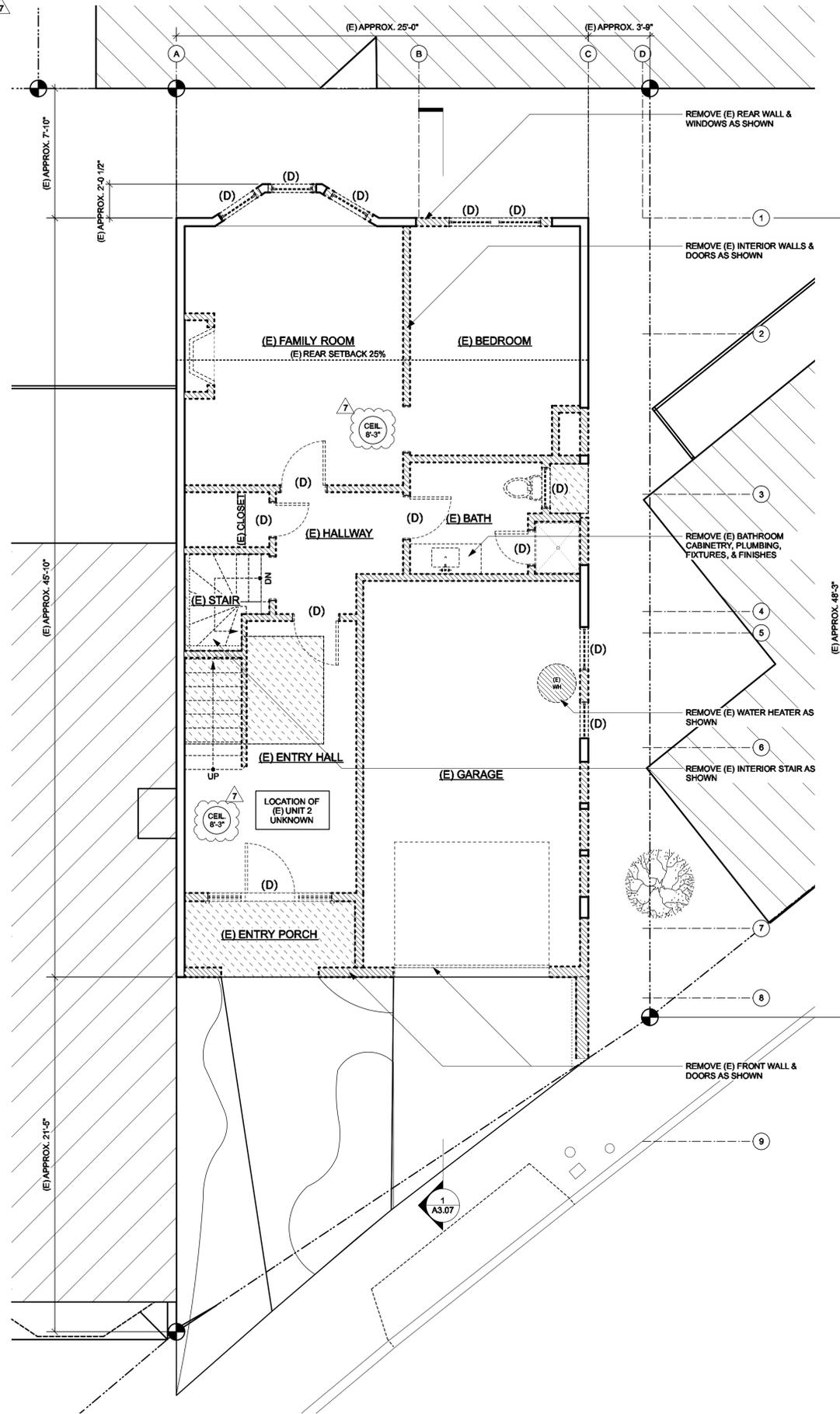
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

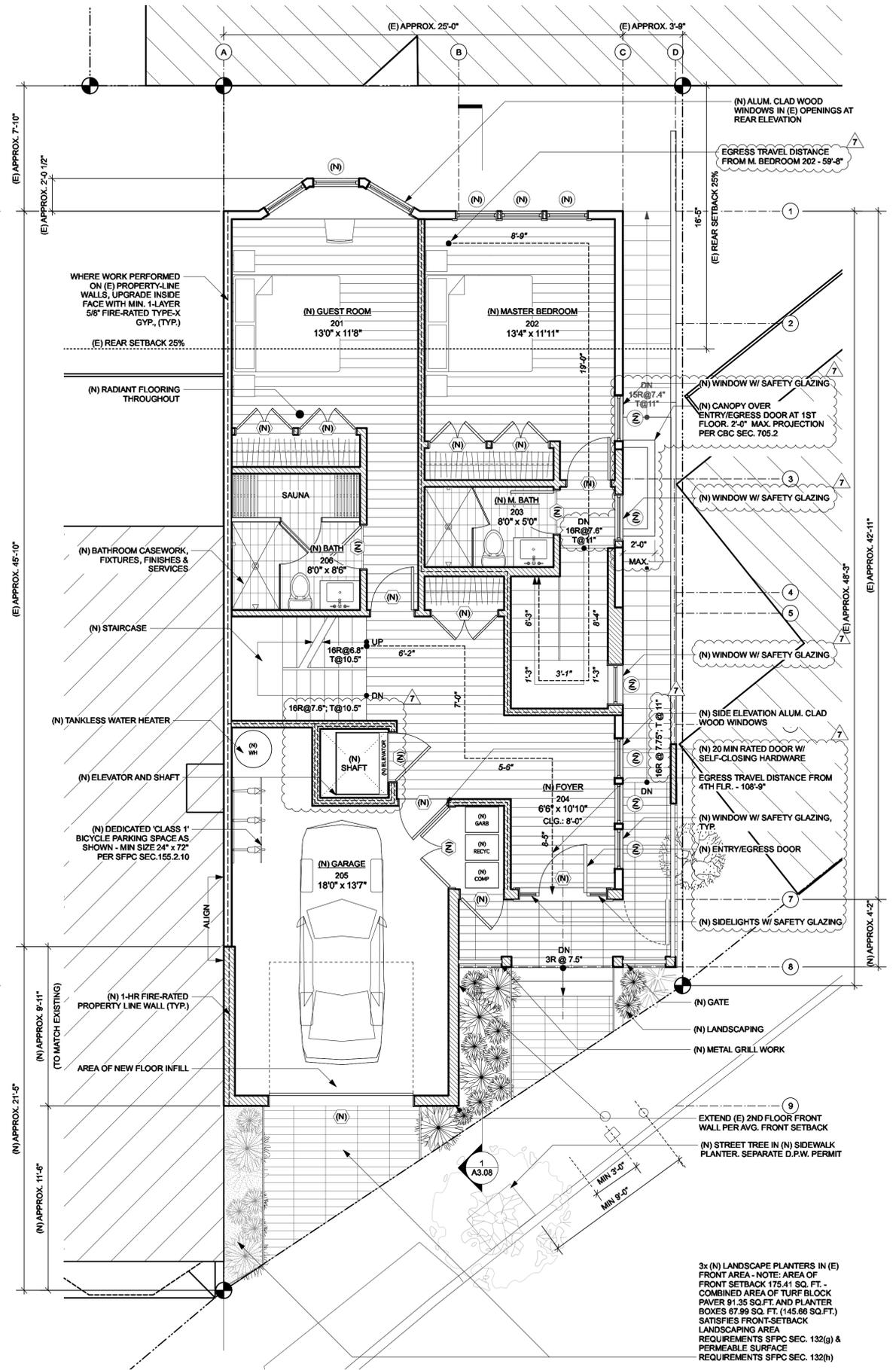
- NEW EXTERIOR WALL (NON-RATED):**
 (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
 (N) WEATHER RESISTIVE BARRIER
 (N) EXTERIOR GRADE PLYWOOD
 (N) WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION
 (N) 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL (NON-RATED):**
 (N) 5/8" GYPSUM BOARD
 (N) 2X WD. STUDS
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED INTERIOR WALL:**
 (N) 5/8" TYPE 'X' GYPSUM BOARD
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) 2X WD. STUDS, S.S.D.
 (N) 5/8" TYPE 'X' GYPSUM BOARD
- NEW 2-HOUR FIRE-RATED INTERIOR WALL:**
 (N) 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) WD. STUDS, S.S.D.
 (N) 2-LAYERS 5/8" TYPE 'X' GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED EXTERIOR WALL:**
 (N) FINISH MATERIAL (REFER TO EXT. ELEV.)
 (N) WEATHER RESISTIVE BARRIER
 (N) 5/8" TYPE 'X' GYPSUM BOARD
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION
 (N) 5/8" TYPE 'X' GYPSUM BOARD

NOTES, CONSTRUCTION

- 01 CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- 02 CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
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- 04 ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE, U.N.O.
- 05 ALL BLOCKS AND FURRING SHALL BE FIRE TREATED AS REQ. BY BLDG. CODE
- 06 ALL PARTITIONS ABUTTING EXISTING BLDG. CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE U.N.O.
- 07 ALL PARTITIONS SHALL BE BRACED PER THE REQUIREMENTS OF CURRENT LOCAL SEISMIC CODE
- 08 ALL DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"
- 09 ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
- 10 CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 A1.03 SECOND FLOOR PLAN - EXISTING/DEMOLITION
 Scale: 1/4" = 1'-0"



2 A1.03 SECOND FLOOR PLAN - PROPOSED
 Scale: 1/4" = 1'-0"



JOHN LIM ARCHITECTURE INC.
 3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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 201704194301_SITE DWGS-REV7
 Patrick D. Riordan
 INTERIM DIRECTOR
 DEPT. OF BUILDING INSPECTION

SECOND FLOOR PLANS

LEGEND, DEMOLITION

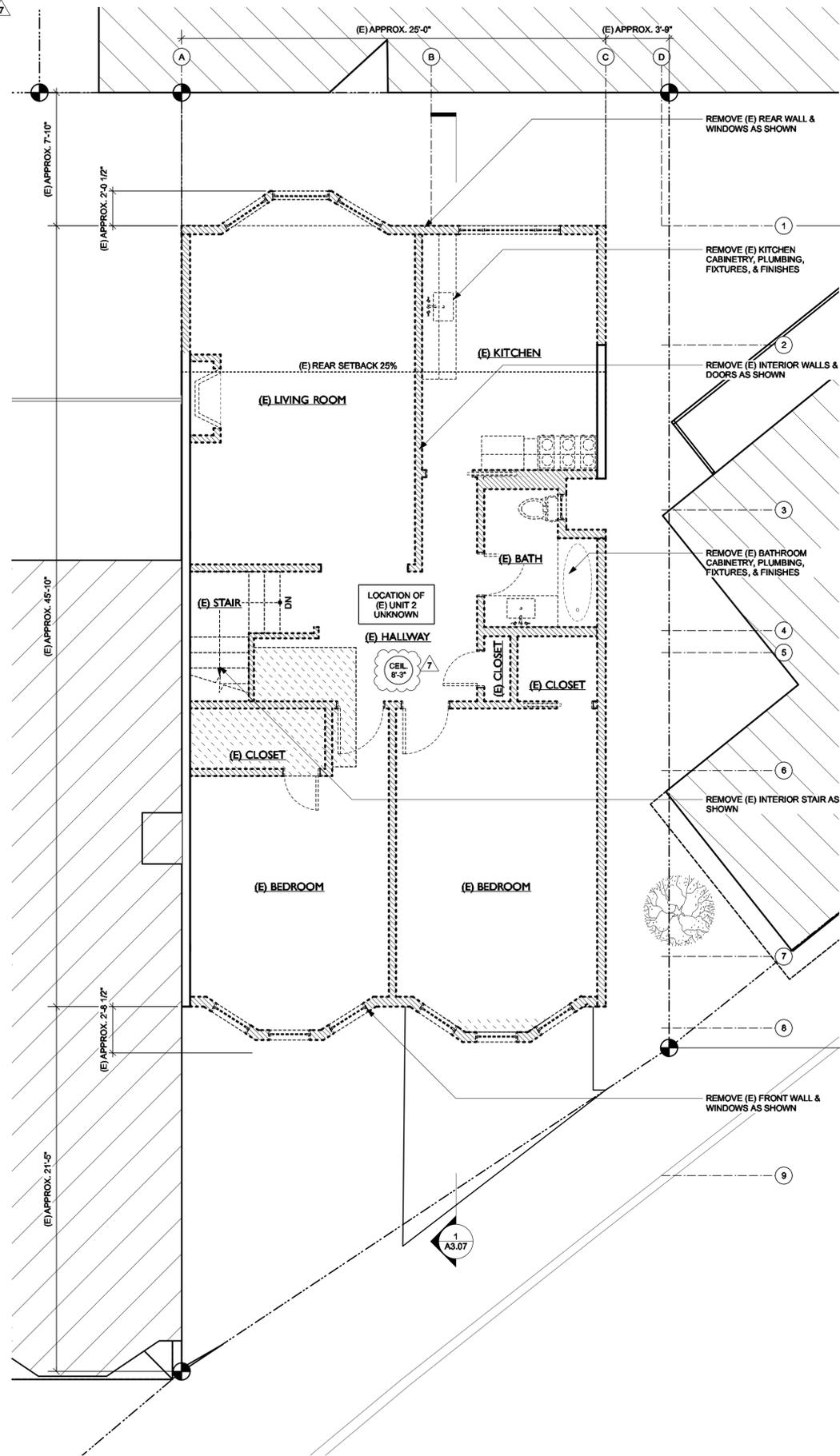
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

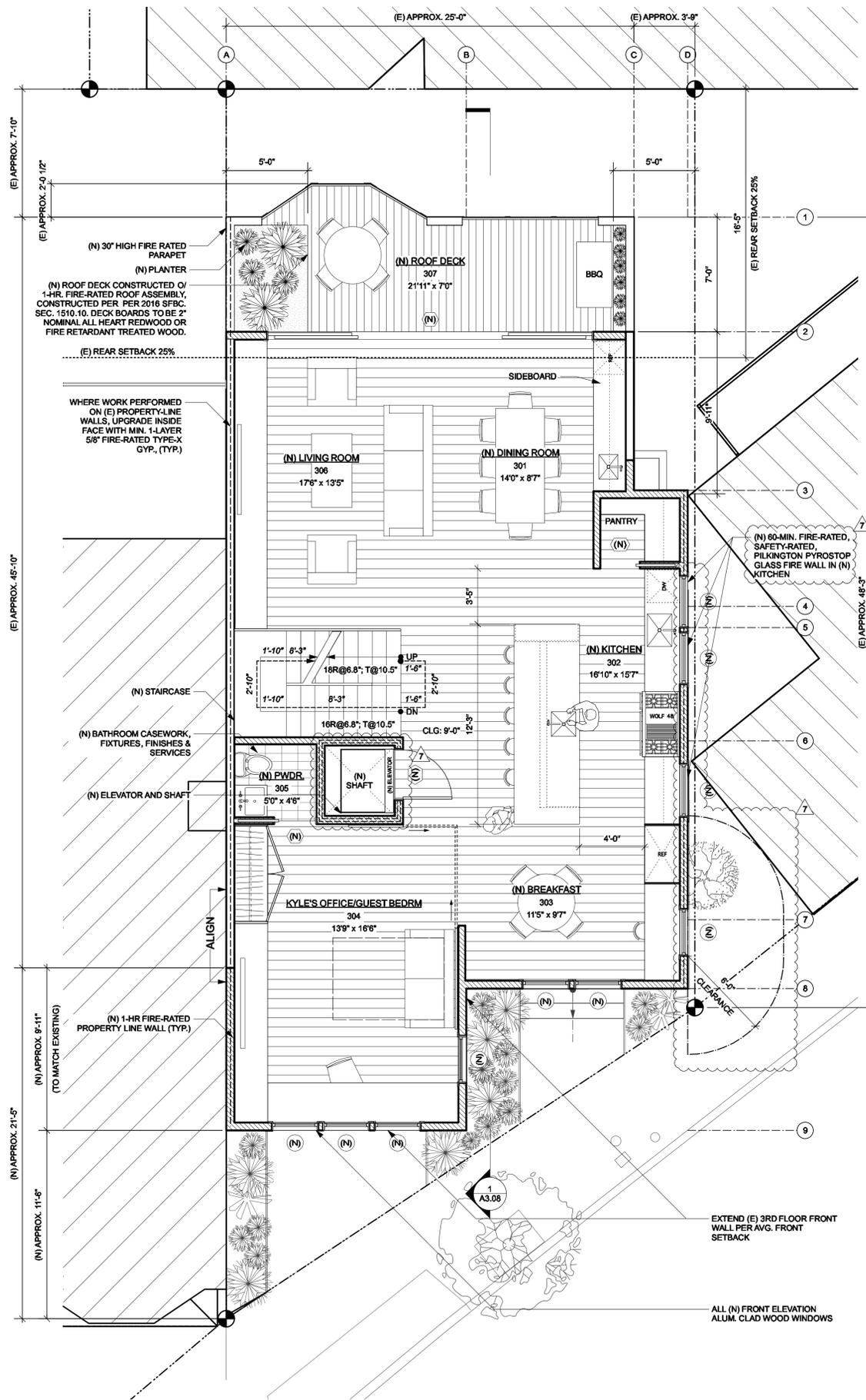
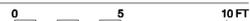
- NEW EXTERIOR WALL (NON-RATED):**
 (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
 (N) WEATHER RESISTIVE BARRIER
 (N) EXTERIOR GRADE PLYWOOD,
 (N) WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 (N) 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL (NON-RATED):**
 (N) 5/8" TYPE 'X' GYPSUM BOARD,
 (N) 2X WD. STUDS,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED INTERIOR WALL:**
 (N) 5/8" TYPE 'X' GYPSUM BOARD,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) 2X WD. STUDS,
 (N) 5/8" TYPE 'X' GYPSUM BOARD
- NEW 2-HOUR FIRE-RATED INTERIOR WALL:**
 (N) 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) WD. STUDS, S.S.D.
 (N) 2-LAYERS 5/8" TYPE 'X' GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED EXTERIOR WALL:**
 (N) FINISH MATERIAL (REFER TO EXT. ELEV.)
 (N) WEATHER RESISTIVE BARRIER
 (N) 5/8" TYPE 'X' GYPSUM BOARD,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 (N) 5/8" TYPE 'X' GYPSUM BOARD

NOTES, CONSTRUCTION

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- 08 ALL DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"
- 09 ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
- 10 CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1
A1.04 THIRD FLOOR PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2
A1.04 THIRD FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



JOHN LIM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: Kelly Friedgen & Kyle Johnson
san francisco, ca 94115

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Patrick D. Riordan
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

THIRD FLOOR PLANS

A1.04

LEGEND, DEMOLITION

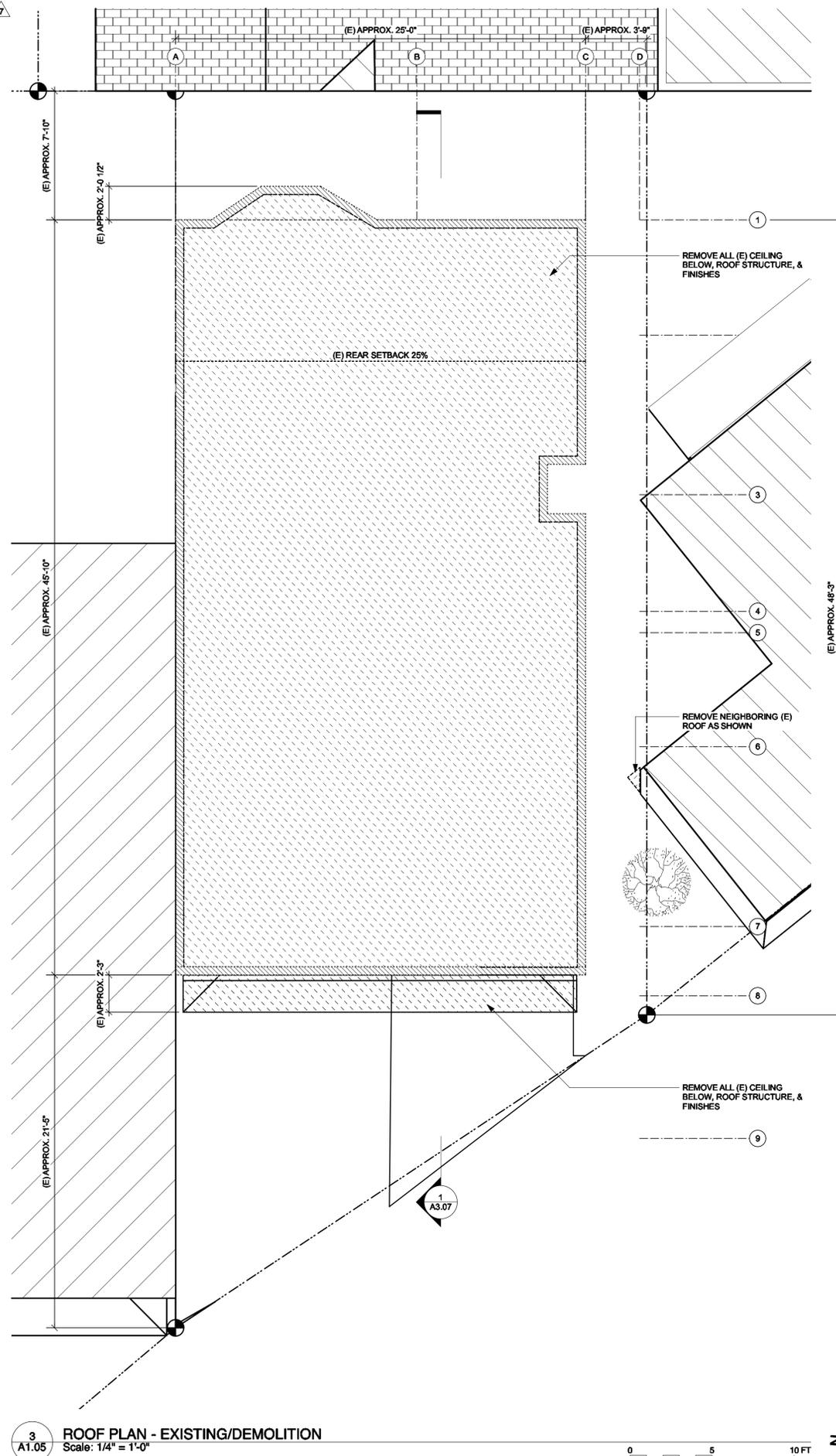
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

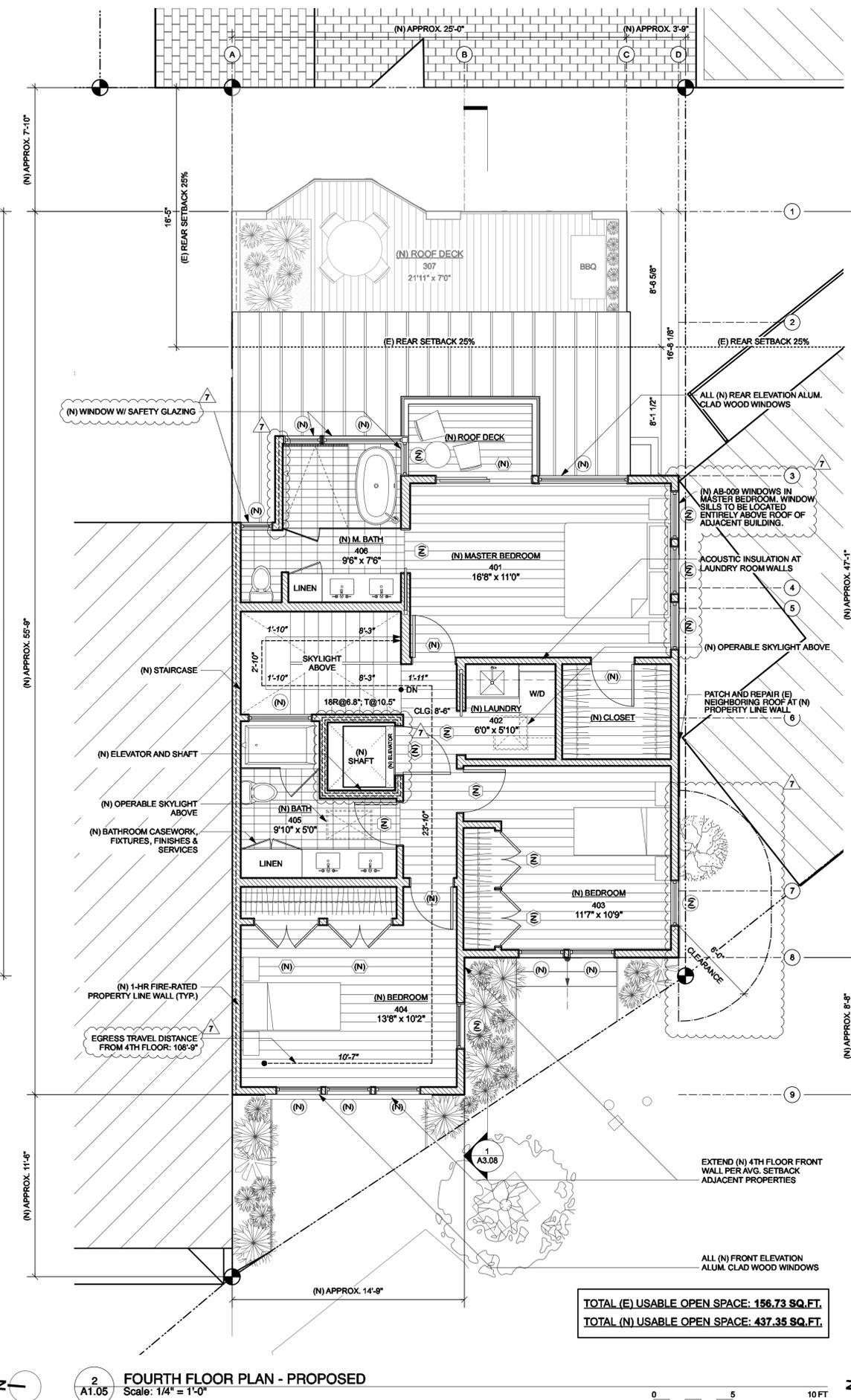
- NEW EXTERIOR WALL (NON-RATED):**
 (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
 (N) WEATHER RESISTIVE BARRIER
 (N) EXTERIOR GRADE PLYWOOD,
 (N) W/D. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 (N) 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL (NON-RATED):**
 5/8" TYPE 'X' GYPSUM BOARD,
 (N) 2X W/D. STUDS,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED INTERIOR WALL:**
 5/8" TYPE 'X' GYPSUM BOARD,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) 2X W/D. STUDS, S.S.D.
 (N) 5/8" TYPE 'X' GYPSUM BOARD
- NEW 2-HOUR FIRE-RATED INTERIOR WALL:**
 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD,
 (N) STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 (N) W/D. STUDS, S.S.D.
 (N) 2-LAYERS 5/8" TYPE 'X' GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED EXTERIOR WALL:**
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3
A1.05 ROOF PLAN - EXISTING/DEMOLITION
 Scale: 1/4" = 1'-0"



2
A1.05 FOURTH FLOOR PLAN - PROPOSED
 Scale: 1/4" = 1'-0"



TOTAL (E) USABLE OPEN SPACE: 156.73 SQ. FT.
TOTAL (N) USABLE OPEN SPACE: 437.35 SQ. FT.



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August 19, 2020
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Patrick D. Riordan
 PATRICK D. RIORDAN
 INTERIM DIRECTOR
 DEPT. OF BUILDING INSPECTION

LEGEND, DEMOLITION

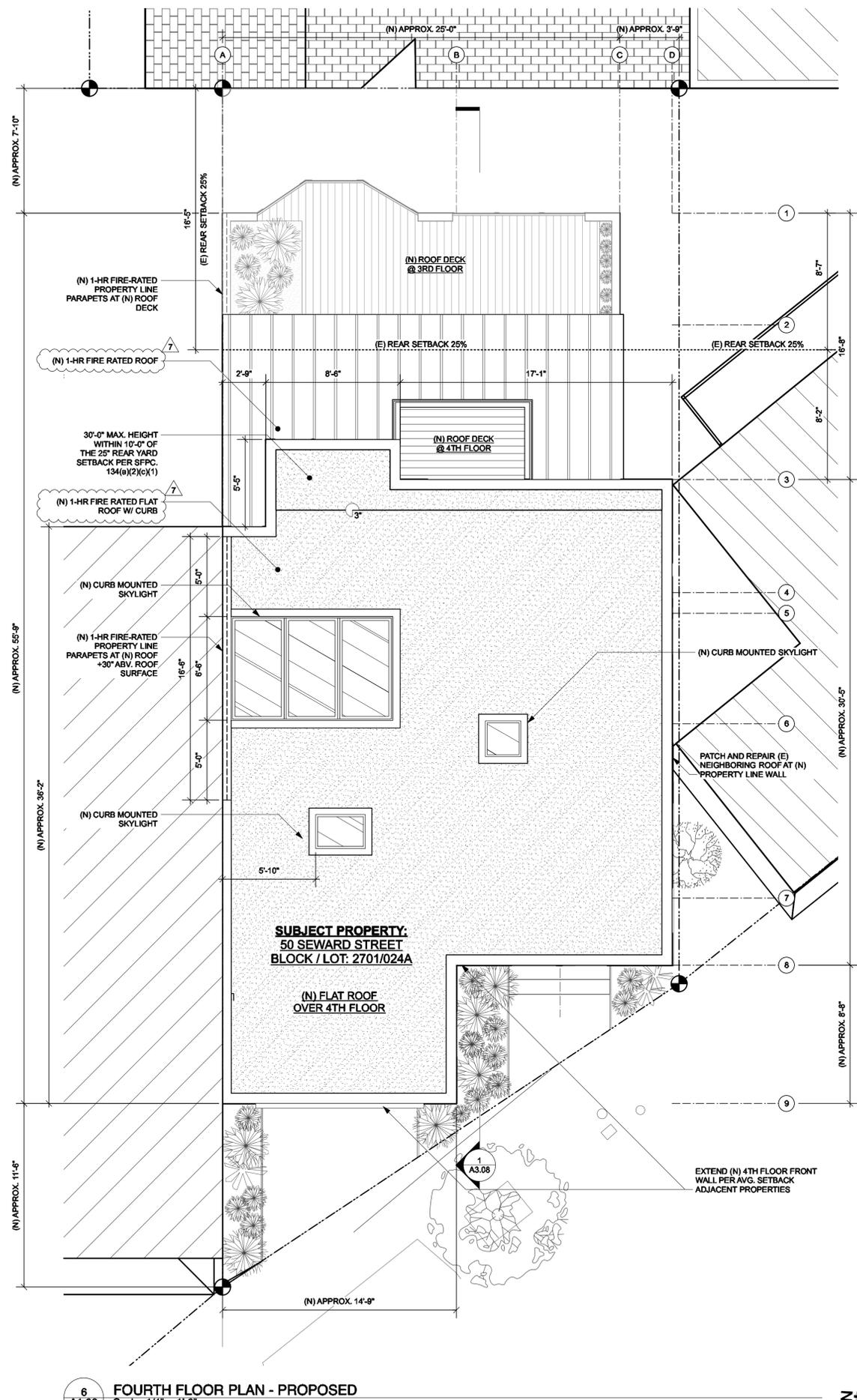
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

- NEW EXTERIOR WALL (NON-RATED):**
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.)
(N) WEATHER RESISTIVE BARRIER
(N) EXTERIOR GRADE PLYWOOD
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6
A1.06 **FOURTH FLOOR PLAN - PROPOSED**
Scale: 1/4" = 1'-0"



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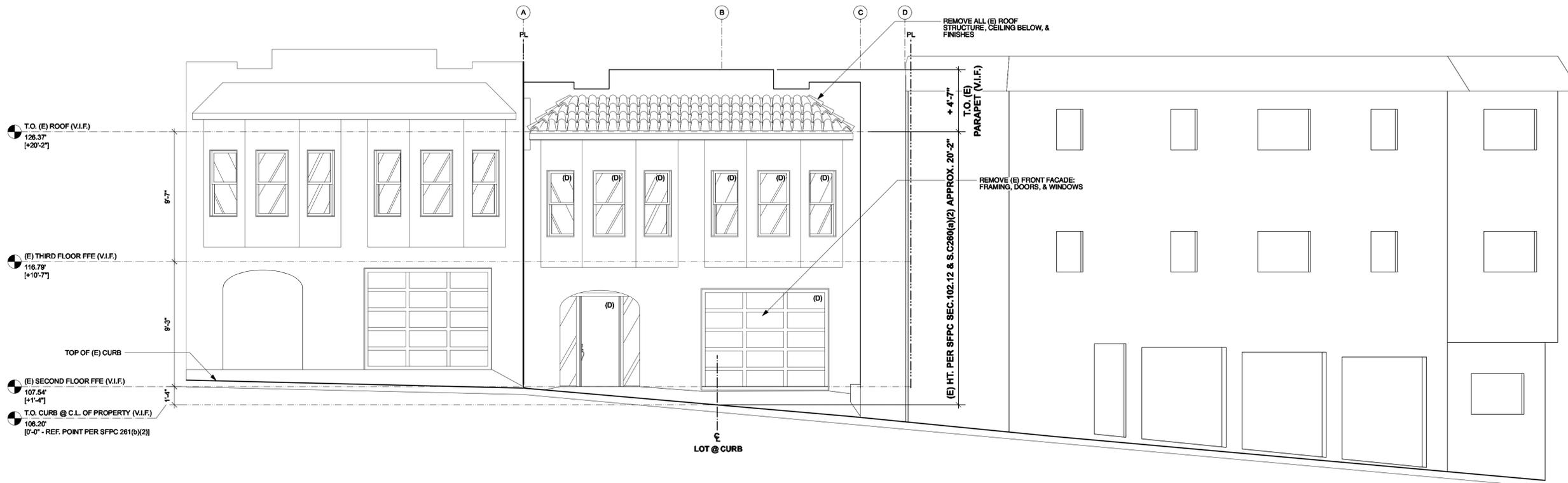
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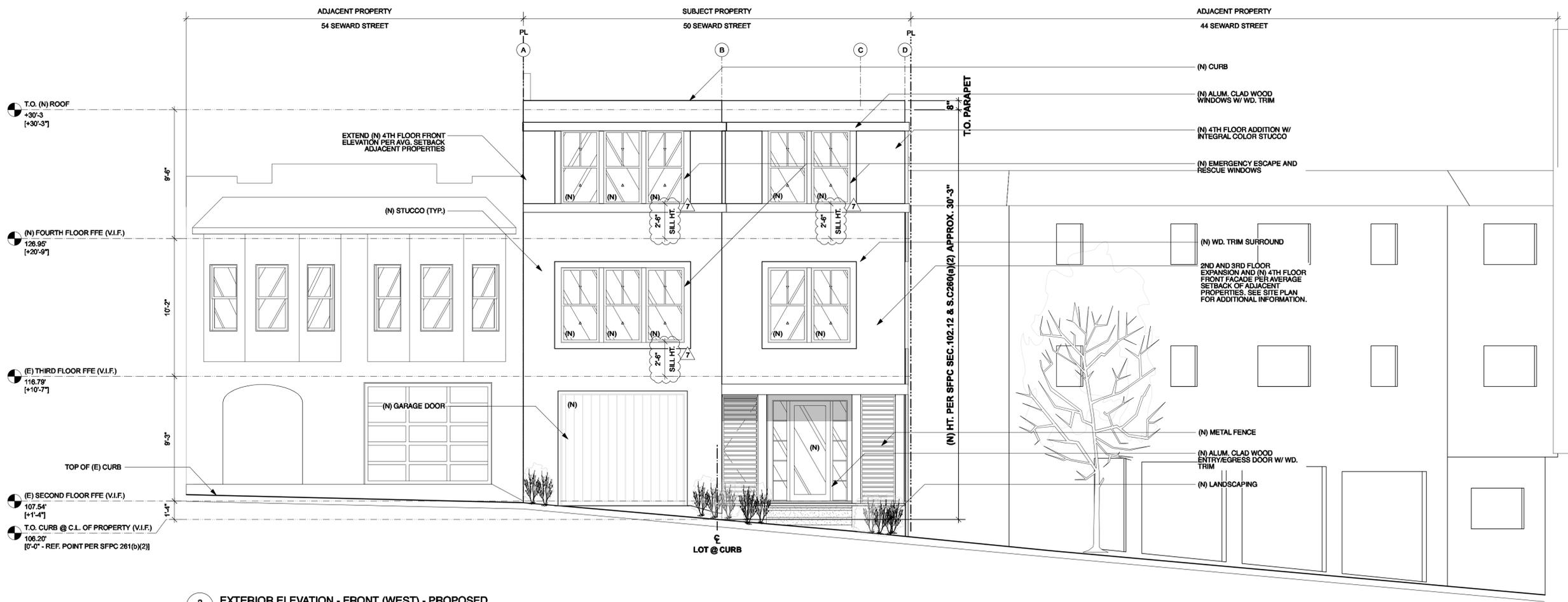


August 19, 2020
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Patrick O'Riordan
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

(P) ROOF PLANS
A1.06



1
A3.01
EXTERIOR ELEVATION - FRONT (WEST) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2
A3.01
EXTERIOR ELEVATION - FRONT (WEST) - PROPOSED
Scale: 1/4" = 1'-0"



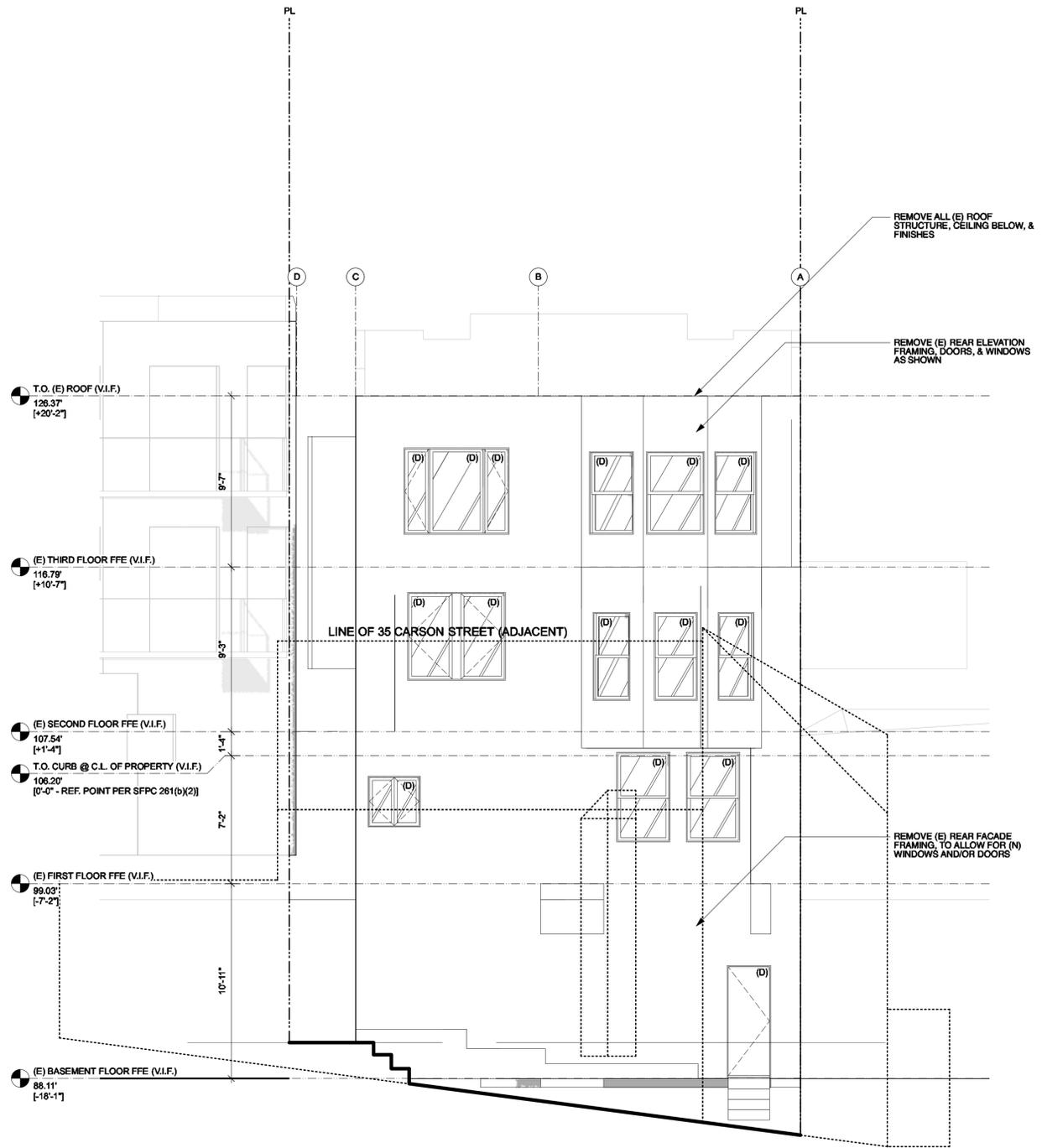
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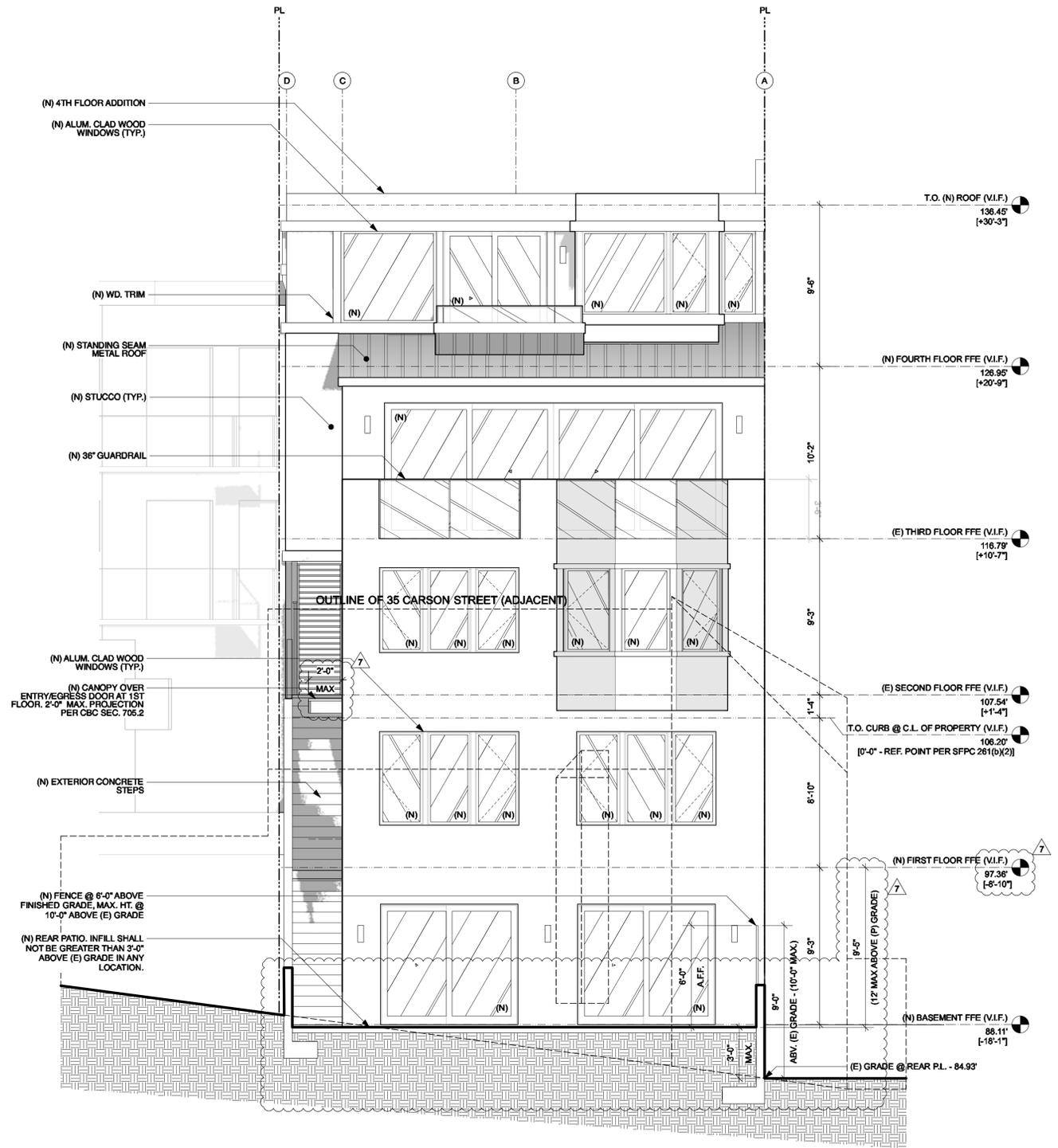
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EXT. ELEVATIONS (WEST)



1 EXTERIOR ELEVATION - REAR (EAST) - EXISTING/DEMOLITION
 A3.02 Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - REAR (EAST) - PROPOSED
 A3.02 Scale: 1/4" = 1'-0"



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EXT. ELEVATIONS (EAST)

A3.02



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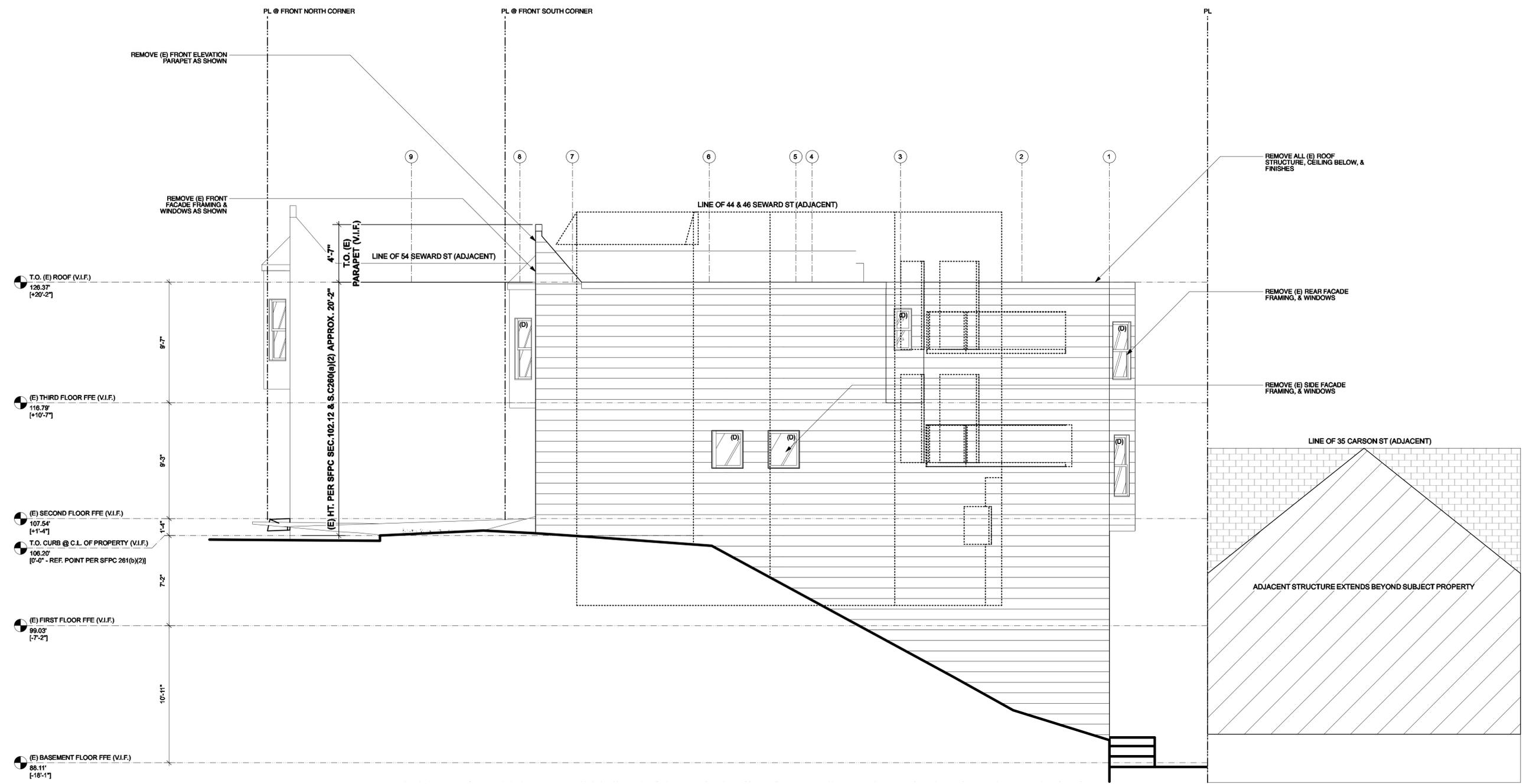


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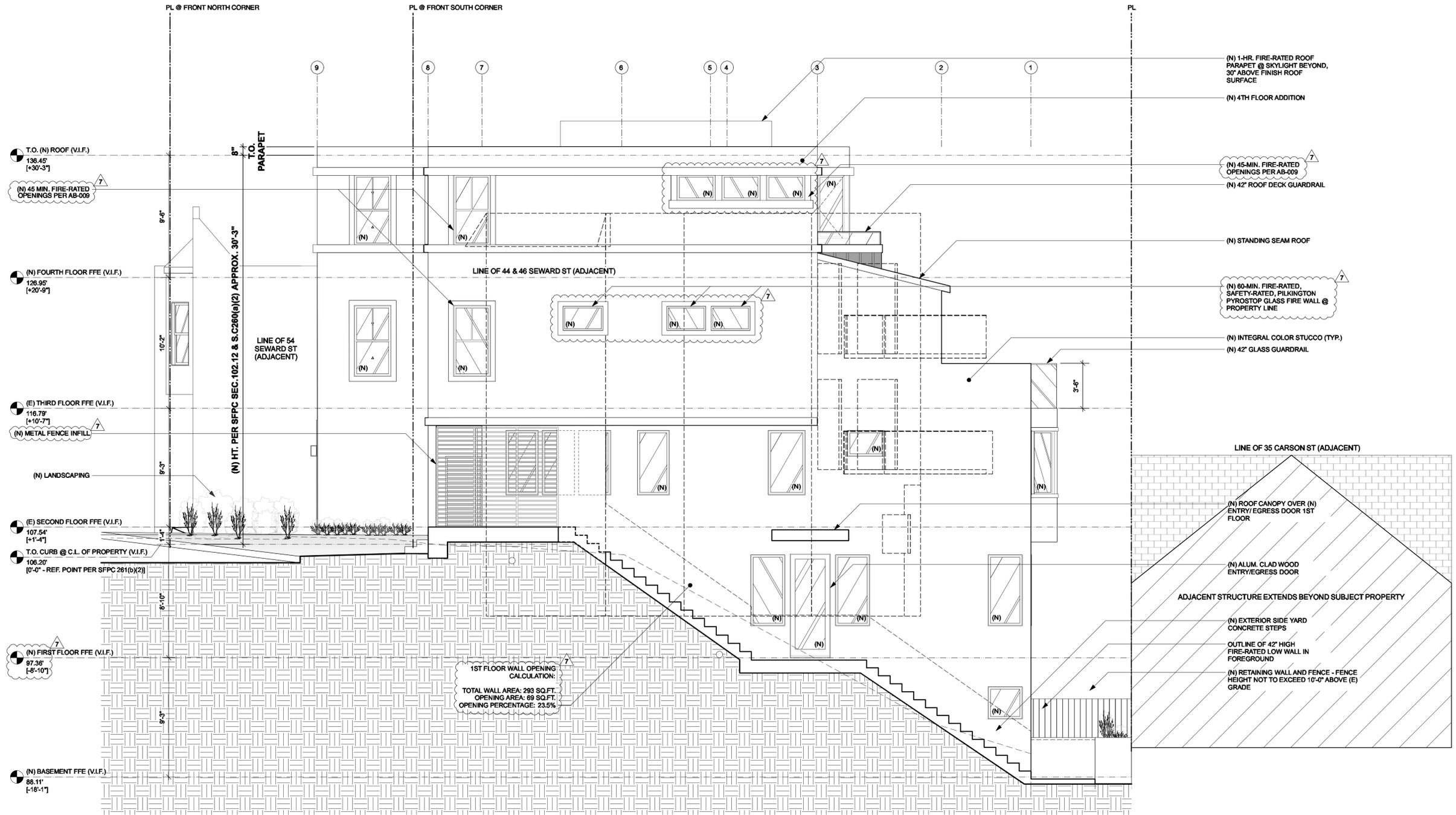
Patrick D. Riordan
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EXT. ELEVATIONS (SOUTH)

A3.03



1
A3.03 EXTERIOR ELEVATION - SIDE (SOUTH) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



1
A3.04 EXTERIOR ELEVATION - SIDE (SOUTH) - PROPOSED
Scale: 1/4" = 1'-0"

1ST FLOOR WALL OPENING CALCULATION:
TOTAL WALL AREA: 293 SQ.FT.
OPENING AREA: 69 SQ.FT.
OPENING PERCENTAGE: 23.5%



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
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BLOCK 2701 - LOT 024A

Client: Kelly Friedgen & Kyle Johnson
50 Seward St
San Francisco, CA 94115

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EXT. ELEVATIONS (SOUTH)



FRIEDGEN JOHNSON RESIDENCE REMODEL & ADDITION

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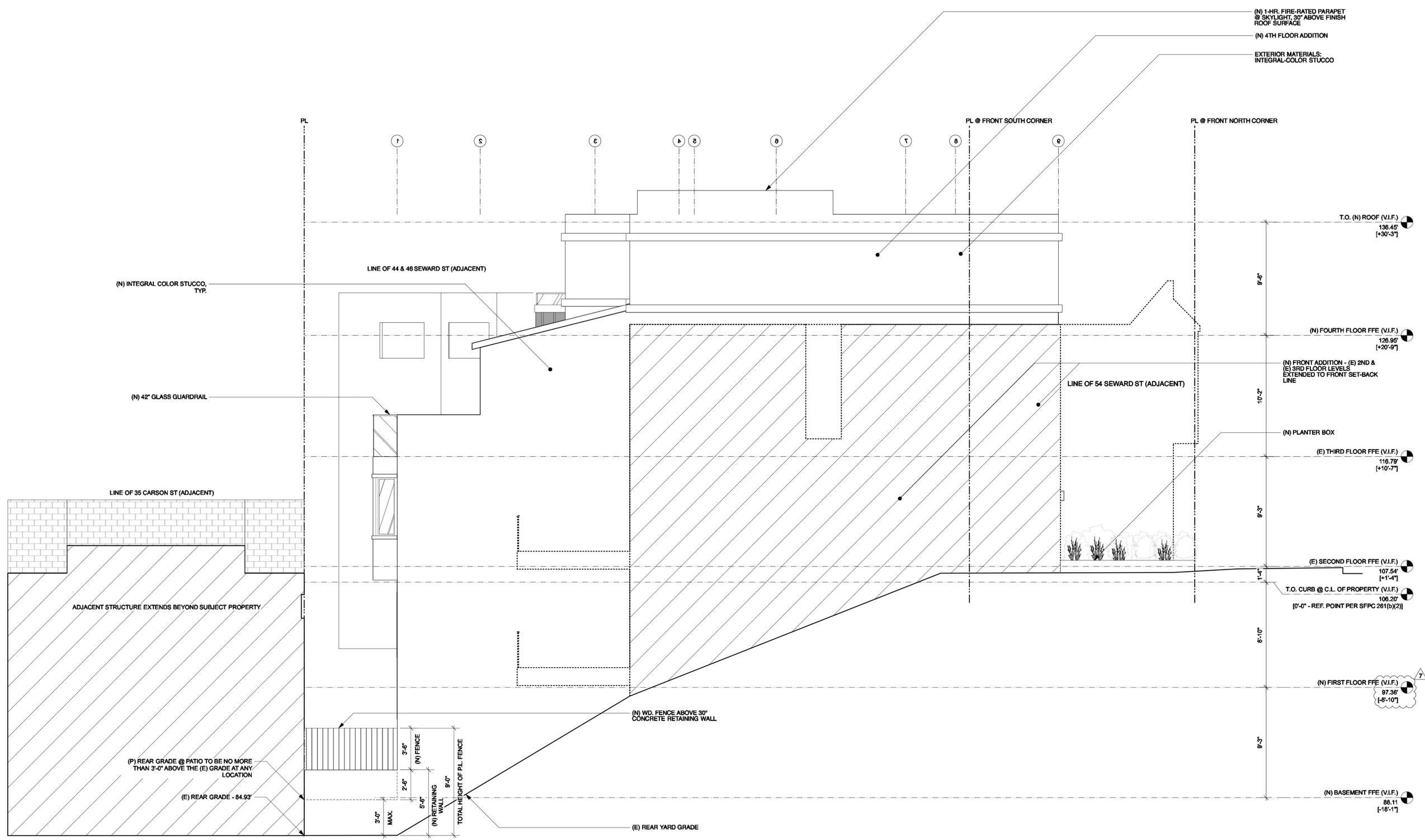
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EXT. ELEVATIONS (NORTH)



1 A3.06 EXTERIOR ELEVATION - SIDE (NORTH) - PROPOSED
Scale: 1/4" = 1'-0"



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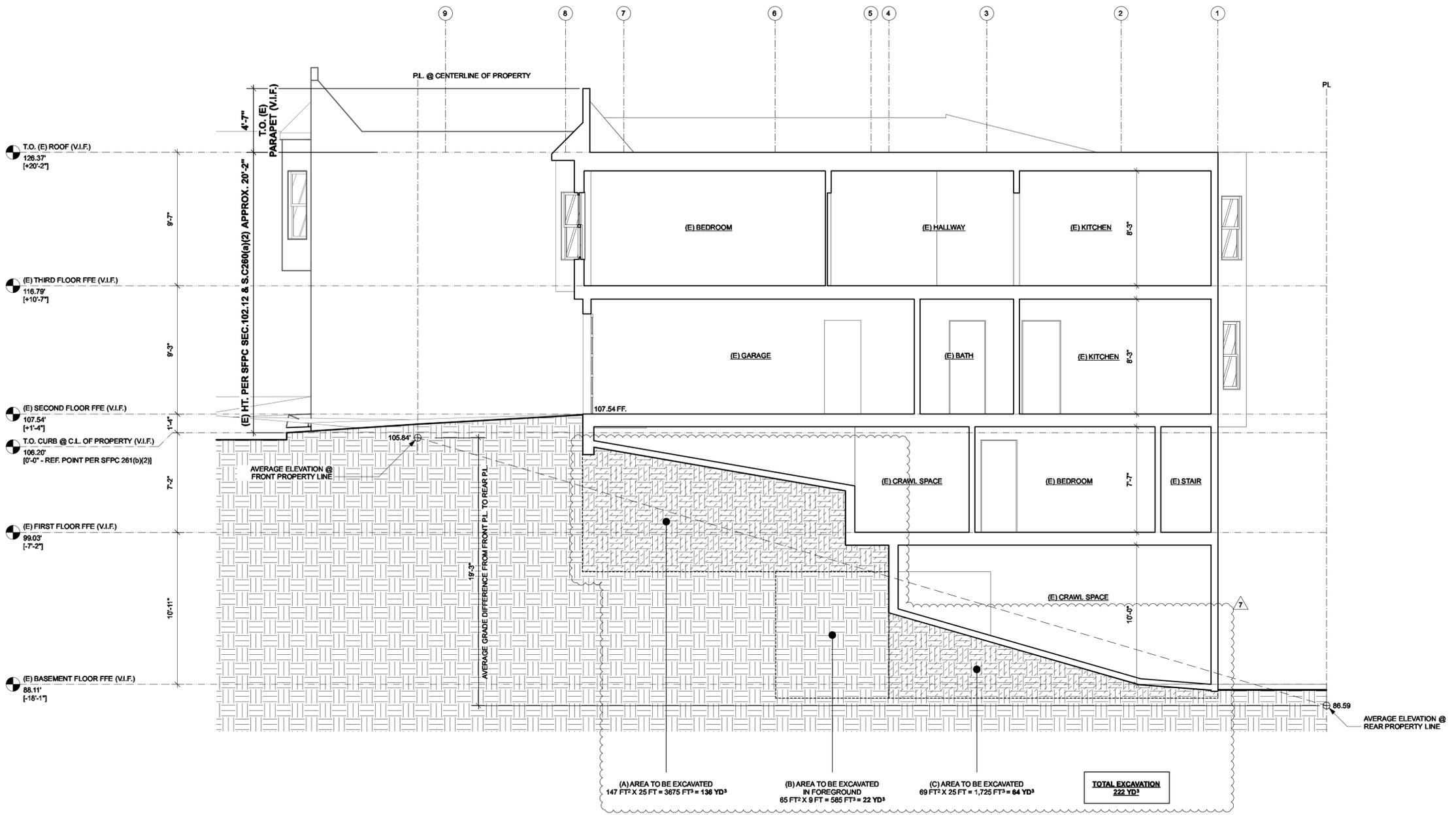
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(E) BUILDING SECTION

