

**DOCUMENTS SUBMITTED FOR THE ORIGINAL HEARING ON FEBRUARY 17, 2021**

# BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of  
PATRICIA CANNON, )  
Appellant(s) )  
vs. )  
DEPARTMENT OF BUILDING INSPECTION, )  
PLANNING DEPARTMENT APPROVAL Respondent )

Appeal No. **21-001**

## **NOTICE OF APPEAL**

**NOTICE IS HEREBY GIVEN THAT** on January 3, 2021, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on December 18, 2020 to 2634 Octavia Homeowners Association, of an Alteration Permit (replace existing fire egress stairs in kind due to significant deterioration and dry rot; no firewall construction; demolish existing illegal deck at third story) at 2634 Octavia Street.

**APPLICATION NO. 2020/09/03/3412**

**FOR HEARING ON February 17, 2021**

Address of Appellant(s):

Address of Other Parties:

Patricia Cannon, Appellant(s)  
c/o Stephen M. Williams, Attorney for Appellant(s)  
The Law Office of Stephen M. Williams  
1934 Divisadero Street  
San Francisco, CA 94115

2634 Octavia Homeowners Association, Determination  
Holder(s)  
c/o Paul Guernonprez, Agent for Determination  
Holder(s)  
2634 Octavia Street  
San Francisco, CA 94123



Date Filed: January 4, 2021

**CITY & COUNTY OF SAN FRANCISCO  
BOARD OF APPEALS**

**PRELIMINARY STATEMENT FOR APPEAL NO. 21-001**

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I / We, **Patricia Cannon**, hereby appeal the following departmental action: **ISSUANCE of Alteration Permit No. 2020/09/03/3412** by the **Department of Building Inspection** which was issued or became effective on: **December 18, 2020**, to: **2634 Octavia Homeowners Association**, for the property located at: **2634 Octavia Street**.

**BRIEFING SCHEDULE:**

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **January 28, 2021, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org), [julie.rosenberg@sfgov.org](mailto:julie.rosenberg@sfgov.org) [paul.guermonprez@gmail.com](mailto:paul.guermonprez@gmail.com)

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **February 11, 2021, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org), [julie.rosenberg@sfgov.org](mailto:julie.rosenberg@sfgov.org) [smw@stevewilliamsllaw.com](mailto:smw@stevewilliamsllaw.com) and [scott.sanchez@sfgov.org](mailto:scott.sanchez@sfgov.org).

The Board's physical office is closed to the public and hard copies of the brief do NOT need to be submitted.

**Only photographs and drawings may be submitted by the parties at the hearing.**

Hearing Date: **Wednesday, February 17, 2021, 5:00 p.m.**, via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org). Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

**Please note** that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at [www.sfgov.org/boa](http://www.sfgov.org/boa) You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

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**The reasons for this appeal are as follows:**

See attachment to the preliminary Statement of Appeal

**Appellant or Agent (Circle One):**

Signature: Via Email

Print Name: Steve Williams attorney for appellant.

## **STATEMENT OF APPEAL—2634 Octavia Street#5---BPA #202009033412**

Appellant Patricia Cannon appeals BPA #202009033412 which was issued to the 2634 Octavia Homeowners Association on December 18, 2020. The purpose of the Permit as set forth on the Permit Application by the HOA is to:

REPLACE (E) FIRE EGRESS STAIRS IN KIND DUE TO SIGNIFICANT DETERIORATION AND DRYROT. NO FIREWALL CONSTRUCTION. DEMO (E) ILLEGAL DECK AT 3RD STORY.

The alleged “*illegal deck at 3<sup>rd</sup> floor*” belongs to Appellant and is part of a specific property right granted to Ms. Cannon by the HOA when she purchased the condominium in 1990. She holds a Grant Deed Recorded with the City and County which grants to her from the HOA a specific, exclusive easement for use of her deck. The deck is also specifically noted and called out on the condominium map which all members of the Association were provided with on purchase.

Accordingly, the deck for Ms. Cannon’s unit is part of the original condominium subdivision project and is confirmed in the original deed and plat map filed with the City and County in 1981 when the building was converted to condominiums. In order for the original condominium project to be approved the building was completely inspected and approved by the City and issued a CFCO. For unknown reasons, the HOA filed a permit application terming the deck “illegal” and seeking to improperly remove it and deny Ms. Cannon her property rights to the exclusive use easement and the rear deck. The deck is not “illegal” and is confirmed in the original condominium application, the condo map and subsequent grant deeds.





								https://www.sfdbi.org/ftp/uploadedfiles/dbi/downloads/AB-031.pdf. Revision drop-off hours are 9:30 am - 3:30 pm at the forum entrance of 49 South Van Ness Avenue. You do not need an appointment to submit your revision. permitcenter@sfgov.org 11/3/2020 Revisions received. Plan set routed to DBI-Intake BLDG for re-check.
7	PERMIT-CTR	11/9/20	11/9/20			11/20/20	SILVA WINDSOR	11/09/2020 Comments have been issued by plan review staff. Project agent must collect the plan set. Pick-up hours are 10:00 am - 3:00 pm at 49 South Van Ness Avenue. You do not need an appointment to collect your plan set. Applicant or project agent must return the original plan set and permit application with supersceded sheets collated into the original plan set. All revisions must be done per Administrative Bulletin -031: https://www.sfdbi.org/ftp/uploadedfiles/dbi/downloads/AB-031.pdf. 11/20/20 Revisions received. Plan set routed to DBI-OTC BLDG Intake for re-check
8	CPB	12/2/20	12/2/20			12/18/20	CHAN CHENG	12/18/2020: ISSUED. ROUTED TO PERMIT CENTER TEAM FOR PICK-UP. -CC 12/16/2020: STATEMENT RECEIVED. INVOICE SENT TO APPLICANT. -CC 12/10/2020: NO RESPONSE FROM APPLICANT. SENT FOLLOW UP EMAIL. -CC 12/2/2020: MISSING CONTRACTOR'S STATEMENT. EMAILED APPLICANT. -CC

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			1	CONCRETE (PLACEMENT & SAMPLING)	placement
0			2	BOLTS INSTALLED IN CONCRETE	
0			24E	WOOD FRAMING	
0			24A	FOUNDATIONS	
0			4	REINFORCING STEEL AND PRETRESSING TENDONS	reinforcing steel

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Online Permit and Complaint Tracking](#) home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our [FAQ area](#).

# **BRIEF(S) SUBMITTED BY APPELLANT(S)**

# **San Francisco Board of Appeals**

## **Appeal No. 21-001**

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Patricia Cannon,  
Appellant,  
v.  
San Francisco Dept. of Building Inspection,  
Respondent.

Project Sponsor,  
2634 Octavia Street Homeowners Association

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## **Appellant's Brief**

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**BPA No. 202009033412**                      **2634 Octavia Street**  
Appeal of Permit Issued for Replacement of Rear Fire Egress  
Stair "In-Kind" Due to Dry Rot and Deterioration and  
Demolition of Deck (Misidentified as "Illegal")

Hearing Date:                      Wednesday, February 17, 2021  
Time:                                  5:00 P M  
Location:                              City Hall, Room 416  
    #1 Dr. Carlton B. Goodlett Place  
    San Francisco, CA 94102

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Attorney for Appellant Patricia Cannon

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## **Exhibit List**

<b>Exhibit 1</b>	<b>Spring Valley Water Service Record July 10, 1907</b>
<b>Exhibit 2</b>	<b>Original Building Permit Application 2634 Octavia Street, May 6, 1907</b>
<b>Exhibit 3</b>	<b>Remodeling Building Permit Application # 134256 April 16, 1952</b>
<b>Exhibit 4</b>	<b>Certified Sanborn Map Report</b>
<b>Exhibit 5</b>	<b>Certified Sanborn Maps from 1913 and from 1999</b>
<b>Exhibit 6</b>	<b>Condominium Plat Map 2634 Octavia Street October 1979</b>
<b>Exhibit 7</b>	<b>Grant Deed for Unit #5 to Patricia K. Cannon, December 20, 1990</b>
<b>Exhibit 8</b>	<b>Building Permit #8005966 July 10, 1980 Issued to Sanford Goldeen for Unit #5, (last page) Certificate of Final Completion and Occupancy issued July 25, 1980.</b>
<b>Exhibit 9</b>	<b>Letter from Mr. Goldeen forwarded to Ms. Cannon October 1, 2020</b>
<b>Exhibit 10</b>	<b>Plan Set Dated October 11, 2016 for Mandatory Soft Story Retrofit</b>

## **I. INTRODUCTION**

Appellant Patricia Cannon (hereafter “Appellant” or “Ms. Cannon”) purchased her home at 2634 Octavia Street, Unit #5 (hereafter “Unit #5”) in 1990. She has lived there continuously over the past 30 plus years and is now retired. When she purchased Unit #5 in 1990, the Unit included an exclusive easement for a rear yard deck at the top of the common area rear stair, shown below in a photo from February 1995. It also has an easement for parking and storage.



Recently, the HOA members determined to repair or replace the rear yard access stair because it has deteriorated over the years and there is dry-rot present in the treads and supporting



lumber. The permit for which the HOA applied (BPA #202009033412) is the subject of this appeal. The description of the work set forth on the Permit Application by the HOA is to:

*“REPLACE (E) FIRE EGRESS STAIRS IN KIND DUE TO SIGNIFICANT DETERIORATION AND DRYROT. NO FIREWALL CONSTRUCTION. DEMO (E) ILLEGAL DECK AT 3RD STORY.” (red emphasis added)*

The alleged “illegal deck at 3<sup>rd</sup> floor” belongs to Appellant and is part of a specific property right granted to Ms. Cannon under the founding documents of the HOA when she purchased the condominium in 1990. She holds a Grant Deed recorded with the City and County which grants to her a specific, exclusive use easement in the condominium common area for possession and use of her deck which she has enjoyed for more than 30 years. The deck is also specifically noted and called out on the condominium map filed with the City and with which all new members of the HOA are provided on purchase. Numerous other exclusive use easements are noted in the condominium founding papers for all units including those easements for parking, storage, and balconies.

Accordingly, the deck for Ms. Cannon’s Unit #5 is part of the original construction of the building and is also part of the condominium subdivision project and is confirmed in the original deed and plat map filed with the City and County in 1981 when the building was converted to condominiums. In order for the original condominium project to be approved in 1981, the building was completely inspected and approved by the City and issued a Certificate of Final Completion and Occupancy, (“CFCO”).

For unknown and unexplained reasons, the HOA filed a permit application terming the deck “illegal” and seeking to improperly remove it and strip Ms. Cannon of her property rights to the exclusive use easement and the rear deck. This was in error. The deck is not “illegal” and is evidenced in the permit history and consistently shown on the historic Sanborn Maps as part of the original design of the building and is also confirmed in the original condominium

application, the condo map and subsequent grant deeds. The City issued CFO's and CFCO's for this building including the deck deeded to Unit #5.

The structural engineer Engin Yagmur of ECR Engineering, hired by the HOA made an unsupported claim in the permit application that a portion of the stairs (an enlarged landing or "deck") outside of Ms. Cannon's unit is "illegal." Mr. Yagmur has stated that he was informed by the HOA or some member(s) of the HOA that the deck was "illegal" but has so far refused to state who provided him with that false information that cast doubt on Unit #5's ownership of the deck in a public record (the building permit application). Each member of the HOA has the same condo map and founding papers granting to Unit #5 the subject deck, so each member of the HOA knew for a fact (or should have known) that the deck was not "illegal," that the written statement in the permit application is false and that Mr. Yagmur would rely on the statement to cause financial and personal harm to Ms. Cannon. The building permit application should have been filed simply to repair or rebuild the required rear egress stair "in-kind" without the false legal conclusion that the deck is "illegal." The permit could have been issued over the counter.

Appellant requests that the Board look at the totality of the circumstance before it and allow the stair to be rebuilt "in-kind" with Ms. Cannon's small deck. It would be a grave injustice to take the deck from her unit and would cause real financial loss and personal injury to her by extinguishing the easement she purchased 30 years ago. The deck can be rebuilt or repaired entirely within the "footprint" of the stair structure.

## **II. FACTUAL BACKGROUND, PERMIT HISTORY AND SANBORN MAPS**

The subject building at 2634 Octavia Street, was constructed immediately following the great San Francisco earthquake of 1906. Water service was first turned on to the building on July 10, 1907. Attached as Exhibit 1 is a true and correct copy of the Spring Valley Water Service



record showing that the building was originally constructed as 6 units and enjoyed the relatively modern convenience of indoor plumbing for all units. A seventh unit was later added in the basement and legalized in the 1960's. Attached as Exhibit 2 is a true correct copy of the original building permit application for construction of the building which was issued on May 6, 1907. As shown on Exhibit 2, the original owner who contracted for the construction of the building one hundred and fourteen years ago is a well-known name in San Francisco real estate, J. Barbagelata.

A public records request was submitted to the Department of Building Inspection but no original plans (or any relevant plans showing Unit #5) for the construction of the building could be located to confirm the existence of the deck within the original rear stair structure. However, other historic documents create a strong impression that the deck was an original portion of the rear yard stair structure. As part of a major remodel of the building in 1951, a permit was issued which included in its detailed description of the work, "*Rebuild back porch foundations: construct brick wall at rear; replace flooring porch landings where needed;*" A true and correct copy of that permit application is attached hereto as Exhibit 3. Accordingly, the rear stair is stated to have also contained "porches," which indicates that the deck for Unit #5 was part of the original construction of the building. There is a near identical "porch" at the first floor.

The historic Sanborn Maps also show a consistent configuration of the rear yard stair structure which includes the subject deck. Attached hereto Exhibit 4 is a true and complete copy of the Certified Sanborn Map Report which contains historic maps of the subject block from the year 1893 until 1999. The subject building first appears in the Sanborn Map from the year 1913 and the configuration of the stair structure at the rear is depicted as identical to that which appears in the Sanborn Map from the most recent year of 1999. Because the subject deck is no

more than a large porch landing for Unit #5 is completely contained within the footprint of the rear yard stair structure. Attached as Exhibit 5 are the Sanborn Maps from 1913 and from 1999 with the subject site enlarged and tinted red/purple showing the rear stair structure at 2634 Octavia Street as identical in size and shape over that 86-year period of time.

The certified Sanborn Maps show the stair and deck configuration unchanged over the years and the deck appears to be part of the original construction of the building in 1907. The Certified Sanborn Maps from 1913 and 1999 (Exhibit 5) are attached and both show the same consistent stair and deck configuration (the same “footprint”) as do the Maps from 1929, 1950, 1968, 1974, 1986, 1988 & 1990. Further, although the deck is within the stair structure and is HOA common property, Ms. Cannon’s property right to the deck from the grant of an exclusive easement are a specific part of her title and deed to the property and is specifically called out on the Condominium Map filed for the project in 1980-81 and as mapped by the original surveyor for the Project in 1979. That Map is also attached hereto for your review (Exhibit 6) as are the references to the deck from the Title Report granting Ms. Cannon an exclusive easement to the deck. She purchased the unit with the deck and was granted title to its exclusive use in the HOA documentation. She paid a premium for this property right and will be injured if it is arbitrarily lost by an apparent misunderstanding of the state of the stair and deck.

### **III. APPELLANT PURCHASED THE PROPERTY WITH THE DECK DEEDED TO UNIT #5 AND AS PART OF THE CONDO MAP APPROVED BY THE CITY**

The building was converted to condominiums back in 1980-1981. As part of that process, it was thoroughly inspected and approved by DBI (including the subject deck) and the City signed off on the condo conversion with Unit #5’s deck specially noted in the papers establishing the condominium project. The original Condominium Plat Map filed with the City in 1980 specially calls out the deck in question as deeded as an exclusive use easement to Unit #5.

Marked as Exhibit 6 is a true and correct copy of the original plat map for the condominium project showing the deck for Unit #5. Further, the grant of the easement indicated on the plat map is cross referenced on the Deed to Unit #5 which grants to the owner of Unit #5:

“AN EXCLUSIVE EASEMENT TO USE DECK AREA NO. D-5, AS SHOWN ON THE MAP”

A true and correct copy of the Grant Deed issued to Ms. Cannon as part of her purchase of the property is attached as Exhibit 7. The second page of the Exhibit has been highlighted to show the easement for the subject deck.

In order to convert an apartment building to a condominium project such as was done to this building, the Code requires that the building go through a six-step process for approval. The inspection process includes, (1) submittal of an inspection request form and substantial fee (2) a site visit by San Francisco Building, Plumbing and Electrical Inspectors, (3) issuance of a specific written inspection report from those inspectors (4) application and receipt of a building permit for any corrective work, (5) completion of all of the required corrective work and (6) City inspection of the work and an issuance of a completion certificate known as a CFCO (Certificate of Final Completion and Occupancy). These inspection reports typically cover at least three different types of problems, including (a) work which was completed without required permits (including everything from kitchen renovations to decks to in-law units) (b) conditions which present safety hazards like poor fire egress or dangerous electrical wiring and (c) energy and water conservation violations.

In other words, this building has been completely inspected by DBI and Certificates of Final Completion and Occupancy have been issued for each unit including Ms. Cannon's Unit #5 and the specific designation of her deck within the stair configuration. If there was any question

about the deck and its “legality” it would have been caught in those inspections and the City has fully approved this building as it is presently configured.