A3.07



1 BUILDING SECTION: EXISTING / DEMO
Scale: 1/4" = 1'-0"

(A) AREA TO BE EXCAVATED
147 FT² X 25 FT = 3675 FT³ = 138 YD³

(B) AREA TO BE EXCAVATED
IN FOREGROUND
85 FT² X 9 FT = 585 FT³ = 22 YD³

(C) AREA TO BE EXCAVATED
69 FT² X 25 FT = 1,725 FT³ = 64 YD³

**TOTAL EXCAVATION
222 YD³**



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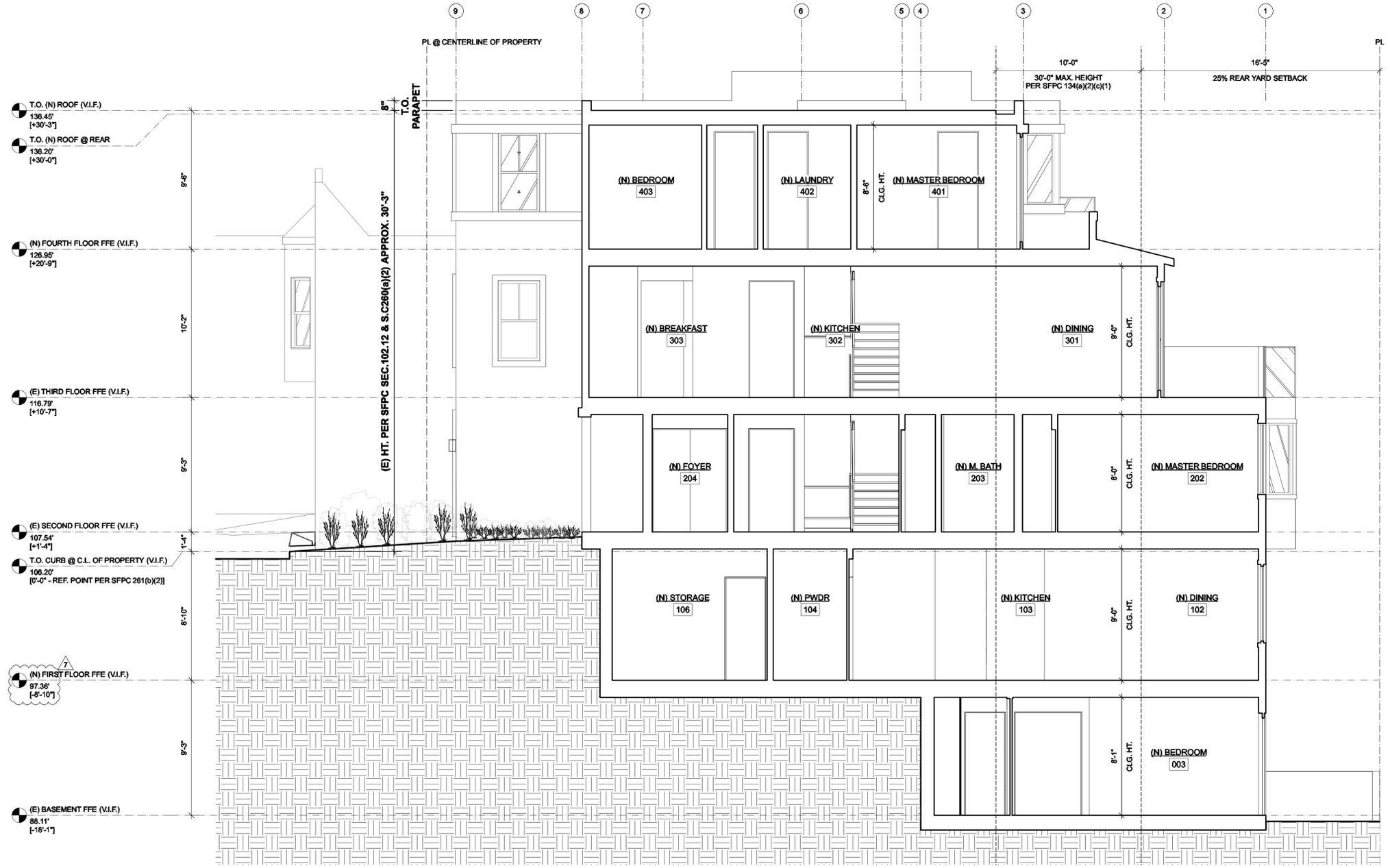


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(P) BUILDING SECTION

A3.08

40'-0" HEIGHT LIMIT PER SFPC 281(b)(2)



- T.O. (N) ROOF (V.L.F.)
136.45' [+30'-3"]
- T.O. (N) ROOF @ REAR
136.20' [+30'-0"]
- (N) FOURTH FLOOR FFE (V.L.F.)
126.95' [+20'-9"]
- (E) THIRD FLOOR FFE (V.L.F.)
116.79' [+10'-7"]
- (E) SECOND FLOOR FFE (V.L.F.)
107.54' [+1'-4"]
- T.O. CURB @ C.L. OF PROPERTY (V.L.F.)
106.20' [0'-0" - REF. POINT PER SFPC 281(b)(2)]
- (N) FIRST FLOOR FFE (V.L.F.)
97.36' [-8'-10"]
- (E) BASEMENT FFE (V.L.F.)
88.11' [-18'-1"]

1 BUILDING SECTION - PROPOSED
A3.08 Scale: 1/4" = 1'-0"

GS1: San Francisco Green Building Site Permit Submittal Form

Form version: February 1, 2018 (For permit applications January 2017 - December 2019)

INSTRUCTIONS:				NEW CONSTRUCTION				ALTERATIONS + ADDITIONS					PROJECT INFO				
1. Select one (1) column to identify requirements for the project. For addition and alteration projects, applicability of specific requirements may depend upon project scope. 2. Provide the Project Information in the box at the right. 3. A LEED or GreenPoint Rated Scorecard is not required with the site permit application, but using such tools as early as possible is recommended. 4. To ensure legibility of DBI archives, submittal must be a minimum of 24" x 36". Attachment GS2, GS3, GS4, GS5 or GS6 will be due with the applicable addendum. A separate "FINAL COMPLIANCE VERIFICATION" form will be required prior to Certificate of Completion. For details, see Administrative Bulletin 93. For Municipal projects, additional Environment Code Chapter 7 requirements may apply; see GS6.				CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT →				<input type="checkbox"/> LOW-RISE RESIDENTIAL	<input type="checkbox"/> HIGH-RISE RESIDENTIAL	<input type="checkbox"/> LARGE NON-RESIDENTIAL	<input type="checkbox"/> OTHER NON-RESIDENTIAL	<input type="checkbox"/> RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	<input checked="" type="checkbox"/> OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	<input type="checkbox"/> NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	<input type="checkbox"/> FIRST-TIME NON-RESIDENTIAL INTERIORS	<input type="checkbox"/> OTHER NON-RESIDENTIAL INTERIORS, ALTERATIONS + ADDITIONS	FREDGEN/JOHNSON RESIDENCE REMODEL AND ADDITION
				R 1-3 Floors	R 4+ Floors	A,B,E,I,M 25,000 sq.ft. or greater	F,H,L,S,U or A,B,E,I,M less than 25,000 sq.ft.	R 25,000 sq.ft. or greater	R adds any amount of conditioned area	B,M 25,000 sq.ft. or greater	A,B,I,M 25,000 sq.ft. or greater	A,B,E,F,H,L,I,M,S,U more than 1,000 sq.ft. or \$200,000	BLOCK/LOT 50 SEWARD ST.				
TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT	LEED/GPR	LOW-RISE RESIDENTIAL	HIGH-RISE RESIDENTIAL	LARGE NON-RESIDENTIAL	OTHER NON-RESIDENTIAL	RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	FIRST-TIME NON-RESIDENTIAL INTERIORS	OTHER NON-RESIDENTIAL INTERIORS, ALTERATIONS + ADDITIONS	ADDRESS				
Required LEED or GPR Certification Level	SFGBC 4.103.1.1, 4.103.2.1, 4.103.3.1, 5.103.1.1, 5.103.3.1 & 5.103.4.1	Project is required to achieve sustainability certification listed at right	LEED SILVER (50+) or GPR (75+) CERTIFIED				n/r	LEED GOLD (60+) or GPR (75+) CERTIFIED	n/r	LEED GOLD (60+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	SINGLE FAMILY DWELLING				
LEED/GPR Point Adjustment for Retention/Demolition of Historic Features/Building	SFGBC 4.104, 4.105, 5.104 & 5.105	Enter any applicable point adjustments in box at right.					n/r		n/r			n/r	PRIMARY OCCUPANCY				
LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.4.1-6, SFGBC 4.103.3.2, 5.103.1.9, 5.103.3.2 & 5.103.4.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems that meet the requirements for GPR measures K2, K3 and L2 or LEED EQc2, as applicable. New large non-residential interiors and major alterations to existing residential and non-residential buildings must also use interior paints, coatings, sealants, and adhesives when applied on-site, flooring and composite wood that meet the requirements of LEED credit Low-Emitting Materials (EQc2).	4.504.2.1-5	4.504.2.1-5	LEED EQc2	5.504.4.1-6	LEED EQc2 or GPR K2, K3 & L2	4.504.2.1-5	LEED EQc2	LEED EQc2	LEED EQc2	5.504.4.1-6	4,614 SQ.FT.				
INDOOR WATER USE REDUCTION	CALGreen 4.303.1 & 5.303.3, SFGBC 5.103.1.2, SF Building Code sec.12A10, SF Building Code ch.13A	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10. Large non-residential interiors, alterations & additions must upgrade all non-compliant fixtures per SF Building Code ch.13A New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEc2).			LEED WEc2 (2 pts)								DESIGN PROFESSIONAL or PERMIT APPLICANT (sign & date)				
NON-POTABLE WATER REUSE	Health Code art.12C	New buildings ≥ 40,000 sq.ft. must calculate a water budget. New buildings ≥250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details.	n/r			n/r	n/r	n/r	n/r	n/r	n/r	n/r					
WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	New construction projects with aggregated landscape area ≥500 sq.ft., or existing projects with modified landscape area ≥1,000 sq.ft. shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated E AF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area. See www.sfwater.org for details.															
WATER METERING	CALGreen 5.303.1	Provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq.ft.).	n/r	n/r				n/r	n/r								
ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Title 24 Part 6 Energy Standards.															
BETTER ROOFS	SFGBC 4.201.1 & 5.201.1.2	New non-residential buildings >2,000 sq.ft. and ≤10 occupied floors, and new residential buildings of any size and ≤10 occupied floors, must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems.		≤10 floors			n/r	n/r	n/r	n/r	n/r	n/r					
RENEWABLE ENERGY	SFGBC 5.201.1.3	Non-residential buildings with ≥11 floors must acquire at least 1% of energy from on-site renewable sources, purchase green energy credits, or achieve 5 points under LEED credit Optimize Energy Performance (EAc2).	n/r	n/r			n/r	n/r	n/r	n/r	n/r	n/r					
COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	For projects ≥10,000 sq.ft. include OPR, BOD, and commissioning plan in design & construction. Commission to comply. Alterations & additions with new HVAC equipment must test and adjust all equipment.	n/r	n/r	LEED EAc1 opt. 1		n/r	n/r									
BICYCLE PARKING	CALGreen 5.106.4, Planning Code 155.1-2	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater.	SF Planning Code sec.155.1-2	SF Planning Code sec.155.1-2				if applicable SF Planning Code sec.155.1-2	if applicable SF Planning Code sec.155.1-2				if >10 stalls added				
DESIGNATED PARKING	CALGreen 5.106.5.2	Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles	n/r	n/r			n/r	n/r					if >10 stalls added				
WIRING FOR EV CHARGERS	SFGBC 4.106.4 & 5.106.5.3	Permit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE. Install service capacity and panelboards sufficient to provide ≥40A 208 or 240V to EV chargers at 20% of spaces. Install ≥40A 208 or 240V branch circuits to ≥10% of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required. Projects with zero off-street parking exempt. See SFGBC 4.106.4 or SFGBC 5.106.5.3 for details. Permit applications prior to January 2018 only: Install infrastructure to provide electricity for EV chargers at 6% of spaces for non-residential (CalGreen 5.106.5.3), 3% of spaces for multifamily with ≥17 units (CalGreen 4.106.4.2), and each space in 1-2 unit dwellings (CalGreen 4.106.4.1). Installation of chargers is not required.					applicable for permit application January 2018 or after	n/r	applicable for permit application January 2018 or after	n/r	n/r	n/r					
RECYCLING BY OCCUPANTS	SF Building Code AB-089	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials															
CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, Environment Code ch.14, SF Building Code ch.13B	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate. Divert a minimum of 75% of total C&D debris if noted.		75% diversion	75% diversion						75% diversion						
HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.			n/r	n/r				n/r	n/r	n/r	n/r				
HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.			n/r	n/r				n/r	n/r	n/r	n/r				
REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.	n/r	n/r			n/r	n/r									
LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.	n/r	n/r			n/r	n/r									
BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.															
TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.															
STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. See www.sfwater.org for details.						if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope					
CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details.	if disturbing ≥5,000 sq.ft.		if disturbing ≥5,000 sq.ft.	if disturbing ≥5,000 sq.ft.	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope					
ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceiling between tenants). New residential projects' interior noise due to exterior sources shall not exceed 45dB.					n/r	n/r									
AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1-3 & 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.															
AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3, SF Health Code art.38	Non-residential projects must provide MERV-8 filters on H AC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on H AC.	if applicable	if applicable			if applicable	n/r									
CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all H AC.	n/r	n/r	LEED EQc3	n/r	n/r	n/r	n/r	n/r	n/r	n/r					
GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.			n/r	n/r	if applicable	if applicable	n/r	n/r	n/r	n/r					
RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.			n/r	n/r			n/r	n/r	n/r	n/r					
FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.			n/r	n/r			n/r	n/r	n/r	n/r					
CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.			n/r	n/r			n/r	n/r	n/r	n/r					
MOISTURE CONTENT	CALGreen 4.505.3	Wall and floor wood framing must have <19% moisture content before enclosure.			n/r	n/r			n/r	n/r	n/r	n/r					
BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).			n/r	n/r			n/r	n/r	n/r	n/r					



APPROVED
 Dept. of Building Insp.
 - San Francisco -
 August 19, 2020
 201704194301_SITE DWGS-REV7
 PATRICK O'RIOURAN
 INTERIM DIRECTOR
 DEPT. OF BUILDING INSPECTION

EXHIBIT 3



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: JUNE 6, 2019

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: May 30, 2019
Case No.: 2017-006245DRP
Project Address: 50 Seward St.
Permit Application: 2017.0419.4301
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 2701/024A
Project Sponsor: Khoan Duong
John Lum Architecture
3246 17th Street
San Francisco, CA 94110
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Do not take DR and approve**

PROJECT DESCRIPTION

The project consists of a 7' reduction at the rear of the second story, a horizontal front addition, and a third story vertical addition to an existing 2-story (at the street) two-family residence. The proposal also includes relocating the garage and curb cut.

SITE DESCRIPTION AND PRESENT USE

The site is an approximately 28'-9" wide x 65'-6" deep down sloping lot with an existing 2-story at street, two-family house built in 1928. The building is a category 'C' historical resource. Seward is a 45'-6" wide right-of-way.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This property on Seward Street is set between a group of 2-story stucco single-family houses set back from at an angle from the street to the North, and multistory, multi-family apartment buildings across the street and immediately adjacent to the South. The existing mid-block open space is constrained.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	February 13, 2019 – March 15, 2019	2.25. 2019	6.6. 2019	101 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	May 18,2019	May 18,2019	20 days
Mailed Notice	20 days	May 18,2019	May 18,2019	20 days
Online Notice	20 days	May 18,2019	May 18,2019	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DR REQUESTORS

DR requestor #1:

James Pincow of 49 Seward, the across the street neighbor to the Southwest of the proposed project.

DR requestor #2:

Alissa Fitzgerald and Alexander Mitelman of 49 Seward #2, the across the street neighbors to the Southwest of the proposed project.

DR requestor #3:

Kenneth Hillan of 64 Seward Street, neighbor three lots to the North.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

DR requestor #1:

1. The proposed building massing is not compatible with height and scale of existing nearby buildings.
2. Proposed roof line is not compatible with those found on surrounding buildings.

3. Proposed project is out of architectural character with the existing Mediterranean style houses on the block.
4. Proposed entrance does not respect the existing pattern of building entrances.

See attached *Discretionary Review Application*, dated February 25, 2019.

DR requestor #2:

1. The proposed building massing will block light and cast shadows onto DR requestors' property.
2. The proposed addition will create privacy impacts.
3. Limited on-site parking will impact available street parking for neighbors.

See attached *Discretionary Review Application*, dated March 15, 2019.

DR requestor #3:

1. The proposed building massing impact light and cast shadows onto adjacent properties.
2. Traffic and pedestrian impacts due to construction.

See attached *Discretionary Review Application*, dated March 15, 2019.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The sponsor has complied with the Residential Design Guidelines (RDGs) in relation to the DR requestor's issues related to scale and height, neighborhood character, light and privacy.

See attached *Response to Discretionary Review*, dated April 15, 2019.

RESIDENTIAL DESIGN TEAM REVIEW

The Department's Residential Design Advisory Team (RDAT) re-reviewed this and confirmed that this addition does not present an exceptional or extraordinary circumstance with respect to height, scale, neighborhood character, light, privacy, and parking.

Specifically:

1. The street is a mix of buildings that range in height from 2- 4 stories. The high roof parapets of the adjacent existing 2-story buildings along with the modest height of the proposed 3rd story addition result in a building half a story higher than its lower neighbors. This range is typically considered compatible with the scale of the buildings at the street. It is also worth noting that horizontally expanding the building to the front and reducing massing at the rear improves the condition at the rear.
2. The proposed addition is compatible with the architectural character of the street through the use of material (stucco) and use of window scale, pattern, and proportion that keeps with the surrounding character.
3. The roof lines of shaped parapets and tile mansard roofs over angled bays of the Mediterranean style houses are one of several roof forms found in this block. The proposed

roof form of the project is defined with a slightly projecting horizontal band and is thus not out of character with the surrounding buildings.

4. Though the location of the entrance and garage has changed the essential scale and pattern of a recessed entrance is retained.
5. The vertical addition combined with a horizontal expansion toward the front will change light to some effect, but most of the shading will fall on the roof of the adjacent building to the north and to the street. The additional shading was deemed to be de minimis.
6. The impacts to privacy are also considered to be minimal and normal with buildings that are setback and face each other across a street 45'-6" right-of-way.
7. On-site parking is not required by the Planning Code. The project is proximate to transit rich options. On-street parking is not regulated by the Planning Department, nor is it known how the construction of this project will temporarily impact on-street parking or pedestrian safety. DBI and DPT regulate street use and construction hours. It is assumed the project sponsor will follow all applicable normal rules and regulations during construction.

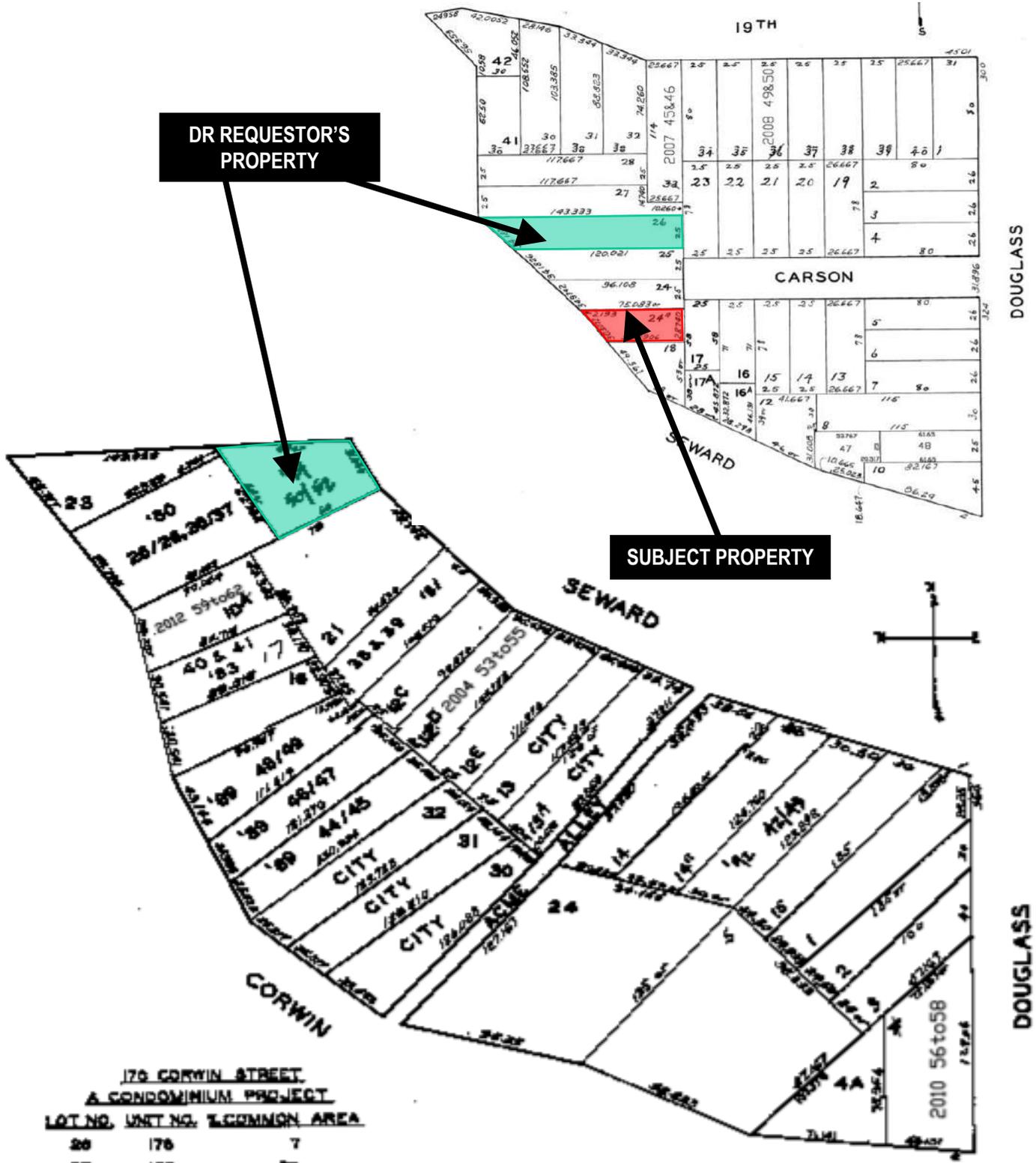
RECOMMENDATION: Do not take DR and approve project
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Attachments:

- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Context Photographs
- Section 311 Notice
- CEQA Determination
- DR Application
- Response to DR Application, drawings dated April 15, 2019
- Reduced Plans
- Solar diagram analysis

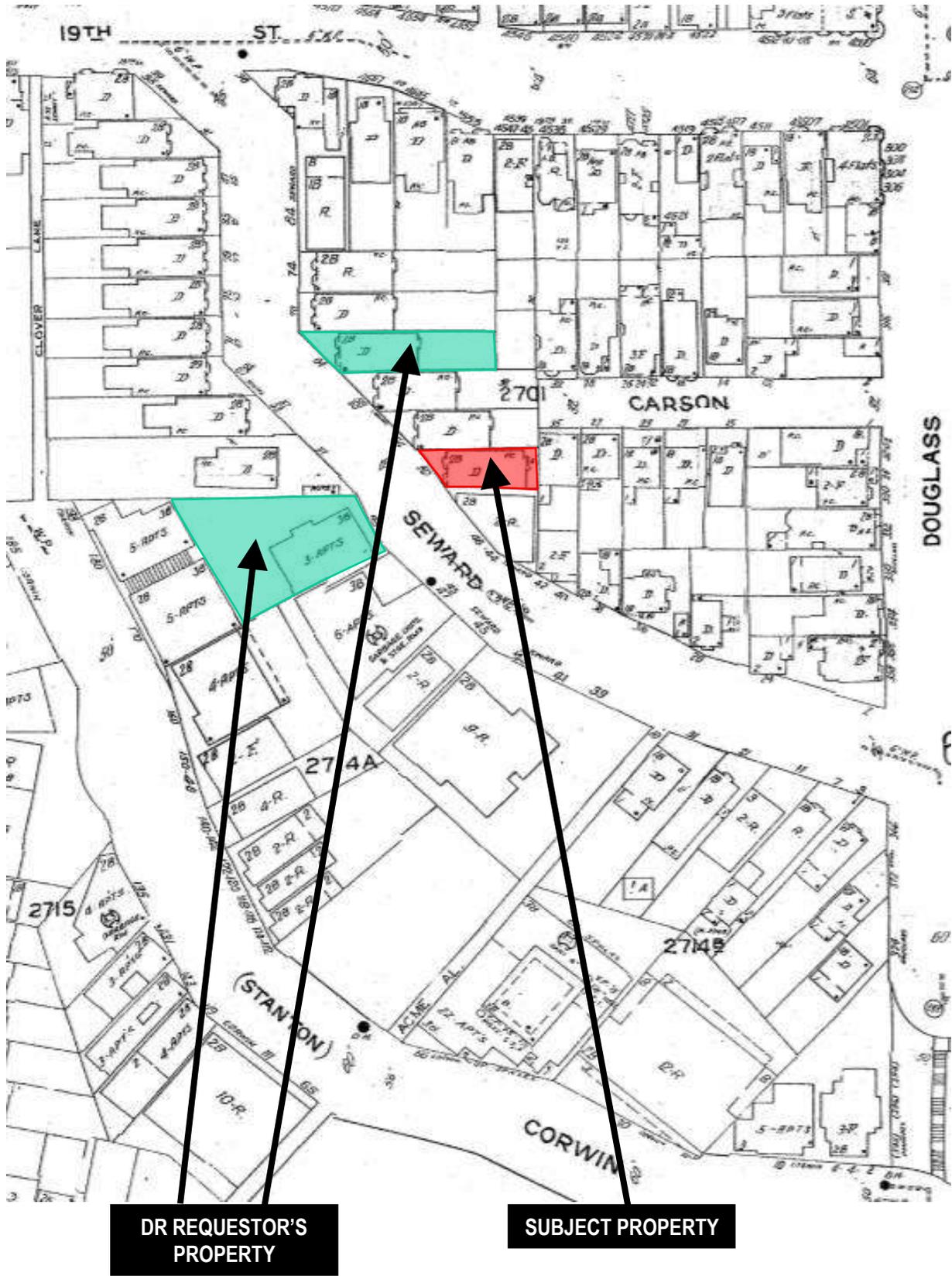
Exhibits

Parcel Map



Discretionary Review Hearing
Case Number 2017-006245DRP
50 Seward Street

Sanborn Map*

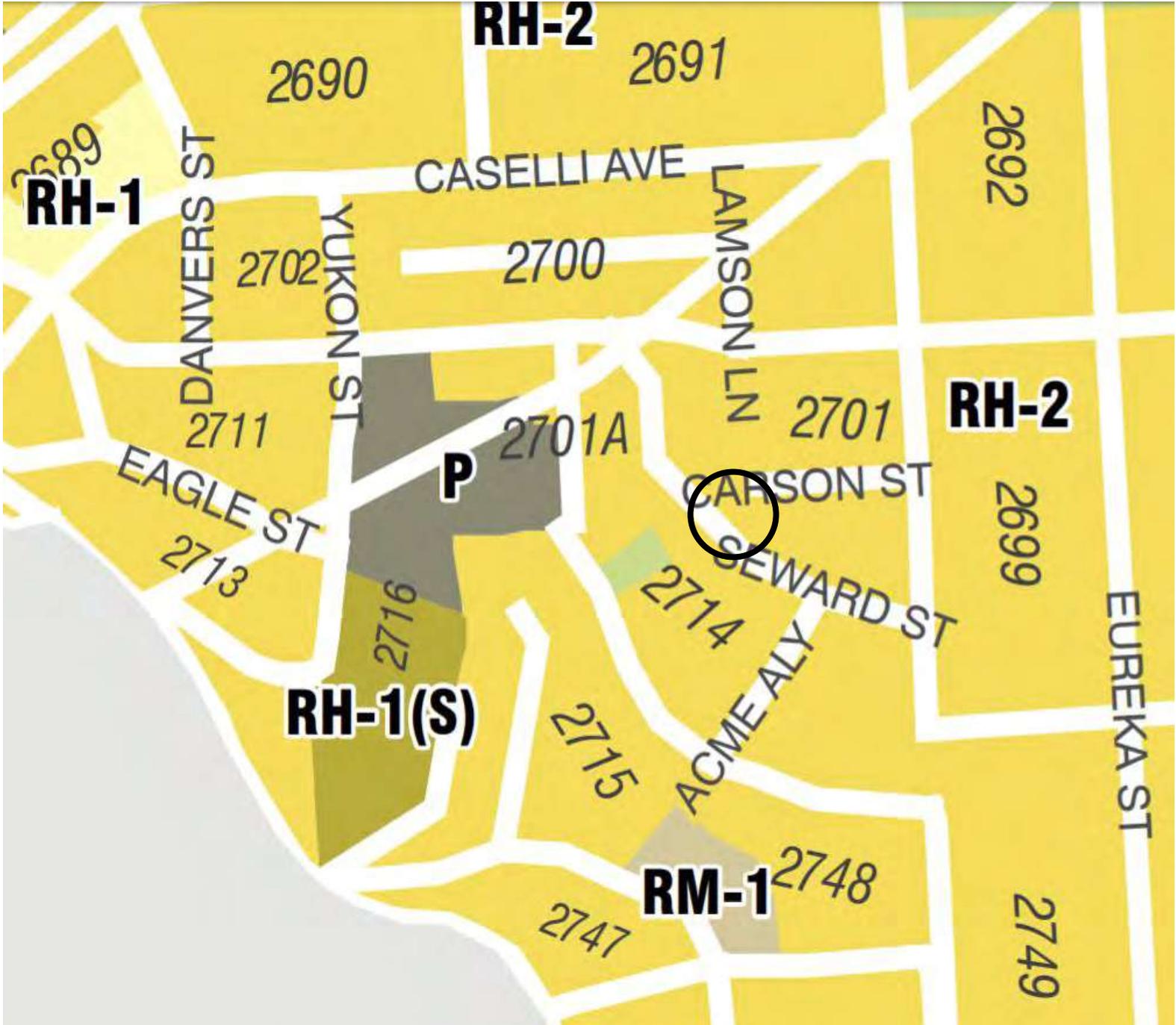


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2017-006245DRP
50 Seward Street

Zoning Map



Discretionary Review Hearing
Case Number 2017-006245DRP
50 Seward Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2017-006245DRP
50 Seward Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2017-006245DRP
50 Seward Street

Aerial Photo



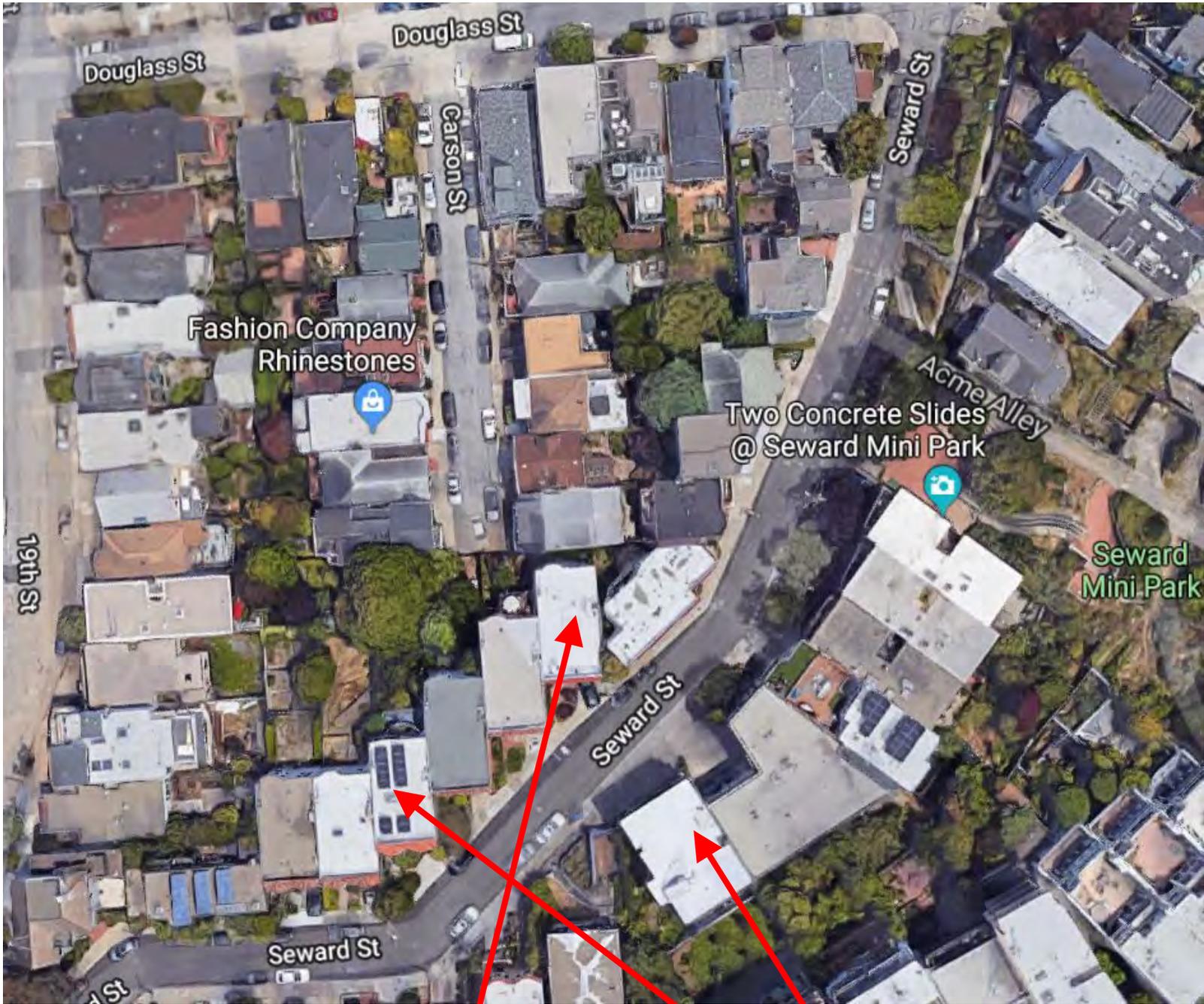
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2017-006245DRP
50 Seward Street

Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2017-006245DRP
50 Seward Street

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2017-006245DRP
50 Seward Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **April 19, 2017**, Building Permit Application No. 201704194301 was filed for work at the Project Address below.

Notice Date: February 13, 2019

Expiration Date: March 15, 2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	50 SEWARD ST	Applicant:	Khoan Duong
Cross Street(s):	19 th Street and Douglass Street	Address:	3246 17th Street
Block/Lot No.:	2701 / 024A	City, State:	San Francisco, CA 94110
Zoning District(s):	RH-2 /40-X	Telephone:	415-558-9550 x0013
Record Number:	2017-006245PRJ	Email:	khoan@johnlumarchitecture.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input checked="" type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input checked="" type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	Residential
Front Setback	2'5" to 21' 5"	1'2" to 11'6"
Side Setbacks	N/A	N/A
Building Depth	45'10"	55'9"
Rear Yard	7'10"	No Change
Building Height	20'2"	30'3"
Number of Stories	3-story over basement	4-story over basement
Number of Dwelling Units	2	No Change
Number of Parking Spaces	1	No Change

PROJECT DESCRIPTION
<p>The project includes a street visible front and single story vertical addition to an existing two-family dwelling. It includes extensive remodeling of the interior, the relocation of the garage and curb cut, and reduction of the building to the rear for the addition of roof decks with glass guardrails. The proposal also includes excavation to the first floor and basement to reestablish and redefine the legally authorized 2nd unit.</p> <p>Please note that a previous notice and plan set was mailed on 2/4/19 with an expiration date of 3/6/19. Due to a typographical error in the number of existing units, this notice is being resent. No further changes have been made to the original scope of work.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:

Cathleen Campbell, 415-575-8732, Cathleen.Campbell@sfgov.org

中文詢問請電 | PARA INFORMACIÓN EN ESPAÑOL LLAMAR AL | PARA SA IMPORMASYON SA TAGALOG TUMAWAG SA | 415.575.9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
50 SEWARD ST		2701024A
Case No.		Permit No.
2017-006245ENV		201704194301
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Renovation and addition to SFH. New 4th floor addition and new 3-story addition to front of building, totally 2,043-sf of added space. Addition will add approx. 4.5 ft of height to the existing building for a total height of 28 feet, 7 inches. Convert existing basement and first floor to habitable space and create new unit with 2 new bedrooms and 1 new bathroom. Includes approx. 159 cubic yards of excavation to a depth of no greater than 6.5 ft at basement level and 8 feet at 1st floor. Foundation work to address addition and added story. Sprinkler under separate permit.</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input checked="" type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Justin Horner

Project sponsor to follow recommendations included in geotechnical report: Romig Engineering, Geotechnical Investigation Johnson-Friedgen residence addition 50 Seward Street San Francisco California 94116," July 2017: a) the at-grade addition should be supported on a drilled piers extending through the fill and into native soil; b) the basement retaining walls and lower basement levels be supported on a mat foundation; and c) the construction of temporary shoring systems to underpin adjacent structures and the existing residence.

Hazardous Materials: Sponsor received a Maher Ordinance waiver Aug 18, 2017. (see "SMED
CONTINUED ON ADDITIONAL PAGE

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input checked="" type="checkbox"/> Reclassify to Category C a. Per HRER dated 01/25/2018 (attach HRER) b. Other (specify): Per PTR signed 1/15/18.
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): The subject property is representative of a second wave of residential development in Clover Heights (different developer and in a different architectural style), and for this reason does not appear to contribute to a cohesive,	
Preservation Planner Signature: Elizabeth Gordon Jonckheer	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.				
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.				
<table border="1" style="width: 100%;"> <tr> <td style="width: 60%;">Project Approval Action: Building Permit</td> <td style="width: 40%;">Signature: Justin Horner</td> </tr> <tr> <td>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</td> <td>03/02/2018</td> </tr> </table>		Project Approval Action: Building Permit	Signature: Justin Horner	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	03/02/2018
Project Approval Action: Building Permit	Signature: Justin Horner				
If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	03/02/2018				
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>					

CEQA Impacts Continued

Project sponsor to follow recommendations included in geotechnical report: Romig Engineering, Geotechnical Investigation Johnson-Friedgen residence addition 50 Seward Street San Francisco California 94116," July 2017: a) the at-grade addition should be supported on a drilled piers extending through the fill and into native soil; b) the basement retaining walls and lower basement levels be supported on a mat foundation; and c) the construction of temporary shoring systems to underpin adjacent structures and the existing residence.

Hazardous Materials: Sponsor received a Maher Ordinance waiver Aug 18, 2017. (see "SMED 1623" pdf in Documents tab).

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
50 SEWARD ST		2701/024A
Case No.	Previous Building Permit No.	New Building Permit No.
2017-006245PRJ	201704194301	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:


RECEIVED

FEB 25 2019

 CITY & COUNTY OF S.F.
 PLANNING DEPARTMENT
 PIC

**DISCRETIONARY REVIEW PUBLIC (DRP)
APPLICATION**
Discretionary Review Requestor's Information

Name: James Pincow

Address: 49 Seward Street, Unit 1, San Francisco, CA 94114

Email Address: james.pincow@gmail.com

Telephone: 917-825-9410

Information on the Owner of the Property Being Developed

Name: Kyle C. Johnson and Kelley Friedgen

Company/Organization:

Address: 50 Seward Street, San Francisco, CA 94114

Email Address: kj8375@yahoo.com

Telephone: Do not know

Property Information and Related Applications

Project Address: 50 Seward Street, San Francisco, CA 94114

Block/Lot(s): 2701 / 024A

Building Permit Application No(s): 201704194301

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Changes Made to the Project as a Result of Mediation.

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

* I e-mailed with the owner of the property being developed. I also discussed the project with the Planning Department permit review planner by e-mail, telephone, and in person.

To my knowledge, no changes have been made to the proposed project as a result of my e-mail to the owner of the property nor as a result of my discussions with the Planning Department permit review planner. However, on April 13, 2018, RDAT proposed changes to the proposed project which do not appear to have been made in accordance with RDAT's comments, as discussed further in Exhibit B attached to this DRP Application, notwithstanding any current insistence by the permit review planner to the contrary that the RDAT comments were made to the revised plans.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

I do not believe that the project meets the standards of the Residential Design Guidelines for the reasons set forth in Exhibit B attached to this DRP Application as a continuation of my response to this question.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

I believe that the project would cause unreasonable impacts, and that my property, the property of others and the neighborhood would be unreasonably affected for the reasons set forth in Exhibit B attached to this DRP Application as a continuation of my response to this question.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

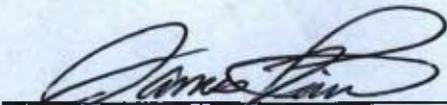
First, the proposed 4th Floor addition should not be permitted or, in the alternative, the height of the building should be sufficiently reduced from the proposed increased height such that the resulting building does not have an elevation higher than any adjacent building.

Second, the facade of the building should maintain its current Mediterranean look in order to remain in conformity with the rows of similar looking homes on the street, including those immediately west of the building. Please see Exhibit B attached to this DRP Application as a continuation of my response to this question.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.



Signature

James Pincow

Name (Printed)

Self

Relationship to Requestor
(i.e. Attorney, Architect, etc.)

917-825-9410

Phone

james.pincow@gmail.com

Email

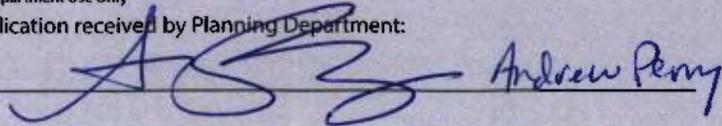
RECEIVED

FEB 25 2019

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC

For Department Use Only

Application received by Planning Department:

By:  Andrew Perry

Date: _____

EXHIBIT B

(continuation of answers to questions 1, 2 and 3)

ANSWER TO QUESTION 1 CONTINUED:

The proposed alterations, renovations, additions, and expansions at 50 Seward Street, San Francisco, California (collectively, the "Project"), which are the subject of this request for Discretionary Review by me, a member of the public (this "DRP"), are to an existing residential building located in an R district. Section 311(c)(1) of the Planning Code states that the "alteration of existing residential buildings in R districts shall be consistent with the design policies and guidelines of the General Plan and with the 'Residential Design Guidelines'..." "Projects must comply with the design principles as stated in the [Residential Design Guidelines (the "RDG")]" (see RDG at page 6).

I do not believe that the Project meets the standards of the Residential Design Guidelines for the reasons set forth below.

(a) The Project is Not Compatible with Height and Scale of Nearby Buildings: The RDG states that, "In order to maintain the visual interest of a neighborhood, it is important that the design of new buildings and renovations to existing buildings be compatible with nearby buildings" (see RDG at page 3). The current plans for the Project (the "Plans"), however, do not appear to be compatible with nearby buildings for the following reasons:

- (i) Proposed Project Height is Disruptive to and Incompatible with Surrounding Buildings: "In evaluating a project's compatibility with neighborhood character, the buildings on the same block face are analyzed" (see RDG at page 7). The resulting height of the Project would be higher (at least in appearance, if not also in real height above sea level / elevation) than any building on the north side of Seward Street and many buildings on the south side of Seward Street. The Project is part of a row of six similar looking two-story residential buildings which starts with the Project and run

west on the north side of Seward Street toward 19th Street (see Exhibit C attached to this DRP). If completed according to the Plans, the Project would be an anomaly in height—taller than all of the homes in the row of six similar looking buildings immediately to the west of the Project on the north side of Seward Street and taller than even the adjacent tall multifamily residential building directly to the east of the Project (see Exhibit D attached to this DRP). The Project would result in a “sudden change in the building pattern,” which would be disruptive—something that the RDG expressly seeks to avoid (see RDG at page 7). An important design guideline under the RDG is to “ensure that the building’s scale is compatible with surrounding buildings” (see RDG at page 5). As discussed above, the Project’s scale would not be compatible with surrounding buildings because it would be significantly taller than its surrounding and adjacent buildings. I believe that the Plans would result in a “poorly scaled building” that “will seem incompatible...and inharmonious with [its] surroundings” (see RDG at page 23).

- (ii) Proposed Project Roofline is Not Compatible with Those Found on Surrounding Buildings: Another important design guideline under the RDG is to “design rooflines to be compatible with those found on surrounding buildings” (see RDG at page 30). The Plans show a tall, flat roof even though the Project and its surrounding buildings currently have parapets and roof appearances that are lower in elevation and not flat. The Project appears to be precisely the type of alteration the RDG says to avoid: “Within a block... if most buildings have front gables [as an example provided in the RDG], adding a building with a flat roof may not be consistent with the neighborhood pattern” (see RDG at page 30). In fact, the Project is like the situation called out by the RDG: “In some situations, there may be groups of buildings that have common rooflines, providing clues to what type of roofline will help tie the composition of the streetscape together” (see RDG at page 30). The Project is part of a row of homes

having a common roofline but the Plans appear to wholly avoid the “clues” provided by the Project’s adjacent homes. The Project would destroy the composition of the existing streetscape and have a roofline that is uncommon for the buildings that the Project is in a group of.

(b) The Project Defies the Character of Surrounding Buildings: The RDG focuses “on whether a building’s design contributes to the architectural and visual qualities of the neighborhood” and a stated design principle is that “architectural features that enhance the neighborhood’s character” should be provided (see RDG at page 5). Moreover, the RDG says that buildings should be designed “to be compatible with the patterns and architectural features of surrounding buildings” (see RDG at page 9). The Project, however, appears to be a wholesale departure from the patterns and architectural features of surrounding buildings. As mentioned above, the Project is part of a row of distinct looking, two-story Mediterranean-style homes. Another row of similar looking Mediterranean-style homes exists on the south side of Seward Street, diagonally across the street from the Project. When traversing Seward Street, members of the public and neighbors of the Project are surrounded by two distinct rows of Mediterranean-style homes, one on each side of Seward Street. These rows of similar looking homes enhance the neighborhood’s character. The Project, however, would distract from surrounding buildings to the detriment of the neighborhood’s character. Even if the area surrounding the Project is considered to have “mixed visual character” when taking the two rows of Mediterranean-style homes discussed above in a wider context, the RDG says that building design should “help define, unify, and contribute positively to the existing visual context” (see RDG at page 10). The Project would be an outlier in the existing visual context. It would be a modern, flat-roofed two-family home that does not appear to “draw on the best features of surrounding buildings” as the RDG says to do (see RDG at page 10). In fact, the RDG even says that “Existing incompatible or poorly designed buildings on the block face do not free the designer from the obligation to enhance the area through sensitive development” (see RDG at page 10).

(c) The RDG says that “proposed projects must respect the existing pattern of building entrances” (see RDG at page 10). Whereas the row of six Mediterranean-style homes of which the Project is currently a part of all have a door on the left side of the front of each such building and a garage on each such building’s right side (including the Project, currently) (see Exhibit C attached to this DRP), the Plans show a garage on the left side of the Project and a door on the right side, in direct contravention of the RDG) (see Exhibit D attached to this DRP).

I wholeheartedly agree with what the RDG says at page 3, which is that “many neighborhoods are made up of buildings with common rhythms and cohesive elements of architectural expression” and that “these neighborhoods are in large part what make San Francisco an attractive place to live...” The RDG says that “In order to maintain the visual interest of a neighborhood, it is important that the design of new buildings and renovations to existing buildings be compatible with nearby buildings” (see RDG at page 3) and that in “considering the immediate context of a project, the concern is how the proposed project relates to the adjacent buildings (see RDG at page 8). It is difficult to understand how the Project could be approved in light of the valid concerns that would be raised by a straightforward reading of the RDG given that the Project would relate poorly in both height and design to its adjacent buildings and would be a total anomaly on Seward Street.

The Plans appear to willfully ignore the RDG and would result in a building that is an outlier among its neighbors. The Plans do not appear to show a design that takes into consideration the height or visual characteristics of adjacent buildings or the area in general. Instead, the Plans appear to be designed to amass space through height, depth, roofline and facade and squeeze out every possible inch of buildable space at the expense of any cohesive neighborhood characteristics, in spite of RDG guidelines. If permitted and built as currently planned, I believe that any reasonable person would look at the Project upon completion and conclude that it stands out among all of the homes on Seward Street—not because of its interesting design but because it would be the tallest appearing and only visually uninteresting home among a row of historic looking Mediterranean-style two-story homes that are characteristic of Seward Street and other parts of San Francisco. Indeed, the Plans appear to call for a dense, simple, modern rectangular building

befitting a contemporary development, not an existing neighborhood containing rows of Mediterranean-style homes.

Moreover, if permitted to proceed as currently planned, one has to wonder when the next owner of a home in the either of the rows of Mediterranean-style homes on Seward Street will decide to make their home a plain, modern cube in order to have more space. Surely, the owners of such homes will wonder if they too should build their homes out to maximize on space if the Project proceeds. A future denial of such applications in light of the Project continuing could be viewed as arbitrary and capricious. Suddenly, the Project would no longer be a singular modernization or simple alteration but the key that unlocks a flurry of unmitigated development and expansion—exactly what Section 311(c)(1) of the Planning Code was passed to curb.

ANSWER TO QUESTION 2 CONTINUED:

I believe that the Project would cause unreasonable impacts and that my property, and the property of others and the neighborhood, would be unreasonably affected for the following reasons:

- (a) The Project would result in the tallest building (in appearance at least) on the north side of Seward Street, with an additional floor that would look into the windows of homes on the south side of Seward Street, whereas currently such homes on the south side of Seward Street enjoy relative privacy due to most of the homes on the north side of Seward Street only having two stories above grade.

- (b) Seward Street is a very narrow street with parked cars on both sides of the street. There is often traffic congestion when a delivery truck or repair truck traverses the street. I imagine that the scope and scale of the Project would make Seward Street a nightmare to traverse for many months if not years until it is completed.

ANSWER TO QUESTION 3 CONTINUED:

The adverse effects noted above in my answer to Question 1 could be mitigated by following the RDG. Indeed, the RDG notes (at page 23), that “a building that is larger than its neighbors can still be in scale and be compatible with the smaller buildings in the area” with “facade articulations and through setbacks to upper floors.” I do not believe that a setback fourth story would fully alleviate the adverse effects noted above, and in such situations the RDG says that “it may be necessary to reduce the height or depth of the building” (see RDG at page 23). The RDG says that “If a proposed building is taller than surrounding buildings, or a new floor is being added to an existing building, it may be necessary to modify the building height or depth to maintain the existing scale at the street. By making these modifications, the visibility of the upper floor is limited from the street, and the upper floor appears subordinate to the primary facade” (see RDG at page 24). “The key is to design a building that complements other buildings on the block and does not stand out, even while displaying an individual design” (see RDG at page 24). The RDG states that “The recommended setback for additions is 15 feet from the front building wall” (see RDG at page 25). If such setback would not alleviate the adverse effects of projects such as the Project, then the RDG suggests eliminating the upper story (see RDG at page 25). The RDG plainly and correctly guides situations like the Project and what to do to mitigate its adverse effects.

As noted above, the Plans appear to willfully ignore the RDG and would result in a building that is an outlier among its neighbors. Perhaps that is why at the RDAT meeting held on April 13, 2018, RDAT said that in order to comply with the RDG, one should “Design the height and depth of the building to be compatible with the existing building scale at the mid-block open space” (quoting the RDG at pages 25-26), and “reduce the proposed 4th Floor addition to align with the primary rear wall of the adjacent building to the north” (see Exhibit E attached to this DRP). RDAT also said to “Minimize the height of the roof” (see Exhibit E attached to this DRP). The planner assigned to the Project told me that the RDAT comments were made and that the changes to the Plans since the RDAT meeting address RDAT’s comments. I disagree. Looking at the right side of page 10/15 of the prior plans for the Project (see Exhibit F attached to this DRP), the vertical red lines show the then proposed new height as 28’7” plus 3’2” more to reach the roof ridge of the

old winged roof in those old plans, so a total height of 31'9", whereas the Plans now (see Exhibit D attached to this DRP) show the proposed new height as 30'3" plus another 8" to parapet, so a total height of 30'11". So, the new roof height is 1'8" taller than the prior plans (30'3" vs. 28'7") but the zenith of the roof ridge in the old plans (31'9") vs. the zenith of the new flat roof (30'11") is a difference of 10 inches. Is a 10 inch reduction in roof ridge to flat roof truly a minimization of the height of the roof, even if the roofline itself increased 1 foot 8 inches? And regardless of any prior revisions to the Plans, the current Plans do not appear to adhere to the requirements of the RDG, which is likely why the RDAT said to "minimize the roof" in the first place.

Also, in order to mitigate the adverse effect of the facade shown in the Plans, the Plans could be revised to provide architectural features similar to the adjacent Mediterranean-style homes. This may require a reduction in the roofline in order to allow for aesthetically similar features like Mediterranean-style shingles, or no change to the current roofline and facade. Finally, the entrance door should remain on the left side of the facade and the garage door on the right.

EXHIBIT C

(North side of Seward Street)

The Project is the last home all the way on the right in both photos below.

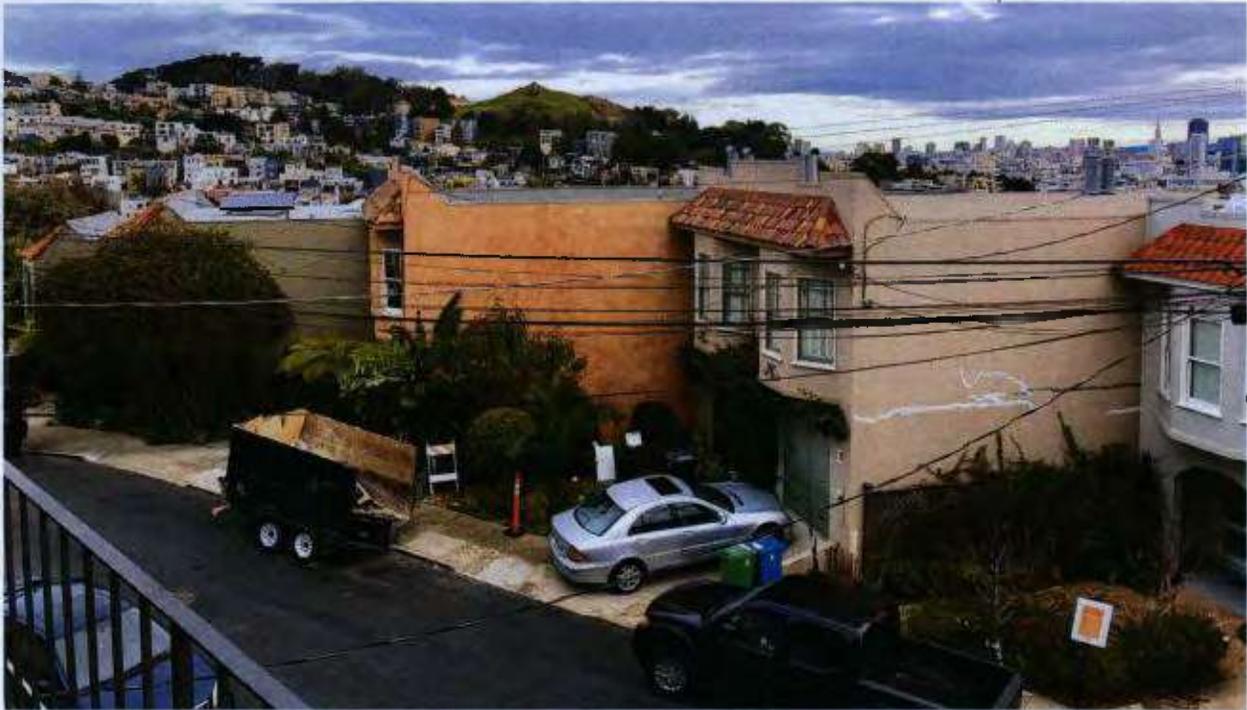
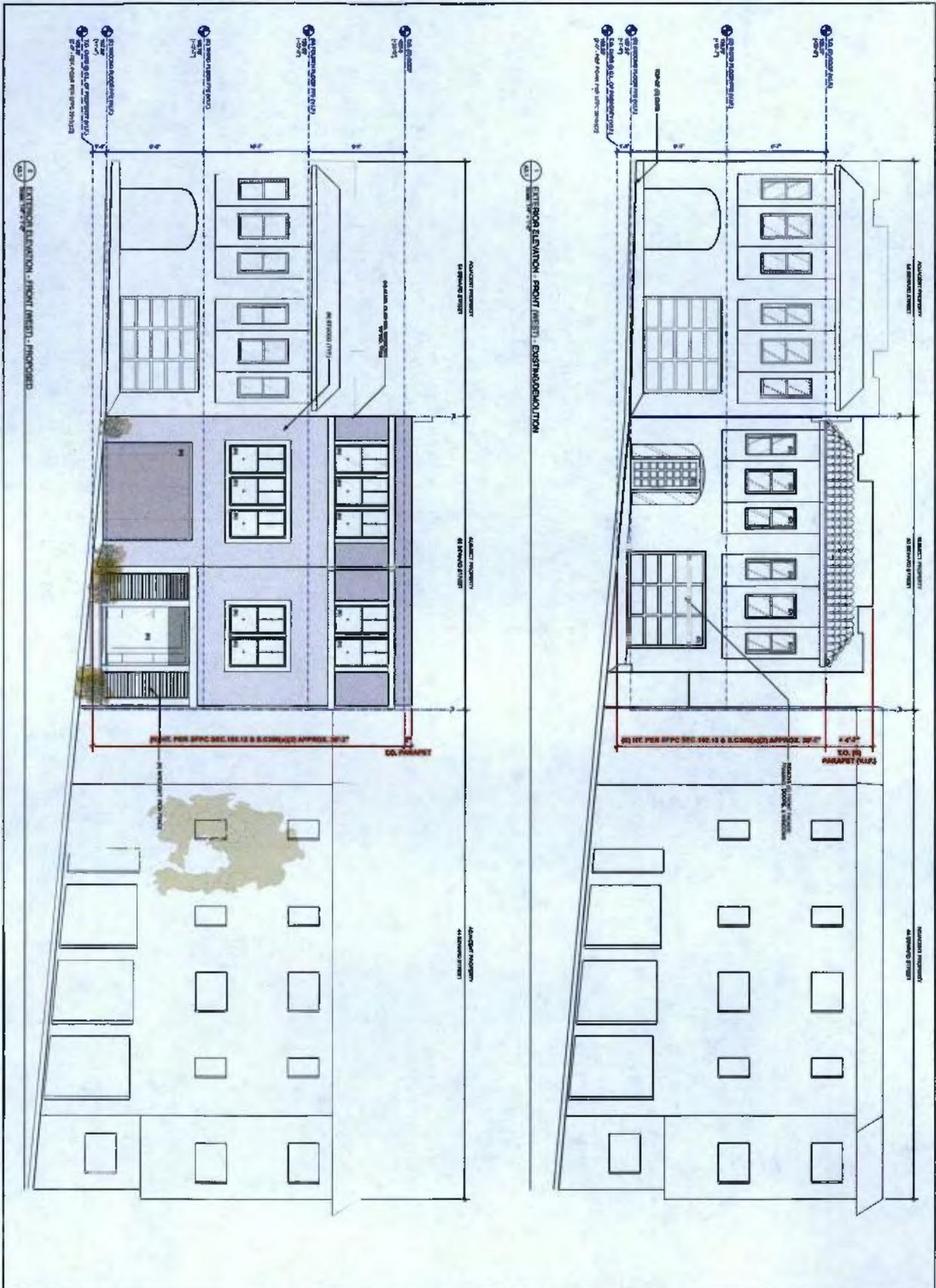


EXHIBIT D



A3.1

EXT. ELEVATIONS (WEST)

EXHIBIT D
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

REDUCED SET SCALE = 1/8" = 1'-0"

NO.	DESCRIPTION
01	CONCRETE
02	BRICK
03	WOOD Siding
04	WOOD Shingles
05	WOOD Decking
06	WOOD Stairs
07	WOOD Trim
08	WOOD Doors
09	WOOD Windows
10	WOOD Porch
11	WOOD Deck
12	WOOD Fencing
13	WOOD Scaffolding
14	WOOD Scaffolding
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100	WOOD Scaffolding

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
60 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 9841

Client: Judy Nelson & Eric Johnson
3333 16th St
San Francisco, CA 94116

NOT FOR
CONSTRUCTION

LUMI

JOHN LUM ARCHITECTURE, INC.
3300 SCIENCE CENTER DRIVE SAN FRANCISCO, CA 94118
PH: 415.558.8552 FAX: 415.558.2554



SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN ADVISORY TEAM REVIEW

DATE: 4/13/18 RDAT MEETING DATE: 4/13/18

PROJECT INFORMATION:

Planner: Elizabeth Jonckheer
 Address: 50 Seward Street
 Cross Streets: Douglass Street
 Block/Lot: 2701/024A
 Zoning/Height Districts: RH-2/40-X (Cat. C reclass building)
 BPA/Case No. 201704194301/2017-006245PRJ
 Project Status Initial Review Post NOPDR DR Filed
 Amount of Time Req. 15 minutes 30 minutes (required for new const.)

1650 Mission St.
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San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6489

Planning
Information:
415.558.6377

RDAT Members in Attendance:

David Lindsay, Luiz Barata, Allison Albericci (notes)

Project Description:

Renovation and addition to a single family residence. New 4th floor addition and new 3-story addition to the front of building, totaling 2,043-sf of added space. Addition will add approx. 4.5 ft of height to the existing building for a total height of 28 feet, 7 inches. Conversion of the existing basement and first floor to habitable space and creation of a new unit with 2 new bedrooms and 1 new bathroom.