To further confirm that the subject deck was present on the building at least 40 years ago and was approved by the City, Ms. Cannon contacted the Sanford Goldeen, the man who converted the building to condominiums back in 1980. He is approaching 80 years of age, retired, and lives in Tiburon. He confirmed that he followed all of the required City procedures to convert the apartment building to condominiums back in 1980-1981.

Further, related to the conversion of this building to condominiums, in the permit history we obtained a permit Mr. Goldeen applied for in 1980 which includes adding a guard rail to the rear stairs. So, not only does this confirm that the rear stairs and the deck for Unit #5 existed at that time, but it also confirms that the stairs and deck were inspected by the City and approved when the CFC was issued. Attached as Exhibit 8 is a copy of the permit obtained on July 10, 1980 by Mr. Goldeen for Unit #5 and includes (last page) the Certificate of Final Completion and Occupancy issued for the building July 25, 1980. Attached as Exhibit 9 is a copy of correspondence from Mr. Goldeen forwarded to Ms. Cannon October 1, 2020 and which has the original plat map and reference guide attached showing the deeded deck for Unit #5 and his recollection that all steps were followed to have the building completely inspected and approved by the City for the condo conversion. Further, the most recent plans filed with the City also show the deck as existing. The building went through a mandatory soft story retrofit and the deck for Unit #5 is clearly depicted on that plan. The plans for the Mandatory Soft Story Retrofit were prepared and filed by Mr. Yagmur. (Exhibit 10).

#### **IV. APPELLANT WAS ENTITLED TO RELY ON THE CITY'S APPROVAL OF THE ORIGINAL CONDO PROJECT AND THE DEED**

For unknown reasons, Mr. Yagmur and the HOA submitted a building permit application calling the deck structure “illegal.” This was done without her knowledge or consent and without a vote of the HOA. After learning of the building permit application labeling her deck, “illegal,” Ms. Cannon supplied the HOA with the attached documents and pointed out that each HOA member has a title report and condo map that also contains the same references to the easements granted to Unit #5 (and other Units). The parties are now jointly submitting an amended plan and application for the replacement of the stair “in-kind” which includes the deck for Unit #5 to the Board of Appeals.

As noted above, in all likelihood the “deck” is part of the original construction of the building and is specifically called out on the condo map that was filed with the City 40 years ago and approved. This structure is not really a stand lone “deck” per se as it is within the “footprint” of the rear stair and is more a landing than an independent deck structure. It matches the “porch” on the first floor and ends at the edge of the building. Allowing for construction of an entirely new rear stair in the same footprint is envisioned in the Planning Code as there will NOT be an increase in any discrepancy between existing conditions and Code standards. As the facts show, it was inspected and signed off on by the City in 1980-1981 and a permit was issued for work on the structure and a CFC was issued. That must have the effect of “legalizing” the structure for the past 40 years. Replacing it in kind should not require a variance if it has always been there. Appellant asks that the Board please give this its due consideration it would be an extreme hardship to require a variance and it is not warranted in these circumstances.

## V. A VARIANCE SHOULD NOT BE REQUIRED TO REBUILD THE DECK

It is anticipated that the Planning Dept may indicate that a variance is required to repair/rebuild the stairs to include the existing deck or landing outside of Unit #5. This should not be necessary or required for a structure that has been in place for decades and was previously approved by the City. Because of the size of the subject lot (only 80' feet deep), the entire stair (and part of the building) is within the required rear yard. Structures that exist in the required rear yard are what makes such structures "noncomplying" as stated in the Planning Code, meaning that the structure does not comply to the requirements of the Planning Code. That is what Planning Code Section 188 references. There are numerous situations where there are free standing structures such as sheds entirely within the code required rear and stairs and decks are also high on the list of "non-complying structures" within the rear yard.

Planning Code Section 188 has been interpreted numerous times to apply to this situation. For example, here is an interpretation from the Planning Code of Section 188 from the year 1985 which is directly applicable in the situation at this site:

### **"Code Section: 188**

#### **Subject: Alteration of noncomplying feature**

**Effective Date:** 7/85

#### **Interpretation:**

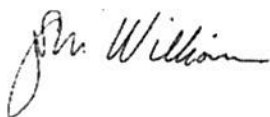
*This Section says that noncomplying structures may be enlarged, altered, relocated or intensified provided there is no increase in discrepancy but prohibits their complete replacement except in conformity with the Code. Nevertheless, because of the life safety importance of such features, **noncomplying stairs** which are required egress under the Building Code may be completely removed and replaced within the same footprint if there is no increase in discrepancy between the feature and the Code requirement. The replacement structure, while remaining in the same general footprint area, can increase the footprint to the degree necessary to conform to current Code requirements. A fire wall required by Code would be considered an increase in discrepancy if the original stairs had none unless the fire wall is the minimum required by Code and would abut without extending above or beyond, a blank neighboring wall or fence." (Emphasis in the original)*

With this in mind the original application should have been to repair/replace the stair “in-kind” and if extensive dry rot or other issues are found, the stairs may be removed and completely rebuilt as is in the same footprint or even expanded if for engineering purposes the base had to be enlarged or something like that. The landing or deck outside of Unit#5 is part of the stair structure and always has been. There is no specific definition of a stair landing or a determination of its size in the planning code or the building code. The building code only sets forth *minimums*. Stairways must be a minimum of 36 inches wide and have a headroom minimum of 80 inches along the full course of the stairs and one tread length beyond the bottom step. Headroom is a vertical measurement from the front edge of the tread to the ceiling above. Every stairway is required to have a landing with a length equal to the width of the stair but landing lengths over 48 inches are not required. Stairs with a total vertical rise of more than 12 feet must have a landing between the top and bottom landing. There are staircases in the City with much larger “landings” than the subject deck and if the structure outside of Unit #5 is a “landing” or part of the stair structure it may be completely reconstructed if necessary.

## **VI. CONCLUSION**

As detailed above, it would work a great hardship (not of her own making) to extinguish Ms. Cannon’s deeded easement and entitlement to her deck/landing. The Board has the discretion to permit the project to go forward to include the deck structure in the stair repair/reconstruction.

Respectfully Submitted,

A handwritten signature in cursive script, appearing to read "Mr. Williams".

Stephen M. Williams, On Behalf of Appellant Patricia Cannon

# EXHIBIT 1



The following Regulations have been duly adopted by resolution of the Board of Trustees of the Spring Valley Water Co. They are to be strictly observed by consumers of Spring Valley Water, and considered a part of this agreement

1 In all cases of non-payment of the water rent within three days after the presentation of the bill the supply will be cut off and the water shall not again be let on either for the present or any subsequent occupant except upon the payment of the amount due together with the sum of two dollars provided that in case of specific supplies or for the fractional parts of the month where the water has been let on it may be cut off immediately, after notice given at the place that the rent is not paid and may be let on again upon the condition before mentioned

2 No person or family supplied with Spring Valley Water will be permitted to use the water for any other purpose than that stated in this agreement nor to supply water in any way to other persons or families

3 The Company does not guarantee pressure

4 Consumers shall prevent all unnecessary waste of water and shall make no concealment of the purposes for which it is used

5 No alteration shall be made in any water pipe or fixture without first giving notice of the intended alteration at the office of the Company

6 In all cases where water is to be supplied to several parties or tenants from one connection or tap the Company contracts only with one of said several parties and on his default to abide by these regulations and pay the rates will cut off the connection

7 Whenever any of these regulations shall be violated the supply of water will be discontinued and not resumed until all charges and expenses are satisfied

8 All persons taking water shall keep the service pipes in good repair, at their own expense and they will be held liable for all damages which may result from their failure to do so

9 **Street Sprinkling with Hose and Standing Irrigators will not be allowed under any circumstances.**

10 The inspector or other properly authorized officer of the Company shall be admitted at all reasonable hours to all parts of any premises supplied with water to see that these regulations are observed

No

Date of Supply,

## APPLICATION AND AGREEMENT

I hereby agree to take water from the Spring Valley Water Co, at the rate of  
per month, payable monthly in advance, in U S Gold Coin For

6 months

2634 California St 105 D of Green

and in default of such payment punctually made in advance, or if the above regulations are in any respect violated, the said Spring Valley Water Co may disconnect the water at my own cost and charges, according to the above regulations, of which I have been duly notified

GENERAL RATE		408	Size Building	2X 10 20	Sq Ft	3	Stories
"			"		"		"
"			"		"		"
"			"		"		"
"			"		"		"
SPECIAL RATES							
Stores @							
12	Wash Trays						
6	Wash Basins	30					
	Boarders and Lodgers						
6	Baths	192					
6	Water Closets	132					
	Urinals						
	Cows						
	Horses						
	Horse Trough						
	Sq. Yds. Irrigation	15					
Total		777					

9/15/12  
TRIAL METER

Bill, \$

And I hereby covenant and agree that I will protect and save harmless the said corporation from all claims for damage occasioned by the bursting of any of the pipes used for the supply of water under this application

G. Barbaugelator

San Francisco,

July 10/07

Service Connection

\$15.00

(C, station  
for 137. 6

T x  
:  
:

58410  
~~60311~~

OK 7/10/09

OK 7/10/10

Inspection Dept

OK 7/10/10

OK 7/10/10

~~INCR.~~ INCR. 1 PLASTIC 3-2-67

2.0 6/10/67

10.1 6/10/67

10.8 6/10/67

*Application for Service Installation*

2634-8 Octavia STREET

LOCATION \_\_\_\_\_

San Francisco, \_\_\_\_\_

183-2320

TO THE SPRING VALLEY WATER COMPANY

You are hereby requested and authorized to make service installation for water supply at \_\_\_\_\_

for account of \_\_\_\_\_

(Signed) \_\_\_\_\_ Owner

By \_\_\_\_\_

Architect-Plumber-Agent

NOTE This order covers service installation only, a separate order is required for supply

# EXHIBIT 2

0

No. 10030

APPLICATION

OF

J. P. Castagnola Owner

For Permit to Erect

3 story and Basement  
2034-86-38 Octavio bldg

Location East of Octavio  
105 ft south of Green

Filed May 2nd 1907  
MAY 2 1907

MAY 6 1907

APPROVED:

J. P. Castagnola

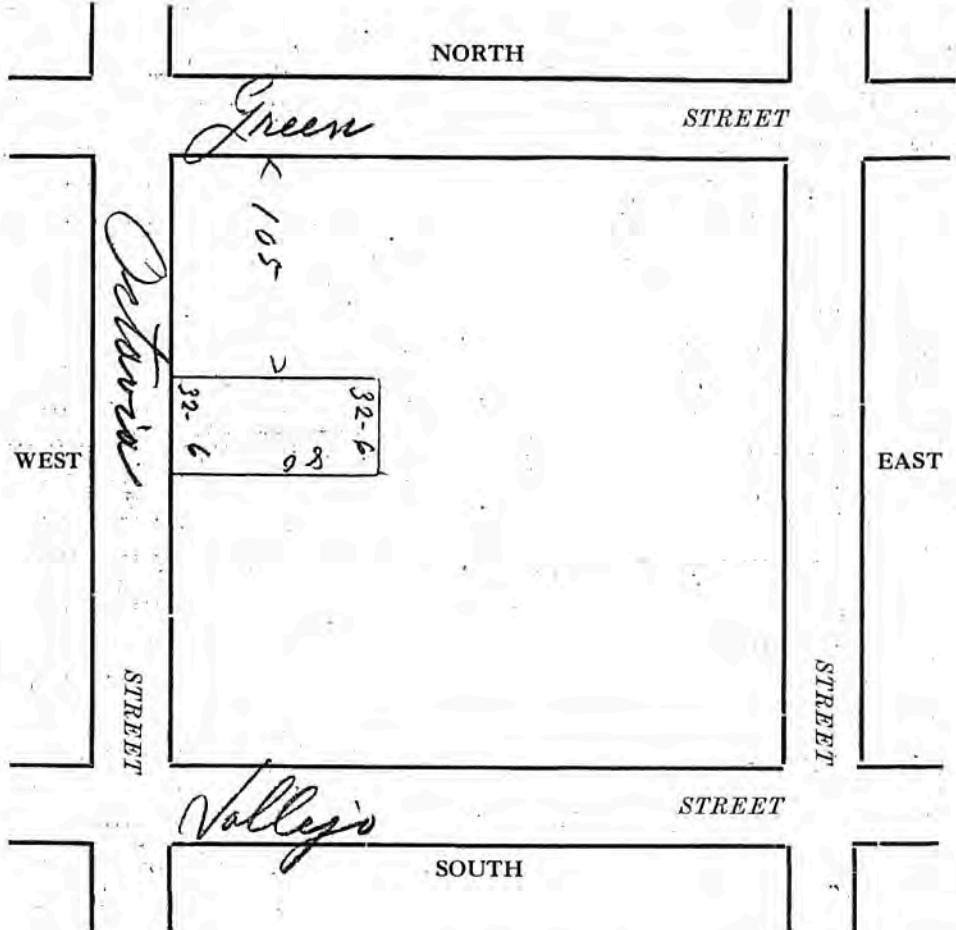
Architect

May 31 1907

San Francisco Printing Co.



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SAN FRANCISCO

Bd. of Pub. Works.

DEPARTMENT OF BUILDING INSPECTION

Applicant must indicate in ink correctly and distinctly on the back of this sheet, a diagram of the lot with street, alleys, location of existing buildings on the lot, if any, and location and dimensions of proposed buildings. Plans and Specifications must be fastened together.

## APPLICATION FOR BUILDING PERMIT.

## FRAME BUILDING

Application is hereby made to the Board of Public Works of the City and County of San Francisco for permission to build Three story and Basement on the lot situated East line of Octavia at 105 ft South of Green in accordance with the plans and specifications submitted herewith.

All provisions of the building laws shall be complied with in the erection of said building, whether specified herein or not. Estimated cost of building \$ 12,000. Building to be occupied as Plats by (No.) 6 families.

Size of Lot... 32-6 feet front... 32-6 feet rear... 80 feet deep.

Size of proposed building... 32-6 ft. by... 68 ft. Extreme height of building... 45 ft.

Height in clear of cellar... 7-8 Height in clear of first story... 10-

Height in clear of second story... 10 Height in clear of third story... 10

Height in clear of fourth story... Height in clear of fifth story...

Foundation to be of (material)... Concrete (thickness)... 12 inches.

Size footings... 1-8 inches. Greatest height... 7-6

Size of studs in basement... 3 by 6 inches... 16 inches on centers.

Size of studs in first story... 3 by 4 inches... 16 inches on centers.

Size of studs in second story... 3 by 4 inches... 16 inches on centers.

Size of studs in third story... 2 by 4 inches... 16 inches on centers.

Size of studs in fourth story... by inches inches on centers.

Size of studs in fifth story... by inches inches on centers.

Wall covering to be of... Rustic

First floor joists... 2 by 12 inches... 16 inches on centers. Longest span between supports... 16 ft.

Second floor joists... 2 by 12 inches... 16 inches on centers. Longest span between supports... 16-6 ft.

Third floor joists... 2 by 12 inches... 16 inches on centers. Longest span between supports... 11-6 ft.

Fourth floor joists... by inches inches on centers. Longest span between supports... ft.

Fifth floor joists... by inches inches on centers. Longest span between supports... ft.

Rafters... 2 by 6 inches... 32 inches on centers. Longest span between supports... 11-6 ft.

Roof covered with... Tile Steep or Flat? flat

Studs in bearing partitions... 3 by 4 inches... 16 inches on centers. } Bearing partitions must be same as outside ones.

Chimneys of... Patent lined with... plastered

Any gas grates? in Parlor Any patent flues? Is the building to be heated, and how?

Any opening to basement in sidewalk? Any elevator (freight-passages or dumb)?

There are to be... 1 stairways... 3-6 ft. wide, located... in front

I hereby agree to save, indemnify and keep harmless the City and County of San Francisco against all liabilities, judgments, costs and expenses which may in anywise accrue against said city and county in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk place by virtue thereof, and will in all things strictly comply with the conditions of this Permit.

Name of Architect... L. Traverso

Address... 2853 Octavia St.

Name of Builder... G. Helanini

Address... Cor. Filbert and Union Place

Owner... J. Barbagelata

Address... 1795 Green St.

By... L. Traverso

(NOTE—The owner's name must be signed by himself or by his Architect or authorized Agent)

# EXHIBIT 3



SAN FRANCISCO

CENTRAL PERMIT BUREAU FORM

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS

CENTRAL PERMIT BUREAU

DEPARTMENT BLDG. FORM  
BUILDING INSPECTIONAPPLICATION FOR BUILDING PERMIT  
ADDITIONS, ALTERATIONS OR REPAIRS

April 16, 19 51

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 2634-34A-36-36A-38-38A OCTAVIA STREET
- (2) Total Cost \$ 5,000.00 (3) No. of stories 3 (4) Basement Yes  
Yes or No
- (5) Present use of building Dwelling Flats (6) No. of families 6
- (7) Proposed use of building same (8) No. of families 6
- (9) Type of construction 5 (10) Building Code Occupancy Classification 18  
1, 2, 3, 4, or 5
- (11) Any other building on lot No (Must be shown on plot plan if answer is Yes.)  
Yes or No
- (12) Does this alteration create an additional floor of occupancy No  
Yes or No
- (13) Does this alteration create an additional story to the building No  
Yes or No
- (14) Electrical work to be performed No Plumbing work to be performed Yes  
Yes or No Yes or No
- (15) Ground floor area of building sq. ft. (16) Height of building ft.