Project Concerns (If DR is filed, list each concern.):

- Massing
- Design
- Midblock open space

RDAT Comments:

To comply with the Residential Design Guideline to "Articulate the building to minimize impacts on light and privacy to adjacent properties" (pages 16-17), setback proposed 3rd and 4th floor roof decks a minimum of 5'-0" from side property lines.

To comply with the Residential Design Guideline to "Design the height and depth of the building to be compatible with the existing building scale at the mid-block open space" (pages 25-26), reduce the proposed 4th Floor addition to align with the primary rear wall of the adjacent building to the north. Minimize the height of the roof.



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION PACKET

Pursuant to Planning Code Section 311, the Planning Commission may exercise its power of Discretionary Review over a building permit application.

For questions, call 415.558.6377, email pic@sfgov.org, or visit the Planning Information Center (PIC) at 1660 Mission Street, First Floor, San Francisco, where planners are available to assist you.

Please read the [Discretionary Review Informational Packet](#) carefully before the application form is completed.

WHAT TO SUBMIT:

- Two (2) complete applications signed.
- A Letter of Authorization from the DR requestor giving you permission to communicate with the Planning Department on their behalf, if applicable.
- Photographs or plans that illustrate your concerns.
- Related covenants or deed restrictions (if any).
- A digital copy (CD or USB drive) of the above materials (optional).
- Payment via check, money order or debit/credit for the total fee amount for this application. (See [Fee Schedule](#)).

HOW TO SUBMIT:

To file your Discretionary Review Public application, please submit in person at the Planning Information Center:

Location: 1660 Mission Street, Ground Floor
San Francisco, CA 94103-2479

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 415.575.9010. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder

中文: 如果您希望獲得使用中文填寫這份申請表的幫助，請致電415.575.9010。請注意，規劃部門需要至少一個工作日來回應。

Tagalog: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 415.575.9010. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION

Discretionary Review Requestor's Information

Name: Alissa Fitzgerald and Alexander Mitelman

Address: 49 Seward St. #2 San Francisco, CA 94114

Email Address: alissa_fitzgerald@yahoo.com

Telephone: 650 520 4438

Information on the Owner of the Property Being Developed

Name: Kelley Friedgen and Kyle C. Johnson

Company/Organization:

Address: 50 Seward St. San Francisco, CA 94114

Email Address: kelley.friedgen@gmail.com, kj8375@yahoo.com

Telephone: not available

Property Information and Related Applications

Project Address: 50 Seward Street, San Francisco, CA 94114

Block/Lot(s): 2701 / 024A

Building Permit Application No(s): 201704194301

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Changes Made to the Project as a Result of Mediation.

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

The project was discussed with a representative from John Lum Architecture and the 50 Seward owners during an in-person meeting on March 30, 2017 and via email on April 5, 2017 and March 4, 2019.

The project was discussed with Elizabeth Gordon-Jonckheer of the SF Planning Department via email on July 22 and July 24, 2017, and with Cathleen Campbell of the SF Planning Department via email on March 4, 2019.

No changes were made as a result of those discussions.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

We request a Discretionary Review because the proposed plans are not consistent with the RDAT Review of April 13, 2018. That document states requirements to "minimize impacts on light and privacy to adjacent properties" and to "design the height and depth of the building to be compatible with the existing building scale at the mid-block open space". The proposed plans do not comply with the total building height stated in the RDAT Review. (Answer continued on Attachment A...)

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

We outline three impacts which would unreasonably affect our property and our neighbors' properties:

Impact 1) The height (including parapets) and the bulk of the proposed building will block natural light and cast shadows to our property, our neighbors' properties at 54, 58, and 64 Seward, and to those on Carson St. The neighborhood will be particularly affected during summer mornings when the sun rises closer to the east direction, directly behind 50 Seward. (Continued on Attachment A...)

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

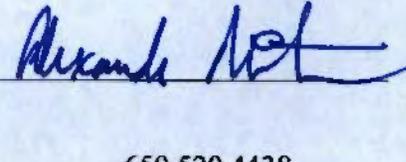
We request four changes which would reduce adverse effects:

Change 1) As stated in the April 13, 2018 RDAT review, the proposed building should be "compatible with the existing building scale at the mid-block open space." The total height (including any parapets) of 50 Seward should be approximately 25-26 feet, in order to be consistent with the adjacent building 44 Seward St. (Continued on Attachment A...)

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

Signature

Alissa M. Fitzgerald and Alexander M. Mitelman

Name (Printed)

Self/Owners

650 520 4438

alissa_fitzgerald@yahoo.com

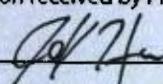
Relationship to Requestor
(i.e. Attorney, Architect, etc.)

Phone

Email

For Department Use Only

Application received by Planning Department:

By: 

Date: 3/15/19

ATTACHMENT A

Continuation of answer to question #1:

The RDAT review from April 13, 2018 (see attached) contains a vague definition of the total building height. The Applicant leveraged this ambiguity to their benefit when revising the building design. No matter how one interprets "total height," however, the proposed plans exceed the total height limit described in the RDAT review.

The RDAT review describes that the project will "add approx. 4.5 feet of height to the existing building for a total height of 28 feet, 7 inches."

According to the drawings (see attached) provided with the permit application, the existing building at 50 Seward is 20 feet 2 inches in height to the roof, and on its street-side facade, has an additional 4 ft. 7 in. height due to an ornamental parapet, so the highest point of the existing building is 24 ft. 9 in.

The proposed project plans show a 30 ft. 3 in. roof height with an 8 in. ornamental parapet on the street-side façade, or a height of 30 ft. 11 in. on the street-side. However, the plans also include a 30 in. (or 2ft. 6 in.) tall parapet on the north wall which is required for fire safety due to the design choice of placing skylights adjacent to the building edge. Considering the fire safety parapet, the height of the proposed building, including any parapet, is 32 ft. 9 in.

Not including parapets, the proposed project plans increase the building height by 10 ft. 1 in. over the existing building.

If parapets are included in the definition of total height, the proposed project plans increase the building height by 8 ft. over the existing building.

No matter which interpretation may be used, the proposed plans increase the building height significantly more than the stated "approx. 4.5 feet".

Furthermore, the RDAT review did not clearly define how the "total height" of the building is measured, nor what roof features are included in the "total height" measurement.

If the existing façade parapet is included in calculation of "total height", then the existing building's "total height" is 24 ft. 9 in. After adding "approx. 4.5 feet", or 4 ft. 6 in., the new building height should have a total height of only 29 ft 3 in., including parapets. It appears that the stated total height in the RDAT review of "28 feet, 7 inches" is either a math error or the definition of "total height" is not obvious.

No matter how one interprets the definition of "total height", the proposed building is at least 5 ft. 7 in. taller than allowed/claimed (when total height measurement does not include parapets), or 3 ft. 6 in. taller than allowed/claimed (when total height measurement includes parapets). Please see the table below for a summary of the relevant measurements.

	Highest point on building, not including any parapets	Highest point on building, including any parapet
Proposed Building Plan	30 ft. 3 in.	32 ft. 9 in.
Existing Building	20 ft. 2 in.	24 ft. 9 in.
Difference	10 ft. 1 in.	8 ft. 0 in.
Proposed Building Plan	30 ft. 3 in.	32 ft. 9 in.
Height if complying with RDAT review: "add approx. 4.5 ft of height to the existing building"	24 ft. 8 in.	29 ft. 3 in.
Discrepancy	5 ft. 7 in.	3 ft. 6 in.

Continuation of answer to question #2:

Our east-facing living room windows are the primary source of natural light into our property. Because our windows currently face unobstructed sky, we have an abundance of natural light. Please see Figure 1 which shows the compass bearing between the properties.



Fig. 1. Aerial photograph of 49 Seward and 50 Seward buildings, and neighbors, with bearing determined using GPS coordinates.

Fitzgerald/Mitelman DRP Application
Regarding 50 SEWARD ST.
2017-006245PRJ

During the summer months, the proposed building at 50 Seward will directly block sunlight into our building, 49 Seward, in the early morning until approximately 7:00 am and will block light to the downhill buildings, 54, 58 and 64 Seward until approximately 11:00 am. The buildings on Carson St. will be in shadow from approximately 2:00 pm onward due to the sun's location west of 50 Seward.

Figure 2 illustrates the sun's motion with respect to our property location.

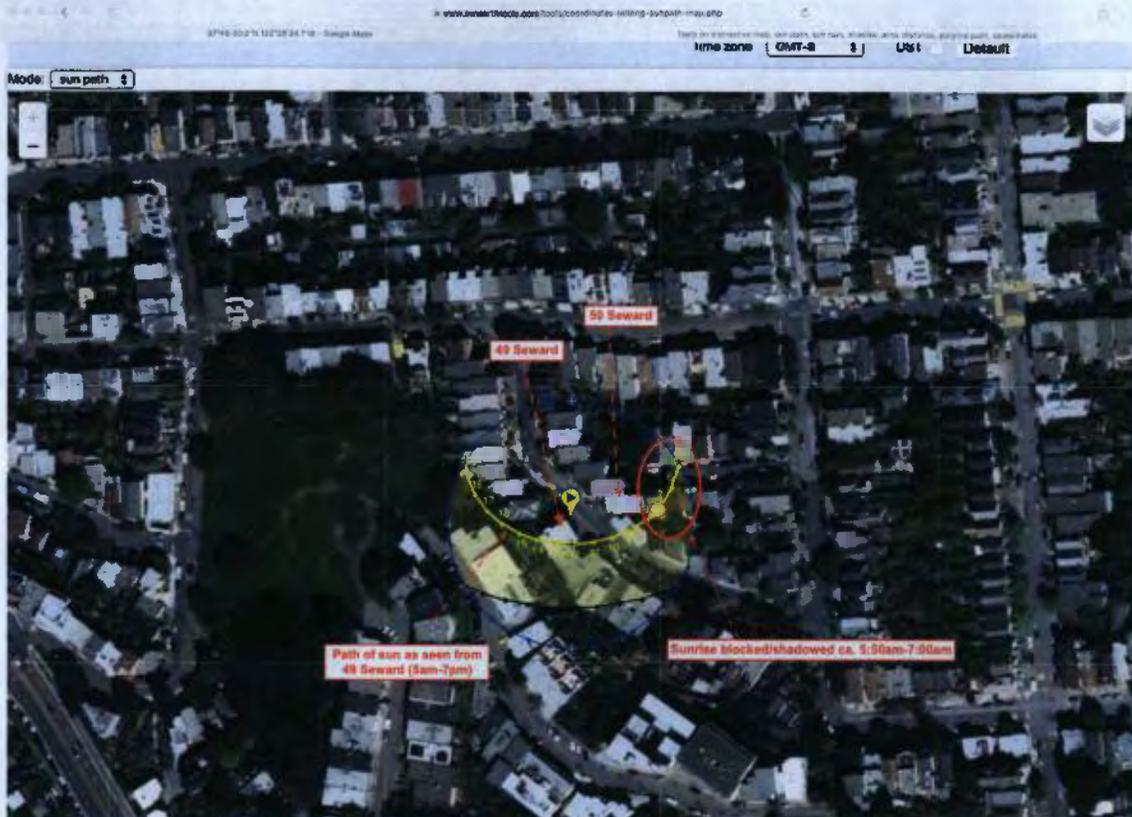


Fig. 2. Using the calculator available at www.sunearthtools.com, we calculated the location of the sun over our property during the summer months. The yellow line indicates the path of the sun. The yellow numbers indicate the sun's location at the specific hour of the day.

Figure 3 shows a picture taken on June 1, 2016 of the sun's location behind 50 Seward (on a very foggy day).



Fig. 3. Photograph of the morning sun on June 1, 2016.

Impact 2) Our privacy will also be severely impacted by the proposed design. Currently, none of our windows look into 50 Seward, and we see the top of its roof (Figure 4). The proposed plans include adding a story and expanding the building footprint to bring it 10 feet closer to our building. This means our living room windows will look directly into 50 Seward's new story, eliminating our current level of privacy. The proposed building will also be 10 feet closer to our building and significantly larger than it is now. Its forward position relative to neighboring buildings will create a disproportionate sense of looming into our front windows (Figure 5).



Fig. 4. Photo taken 10 ft. from the living room window. The existing 50 Seward building is directly centered in our living room window.



Fig. 5. Photo taken 10 ft. from the living room window. The black box illustrates the approximate size of proposed building. We expect it to block 30-40% of the light coming into our living room window.

Impact 3) The design choice to remove the existing driveway (see Figure 6) in order to enable expansion of the building's footprint means that the 50 Seward owners will only be able to store one vehicle on their property. The owners of 50 Seward St. own two vehicles. After construction, their second vehicle would therefore need to be parked on the street. Since the proposed plans include the addition of a second housing unit having 2 bedrooms, it is reasonable to assume that the occupants of that second unit may also own two or more vehicles. The proposed plans would likely result in at least three more vehicles being parked on Seward St. and environs. Considering the narrowness of Seward St. (Figure 7) and the limited parking available in the neighborhood, the proposed plans will impact the neighbors' ability to park vehicles.



Fig. 6. Photograph of existing building at 50 Seward and its driveway, which is large enough for parking a vehicle.

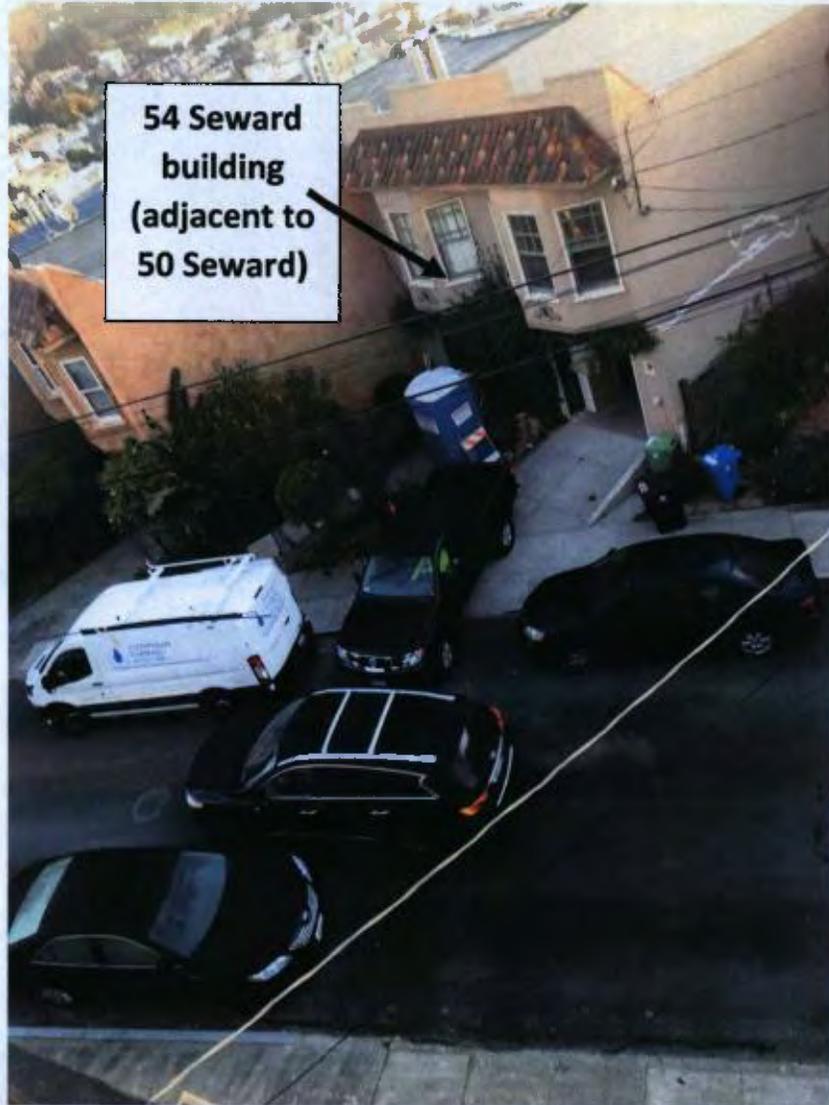


Fig. 7. Photograph to show the narrowness of Seward St. Only one vehicle can pass through the street at a time. In this photo, all cars on the curb are legally parked.

Fitzgerald/Mitelman DRP Application
Regarding 50 SEWARD ST.
2017-006245PRJ

Continuation of answer to question #3:

Change 2) On the Seward street-side, the wall of 50 Seward should remain in the same location as it is now; do not allow the proposed building to come 10 feet closer to the street. This would reduce the bulk of the building, reduce duration and size of shadows cast on adjacent properties, and better maintain our property's existing level of privacy.

Change 3) Preserve the existing driveway to maintain the owner's ability to park two vehicles on the property and to not increase congestion on Seward St, a narrow street with already limited parking.

Change 4) Re-position the proposed roof skylights so that a 30 inch tall fire parapet is no longer required. Eliminating the fire parapet will minimize obstruction of natural light and casting of shadows onto neighboring buildings.



SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN ADVISORY TEAM REVIEW

DATE: 4/13/18 RDAT MEETING DATE: 4/13/18

PROJECT INFORMATION:

Planner: Elizabeth Jonckheer
 Address: 50 Seward Street
 Cross Streets: Douglass Street
 Block/Lot: 2701/024A
 Zoning/Height Districts: RH-2/40-X (Cat. C reclass building)
 BPA/Case No. 201704194301/2017-006245PRJ
 Project Status Initial Review Post NOPDR DR Filed
 Amount of Time Req. 15 minutes 30 minutes (required for new const.)

1650 Mission St.
Suite 400
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Planning
Information:
415.558.6377

RDAT Members in Attendance:

David Lindsay, Luiz Barata, Allison Albericci (notes)

Project Description:

Renovation and addition to a single family residence. New 4th floor addition and new 3-story addition to the front of building, totaling 2,043-sf of added space. Addition will add approx. 4.5 ft of height to the existing building for a total height of 28 feet, 7 inches. Conversion of the existing basement and first floor to habitable space and creation of a new unit with 2 new bedrooms and 1 new bathroom.

Project Concerns (If DR is filed, list each concern.):

- Massing
- Design
- Midblock open space

RDAT Comments:

To comply with the Residential Design Guideline to "Articulate the building to minimize impacts on light and privacy to adjacent properties" (pages 16-17), setback proposed 3rd and 4th floor roof decks a minimum of 5'-0" from side property lines.

To comply with the Residential Design Guideline to "Design the height and depth of the building to be compatible with the existing building scale at the mid-block open space" (pages 25-26), reduce the proposed 4th Floor addition to align with the primary rear wall of the adjacent building to the north. Minimize the height of the roof.

ADJACENT PROPERTY
54 SEWARD STREET

SUBJECT PROPERTY
56 SEWARD STREET

TO (E) ROOF (V.L.F.)
+128.37
(+32'-2")

20 ft. 2 in.
existing height

(E) THIRD FLOOR FFE (V.L.F.)
+118.79
(+28'-7")

TOP OF (E) CURB

(E) SECOND FLOOR FFE (V.L.F.)
+107.54
(+17'-4")

T.O. CURB @ C.L. OF PROPERTY (V.L.F.)
+106.29
37'-0" - REF. POINT PER SPPC 281(a)(2)

Without parapets,
Δ height
is 10 ft, 1 in.

With parapet, height of e
building is 24 ft. 9 in.

1 EXTERIOR ELEVATION - FRONT (WEST) - EXISTING/DEMOLITION
AS.1 Scale: 1/4" = 1'-0"

ADJACENT PROPERTY
54 SEWARD STREET

SUBJECT PROPERTY
56 SEWARD STREET

TO (W) ROOF
+130.3
(+32'-7")

30 ft. 3 in
Proposed
height

(W) FOURTH FLOOR FFE (V.L.F.)
+128.87
(+32'-4")

(W) ALUM. CLAD WD. WINDOWS
W/ WD. TRIM

(W) STUCCO (TYP)

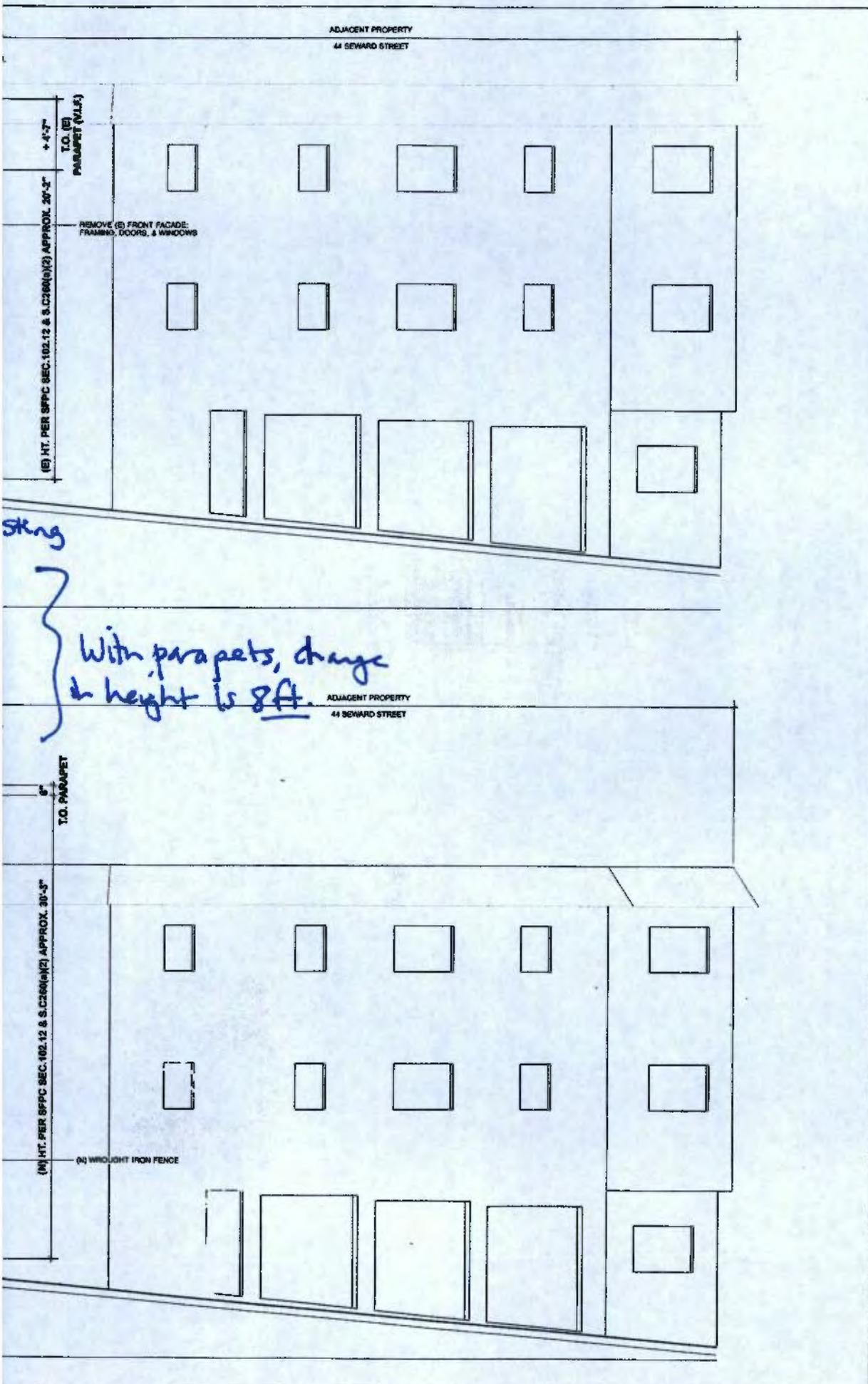
(E) THIRD FLOOR FFE (V.L.F.)
+118.79
(+28'-7")

(E) SECOND FLOOR FFE (V.L.F.)
+107.54
(+17'-4")

T.O. CURB @ C.L. OF PROPERTY (V.L.F.)
+106.29
37'-0" - REF. POINT PER SPPC 281(a)(2)

32 ft. 9 in.
- fire parapet

2 EXTERIOR ELEVATION - FRONT (WEST) - PROPOSED
AS.1 Scale: 1/4" = 1'-0"



LUIVI

JOHN LUM ARCHITECTURE INC.
3248 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 551 8650 FAX 415 555 0554

NOT FOR CONSTRUCTION

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 0284

client : amy keegan & lyle johnson
50 seward st
san francisco, ca 94115

REDUCED SET SCALE = 45%

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.28.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (RDAT)	rk
01.15.19	Site Permit Rev 3	rk
01.15.19	311 Notification Pkg	rk

project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

EXT. ELEVATIONS (WEST)

A3.1

NOT FOR CONSTRUCTION

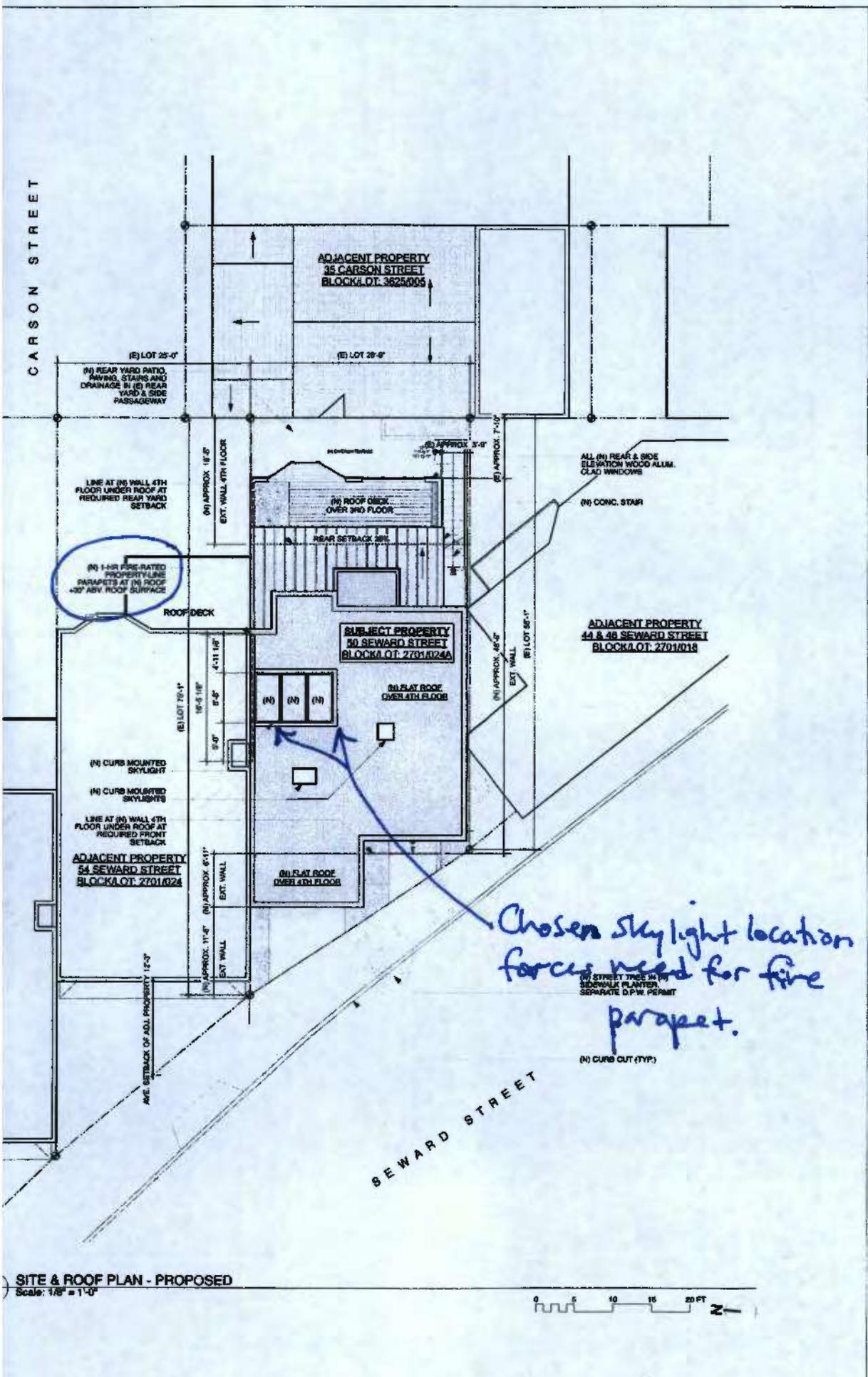
**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 4, LOT 0244

Client: Justy Friedgen & Jane Johnson
San Francisco, CA 94115

REDUCED SET SCALE = 45%

Date	Issued revisions	by
05.29.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
11.01.16	Site Permit Rev 2 (PDAT)	rk
01.15.16	Site Permit Rev 3	rk
01.15.16	311 Notification Pkg	rk

Project name:
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION



Chosen skylight location forces need for fire parapet.

SITE & ROOF PLAN - PROPOSED
Scale: 1/8" = 1'-0"





DISCRETIONARY REVIEW APPLICATION

Property Owner's Information

Name: Kenneth Hillan

Address: 64 Seward Street, San Francisco, CA 94114

Email Address: khillan@yahoo.com

Telephone: 415-269-3591

Applicant Information (if applicable)

Name: Kyle C Johnson and Kelley Friedgen

Same as above

Company/Organization:

Address: 50 Seward Street, San Francisco, CA 94114

Email Address: kj8375@yahoo.com

Telephone: N/A

Please Select Billing Contact:

Owner

Applicant

Other (see below for details)

Name: Kenneth Hillan

Email: khillan@yahoo.com

Phone: 415-269-3591

Please Select Primary Project Contact:

Owner

Applicant

Billing

Property Information

Project Address: 50 Seward Street

Block/Lot(s): 2701/024A

Plan Area: Unsure what this means

Project Description:

Please provide a narrative project description that summarizes the project and its purpose.

Remodel proposal changing building envelope and building height

Project Details:

- Change of Use New Construction Demolition Facade Alterations ROW Improvements
 Additions Legislative/Zoning Changes Lot Line Adjustment-Subdivision Other _____

Estimated Construction Cost: _____

- Residential:** Special Needs Senior Housing 100% Affordable Student Housing Dwelling Unit Legalization
 Inclusionary Housing Required State Density Bonus Accessory Dwelling Unit

- Non-Residential:** Formula Retail Medical Cannabis Dispensary Tobacco Paraphernalia Establishment
 Financial Service Massage Establishment Other: _____

Related Building Permits Applications

Building Permit Applications No(s): 201704194301

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		✓
Did you discuss the project with the Planning Department permit review planner?	✓	
Did you participate in outside mediation on this case? (including Community Boards)		✓

Kathleen Campbell

CHANGES MADE TO THE PROJECT AS A RESULT OF MEDIATION

If you have discussed the project with the applicant, planning staff or gone through mediation, please attach a summary of the result, including any changes that were made to the proposed project.

no changes made. KM.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

The project extends beyond the existing building envelope and includes a vertical addition that will have a negative impact on light exposure for adjacent properties (e.g. Carson Street), especially during the winter months. Seward Street is a narrow, winding two-way street used as a thoroughfare by Lyft and Uber. The proposed remodel narrows the distance between buildings on either side of the street and is immediately adjacent to the children's slide Seward Minipark.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

The project causes unreasonable impacts and would be precedent setting in this neighborhood. For example, when we submitted plans to remodel our home, which was built at the same time and in the same style as 50 Seward, the Planning Department would not allow even minor cosmetic changes to the facade. Potential unnecessary risk to children, given the extreme (change to the envelope) nature of the remodel that will impact traffic flow & pedestrian visibility throughout the construction period.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

The 4th floor addition should not be permitted and the building height should be reduced so that it does not negatively impact light for adjacent properties.
The current proposal significantly narrows the distance between buildings on either side of the street. The current building envelope on the Seward street side of the property should be preserved, not least for the sake of everyone that lives on and uses the street.

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.

Kenneth Hillan

Kenneth Hillan

Signature

Name (Printed)

owner

Resident at 64 Seward Street

415-269-3591

khillan@yahoo.com

Relationship to Project
(i.e. Owner, Architect, etc.)

Phone

Email

APPLICANT'S SITE VISIT CONSENT FORM

I hereby authorize City and County of San Francisco Planning staff to conduct a site visit of this property, making all portions of the interior and exterior accessible.

Kenneth Hillan

Kenneth Hillan

Signature

Name (Printed)

3/15/19

Date

For Department Use Only

Application received by Planning Department:

By: Elizabeth White

Date: March 15, 2019

April 15, 2019

Response to Discretionary Review (DRP)

Friedgen Johnson Residence – 50 Seward Street, SF CA 94114
Building Permit Application: 2017.0419.4301
Record Number: 2017-006245PRJ
Assigned Planner: Cathleen Campbell



David,

Please find our response to the three DR filers, Alissa Fitzgerald and Alex Mitelman who reside at 49 Seward Street #2, James Pincoff who resides at 49 Seward #1, and Kenneth Hillan who resides at 64 Seward Street.

Our clients, Kelley Friedgen and Kyle Johnson, have lived in the neighborhood for 3.5 years. Part of the reason they are proposing their project is that they believe that Seward Street is a wonderful block that mixes single-family homes with condo and apartment buildings on a street with a city park. Kelley and Kyle believe strongly in the strength of urban neighborhoods and want to be able to raise their children – four-year old Alexander and one-and-a-half-year-old Knox in an environment where the family can cross the street to the park or walk down to the Eureka Valley Recreation Center or up to the Douglass Street Playground. The goal of this renovation is to enable the family to have three good-sized bedrooms all on the same level. At present, the youngest child sleeps on a separate level from his parents and older brother. Due to the ground level garage and the slope of the lot, this was difficult to execute without the addition of a story.

When it became apparent that to achieve this goal would require a renovation that affected the entire structure, Kelley and Kyle made the decision to split their home, which was sold to them as a single-family home, into two legally defined units; a four-bedroom upper unit and a two-bedroom lower unit. This was a desirable outcome for both family reasons as well as Kelley and Kyle's commitment to San Francisco city living. The addition of a second unit opens up the possibility of more affordable housing for family members who may relocate to the Bay Area. Both Kelley and Kyle's parents are living but are 69-years or older and retired. It is conceivable that one of the sets of grandparents may choose to move to be closer to their grandchildren or need elder care. Another possibility is that one or both of Kelley's sisters would move to San Francisco. Her middle sister is currently a high school drama, dance and choreography teacher, but will begin graduate school studies at Arizona State in the fall in Applied Theater. Her youngest sister is the UX design lead for West Elm, which is owned by SF-based Williams-Sonoma. Though currently living in Brooklyn, she is exploring career opportunities that may bring her to the Bay Area now or in the future.

Kelley and Kyle are also pleased to be adding another unit of housing to the city and they are proud that their plans would enable elderly family or a practicing artist to be resident in San Francisco. They are not investors nor developers but are a San Francisco family wanting to stay in the neighborhood and hope that by adding another two-bedroom unit to the neighborhood, others may benefit from this renovation.

Kelley and Kyle acknowledge that parking on Seward Street is a neighborhood concern. At the same time, the public transit options from Seward Street are also excellent, with the Muni 35 bus just two and three blocks away for northbound and southbound travel respectively. That bus links to the Castro Muni station as well as the Glen Park BART. Kelley and Kyle themselves use public transit from the property. Kyle walks every weekday to the Castro Muni to commute downtown while Kelley often uses the K train with their son Alexander to attend Saturday lessons at the German School of San Francisco at Mercy High School. As such, public transit is a viable option for either parents or Kelley's sister should they occupy the second unit.

Kelley and Kyle have offered to meet with all of the neighbors who attended the pre-ap meeting but only one – Robin Shostack and Will McDonald, with whom Kelley and Kyle reviewed the plans – have accepted the invitation to meet further.

We have offered to meet with the DR applicants with you at the Planning Department but unfortunately the DR applicants refused to meet. It is unfortunate that they are unwilling to engage in dialogue to see if their concerns could be addressed.

We stand available to meet if they become available,

Sincerely,

A handwritten signature in black ink, appearing to be 'John Lum', with a stylized, cursive script.

John Lum, AIA
Founding Principal
John Lum Architecture, Inc.

Attachments: DRP Response Mr. Pincow
DRP Response Ms. Fitzgerald and Mr. Mitelman
DRP Response Mr. Hillan
Exhibit 1
Exhibit 2

Response to Discretionary Review (DRP) Mr. Pincow, 49 Seward Street, #1

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

We have summarized the DR requestor's concerns with our response:

- 1. Does not meet Residential Design Guidelines (RDG):** The project has been reviewed by the RDAT (Residential Design Advisory Team) who agreed that the project is in conformance with the RDG.
- 2. Not compatible in height and scale, disruptive and incompatible:** The Proposed Project adds an additional story to a two-story building (technically the fourth floor due to the down-slope site) in a Mixed Visual Character RH-2 neighborhood. The street varies with two-to-three-story buildings on the east side, and up to four stories plus on the west side. The Proposed Project is located between a two-story-over-basement, Marina-style house with decorative parapet and a three story 1970's flat-roofed apartment building with mansard. The RDG does not require all buildings to be the same height to be compatible.
- 3. Not compatible with surrounding buildings, roof character:** The Proposed Project uses similar Marina-style trim and windows of adjacent buildings, and a transitional architectural language that bridges between the traditional and the 1970's neighbor. The roof line on both adjacent buildings, contrary to the DR requestors assertion, are flat. See diagram on page 30 of RDG. The Proposed Project's flat roof was in direct response to the neighbors' and RDAT's request to minimize the height of the roof.
- 4. Defies Character of Surrounding Buildings:** The RDG does not require a project to mimic existing architectural styles and as the Proposed Project is categorically exempt from CEQA, the proposed changes are permitted. Relocating the garage from the south to the north part of the site allows for a level driveway that allows the Owners to use their garage, as their car would bottom out due to the steepness of the existing driveway. The neighborhood pattern for garage doors is inconsistent.
- 5. Tallest building on Seward:** The Proposed project measures 30'-3" well below the 40' height limit. The tallest building on the block ironically is the DR requestor's building which measures at approximately 49'-4" from curb and is four stories plus. *See Exhibit 1 photograph of Street.*
- 6. Traffic congestion:** Although not regulated by Planning, the Owners are expecting to hire a General Contractor who will formulate a construction management plan to minimize construction disruption to the street.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

The original 311 submittal of the project included a sloped roof to mimic the decorative parapets of the adjacent houses but was replaced with a lower flat roof due to the neighbors' concerns on views and RDATs request to minimize the roof. Unfortunately, the DR Requestors have refused to meet to discuss their concerns.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

- 1. Setback the fourth floor or eliminate the fourth floor:** As the adjacent south neighbor is three stories with no setbacks, per the RDG, as a setback is not required as the block is not solely two-story buildings, the scale of the new fourth floor (third floor from street) is in keeping with the character of the neighborhood and the varied front yard setback reduces the mass of the building. The RDAT did request reductions in the fourth floor at the rear to address concerns of the mid-block open space resulting in an 8'-1" reduction of the fourth floor (197 square foot reduction) and an additional 7' reduction of the existing third floor. We believe that the DR requestor would like to eliminate the fourth floor to preserve his view.
- 2. Make the house Mediterranean:** The RDG does not require a project to mimic existing architectural styles nor is it appropriate to do so.

Kelley and Kyle have corresponded by email with the DR requestor to address his questions and he was also invited to meet with them along with other neighborhood members but did not respond to the invitation.

Response to Discretionary Review (DRP) Fitzgerald-Mitelman, 49 Seward Street #2

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR req., please meet the DR requester in addition to reviewing the attached DR application.)

We have summarized the DR requestor's concerns with our response:

- 1. Effect to Light and air:** There will be minimal effect to the light and air to the DR requestor's unit as she is southwest of the Subject project and is not located directly across the street but diagonally (*see Exhibit 2, Site Photograph*). Her property is 56'-3" to 67'-5" from the Proposed Project across Seward Street, and the finished floor is 10" lower than the Proposed Project's fourth floor roof (surveyed by ILS Associates Inc.). The DR requestors will clearly see over the roof line of the Proposed Project.

Any possible blockage of sunlight would occur only at sunrise (6:00AM) during the summer months when the sun is rising slightly north and at a low angle. We offered to do a sun study to help the DR requestors understand any sun effect, with no response.

The attached photo the DR requestors submitted (*Figure 5*) is exaggerated and also demonstrates possible effects to the DR requestors' view, not light or air.

- 2. No Modifications:** The DR applicants are incorrect. Per the RDAT's comments of April 13, 2018, the fourth floor was reduced by 8' from the east and aligned with the adjacent neighbors; the existing third floor was also reduced to create a 7' roof deck to further reduce effects to the mid-block open space.

The roof was minimized to a flat roof which brought the roof down 1'-6" lower than the original peaked submission. The building height is only 30'-3' which is well below the maximum allowed height of 40'.

- 3. Height is not compatible:** The DR applicant focuses on the height of the building that was proposed before the RDAT's review that resulted in significant modifications as listed above. The notification poster and drawings are correct.

Required fire parapets are exempt from Planning regulation and are not used to determine the height of a building.

- 4. Privacy:** The Subject property currently has windows that face the street but do not look directly onto the DR Requestor's property due to the oblique angle of the street. Adding a 10' addition in the front of the building or a new floor does not change this condition. The DR Requestors shared their concern about privacy when they met with the owners and the owners took that issue and others into account when they modified their initial

proposal. Previously, the new fourth floor addition would have been living space. Now, it is to be the children's bedroom spaces, which would include window treatments for sleeping and their own privacy. Consequently, we do not believe that privacy of either party would be compromised.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

The original 311 submittal of the project included a sloped roof to mimic the decorative parapets of the adjacent houses but was replaced with a lower flat roof due to the neighbors' concerns on views and RDATs request to minimize the roof. Please also see answer above regarding privacy.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The DR has requested the following changes:

- 1. Restrict the height of our project to 25' to 26' tall:** This is unreasonable and would disallow a new story in a neighborhood of 2-4 story homes and would be 15' below the 40' height limit. There is no zone in San Francisco that has this restrictive height. This would preclude our clients from creating a home for their family and would reduce the two-bedroom unit to a studio.
- 2. Do not allow expansion at front:** The addition, as proposed, is code complying and allows for our clients to have a third bedroom on the new fourth floor. There is no substantial increase in bulk, shadows or privacy to the DR requestor by this expansion.
- 3. Maintain the existing driveway so that it can continue to be used as a parking space:** The Planning code does not allow parking in the front yard setback and the current driveway is only 10' long and does not qualify as a legal parking space. The driveway also is too steep due to the slope of the street, causing cars to bottom out entering the garage. Repositioning the garage to the northside allows for a level driveway and does not affect the street parking on Seward, nor does it intensify the current parking for the property. The one-car parking space requirement for the second unit is satisfied by providing two, Class-A bicycle parking spaces.
- 4. Remove fire parapets:** Building code requires these walls if a skylight is nearer than 5' from the property line. The parapet has no effect to the DR requestors light and air.

No response from DR requestors to Kelly and Kyle's request to meet.

Response to Discretionary Review (DRP)- Mr. Hillan, 64 Seward Street

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

Our project is five houses north of Seward Mini Park and on the opposite side of the street. The adjacent neighbors on either side nor on Carson Street have expressed any concerns about the Proposed Project. There is no impact to parking nor will there be an increase of traffic, as the existing one car garage will be replaced in kind. It is not clear why the DR requestor is claiming that pedestrian flow would be affected by the project as it does not affect the sidewalk.

The addition of one story to a two-story house (defined as the fourth floor due to the down-slope lot) and expanding a second unit of housing is in keeping with the neighborhood scale of 2-4 story and Rh-2 zoning on the block.

The current house is not a historic resource, nor is the neighborhood a historic district, therefore the changes to the façade and expansion are categorically exempt under CEQA.

The building height per Planning standards is 30'-3', well below the height limit of 40'. The proposed project building expands in front towards the street but maintains a landscaped front yard setback and does not require a Variance.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Due to RDAT concerns listed in a review 4/13/18, we removed 197 square feet from the rear of the house on the new fourth floor to align that floor with the adjacent neighbors, and removed an additional 7' from the third floor to create open space for the upper unit, reducing the this floor by 39 square feet. The roof which was sloped was reduced to a flat roof to minimize the roof height.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

We are not sure how the proposed project affects the DR requestor, as he lives three properties north of the Subject property (*see Exhibit 2, Site Photograph*). His objection to the style of the house is subjective and does not recognize that the neighborhood is of Mixed Visual Character.

The owners, Kyle Johnson and Kelley Friedgen require four bedrooms for their family, as they have two young kids, and also need to have a guest room for their aging parents. The program to have three bedrooms on one level is necessary given the age of their children. Expanding the second unit to be large enough to have two bedrooms is important to them, as they believe strongly in living in SF and contributing back to the community that they live in. These square footage requirements necessitate adding a new floor. The project is code complying and will put back into the market a second unit of housing.

Kyle and Kelley have offered to meet with all of the neighbors who attended the pre-ap meeting but only one – Robin Shostack and Will McDonald, with whom Kelley and Kyle reviewed the plans – have accepted the invitation to meet further.

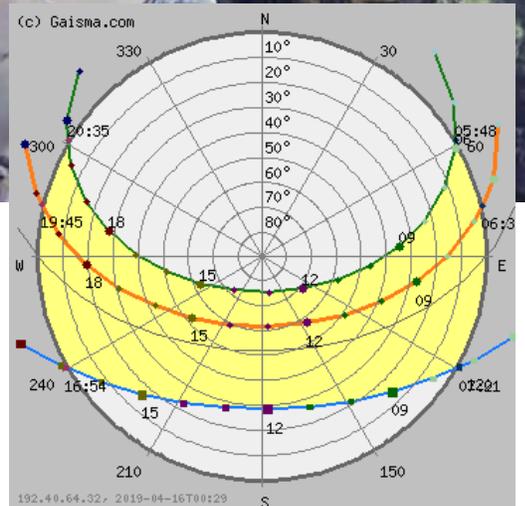
We have offered to meet with the DR applicants with David Winslow, Senior Architect, but the DR applicant refused to meet.

50 SEWARD ST.
PROPOSED PROJECT SITE

D.R. REQUESTOR: UNIT#2
(FITZGERALD & MITELMAN)

D.R. REQUESTOR: UNIT#1
(PINCOW)





FRIEDGEN - JOHNSON RESIDENCE REMODEL

50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A



JOHN LUM ARCHITECTURE, INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

ABBREVIATIONS:

&	AND
<	ANGLE
@	AT
#	NUMBER
CL	CENTER LINE
PL	PROPERTY LINE
(E)	EXISTING
(N)	NEW
(R)	REPLACE
ABV.	ABOVE
ADJ.	ADJACENT
ALUM.	ALUMINUM
ARCH.	ARCHITECTURE
ASPH.	ASPHALT
BD	BOARD
BASE BD.	BASE BOARD
BLDG.	BUILDING
BLK	BLOCK
BLKG.	BLOCKING
BOT.	BOTTOM
BM	BEAM
B.U.	BUILT UP
CLG.	CEILING
CONT.	CONTROL
CONT.	CONTINUOUS
CTR.	CENTER
CLR.	CLEAR
C.L.	CENTER LINE
DBL	DOUBLE
D.F.	DOUGLAS FIR
DIM.	DIMENSION
DN.	DOWN
D.P.	DOUBLE POLE
D.S.	DOWN SPOUT
DWG.	DRAWING
E	EAST
EA	ELEVATION
EL OR ELEV.	ELECTRICAL
ELEC.	ELECTRICAL
EXP	EXPOSED
EXT.	EXTERIOR
F.A.U.	FORCED-AIR UNIT
FDN.	FOUNDATION
F.F.	FINISHED FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
FIN.	FINISH
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.P.	FACE OF PLYWOOD
FP	FIRE PLACE
FURN.	FURNITURE
GA.	GUAGE
GALV.	GALVANIZED
GND.	GROUND
GYP BD.	GYP SUM BOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARD WOOD
H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING
LD.	INSIDE DIMENSION
INSUL.	INSULATION
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MANUF.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
O	OVER
O.C.	ON CENTER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OPNG.	OPENING
O.D.	OUTSIDE DIMENSION
P.C.	PLUMBING CHASE
PL	PLATE
PLYWD.	PLYWOOD
PT.	PRESSURE TREATED
PT.	POINT
PTD.	PAINTED
R	RADIUS
RET. AIR	RETURN AIR
RM	ROOM
RWD	REDWOOD
R.W.L.	RAIN WATER LEADER
S	SOUTH
S.S.D.	SEE STRUCTURAL DRAWINGS
SQ. FT.	SQUARE FOOT
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.P.	SINGLE POLE
SQ.	SQUARE
S.T.	STAINLESS STEEL
ST	STEEL
STD.	STANDARD
SUP. AIR	SUPPLY AIR
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
THK.	THICK
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.F.	TOP OF FINISHED FLOOR
T.O.W.	TOP OF WALL
TP.	TOILET PAPER HOLDER
TR.	TOWEL RACK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VAR.	VARIABLE
V.D.C.	VERIFY DURING CONSTRUCTION
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W	WEST
W	WITH
W.C.	WATER CLOSET
WD	WOOD
WP	WATER PROOF
W.H.	WATER HEATER

SYMBOLS:

EXISTING WALL	
NEW WALL	
NEW RATED WALL	
DEMO WALL	
LINE OVERHEAD OR HIDDEN	
CENTERLINE	
PROPERTY LINE	
DIMENSION TO FACE OF FINISH	
DIMENSION TO CL OF STUD	
DATUM LINE	
WINDOW SYMBOL	
DOOR SYMBOL	
COLOR SYMBOL	
FLOOR SYMBOL	
SECTION MARKER	
ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
PLAN DETAIL MARKER	
DETAIL MARKER	
REVISION MARKER	

GENERAL NOTES:

- AIA DOCUMENT 201 "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT" ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
 - ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
 - CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
 - SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
 - DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
 - ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
 - CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
 - IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
 - WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
 - DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
 - "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
 - "TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
 - DIMENSIONS NOTED "CLF" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
 - CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
 - ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
 - ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
 - WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
 - ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
 - ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
 - PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
 - MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
 - MINIMUM ROOF/CEILING INSULATION: R-19
 - MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13.
 - MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13.
 - ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 - INFILTRATION CONTROL:
 - DOORS AND WINDOWS WEATHER-STRIPPED.
 - EXHAUST SYSTEMS DAMPENED.
 - DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
 - ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
 - DUCTS CONSTRUCTED AND INSTALLED PER UMC.
 - ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
 - SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
 - GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES
 - LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

PROJECT DATA:

CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
2013 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

APPLICABLE SAN FRANCISCO MUNICIPAL CODES

PROJECT ADDRESS:
50 SEWARD STREET
SAN FRANCISCO, CA 94114

PROJECT DESCRIPTION:
RENOVATION AND ADDITION TO (E) 2 UNIT DWELLING

VERTICAL ADDITION SHALL BE A (N) 4TH FLOOR, AND HORIZONTAL ADDITION SHALL BE ON THE FRONT ON ALL 3 STORIES. EXCAVATE AND EXPAND (E) BASEMENT AND 1ST FLOOR TO RE-ESTABLISH AND REDEFINE THE UNKNOWN 2ND UNIT. THE INTERIOR WILL BE REMODELED THROUGHOUT.

THE BUILDING WILL BE FULLY SPRINKLERED UNDER A SEPARATE PERMIT

ZONING INFORMATION:
BLOCK/LOT: 2701 / 024A
ZONING DISTRICT: RH-2
LOT SIZE: 1,885 SQ FT
BUILDING HEIGHT: (40-X)
NO. OF STORIES: (E) 3 OVER BASEMENT
(N) 4 OVER BASEMENT

SETBACKS / YARD REQMENTS:
FRONT: (AVG OF ADJ BLDGS - 15' MAX)
REAR: (AVG OF ADJ BLDGS - 45% LOT DEPTH MAX)

GROSS FLOOR AREA:

EXISTING BASEMENT:	541 SQ. FT.	(UNCONDITIONED)
EXISTING 1ST FLR:	537 SQ. FT.	(CONDITIONED)
EXISTING 2ND FLR:	119 SQ. FT.	(UNCONDITIONED)
EXISTING 3RD FLR:	791 SQ. FT.	(CONDITIONED)
EXISTING 4TH FLR:	329 SQ. FT.	(UNCONDITIONED)
TOTAL EXISTING:	989 SQ. FT.	(UNCONDITIONED)
PROPOSED BASEMENT:	594 SQ. FT.	(CONDITIONED)
PROPOSED 1ST FLR:	389 SQ. FT.	(UNCONDITIONED)
PROPOSED 2ND FLR:	757 SQ. FT.	(CONDITIONED)
PROPOSED 3RD FLR:	669 SQ. FT.	(CONDITIONED)
PROPOSED 4TH FLR:	333 SQ. FT.	(UNCONDITIONED)
PROPOSED 5TH FLR:	1,210 SQ. FT.	(CONDITIONED)
PROPOSED 6TH FLR:	911 SQ. FT.	(CONDITIONED)

TOTAL PROPOSED: 4,341 SQ. FT. (CONDITIONED)
746 SQ. FT. (UNCONDITIONED)

NET CHANGE: +1,841 SQ. FT. (CONDITIONED)
-243 SQ. FT. (UNCONDITIONED)

GFA BY UNIT:

EXISTING UNIT 1 & 2:	2,500 SQ. FT.*	(CONDITIONED)
EXISTING 2ND FLOOR:	989 SQ. FT.	(UNCONDITIONED)
PROPOSED UNIT 1:	3,142 SQ. FT.	(CONDITIONED)
PROPOSED UNIT 2:	746 SQ. FT.	(UNCONDITIONED)
PROPOSED UNIT 3:	1,199 SQ. FT.	(CONDITIONED)

*EXISTING PROPERTY IS RECORDED AS A 2 UNIT BUILDING PER 9-R REPORT NO. 201507021189. THE SECOND UNIT WAS REMOVED AT A DATE PRIOR TO CURRENT OWNERSHIP AND THE EXTENTS OF THE SECOND UNIT ARE UNKNOWN. AS SUCH, "BY UNIT" CALCULATIONS FOR THE EXISTING PROPERTY ARE GIVEN AS A COMBINED BUILDING TOTAL.

DRAWING INDEX:

ARCHITECTURAL

1.	A0.00	TITLE SHEET
2.	A0.01	SITE PHOTOS
3.	A0.02	SITE & ROOF PLANS
4.	A0.03	PERSPECTIVES
5.	A0.04	PERSPECTIVES
6.	A0.05	PERSPECTIVES
7.	A0.06	DEMO CALCS
8.	A0.07	DEMO CALCS
9.	A0.08	DEMO CALCS
10.	A1.01	BASEMENT FLOOR PLANS
11.	A1.02	FIRST FLOOR PLANS
12.	A1.03	SECOND FLOOR PLANS
13.	A1.04	THIRD FLOOR PLANS
14.	A1.05	ROOF/FOURTH FLOOR PLANS
15.	A3.01	EXT. ELEVATIONS (WEST)
16.	A3.02	EXT. ELEVATIONS (EAST)
17.	A3.03	EXT. ELEVATIONS (SOUTH)
18.	A3.04	EXT. ELEVATIONS (NORTH)
19.	A3.05	EXT. ELEVATIONS (NORTH)
20.	A3.06	EXT. ELEVATIONS (NORTH)
21.	A3.07	(E) BUILDING SECTION
22.	A3.08	(P) BUILDING SECTION
23.	A9.10	GREEN BUILDING

PROJECT PARTICIPANTS:

OWNER: KELLY FRIEDGEN & KYLE JOHNSON 50 SEWARD STREET SAN FRANCISCO, CA 94114	ARCHITECT: JOHN LUM ARCHITECTURE 3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
PROJECT MANAGER: KHOAN DUONG T. 415. 558. 9550 x0013 F. 415. 558. 0554	STRUCTURAL ENGINEER: T.B.D.