(17) Detailed description of work to be done: Rebuild back porch foundations; construct brick retaining wall at rear; replace flooring porch landings where needed; replace 4 back porch doors and install new hardware; replace all broken windows throughout entire building (20-30 in all) and new sash where necessary; replace all window cords; replace all inoperative locks and defective knob sets; plane and adjust all doors to properly close; install  $\frac{1}{4}$ " plywood over all front doors and install new quick set satin finish locks; furring down all hall ceilings 2 ft. in all 6 flats with plaster or sheet rock to cover furnace ducts to be installed there; frame around furnaces to be installed in bathrooms, central heat, blower type with cold air return; remove walls between water closet area and bathroom in all flats; install Hollywood cabinets in all 6 bathrooms, remodel all kitchens with new kitchen cabinets, new sinks, formica or tile counter top; new tileboard wainscoting and new inlaid floor linoleum; remove fireplaces in all living rooms, mantels and tile work on fireplace threshold; remove all terra cotta chimneys; replace flooring under threshold and replaster fireplace walls; replace all electric fixtures in all flats (42 fixtures); new sheet rubber on all treads, risers and landings in outer stairs, capped with metal nosing; do any and all work that may become necessary as a result of above specified work as remodeling progresses.

(18) No portion of building or structure or scaffolding used during construction, to be closer than 8'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

(19) Supervision of construction by owner Address 2146--22nd Avenue

(20) General contractor California License No.

Address

(21) Architect California Certificate No.

Address

(22) Engineer California Certificate No.

Address

(23) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or subside walk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

(24) Owner John A. Couden (Phone MO. 4-0461)  
JOHN A. COUDEN (For Contact by Bureau)

Address 2146--22nd Avenue

By  Address

Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.  
PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF HOTEL OR  
APARTMENT HOUSE PURSUANT TO SEC. 808 SAN FRANCISCO BUILDING CODE.



OFFICIAL COPY



OWNER		LOCATION		APP. NO.			
John A. Conden		2634-34A-36-36A-38-38A Octavia St.		136565			
ADDRESS		3146 22nd Ave.		HOUSE NO.			
ESTIMATED COST		FEE		DATE APPLICATION			
\$ 5000.		\$ 25.		4/16/51			
PERMIT ISSUED		IN		PERMIT NO.			
				122282			
CONSTRUCTION		ALT	NEW	OCCUPANCY		REMARKS	
TYPE 1A				THEATRES		NO. OF STORIES	
TYPE 1B				ASSEMBLY		NO. OF FAMILIES	
TYPE 2				SCHOOLS		PLANS	
TYPE 3				INSTITUTIONS		ELECTRIC	YES NO
TYPE 4				HAZARDOUS		PLUMBING	YES NO
TYPE 5 Apts.	X			BUSINESS		CONTRACTOR	
BILLBOARD				NON HAZARDOUS		ADDRESS	
ROOF SIGN				RESIDENTIAL		ADDRESS	
ELECTRIC SIGN				OPEN AIR ETC		ADDRESS	
HARDWARE						ADDRESS	
OTHER						ADDRESS	
DEPARTMENT OF PUBLIC WORKS				BUILDING			
CITY AND COUNTY OF SAN FRANCISCO				CENTRAL PERMIT BUREAU			
ADDRESS				LOT NO.		BLOCK NO.	
OWNER				LOCATION		APP. NO.	
John A. Conden				2634-34A-36-36A-38-38A Octavia St.		136565	

BUILDING INSPECTORS REPORT

DATE	REMARKS
	WORK COMMENCED <i>Prior to 5-13-51</i>
	FOUNDATION FORMS INSPECTED <i>OK TO POUR</i>
	LATHING PERMISSION POSTED
	FLUES BY <i>NO</i>
	EXTERIOR OR STRUCTURAL PLASTERING <i>OK</i>
<i>5-13-51</i>	<i>removing old work</i>
<i>6-25-51</i>	<i>" " " no out on job.</i>
<i>8-3-51</i>	<i>By To close in</i>
<i>9-6-51</i>	<i>starting up in new work</i>
<i>10-10-51</i>	<i>finishing - slow</i>
<i>11-21-51</i>	<i>standing</i>
<i>12-31-51</i>	<i>finishing - slow</i>
<i>2-27-52</i>	<i>" " " finishing</i>
<i>7/14/52</i>	<i>painting - 10/14/52 touch up - slow</i>
	<i>repair rear porch stairs</i>
	<i>smooth &amp; repair interior.</i>
	<i>finishing plastering</i>
	WORK COMPLETED. CERTIFICATE OF FINAL
	COMPLETION POSTED <i>11/18/52</i>

*B. G. McNamee*

INSPECTOR OF BUILDINGS

DEPARTMENT OF PUBLIC WORKS - BUREAU OF BUILDING INSPECTION  
 CITY AND COUNTY OF SAN FRANCISCO

# EXHIBIT 4

Cannon

2634 Octavia Street

San Francisco, CA 94123

Inquiry Number: 6249324.3

November 02, 2020

## Certified Sanborn® Map Report



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)



## Certified Sanborn® Map Report

11/02/20

**Site Name:**

Cannon  
2634 Octavia Street  
San Francisco, CA 94123  
EDR Inquiry # 6249324.3

**Client Name:**

Williams, et al  
1934 Divisadero Street  
San Francisco, CA 94115  
Contact: Stephen Williams



The Sanborn Library has been searched by EDR and maps covering the target property location as provided by Williams, et al were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn).

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### Certified Sanborn Results:

**Certification #** AD9C-456C-9211

**PO #** NA

**Project** NA

**Maps Provided:**

1999	1913
1990	1899
1988	1893
1986	
1974	
1968	
1950	
1929	



Sanborn® Library search results

Certification #: AD9C-456C-9211

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- ☒ Library of Congress
- ☒ University Publications of America
- ☒ EDR Private Collection

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## Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



### 1999 Source Sheets



Volume 3, Sheet 238



Volume 3, Sheet 239

### 1990 Source Sheets



Volume 3, Sheet 238



Volume 3, Sheet 239

### 1988 Source Sheets



Volume 3, Sheet 238



Volume 3, Sheet 239

### 1986 Source Sheets



Volume 3, Sheet 238



Volume 3, Sheet 239



Volume 1, Sheet xxxx

## Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



### 1974 Source Sheets



Volume 3, Sheet 238



Volume 3, Sheet 239

### 1968 Source Sheets



Volume 3, Sheet 238



Volume 3, Sheet 239

### 1950 Source Sheets



Volume 1, Sheet xxx



Volume 3, Sheet 239



Volume 3, Sheet 238

### 1929 Source Sheets



Volume 3, Sheet 238



Volume 3, Sheet 239

## Sanborn Sheet Key

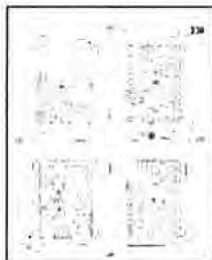
This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



### 1913 Source Sheets



Volume 1, Sheet xxxx



Volume 3, Sheet 238



Volume 3, Sheet 239

### 1899 Source Sheets



Volume 3, Sheet 278

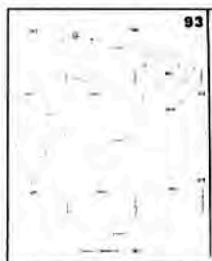


Volume 3, Sheet 279

### 1893 Source Sheets

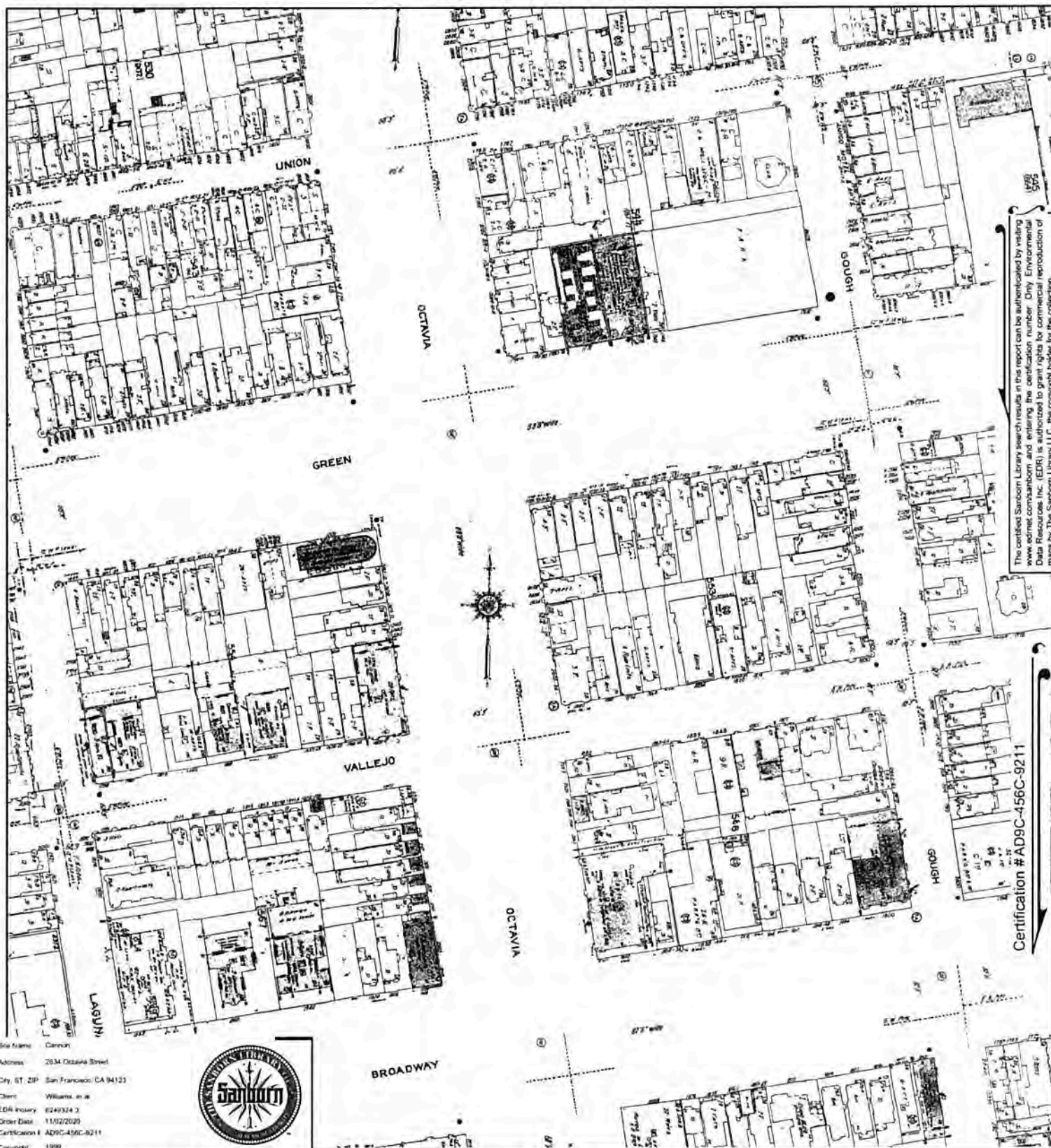


Volume 4, Sheet xxxx



Volume 4, Sheet 93





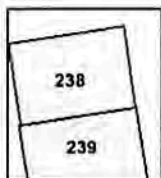
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Address: 2834 Octavia Street  
City, St, ZIP: San Francisco, CA 94123  
Client: Williams, et al  
EDR Inquiry: 6249324-3  
Order Date: 11/02/2020  
Certification: AD9C-456C-9211  
Copyright: 1999



BROADWAY

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Outlined areas indicate map sheets within the collection.

0 Feet 150 300 600



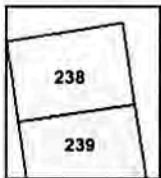
Volume 3, Sheet 239  
Volume 3, Sheet 238

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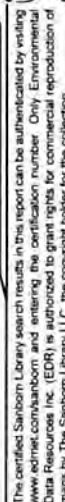
Certification #AD9C-456C-9211



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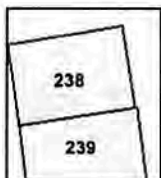


Volume 3, Sheet 239  
Volume 3, Sheet 238



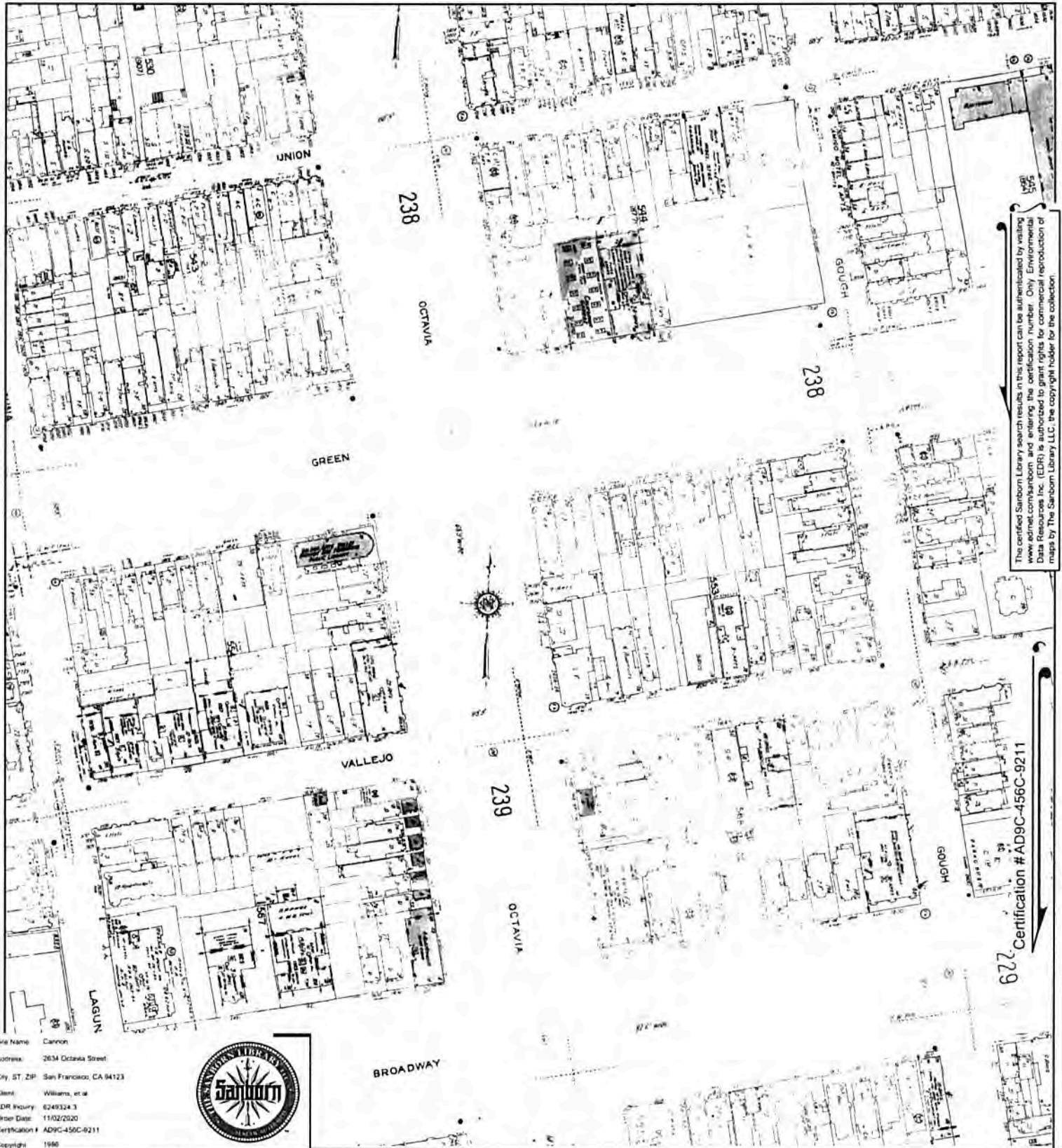
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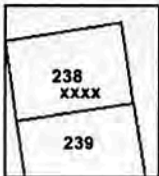