10.31.19

FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

Client: Kelly Friedgen & Kyle Johnson
50 Seward St
San Francisco, CA 94115

date :	Issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (FDAT)	rk
01.15.19	Site Permit Rev 3	rk
02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk

project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

TITLE SHEET

A0.00



ADJACENT PROPERTY: 54 SEWARD ST.: FRONT



SUBJECT PROPERTY: 50 SEWARD ST.: FRONT



ADJACENT PROPERTY: 44 & 46 SEWARD ST.: FRONT



ADJACENT PROPERTY: ACROSS SEWARD ST



ADJACENT PROPERTY: ACROSS SEWARD ST



ADJACENT PROPERTY: ACROSS SEWARD ST



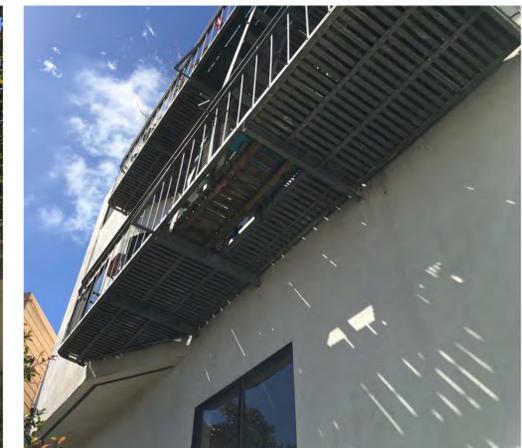
ADJACENT PROPERTY: 54 SEWARD STREET: REAR



SUBJECT PROPERTY: 50 SEWARD ST.: REAR



SUBJECT PROPERTY: 35 CARSON ST.: SIDE & REAR



ADJACENT PROPERTY: 988 SANCHEZ STREET: REAR

10.31.19

FRIEDGEN JOHNSON RESIDENCE REMODEL & ADDITION

50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

Client: Kelly Friedgen & Kyle Johnson
San Francisco, CA 94115

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Project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

SITE PHOTOS

FRIEDGEN JOHNSON RESIDENCE REMODEL & ADDITION

50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK/LOT: 2701 - LOT 024A

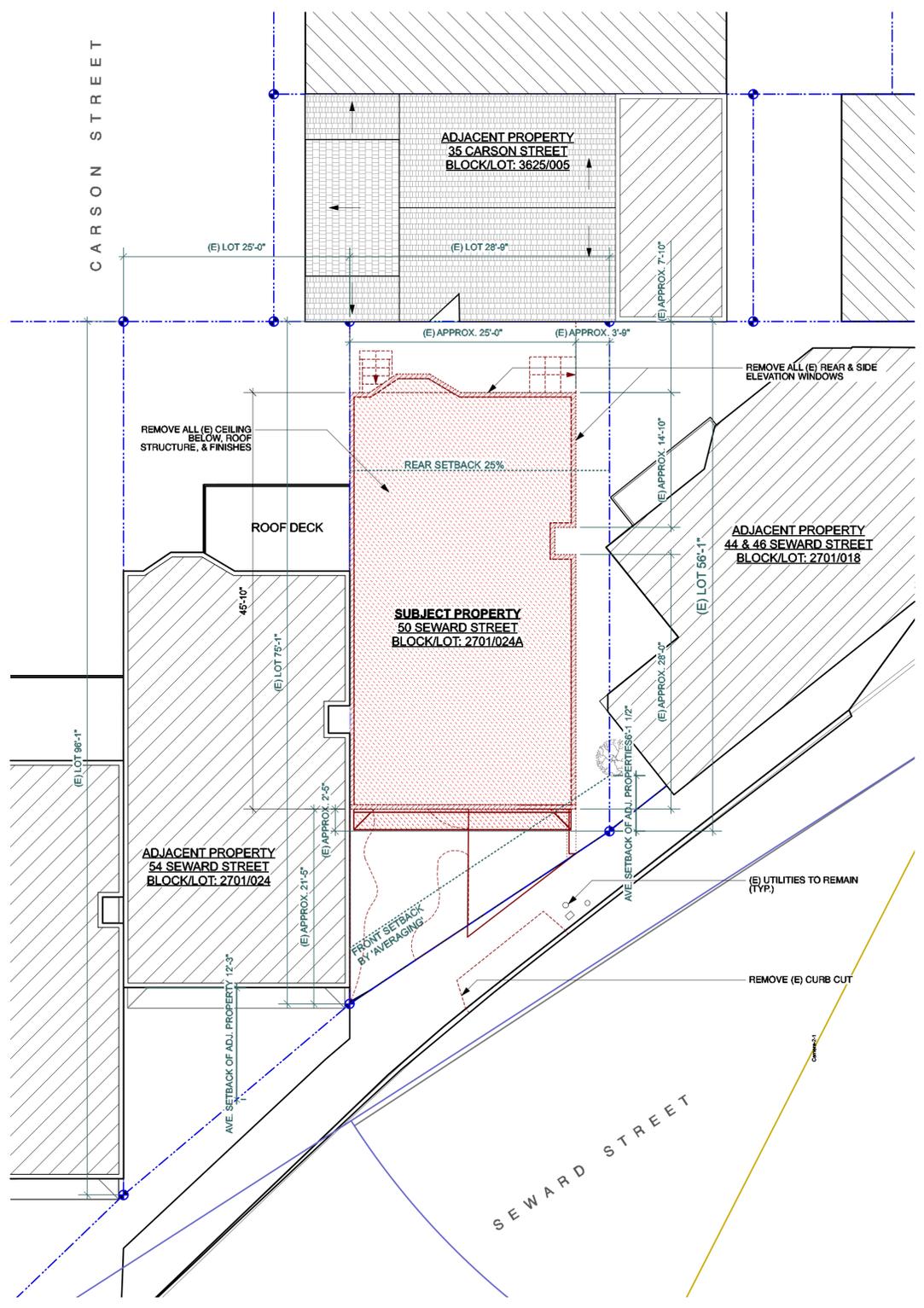
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san francisco, ca 94115

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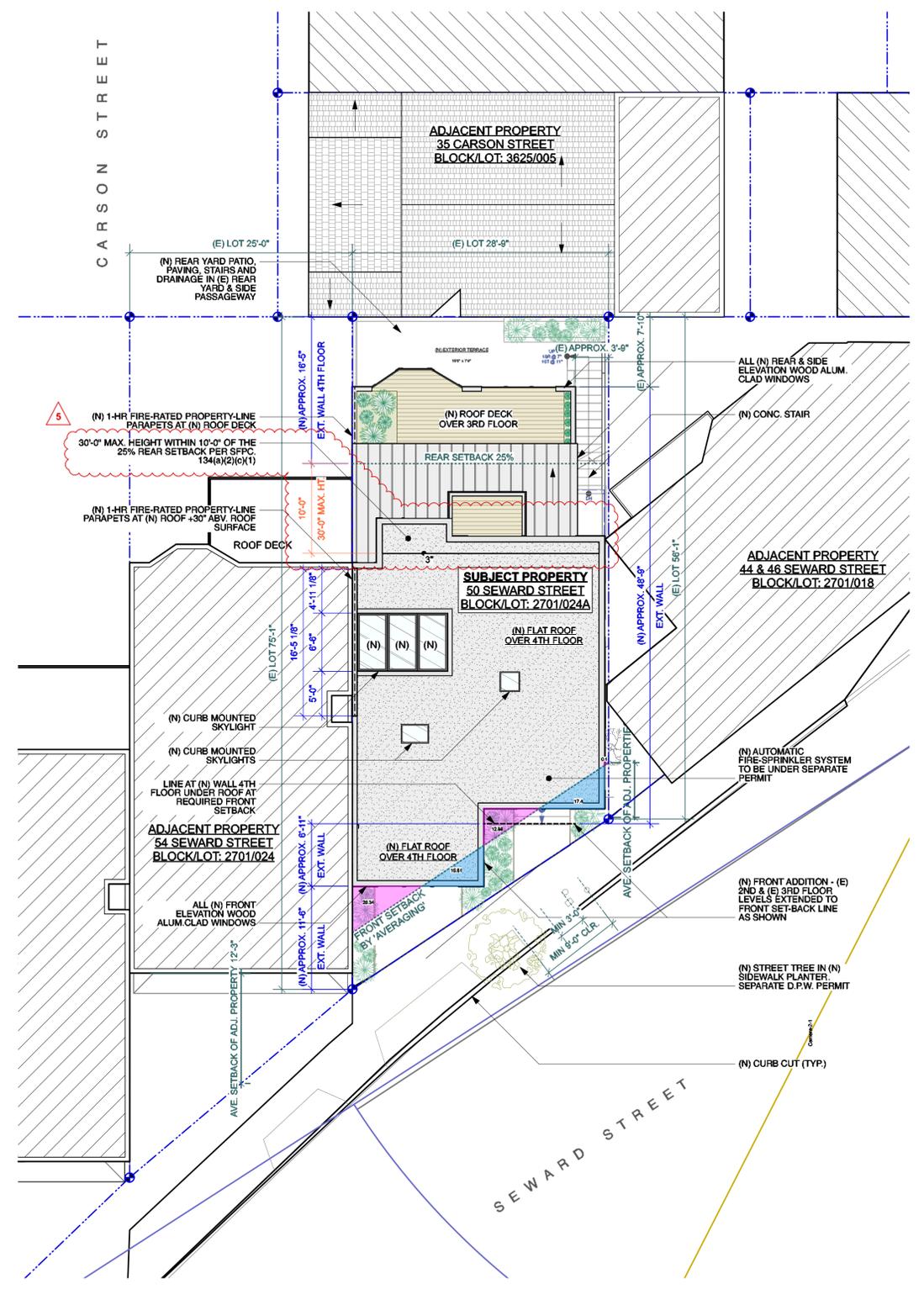
project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

SITE & ROOF PLANS

A0.02



1 SITE & ROOF PLAN - EXISTING
A0.02 Scale: 1/8" = 1'-0"
0 5 10 15 20 FT



2 SITE & ROOF PLAN - PROPOSED
A0.02 Scale: 1/8" = 1'-0"
0 5 10 15 20 FT



1 PROPOSED FRONT PERSPECTIVE #1
A0.03



2 PROPOSED FRONT PERSPECTIVE #2
A0.03



3 PROPOSED FRONT PERSPECTIVE #3
A0.03

10.31.19

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: kelly friedgen & kyle johnson
50 seward st
san francisco, ca 94115

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project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION



1 REAR PERSPECTIVE #1 - CURRENT PROPOSAL
A0.04



2 REAR PERSPECTIVE #1 - CURRENT PROPOSAL
A0.04

10.31.19

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: kelly friedgen & lyfe johnson
50 seward st
san francisco, ca 94115

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project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION



1 REAR PERSPECTIVE #2 - CURRENT PROPOSAL
A0.05



2 REAR PERSPECTIVE #2 - CURRENT PROPOSAL
A0.05

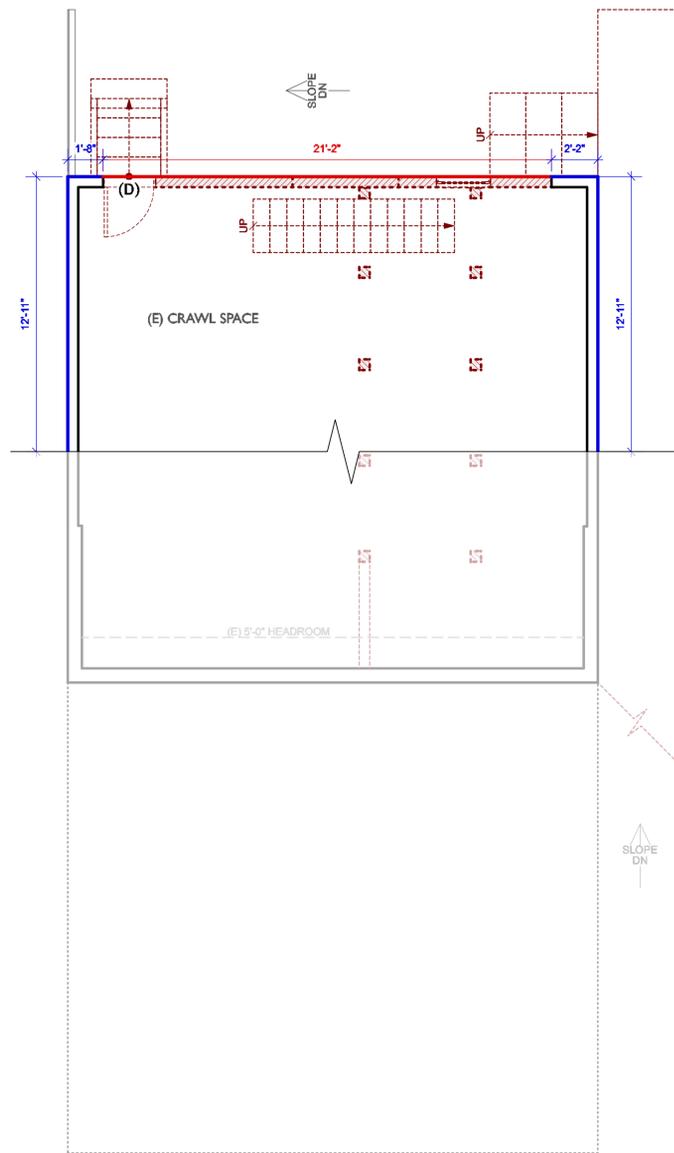
10.31.19

**FRIEDGEN JOHNSON RESIDENCE
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50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

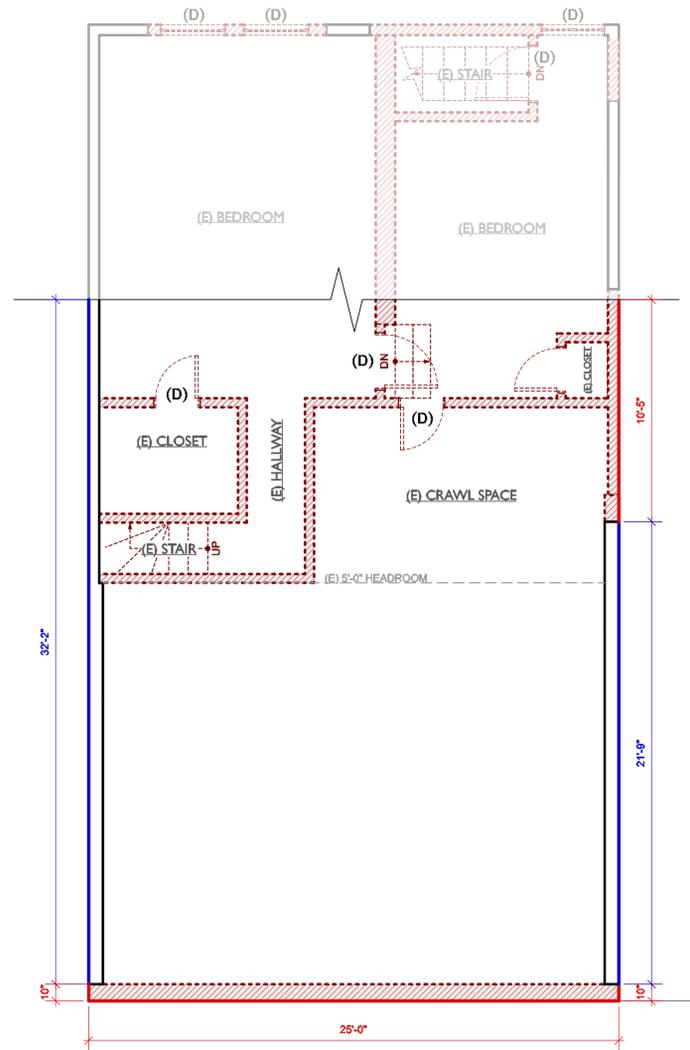
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project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION



1 BASEMENT FLOOR PLAN - EXISTING/DEMOLITION
 A0.06 Scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - EXISTING/DEMOLITION
 A0.06 Scale: 1/4" = 1'-0"



SYMBOLS	
TO BE RETAINED	
TO BE REMOVED	

SEC. 317 (2) (B)
 REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

SUM OF FRONT AND REAR FACADE					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	25'-0"	25'-0"	100%	0'-0"	0%
REAR (EAST) FACADE	25'-0"	21'-2"	84.7%	3'-10"	15.3%
TOTALS	50'-0"	46'-2"	92.3%	3'-10"	7.7%

SEC. 317 (2) (B)
 REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

LINEAR FOOTAGE MEASUREMENT: 1ST FLOOR					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	25'-0"	25'-0"	100%	0'-0"	0%
REAR (EAST) FACADE	25'-0"	21'-2"	84.7%	3'-10"	15.3%
LEFT (NORTH) FACADE	45'-11"	10"	1.8%	45'-1"	98.2%
RIGHT (SOUTH) FACADE	45'-11"	11'-3"	24.5%	34'-8"	75.5%
TOTALS	141'-10"	58'-3"	41%	83'-7"	59%

DETERMINATION:

PASSED SEC. 317 (2) (B)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL.

PROPOSED SUM OF FRONT AND REAR FACADE TO BE REMOVED IS > 50%

PROPOSED SUM OF ALL EXTERIOR WALLS TO BE REMOVED IS < 65%



JOHN LUM ARCHITECTURE INC.
 3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
 TEL 415 568 9550 FAX 415 568 0584

FRIEDGEN JOHNSON RESIDENCE
 REMODEL & ADDITION
 50 SEWARD ST. SAN FRANCISCO, CA 94114
 BLOCK 2701 - LOT 024A

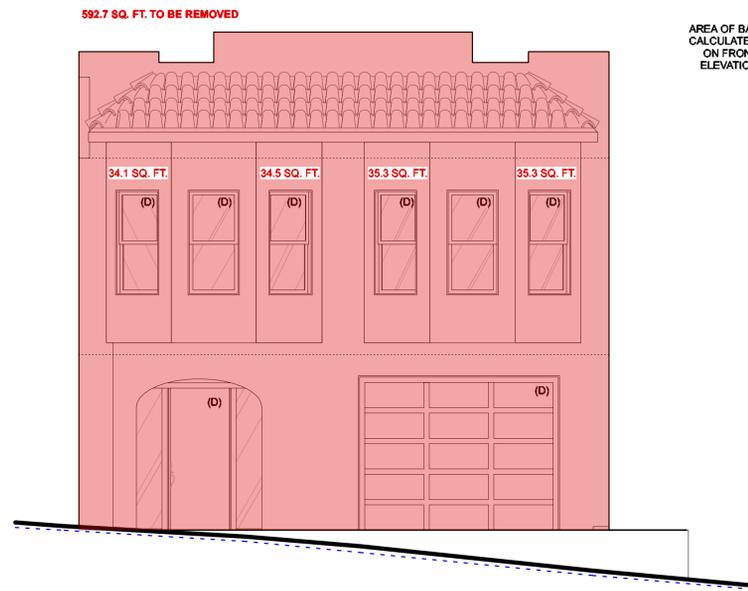
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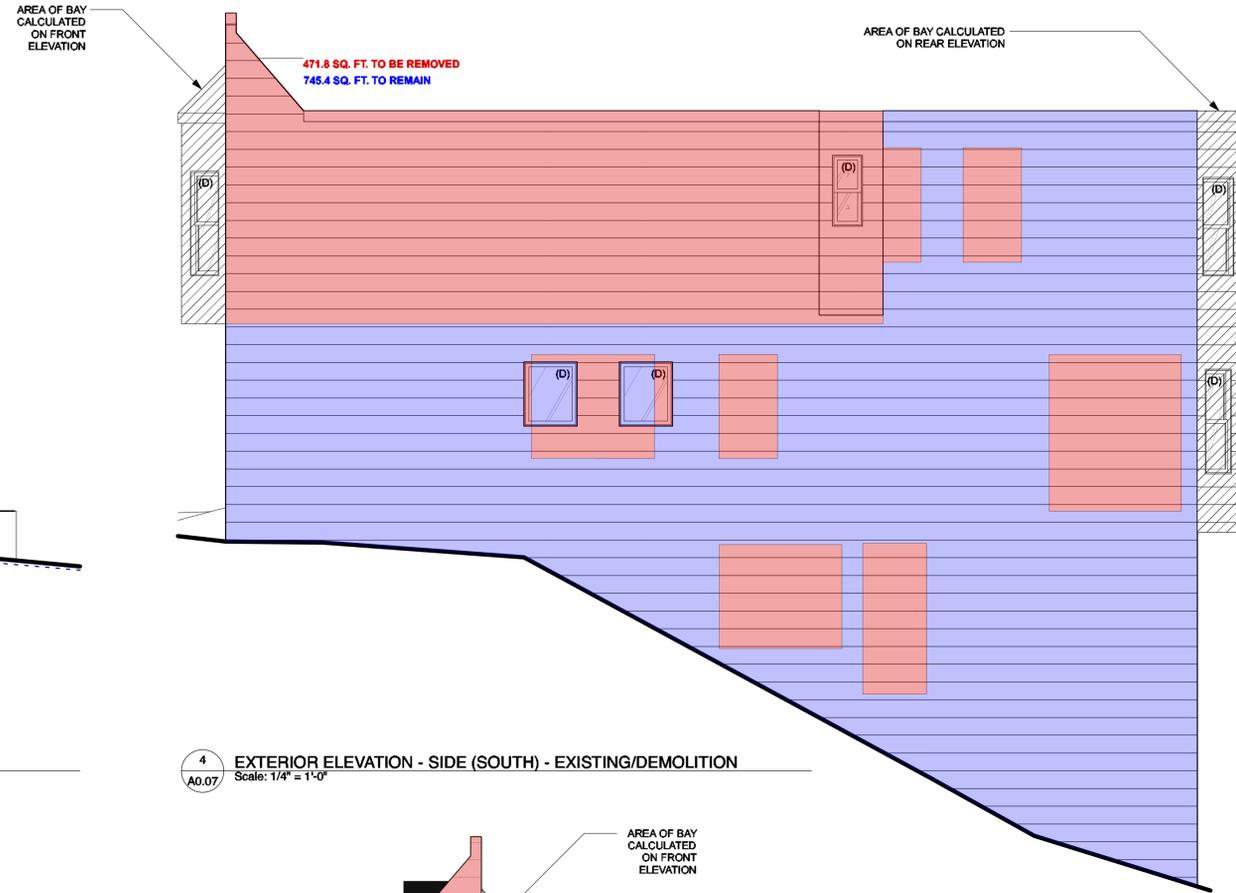
project name :
 FRIEDGEN JOHNSON RESIDENCE
 REMODEL & ADDITION

DEMO CALCS

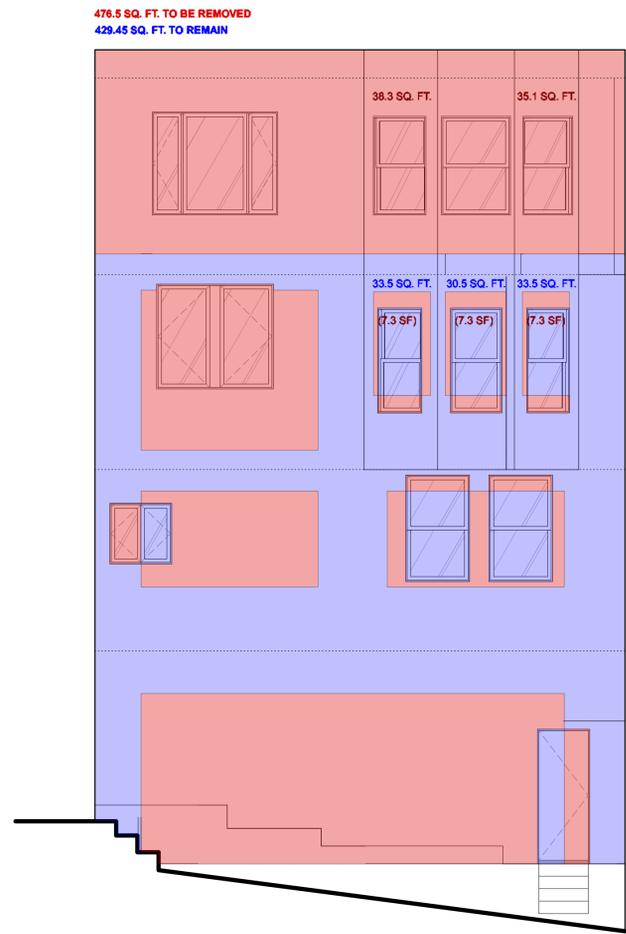
A0.06



1 EXTERIOR ELEVATION - FRONT (WEST) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - SIDE (SOUTH) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - REAR (EAST) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - SIDE (NORTH) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"

SEC. 317 (2) (C)
REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS
TO BE RETAINED [Blue Box]
TO BE REMOVED [Red Box]

DETERMINATION:
PASSED SEC. 317 (2) (C)
MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.
PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.5)
PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)

EXISTING & DEMO AREAS PER FACADE					
ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	593 SQ. FT.	593 SQ. FT.	100.0%	0 SQ. FT.	0.0%
REAR (EAST) FACADE	906 SQ. FT.	477 SQ. FT.	52.8%	429 SQ. FT.	47.4%
RIGHT (SOUTH) FACADE	1,217 SQ. FT.	472 SQ. FT.	38.8%	745 SQ. FT.	61.2%
LEFT (NORTH) FACADE	1,371 SQ. FT.	101 SQ. FT.	7.3%	1,270 SQ. FT.	92.7%
TOTALS	4,087 SQ. FT.	1,643 SQ. FT.	40.2%	2,444 SQ. FT.	59.8%



JOHN LUM ARCHITECTURE, INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 568 9550 FAX 415 568 0584

FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: kelly friedgen & lyfe johnson
san francisco, ca 94115

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project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

DEMO CALCS

A0.07

SEC. 317 (2) (C)

REMOVAL OF MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE BUILDING MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS

TO BE RETAINED	
TO BE REMOVED	

AREA MEASUREMENT

ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
1ST FLOOR	537 SQ. FT.	232 SQ. FT.	43.2%	305 SQ. FT.	66.8%
2ND FLOOR	1,095 SQ. FT.	0 SQ. FT.	0.0%	1,095 SQ. FT.	95%
3RD FLOOR	1,182 SQ. FT.	108 SQ. FT.	9.1%	1,074 SQ. FT.	90.9%
ROOF	1,153 SQ. FT.	1,153 SQ. FT.	100%	0 SQ. FT.	0%
TOTALS	3,967 SQ. FT.	1,493 SQ. FT.	37.7%	2,474 SQ. FT.	62.3%

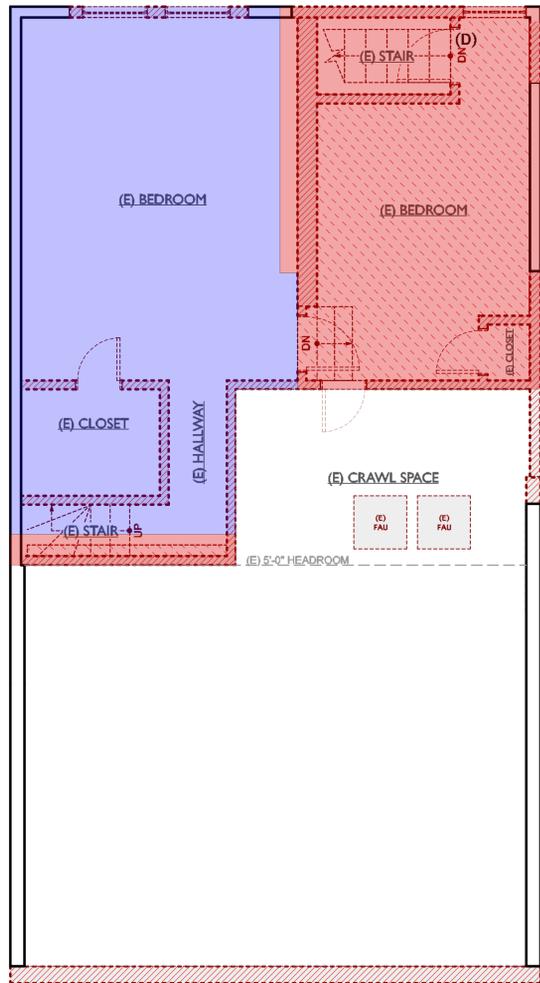
DETERMINATION:

PASSED SEC. 317 (2) (C)

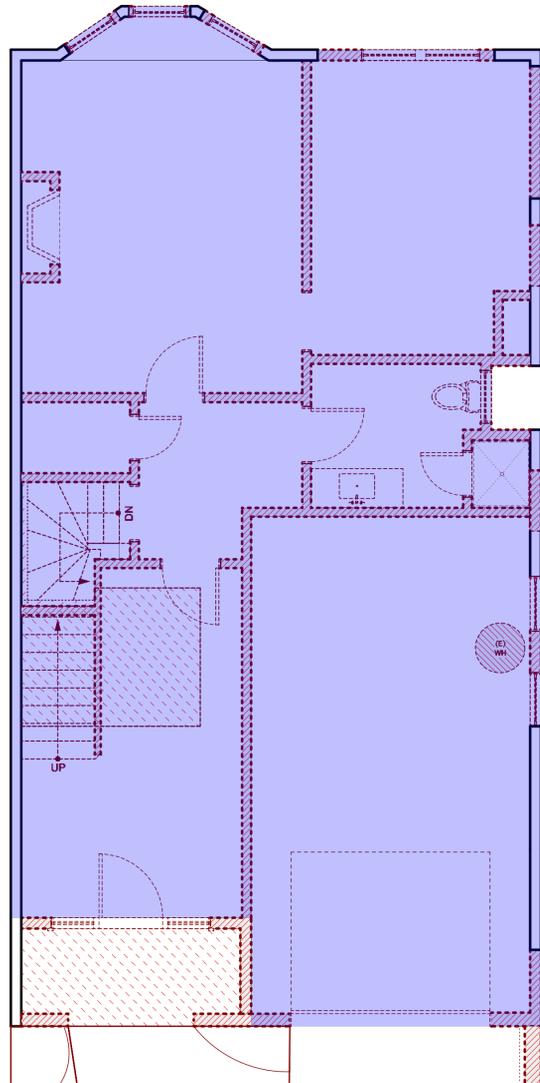
MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.4)

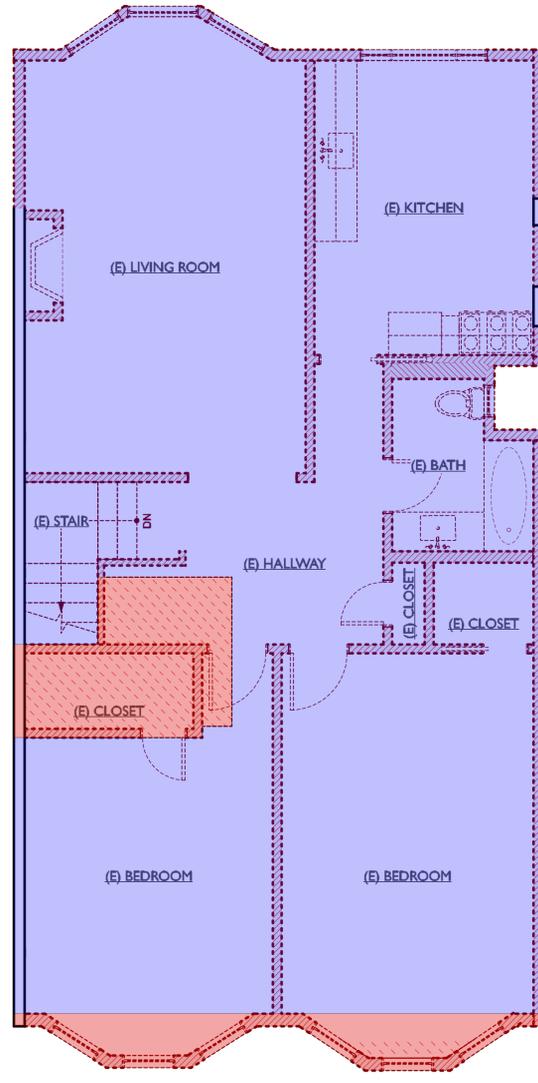
PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)



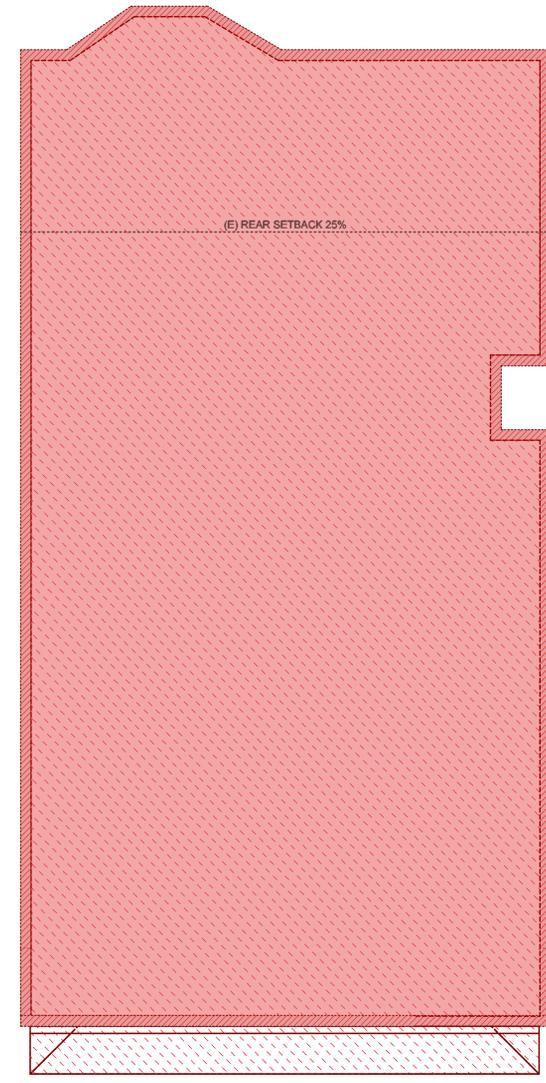
1 FIRST FLOOR PLAN - EXISTING/DEMOLITION
A0.08 Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - EXISTING/DEMOLITION
A0.08 Scale: 1/4" = 1'-0"



3 THIRD FLOOR PLAN - EXISTING/DEMOLITION
A0.08 Scale: 1/4" = 1'-0"



4 ROOF PLAN - EXISTING/DEMOLITION
A0.08 Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 568 9550 FAX 415 568 0584

FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: kelly friedgen & kyle johnson
san francisco, ca 94115
50 seward st

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (RDAT)	rk
01.15.19	Site Permit Rev 3	rk
02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk

project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

DEMO CALCS

A0.08

LEGEND, DEMOLITION

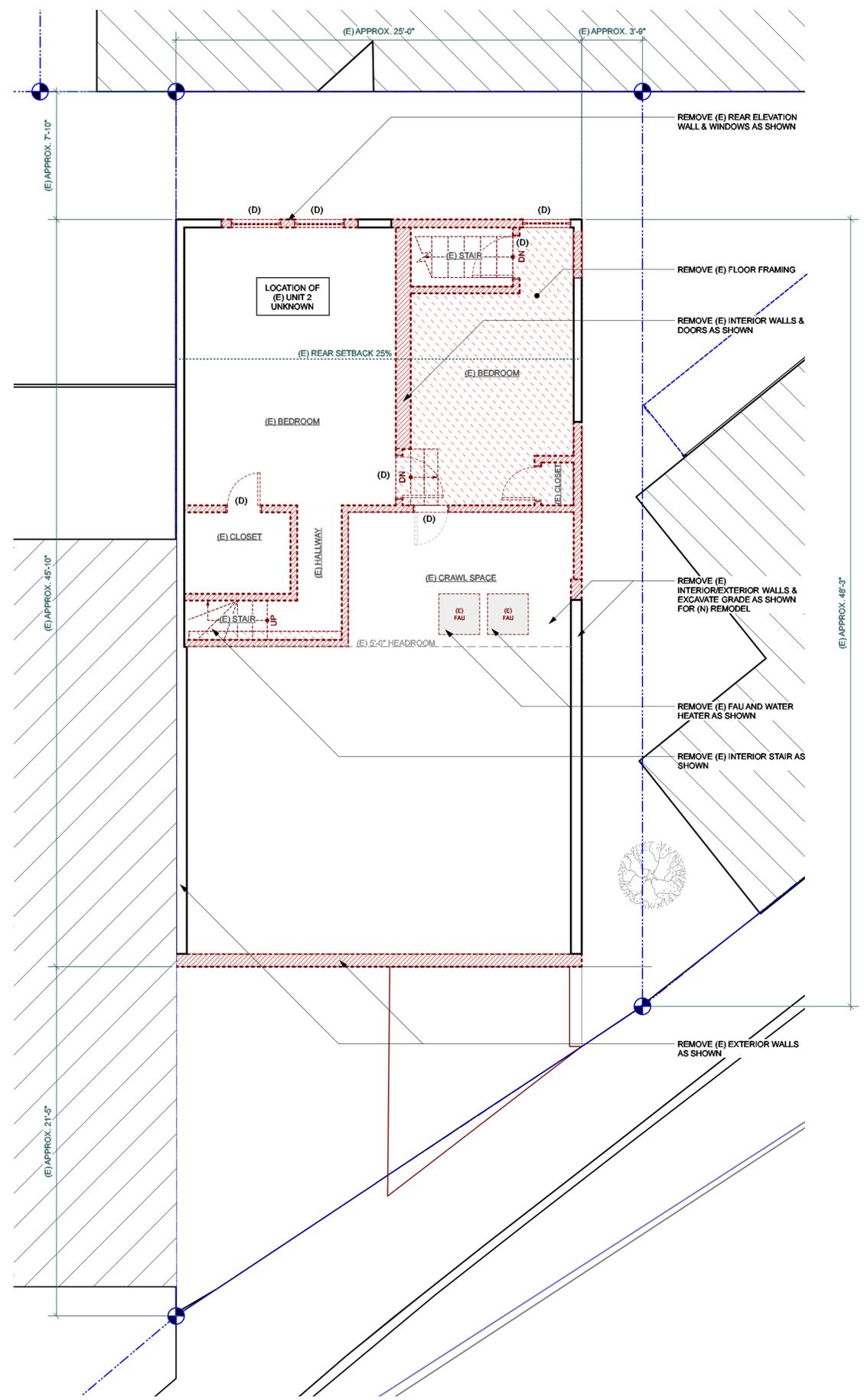
- EXISTING WALL TO REMAIN
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

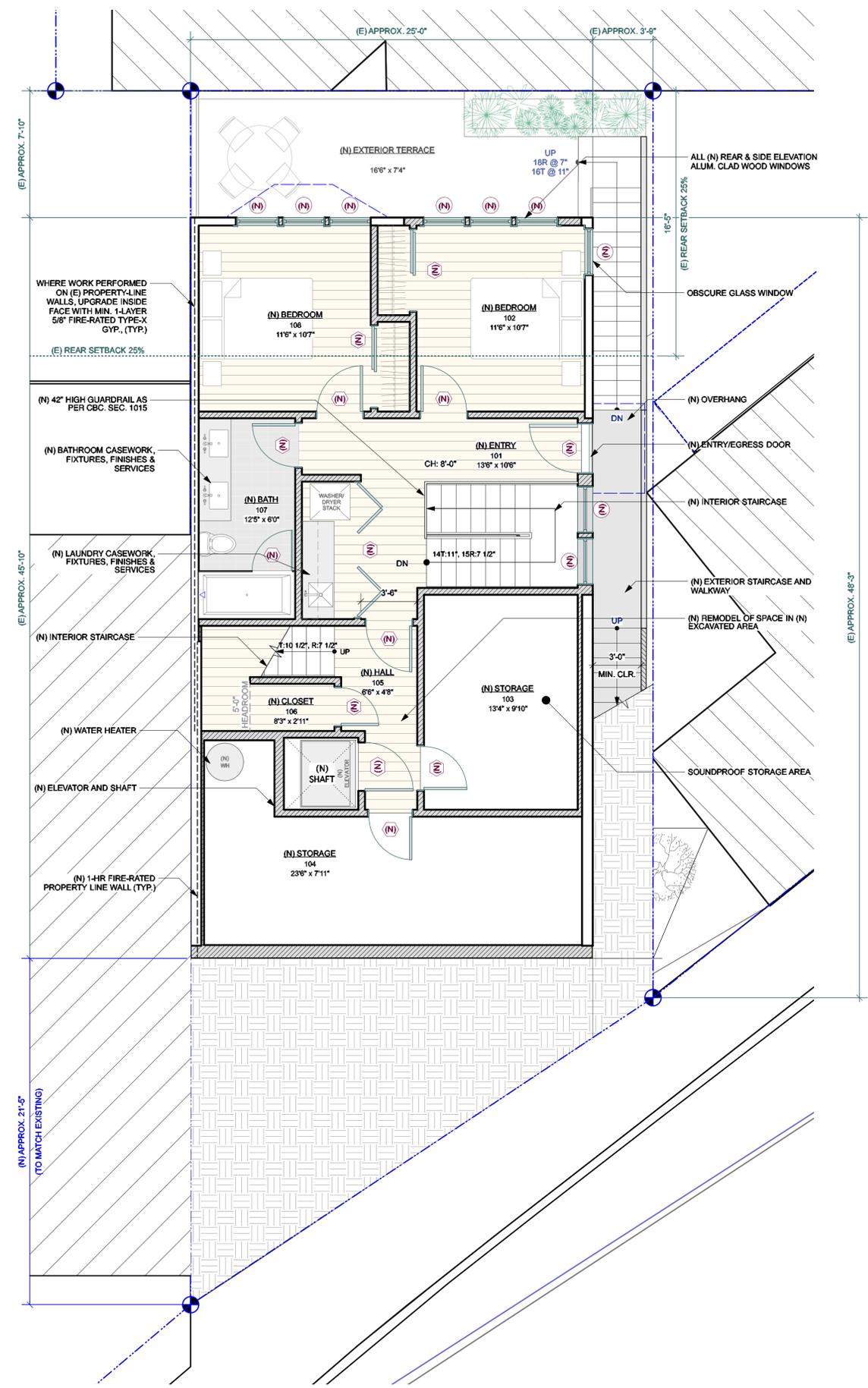
- EXISTING WALL
- NEW EXTERIOR WALL (NON-RATED):
 - (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
 - O/2 LAYERS GRADE 'D' BUILDING PAPER,
 - O/ EXTERIOR GRADE PLYWOOD,
 - O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 - O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL:
 - 5/8" GYPSUM BOARD,
 - O/ 2x4 WD. STUDS,
 - O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 - O/ 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED WALL:
 - (N) FINISH MATERIAL (REFER TO EXT. ELEV.)
 - O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
 - O/ 5/8" TYPE 'X' GYPSUM SHEATHING,
 - O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 - O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 - O/ 5/8" TYPE 'X' GYPSUM BOARD

NOTES, CONSTRUCTION

- CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO (E) WALLS AND FLOORS CAUSED BY DEMOLITION OF (E) PARTITIONS & CEILINGS.
- ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE, U.N.O.
- ALL BLOCKING AND FURRING SHALL BE FIRE TREATED AS REQ. BY BLDG. CODE
- ALL PARTITIONS ABUTTING EXISTING BLDG. CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE U.N.O.
- ALL PARTITIONS SHALL BE BRACED PER THE REQUIREMENTS OF CURRENT LOCAL SEISMIC CODE
- ALL DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"
- ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
- CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 FIRST FLOOR PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



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04.09.19	Site Permit Rev 5	rk

LEGEND, DEMOLITION

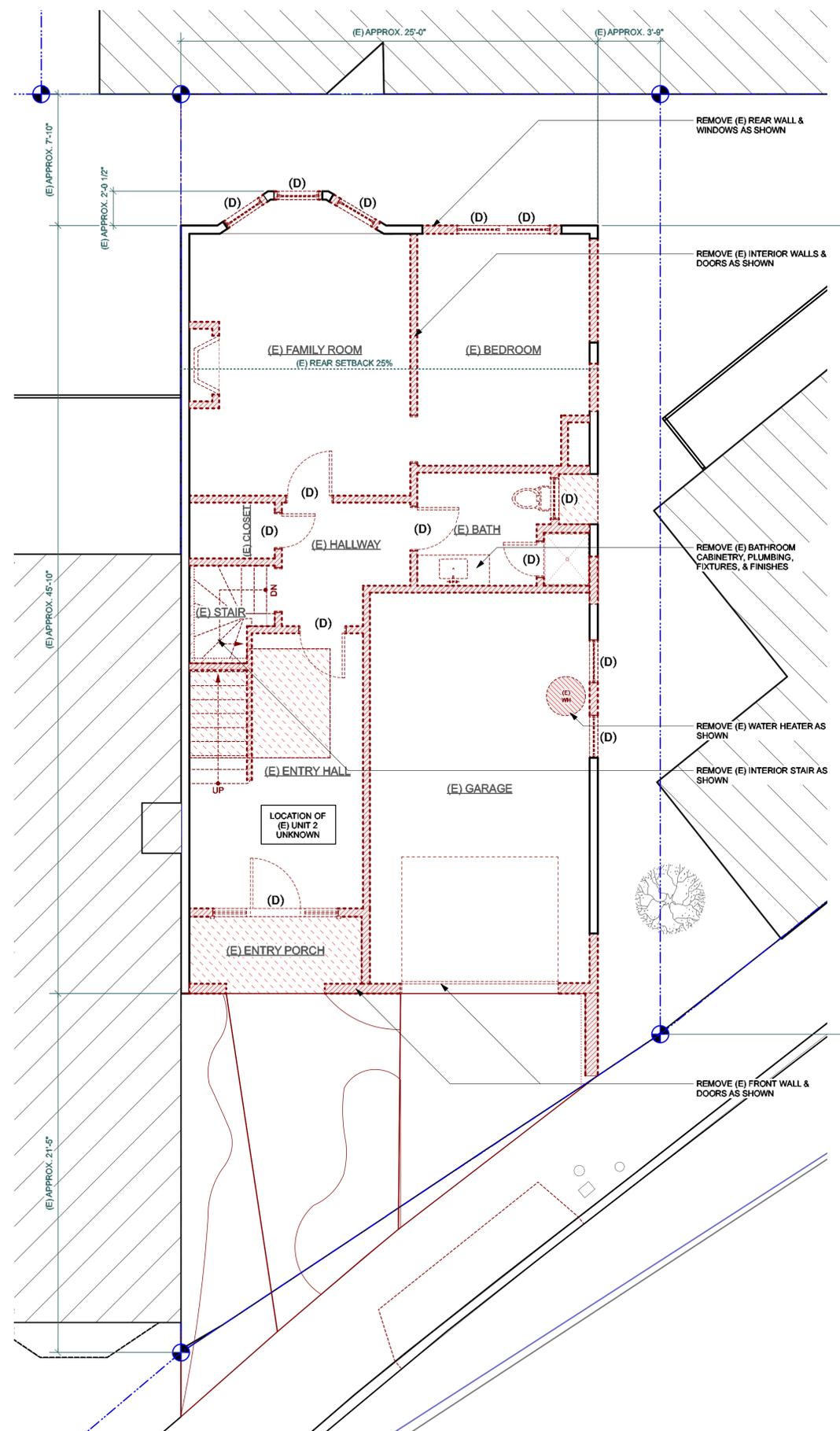
- EXISTING WALL TO REMAIN
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

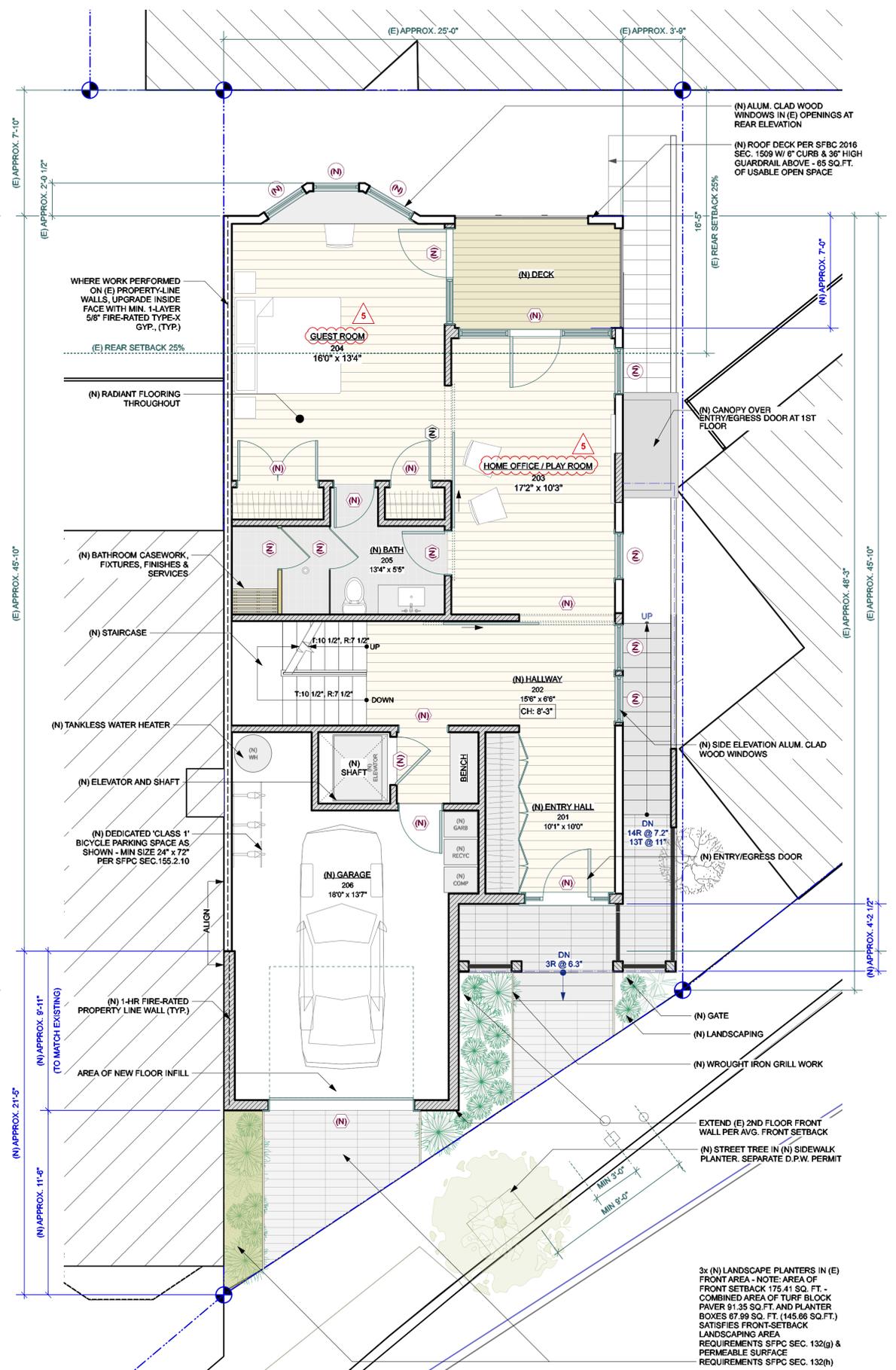
- EXISTING WALL
- NEW EXTERIOR WALL (NON-RATED):
 - (N) FINISH MATERIAL (REFER TO EXT. ELEV.)
 - O/2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD,
 - O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 - O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL:
 - 5/8" GYPSUM BOARD,
 - O/ 2x4 WD. STUDS,
 - O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 - O/ 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED WALL:
 - (N) FINISH MATERIAL (REFER TO EXT. ELEV.)
 - O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
 - O/ 5/8" TYPE 'X' GYPSUM SHEATHING,
 - O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 - O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 - O/ 5/8" TYPE 'X' GYPSUM BOARD

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- CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 SECOND FLOOR PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

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project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

SECOND FLOOR PLANS

A1.03

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 568 9550 FAX 415 568 0584

client :
kelly friedgen & kyle johnson
san francisco, ca 94115

LEGEND, DEMOLITION

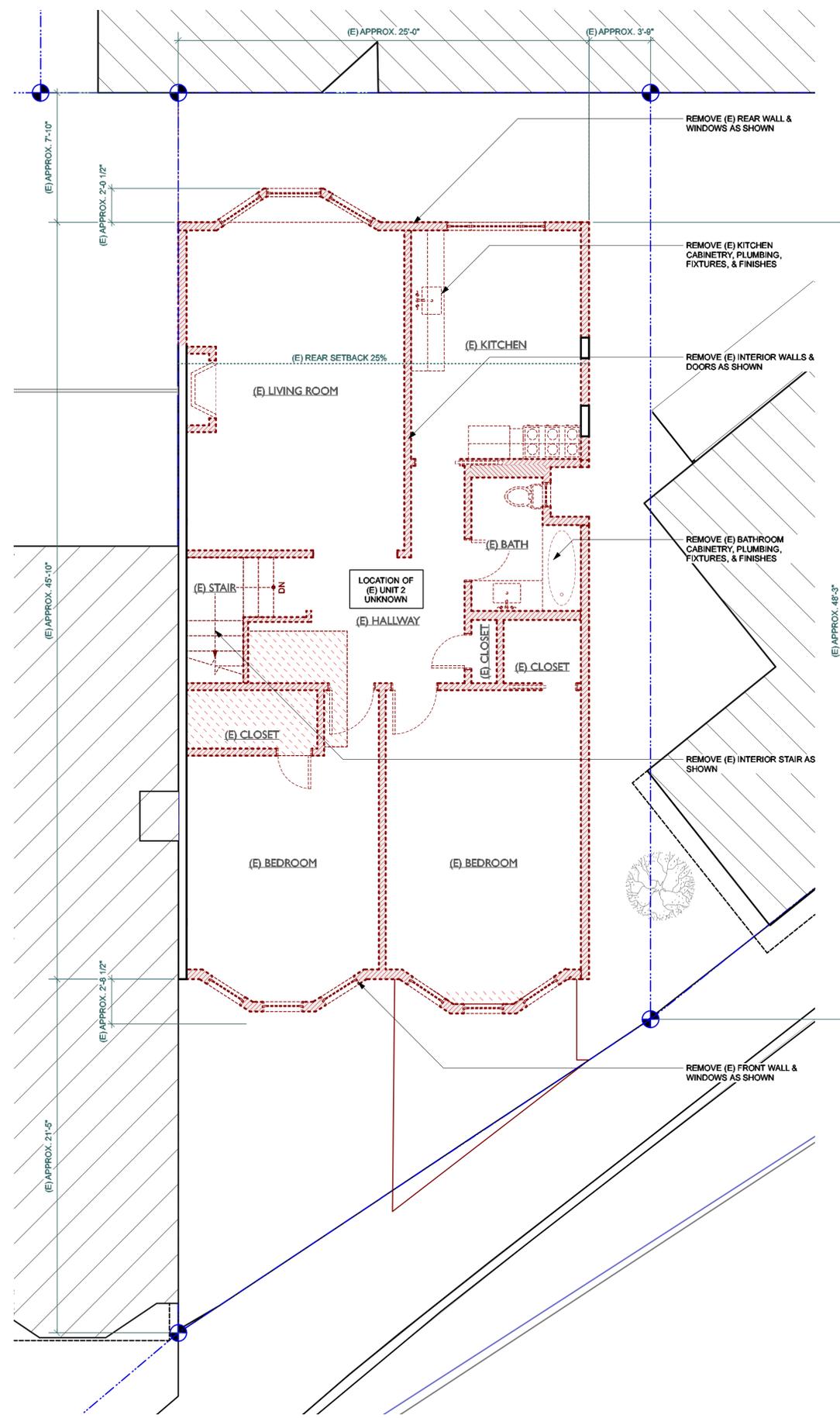
- EXISTING WALL TO REMAIN
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

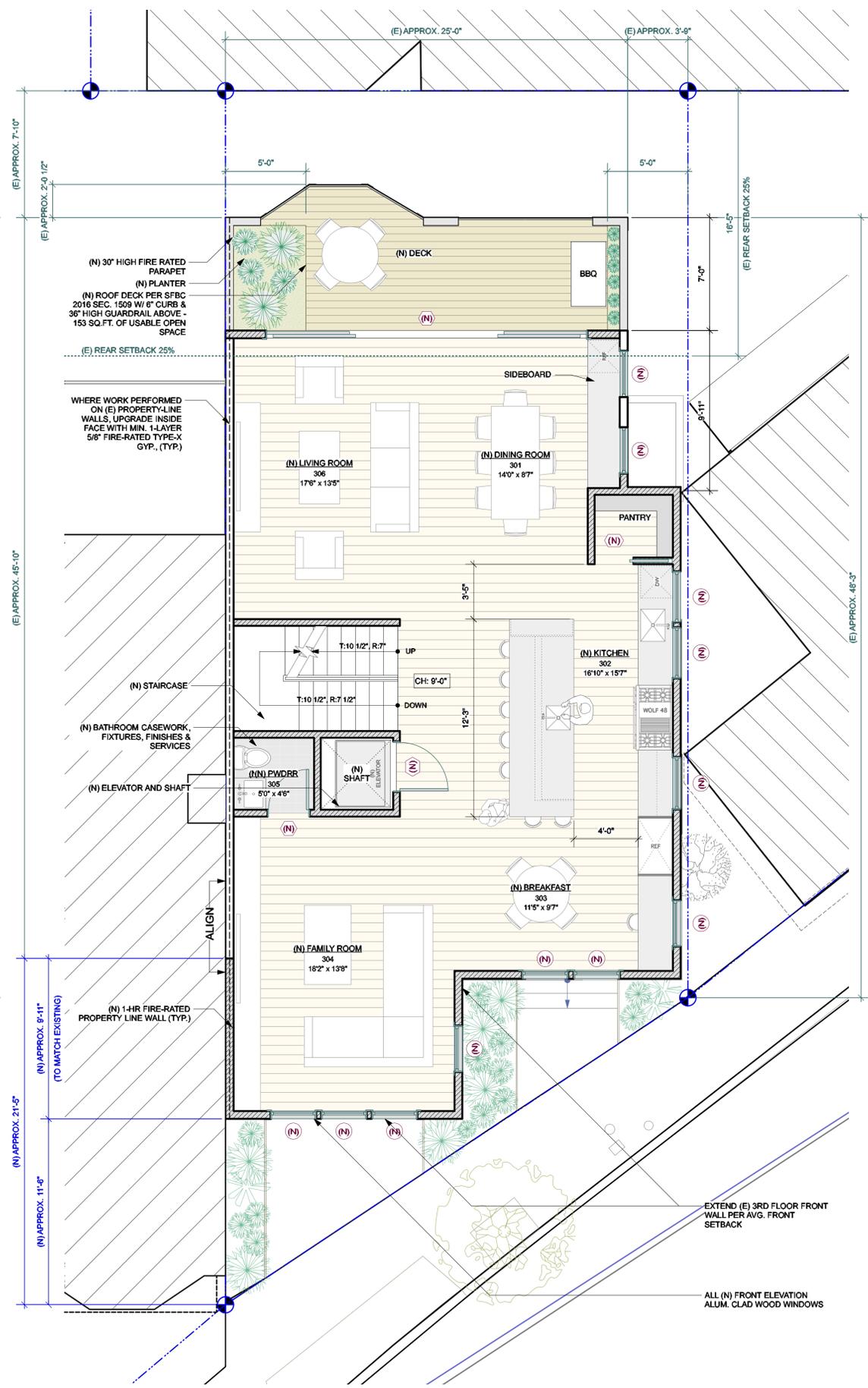
- EXISTING WALL
- NEW EXTERIOR WALL (NON-RATED):
(N) FINISH MATERIAL (REFER TO EXT. ELEVATIONS)
O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
O/ EXTERIOR GRADE PLYWOOD,
O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL:
5/8" GYPSUM BOARD,
O/ 2x4 WD. STUDS,
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED WALL:
(N) FINISH MATERIAL (REFER TO EXT. ELEVATIONS)
O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
O/ 5/8" TYPE 'X' GYPSUM SHEATHING,
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/ 5/8" TYPE 'X' GYPSUM BOARD

NOTES, CONSTRUCTION

- 01 CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- 02 CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
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- 06 ALL PARTITIONS ABUTTING EXISTING BLDG. CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE U.N.O.
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- 10 CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 THIRD FLOOR PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2 THIRD FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

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project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

THIRD FLOOR PLANS

A1.04

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 568 9500 FAX 415 568 0584

client :
kelly friedgen & kyle johnson
san francisco, ca 94115

LEGEND, DEMOLITION

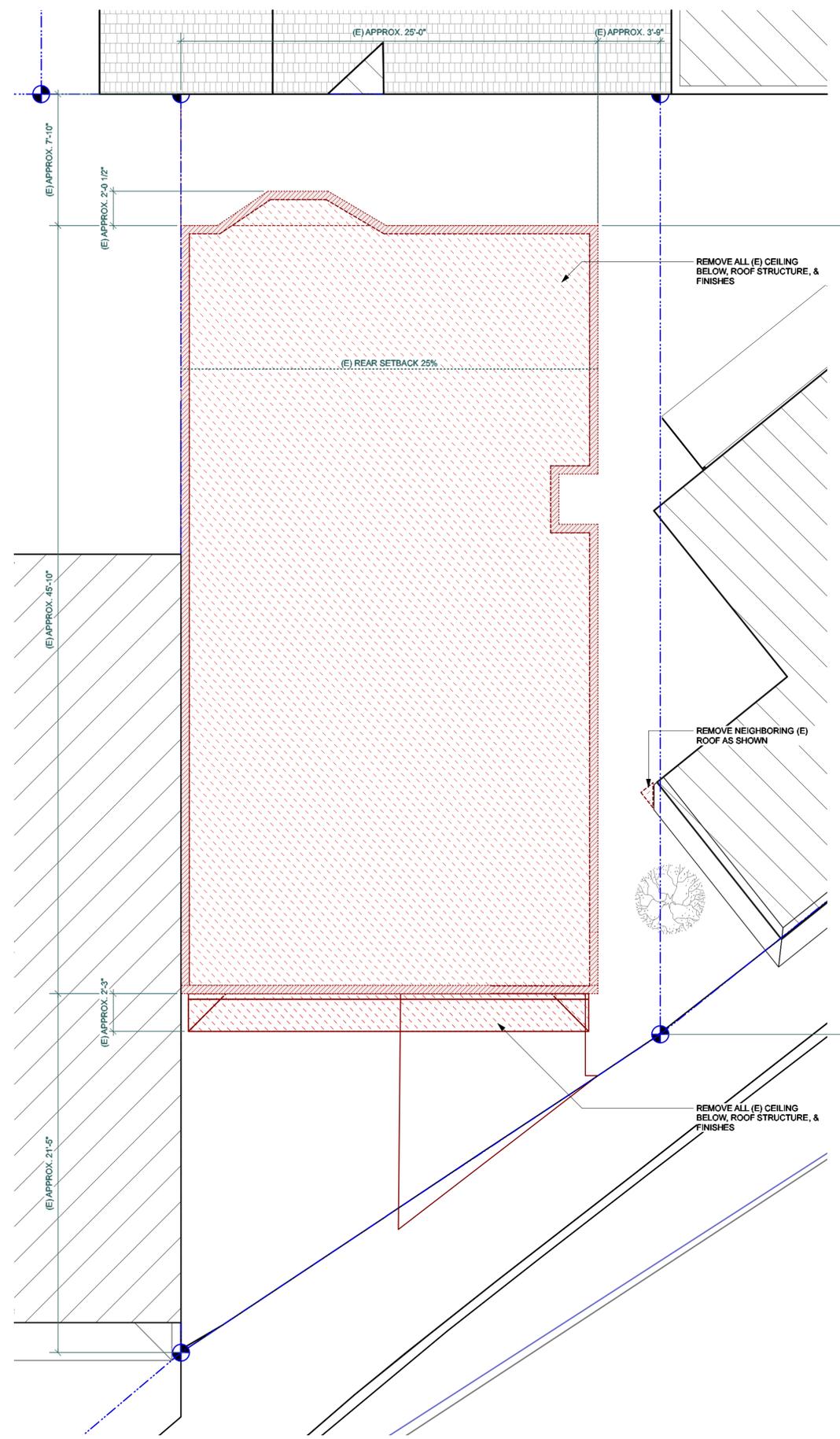
- EXISTING WALL TO REMAIN
- DEMOLISH WALL
- DEMOLISHED AREA / OBJECT

LEGEND, NEW WALLS

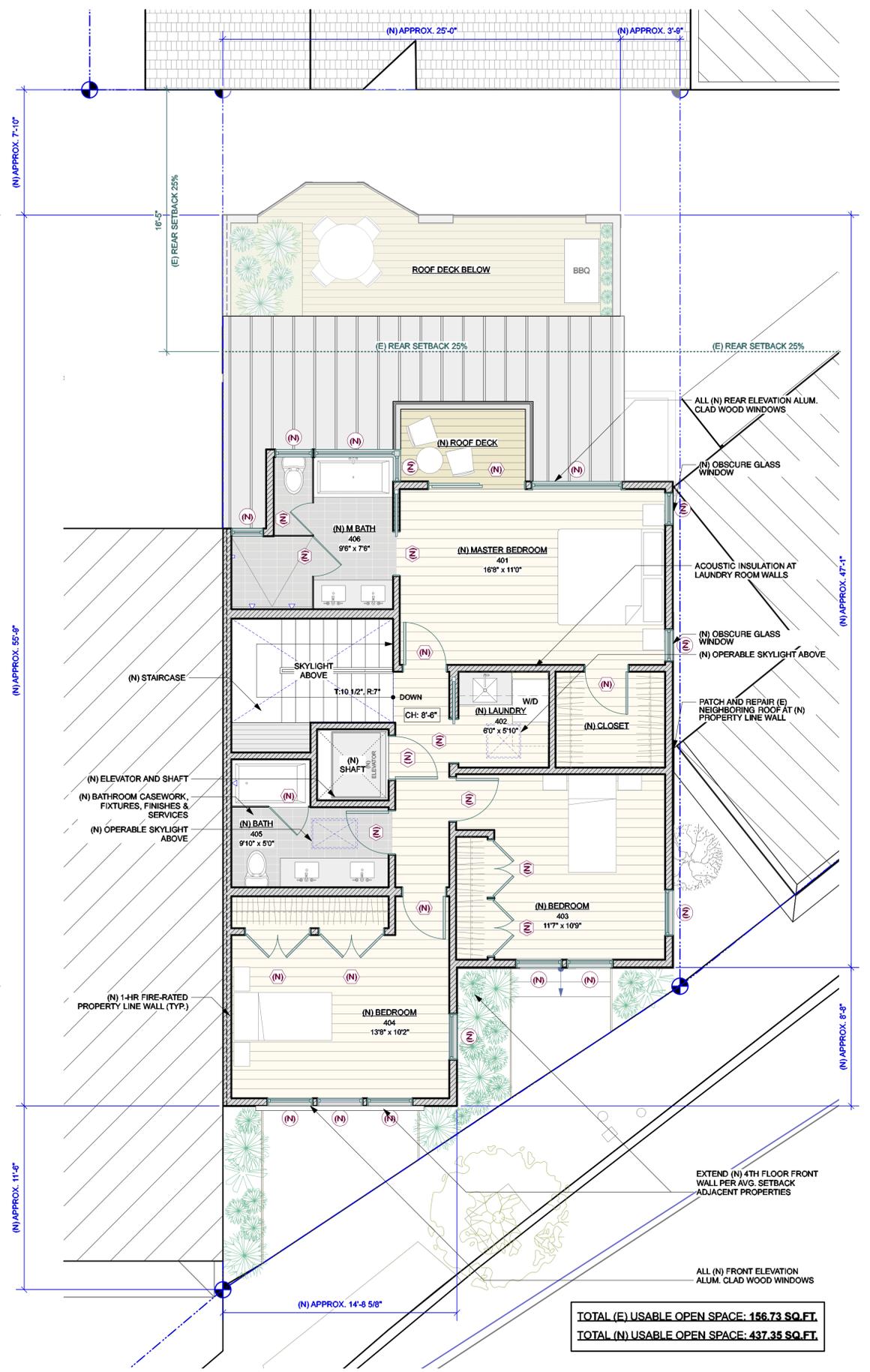
- EXISTING WALL
- NEW EXTERIOR WALL (NON-RATED):
(N) FINISH MATERIAL (REFER TO EXT. ELEV.)
O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
O/ EXTERIOR GRADE PLYWOOD,
O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL:
5/8" GYPSUM BOARD,
O/ 2x4 WD. STUDS,
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED WALL:
(N) FINISH MATERIAL (REFER TO EXT. ELEV.)
O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
O/ 5/8" TYPE 'X' GYPSUM SHEATHING,
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/ 5/8" TYPE 'X' GYPSUM BOARD

NOTES, CONSTRUCTION

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- 10 CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



3 ROOF PLAN - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2 FOURTH FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



TOTAL (E) USABLE OPEN SPACE: 156.73 SQ. FT.
TOTAL (N) USABLE OPEN SPACE: 437.35 SQ. FT.