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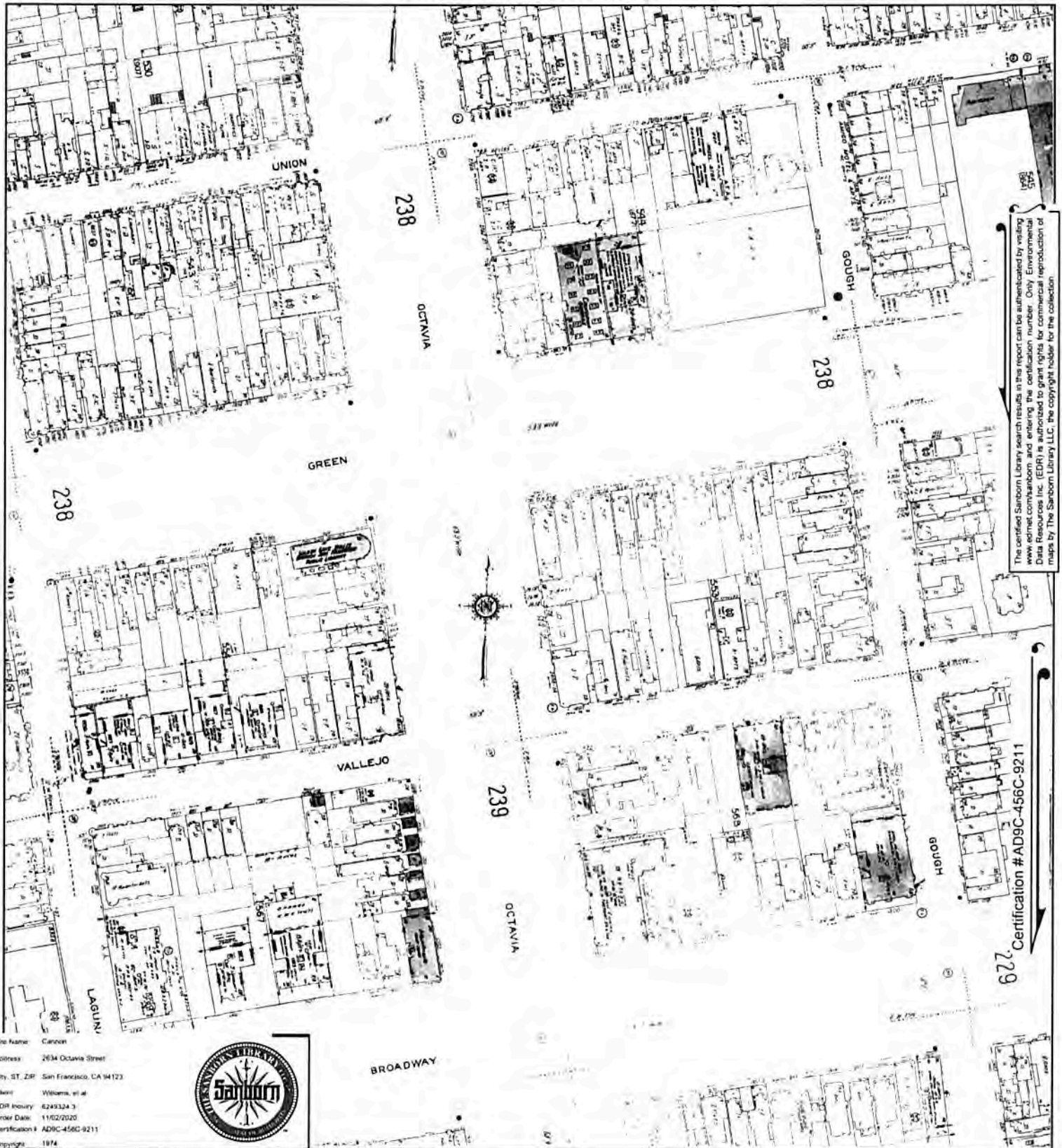
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0 Feet 150 300 600





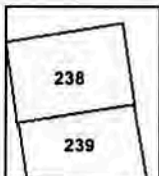
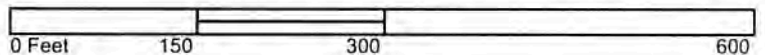
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Certification # AD9C-456C-6211

Site Name: Canyon  
Address: 2634 Octavia Street  
City, ST, ZIP: San Francisco, CA 94123  
Client: Williams, et al  
EDR Inquiry: 6249324-3  
Order Date: 11/02/2020  
Certification #: AD9C-456C-6211  
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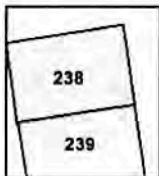
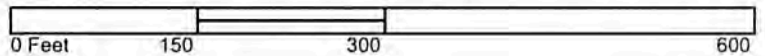
Certification # AD9C-456C-9211

229

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Address: 2634 Octavia Street  
City, ST, ZIP: San Francisco, CA 94123  
Client: Williams, et al  
EDR Inquiry: 6249324-3  
Order Date: 11/02/2020  
Certification #: AD9C-456C-9211  
Copyright: 1968



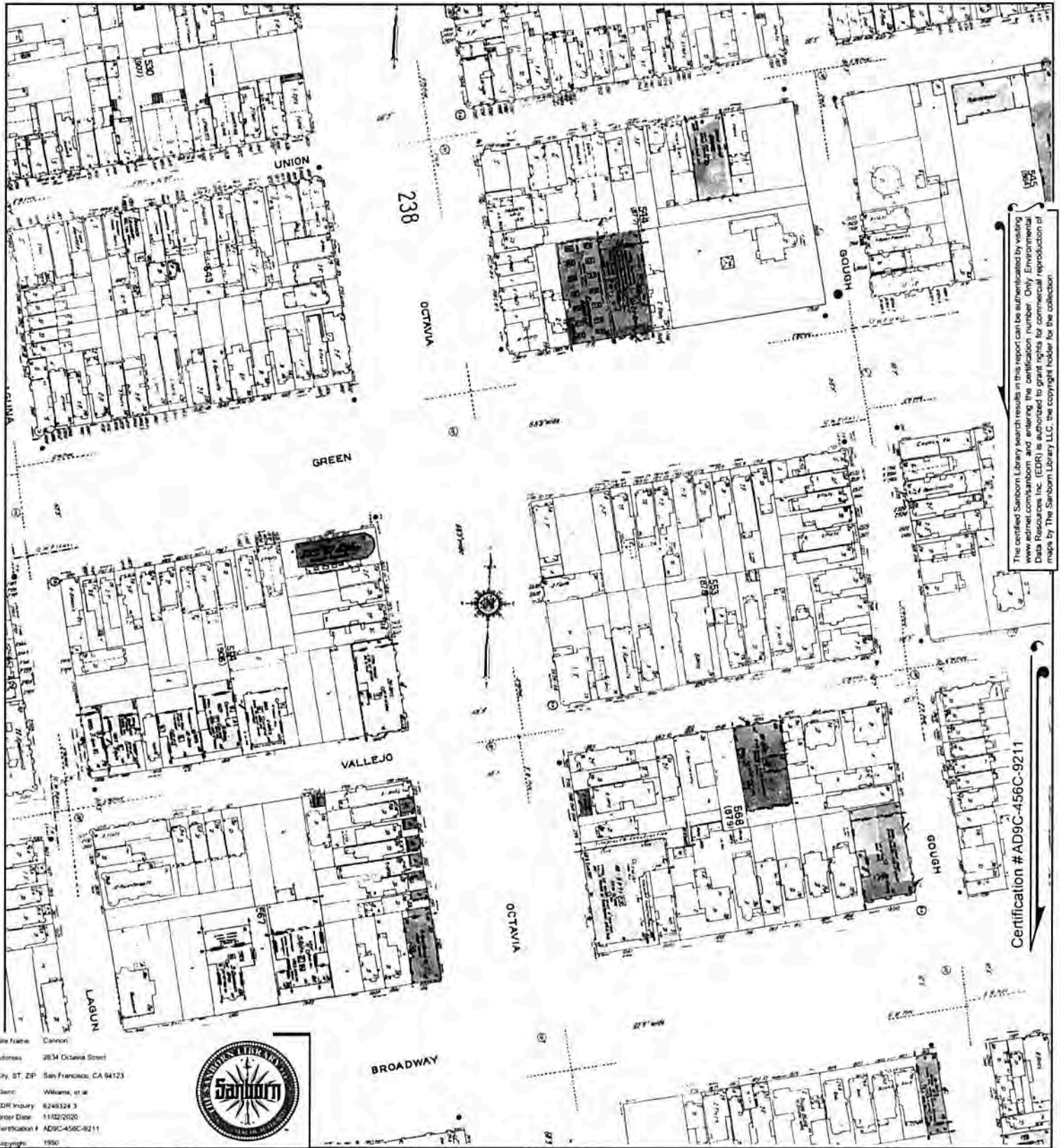
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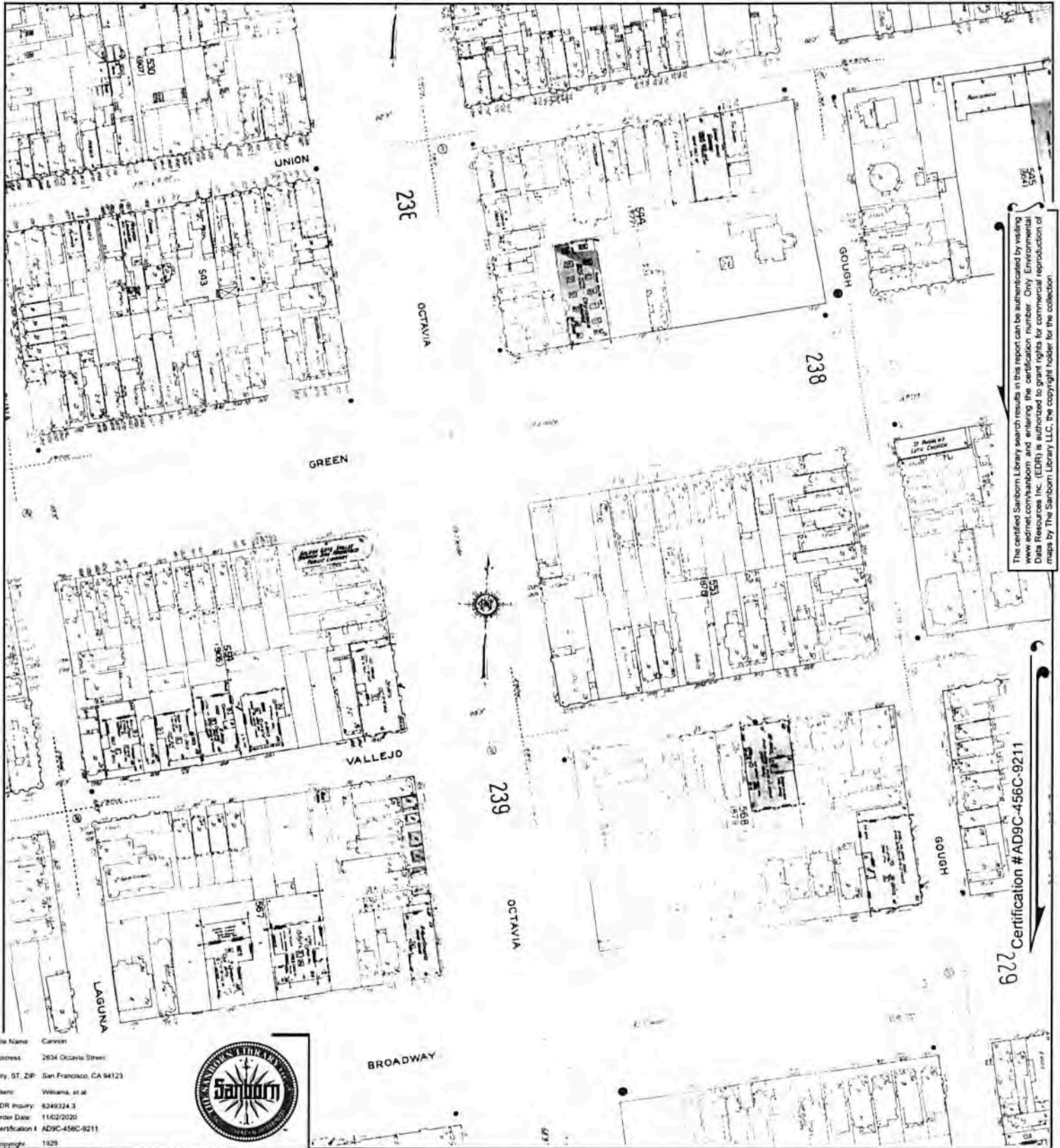