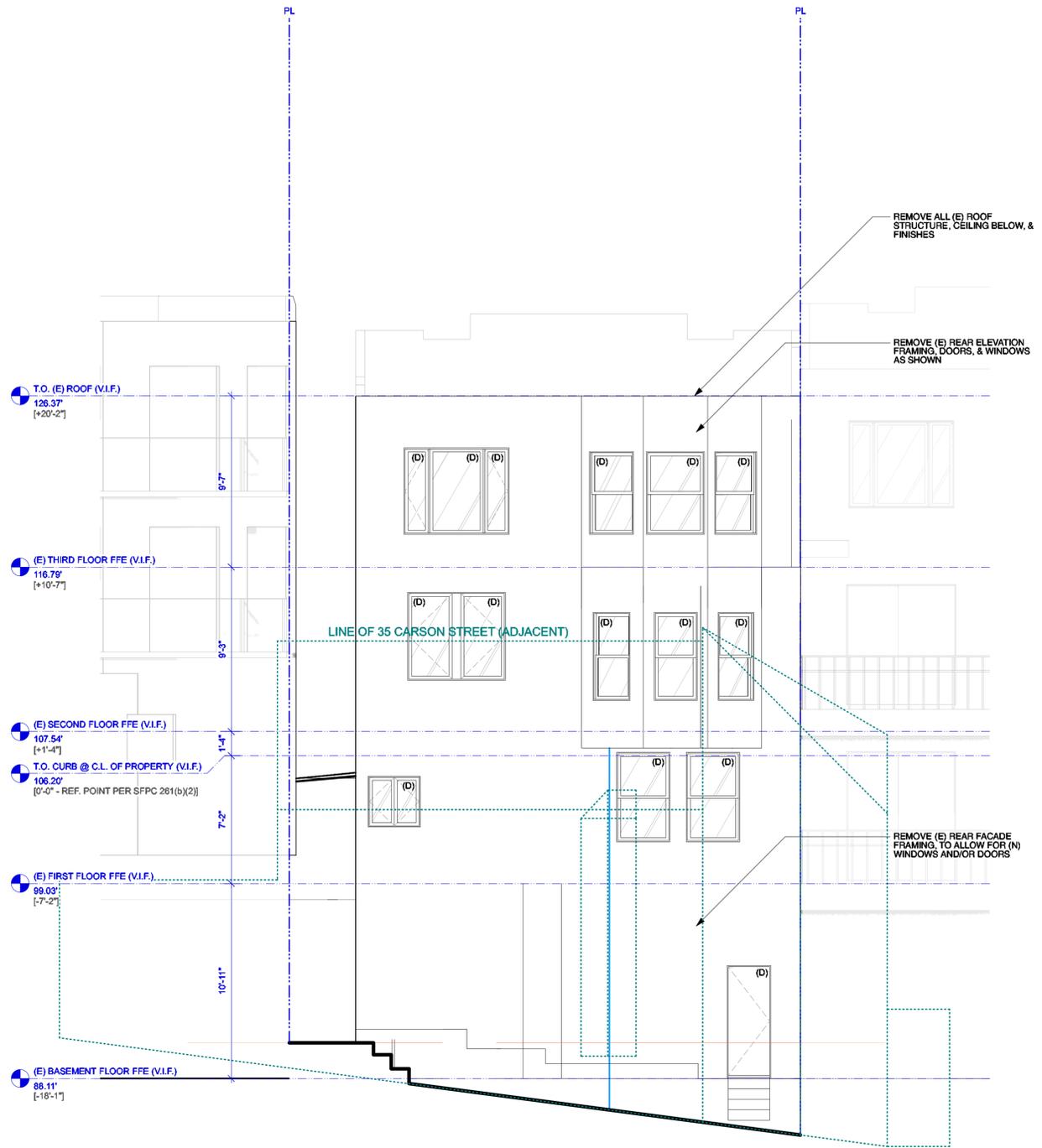
JOHN LUM ARCHITECTURE, INC.
3246 SEVENTEENTH STREET, SAN FRANCISCO, CA 94110
TEL: 415 568 9550 FAX: 415 568 0584

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

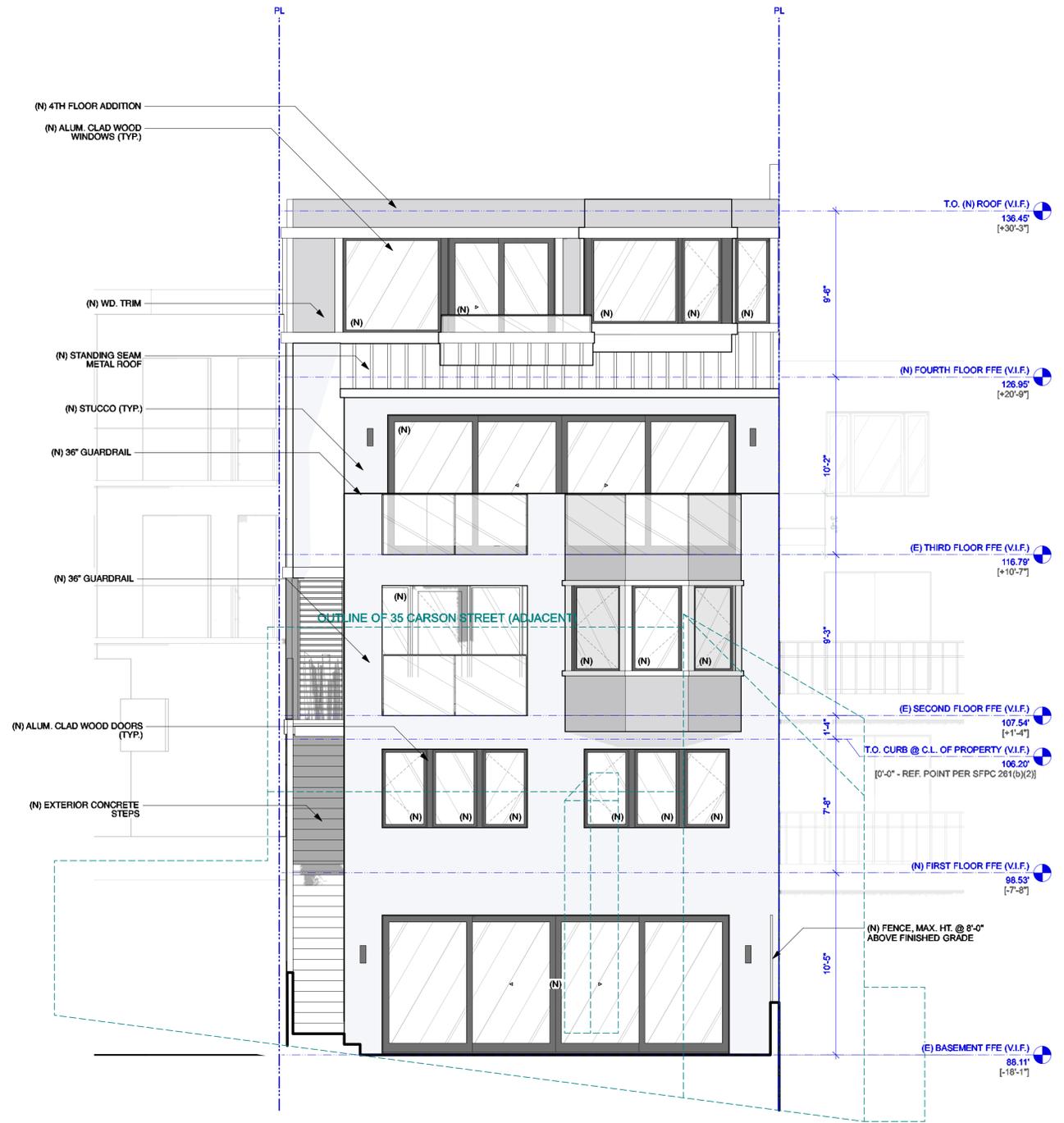
date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
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project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

ROOF/FOURTH FLOOR PLANS



1 EXTERIOR ELEVATION - REAR (EAST) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - REAR (EAST) - PROPOSED
Scale: 1/4" = 1'-0"

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

Client: Kelly Friedgen & Kyle Johnson
San Francisco, CA 94115

date :	issues/ revisions :	by :
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Project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

10.31.19

FRIEDGEN JOHNSON RESIDENCE REMODEL & ADDITION

50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

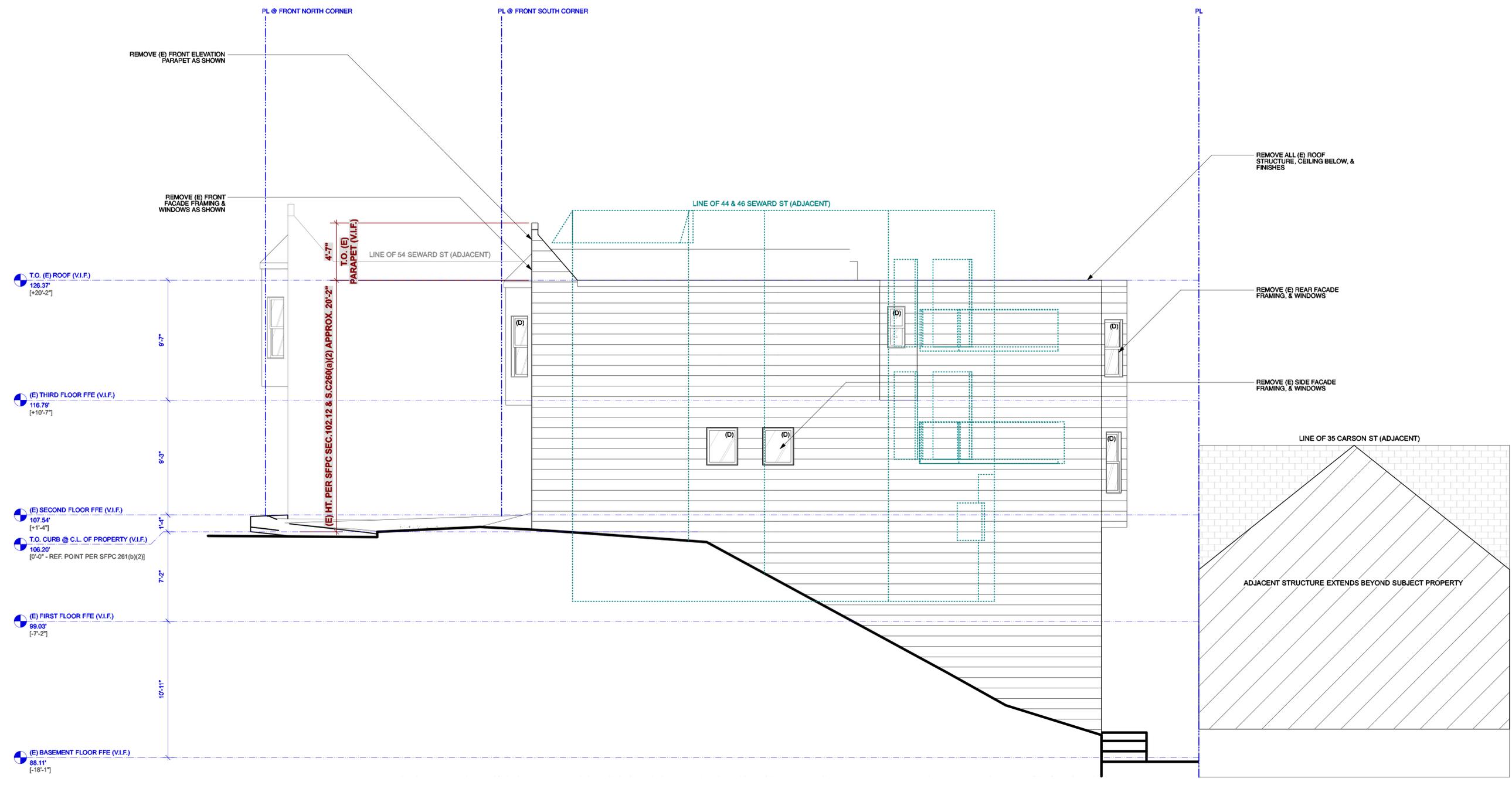
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San Francisco, CA 94115

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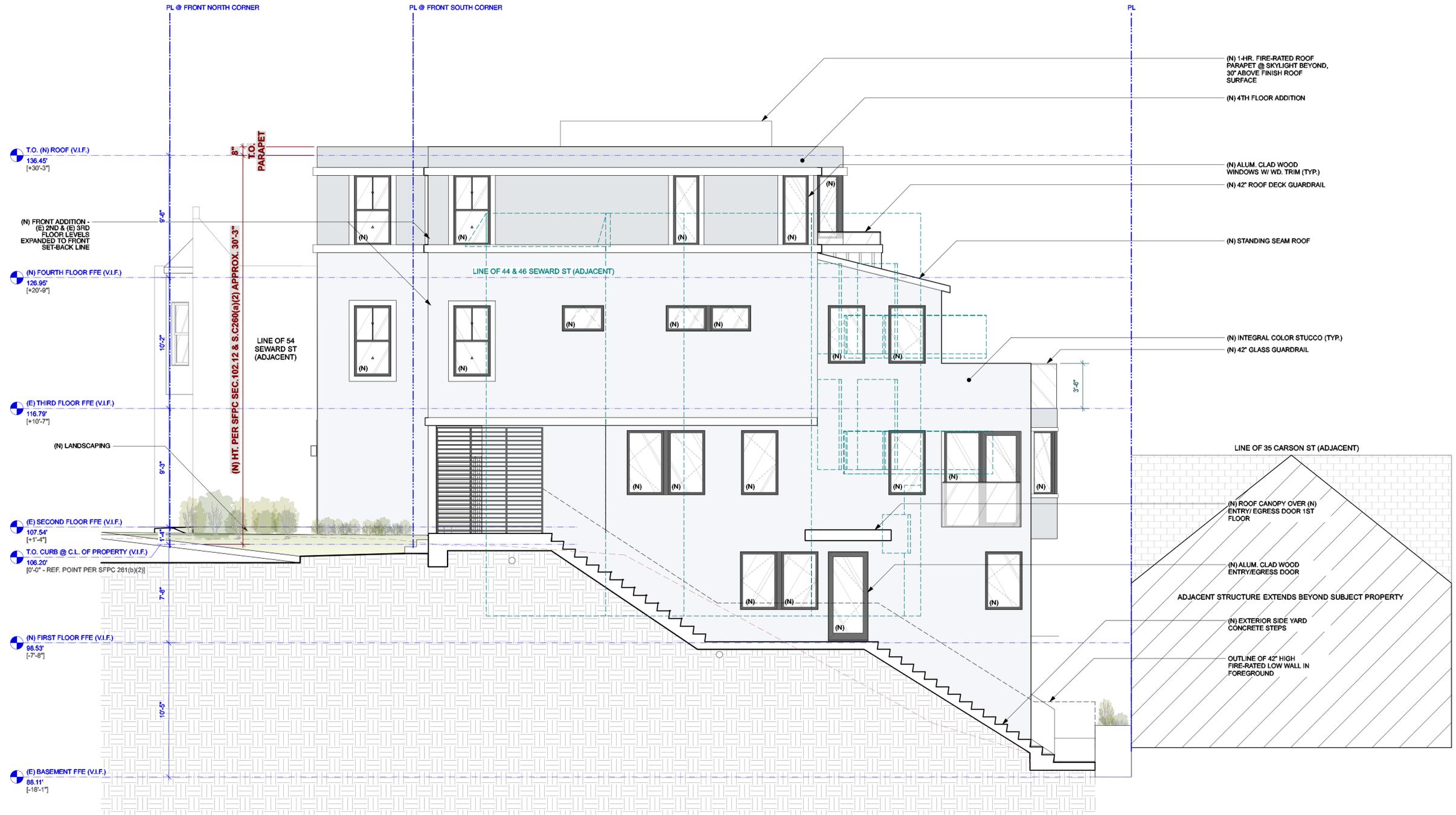
project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

EXT. ELEVATIONS (SOUTH)

A3.03



1
A3.03 EXTERIOR ELEVATION - SIDE (SOUTH) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



1
A3.04 EXTERIOR ELEVATION - SIDE (SOUTH) - PROPOSED
Scale: 1/4" = 1'-0"

- (N) 1-HR. FIRE-RATED ROOF PARAPET @ SKYLIGHT BEYOND, 30' ABOVE FINISH ROOF SURFACE
- (N) 4TH FLOOR ADDITION
- (N) ALUM. CLAD WOOD WINDOWS W/ WD. TRIM (TYP.)
- (N) 42" ROOF DECK GUARDRAIL
- (N) STANDING SEAM ROOF
- (N) INTEGRAL COLOR STUCCO (TYP.)
- (N) 42" GLASS GUARDRAIL

- (N) ROOF CANOPY OVER (N) ENTRY/EGRESS DOOR 1ST FLOOR
- (N) ALUM. CLAD WOOD ENTRY/EGRESS DOOR
- ADJACENT STRUCTURE EXTENDS BEYOND SUBJECT PROPERTY
- (N) EXTERIOR SIDE YARD CONCRETE STEPS
- OUTLINE OF 42" HIGH FIRE-RATED LOW WALL IN FOREGROUND



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3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
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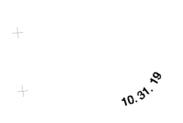
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project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

EXT. ELEVATIONS (SOUTH)

A3.04



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

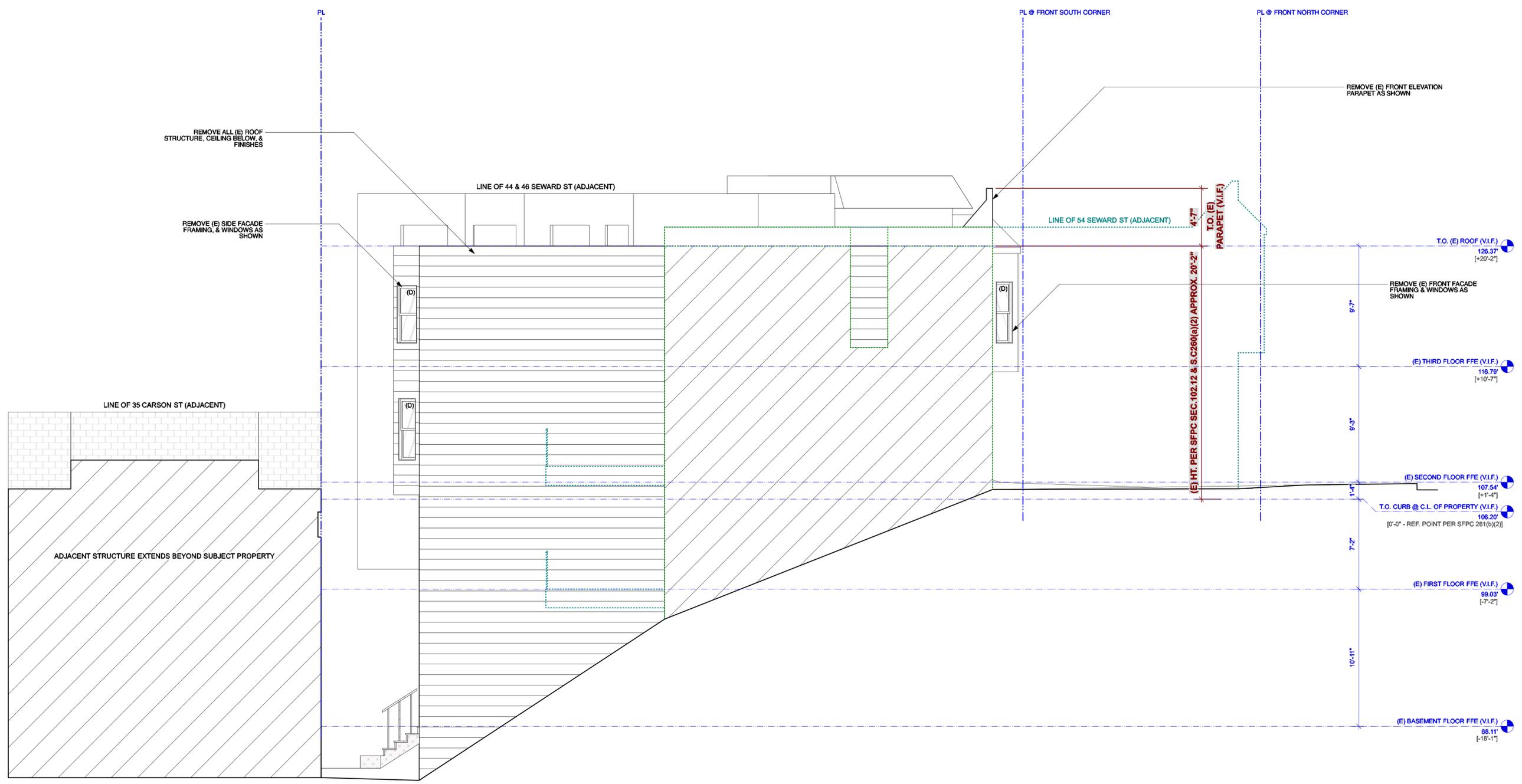
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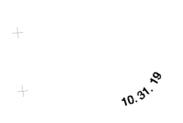
project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

EXT. ELEVATIONS (NORTH)

A3.05



1 EXTERIOR ELEVATION - SIDE (NORTH) - EXISTING/DEMOLITION
A3.05 Scale: 1/4" = 1'-0"



FRIEDGEN JOHNSON RESIDENCE REMODEL & ADDITION

50 SEWARD ST., SAN FRANCISCO, CA 94114
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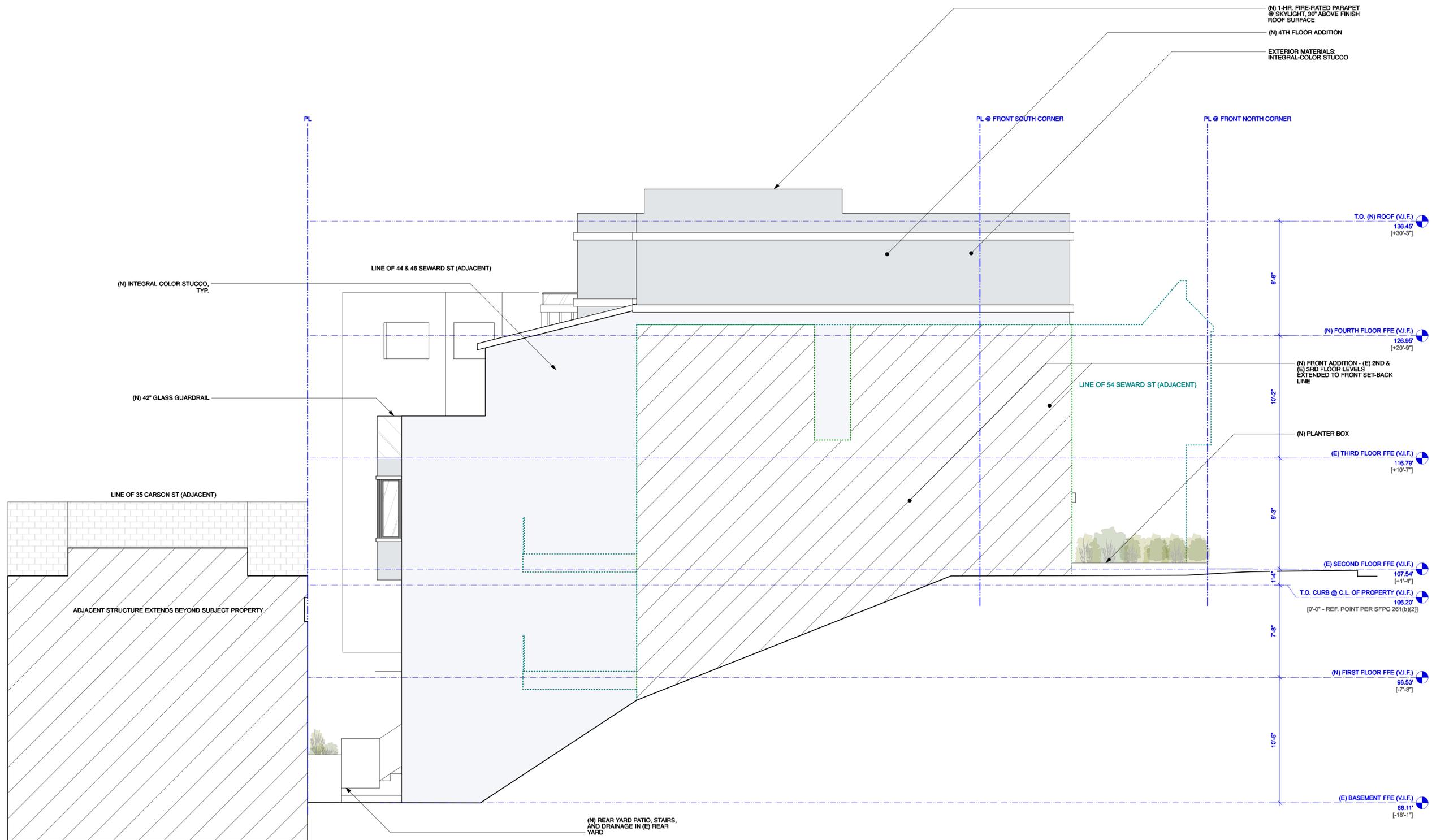
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02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk

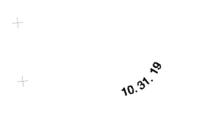
project name:
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

EXT. ELEVATIONS (NORTH)

A3.06



1 EXTERIOR ELEVATION - SIDE (NORTH) - PROPOSED
Scale: 1/4" = 1'-0"



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

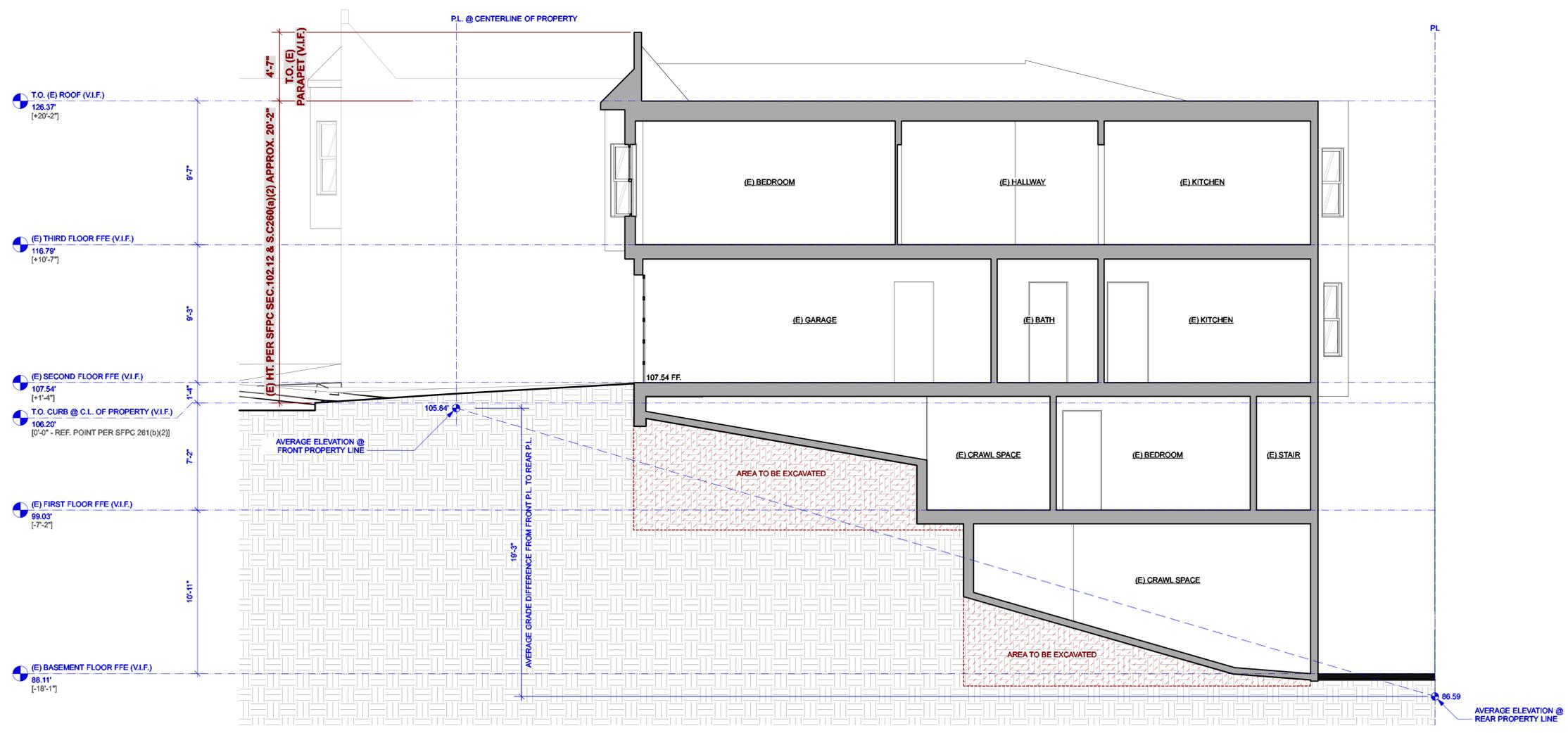
client: kelly friedgen & lyfe johnson
san francisco, ca 94115

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (RDAT)	rk
01.15.19	Site Permit Rev 3	rk
02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk

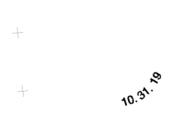
project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

(E) BUILDING SECTION

A3.07



1 BUILDING SECTION: EXISTING / DEMO
A3.07 Scale: 1/4" = 1'-0"



**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

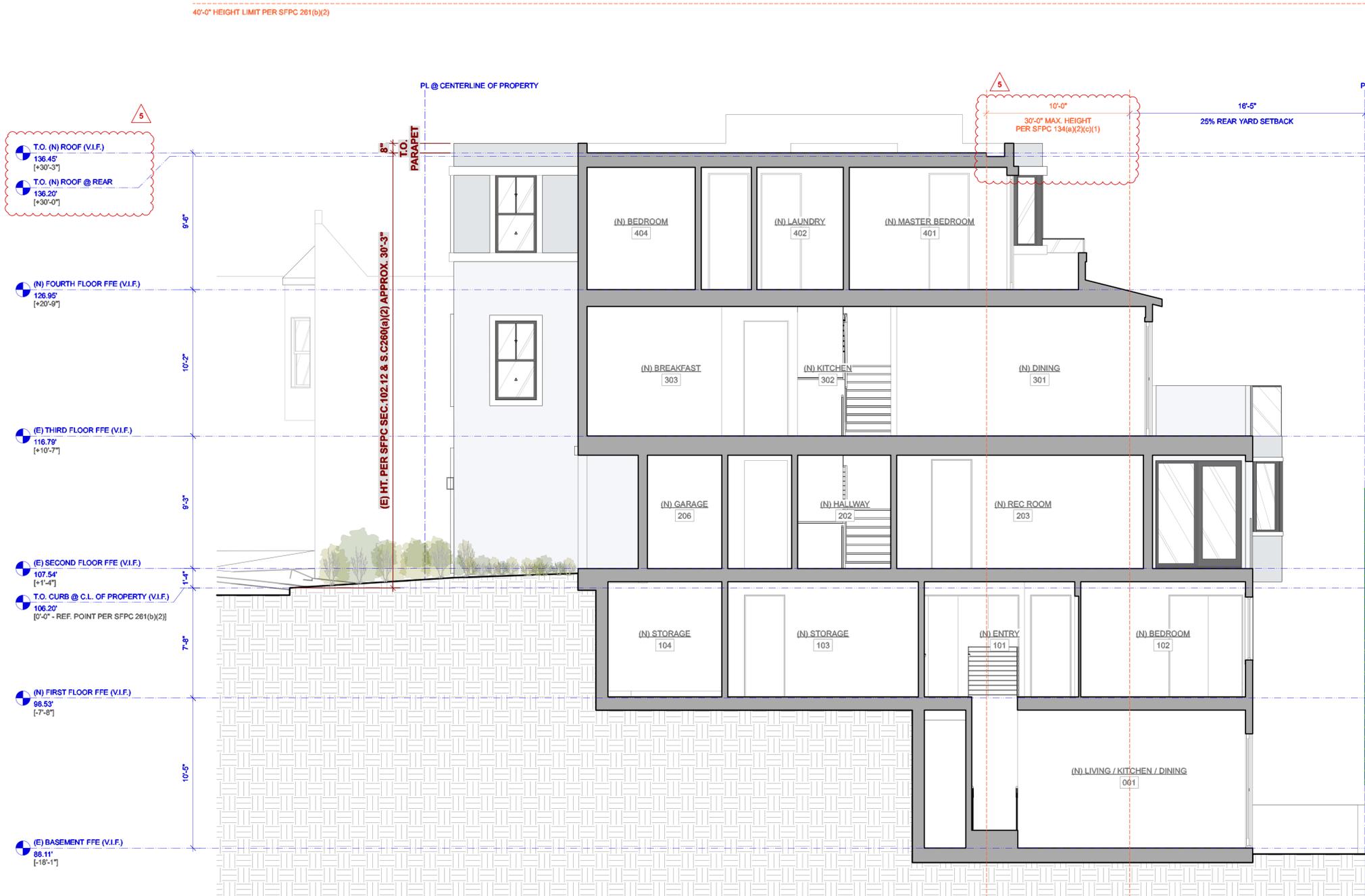
client: kelly friedgen & kyle johnson
san francisco, ca 94115
50 seward st

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (RDAT)	rk
01.15.19	Site Permit Rev 3	rk
02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk

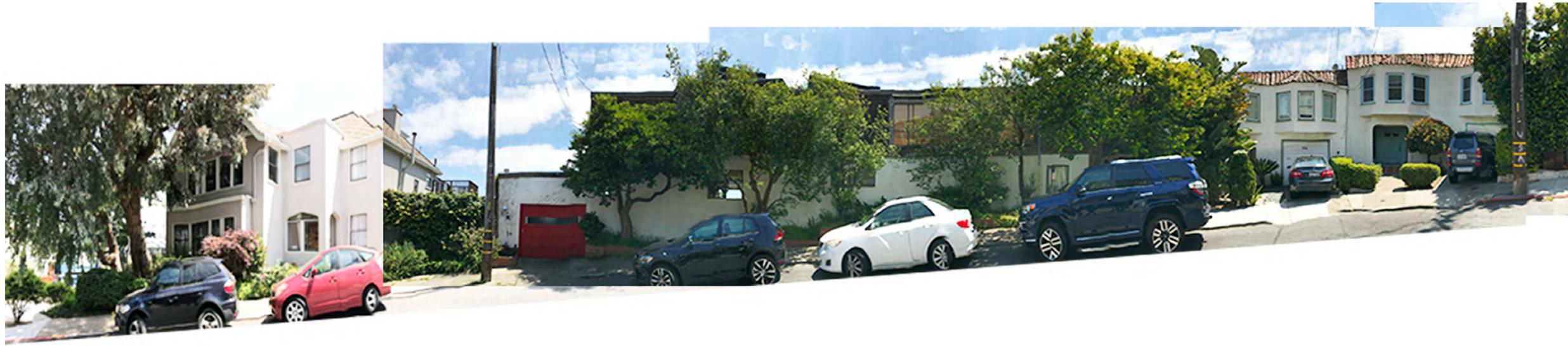
project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

(P) BUILDING SECTION

A3.08



1 BUILDING SECTION - PROPOSED
A3.08 Scale: 1/4" = 1'-0"



19TH ST 98 SEWARD ST 84 SEWARD ST 74 SEWARD ST 70 SEWARD ST 64 SEWARD ST



70 SEWARD ST 64 SEWARD ST 58.60 SEWARD ST 54 SEWARD ST 50 SEWARD ST 44 SEWARD ST 40.42 SEWARD ST 36 SEWARD ST

D.R. REQUESTOR'S BUILDING **SUBJECT PROPERTY**



40 SEWARD STREET 36 SEWARD STREET 30 SEWARD STREET 26 SEWARD STREET 356, 358 DOUGLASS STREET AND 24 SEWARD STREET DOUGLASS STREET

SEWARD STREET BLOCK FACE PHOTO DOCUMENTATION - EAST SIDE

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. | SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

Client: kelly friedgen & kyle johnson
san francisco, ca 94115

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
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11.01.18	Site Permit Rev 2 (RDAT)	rk
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02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk

project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION



DOUGLASS STREET | 352,372 DOUGLASS ST | 1 SEWARD ST | 7 SEWARD ST | 15,17 SEWARD ST | 21,23 SEWARD ST | 31,33 SEWARD ST | SEWARD MINI PARK | 39 SEWARD ST



D.R. REQUESTOR
D.R. REQUESTOR

SEWARD MINI PARK | 39 SEWARD ST | 41 SEWARD ST | 43 SEWARD ST | 45 SEWARD ST | 47 SEWARD ST | 49 SEWARD ST | 51 SEWARD ST | 53 SEWARD ST | 67 SEWARD ST

D.R. REQUESTOR'S BUILDING



53 SEWARD ST | 67 SEWARD ST | 71 SEWARD ST | 75 SEWARD ST | 79 SEWARD ST | 83 SEWARD ST | 87 SEWARD ST | 91 SEWARD ST | 95, 97 SEWARD ST | 19TH ST

SEWARD STREET BLOCK FACE PHOTO DOCUMENTATION - WEST SIDE



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET | SAN FRANCISCO, CA 94110
TEL 415 568 9500 FAX 415 568 0554

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST., SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

Client: kelly friedgen & kyle johnson
san francisco, ca 94115
50 seward st

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
07.25.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (RDAT)	rk
01.15.19	Site Permit Rev 3	rk
02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk

project name :
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

May 23, 2019

**President Myrna Melgar
San Francisco Planning Commission
1650 Mission Street
San Francisco, CA 94103**

Re: Discretionary Review Request for 50 Seward Street

Building Permit Application: 2017-0419-4301

Record Number: 2017-006245PRJ

Dear President Melgar and Commissioners:

Our clients, Kelley Friedgen and Kyle Johnson have lived at 50 Seward Street since 2015. Kelley and Kyle searched for several years before they settled on this neighborhood and found a house that met their needs. When they moved in their oldest son was not yet 1 year old. When Kelley and Kyle learned they were expecting a second child, they realized that their house would not meet the needs of their growing family over the long term and they made the decision to expand their home. They did not undertake this decision lightly, knowing that pursuing this project consistent with city regulations and processes would require time and commitment to working with their neighbors and the Planning Department.

Kelley, Kyle and now their two sons, Alexander, now 4, and Knox, almost 2, love the convenience of the Upper Castro area, and enjoy the diversity, the convenience to



mass transit (Kyle commutes to downtown) and proximity to Seward Mini Park, the Eureka Valley Recreation Center, and the 24th Street Playground, which are all within walking distance. Their current house, constructed in 1928, is not laid out in a way that permits the entire family to sleep on one level. A majority of the house is in original condition, with the exception of a new kitchen that was installed by the realtor who staged the house when it was came up in a probate sale.

Given that Kelley and Kyle's children are very young, having three bedrooms on one level is a priority. Currently, Kelley and Kyle have to go downstairs to attend to their youngest son which is inconvenient and also disconcerting to them, especially at night, when they are sleeping. The Friedgen-Johnson family also need a separate guest suite that would be universally accessible for their aging parents who are now visiting frequently to visit their grandchildren. Hence, their building program requirements consist of four-bedrooms along with a living room, kitchen, family room, and accessible/viewable outdoor play space. The current backyard is three stories below the main living level and is inappropriate for young children to be left unattended.

Given the short and irregular shape of the lot and minimal backyard which prevents any further expansion in the rear, the only option was to expand the house upward with a new fourth floor (third floor from the street).

The current house contains a garage, entry hall, one bedroom and one bath at street level (the second floor); two additional rooms below grade (the first floor), and a living room and kitchen, two bedrooms plus a small living room and kitchen (the third floor). For clarity, the house contains two stories below street elevation (the basement

and first floor), hence the proposed new story to the house is technically the fourth floor of the house as defined in the building code, it appears as the third floor from the street. Please refer to **Exhibit 1** which defines the stories.

The original submittal that was reviewed with the neighbors at the pre-application meeting and submitted for the Site Permit was much larger with a “reverse” floorplan with living room, kitchen and family room and a 8’-6” deep rear roof deck on the top fourth floor, and three bedrooms and home office on the existing third floor. Due to the Residential Design Advisory Teams’ (RDAT) request to reduce the new fourth floor in concern of the mid-block open-space, the building was redesigned with a much smaller fourth floor, setback further in the rear by another 8’-1”, with a further voluntary mass reduction of the existing third floor by 7 feet. The new fourth floor is now 16’-6” from the existing rear façade. The total reduced square footage was 197 square feet at the fourth floor, and 59 square feet from the third floor respectively. The roof of the Proposed Project was changed from a sloping roof to a flat roof in consideration of neighbors’ comments regarding effects to their views (as noted at the pre-application meeting and subsequent email correspondence) and comments from the RDAT. **Exhibit 1** documents the existing house profile, the original Planning submittal with sloped roofs, and the final 311-noticed Proposed Project with flat roof and existing third and fourth floor rear reductions.

Given that the current house has two floors below street level due to the steep downslope lot as well as the RH-2 zoning of the neighborhood, Kelley and Kyle thought that this space (first and basement levels) would be ideal for a two-bedroom separate unit as they do not want or need a larger house and it is disconnected due to the garage at street level. This new unit would give Kelley’s sister, who is a teacher, an option to

live independently from them, if she decides to move to the Bay Area after completing her graduate degree at Arizona State University in Applied Theater. It also gives both sets of Kelley and Kyle's parents options to move closer as they age in place. Regardless, they believe that adding a second unit would benefit the city by allowing a second family to live in a previously unoccupied space. Coincidentally, during the Planning Submittal, it was discovered that the 3R report stated that the building is a two-unit building which is contrary to the single-family designation Assessor's Report as stated on the Planning's Property Information Map (PIM) as well as the real estate disclosures given to Kelley and Kyle when they bought their house. Adding the second unit resolves this conflict and the 311 notification to the neighborhood correctly states that the property is a two-unit building with one unit undefined. The project conforms to the designated zoning (RH-2) and restores a unit which currently did not exist nor was available for rental.

Project Data. The unit sizes as proposed are 3,142 square feet for Kelley and Kyle family's unit, and 1,199 square feet for the newly defined second unit, with 746 square feet of unconditioned space (storage and garage) compared to the existing 2,500 square feet of habitable space with 959 square feet of unconditioned space. The square footage from the original pre-application plans was reduced by 292 square feet due to comments from the RDAT. The size of these units are typical for this neighborhood which range from 550 square feet to 3,000 square feet. The Proposed Project as designed is an addition and remodel to an existing building and is not a demolition.

Changes Made to the Project

Changes made to the project from the original submittal to the Proposed Project are shown in section on **Exhibit 1** and the changes to the rear mass are highlighted in yellow in a rear perspective on **Exhibit 2**.

Approval Process So Far. Kelley and Kyle bought the property in September 2015 and have been trying ever since to obtain neighborhood support and Planning Staff support. Attached on **Exhibit 3** you will find a project timeline documenting the meetings with the neighbors and the Planning process. Kelley and Kyle are continuing to reach out to the DR requestors with the hopes of reaching a resolution.

DR Requestor's Position. There are three DR requestors, 1) Mr. Pincow who resides at 49 Seward Street #1, 2) Ms. Fitzgerald and Mr. Mitelman, who live above Mr. Pincow at 49 Seward Street #2, and 3) Mr. Hillan, who lives three properties to the north of the Subject Property.

1) Mr. Pincow contends that the project does not conform to the Residential Design Guidelines (RDG) regarding height scale, character, and asserts that the proposed project at 30'3" will be the tallest on Seward even though his own building is much taller (49'-4") in a 40' height zone. He requests that the fourth floor be eliminated or setback further and make the house Mediterranean in style. The adjacent neighbors are two story and three-story respectively, and therefore the Proposed Project is compatible in height following the RDG. The RDAT reviewed the Proposed Project several times and determined that it is compatible in scale, height, and design in this Mixed Visual Character neighborhood. We believe that Mr. Pincow's main concerns are about view protection from his unit. Mr. Pincow declined to meet with Senior

Planner Winslow and us after filing his DR, so we have not been able to address his concerns.

2) The Fitzgerald-Mitelmans contend that the proposed project will affect their light and air even though their unit is southwest of the Subject Property and is not located directly across the street but is diagonal. See **Exhibit 4**. Their unit's finished floor is 10" lower than the proposed roof of the Subject Property and hence the effect to their sunlight is minimal and only occurs at sunrise between 5:48 am to 6:03am during the summer. The attached sun study on **Exhibit 5** demonstrates the effect. Contrary to their assertion, the original Project submittal was modified, replacing a sloped roof with a flat roof to minimize the effect to their view.

They request that a required fire parapet be removed which again, has no effect to their light and air. They also claim that their privacy will be affected due to the building being 10' closer to the street. The addition will still be 56'-3" to 67'-5" from their unit, and we believe that it is unreasonable to expect privacy when facing a public street, especially in an urban environment such as San Francisco.

Also, given that Kelley and Kyle's home has two bedrooms that face Seward Street, it is not clear why a new floor with children's bedrooms would be a substantial privacy concern given that the Fitzgerald-Mitelman's finished floor is almost one story above the floor of the proposed fourth floor addition. In essence they will be looking down into the children's bedrooms versus the raised concern of their loss of privacy.

The DR requestors ask for the height limit to be reduced from 40' to 25' or 26'. There is no justification for this request except to protect the DR requestors' view and their perceived property value. In fact, they state this concern in an initial e-mail that was sent on April 5, 2017. See **Exhibit 6**. They also request to deny the addition to the front of the property even though the proposed project meets all front yard setbacks and does not require a Variance. Finally, they ask for the current driveway to be maintained for parking, even though the driveway does not comply as a legal parking space and is too short to allow a car parked in the space without blocking the sidewalk. Shifting the driveway to the north side of the property has no effect to off street parking and it benefits Kelley and Kyle by creating a level driveway versus the current steep driveway that does not allow a normal passenger car to enter the garage without bottoming out. The Fitzgerald-Mitelmans declined to meet with Senior Planner Winslow and us after filing their DR, so we have not been able to address their concerns.

3) Mr. Hillan, who resides three properties north of the Subject Property, contends that the project will affect parking on Seward, increase traffic, and affect pedestrian flow without supporting facts. He believes that the fourth floor should not be allowed and the building height be reduced so that it does not negatively impact light for "adjacent properties", yet neither of the adjacent neighbors have objected to the project. He then states that the project growing forward to the street significantly narrows the distance between the building, but does not offer why this is a problem. The project as proposed does extend 10' further towards the street but only over half its façade and complies with the front yard setback requirements per the Planning Code.

Mr. Hillan declined to meet with Senior Planner Winslow and us after filing his DR, so we have not been able to address his concerns.

In conclusion: We have repeatedly reached out to the DR requestors and they have refused to engage in conversation. We believe their main concerns are the effects to their view, and opposition to change. As views from private property are not protected, we request the Planning Commission approve the project as proposed. To date, we have not heard from any other neighbors and therefore believe we have addressed all of the concerns that have been raised.

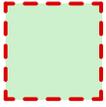
Very truly yours,

A handwritten signature in black ink, appearing to be 'John Lum', with a stylized, cursive style.

John Lum, AIA
Founding Principal

Attachments, Exhibits 1-5

cc: Kelley Friedgen
Kyle Johnson
Elizabeth Jonckheer, Planning Department
David Winslow, Planning Department
DR Requestors



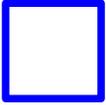
EXISTING BUILDING SECTION



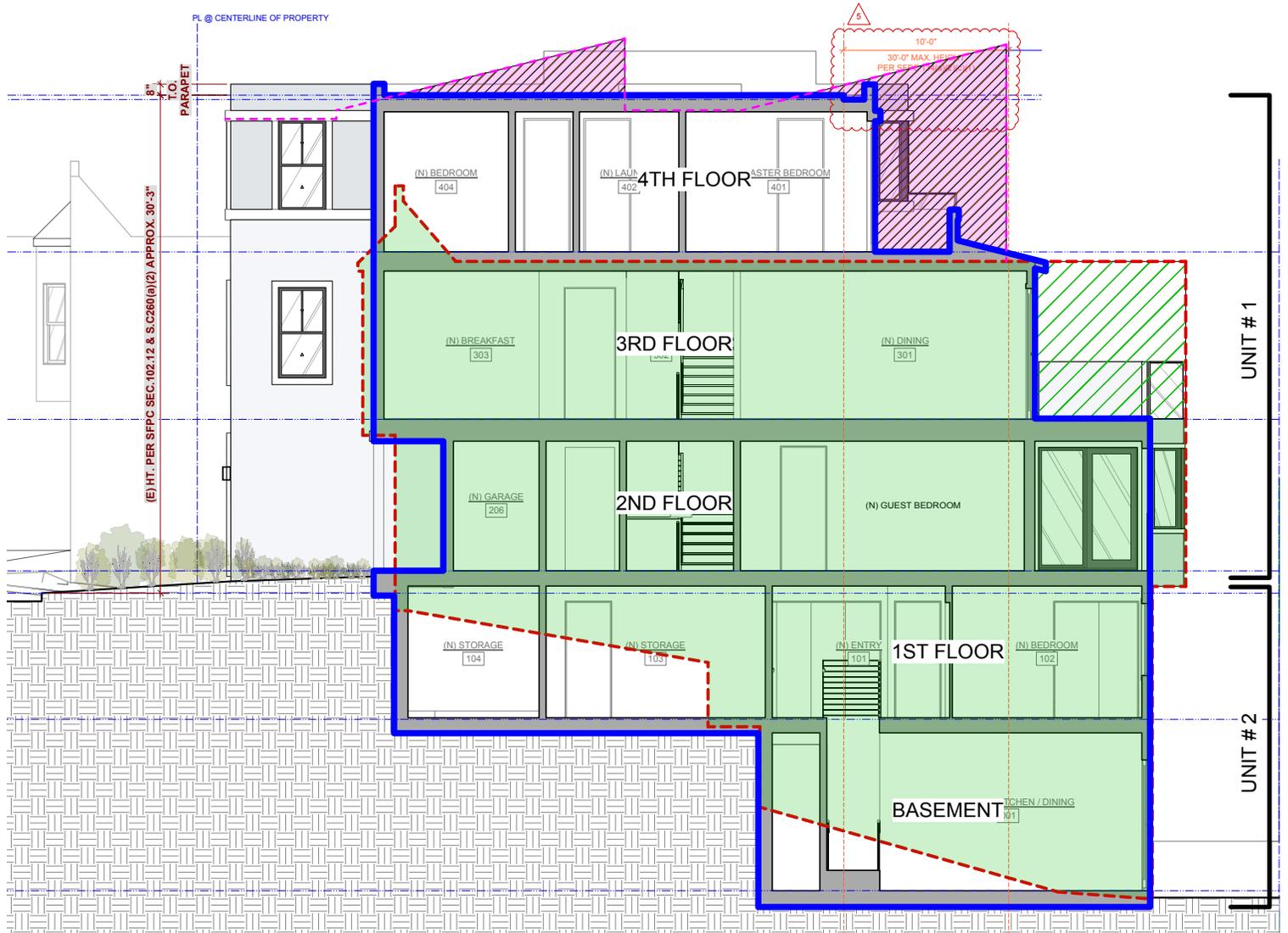
MASS REMOVED FROM (E) BUILDING



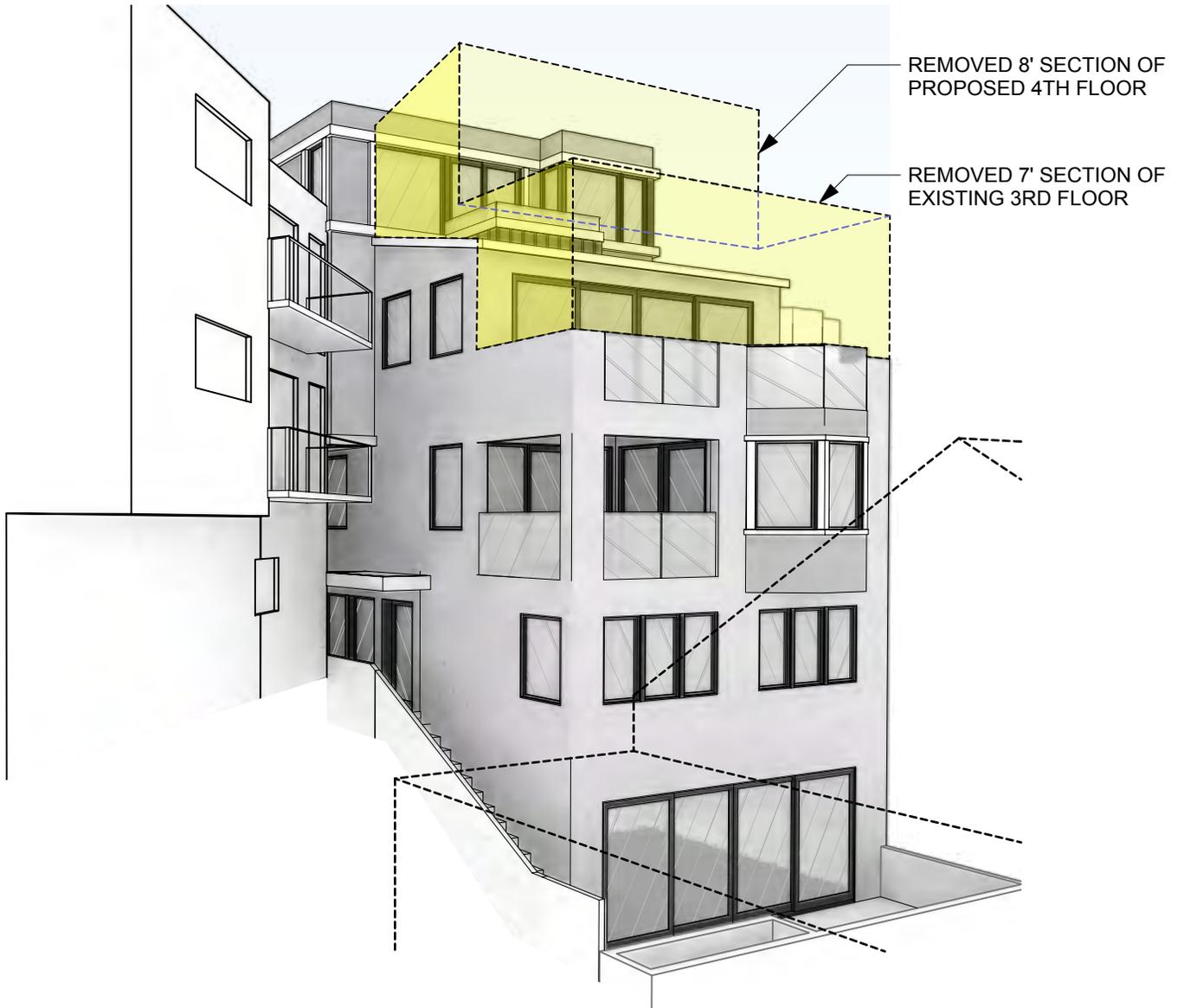
ORIGINAL PROPOSED BUILDING SECTION (PREAPPLICATION MEETING)



PROPOSED BUILDING SECTION (311 NOTIFICATION)



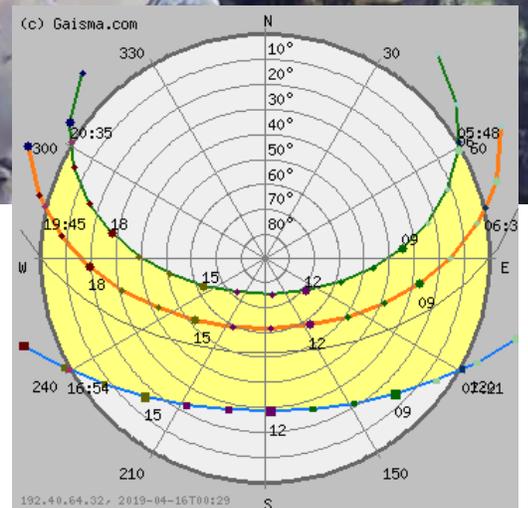
SECTION THROUGH PROPOSED PROJECT



1

REAR PERSPECTIVE SHOWING MASS REDUCTION

Friedgen Johnson Timeline			Issue: 5/23/19
Date	Time	Activity	
3/23/17	6pm	Pre-Application meeting with the neighbors at 50 Seward Street	
3/30/17	6pm	Meeting with Alissa Fitzgerald and her husband (DR Requestor). They were unable to attend the Pre-Application meeting due to a trip.	
4/18/17		Submit 311 Site Permit with EEA	
4/18/17		Kyle and Kelley email concerned neighbors an update on the 311 submission	
7/3/17		Submit letter to Planning describing project scope and introduction letter from Kelley and Kyle	
7/25/17		Submit revision to 311 Site Permit, R1	
8/10/17		Submit Maher Ordinance Application	
8/18/17		Maher Waiver received	
4/13/18		RDAT review comments received	
11/9/18		Submit Revision to 311 Site Permit responding to RDAT comments (mid block open space reduction, lowering of sloped roof)	
2/4/19		311 Notification period starts	
2/13/19		311 re-notification (undefined existing second unit)	
2/25/19		DR filed	
3/15/19		DR's filed by two applicants	
3/15/19		311 Notification period ends	
4/18/19		DR Requestors do not respond to request to meet with David Winslow, project sponsors, and architects to discuss project.	
5/23/19		Kelley and Kyle contact DR requestors to propose a meeting to discuss concerns.	



SUMMER	WINTER
SUNRISE (21 JUN) : 5:48 AM SUNSET (21 JUN) : 8:34 PM	NO EFFECT



PROPOSED DESIGN - JUNE 21

From: Alissa M. Fitzgerald amf@amfitzgerald.com
Subject: RE: 50 Seward Pre-Application Meeting
Date: April 5, 2017 at 10:27 PM
To: Kyle C. Johnson kj8375@yahoo.com, Kelley Friedgen kelley.friedgen@gmail.com, James Barker james@johnlumarchitecture.com
Cc: John Lum john@johnlumarchitecture.com, Carlos Hernandez chernandez@johnlumarchitecture.com



Dear Kyle, Kelley, and James,

Thanks again for hosting Alex and me last week to see your construction plans. We appreciate the time you took to walk us through them and to answer our questions.

We took some photos from within our condo so that you could see how your building looks in our current view. As you'll see in the photos, we can already see your current roofline standing 20ft back from our front window, and 50 Seward lies prominently in the center of our view.

Our major concern with the design you showed us is that it will significantly obstruct our view and damage our condo's financial value. To get a sense of the financial value of our current panoramic view, on Zillow, you can see the difference in sale prices for 49 Seward #1 (\$805K) vs. what we paid for #2 (\$975K), just over a year later. Both condos had identical floor plans and comparable quality finish at the time of purchase. The view from #1 is mostly obstructed, whereas our view is panoramic.

In addition, a related concern is that the current sightlines to our condo offer us nearly total privacy with respect to the surrounding buildings. Your proposed design situates three windows directly across from our living room, looking directly into our unit and significantly diminishing the privacy of our home.

We respect your rights to improve the value of your property through investment, but feel strongly that it should not come at the expense of our property.

We respectfully request that you consider changes to the design which reduce the impact to our view. Our suggestions would be to keep the planned third story limited to the current street-side roof line and not push it 10 ft closer to the street, as shown in the current plans; the maximum height of the roof be reduced, making the sloped roofs shallower and less prominent; and if possible, to vent the fireplace laterally to the north-east facing side of the building instead of via a prominent vertical exhaust duct on the roof.

As we mentioned in the meeting, if there is perhaps a way to create a simple full-scale mockup to represent the proposed changes, it could help all of us neighbors better visualize the design and perhaps alleviate some of our concerns.

Best regards,
Alissa Fitzgerald & Alex Mitelman
49 Seward St. #2





EXHIBIT 4

Kelley Friedgen & Kyle Johnson
50 Seward St
San Francisco
CA 94114

July 3rd, 2017

San Francisco Department of Planning
1650 Mission St., Suite 400
San Francisco, CA 94103

Attn: Elizabeth Gordon-Jonckheer

Re: 50 Seward Street, San Francisco, CA 94114
Block 2701 / Lot 024A

App#: 2017-0419-4301

Dear Ms Gordon-Jonckjeer

As you will see from the attached note, our architect has drafted a letter to explain the technical aspects of our proposed renovation for your consideration. We appreciate the opportunity to share a more personal perspective regarding why we have chosen to go forward with this project.

We moved to San Francisco five years ago, after dating long distance on the East Coast. Kelley started working at Genentech in South San Francisco, and Kyle, whose job responsibilities for an East Coast firm involved covering Canada and the Western U.S., was able to work remotely from our house. For our first two years in San Francisco, we lived in Russian Hill, and three years ago we moved to a small alley off of First and Folsom Streets in SOMA.

With the arrival of our son Alexander in 2015, we began thinking that it was time to find a home of our own. As we began our search, we knew we wanted an area where we would know our neighbors, like we did in Russian Hill, but that was more easily accessible to the other parts of the City. We wanted to be able to walk to restaurants and shops, but also parks and playgrounds. And most of all, we were looking for a place that Alexander would remember as full of love and laughter, good food and good people, and would make lots of joyful memories.

Given these objectives, the Kite Hill location of our home really appealed to us, and as we've had the chance to live here nearly two years, Seward Street has lived up to all of our expectations. Kite Hill is very much a little urban oasis, with quiet side streets and less traffic, where kids roam and neighbors get to know each other, yet you can leave your car in the garage and walk to the shops and restaurants in the Castro and Noe Valley. We've been able to take

advantage of the Eureka Valley Rec Center, the Seward Street Slides, and the toddler playground on 24th & Douglass, all without having to get in our car. Being able to easily walk to these wonderful neighborhood places with Alexander, who adores being outside, and also hiking within the City to Corona Heights, Buena Vista Park, and Twin Peaks has fulfilled our expectations and then some.

In addition, during our time here, we've only grown more committed to the neighborhood. Kyle recently completed his training as part of the Neighborhood Emergency Response Team and Alexander and I have attended Mass down the hill at the Most Holy Redeemer Catholic Church. We've also supported the local public elementary school, Harvey Milk Academy, as part of their neighborhood fundraiser and we have developed good friendships with several of our neighbors and their families.

As we have lived here, however, we've come to realize that while the location is ideal for us, the 1920's style of layout is not the best for our family for a number of reasons. First, our family is growing; we expect our second child, another boy, on July 25, 2017. With only two bedrooms on the main living level, this poses a challenge for us during our children's early years. We've been very blessed with Alexander, who has been a consistently good sleeper since about 9 months of age, but he does tend to wake up to loud noises and commotions, making it less than desirable for him to share a room with his infant brother over the next several years. He also happens to be curious and mechanically inclined, which makes it difficult for us to move him to the bedroom on the entry level as he is already adept at opening doors and unlocking deadbolts.

Second, as transplants from the east coast, with older, retired parents, we expect to host family coming across the country for longer periods as the grandparents and our siblings seek to spend time with us and our children. Third, while Kyle continues to work from home, he left his position at the East Coast company and now is self-employed, making a dedicated office an essential feature of our home. Fourth, in addition to a common floor of bedrooms, we would also like to have a living space that allows us to spend time as a family. As working parents, the time we get to spend with our children and each other during the week is typically in the mornings before work and the evenings afterwards. In our home's current configuration that means we often find ourselves in separate rooms during the limited amount of family time that we have. For this reason, it is our strong desire to have a more open floorplan where we can all be as a family even though one parent may be with the children and the other preparing and serving the meal. Lastly, we believe that we can meet these above objectives and also potentially help increase the housing stock in the city by converting the non-code compliant space below grade to a legal second unit. As we are committed to living in San Francisco, we feel it is also our responsibility to play our part in helping to address the challenges our adopted hometown faces, namely an acute housing shortage.

We hope this letter helps you better understand our motivations for undertaking this project and we appreciate your time and efforts to review our plans. Please let us or our architect know if you have any questions.

Best regards,

Kelley Friedgen & Kyle Johnson

P.S. Enclosed are some recent photographs of the family.



Ms. Cathleen Campbell & Mr. David Winslow
Planning Department
1650 Mission Street
San Francisco, CA 94102

Dear Ms. Campbell and Mr. Winslow,

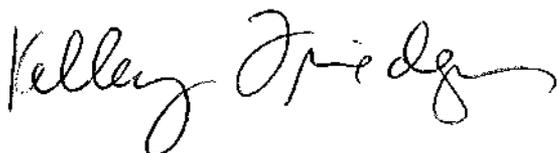
As part of our submission you will find a copy of the letter that my wife Kelley Friedgen and I submitted to the Department at the time of our original permit request back in 2017. We are writing to provide you an update regarding our family since our initial filing and to share some general feedback that we have received as part of our outreach to our neighbors.

In the nearly two years since our submittal, Kelley gave birth to our second son, Nathaniel Xavier ("Knox"), who will turn two this July. In August 2017, Kyle accepted a full time position in San Francisco and now commutes to a downtown office every weekday via Muni. With both parents out of the house full-time, we have also chosen to employ an au pair to help us care for our children. As such, the planned office space will also function as a fourth bedroom which we plan to use for our au pair. We have included recent pictures of our family to show how much things have changed in the last two years.

With the upcoming hearing approaching, we have taken the opportunity to walk around the neighborhood to solicit any questions, concerns or further input from our neighbors. While we have not had the opportunity to speak with everyone, the neighbors who were kind enough to speak with us either expressed support for our project (and we understand some of these neighbors have submitted letters or otherwise shared their support with Mr. Winslow) or expressed a desire to take no position on the project. Some of the neighbors who took no position on our project did provide us with helpful feedback about construction in our neighborhood in general (e.g., selecting a considerate general contractor who is sensitive to neighbor concerns, making sure any workers on our project do not leave trash or mess on site, etc.), which we intend to heed.

Please know that all of our feelings about the neighborhood, as reflected in our original letter, still ring true, and we very much look forward to both living and raising our family in the Eureka Valley/Castro neighborhood of San Francisco.

All the best,

A handwritten signature in cursive script, appearing to read "Kelley Friedgen".

Kelley Friedgen & Kyle Johnson
50 Seward Street
San Francisco, CA 94114

EXHIBIT 5

**San Francisco Planning Commission
DR Hearing – June 6, 2019**

Video Link to SFGovtv City of San Francisco:

https://sanfrancisco.granicus.com/MediaPlayer.php?view_id=20&clip_id=33338&meta_id=721257

ADU discussion starts at **04:21:53** and ends at **04:32:25**.

EXHIBIT 6

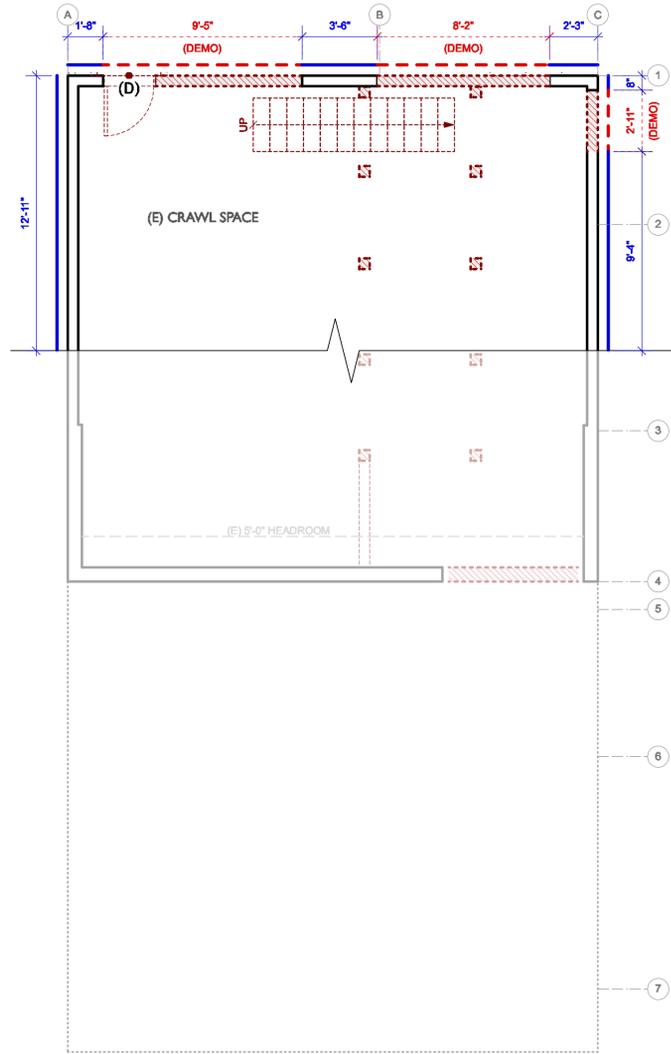
**San Francisco Planning Commission
DR Continuance Hearing – September 12, 2019**

Video Link to SFGovtv City of San Francisco:

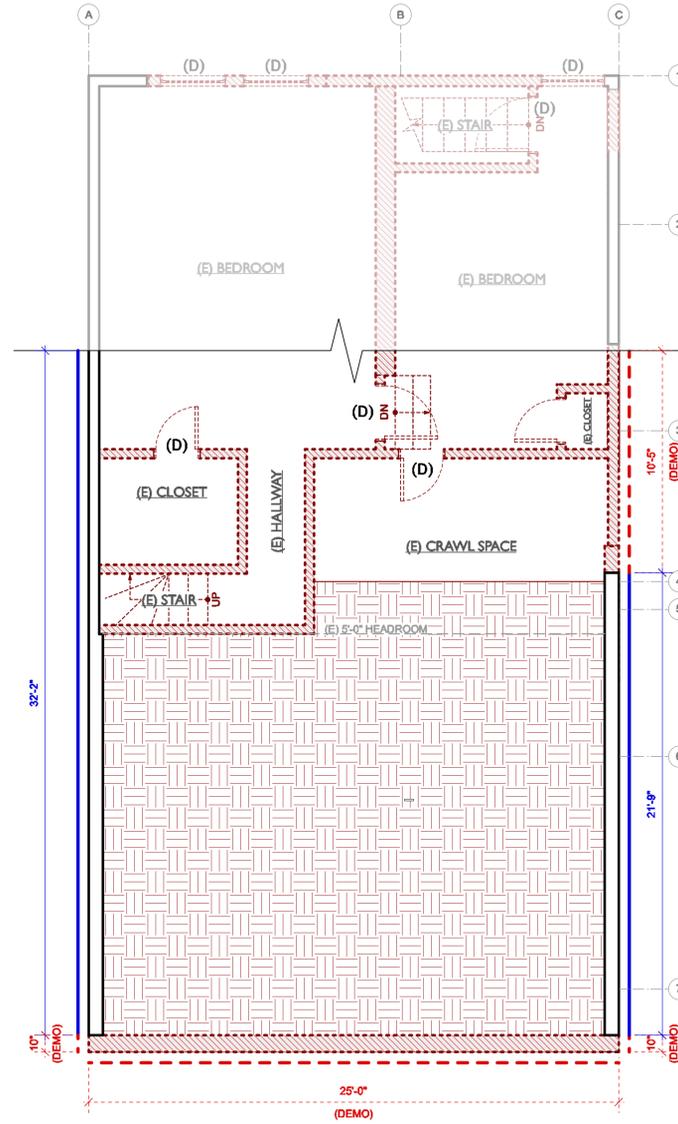
https://sanfrancisco.granicus.com/MediaPlayer.php?view_id=20&clip_id=33990

ADU Discussion starts at **01:42:40** and ends at **01:47:24**.

EXHIBIT 7



1
A0.06 **BASEMENT FLOOR PLAN - EXISTING/DEMOLITION**
Scale: 1/4" = 1'-0"



2
A0.06 **FIRST FLOOR PLAN - EXISTING/DEMOLITION**
Scale: 1/4" = 1'-0"



SYMBOLS	
TO BE RETAINED	
TO BE REMOVED	

SEC. 317 (2) (B)
REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

SUM OF FRONT AND REAR FACADE					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	25'-0"	25'-0"	100%	0'-0"	0%
REAR (EAST) FACADE	25'-0"	17'-7"	70.3%	7'-5"	29.8%
TOTALS	50'-0"	42'-7"	85.2%	7'-5"	14.8%

SEC. 317 (2) (B)
REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

LINEAR FOOTAGE MEASUREMENT: 1ST FLOOR					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	25'-0"	25'-0"	100%	0'-0"	0%
REAR (EAST) FACADE	25'-0"	17'-7"	70.3%	7'-5"	29.7%
LEFT (NORTH) FACADE	45'-11"	10"	1.8%	45'-1"	98.2%
RIGHT (SOUTH) FACADE	45'-11"	14'-2"	30.9%	31'-9"	69.1%
TOTALS	141'-10"	57'-7"	40.8%	84'-3"	59.4%

DETERMINATION:

PASSED SEC. 317 (2) (B)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL.

PROPOSED SUM OF FRONT AND REAR FACADE TO BE REMOVED IS > 50%

PROPOSED SUM OF ALL EXTERIOR WALLS TO BE REMOVED IS < 65%

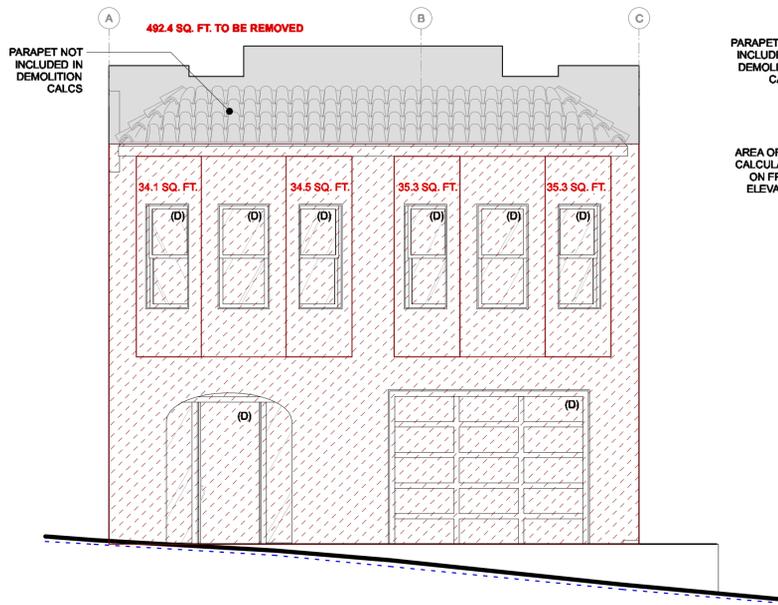


JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 568 9550 FAX 415 568 0554

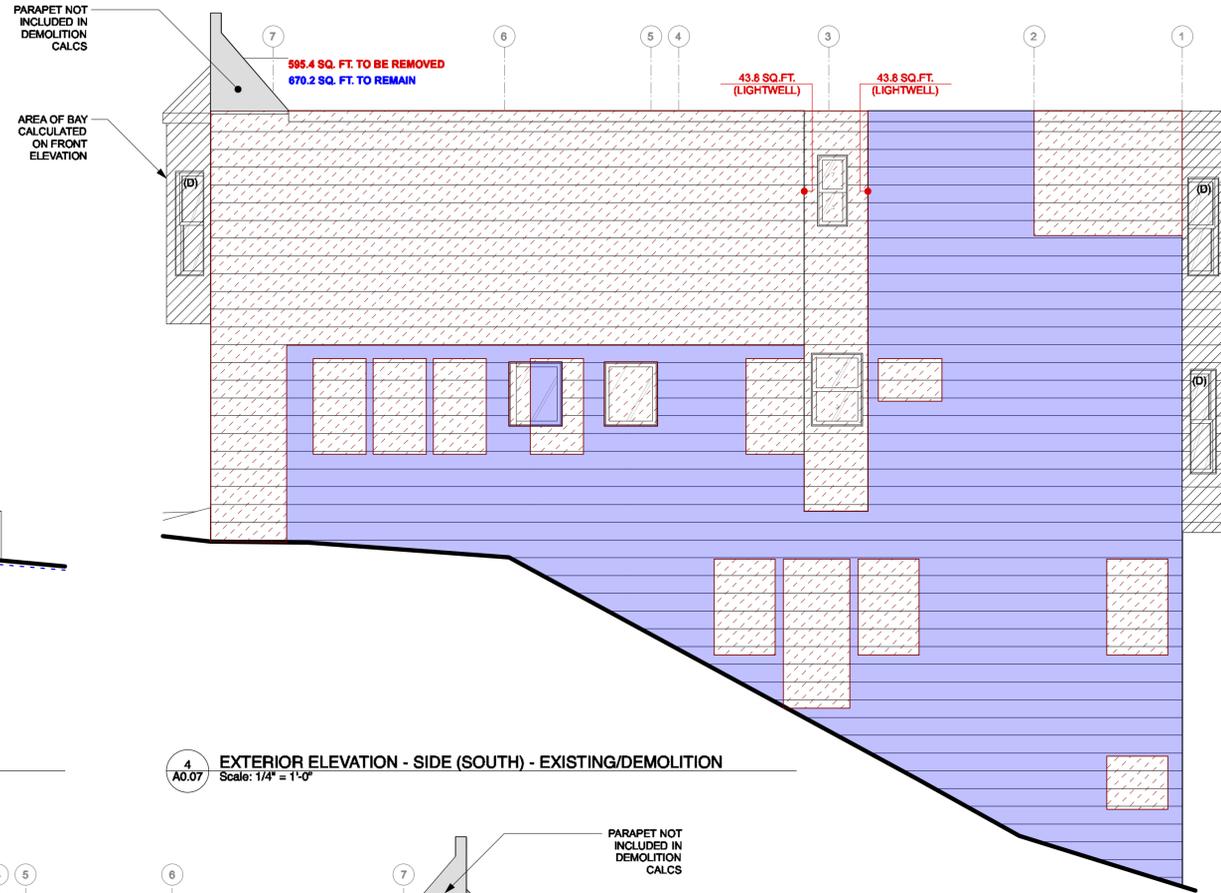
**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: kelly friedgen & lyne johnson
san francisco, ca 94115

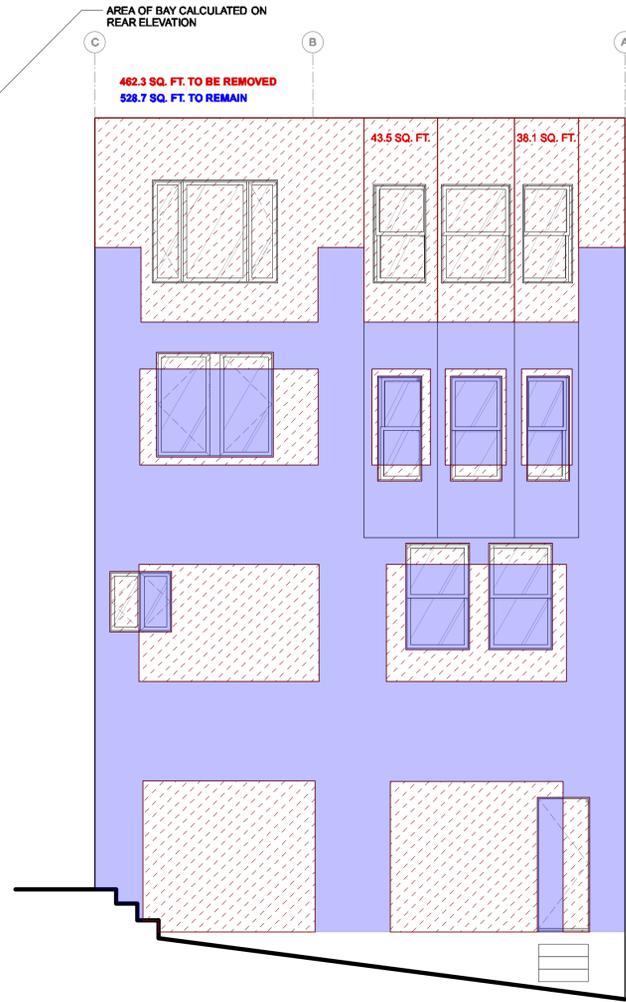
date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (RDAT)	rk
01.15.19	Site Permit Rev 3	rk
02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk
10.23.19	Site Permit Rev 6 (DRA)	rk
04.29.20	Site Permit Rev 7	rk



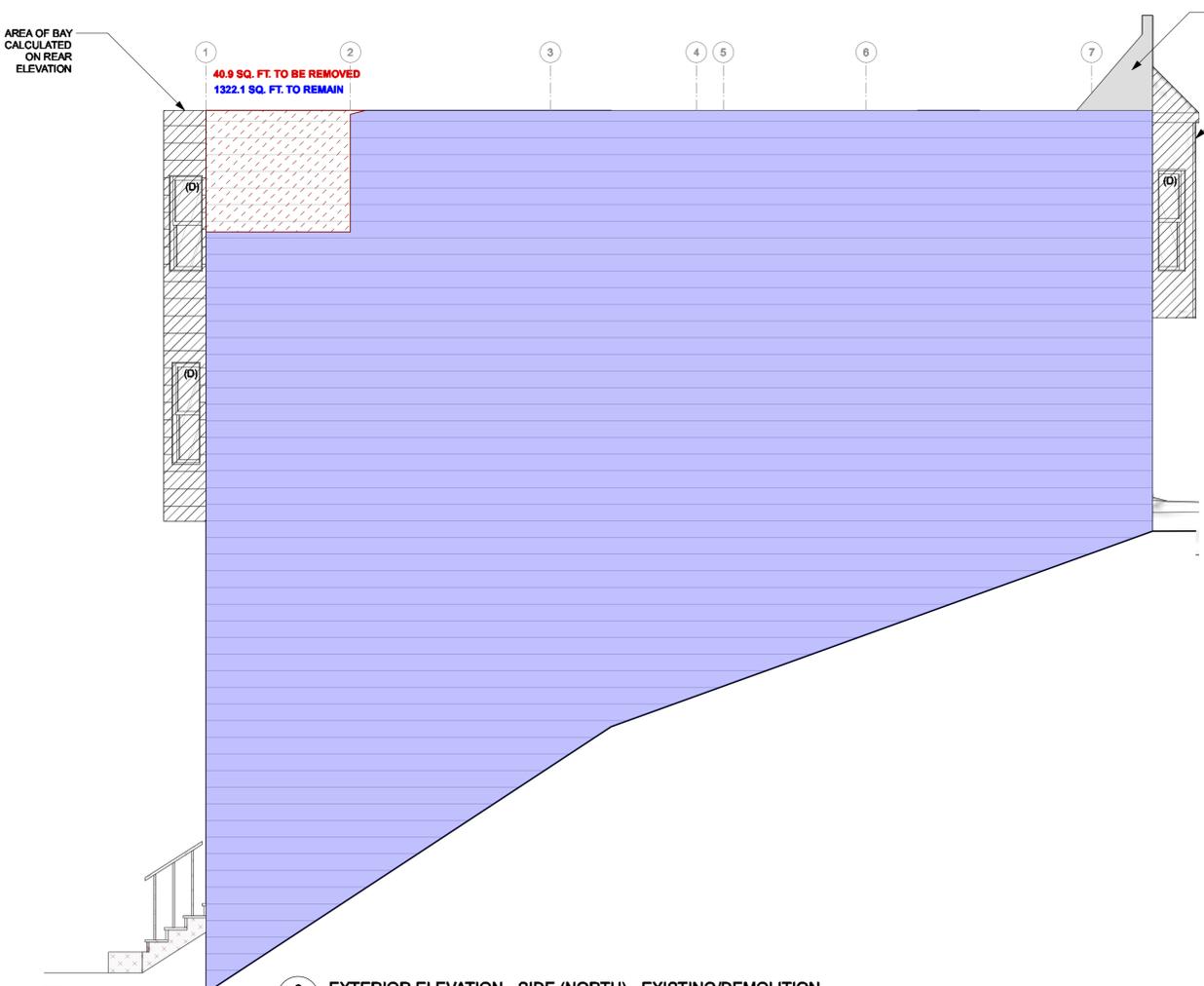
1
A0.07
EXTERIOR ELEVATION - FRONT (WEST) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



4
A0.07
EXTERIOR ELEVATION - SIDE (SOUTH) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



2
A0.07
EXTERIOR ELEVATION - REAR (EAST) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"



3
A0.07
EXTERIOR ELEVATION - SIDE (NORTH) - EXISTING/DEMOLITION
Scale: 1/4" = 1'-0"

SEC. 317 (2) (C)
REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS
TO BE RETAINED [Blue Hatched]
TO BE REMOVED [Red Hatched]

DETERMINATION:
PASSED SEC. 317 (2) (C)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.
PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.5)
PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)

EXISTING & DEMO AREAS PER FACADE					
ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
FRONT (WEST) FACADE	492.4 SQ. FT.	492.4 SQ. FT.	100.0%	0 SQ. FT.	0.0%
REAR (EAST) FACADE	991.0 SQ. FT.	462.3 SQ. FT.	46.8%	528.7 SQ. FT.	53.4%
RIGHT (SOUTH) FACADE	1,308.6 SQ. FT.	683.3 SQ. FT.	50.7%	645.3 SQ. FT.	49.3%
LEFT (NORTH) FACADE	1,363.0 SQ. FT.	40.9 SQ. FT.	3.0%	1,322.1 SQ. FT.	97.0%
TOTALS	4,155.0 SQ. FT.	1,658.9 SQ. FT.	40.0%	2,496.1 SQ. FT.	60.0%

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
04.18.17	Site Permit Submission	ch
07.25.17	Site Permit Rev 1	al
11.01.18	Site Permit Rev 2 (RDAT)	rk
01.15.19	Site Permit Rev 3	rk
02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk
10.23.19	Site Permit Rev 6 (DRA)	rk
04.29.20	Site Permit Rev 7	rk

SEC. 317 (2) (C)

REMOVAL OF MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE BUILDING MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS

TO BE RETAINED	
TO BE REMOVED	

AREA MEASUREMENT

ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
1ST FLOOR	513.8 SQ. FT.	513.8 SQ. FT.	100%	0 SQ. FT.	0%
2ND FLOOR	1,103.2 SQ. FT.	131.3 SQ. FT.	11.9%	971.9 SQ. FT.	88.1%
3RD FLOOR	1,181.5 SQ. FT.	79.6 SQ. FT.	6.7%	1,101.9 SQ. FT.	93.3%
ROOF	1,153 SQ. FT.	1,153 SQ. FT.	100%	0 SQ. FT.	0%
TOTALS	3,951.5 SQ. FT.	1,877.7 SQ. FT.	47.5%	2,073.8 SQ. FT.	52.5%

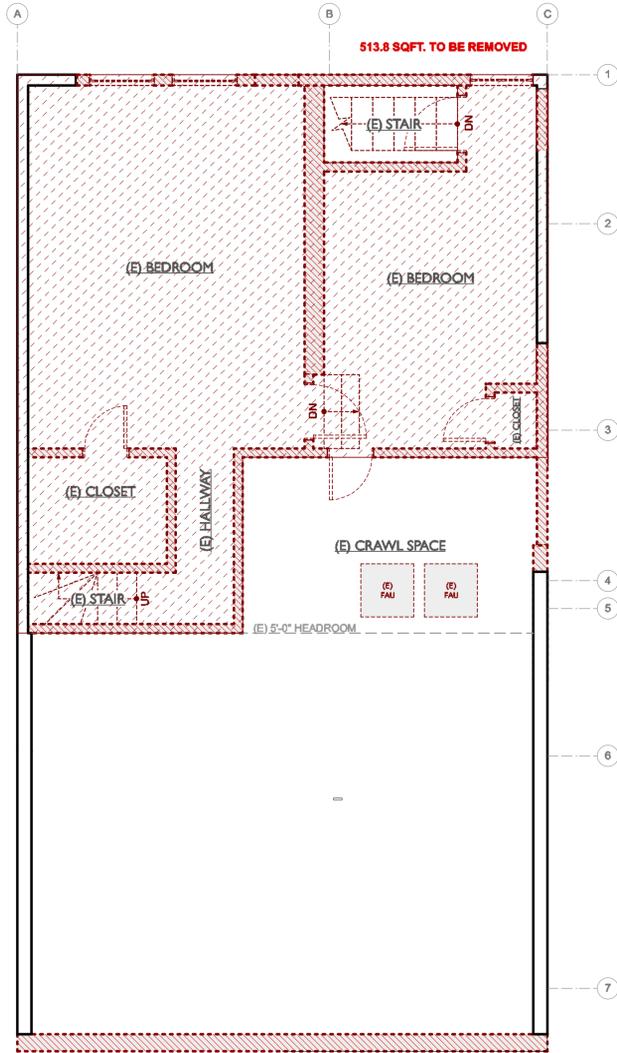
DETERMINATION:

PASSED SEC. 317 (2) (C)

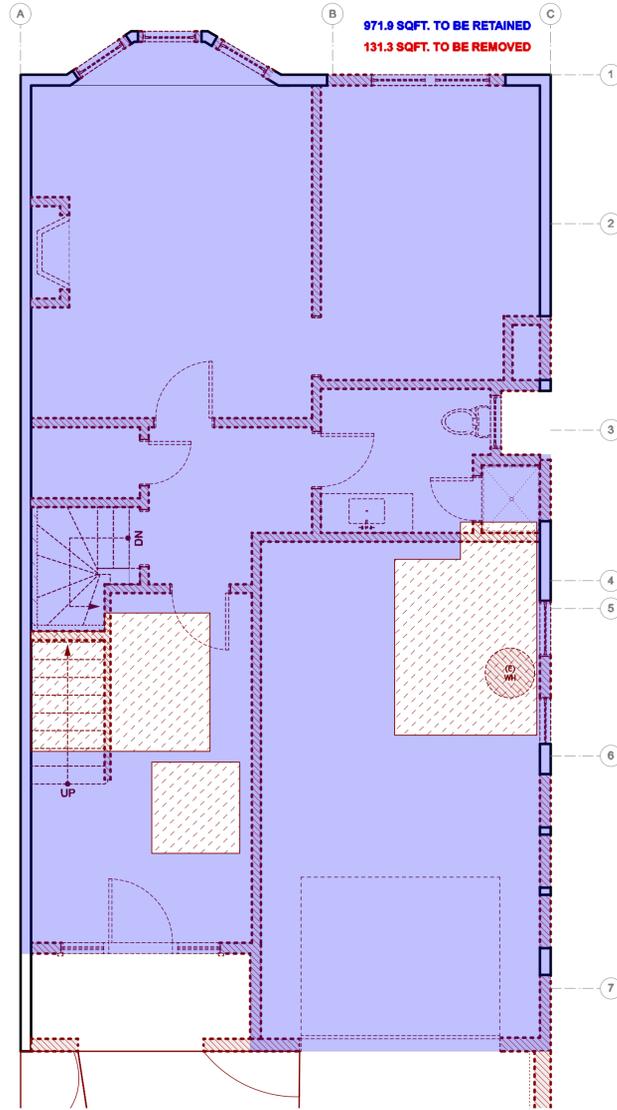
MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.4)

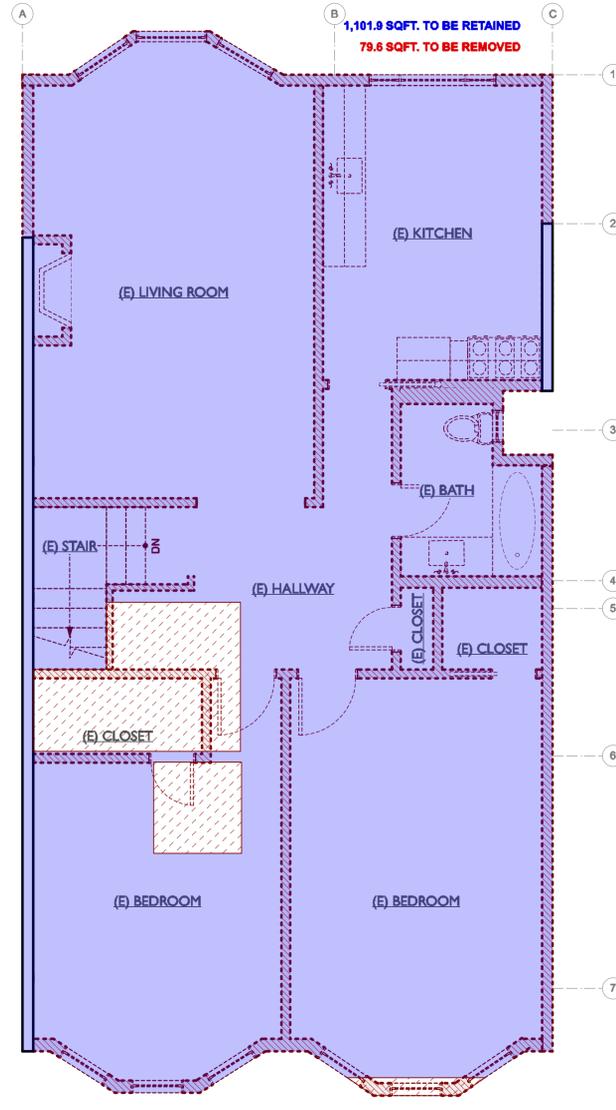
PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)



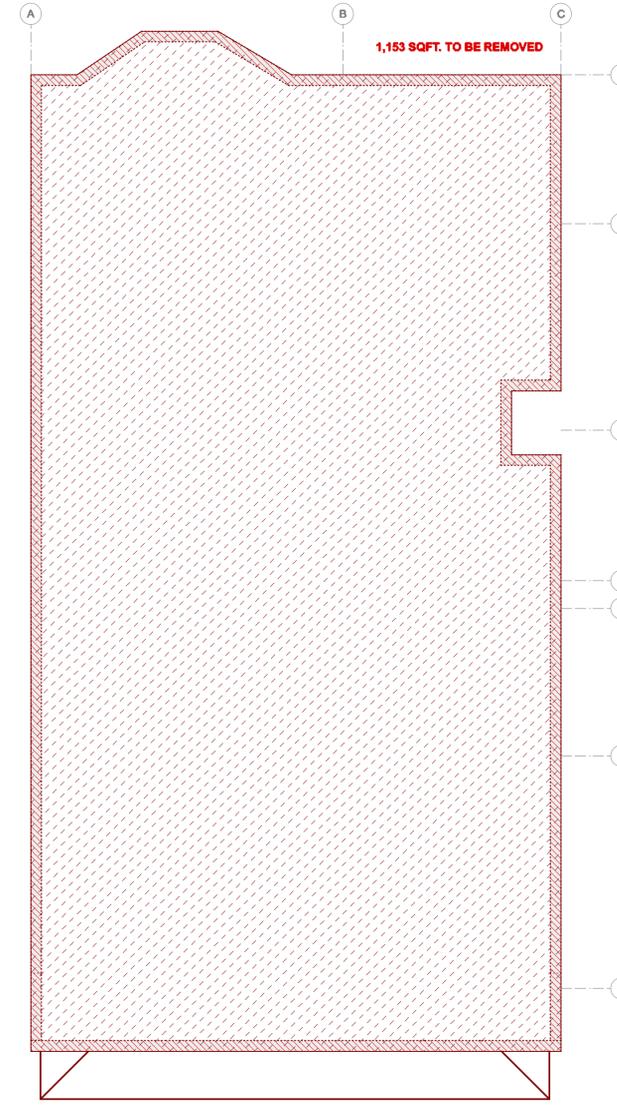
1 FIRST FLOOR PLAN - EXISTING/DEMOLITION
A0.08 Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - EXISTING/DEMOLITION
A0.08 Scale: 1/4" = 1'-0"



3 THIRD FLOOR PLAN - EXISTING/DEMOLITION
A0.08 Scale: 1/4" = 1'-0"



4 ROOF PLAN - EXISTING/DEMOLITION
A0.08 Scale: 1/4" = 1'-0"



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50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK 2701 - LOT 024A

client: kelly friedgen & lyfe johnson
50 seward st
san francisco, ca 94115

date :	issues/ revisions :	by :
03.23.17	Neighborhood Outreach	ch
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02.07.19	Site Permit Rev 4	rk
04.09.19	Site Permit Rev 5	rk
10.23.19	Site Permit Rev 6 (DRA)	rk
04.29.20	Site Permit Rev 7	rk

DEMO CALCS

A0.08

EXHIBIT 8



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
50 SEWARD ST		2701/024A
Case No.		Permit No.
2017-006245ENV		201704194301
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Renovation and addition to SFH. New 4th floor addition and new 3-story addition to front of building, totally 2,043-sf of added space. Addition will add approx. 4.5 ft of height to the existing building for a total height of 28 feet, 7 inches. Convert existing basement and first floor to habitable space and create new unit with 2 new bedrooms and 1 new bathroom. Includes approx. 159 cubic yards of excavation to a depth of no greater than 6.5 ft at basement level and 8 feet at 1st floor. Foundation work to address addition and added story. Sprinkler under separate permit.</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft. ; change of use under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input checked="" type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Justin Horner

Project sponsor to follow recommendations included in geotechnical report: Romig Engineering, Geotechnical Investigation Johnson-Friedgen residence addition 50 Seward Street San Francisco California 94116," July 2017: a) the at-grade addition should be supported on a drilled piers extending through the fill and into native soil; b) the basement retaining walls and lower basement levels be supported on a mat foundation; and c) the construction of temporary shoring systems to underpin adjacent structures and the existing residence.

Hazardous Materials: Sponsor received a Maher Ordinance waiver Aug 18, 2017. (see "SMED 1623" pdf in

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C a. Per HRER dated 01/25/2018 (attach HRER) b. Other (specify): Per PTR signed 1/15/18.
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): The subject property is representative of a second wave of residential development in Clover Heights (different developer and in a different architectural style), and for this reason does not appear to contribute to a cohesive,	
Preservation Planner Signature: Elizabeth Gordon Jonckheer	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.				
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.				
<table border="1" style="width: 100%;"> <tr> <td style="width: 60%;">Project Approval Action: Building Permit</td> <td style="width: 40%;">Signature: Justin Horner</td> </tr> <tr> <td>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</td> <td>03/02/2018</td> </tr> </table>		Project Approval Action: Building Permit	Signature: Justin Horner	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	03/02/2018
Project Approval Action: Building Permit	Signature: Justin Horner				
If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	03/02/2018				
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>					

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
50 SEWARD ST		2701/024A
Case No.	Previous Building Permit No.	New Building Permit No.
2017-006245PRJ	201704194301	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

EXHIBIT 9

HISTORIC RESOURCE EVALUATION

50 Seward Street
San Francisco, California



July 1, 2017

Prepared by:
Stacy Farr
Architectural Historian & Cultural Resource Planner
stacyannfarr@gmail.com

Prepared for:
Kyle C. Johnson
50 Seward Street, San Francisco, CA
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Introduction

The Historic Resource Evaluation (evaluation) had been prepared for Kyle Johnson, in advance of a proposed project at 50 Seward Street (APN 2701/024A), in the Castro/Upper Market neighborhood of San Francisco, California. This 1,850-square foot (sf) residential property occupies an 1,890-sf lot on the east side of Seward Street between 19th and Douglass streets (**Figure 1**). The building is a two-story Mediterranean Revival-style single-family dwelling with a rectangular footprint. The building is clad in stucco and asbestos shingle and capped with a flat roof. The building was constructed in 1928 by builder William S. Barron and is currently zoned RH-2 (residential house, two family). Ownership of the house was held by bank and title companies before 1940, after which time the property changed hands five times before it was purchased by the current owner in 2015: the previous owner had owned the property for 58 years. 50 Seward Street has not been previously evaluated for historic significance, either individually or as part of a larger historic resource survey, and currently has the Planning Department Historic Resource Status Code “B”, indicating that it is age-eligible for historic resource status but has not been officially evaluated. This evaluation finds that 50 Seward Street is not individually eligible for listing in the California Register of Historical Resources (California Register) under any significance criterion. Additionally, the property is not eligible as part of a district for listing in the California Register of Historical Resources (California Register) under any significance criterion.



Figure 1. Assessor's Block 2701, with lot 024A (50 Seward Street) outlined in red. Source: San Francisco Assessor.

Methodology

Stacy Farr has over eight years' experience evaluating potential historic resources in the San Francisco Bay Area, and meets the Secretary of the Interior's Professional Qualifications for Architectural History. In compliance with the San Francisco Planning Department's *CEQA Review Procedures for Historic Resources*, this evaluation provides a description and history of the property at 50 Seward Street. Stacy Farr visited the subject property on May 15, 2017 to photograph and survey the building and the surrounding neighborhood. Over the following weeks, she conducted primary research at the following government offices, libraries, and

repositories: the San Francisco Office of the Assessor-Recorder, the San Francisco Department of Building Inspection, the San Francisco Public Library, and the California Historical Society. Online research repositories which were consulted include Archive.org, Ancestry.com, and Newspapers.com. Stacy Farr synthesized the research and completed the evaluation on July 1, 2017. All photographs in this report were taken by Stacy Farr unless otherwise noted.

Property Description

As previously introduced, 50 Seward Street is a two-story Mediterranean Revival-style single-family dwelling, clad in stucco and asbestos shingle and capped with a flat roof. The building is wood frame construction and sits on a sloped site which slopes steeply downward to the east. As a result of the slope of the site, the building is two stories at the primary (west) façade and four stories at the rear (east) façade. The building has a rectangular footprint and fills most of the width of its lot except for a narrow area south of the building. The north façade of 50 Seward Street is partially flush with its neighbor to the north at 54 Seward Street.

Building Description

The primary façade of 50 Seward Street faces west onto Seward Street and is set back from the west lot line at an angle (**Figure 2**). The primary façade is clad in stucco. At the first floor level, the primary entrance is located at the left (north), and is composed of a non-historic paneled wood door flanked by two-lite side-lites with frosted glass, set in thick wood frames (**Figure 3**). The entrance is located within an arched recess that is paved in painted brick. Within the recess, the area to the left and right of the side-lites is clad in flush horizontal wood. At the right (south) side of the first floor level there is wood and glazed overhead garage door, accessed from the street by a short driveway which slopes slightly upward and is paved in concrete. There is a small utilities window at the far right (south) of the first floor level.

At the second floor level of the primary façade there are two canted bays with single-hung wood-sash windows at each facet. The bays are very modestly ornamented with a raised band of molding along their lower edge. The bays are surmounted by a cornice with a hipped brow clad in red clay tile which spans most of the width of the façade. The primary façade terminates with a turreted parapet with a band of flat molding.



Figure 2. 50 Seward Street, primary (west) façade, view toward east.



Figure 3: Primary entrance, view toward east.



Figure 4. Primary (west) façade, second floor level, detail of bay and cornice, view toward east.

The south façade of 50 Seward Street faces onto the narrow space between the building and the adjacent property at 44 Seward Street. The south façade is clad in asbestos shingles with a slightly scalloped profile (**Figure 5**). The façade is bisected by a narrow light well. Left (west) of the light well, there are two single-lite wood frame windows at the first floor level, which have been secured shut from the inside. Within the light well there are double-hung vinyl windows at the first floor level. The façade terminates with a flush roofline.



Figure 5. 50 Seward, south façade, view toward east.

The east (rear) façade faces onto a shallow yard and the west façade of 35 Carson Street. The façade is clad in the same asbestos shingle previously described at the south façade. The east façade is four stories in height due to the slope of the site. At grade, the sub-basement includes a

utilitarian wood door at right (north) and a single-hung wood-sash window at left (south) (**Figure 6**). At the basement level there is a pair of single-hung wood-sash windows at right with wide wood casings and a contemporary, vinyl-sash sliding window at left. At the first floor level, there is a canted bay at right with single-hung wood-sash windows at each facet, and a pair of single-hung wood-sash windows at left (**Figure 7**). There are two small square vented openings at the center of the first floor level, between the bay and the paired windows. At the second floor level, the canted bay at right continues and includes contemporary vinyl-frame casement and fixed windows at each facet, and, at left, there is a contemporary vinyl-frame casement and fixed tripartite window group. The rear (east) façade terminates with a flush roofline.



Figure 6. Rear (east) façade, view toward southwest.



Figure 7. Rear (east) façade, view toward northwest.

As previously introduced, the north façade of 50 Seward Street is partially flush with its neighbor to the north at 54 Seward Street. The rear (east) portion of this façade is visible from Carson Street and is clad in the previously described asbestos shingle and has no fenestration (**Figure 8**). The north façade terminates with a flush roofline, and two aluminum chimney pipes are visible above the roofline.



Figure 8. 50 Seward Street, north façade viewed from Carson Street, view toward southwest.

Site Description

As previously introduced, 50 Seward Street is set back from its west lot line and sited at an angle to the street, creating a triangular front yard. The left (north) half of the front yard is largely paved in contemporary pavers which lead from the sidewalk to the primary entrance and from the primary entrance to the driveway, which, as previously described, is paved in concrete. Unpaved areas of the front yard are planted with a mix of flowering bushes, small trees, and topiary (see Figure 2, Figure 3).

South of the building there is a narrow space between 50 Seward Street and 44 Seward Street. There are two wood gates here which enclose an area currently used to store waste bins. This area was not viewed directly during the site visit but is partially paved and includes a mature palm tree and other smaller bushes (see Figure 2, Figure 5).

Behind the house there is a shallow rear yard which runs the width of the lot and is enclosed at the north and south by board fences and at the east by the west façade of 35 Carson Street, which is clad in horizontal wood siding (**Figure 9**). The yard is untended and overgrown with grass and weeds.

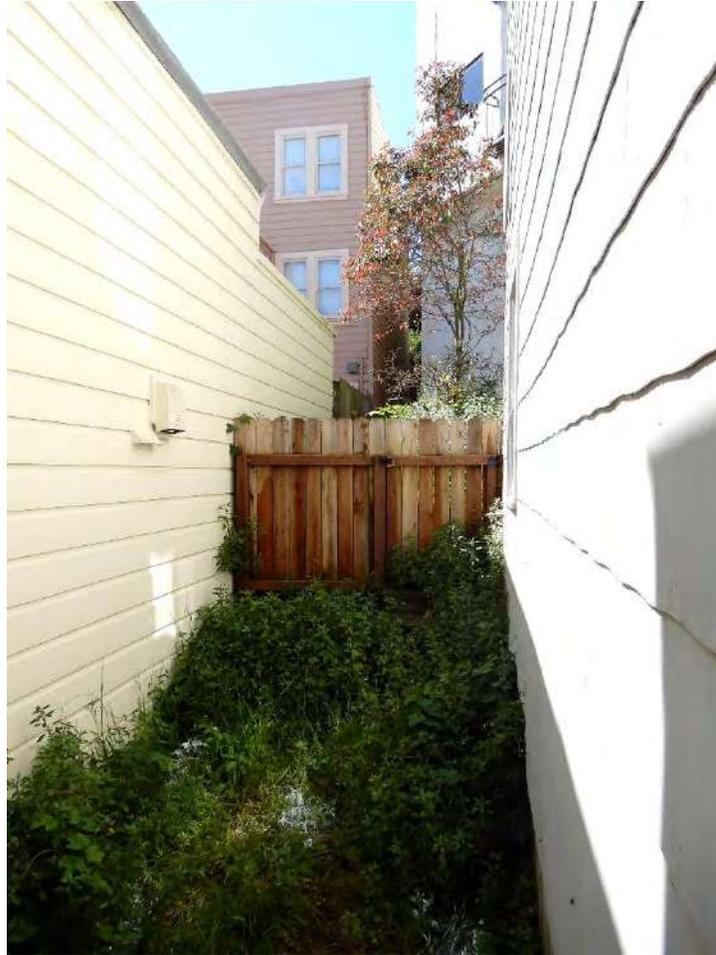


Figure 9. 50 Seward Street, rear yard, view toward south, with the west façade of 35 Carson Street visible at left.

Setting

50 Seward Street is located on the east side of Seward Street, slightly south of mid-block between 19th Street and Douglass Street. Seward Street is only one block long, and is uniformly residential, although a portion of the west side of the block is given over to the City-owned Seward Mini Park. Construction dates on Seward Street range from 1906 to 1984¹, although the block is generally characterized by two types of development: two-story Mediterranean Revival-style single-family dwellings like the subject property, constructed in 1928 and 1929, and three- to four-story Modern-style multi-unit residential buildings, constructed between 1959 and 1974 (**Figure 10**, **Figure 11**).

¹ The San Francisco Property Information Map lists a 1998 year of construction for the property at 67 Seward Street, which appears to reflect the date of a substantial alteration to the façade, rather than new construction.



Figure 10. West side of Seward Street, directly south of 19th Street, view toward northeast. The three houses in this photograph (87-97 Seward Street) were constructed in 1929.



Figure 11. West side of Seward Street, directly west of the subject property, view toward west. 49 Seward Street, at center, was constructed in 1959, and 47 Seward Street, at left, was constructed in 1961.

July 1, 2017

9

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Of 34 total buildings on the block, 16 (47%) were constructed in either 1928 or 1929, and share the same general massing and appearance as the subject property, with slight variations reflecting the slope of the block, which descends downward to the north, south and east. These houses are located on the northern portion of the block, and were developed by the real-estate developer William S. Barron and constructed by builder H. H. Putnam. The level of ornament and integrity varies slightly from property to property. Higher-style examples, such as the property at 54 Seward Street, have applied molded stucco ornament, divided window panes, and shaped openings at the recessed entry (**Figure 12**). Others, such as the subject property, display minimal ornament (see Figure 2, Figure 10). All of the properties on the block constructed in 1928 and 1929 have double canted bay windows at the second floor level, surmounted by a red tile element (**Figure 13**). On the west side of the block, many of these properties have had their double-hung windows replaced by single-pane casement windows, to maximize views of the City skyline to the east.



Figure 12. 54 Seward Street, constructed 1928, view toward east. This property is among the more ornamented houses of this type on the block.



Figure 13. 53-75 Seward Street, constructed 1928-1929, view toward northwest.

Of the 34 total residential lots on the block, six (18%) are three- to four-story Modern-style multi-unit residential buildings, constructed between 1959 and 1974. These buildings are concentrated at the south half of the block and generally include large glass doors and windows to maximize views of the City skyline to the east (**Figure 14, Figure 15**). Within their common type and era of construction, these buildings display a range of styles and construction dates.



Figure 14. 44 Seward Street, constructed 1974, view toward east.



Figure 15. 43 Seward Street, left, constructed 1973; 45 Seward Street, center, constructed 1980; and 47 Seward Street, right, constructed 1961, view toward southwest.

Properties on the block which were constructed out of these two most common time periods represent mixed dates of construction and architectural styles. The oldest house on the block is 31-33 Seward Street, on the west side of the block, which is a stripped-down three-story Classical Revival-style house constructed in 1906 (Figure 16). 24 and 26 Seward Street were both constructed in 1915 and are shingled Dutch Revival and First Bay Region (altered)-style, respectively (Figure 17). The one-story Storybook-style cottage at 30 Seward Street was constructed in 1922 (Figure 18). The last house constructed on the block is the Post-Modern house at 15 Seward Street, which was constructed in 1984 (see Figure 16).



Figure 16. 31-33 Seward Street, at far right, is the oldest house on the subject block, constructed in 1906. At far left, 15 Seward Street was the last house constructed on the subject block, in 1984, view toward west.



Figure 17. 26 Seward Street (left) and 24 Seward Street (right) were both constructed in 1915, view toward north.



Figure 18. 30 Seward Street was constructed in 1922, view toward northeast.

The blocks surrounding Seward Street continue the same general pattern of two- to four-story residential properties, with a similar range of construction dates as the subject block. The closest open space is the Seward Mini Park, on the subject block, and Kite Hill Open Space, one block to the west. The closest commercial thoroughfare is four blocks east, on Castro Street.

Historical Development of Castro Valley/Upper Market and Corbett Heights

50 Seward Street is located within the Castro/Upper Market neighborhood of San Francisco, which as defined by the San Francisco Planning Department is bound by Dolores Street on the east, Duboce Avenue on the north, 21st and Romain streets on the south, and an irregular border on the west, including Market Street, Clayton Street, Upper Terrace, and Buena Vista Avenue East (Figure 19). The property is located at the western edge of this neighborhood, in the Corbett Heights neighborhood. The area is characterized by its dramatic topography, and is adjacent to some of the City’s highest peaks, including Corona Heights, Buena Vista Peak, Mount Sutro, and Twin Peaks. A Historic Context Statement for Corbett Heights authored by historian Michael R. Corbett is currently under review by the San Francisco Planning Department, from which the following neighborhood information is largely drawn.



Figure 19. Castro/Upper Market neighborhood, outlined in red.
 Source: San Francisco Planning Department.

No permanent native settlement is known to have taken place in the hilly terrain of Corbett Heights. First known Euro-American ownership of the area came in 1846, when José de Jesus Noe received a land grant by Pio Pico, the governor of the Mexican department of Alta California. Noe constructed a home on his land, known as San Miguel Rancho, near what is now the intersection of Douglass and Alvarado streets.²

California came under American control after the Treaty of Guadalupe Hidalgo in 1848, and in that same year, the discovery of gold in the foothills of the Sierra Nevada Mountains transformed San Francisco into a crowded boom town. While early development remained close to the San Francisco Bay waterfront, by 1851, the boundaries of the city were extended westward to a line close to Divisadero and Castro Streets. The encroachment of development, in addition to ongoing disputes over ownership of pre-Guadalupe Hidalgo land grants, put pressure on Noe to sell his rancho, which he did in 1853.

The land was purchased by ambitious land investors the Horner brothers, although they were quickly forced to sell it, along with most of their vast holdings throughout the City, due to a nationwide financial panic in 1856. After sale by the Horner brothers, the area was subdivided for residential development into three primary surveys: the Pioche & Robinson Subdivision (1867),

² Michael Corbett, *Corbett Heights, San Francisco (Western Part of Eureka Valley) Historic Context Statement* (San Francisco: 2017) 224.

the McKee Subdivision (1864), the Park Lane Tract (1885). However, the area remained largely undeveloped during the 1860s through the 1880s, due to continued financial cycles of panic and slow recovery, paired with a remote location and lack of public transportation, save for a few agricultural production facilities, including milk ranches and breweries, and very scattered residential construction.

In 1892, the Eighteenth Street streetcar line connected Corbett Heights to downtown San Francisco, and by 1895, the area was connected to the Spring Valley Water System.³ The discovery of gold in Alaska in 1896 bolstered the regional economy, and residential building increased in earnest, through the turn of the nineteenth century until the earthquake and fire of 1906.

Corbett Heights was largely unaffected by the earthquake and fire, and saw an influx of new development following 1906, both because the area seemed comparatively safe and because subsidies were made available for new housing construction.⁴ Building continued as the city anticipated huge new growth from the opening of the Panama Canal.

The Clover Heights Subdivision was established by the Anglo American Land Company in 1913, during this period of growth and economic optimism. Located on a site that rose very steeply to the southwest, Clover Heights was generally divided into gridded blocks, with one street — Seward — whose alignment responded to the topography (**Figure 20**). The Clover Heights grid incorporated a pedestrian alley called Clover Lane and a sewer easement in the middle of the block which were modified as part of a system of automobile alleys, marking Clover Heights as an early automobile era subdivision. Clover Heights was also the first subdivision in the City to be impacted by new requirements for public notice and comment before city approval.⁵ Public comment by members of the Eureka Valley Improvement club did lead to the delay of approval of the Clover Heights subdivision, and resulted in a revision to the design of the area’s street plan.

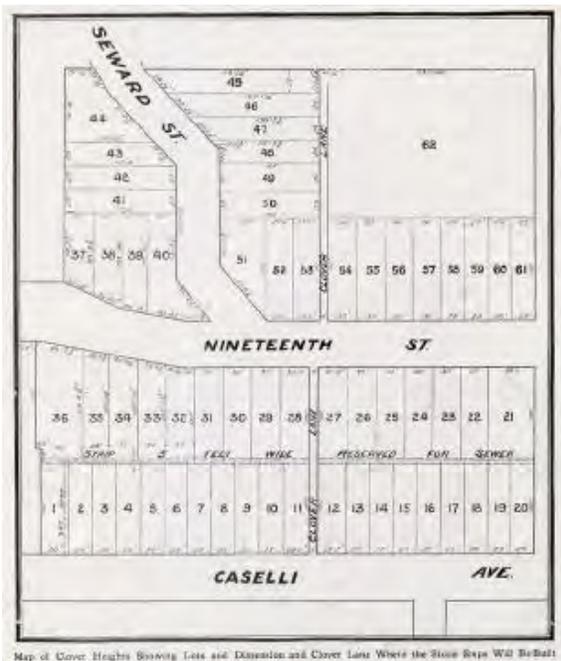


Figure 20. Clover Heights Subdivision Map, ca. 1913. (Anglo American Land Company n.d.). Source: Glenn D. Koch Collection, via Michael Corbett.

Advertisements for houses and lots in Clover Heights first appeared in the newspapers in September and October 1913. Due in part to the area’s automobile reliance, as well as the views afforded by its location and the quality of the developer-built housing, Clover Heights was marketed to middle-class residents, who might work in offices downtown, rather than working

³ Corbett, 14.

⁴ Ibid., 101.

⁵ Ibid., 110.

class tradesmen and factory workers who already lived in the area. Houses that were constructed in Clover Heights during its initial period of development, exemplified by the row of eight, Craftman-style two-story stucco clad houses from 49 to 85 Caselli Street (all extant), were described as “Homes of Distinctive Charms” — “Beautiful two-story homes, 6 rooms and bath... Finished in Elm and Pine. Open fireplaces, hardwood floors, sunporch. French sliding doors, mirror, paneled closets and artistic wall finishings.”⁶

Construction in Clover Heights, as well as in the rest of the City, slowed to a near complete stop during World War I, and did not pick up again in earnest until the mid-1920s. During the last few years of the 1920s, many of the undeveloped lots in Clover Heights as well as Park Lane Tract (north of Seventeenth Street) were sold by their original development companies to smaller developers, who filled the streets with more modest, builder-designed single-family houses, such as the subject property.

This short real estate boom ended with the Great Depression. New construction came to a standstill until the passage of the Federal Housing Act in 1934, which through its provision of federally guaranteed loans resulted in a substantial number of new houses built in Corbett Heights between 1934 and 1942.

Construction stopped again during World War II, due to government restrictions on building materials, but, as throughout San Francisco and the Bay Area, many existing homes, including the subject property, were modified to include additional rental units for war-industry workers. This era saw a demographic shift in the neighborhood as well, as the working-class population increased, eclipsing what had formerly been a more middle-class population.⁷

Post-World War II construction in Corbett Heights was mostly confined to steeper and more difficult sites, which were essentially what was “left” as the neighborhood filled in (**Figure 21**). By 1960, developers began building multi-unit apartment buildings in Corbett Heights, with integrated parking for each unit. New construction took place both on small lots where existing single-family homes were demolished, and on larger, assembled lots, which could support larger buildings. These new multi-unit buildings disrupted a generally consistent residential scale in the neighborhood, and increased density, traffic, and the load on public services of all kinds. This period of multi-unit apartment building



Figure 21. 1963 view west of new apartment buildings on Seward Street. Source: San Francisco Historic Photograph Collection, Photo ID#AAC-1594.

⁶ Corbett, 113.

⁷ Ibid.

construction ended in 1973, when comprehensive height and bulk controls were adopted citywide.

After 1973, Corbett Heights was generally built-out, and the area has seen little new construction in the contemporary era. Gentrification of the neighborhood began in the 1970s-1980s, and the population underwent a more thorough transformation from a working-class area to a neighborhood of high-priced real estate.

Historical Development of 50 Seward Street

50 Seward Street is located within the historic boundary of the Clover Heights subdivision, and appears to be located on what was the southernmost parcel in that subdivision (see Figure 20). However, the parcel and all other Clover Heights parcels on Seward Street remained undeveloped during the first phase of development of the subdivision, which happened between 1913 and the start of World War I. The 1914 Sanborn Map shows some portions of Clover Heights developed along Caselli Avenue, while the lots on Seward Street remained completely undeveloped (Figure 22). The lot that would eventually hold 50 Seward Street was part of a larger undivided lot.

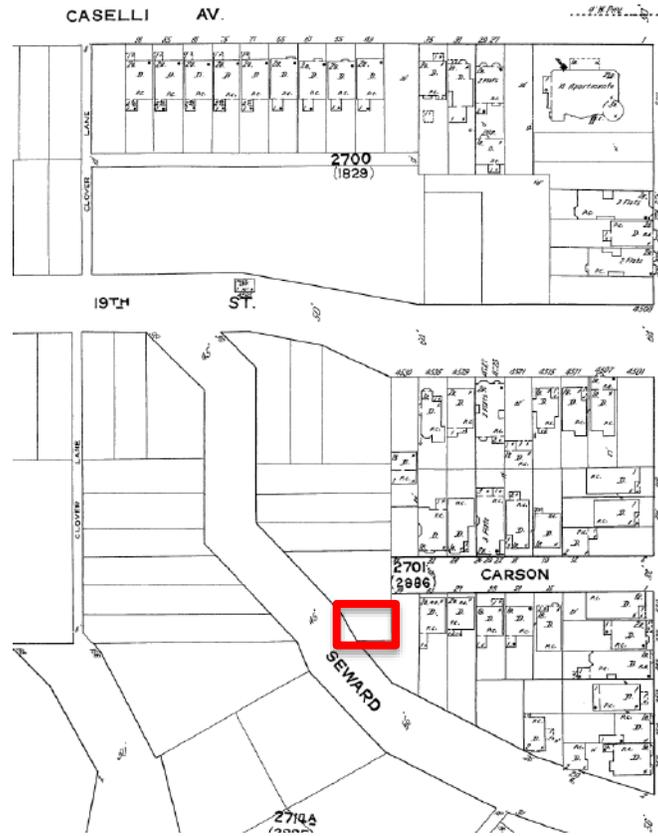


Figure 22. 1914 Sanborn Map, Volume 7, Sheet 688, edited, with the future site of 50 Seward Street outlined in red. Source: San Francisco Public Library.

In February 1928, fifteen years after the first phase of development in Clover Heights, original developer Anglo American Land Co. sold sixteen undeveloped lots on Seward Street and 19th Street to small-scale real estate developer William S. Barron. Barron was issued a permit for new

construction at 50 Seward Street on March 26, 1928.⁸ Permit details describe a two-story frame single-family dwelling on a cement foundation with rustic (shingle) and stucco siding capped with a tar and gravel roof. The builder was H. H. Putnam, of Burlingame, California, and the cost of construction was \$4,000.

Upon completion of construction, ownership passed briefly back to the Anglo American Land Co., then to Barron again, before again being transferred to a title company in 1930. Real estate advertisements in the *San Francisco Chronicle* reflect some difficulty in selling the property, likely due to the arrival of the Great Depression in 1929: in March through May of 1930, the house was listed for sale, for \$50 per month with a low down payment, for a total cost of \$5850 due to foreclosure. The house was described at that time as a “Modern 6 room home,” and the location was optimistically described as just 15 minutes from 3rd and Market streets.

The subject property is visible in a 1938 aerial photograph with the same footprint it has today (**Figure 23**). Elsewhere on the subject block, the cookie-cutter repetition of the 16 houses constructed by Barron is plainly visible. The lot directly south of the subject property and the steep slope at the center of the west side of the block were the only undeveloped portions of the block.



Figure 23. 1938 aerial photograph showing 50 Seward Street (outlined in red) and the rest of Seward Street.
Source: Harrison Ryker, photographer, available online at www.davidrumsey.com.

⁸ San Francisco Building Permit #669340, issued March 26, 1928, on file with the San Francisco Department of Building Inspection, Records Management Division.

Research indicates that the subject property was occupied by renters in the first few decades after it was constructed (owner and occupant history is detailed in the following section of this report). Like many other residences that were constructed for single-family use, 50 Seward Street was altered during World War II to include an additional rental unit: in 1941, what had been the basement was altered to include a new window, plasterboard walls, a pine floor, new doors, and wall-papered sides.⁹ The building was altered again in 1949 with the installation of asbestos siding to the sides and rear, and an unidentified alteration.¹⁰

The 1950 Sanborn Map shows the subject property with the same footprint it has today (**Figure 24**). Elsewhere on the block, conditions were largely unchanged from the 1938 photograph. Surrounding blocks, including 19th Street and Caselli Street, were completely built-out by this time. The steep slope at the center of the west side of Seward Street remained undeveloped.



Figure 24. 1950 Sanborn Map, Volume 7, Sheet 688, edited, with 50 Seward Street outlined in red. Source: San Francisco Public Library.

⁹ San Francisco Building Permit #64818, issued September 10, 1941, on file with the San Francisco Department of Building Inspection, Records Management Division.

¹⁰ San Francisco Building Permit #106306, issued April 27, 1949, on file with the San Francisco Department of Building Inspection, Records Management Division.

In 1954, alterations were made to the foundation and the interior grade of the left (north) side.¹¹ In 1964, windows were replaced in the master bedroom, and in 1966, the garage opening and driveway were widened.¹² Alterations outside of the historic era (less than 50 years ago) are detailed in the following table, and include the construction of a hood or peak at the roof in 1980, which appears to have been removed during reroofing in 1994, stucco replacement, painting, and interior remodels.

A Sanborn Map updated to the mid-1990s by the San Francisco Planning Department shows the subject property with the same footprint it has today (**Figure 25**). Elsewhere, the block of Seward Street was completely built-out, with the larger, Modern apartment buildings that were constructed between 1958 and 1974 visible on the west side of the block. The only undeveloped lot is the current site of Seward Mini Park. Conditions were generally unchanged on surrounding blocks, including 19th Street and Caselli Street, although additional apartment buildings had been constructed to the west, on Corwin Street.



Figure 25. Mid-1990s Sanborn Map, Volume 7, Sheet 688, edited, with 50 Seward Street outlined in red. Source: San Francisco Planning Department.

¹¹ San Francisco Building Permit #150402, issued August 18, 1954, on file with the San Francisco Department of Building Inspection, Records Management Division.

¹² San Francisco Building Permit #271757, issued March 8, 1964, and #299702, issued October 7, 1966, on file with the San Francisco Department of Building Inspection, Records Management Division.

Building Permits for 50 Seward Street, Filed with the San Francisco Department of Building Inspection, Records Management Division

Date Issued	Permit Number	Work Completed
03/26/1928	669340	New construction of a two-story single-family frame building. Owner: William S. Barron. Builder: H. H. Putnam. Cost: \$4,000.
09/10/1941	64818	Basement sealed with ½ inch plasterboard. One window to be installed. Wall-papered sides, Wall-tex overhead, pine floor. Two doors, one 80x32 and one 80x24 inch. Electric wiring to be installed later.
04/27/1949	106306	Apply asbestos siding. Certificate of final completion describes work as "Alteration and siding, front, side and rear of building."
08/18/1954	150402	Raise foundation at left side center and replace damaged wood. Lower interior grade at left wall. Lower grade at inside steps. Remove and replace damaged wood members at toilet and shower, repair shower and reseal toilet.
03/08/1964	271757	Put up sheetrock on walls and ceiling of master bedroom and replace windows.
10/07/1966	299702	Widen present garage opening to 9' 6". Make driveway 2' wider. Install garage door.
09/29/1980	464399	Paint front of building. Construct a hood or peak on existing roof. Peak is made to be [crossed out] higher than the existing roof level and runs parallel with same. The base or bottom part of peak measures 9" from face of building to the end.
02/01/1982	478517	Remove cracking stucco at window level, approximately 3 ft., also overhang under windows. Replace dry rot and replace with stucco. No structural work.
07/24/1987	572272	Install sheetrock at front room, hallway and kitchen.
03/31/1994	143372	Remove existing roof and install new roof.
06/08/2015	1359705	Remove and replace windows, 13 total, six in the front and seven at the side and rear. Rear and sides fiberglass.

Only one alteration beyond what is specifically described in the permit record was observed during the May 15, 2017 site visit: the primary entrance has been altered to include a non-historic paneled wood door flanked by two-lite side-lites with frosted glass, set in thick wood frames (see Figure 3). Estimated date of this alteration is c. 1960.

Ownership History

First owner William S. Barron lived in Burlingame, California at the time the subject property was constructed.¹³ Barron was born in Kansas in about 1893.¹⁴ In 1920 he lived in Fresno, California with his brother, and worked as a groceryman.¹⁵ In 1927 and 1928, Barron developed several small-scale real estate developments in San Francisco, which are described in the following section of this report. Barron appears to have experienced financial set-backs associated with the Great Depression: while the 1928 voter registration roll for San Mateo County described Barron as a builder, in 1930 he was described as a laborer, boarding with builder H. H. Putnam (builder of the subject property). By 1933, Barron was a salesman for Lang Realty Co., in San Mateo County, and in 1940 he had married and lived in Redwood City, though the Federal Census for that year does not list his occupation.¹⁶ No other information about William S. Barron was uncovered in the course of biographical and newspaper archive research. William S. Barron died in 1979, in the town of San Andreas, in Calaveras County, California.¹⁷

After constructing the subject property, Barron sold it back to the Anglo American Land Co. in 1928, but he owned it again briefly in 1930: after 1930, the property was owned by a series of loan and estate companies until 1940, when it was purchased by William and Mary Pomroy. The Pomroys lived in San Mateo during the time that they owned the property, which was less than one year.¹⁸ (Known renters of 50 Seward Street are listed in table form in the following section of this report.)

On May 1, 1941, Joseph M. and Lydia Bell purchased 50 Seward Street. Joseph M. Bell was an engineer and the couple lived at the property for the four years that they owned it. No other information about the Bells was uncovered in the course of biographical and newspaper archive research.

On July 9, 1945, the Bells sold 50 Seward Street to Allen F. Stockdale. Although Stockdale owned the property for nine years, through 1954, City Directories only list him at 50 Seward Street in 1949, after which year he is not listed in the City at all. Allen F. Stockdale was born in Missouri in 1910, and served as a U. S. Marine through his entire adult life.¹⁹ He died in Santa Clara, California on August 8, 1981.²⁰

On July 8, 1954, Allen F. Stockdale sold 50 Seward Street to Kenneth L. and Myrtle Drago. The Dragoos owned the property for three years, until 1957. Kenneth Drago was a teacher in the San Francisco Unified School District, and Myrtle was a shop clerk, but the couple did not live at the property in the time that they owned it. The Dragoos divorced in 1956, and ownership passed fully to Myrtle Drago.

¹³ 1928 California Voter Registration rolls for San Mateo County, California. Accessed at Ancestry.com.

¹⁴ 1930 United States Federal Census for William S. Barron. Accessed at Ancestry.com.

¹⁵ 1920 United States Federal Census for William S. Barron. Accessed at Ancestry.com.

¹⁶ 1933 San Mateo County Directory and 1940 United States Federal Census for William S. Barron. Accessed at Ancestry.com.

¹⁷ California Death Index, 1940-1997 for William S. Barron. Accessed at Ancestry.com.

¹⁸ 1940 California Voter Registration rolls for San Mateo County. Accessed at Ancestry.com.

¹⁹ 1930 and 1940 United States Federal Censuses for William S. Barron. Accessed at Ancestry.com.

²⁰ California Death Index, 1940-1997 for Allen F. Stockdale. Accessed at Ancestry.com.

On March 12, 1957, Myrtle Dragoo sold 50 Seward Street to Alan P. and Carol B. Ritchie. The Ritchie family owned the property for 58 years, through 2015. Alan Pembbridge Ritchie was a British citizen born in Apia, Samoa in 1917.²¹ He arrived to San Francisco in 1946 from Auckland, New Zealand, as a salesman, an occupation he would keep his entire adult working life.²² In 1948 he married his wife Carol (nee Owens), born in Ogden, Utah, and he became a naturalized U. S. citizen in 1949. The Ritchies rented 50 Seward Street for five years before they purchased the property, and lived there through at least 1982, the last year City Directories are digitally archived. Carol Ritchie died in 2003 and Alan Ritchie died in 2007, both in San Francisco.²³ Although specific information about the Ritchie children was not uncovered during research, presumably next owners Patricia Ann Ritchie, Tina Loraine Perdices, and Alan Steven Ritchie Jr. were descendants of Alan and Carol Ritchie. The current owners purchased the property from Tina Loraine Perdices and Alan Steven Ritchie Jr. on September 11, 2015.

All available information about ownership of 50 Seward Street is included in the following table and is sourced from the Sales Ledger held by the San Francisco Assessor-Recorder’s Office.

Date	Grantor	Grantee
02/29/1928	Anglo American Land Co.	William S. Barron
10/10/1928	William S. Barron	Anglo American Land Co.
02/13/1930	William S. Barron	Home Mutual Deposit Loan Co.
06/17/1938	Home Mutual Deposit Loan Co.	Sterling Estate Co.
06/20/1938	Sterling Estate Co.	H. M. Frederick
11/21/1938	H. M. Frederick	Adele Heywood
Unspecified	Unspecified	Sterling Estate Co.
07/11/1940	Sterling Estate Co.	Association of San Francisco
08/14/1940	Association of San Francisco	William and Mary Pomroy
05/01/1941	William and Mary Pomroy	Joseph M. and Lydia Bell
07/09/1945	Joseph M. and Lydia Bell	Allen F. Stockdale
07/08/1954	Allen F. Stockdale	Kenneth L. and Myrtle Dragoo
10/01/1956	Unspecified	Myrtle Dragoo
03/12/1957	Myrtle Dragoo	Alan P. and Carol B. Ritchie
03/01/1993	Alan P. and Carol B. Ritchie	Ritchie Family Trust
09/02/2008	Ritchie Family Trust	Patricia Ann Ritchie Life Estate
12/22/2014	Patricia Ann Ritchie Life Estate	Tina Loraine Perdices and Alan Steven Ritchie Jr.
09/11/2015	Tina Loraine Perdices and Alan Steven Ritchie Jr.	Kyle C. Johnson and Kelley A. Friedgen

Occupancy History

As introduced above, 50 Seward Street was occupied by renters intermittently from its construction in 1928 through 1968. Although discovering information about renters prior to 1953 is difficult, all available information about known renters is included here.

²¹ California, Federal Naturalization Records, 1843-1999 for Alan Pembbridge Ritchie. Accessed at Ancestry.com.

²² California, Passenger and Crew Lists, 1882-1959 for Pembbridge Ritchie. Accessed at Ancestry.com.

²³ Alan Pembbridge Ritchie and Carol Owens Ritchie in the U.S., Social Security Death Index, 1935-2014. Available at Ancestry.com.

Year	Occupant	Occupation	Source
1929	John Lloyd Umphrey and wife	Service man, Byington Electrical Corp.	<i>San Francisco Chronicle</i> , Dec 31, 1929
1950	Richard Joseph Radomski and wife		<i>San Francisco Chronicle</i> , Nov 18, 1950
1951	Walter A. Jenvin and wife		<i>San Francisco Chronicle</i> , September 25, 1951
1953	Alan P. and Carol B. Ritchie	Salesman	San Francisco City Directory
1958	John Cerovac	Employee, Frank P. Dow Co.	San Francisco City Directory
1959	Dawn V. Ridell		<i>San Francisco Chronicle</i> , October 9, 1959
1960	Robert Youngblood	USA Reserve	San Francisco City Directory
1968	Terry D. Ross	Law student	<i>San Francisco Chronicle</i> , December 17, 1968

Architectural Style: Mediterranean Revival Style

In the years between 1920 and 1950, San Francisco’s real estate developers and builders favored a variety of Period Revival styles, including Mediterranean Revival, Spanish Colonial Revival, Tudor Revival, and French Provincial. This trend is often credited to the overseas experiences of American soldiers during World War I, who were exposed to the residential architecture of the European countryside.²⁴ During the Post-World War I era of rapid residential development in San Francisco, real estate developers and builders drew from this range of Period Revival styles, often mixing and matching their architectural details, to create individualized façades on rows of otherwise identical new housing, unified by materials, setback, massing, and form. This form of development characterizes large swaths of the City’s western and southern neighborhoods.

Mediterranean Revival is an umbrella term, often used interchangeably with the term “Spanish Colonial Revival,” that encompasses design elements associated with Italian domestic buildings and the Moorish architecture of North Africa.²⁵ Mediterranean Revival style buildings include at minimum red Spanish clay tile roofs, stucco walls, and arched window and door openings. Significant examples of the Mediterranean Revival style typically display complexity of design, expressive massing, and articulated façades, with a full expression of façade details including arched door openings and windows, often in a ganged configuration; muscular chimney stacks and/or towers; and ornamentation including molded rope mullions, vigas, cartouches, machicolations, and niches (**Figure 26**).²⁶ Restrained versions of the style, modified for rapid and inexpensive construction, incorporate some of these features, but are more likely to include flush

²⁴ Mary Brown, San Francisco Planning Department, *Sunset District Residential Builders, 1925-1950 Historic Context Statement* (San Francisco, 2013) 82.

²⁵ *Ibid* 89.

²⁶ *Ibid*.

façades, simple plans, and minimal ornamentation, and do not generally qualify as architecturally significant (**Figure 27**).²⁷

The Mediterranean Revival style remained popular in San Francisco through the end of the 1940s, and was largely supplanted by the rise of Modernism, which eschewed reliance on historical referents. However, Mediterranean-inflected architecture remains popular to this day, and the style's most basic elements, including red tile roofing and stucco cladding, can be seen in the tract housing throughout the state's suburban and exurban neighborhoods.



Figure 26. Architect-designed Mediterranean Revival style building in the Seacliff district, 330 Seacliff Avenue. Source: Chris VerPlanck.



Figure 27. Developer-built Mediterranean Revival style building in the Sunset district, 1443 31st Avenue. Source: San Francisco Planning Department.

Developer William S. Barron and Builder H. H. Putnam

As previously introduced, William S. Barron was a small-scale real estate developer who was active in San Francisco in 1927 and 1928. The development of 16 houses on Seward Street (with two on 19th Street) in 1928 appears to have been his largest real estate effort: other Barron development projects mentioned in the *San Francisco Chronicle* include eleven one-story single family dwellings on Prague Street near Russia Street in the Excelsior district (1927) (**Figure 28**); two single-family residential buildings on Beverly Street in Merced Heights (1928); three one-story single family dwellings on Broad Street near Orizaba Avenue in the Oceanview neighborhood (1928); and five one-story single-family dwellings on Ralston Street in Merced Heights (1928) (**Figure 29**). Barron's real estate development career appears to have been completely curtailed by the arrival of the Great Depression, as he is not listed in the *Chronicle* with any association to real estate transactions after 1928.

²⁷ Ibid.



Figure 28. Houses developed by William S. Barron in 1927, on the west side of Prague Street, north of Russia Street. Source: Google Maps.



Figure 29. Houses developed by William S. Barron in 1928, on the west side of Ralston Street, north of Shield Street. Source: Google Maps.

For Barron's development project on Seward Street he partnered with builder H. H. Putnam, who was also based in Burlingame, California.²⁸ Putnam does not appear through biographical and newspaper archive research to have had a particularly robust practice, and although he was sporadically involved in construction and real estate transactions in San Mateo County and San Francisco in the last few years of the 1920s, no other specific examples of his construction work were identified in the course of research for this report.

Determination of Historic Significance

The California Register is an authoritative guide to significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-eligible properties (both listed and formal determinations of eligibility) are automatically listed. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. These include properties identified in historical resource surveys with Status Codes of 1 to 5 and resources designated as local landmarks or listed by city or county

²⁸ "Putman and Wright to Winter in Bay Region," *San Francisco Chronicle*, November 23, 1930.

ordinance. The eligibility criteria used by the California Register are closely based on those developed by the National Park Service for the National Register of Historic Places (National Register). In order to be eligible for listing in the California Register a property must be demonstrated to be significant under one or more of the following criteria:

Criterion 1 (Event): Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

Criterion 2 (Person): Resources that are associated with the lives of persons important to local, California, or national history.

Criterion 3 (Design/Construction): Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.

Criterion 4 (Information Potential): Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California or the nation.

Criterion 1 (Event): Research has determined that 50 Seward Street is not associated with any specific significant historic events. Regarding broad patterns of history, the house was constructed in 1928, during the period of generally rapid real estate construction in San Francisco between the close of World War I and the start of the Great Depression. However, 50 Seward Street is one among innumerable extant houses in the City that were built during this era, and is not *individually* able to represent this pattern of events. For these reasons, 50 Seward Street is not eligible for the California Register under Criterion 1 (Event).

Criterion 2 (Person): 50 Seward Street is not associated with any historically significant persons. The first owner was a small-scale real estate developer. Subsequent owners and occupants held working- and middle-class occupations such as teacher, clerk, serviceman and salesman, and did not make any significant contributions to the history of San Francisco, the state or the nation. Therefore, 50 Seward Street is not eligible for the California Register under Criterion 2 (Person).

Criterion 3 (Design/Construction): 50 Seward Street was designed in the Mediterranean Revival style, and while it does include the basic characteristics of that style, including stucco cladding red tile roofing material, and an arched opening to the recessed entry, it does not include other architectural features and details which give this style its distinctive character, including complexity of design, expressive massing, articulated façades, arched windows, muscular chimney stacks and/or towers, and ornamentation including molded rope mullions, vigas, cartouches, machicolations, and niches. Further, the house was not designed by an architect, but was constructed by a small-scale developer and builder: and therefore the house can not be said to be the work of a master, nor does it possess high artistic values. For these reasons, 50 Seward Street is not eligible for the California Register under Criterion 3 (Design/Construction).

Criterion 4 (Information Potential): Evaluation of 50 Seward Street under Criterion 4 (Information Potential) is beyond the scope of this report. This criterion is generally applied to sites of potential archeological importance.

In sum, this evaluation finds that 50 Seward Street is not individually significant under any criterion and is therefore not individually eligible for listing in the California Register.

Potential Historic District

Following previously-provided guidance from staff of the San Francisco Planning Department regarding the evaluation of a property for inclusion in a potential district, Seward Street between 19th and Douglass streets is evaluated here as a potential historic district. As previously introduced, Seward Street contains two dominant property types: two-story Mediterranean Revival-style single-family dwellings like the subject property, constructed in 1928 and 1929, and three- to four-story Modern-style multi-unit residential buildings, constructed between 1959 and 1974. Properties on the block constructed outside of these two most common time periods represent mixed dates of construction, ranging from 1906 to 1984, and a range of architectural styles. Based on the broad range of construction dates and architectural styles present on the block, the block as a unit does not appear to constitute a historic district according to guidance in the National Park Service in *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, which defines a district as “a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development,” which is “important for historical, architectural, archeological, engineering, or cultural values.”²⁹

The 16 two-story, Mediterranean Revival-style single family houses on the block constructed in 1928 and 1929 by William S. Barron and builder H. H. Putnam, including the subject property, do exhibit the required concentration of buildings historically and aesthetically united by plan and physical development, but they lack the level of historical, architectural, or cultural importance necessary to be considered a historically significant district. As discussed in the evaluation of the subject property, these 16 houses were constructed during the period of rapid real estate construction in San Francisco between the close of World War I and the start of the Great Depression, but they are one of innumerable extant examples of this pattern of construction that occurred during this period, present in all of the City’s southern and western neighborhoods, and do not represent this pattern to a unique or specific degree that they would be considered historically significant. The 16 houses have no connection as a group to significant persons. And, while the 16 houses are unified by their Mediterranean Revival style, they reflect the most basic elements of the style, including stucco cladding, red tile roof cladding, and arched openings, rather than the full expression of the style which would make them significant for their architecture. Overall the 16 houses on the subject block constructed in 1928 and 1929 do not display important historical, architectural, or cultural value to a degree that they would be considered a historically significant district.

The draft version of the Corbett Heights Historic Context Statement currently in review by the San Francisco Planning Department includes a preliminary finding that the Clover Heights subdivision merits further study as a potential historic district.³⁰ The Clover Heights subdivision appears to have been the first development in San Francisco “whose design was shaped in substantial part by public opinion and city policy, as opposed simply to the goals and ideas of a developer and

²⁹ U. S. Department of the Interior, National Park Service, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (Washington, DC: 1990, revised for the internet 2002) no page. Available at Nps.gov.

³⁰ Corbett, 190.

architects.”³¹ As described in the Context Statement, the neighborhood is readily identifiable as a distinctive area because it includes a cohesive concentration of stucco-clad houses constructed around the same time, with few exterior alterations. While the influence of public opinion and city policy on the plan of Clover Heights may represent a historically significant event in the development of planning policy in San Francisco, it is not accurate to say that all of the houses in the Clover Heights subdivision were constructed around the same time and represent a visually cohesive district. The first homes in the subdivision were constructed in 1913 and were architect-designed, Craftsman- and Mission Revival-style homes, well-appointed with sun-porches, French sliding doors, mirror-paneled closets, and artistic wall finishes.³² The development of Clover Heights was interrupted by World War I, during and after which the undeveloped lots in the subdivision sat dormant for over ten years. In 1928, the developer of Clover Heights, the Anglo American Land Co., sold 16 undeveloped lots to the independent real estate developer William S. Barron. Barron and his builder H. H. Putnam constructed 16 homes in a minimal interpretation of the Mediterranean Revival style, with few if any of the interior features that characterized the first wave of development in Clover Heights. Although Barron briefly sold at least one of the houses he constructed back to the Anglo American Land Co., the houses within Clover Heights subdivision that were constructed in 1928 and 1929 clearly represent a second and different phase of development within the original boundaries of the subdivision, rather than the “readily identifiable distinctive area” described in the Context Statement. For this reason, while the Clover Heights subdivision may merit further study as a potential historic district in relation to its historic role in the development of planning policy in San Francisco, the houses located within the Clover Heights subdivision were constructed in at least two distinct phases, and they do not constitute an architecturally unified concentration of buildings.

Conclusion

50 Seward Street was constructed in 1928, during a period of residential growth that was taking place throughout the City in the years after World War I but before the great Depression. It was one of 16 nearly identical houses constructed in the vicinity by small-scale real estate developer William S. Barron and builder H. H. Putnam. Ownership of the house was held by bank and title companies before 1940, after which time the property changed hands five times before it was purchased by the current owner in 2015. This evaluation finds that 50 Seward Street is not individually eligible for listing in the California Register of Historical Resources (California Register) under any significance criterion. Additionally, the property is not eligible as part of a district for listing in the California Register of Historical Resources (California Register) under any significance criterion. Additionally, while the Corbett Heights Historic Context Statement includes a preliminary finding that the Clover Heights subdivision merits further study as a potential historic district, the subject property is representative of a second wave of residential development in Clover Heights, completed by a different developer and in a different architectural style, and for this reason does not appear to contribute to a cohesive, architecturally-unified concentration of buildings such that it would be considered part of a historic district.

³¹ Ibid.

³² Ibid, 113.

Bibliography and Works Consulted

A. Published and Unpublished Books, Articles, and Reports

Brown, Mary, San Francisco Planning Department. *Sunset District Residential Builders, 1925-1950 Historic Context Statement*. San Francisco: 2013.

Corbett, Michael. *Corbett Heights, San Francisco (Western Part of Eureka Valley) Historic Context Statement*. San Francisco: 2017.

Sanborn Fire Insurance Company: Sanborn Maps for San Francisco: 1899, 1905, 1915, 1950 and mid-1990s.

San Francisco City Directories: 1925-1982.

San Francisco Planning Department. CEQA Review Procedures for Historical Resources. San Francisco: 2005.

U.S. Department of the Interior, National Park Service. National Register Bulletin 16: "How to Apply the National Register Criteria for Evaluation. Washington, D.C.: rev. ed. 2002.

B. Public Records

California Death Index: 1940-1997.

CEQA Guidelines subsection 15064.5(b).

San Francisco Office of the Assessor-Recorder: Sales Ledgers and deeds for 50 Seward Street.

San Francisco Bureau of Building Inspection, Records Management Division: Building and alteration permits on file for 50 Seward Street.

U.S. Bureau of the Census. Records for City and County of San Francisco, 1900-1940.

United States Petitions for Naturalization.

C. Newspapers

San Francisco Chronicle

Appendix A: Building Permits for 50 Seward Street on file with the SF DBI-Records Management Division.

169340

No.

APPLICATION

OF

W. S. BARRON
for Permit to erect a

Owner

two story frame building

Location E. 11th Seward

241 1/2 - 1/8 S. of 19th

Filed

MAR 30 1928

W. S. Barron
MAR 30 1928

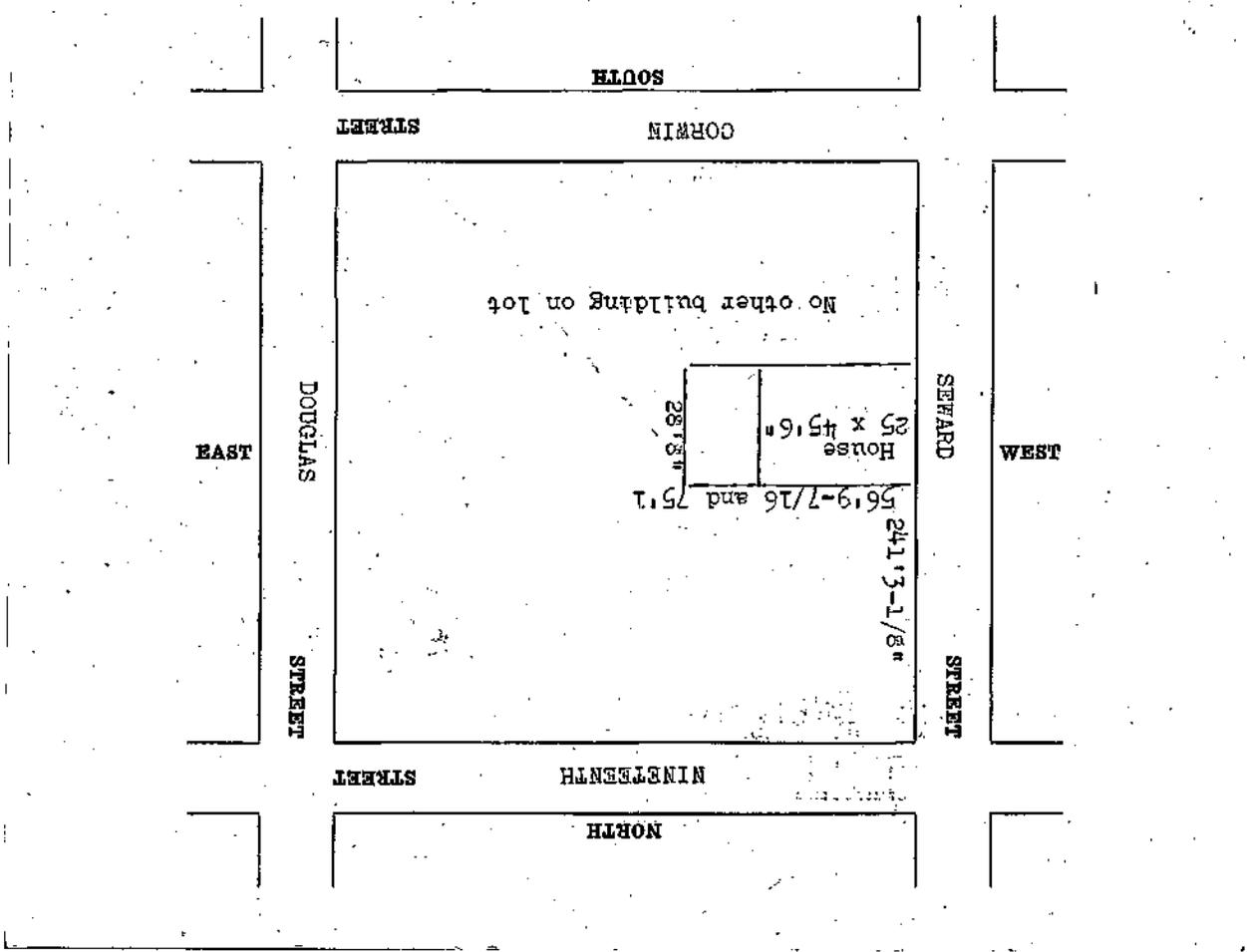
Approved:

Henry E. Phillips

CHIEF BUILDING INSPECTOR
Chief Building Inspector.



OFFICIAL COPY



OFFICIAL COPY



MARK STREET LINE ON PLANS

N. S. & K.—66659

WRITE IN INK—FILE TWO COPIES

Applicant must indicate in ink correctly and distinctly on the back of this sheet, a diagram of the lot with street, alleys, location of existing buildings on the lot, if any, and location and dimensions of proposed buildings. Plans and specifications must be fastened together.

APPLICATION FOR BUILDING PERMIT
FRAME BUILDING

Application is hereby made to the Board of Public Works of the City and County of San Francisco for permission to build two story frame on the lot situated E. line of Seward, 241'3-1/8" S. of 19th

in accordance with the plans and specifications submitted herewith.

The building law shall be complied with in the erection of the building, whether otherwise specified or not.

Estimated cost of building \$ 4000.00 Building to be occupied as residence By No. 1 Families.

Size of Lot 32'6" feet front 28'8" feet rear 56'9-7/16" and 75'1" feet deep.

Size of proposed building 25' ft. by 45'6" ft.

Height from curb to top of roof beams in center of front 16 ft.

Height in clear of basement or cellar 7-6 ft. Height in clear of first story 8 ft.

Height in clear of second story 8 ft. Height in clear of third story ft.

Foundation to be of cement thickness, on top 8 inches

Width of footings 16 inches. Greatest height of foundation walls 2 ft.

Size of studs in basement (underpinning) 2 by 6 inches 16 inches on centers.

Size of studs in first story 2 by 4 inches 16 inches on centers.

Size of studs in second story by inches inches on centers.

Size of studs in third story by inches inches on centers.

Wall covering to be of Rustic & Stucco outside, and Plaster inside.

First floor joists 2 by 10 inches 16 inches on centers. Longest span between supports 16 ft.

Second floor joists by inches inches on centers. Longest span between supports ft.

Third floor joists by inches inches on centers. Longest span between supports ft.

Rafters 2 by 6 inches 32 inches on centers. Longest span between supports 16 ft.

Roof covered with tar & gravel

Studs in bearing partitions 2 by 4 inches

Chimneys of 3 terra cotta

There shall be no encroachments upon the street or sidewalk none

I hereby agree to save, indemnify and keep harmless the City and County of San Francisco against all liabilities, judgments, costs and expenses which may in any wise accrue against said city and county in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk placed by virtue thereof, and will in all things strictly comply with the conditions of this permit, and the Building Law.

Architect
Address
Builder H. H. Putnam
Address 2508 Easton Drive, Burlingame, Cal.

Owner [Signature]
Address Burlingame, Cal.
By

(NOTE—the owner's name must be signed by himself or by his Architect or authorized agent.)



BLDG. FORM.

3 APPLICATION OF

FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS OR REPAIRS TO BUILDING

Location 50 Seward St

Cost \$15.00

Filed 19

APPROVED: J. M. Bell

SEP 10 1941

Superintendent of Bureau of Building Inspection

Permit No.

Issued

8/19/41 Removable window area 1 1/2 floor area. Reinforce 1st & 2nd floor. J.M. Bell

APPROVED:

Superintendent Bureau of Building Inspection

APPROVED: AUG 20 1941

Johnson City Planning Commission

APPROVED:

Director of Public Health

APPROVED:

Department of Electricity

APPROVED:

Bureau of Engineering

APPROVED:

Art Commission

BUREAU OF FIRE PREVENTION AND INVESTIGATION

Construct and Install on Building to Satisfaction of Bureau of Fire Prevention the Following Fire Protection Equipment and Appliances

- F. D. (Dry) Standpipes
Wet Standpipes
Hose Reels
Tanks
Downpipes
Automatic Fire Pumps
Automatic Sprinkler System
Water Service Connection
Groundfloor Pipe Casings
Refrigeration
Incinerators

APPROVED:

FRANK P. KELLY, CHIEF Division of Fire Prevention and Investigation

By F. J. Kelly 8/20/41

OFFICIAL COPY



CENTRAL PERMIT BUREAU P. NO. 435

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
CENTRAL PERMIT BUREAU
APPLICATION FOR BUILDING PERMIT

ALTERATION

Aug 18 1941

Application is hereby made to the Department of Public Works of the City and County of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 50 Seward St.
(2) For what purpose is present building now used? Dwelling
(3) For what purpose will building be used hereafter? Dwelling
(4) Total Cost \$ 75.00
(5) Description of work to be done. Basement Sealed with 1/2 inch Plaster Board One Window To Be Put In Wall Papered Sides Wall Top overhead Pine Floor Two Doors One 80 inch By 32" One 24 inch By 80 inch. Electric Wiring To Be Installed later.
(6) Contractor (DOES) carry Workmen's Compensation Insurance.
(7) Supervision of construction by

Address

I hereby certify and agree, if a permit is issued, that all the provisions of the BUILDING LAW, THE BUILDING ZONE ORDINANCES, SET BACK LINE REQUIREMENTS AND THE FIRE ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO and the STATE HOUSING ACT OF CALIFORNIA will be complied with, whether herein specified or not; and I hereby agree to save, indemnify and keep harmless the City and County of San Francisco against all liabilities, judgments, costs and expenses which may in anywise accrue against said city and county in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk placed by virtue thereof, and will in all things strictly comply with the conditions of this permit.

- (8) Architect
Certificate No. License No.
State of California City and County of San Francisco
Address
(9) Engineer
Certificate No. License No.
State of California City and County of San Francisco
Address

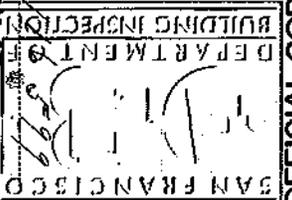
- (10) Plans and specifications prepared by
Other than Architect or Engineer
Address

- (11) Contractor J.M. Bell owner
License No. License No.
State of California City and County of San Francisco
Address

- (12) Owner J.M. Bell
Address 50 Seward St.

By Owner's Authorized Agent.

THE DEPARTMENT WILL CALL UP TELEPHONE NO. IF ANY ALTERATIONS OR CHANGES ARE NECESSARY ON THE PLANS SUBMITTED.



BLDG. FORM

No. 3 APPLICATION OF

Allen Rodwell Owner

FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS or REPAIRS TO BUILDING

Location 50 Duward St

Total Cost \$ 1022.00

Filed APR 25 1949 194

Approved: APPROVED Dept. Public Works APR 27 1949

APPROVED DEPARTMENT OF INSPECTION BUREAU BUILDING INSPECTION

Superintendent, Bureau of Building Inspection

Permit No. 106306

Issued APR 27 1949 194

NO PORTION OF BUILDING OR STRUCTURE OR SCAFFOLDING USED DURING CONSTRUCTION, TO BE CLOSER THAN 60" TO ANY WIRE CONTAINING MORE THAN REFER TO SEC. 385 CALIF. PENAL CODE

- Bureau of Engineering
BBI Struct. Engineer
Boiler Inspector
Art Commission
Dept. of Public Health

Approved 4-26 1949

Approved:

Department of Public Health

Approved:

Department of Electricity

Approved:

Art Commission

Approved:

Boiler Inspector

Workman's Compensation Insurance Policy or Certificate filed with Central Permit Bureau

- No Workman's Compensation Insurance Policy or Certificate on file for reason of exclusion checked:
(a) No one to be employed
(b) Casual labor only to be employed
(c) Services or labor to be performed in return for aid or sustenance only, received from any religious, charitable or relief organization

Approved:

Zone
CPC Subtask

Department of City Planning

Approved:

Bureau of Fire Prevention & Public Safety

Approved:

Structural Engineer, Bureau Building Inspection

Approved:

Bureau of Engineering

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
BLDG. FORM
DEPARTMENT OF
BUILDING INSPECTION

3

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

April 25, 1949

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 50 Seward St
- (2) Total Cost \$ 1000 (3) No. of stories 2 (4) Basement Yes
Yes or No
- (5) Present use of building Residence (6) No. of families 2
- (7) Proposed use of building Residence (8) No. of families 2
- (9) Type of construction 5 (10) 18
1, 2, 3, 4, or 5 Building Code Occupancy Classification
- (11) Any other building on lot No (Must be shown on plot plan if answer is Yes.)
Yes or No
- (12) Does this alteration create an additional floor of occupancy No
Yes or No
- (13) Does this alteration create an additional story to the building No
Yes or No
- (14) Electrical work to be performed No Plumbing work to be performed No
Yes or No Yes or No
- (15) Ground floor area of building 1500 ~~700~~ sq. ft. (16) Height of building 30 ft.
- (17) Detailed description of work to be done
Apply Asbestos Lining

- (18) Supervision of construction by _____ Address _____
- (19) General contractor Robert A. Berman California License No. 57124
Address 1672-15th St
- (20) Architect _____ California Certificate No. _____
Address _____
- (21) Engineer _____ California Certificate No. _____
Address _____

(22) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or subsidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

- (23) Owner Allen Stockdale (Phone LR 2-3200)
(For Contact by Bureau)
Address 50 Seward St

By Robert A. Berman Address 1672-15th St
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF HOTEL OR APARTMENT HOUSE PURSUANT TO SEC. 808 SAN FRANCISCO BUILDING CODE.



Approved: [Signature]
Zone 2nd
CPC Setbacks [Signature]

Approved: [Signature] 6/23/54
Department of City Planning

Approved: [Signature]
Department of Electricity

Approved: [Signature]
Art Commission

Approved: [Signature] 6/18/54
Bureau of Fire Prevention & Public Safety

Approved: [Signature]
Structural Engineer, Bureau Building Inspection
Bureau of Engineering

REFER TO:
Bureau of Engineering
BBI Struct. Engineer
Boiler Inspector
Art Commission
Dept. of Public Health

Approved: [Signature] June 21 1954
Provided foundation 2' & 4" but 12" above grade

BLDG. FORM
3 APPLICATION OF

FOR PERMIT TO MAKE
ADDITIONS, ALTERATIONS or REPAIRS
TO BUILDING

Location 50 Seward
San Francisco

Total Cost \$ 2000
Filed 5-19-54 JUN 22 1954

Approved: **APPROVED**
AUG 18 1954
[Signature]
SUPERINTENDENT OF BUILDING INSPECTION

Permit No. 7 150402
Issued AUG 18 1954

Building Inspector, Bureau of Building Inspection
I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted herein.
[Signature]
Owner's Authorized Agent

OFFICIAL COPY

SAN FRANCISCO

SAN FRANCISCO

CENTRAL PERMIT BUREAU F-135

Write in Ink - File Two Copies

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS

RECEIVED
DEPT. OF PUBLIC WORKS
CENTRAL PERMIT BUREAU
1954 JUN 24 PM 3:15

DEPARTMENT OF PUBLIC WORKS
BUILDING INSPECTION

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

BUILDING INSPECTION

3

June 19 1954

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 50 Seward, San Francisco
- (2) Total Cost \$ 3000 (3) No. of stories 2 (4) Basement Yes
Yes or No
- (5) Present use of building Residence - flats (6) No. of families 2
- (7) Proposed use of building Same (8) No. of families 2
- (9) Type of construction 5 (10) 10
1, 2, 3, 4, or 5 Building Code Occupancy Classification
- (11) Any other building on lot No (Must be shown on plot plan if answer is Yes.)
Yes or No
- (12) Does this alteration create an additional floor of occupancy No
Yes or No
- (13) Does this alteration create an additional story to the building No
Yes or No
- (14) Electrical work to be performed No Plumbing work to be performed No
Yes or No Yes or No
- (15) Ground floor area of building _____ sq. ft. (16) Height of building _____ ft.
- (17) Detailed description of work to be done
Remove and replace damaged wood members at toilet and shower, repair shower and re-seat toilet. Raise foundation at front to street level. Lower grade at inside steps. Raise foundation at left side center and replace damaged wood. Lower grade at posts and install pier post. Lower interior grade at left wall. (If damage extends into closed wall at front - damaged wood to be removed and replaced.)

(18) No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

(19) Supervision of construction by Richard H. Hoag Address 1235 Dolores St.

(20) General contractor Richard H. Hoag California License No. 129534
Address 1235 Dolores Street, San Francisco

(21) Architect _____ California Certificate No. _____
Address _____

(22) Engineer _____ California Certificate No. _____
Address _____

(23) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sub sidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

(24) Owner Mrs. Y.L. Drago (Phone CY. 1 5356)
(For Contact by Bureau)
Address 1639 7th Avenue, S.F.

By George Ottomano Address 1245 Dolores St.
Owner's Authorized Agent or Owner's Authorized Architect, Engineer or General Contractor.

CERTIFICATE OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF BUILDING
PURSUANT TO SEC. 808, SAN FRANCISCO BUILDING CODE, AND SEC. 4, PUBLIC WORKS CODE.



BLDG. FORM No. 3 APPLICATION OF

FOR PERMIT TO MAKE ADDITIONS, ALTERATION or REPAIRS TO BUILDING

Lessee: ALLAN R. TICHAIE
Owner: FOR PERMIT TO MAKE ADDITIONS, ALTERATION or REPAIRS TO BUILDING

Location: 50 Leonard St.

Total Cost \$ 2,550.00

Filed: 7/3 SEP 3 - 1964

APPROVED

APPROVED
SEP 8 - 1964
Superintendent of Building Inspection

Permit No. 271757

Issued: SEP 8 - 1964

RECEIVED
BUREAU OF ENGINEERING PUBLIC WORKS
BRI Struct. Engrs. 54 SEP 5 3 PM 2 46
Boiler Inspection
Art Commission
Dept. of Public Health & INSPECTION
Dept. of Electricity
Redevelopment Agency
Parking Authority
Approved: 9-3-64
Provided the following conditions are complied with:

Approved: Department of Public Health
Approved: Department of Electricity
Approved: Art Commission
Approved: Boiler Inspector
Approved: Redevelopment Agency
Approved: Parking Authority

Approved: Zone
Department of City Planning
Approved: Bureau of Fire Prevention & Public Safety
Approved: Bureau of Engineering

Building Inspector, Bureau of Building Inspection
I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted herein.
Owner or Owner's Authorized Agent

Parking Authority
No portion of building or structure or scaffolding used during construction to be closer than 6' to any wire containing more than 750 volts. See Sec. 385 California Penal Code.

Civil Engineer, Bureau of Building Inspection
Approved: Bureau of Engineering

Ed. Bull 9-3-64
Bureau of Fire Prevention & Public Safety

OFFICIAL COPY



CENTRAL PERMIT BUREAU F435

Write in Ink--File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS
BLDG. FORM

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location: 50 SEWARD ST SF
- (2) Total Cost (\$) 250.00 (3) No. of Stories: _____ (4) Basement or Collar: _____
- (5) Present Use of building: Single Family (6) No. of families: 1 yes or no
- (7) Proposed Use of building: _____ (8) No. of families: 1 yes or no
- (9) Type of construction: _____ (10) _____
- (11) Any other building on lot: 1, 2, 3, 4, 6 Proposed Building Code Classification: _____ (must be shown on plot plan if answer is yes.)
- (12) Does this alteration create an additional story to the building? No yes or no
- (13) Does this alteration create a horizontal extension to the building? No yes or no
- (14) Does this alteration constitute a change of occupancy? No yes or no
- (15) Electrical work to be performed: No yes or no (16) Plumbing work to be performed: No yes or no
- (17) Automobile runway to be altered or installed: No yes or no
- (18) Sidewalk over sub-sidewalk space to be repaired or altered: No yes or no
- (19) Will street space be used during construction? No yes or no
- (20) Write in description of all work to be performed under this application:
(Reference to plans is not sufficient)

Put up shut rods on walls + ceiling of master bedroom and replace window

- (21) Supervision of construction by: Owner Address: _____
- (22) General Contractor: _____ California License No. _____
Address: _____
- (23) Architect or Engineer (for design): _____ California Certificate No. _____
Address: _____
- (24) Architect or Engineer (for construction): _____ California Certificate No. _____
Address: _____

(25) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sub-sidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.

- (26) Owner: Alan J. Kitchin (Phone: MA 1-4636)
Address: 50 Seward St For contract by Bureau
- By: _____ Address: _____
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

CERTIFICATE OF FINAL COMPLETION AND/OR PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF WORK OR ALTERATION INVOLVING AN ENLARGEMENT OF THE BUILDING OR A CHANGE OF OCCUPANCY PURSUANT TO SEC. 808 AND 809, SAN FRANCISCO BUILDING CODE, BEFORE BUILDING IS OCCUPIED.

Pursuant to Sec. 804, San Francisco Building Code, the building permit shall be posted on job. Owner is responsible for approved plans and application being kept at building site.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED.

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

SAN
DEPARTMENT OF
BUILDING INSPECTION

BLDG. FORM No. 335208

3 APPLICATION OF

FOR PERMIT TO MAKE
ADDITIONS, ALTERATION or REPAIRS
TO BUILDING

Location 500 *Harvard*

388 Seward

APPROVED

REFER TO:

- Bureau of Engineering
- BRI Street Engineer
- Boiler Inspector
- Art Commission
- Dept. of Public Health
- Dept. of Electricity
- Redevelopment Agency
- Parking Authority

Approved 10-3 1966
Provided the following conditions are complied with:

Approved: _____
Zone _____
CPC Sebasta _____

Not reviewed by the Department of City Planning. Issuance of the requested permit requires no indication to the Department of City Planning.

Approved: _____
Department of City Planning

10-4-66
Bureau of Fire Prevention & Public Safety

Approved: _____

Approved: _____

Department of Public Health

Approved: _____

Department of Electricity

Approved: _____

Art Commission

Approved: _____

Boiler Inspector

Approved: _____

Redevelopment Agency

Approved: _____

Parking Authority

No portion of building or structure or scaffolding used during construction to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385 California Penal Code.

See above
Building Inspector, Bureau of Building Inspection
I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted herein.
Paul B. B. B.
Owner or Owner's Authorized Agent

Superintendent, Bureau of Building Inspection

Permit No. 299702

Issued OCT 7 1966

19



CENTRAL PERMIT BUREAU F485

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS
BLDG. FORM

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

3

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 50 Seward
- (2) Total Cost (\$) 42000 (3) No. of Stories 1 (4) Basement or Cellar Yes
- (5) Present Use of building Residential (6) No. of families 1
- (7) Proposed Use of building Same (8) No. of families Same
- (9) Type of construction Same (10) Proposed Building Code Classification Same
- (11) Any other building on lot No (must be shown on plot plan if answer is yes.)
- (12) Does this alteration create an additional story to the building? No
- (13) Does this alteration create a horizontal extension to the building? No
- (14) Does this alteration constitute a change of occupancy No
- (15) Electrical work to be performed No (16) Plumbing work to be performed No
- (17) Automobile runway to be altered or installed Yes
- (18) Sidewalk over sub-sidewalk space to be repaired or altered No
- (19) Will street space be used during construction? No
- (20) Write in description of all work to be performed under this application:
(Reference to plans is not sufficient)

Widen present opening to 9'6" Use 2x10s for leader. Make drive-way 2' wide. Drive-way 9' long install garage door.

- (21) Supervision of construction by J.A. Berlin Address 5976 Mission
- (22) General Contractor City Overhead Door California License No. 118456
Address 5976 Mission St
- (23) Architect or Engineer (for design) California Certificate No. _____
Address _____
- (24) Architect or Engineer (for construction) California Certificate No. _____
Address _____
- (25) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or subsidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.
- (26) Owner Alan P. Ritchie (Phone 621-4636)
Address 50 Seward For contract by Bureau

By Jack Berlin Address 5976 Mission St
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

CERTIFICATE OF FINAL COMPLETION AND/OR PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF WORK OR ALTERATION INVOLVING AN ENLARGEMENT OF THE BUILDING OR A CHANGE OF OCCUPANCY PURSUANT TO SEC. 808 AND 809, SAN FRANCISCO BUILDING CODE, BEFORE BUILDING IS OCCUPIED.
Pursuant to Sec. 304, San Francisco Building Code, the building permit shall be posted on job. Owner is responsible for approved plans and application being kept at building site.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED.

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

OFFICIAL COPY

SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

OFFICE COPY

Vertical & horizontal alterations 119-15-80

REVISION IS HEREIN MADE TO THE DEPARTMENT OF PUBLIC WORKS PERMITS FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH

STREET ADDRESS OF JOB: 50 Sewary St 3701/44-18 San Francisco, Cal. 94114

ESTIMATED COST OF JOB: MATERIALS & PAINT \$2500.00

DATE FILED: 8-4-80 94516 RECEIVED: SEP 29 1980

DESCRIPTION OF EXISTING BUILDING and DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION. Includes fields for type of construction, number of stories, proposed use, and various alteration details.

PAINTING FRONT OF BUILDING CONSTRUCT A HOOP OR PEAK ON EXISTING ROOF PEAK IS MADE TO BE APPROX HIGHER THAN EXISTING ROOF LEVEL & RUNS PARALLEL WITH GUTTER THE BASE OR BOTTOM PART OF PEAK MEASURES 9" FROM FACE OF BUILDING TO THE END

IMPORTANT NOTICES: No change shall be made in the character of the occupancy or use without first obtaining a Building Permit... CHECK APPROPRIATE BOX: OWNER [X] ARCHITECT [] ENGINEER []

APPLICANT'S CERTIFICATION: I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION... NOTICE TO APPLICANT: HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of this permit, agree(s) to indemnify and hold harmless the City and County of San Francisco...

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

APPROVED:

Subjecting this to records...
us...
the...
of...
course...
stat...
approval of the building...

Robert 9/15/80
BUILDING INSPECTOR, BUREAU OF BLDG. INSPECTION

APPROVED: *Complan - meets 30ft. height 2701/24A*
recommended in RA-2 districts

CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW

Clay 9-19-80 SEP
DEPARTMENT OF CITY PLANNING

APPROVED:

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED:

CIVIL ENGINEER, BUREAU OF BLDG. INSPECTION

APPROVED:

BUREAU OF ENGINEERING

APPROVED:

DEPARTMENT OF PUBLIC HEALTH

APPROVED:

REDEVELOPMENT AGENCY

APPROVED:

RESIDENTIAL ENV. INSPECTOR, DIV. OF APT. & HOTEL INSP., B.B.I.

APPROVED:

DATE:

REASON:

NOTIFIED MR.

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I AGREE TO COMPLY WITH ALL CONDITIONS OR STIPULATIONS OF THE VARIOUS BUREAUS OR DEPARTMENTS NOTED ON THIS
AND ATTACHED STATEMENTS OF CONDITIONS OR STIPULATIONS, WHICH ARE HEREBY MADE A PART OF THIS

Alan P. Hutchins
OWNER OR AUTHORIZED

OFFICIAL COPY

SAN FRANCISCO

FOR DEPARTMENTAL USE ONLY

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS

BLDG. FORM

APPROVED FOR ISSUANCE: FEB 1 1982

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

8

DEPARTMENT OF BUILDING INSPECTION
APPROVED
Dept. Public Works

FEB 1 - 1982

Robert C. Long
SUPERINTENDENT

OCCUPANCY WITH NO PLANS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH:

APPLICATION NO.
08200714

PERMIT NUMBER 478517	ISSUED & DATE FILED 2-1-82	(1) STREET ADDRESS OF JOB: 50 SEWARY ST S.F.	(3) ESTIMATED COST OF JOB: \$600.00
-------------------------	-------------------------------	---	--

DESCRIPTION OF EXISTING BUILDING							
(1A) TYPE OF CONSTR. 1 0 2 0 3 0 4 0 5 0	(1A) NO. OF STORIES OF OCCUPANCY: 2	(1A) NUMBER OF BASEMENTS & CELLARS: 1	(17A) PRESENT USE: RESIDENTIAL	(8A) BLDG. CODE OCCUP. CLASS: I	(9A) NO. OF DWELLING UNITS: 2		
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION							
(4) TYPE OF CONSTR. 1 0 2 0 3 0 4 0 5 0	(5) NUMBER OF STORIES OF OCCUPANCY: 2	(6) NUMBER OF BASEMENTS & CELLARS: 1	(17) PROPOSED USE: SAME	(8) BLDG. CODE OCCUP. CLASS: I	(9) NO. OF DWELLING UNITS: 2		
(16) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(17) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(21) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>				
(23) GENERAL CONTRACTOR None		ADDRESS 50 SEWARY ST		PHONE 6214636		CALIF. LICENSE NO. 6214636	
(24) OWNER - LESSEE (CROSS OUT ONE) ALAN P. RITCHIE		ADDRESS 50 SEWARY ST		PHONE (FOR CONTACT BY BUREAU) 94114		SAN FRANCISCO	
(27) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT):							
REMOVE CRACKED STUCCO AT WINDOW LEVEL APPROX 3 FT. HSD UNDER OVER HING UNDER WINDOWS WITH 25' REPLACE JOY LOT & REPLACE WITH STUCCO. NO STRUCTURAL WORK TO BE DONE							

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See Sec. 103, 104.B, 104.B.1, 104.C, 502, 502.1, San Francisco Building Code and Sec. 104, San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

Pursuant to Sec. 302.A.8, San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED. APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (16) (18) (17) (20) (21) or (22).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of this permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands, and actions.

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES, CONDITIONS AND STIPULATIONS THERETO WILL BE COMPLIED WITH.

I HEREBY CERTIFY THAT: (2) THERE ARE 2 NUMBER OF KITCHENS AS DEFINED IN THE BUILDING AND HOUSING CODE OF THE CITY AND COUNTY OF SAN FRANCISCO CONTAINED WITHIN THIS BUILDING.

(2) THE WORK CONTEMPLATED UNDER THIS PERMIT DOES NOT AFFECT ANY BEARING WALLS WITHIN THE STRUCTURE NOR DOES IT CONTEMPLATE THE REMOVAL OR REVISION OF ANY LOAD BEARING MEMBERS.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have on file, or file with the Central Permit Bureau, either Certificate (I) or (II) or (III) designated below or shall indicate item (IV) or (V) or (VI) below, whichever is applicable. Check one of the following methods of compliance:

- () I. Certificate of Consent to Self-Insure issued by the Director of Industrial Relations.
- () II. Certificate of Workman's Compensation Insurance issued by an admitted insurer.
- () III. An exact copy or duplicate of (I) certified by the Director or (II) certified by the insurer.
- (X) IV. The cost of the work to be performed is \$100 or less.
- () V. I certify that in the performance of the work for which this Permit is issued, I shall not employ any person in any manner so as to become subject to the workman's compensation laws of California. I further acknowledge that I understand, in the event that I should become subject to the workman's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the Permit herein applied for shall be deemed revoked.
- () VI. I certify as the owner (or the agent of the owner) that in the performance of the work for which this Permit is issued, I will employ a contractor who complies with the workman's compensation laws of California and who has on file, or will file, with the Central Permit Bureau evidence that workman's compensation insurance is carried.

Applicant's Signature: *Alan P. Ritchie* Date: 2-1-82

APPROVED:

CONTACT INSPECTOR TORRES - GILL AT START OF WORK 568-3851. THIS APPLICATION APPROVED WITHOUT FIELD INSPECTION AND DOES NOT CONSTITUTE AN APPROVAL OF THE BUILDING. WORK AUTHORIZED MUST BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES.

BUILDING INSPECTOR, BUR. OF BLDG. INSP.

CHECK APPROPRIATE BOX:

OWNER ARCHITECT ENGINEER LESSEE CONTRACTOR AGENT WITH POWER OF ATTORNEY ATTORNEY IN FACT

OFFICIAL COPY



THIS PERMIT IS VOID UNLESS ON FACE OF APPROVAL... APPROVED JUL 24 1987

APPROVED FOR ISSUANCE JUL 24 1987

FORM 318 00710422

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

FORM 3 OTHER AGENCIES REVIEW REQUIRED FORM 8 POWER-THE-COUNTER ISSUANCE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO BUILD...

DATE FILED 7/24/87, PLANS RECEIVED NO, STREET ADDRESS OF JOB 50 Seward St. 2701024A

INFORMATION TO BE FURNISHED BY ALL APPLICANTS. DESCRIPTION OF EXISTING BUILDING, DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION, ADDITIONAL INFORMATION - FORM 3 APPLICANTS ONLY

IMPORTANT NOTICES: No change shall be made in the character of the occupancy or use without first obtaining a Building Permit...

NOTICE TO APPLICANT: HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco...

APPLICANT'S CERTIFICATION: I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION...

Applicant's Signature: Alan A. Rutledge Date: 7-24-87

OFFICIAL COPY



CONDITIONS AND STIPULATIONS

DATE _____
REASON _____

00110158

APPROVED: _____ SECOND INSPECTOR, BUR OF BLDG. INS. NOTIFIED MR. _____

DATE _____
REASON _____

APPROVED: _____ DEPARTMENT OF PLANNING NOTIFIED MR. _____

DATE _____
REASON _____

APPROVED: _____ BUREAU OF FIRE PREVENTION & PUBLIC SAFETY NOTIFIED MR. _____

DATE _____
REASON _____

APPROVED: _____ CIVIL ENGINEER, BUR OF BLDG. INSPECTION NOTIFIED MR. _____

DATE _____
REASON _____

APPROVED: _____ BUREAU OF ENGINEERING NOTIFIED MR. _____

DATE _____
REASON _____

APPROVED: _____ DEPARTMENT OF PUBLIC HEALTH NOTIFIED MR. _____

DATE _____
REASON _____

APPROVED: _____ REDEVELOPMENT AGENCY NOTIFIED MR. _____

DATE _____
REASON _____

APPROVED: _____ HOUSING INSPECTION DIVISION NOTIFIED MR. _____

DATE _____
REASON _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application and accepted statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments: _____

OWNER'S AUTHORIZED AGENT _____

SAN FRANCISCO
DEPARTMENT OF
BUILDING INSPECTION

REROOFING APPROVED

APPROVED FOR ISSUANCE
TOP TITLE 24-2
SICAF YES NO
RE YES NO
CNR YES NO
EMERGENCY YES NO
MAR 31 1994
City of Public Works

APPROVAL NUMBER: 09405145
APPROVAL NUMBER: 09405145

INSPECTION IS REQUIRED UNDER THE SAN FRANCISCO BUILDING CODE. REQUESTS FOR INSPECTION MAY BE MADE DAY OR NIGHT BY CALLING 558-6091.

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY OF SAN FRANCISCO
COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS

FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER-THE-COUNTER ISSUANCE
NUMBER OF PLAN SETS: 1-1-95

APPLICATION PUBLIC WORKS HEREBY MADE TO DEPARTMENT OF BUILDING INSPECTION FOR PERMISSION TO SUBMIT DRAWINGS WITH THE PLANS AND SPECIFICATIONS AND FOR APPROVAL AND ACCORDING TO THE DESCRIPTION AND PURPOSE HEREINAFTER SET FORTH.

DATE FILED: 3/31/94
FILING FEE RECEIPT NO.: 743372
ISSUED: 3/31/94
STREET ADDRESS OF JOB: 50 Sewald St.
BLOCK & LOT: 2701-24 A
ESTIMATED COST OF JOB: 7800
PERMISED COST:

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

DESCRIPTION OF EXISTING BUILDING		DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION	
(1A) TYPE OF CONSTRUCTION: 5	(1A) NO. OF STORIES OF OCCUPANCY: 2	(1A) TYPE OF CONSTRUCTION: 5	(1A) NO. OF STORIES OF OCCUPANCY: 2
(1B) NO. OF RESIDENTS AND CELLARS: 1	(1B) PRESENT USE: S I D	(1B) PROPOSED USE (LEGAL USE): S I D	(1B) NO. OF RESIDENTS AND CELLARS: 1
(1C) OCCUP. CLASS: R-3	(1C) OCCUP. CLASS: R-3	(1C) OCCUP. CLASS: R-3	(1C) OCCUP. CLASS: R-3
(1D) NO. OF DWELLING UNITS: 1	(1D) NO. OF DWELLING UNITS: 1	(1D) NO. OF DWELLING UNITS: 1	(1D) NO. OF DWELLING UNITS: 1
(1E) IS ALTO MOUNTAIN TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(1E) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(1E) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(1E) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(1F) GENERAL CONTRACTOR: ARMSTRONG ROOFING 774 HARRIS ST. SAN FRANCISCO, CA 94107-1772 (415) 242-8911	(1F) OWNER - LESSEE (CHECK ONE): ALAN Ritchie 50 Sewald St. SAN FRANCISCO, CA 94114 (415) 621-4636	(1F) OWNER - LESSEE (CHECK ONE): ALAN Ritchie 50 Sewald St. SAN FRANCISCO, CA 94114 (415) 621-4636	(1F) OWNER - LESSEE (CHECK ONE): ALAN Ritchie 50 Sewald St. SAN FRANCISCO, CA 94114 (415) 621-4636
(1G) WRITE A DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT): TEAR OFF ROOFING Apply 1/2" Polyurethane foam Apply 2 coats Elastomeric Sealant I.R.B.O. 4630 COMPLY CHAPTER 32 S.F.C. PER ROOFING			

ADDITIONAL INFORMATION - FOR APPLICANTS ONLY

(17) DOES THIS ALTERATION CREATE AN ADDITIONAL STORY TO MAINFLOOR? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT PORCH: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(19) DOES THIS ALTERATION ELICIT A CHANGE IN THE HEIGHT OF THE BUILDING ON THE LOT? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF YES, STATE NEW GROUND FLOOR AREA: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(21) WILL SIDEWALK OVER SUBSIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXCEED SETBACK PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) APPROXIMATE BURDEN ON GROUND BEING EXERCISED BY THIS WORK: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(25) ARCHITECT OR ENGINEER (SEE SIGNATURE):	(26) ADDRESS:	(27) ADDRESS:	(28) ADDRESS:
(29) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER "UNKNOWN").			

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

The position of building or structure or scaffolding used during construction, to be closer than 40" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills, together with complete details of retaining walls and wall footings required must be submitted to this bureau for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) or (24). THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTI A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
 OWNER ARCHITECT ENGINEER
 LESSEE AGENT WITH POWER OF ATTORNEY
 CONTRACTOR ATTORNEY IN FACT

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPIED WITH.

NOTICE TO APPLICANT

INDemnITY AND RELEASE CLAUSE: The Permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against all claims, demands and actions for damages resulting from operations under approval, regardless of negligence of the City and County of San Francisco, and to waive the defense of the City and County of San Francisco against all such claims, demands and actions.

Consistency with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have on file, or file with the Central Permit Bureau, either before item (i) or (ii) or (iii) designated below or shall indicate item (iv) or (v) or (vi) whichever is applicable. If however, item (vi) is checked then item (v) must be added as well. Mark the appropriate method of compliance below:

- Certificate of Consent to Self-insure issued by the Director of Industrial Relations.
- Certificate of Workman's Compensation Insurance issued by an admitted insurer.
- An exact copy or duplicate of (i) certified by the Director or (ii) certified by the insurer.
- The cost of the work to be performed is \$100 or less.
- I certify that in the performance of the work for which this Permit is issued, I shall not employ any person in any manner so as to become subject to the workman's compensation laws of California. I further acknowledge that I understand, in the event that I should become subject to the workman's compensation provisions of the labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the Permit herein applied for shall be deemed revoked.
- I certify as the owner (or the agent of the owner) that in the performance of the work for which this Permit is issued, I will employ a contractor who complies with the workman's compensation laws of California and who has on file, or prior to the commencement of any work will file, with the Central Permit Bureau evidence that workman's compensation insurance is carried.

Signature: Alan Ritchie
Date: 3/31/94

If the image of this document appears less sharp than this notice, it is due to the quality of the original.

D.P.B.
DEPARTMENT OF
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

APPROVED:

DATE:

REASON:

CONTACT DISTRICT INSPECTOR NAMED ON FACE OF APPLICATION AT START OF WORK (TELEPHONE NO. 358-0098). THIS APPLICATION IS APPROVED WITHOUT SITE INSPECTION AND DOES NOT CONSTITUTE AN APPROVAL OF THE BUILDING WORK AUTHORIZED MUST BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODE.

PROVIDE SMOKE DETECTOR(S)
PER SFBC SEC. 1210 (a)

Any electrical or plumbing work will require appropriate separate permits.

[Signature]
BUILDING INSPECTOR, BUR. OF BLDG. INSP

NOTIFIED MR.

DATE:

REASON:

APPROVED:

2

[Signature]
DEPARTMENT OF CITY PLANNING

NOTIFIED MR.

APPROVED:

DATE:

REASON:

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

NOTIFIED MR.

APPROVED:

DATE:

REASON:

CIVIL ENGINEER, BUR. OF BLDG. INSPECTION

NOTIFIED MR.

APPROVED:

DATE:

REASON:

BUREAU OF ENGINEERING

NOTIFIED MR.

APPROVED:

DATE:

REASON:

DEPARTMENT OF PUBLIC HEALTH

NOTIFIED MR.

APPROVED:

DATE:

REASON:

REDEVELOPMENT AGENCY

NOTIFIED MR.

APPROVED:

DATE:

REASON:

HOUSING INSPECTION DIVISION

NOTIFIED MR.

HOLD SECTION — NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various Bureau or Departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of copies:

OWNER'S AUTHORIZED AGENT

OFFICIAL COPY



APPROVED Dept. of Building Insp.

JUN 08 2015

Tom C. Hui

TOM C. HUI, S.E. DIRECTOR DEPT. OF BUILDING INSPECTION

APPROVED FOR ASSISTANCE JUN 08 2015

BLOG-318 FORM

APPLICATION NUMBER 201506088350

OSHA APPROVAL REQ'D APPROVAL NUMBER

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

FORM 3 OTHER AGENCIES REVIEW REQUIRED FORM 8 OVER-THE-COUNTER ISSUANCE 2 NUMBER OF PLAN SETS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.



Table with columns: DATE FILED, FILING FEE RECEIPT NO., (1) STREET ADDRESS OF JOB, BLOCK & LOT, PERMIT NO., ISSUED, (2A) ESTIMATED COST OF JOB, (2B) REVISED COST, DATE

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

Table with columns: (6A) TYPE OF CONSTR., (6A) NO. OF STORIES OF OCCUPANCY, (6A) NO. OF BASEMENTS AND CELLARS, (7A) PRESENT USE, (8A) OCCUP. CLASS, (8A) NO. OF DWELLING UNITS

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

Table with columns: (4) TYPE OF CONSTR., (5) NO. OF STORIES OF OCCUPANCY, (5) NO. OF BASEMENTS AND CELLARS, (7) PROPOSED USE (LEGAL USE), (8) OCCUP. CLASS, (8) NO. OF DWELLING UNITS

Table with columns: (10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?, (11) WILL STREET SPACE BE USED DURING CONSTRUCTION?, (12) ELECTRICAL WORK TO BE PERFORMED?, (13) PLUMBING WORK TO BE PERFORMED?

Table with columns: (14) GENERAL CONTRACTOR, ADDRESS, ZIP, PHONE, CALIF. LIC. NO., EXPIRATION DATE

Table with columns: (15) OWNER - LESSEE (CROSS OUT ONE), ADDRESS, ZIP, BTRCF, PHONE (FOR CONTACT BY DEPT.)

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

REMOVE & REPLACE WINDOWS 13 TOTAL - (8) FRONT - (7) SIDE & REAR FRONT - WOOD CLAD (DOUBLE HUNG) REAR & SIDES FIBERGLASS 17 ft x 6 in = 0.32

ADDITIONAL INFORMATION

Table with columns: (17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?, (18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT, (19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?, (20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA, (21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?, (22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?, (23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN), (24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?

Table with columns: (25) ARCHITECT OR ENGINEER (DESIGN), ADDRESS, (26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER "UNKNOWN")

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit... No portion of building or structure or scaffolding used during construction is to be closer than 6' to any wire... APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS...

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under the permit... I hereby affirm under penalty of perjury one of the following declarations: I have and will maintain a certificate of consent to self-insure for worker's compensation...

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THE APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREOF WILL BE COMPLIED WITH.

Signature of Applicant or Agent: m. Pearson Date: 6/8/2015

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO: DEPARTMENT OF BUILDING INSPECTION

APPROVED:

Mira Lee
MIRA LEE, DBI

JUN 08 2015

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED: REPLACE 6 WINDOWS @ FRONT W/ DANGLE HUNG WOOD CLAD WINDOWS. REPLACE SEVEN REAR REAR WINDOWS W/ FIBERGLASS.
DATE ORIGINALLY EXEMPT FROM ENVIRONMENTAL REVIEW
Knowlton 6-8-15
KATE LUNGER
DEPARTMENT OF CITY PLANNING

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:
Mif
BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:
MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:
CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:
BUREAU OF ENGINEERING

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:
DEPARTMENT OF PUBLIC HEALTH

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:
REDEVELOPMENT AGENCY

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:
V
HOUSING INSPECTION DIVISION

DATE: _____
REASON: _____

NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT _____

EXHIBIT 10

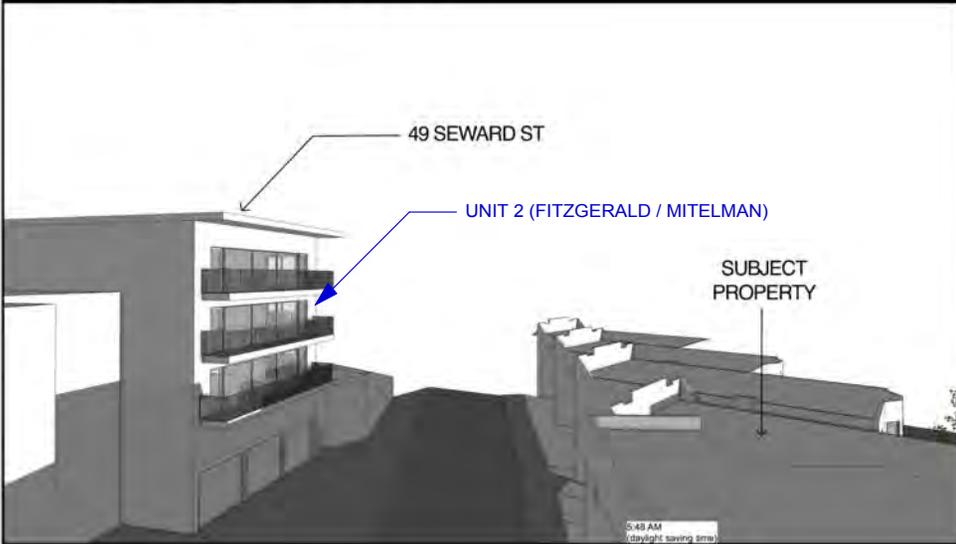
50 SEWARD ST.
PROPOSED PROJECT SITE

D.R. REQUESTOR: UNIT#2
(FITZGERALD & MITELMAN)

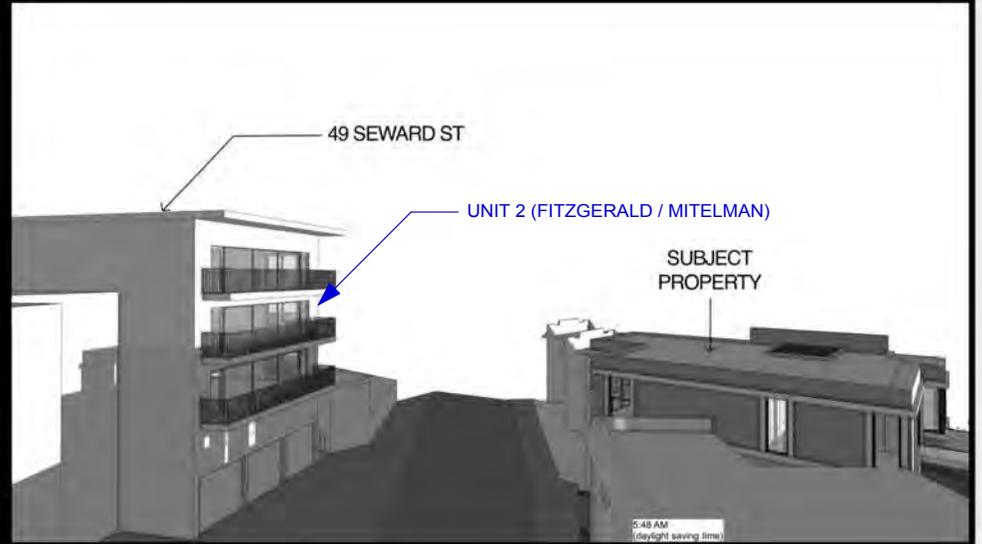
D.R. REQUESTOR: UNIT#1
(PINCOW)



SUMMER SOLSTICE (JUN 21) 5:48 AM

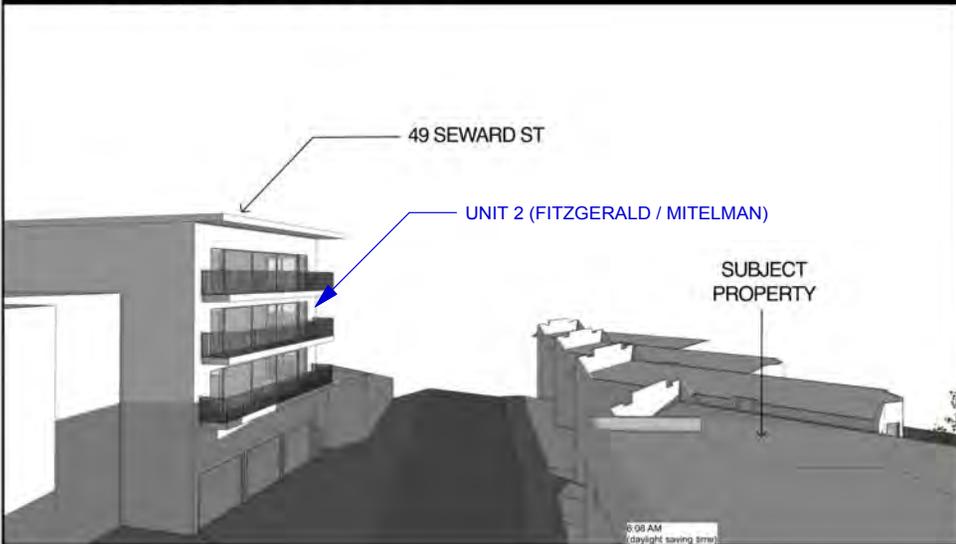


EXISTING

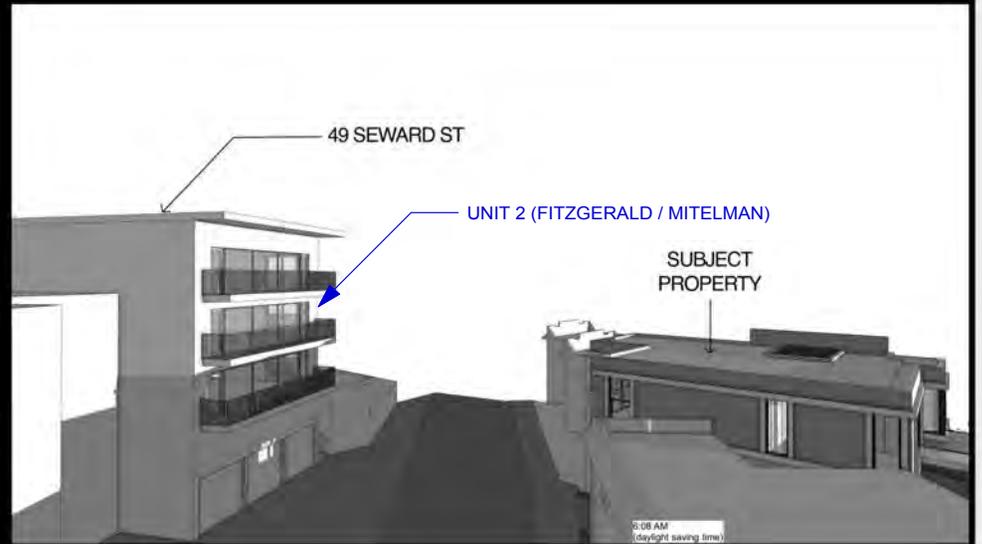


PROPOSED

SUMMER SOLSTICE (JUN 21) 6:08 AM

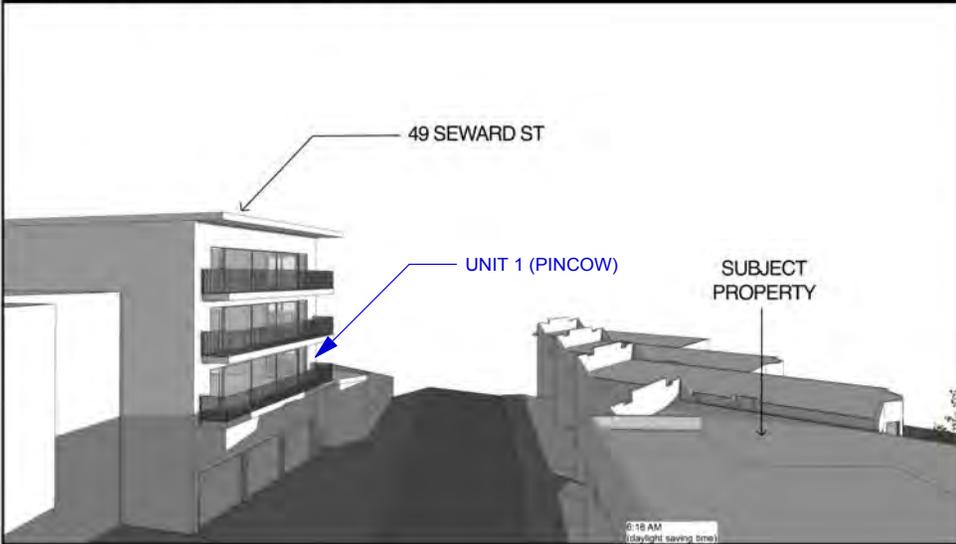


EXISTING

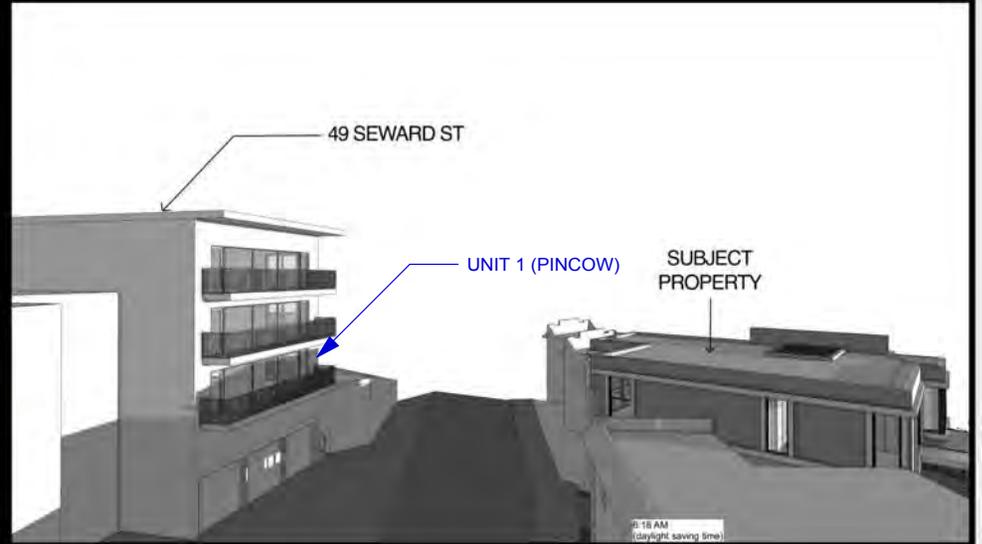


PROPOSED

SUMMER SOLSTICE (JUN 21) 6:18 AM

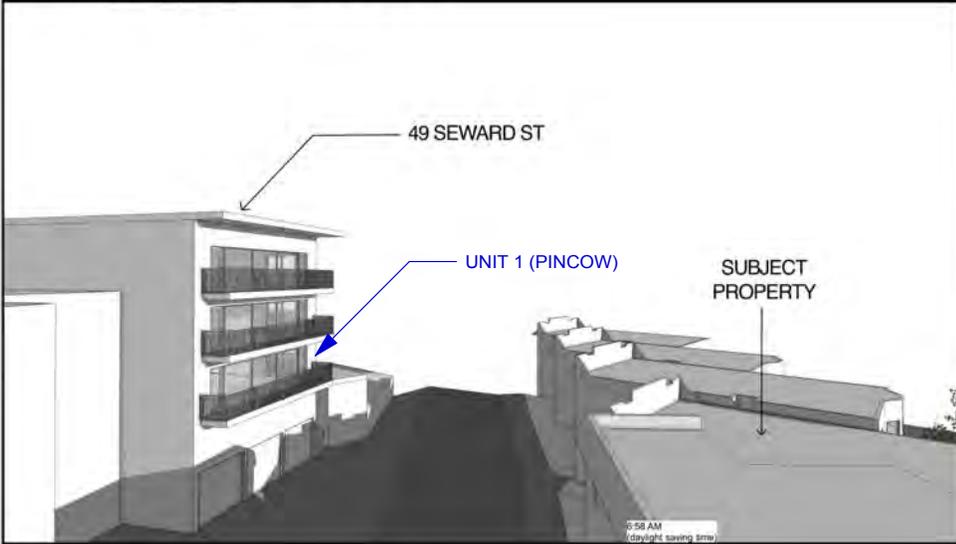


EXISTING

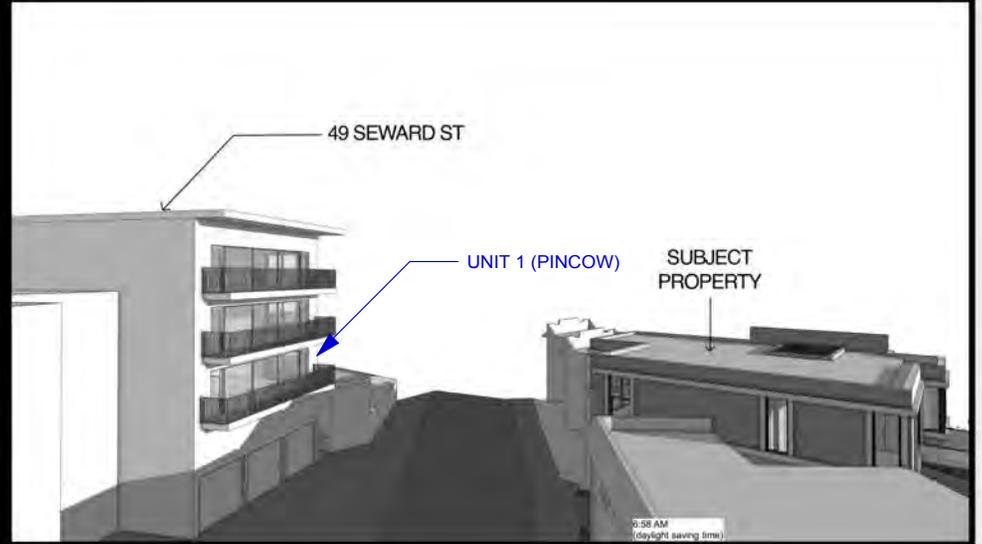


PROPOSED

SUMMER SOLSTICE (JUN 21) 6:58 AM



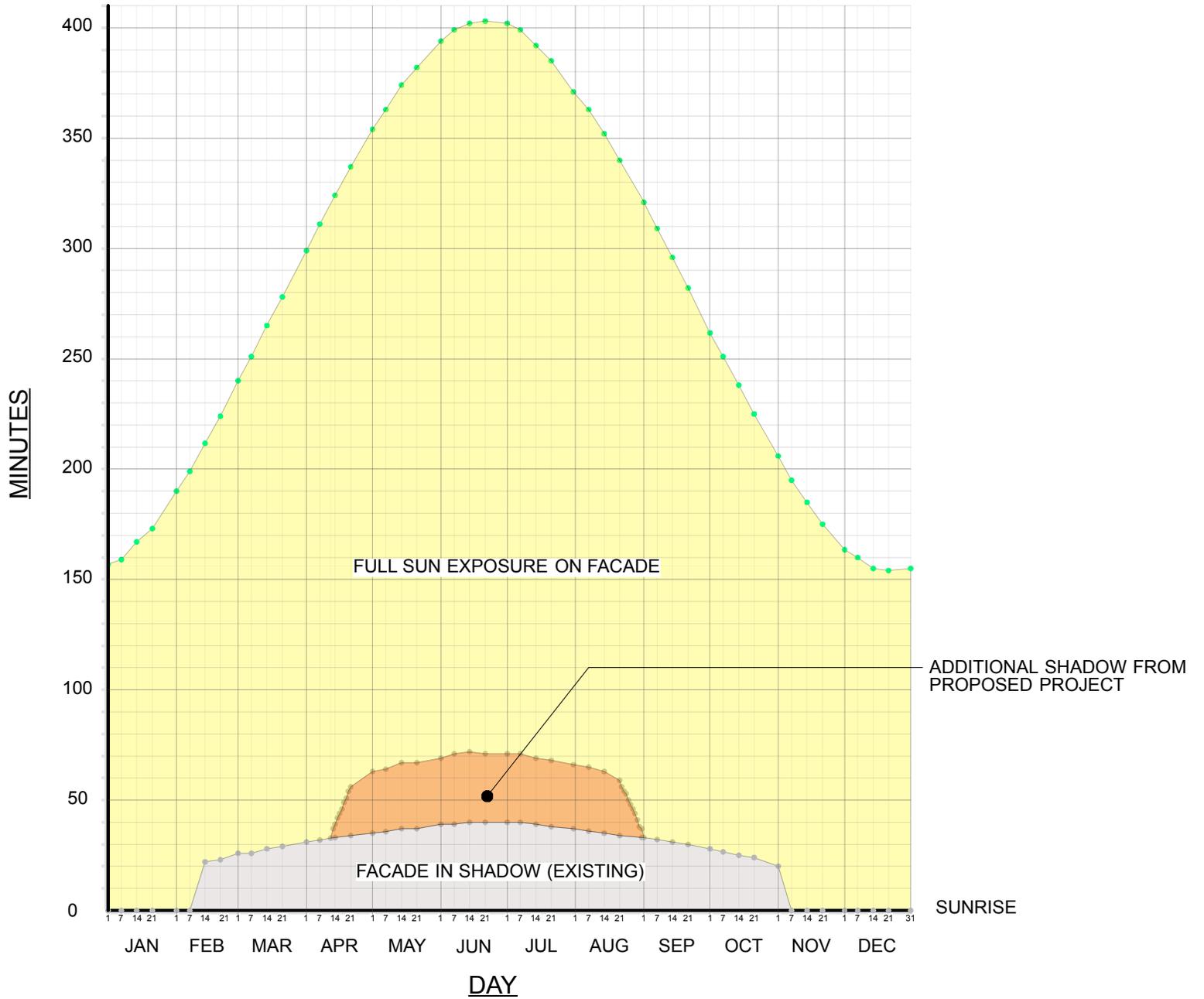
EXISTING



PROPOSED

DATA ANALYSIS FOR SUN EXPOSURE AT THE NORTHEAST FAÇADE OF 49 SEWARD STREET					
DATES	SUNRISE	EXISTING	PROPOSED	EXISTING & PROPOSED	TIME OF EXPOSURE
		(START OF FULL EXPOSURE)	(START OF FULL EXPOSURE)	(END OF FULL EXPOSURE)	EXISTING / PROPOSED
JAN 1ST	7:25 AM	7:25 AM	7:25 AM	10:02 AM	2H 37M
JAN 7ST	7:26 AM	7:26 AM	7:26 AM	10:05 AM	2H 39M
JAN 14TH	7:24 AM	7:24 AM	7:24 AM	10:11 AM	2H 47M
JAN 21ST	7:22 AM	7:22 AM	7:22 AM	10:15 AM	2H 53M
FEB 1ST	7:14 AM	7:14 AM	7:14 AM	10:24 AM	3H10M
FEB 7ST	7:09 AM	7:09 AM	7:09 AM	10:28 AM	3H 19M
FEB 14TH	7:01 AM	7:23 AM	7:23 AM	10:33 AM	3H 10M
FEB 21ST	6:53 AM	7:15 AM	7:15 AM	10:37 AM	3H 22M
MAR 1ST	6:42 AM	7:07 AM	7:07 AM	10:42 AM	3H 29M
MAR 7ST	6:34 AM	7:00 AM	7:00 AM	10:45 AM	3H 45M
DAYLIGHT SAVINGS - SHIFT FORWARD 1 HOUR					
MAR 14TH	7:23 AM	7:51 AM	7:51 AM	11:48 AM	3H 58M
MAR 21ST	7:13 AM	7:42 AM	7:42 AM	11:51 AM	4H 9M
APR 1ST	6:56 AM	7:27 AM	7:27 AM	11:55 AM	4H 28M
APR 7ST	6:47 AM	7:19 AM	7:19 AM	11:58 AM	4H 39M
APR 14TH	6:37 AM	7:10 AM	7:16 AM	12:01 PM	4H 51M / 4H 45M
APR 21ST	6:27 AM	7:01 AM	7:23 AM	12:04 PM	5H 3M / 4H 41M
MAY 1ST	6:15 AM	6:50 AM	7:18 AM	12:09 PM	4H 19M / 3H 51M
MAY 7ST	6:08 AM	6:44 AM	7:12 AM	12:12 PM	5H 28M / 4H 0M
MAY 14TH	6:01 AM	6:39 AM	7:08 AM	12:15 PM	5H 36M / 5H 7M
MAY 21ST	5:56 AM	6:34 AM	7:03 AM	12:18 PM	5H 44M / 5H 15M
JUN 1ST	5:50 AM	6:29 AM	6:59 AM	12:24 PM	5H 55M / 5H 25M
JUN 7ST	5:48 AM	6:27 AM	6:59 AM	12:27 PM	6H 0M / 5H 28M
JUN 14TH	5:47 AM	6:27 AM	6:59 AM	12:29 PM	6H 2M / 5H 30M
JUN 21ST	5:48 AM	6:28 AM	6:59 AM	12:31 PM	6H 3M / 5H 32M
JUL 1ST	5:51 AM	6:31 AM	7:02 AM	12:32 PM	6H 1M / 5H 30M
JUL 7ST	5:54 AM	6:34 AM	7:05 AM	12:33 PM	5H 59M / 5H 28M
JUL 14TH	5:59 AM	6:38 AM	7:08 AM	12:31 PM	5H 53M / 5H 23M
JUL 21ST	6:04 AM	6:42 AM	7:12 AM	12:29 PM	5H 47M / 5H 17M
AUG 1ST	6:13 AM	6:50 AM	7:19 AM	12:24 PM	5H 34M / 5H 5M
AUG 7ST	6:18 AM	6:54 AM	7:23 AM	12:21 PM	5H 27M / 4H 58M

DATES	SUNRISE	EXISTING	PROPOSED	EXISTING & PROPOSED	TIME OF EXPOSURE
		(START OF FULL EXPOSURE)	(START OF FULL EXPOSURE)	(END OF FULL EXPOSURE)	EXISTING / PROPOSED
AUG 14TH	6:24 AM	6:59 AM	7:27 AM	12:16 PM	5H 17M / 4H 49M
AUG 21ST	6:30 AM	7:04 AM	7:29 AM	12:10 PM	5H 6M / 4H 41M
SEP 1ST	6:39 AM	7:12 AM	7:12 AM	12:00 PM	4H 48M
SEP 7ST	6:44 AM	7:16 AM	7:16 AM	11:53 AM	4H 37M
SEP 14TH	6:50 AM	7:21 AM	7:21 AM	11:46 AM	4H 25M
SEP 21ST	6:56 AM	7:26 AM	7:26 AM	11:38 AM	4H 12M
OCT1ST	7:05 AM	7:32 AM	7:32 AM	11:27 AM	3H 55M
OCT 7ST	7:10 AM	7:37 AM	7:37 AM	11:21 AM	3H 44M
OCT 14TH	7:17 AM	7:42 AM	7:42 AM	11:15 AM	3H 33M
OCT 21ST	7:23 AM	7:47 AM	7:47 AM	11:08 AM	3H 21M
NOV 1ST	7:34 AM	7:54 AM	7:54 AM	11:00 AM	3H 6M
DAYLIGHT SAVING - SHIFT BACK 1 HOUR					
NOV 7ST	6:41 AM	6:41 AM	6:41 AM	9:56 AM	3H 15M
NOV14TH	6:48 AM	6:48 AM	6:48 AM	9:53 AM	3H 5M
NOV 21ST	6:56 AM	6:56 AM	6:56 AM	9:51 AM	2H 55M
DEC 1ST	7:06 AM	7:06 AM	7:06 AM	9:50 AM	2H 44M
DEC 7ST	7:11 AM	7:11 AM	7:11 AM	9:51 AM	2H 40M
DEC 14TH	7:17 AM	7:17 AM	7:17 AM	9:52 AM	2H 35M
DEC 21ST	7:21 AM	7:21 AM	7:21 AM	9:55 AM	2H 34M



**JAMES PINCOW'S UNIT - 49 SEWARD ST. SECOND FLOOR
 NORTH EAST FACADE SUN EXPOSURE ANALYSIS, YEAR-ROUND**

EXHIBIT 11



10.31.19

CARSON STREET

ADJACENT PROPERTY
35 CARSON STREET
BLOCK/LOT: 3825/005

(E) LOT 25'-0"

(E) LOT 28'-0"

(N) REAR YARD PATIO,
PAVING, STAIRS AND
DRAINAGE IN (E) REAR
YARD & SIDE
PASSAGEWAY

(N) 1-HR FIRE-RATED PROPERTY-LINE
PARAPETS AT (N) ROOF DECK
30'-0" MAX. HEIGHT WITHIN 10'-0" OF THE
20% REAR SETBACK PER SFPC,
13410(2)(H)(1)

(N) 1-HR FRP
PARAPETS

(N) APPROX. 18'-5"
RPT. WALL 4TH FLOOR

SUBJECT PROPERTY
33 SEWARD STREET
BLOCK/LOT: 2701/024A

ADJACENT PROPERTY
14 & MILBWARD STREET
BLOCK/LOT: 2610/01E

AVG. SETBACK OF ADJ. PROPERTY

*FRONT
SETBACK*

*AVERAGED
SETBACK
LINE*

*ADJ. NEIGHBOR
W/ GREATER
SETBACK*

*DIRECT LATERAL
EXPOSURE*

SITE & ROOF PLAN - PROPOSED

**FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION**
50 SEWARD ST. SAN FRANCISCO, CA 94114
BLOCK LOT 2701 - LOT 024A

client: Kelly Friedgen & Kyle Johnson
50 Seward St

date	issues/ revisions
03.17	Neighborhood Outreach
04.18.17	Site Permit Submission
07.25.17	Site Permit Rev 1
11.01.18	Site Permit Rev 2 (RDAT)
01.15.19	Site Permit Rev 3
02.27.19	Site Permit Rev 4
04.09.19	Site Permit Rev 5
10.24.19	Site Permit Rev 6 (FINAL)

project name:
FRIEDGEN JOHNSON RESIDENCE
REMODEL & ADDITION

SITE & ROOF PLAN

A0.02

EXHIBIT 12

From: John Lum john@johnlumarchitecture.com
Subject: Re: Placed on Hold by ZA FW: DR request 2017-006245DRP 50 Seward Street Front Setback
Date: November 22, 2019 at 4:49 PM
To: Teague, Corey (CPC) corey.teague@sfgov.org
Cc: Campbell, Cathleen (CPC) cathleen.campbell@sfgov.org



Corey,

Thanks so much for getting back to me and appreciate your decision... it certainly is an unusual situation due to the lot, but I think that the project certainly follows the intent, as well as complies with the written code language. So thanks, and will relay the message to my clients. Have a great Thanksgiving.

John Lum, AIA
John Lum Architecture
p.415.558.9550x0016
f.415.558.0554
[e.john@johnlumarchitecture.com](mailto:john@johnlumarchitecture.com)

On Nov 22, 2019, at 4:24 PM, Teague, Corey (CPC) <corey.teague@sfgov.org> wrote:

John,

I apologize for the delay responding to this issue. In short, this is an unusual context relative to the front setback requirement, and specifically the method and requirements for averaging. There are no documented ZA interpretations regarding this situation. After reviewing in detail, the nature of the adjacent front setbacks (both literal and as measured per the Code), along with the angled front property line, provide some measure of flexibility in how I interpret the average front setback measurement. As such, I determine this project to be consistent with Planning Code Section 132.

I'll also inform Mr. Hillan. Please let me know if you have any questions. Thanks.

Corey A. Teague, AICP, LEED AP
Zoning Administrator

San Francisco Planning Department
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415.575.9081 | www.sfplanning.org
[San Francisco Property Information Map](#)

From: John Lum <john@johnlumarchitecture.com>
Sent: Wednesday, November 20, 2019 11:57 AM
To: Teague, Corey (CPC) <corey.teague@sfgov.org>
Cc: Campbell, Cathleen (CPC) <cathleen.campbell@sfgov.org>
Subject: Re: Placed on Hold by ZA FW: DR request 2017-006245DRP 50 Seward Street Front Setback

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Corey,

I wanted to follow up with my email from a couple of days to address specifically Mr. Hillan's inquiry to Section 132 (b). It's really puzzling to us that Mr. Hillan has been so dogged in his

opposition to the project, as he does not live adjacent but is three houses down to the North, and there is no effect to his house from our project. I'd also like to note that it has been two months since we had our 311 hearing, and my clients would like the alteration permit signed by Planning and released to DBI for its issuance of the permit. Our submittal was over 2.5 years ago on April 19, 2017 so you can imagine that any further delays are causing them extreme frustration.

In regards to Mr. Hillan, I am attaching a diagram that shows how our project complies with Section 132 (b) Alternative Method of Averaging, and specifically Mr. Hillan's question about the attached Planning Code Section 132, which states when the Alternative Method of Averaging is used that "**all** portions of the resulting setback area on the subject property shall be directly exposed laterally to **the** setback area of the adjacent building having the greater setback." I bold and underline the specific words that are important in this code section for emphasis.

Our project complies with the requirements of this section: Our setback **does** have exposure to the neighbor who has the larger setback. The code clearly states that **all** portions of our setback must be directly exposed, but it does not state that the direct exposure be to **ALL** of the setback area of the building having the greater setback. There is exposure of at least 1 foot 9.5 inches of the larger setback area next door. Exposure is not needed to the entire depth of the setback of the adjacent property next door. The RDAT reviewed the project twice and did not question the Alternative Method of Averaging.

Please keep in mind that the drafters of this section could have written the last half of Section (b) of Section 132 to state the following : "provided further, **all** portions of the resulting setback area on the subject property shall be directly exposed laterally to **ALL PORTIONS** of the setback of the adjacent building having the greater setback." The drafters **did not** use the words I have bolded. They used the words ALL PORTIONS in the first part of the phrase, and **not** in the last part of the phrase. That itself has great significance here.

Again I note that this project has been vetted numerous times by staff, the RDAT and of course the Commission.

Please see the attached diagram that explains our project situation graphically. If this is easier to talk on the phone, please call me at my studio or on my cell at 415.420-7874

John Lum, AIA
Founding Principal
John Lum Architecture, Inc.
p: 415-558-9550- 10016
f: 415-558-0554
e: john@johnlumarchitecture.com

On Nov 18, 2019, at 11:02 AM, John Lum <john@johnlumarchitecture.com>
wrote:

Dear Corey,

Cathleen Campbell our planner for 50 Seward, told us that you have placed a hold on the processing of our site permit due to concerns about the front setback brought up by one of the losing DR requestors, Kenneth Hillan. We understand he has been very persistent.

Although we respect the public process that we have followed during our 311 process, after the Commission's decision, the DR applicant loses his/her right to continue questioning the project. with the recourse of taking the project to the BOA if still not satisfied. We do appreciate the fact that Cathleen has met with Mr. Hillan numerous times to address his concerns but are concerned that his pestering has now resulted in a further delay to our project.

Could you please let me know when you will be releasing this hold as our clients and we are anxious to get this project into construction?

Thanks for your attention to this,

John Lum, AIA
Founding Principal

John Lum Architecture, Inc.
p: 415-558-9550- 10016
f: 415-558-0554
e: john@johnlumarchitecture.com

EXHIBIT 13

Ms. Cathleen Campbell & Mr. David Winslow
Planning Department
1650 Mission Street
San Francisco, CA 94102
david.winslow@sfgov.org

Dear Ms. Campbell and Mr. Winslow,

We live and own the home at 4546 19th Street, 94114 in San Francisco. We are writing in support of the Friedgen-Johnson Residence project at 50 Seward Street.

Kelley and Kyle have shown a concerted effort in engaging with the neighbors from the beginning of the design process and the resulting design of their house reflects a sensitivity to our neighborhood. They have also consistently demonstrated a willingness to address our concerns and are conscientious about potential construction impacts to our street.

The proposed house fits into our neighborhood, which is composed of a mixture of single-family homes and condo/apartment buildings. The house is beautiful and fits properly. We look forward to having Kelley and Kyle with their lovely children.

Please do not hesitate to reach out if you have any questions.

Sincerely,



Kaamna Bhojwani-Dhawan

Ms. Cathleen Campbell & Mr. David Winslow
Planning Department
1650 Mission Street
San Francisco, CA 94102

Dear Ms. Campbell and Mr. Winslow,

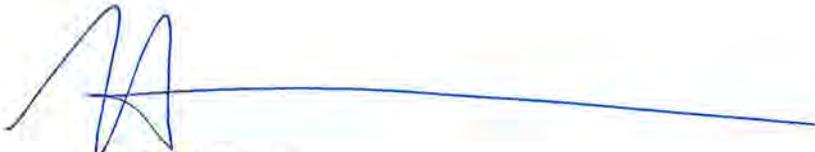
I live at 4248 20th Street in San Francisco. I am writing in support of the Friedgen-Johnson Residence project at 50 Seward Street.

Kelley and Kyle have shown a concerted effort in engaging with the neighbors from the beginning of the design process and the resulting design of their house reflects a sensitivity to our neighborhood. They have also consistently demonstrated a willingness to address our concerns and are conscientious about potential construction impacts to both Seward and the surrounding neighborhood streets.

The proposed house fits into our neighborhood, which is composed of a mixture of single-family homes and condo/apartment buildings. The proposed design looks and fits the neighborhood well. I look forward to welcoming Kelley, Kyle, Alexander, and Knox to the neighborhood in the newly renovated home.

Please do not hesitate to reach out if you have any questions.

Sincerely,



McCall Johnson

From: John Lum John@johnlumarchitecture.com
Subject: Fwd: In support of renovation project at 50 Seward Street
Date: May 30, 2019 at 9:58 AM
To: Richard Klaja richard@johnlumarchitecture.com



John Lum, AIA
John Lum Architecture, Inc.
p: 415-558-9550- 0016
f: 415-558-0554
e: john@johnlumarchitecture.com

Begin forwarded message:

From: Kelley Friedgen <kelly.friedgen@gmail.com>
Subject: Fwd: In support of renovation project at 50 Seward Street
Date: May 29, 2019 at 12 22 45 PM PDT
To: John Lum <john@johnlumarchitecture.com>
Cc: Kyle Johnson <Kyle.Johnson@recurrentenergy.com>

FYI

----- Forwarded message -----

From: Robin Shostack <shostack@gmail.com>
Date: Wed, May 29, 2019 at 12:00 PM
Subject: In support of renovation project at 50 Seward Street
To: <david.winslow@sfgov.org>, Will McDonald <wemcdonald@gmail.com>, Kelley Friedgen <kelly.friedgen@gmail.com>, Kyle C. Johnson <kj8375@yahoo.com>

Ms. Cathleen Campbell & Mr. David Winslow
Planning Department
1650 Mission Street
San Francisco, CA 94102
david.winslow@sfgov.org

Dear Ms. Campbell and Mr. Winslow,

We lived at 44 Seward Street until May 2019 when we bought our own home in Miraloma Park. We are writing in support of the Friedgen-Johnson Residence renovation project at 50 Seward Street.

Kelley and Kyle have shown a concerted effort in engaging with the neighbors from the beginning of the design process and the resulting design of their house reflects a sensitivity to our neighborhood. They have also consistently demonstrated a willingness to address our concerns and are conscientious about potential construction impacts to our street. We were particularly interested in the weekly construction schedule, as we have a young son who still naps during the day.

The proposed house fits into our neighborhood, which is composed of a mixture of single-family homes and condo/apartment buildings. We look forward to having Kelley and Kyle move-in to their fully renovated home with their lovely children.

Please do not hesitate to reach out if you have any questions.

Sincerely,
Will McDonald & Robin Shostack

Ms. Cathleen Campbell & Mr. David Winslow
Planning Department
1650 Mission Street
San Francisco, CA 94102

Dear Ms. Campbell and Mr. Winslow,

We live at 4400 19th Street in San Francisco. We are writing in support of the Friedgen-Johnson renovation project at 50 Seward Street.

Kelley and Kyle have shown a concerted effort in engaging with the neighbors from the beginning of the design process and the resulting design of their house reflects a transparent and sensitive process. They have also consistently demonstrated a willingness to address our concerns and are conscientious about potential construction impacts to both Seward and the surrounding streets.

The proposed house fits into our neighborhood, which is composed of a mixture of single-family homes and condo/apartment buildings. The house plans look great and fit the neighborhood well. We look forward to having Kelley and Kyle move-in to their newly renovated home with their lovely children.

Please do not hesitate to reach out if you have any questions.

Sincerely,



Scott Leonard and Maki Sugimoto
4400 19th Street, #2
San Francisco, CA 94114

PUBLIC COMMENT

From: [Paul Moffett](#)
To: [BoardofAppeals \(PAB\)](#)
Subject: Letter of Opposition for 50 Seward St
Date: Wednesday, September 16, 2020 11:21:07 AM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

I, Paul Moffett, am the owner of 67 Seward St and am writing to register my strong opposition to the proposed construction project at 50 Seward Street.

Thank you,

Paul Moffett

415-431-9146

67 Seward St.

Board of Appeals
City and County of San Francisco

RE: 50 Seward Street Project: OPPOSED

SF Board of Appeals:

I write this letter to express my opposition to the recently approved permit for 50 Seward Street.

I have been a resident of Seward Street since 1993. This proposed project grossly exceeds any and all remodels on Seward in these 27 years I have lived here. My main concerns are the following:

1. **Design:** Seward Street is one of six beautiful 1920's Mediterranean-style homes which contribute to the unique characteristic of Seward Street. During the pre-COVID years, Seward Street was regularly visited by any of the several local "walking tours" of San Francisco. The Mediterranean homes are key attraction on these local tours. To allow this "remodel" to go forward and destroy a part of our history and pride would be truly shameful. To be clear, the proposed changes would remove one of the six beautiful Mediterranean homes, and set a precedent for further removal of any others in the future.
2. **Size and Scope:** My understanding is that the permit for 50 Seward Street project is for a "remodel" (v. a demolition). If so, this is a shocking interpretation of the meaning "remodel." The scope of the 50 Seward Street project, with an additional story and extension in front toward the street, attests to its true definition as a demolition. It is completely out of proportion to all other single-family homes on Seward Street. It should be noted that other Seward Street Mediterranean homes have undergone extensive remodeling, yet all within their current "envelope," thus respecting the historical design of these beautiful homes.
3. **Loss of light:** The size of 50 Seward Street means that the neighbors will be negatively impacted by the loss of light due to building shadows. Seward Street is a very narrow street; with the proposed project moving the house further toward the street (and higher), there will be loss of light for adjacent neighbors.

I ask the Board to seriously consider this statement of objection from a long-time resident of Seward Street.

Respectfully,

Robert McNamara

49 Seward Street #3
San Francisco, California

From: [BoardofAppeals \(PAB\)](#)
To: [peter_fatooh](#)
Cc: [BoardofAppeals \(PAB\)](#); [Rosenberg, Julie \(BOA\)](#); [Longaway, Alec \(BOA\)](#); [Mejia, Xiomara \(BOA\)](#); [Sullivan, Katy \(BOA\)](#)
Subject: Re: Appeal #'s 20-055;058; and 059 50 Seward St.
Date: Thursday, September 24, 2020 12:26:53 PM

Dear Peter and Colleen Fatooh and Family:

This message is to confirm that the Board of Appeals has received your letter for the Appeal matters regarding 50 Seward Street (Appeal Nos. 20-055, 20-058, and 20-059).

We will add your letter to the Appeal files. Please feel free to contact me if you have any questions. Thank you.

Katy Sullivan
Legal Assistant

From: peter fatooh <pfatooh@sbcglobal.net>
Sent: Thursday, September 24, 2020 12:19 PM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Subject: Appeal #'s 20-055;058; and 059 50 Seward St.

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hon. Ann Lazarus, Chairwoman
Board of Appeals
49 South Van Ness Ave., Suite 1475
San Francisco, Ca. 94103

Dear Ms. Lazarus:

My family and I write this letter to you and the other members of your Board in protest to the issuance of the permits for 50 Seward St. My residence at 54 Seward St. is the immediate property to the North of 50 Seward. My family has owned our property since 1948.

We believe the Planning Commission erred in its approval of these permits. As you view the visual of our single block of Seward St., you will see 6 similar adjacent homes, including the subject property of 50 Seward. You will also see that each of these 6 homes is similar in style and construction and each with spanish tile eaves. You will also see that each property's garage is located on the right side of the home. Each of these homes was built in either 1929 or 1930 by the same developer. Thus, the continuity of their respective exteriors.

50 Seward's permits will dramatically change and alter the design of the 6 homes. 50 Seward wants to move their garage from its originally designed right side to the left side of their property. 50 Seward wants to extend their frontage approximately 15' forward, thus rendering an even smaller front yard (its rear yard is barely a 'postage stamp'). 50 Seward wants to extend vertically to include a roof level. The latter will dramatically affect the sunlight that our rear yard has had since our home was built in 1930.

My family has just completed a major remodel. Some of our neighbors have done the same. In the remodel of our property and that of our neighbors, all of us remained in the 'envelope' of our originally built homes. To allow 50 Seward to extend through their roof line and move their frontage out 15' will add to the incongruity of the design of the forementioned 6 homes.

Much has been stated about the permitted status of 50 Seward. Having known this property for my entire life please allow me to clarify the misinformation the architect has made regarding its allowed use. 50 Seward was originally built--as were the other mentioned five homes--as a single family property. In the late 1950's, its owners, Alan and Carol Ritchie, lived in the upper portion of the house. They briefly rented the lower level, however, in the 1970's their son and his family moved into the lower unit and it remained that way until its sale to the present owners. As you may know, back in the 50's and 60's, the planning department required one-to-one 'off-street' parking if an owner wanted to add a unit. 50 Seward, just like the other five similar homes on our block, has only a one car garage. Of the six homes I have referred only 60 Seward was allowed to increase its unit count. Even though 60 Seward has only a one car garage, their rear yard has a driveway from Carson Alley and their previous owner was permitted a second unit because he was able to produce a 2nd off-street parking space.

50 Seward's proposed permits will drastically alter our small block. If granted, it will set an unfortunate precedent for other owners on our street to over-build their lots and further the block's decline.

In our opinion, the owners of 50 Seward can achieve their goal of increasing their living square footage by staying within the envelope of their existing home just as we and our neighbors have. Much testimony was rendered by their architect at the City Planning hearings about the desire of the owner to have the new roof level as a play level for their young children. What he failed to mention was that there is a world-famous mini-park (Seward Street mini-park) less than 100 feet from their residence complete with slides that children world-wide come to see and use.

Ms. Lazarus, these permits are not in the best interests of either our block, our neighborhood, or our City. My family joins with all of the residential owners of Seward Street in imploring you and the members of the Board to reject these permits. Lastly, may I point out that not ONE property owner on Seward St., Douglass St., or Carson Alley supports this project.

Sincerely,

Peter and Colleen Fatooh and Family
54 Seward St.

From: [BoardofAppeals \(PAB\)](#)
To: [Angela Oliva](#)
Cc: [BoardofAppeals \(PAB\)](#); [Rosenberg, Julie \(BOA\)](#); [Longaway, Alec \(BOA\)](#); [Mejia, Xiomara \(BOA\)](#); [Sullivan, Katy \(BOA\)](#)
Subject: Re: Appeal #'s 20-055;058; and 059 50 Seward St.
Date: Thursday, September 24, 2020 12:28:48 PM

Dear Ms. Oliva:

This message is to confirm that the Board of Appeals has received your letter for the Appeal matters regarding 50 Seward Street (Appeal Nos. 20-055, 20-058, and 20-059). We will add the letter to the Appeal files. Please feel free to contact me if you have any questions. Thank you.

Katy Sullivan
Legal Assistant

From: Angela Oliva <angelaoliva@sbcglobal.net>
Sent: Thursday, September 24, 2020 12:24 PM
To: peter fatooh <pfatooh@sbcglobal.net>; BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Subject: Re: Appeal #'s 20-055;058; and 059 50 Seward St.

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Beautifully expressed, Peter.
I support you.
Warmly,
Angela

[Sent from AT&T Yahoo Mail for iPhone](#)

On Thursday, September 24, 2020, 12:21 PM, peter fatooh <pfatooh@sbcglobal.net> wrote:

Hon. Ann Lazarus, Chairwoman
Board of Appeals
49 South Van Ness Ave., Suite 1475
San Francisco, Ca. 94103

Dear Ms. Lazarus:

My family and I write this letter to you and the other members of your Board in protest to the issuance of the permits for 50 Seward St. My residence at 54 Seward St. is the immediate property to the North of 50

Seward. My family has owned our property since 1948.

We believe the Planning Commission erred in its approval of these permits. As you view the visual of our single block of Seward St., you will see 6 similar adjacent homes, including the subject property of 50 Seward. You will also see that each of these 6 homes is similar in style and construction and each with spanish tile eaves. You will also see that each property's garage is located on the right side of the home. Each of these homes was built in either 1929 or 1930 by the same developer. Thus, the continuity of their respective exteriors.

50 Seward's permits will dramatically change and alter the design of the 6 homes. 50 Seward wants to move their garage from its originally designed right side to the left side of their property. 50 Seward wants to extend their frontage approximately 15' forward, thus rendering an even smaller front yard (its rear yard is barely a 'postage stamp'). 50 Seward wants to extend vertically to include a roof level. The latter will dramatically affect the sunlight that our rear yard has had since our home was built in 1930.

My family has just completed a major remodel. Some of our neighbors have done the same. In the remodel of our property and that of our neighbors, all of us remained in the 'envelope' of our originally built homes. To allow 50 Seward to extend through their roof line and move their frontage out 15' will add to the incongruity of the design of the forementioned 6 homes.

Much has been stated about the permitted status of 50 Seward. Having known this property for my entire life please allow me to clarify the misinformation the architect has made regarding its allowed use. 50 Seward was originally built--as were the other mentioned five homes--as a single family property. In the late 1950's, its owners, Alan and Carol Ritchie, lived in the upper portion of the house. They briefly rented the lower level, however, in the 1970's their son and his family moved into the lower unit and it remained that way until its sale to the present owners. As you may know, back in the 50's and 60's, the planning department required one-to-one 'off-street' parking if an owner wanted to add a unit. 50 Seward, just like the other five similar homes on our block, has only a one car garage. Of the six homes I have referred only 60 Seward was allowed to increase its unit count. Even though 60 Seward has only a one car garage, their rear yard has a driveway from Carson Alley and their previous owner was permitted a second unit because he was able to produce a 2nd off-street parking space.

50 Seward's proposed permits will drastically alter our small block. If granted, it will set an unfortunate precedent for other owners on our street to over-build their lots and further the block's decline.

In our opinion, the owners of 50 Seward can achieve their goal of increasing their living square footage by staying within the envelope of their existing home just as we and our neighbors have. Much testimony was rendered by their architect at the City Planning hearings about the desire of the owner to have the new roof level as a play level for their young children. What he failed to mention was that there is a world-famous mini-park (Seward Street mini-park) less than 100 feet from their residence complete with slides that children world-wide come to see and use.

Ms. Lazarus, these permits are not in the best interests of either our block, our neighborhood, or our City. My family joins with all of the residential owners of Seward Street in imploring you and the members of the Board to reject these permits. Lastly, may I point out that not ONE property owner on Seward St., Douglass St., or Carson Alley supports this project.

Sincerely,

Peter and Colleen Fatooh and Family
54 Seward St.

From: [BoardofAppeals \(PAB\)](#)
To: [Mila Caceres](#)
Cc: [BoardofAppeals \(PAB\)](#); [Rosenberg, Julie \(BOA\)](#); [Longaway, Alec \(BOA\)](#); [Mejia, Xiomara \(BOA\)](#); [Sullivan, Katy \(BOA\)](#)
Subject: Re: Appeal #'s 20-055;058; and 059 50 Seward St.
Date: Thursday, September 24, 2020 12:30:50 PM

Dear Ms. Caceres:

This message is to confirm that the Board of Appeals has received your letter for the Appeal matters regarding 50 Seward Street (Appeal Nos. 20-055, 20-058, and 20-059). We will add the letter to the Appeal files. Please feel free to contact me if you have any questions. Thank you.

Katy Sullivan
Legal Assistant

From: Mila Caceres <milacaceres@gmail.com>
Sent: Thursday, September 24, 2020 12:26 PM
To: peter fatooh <pfatooh@sbcglobal.net>
Cc: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Subject: Re: Appeal #'s 20-055;058; and 059 50 Seward St.

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Thank you Peter for sharing this. Your letter and the data from our other neighbors filings should help everyone write their own appeal letters.
Mila

On Thu, Sep 24, 2020 at 12:20 PM peter fatooh <pfatooh@sbcglobal.net> wrote:

Hon. Ann Lazarus, Chairwoman
Board of Appeals
[49 South Van Ness Ave., Suite 1475](#)
[San Francisco, Ca. 94103](#)

Dear Ms. Lazarus:

My family and I write this letter to you and the other members of your Board in protest to the issuance of the permits for 50 Seward St. My residence at 54 Seward St. is the immediate property to the North of 50 Seward. My family has owned our property since 1948.

We believe the Planning Commission erred in its approval of these permits. As you

view the visual of our single block of Seward St., you will see 6 similar adjacent homes, including the subject property of 50 Seward. You will also see that each of these 6 homes is similar in style and construction and each with spanish tile eaves. You will also see that each property's garage is located on the right side of the home. Each of these homes was built in either 1929 or 1930 by the same developer. Thus, the continuity of their respective exteriors.

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My family has just completed a major remodel. Some of our neighbors have done the same. In the remodel of our property and that of our neighbors, all of us remained in the 'envelope' of our originally built homes. To allow 50 Seward to extend through their roof line and move their frontage out 15' will add to the incongruity of the design of the forementioned 6 homes.

Much has been stated about the permitted status of 50 Seward. Having known this property for my entire life please allow me to clarify the misinformation the architect has made regarding its allowed use. 50 Seward was originally built--as were the other mentioned five homes--as a single family property. In the late 1950's, its owners, Alan and Carol Ritchie, lived in the upper portion of the house. They briefly rented the lower level, however, in the 1970's their son and his family moved into the lower unit and it remained that way until its sale to the present owners. As you may know, back in the 50's and 60's, the planning department required one-to-one 'off-street' parking if an owner wanted to add a unit. 50 Seward, just like the other five similar homes on our block, has only a one car garage. Of the six homes I have referred only 60 Seward was allowed to increase its unit count. Even though 60 Seward has only a one car garage, their rear yard has a driveway from Carson Alley and their previous owner was permitted a second unit because he was able to produce a 2nd off-street parking space.

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Ms. Lazarus, these permits are not in the best interests of either our block, our neighborhood, or our City. My family joins with all of the residential owners of Seward Street in imploring you and the members of the Board to reject these permits. Lastly, may I point out that not ONE property owner on Seward St., Douglass St., or Carson Alley supports this project.

Sincerely,

Peter and Colleen Fatooh and Family
[54 Seward St.](#)

--

Best of Days

Mila Caceres Schuler

"Then stirs the feeling infinite, so felt in solitude, where we are least alone." Lord Byron

"And always remember, life is not measured by the number of breaths we take, but by those moments that take our breath away." George Carlin