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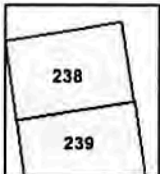
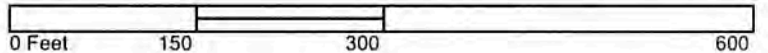
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Certification #AD9C-456C-9211

Site Name: Canyon  
Address: 2634 Octavia Street  
City, ST, ZIP: San Francisco, CA 94123  
Client: Williams, et al  
EDR Inquiry: 6249324.3  
Order Date: 11/02/2020  
Certification # AD9C-456C-9211  
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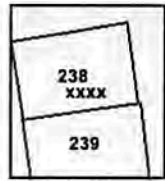
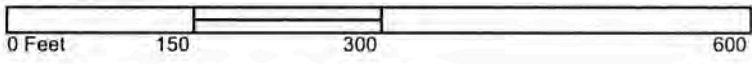
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Certification # AD9C-456C-9211

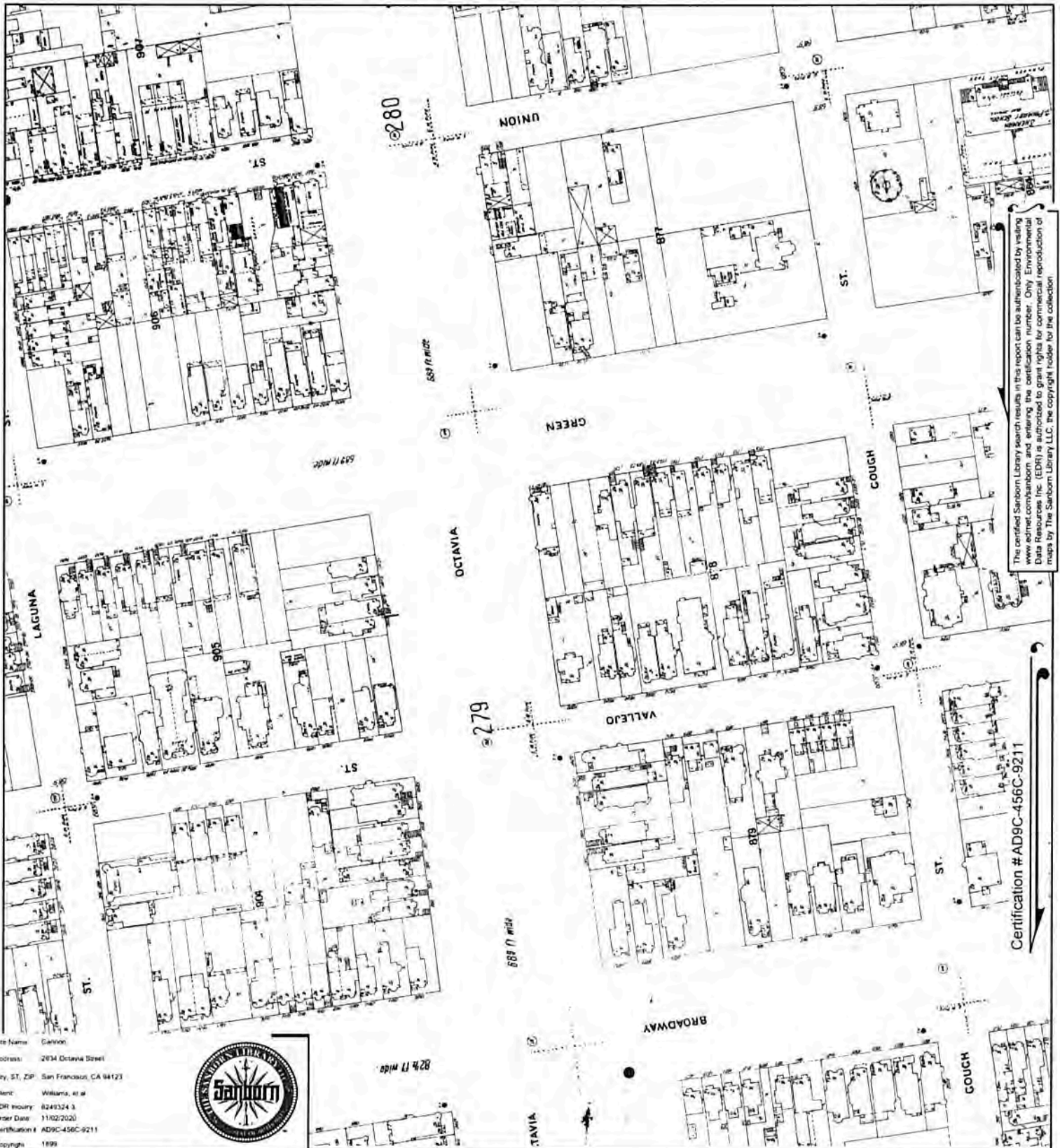


Site Name: Cannon  
Address: 2634 Octavia Street  
City, ST, ZIP: San Francisco, CA 94123  
Client: Williams, et al  
EDR Inquiry: 6249324-3  
Order Date: 11/02/2020  
Certification #: AD9C-456C-9211  
Copyright: 1913

This Certified Sanborn Map combines the following sheets.  
Outlined areas indicate map sheets within the collection.



Volume 3, Sheet 239  
Volume 3, Sheet 238  
Volume 1, Sheet xxxx



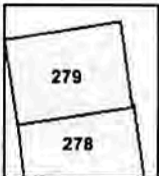
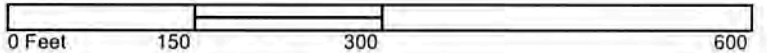
The certified Sanborn Library search results in this report can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn) and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

Certification # AD9C-456C-9211

Site Name: Canyon  
 Address: 2934 Octavia Street  
 City, ST, ZIP: San Francisco, CA 94123  
 Client: Williams, et al  
 EDR Inquiry: 6249324.3  
 Order Date: 11/02/2020  
 Certification #: AD9C-456C-9211  
 Copyright: 1899

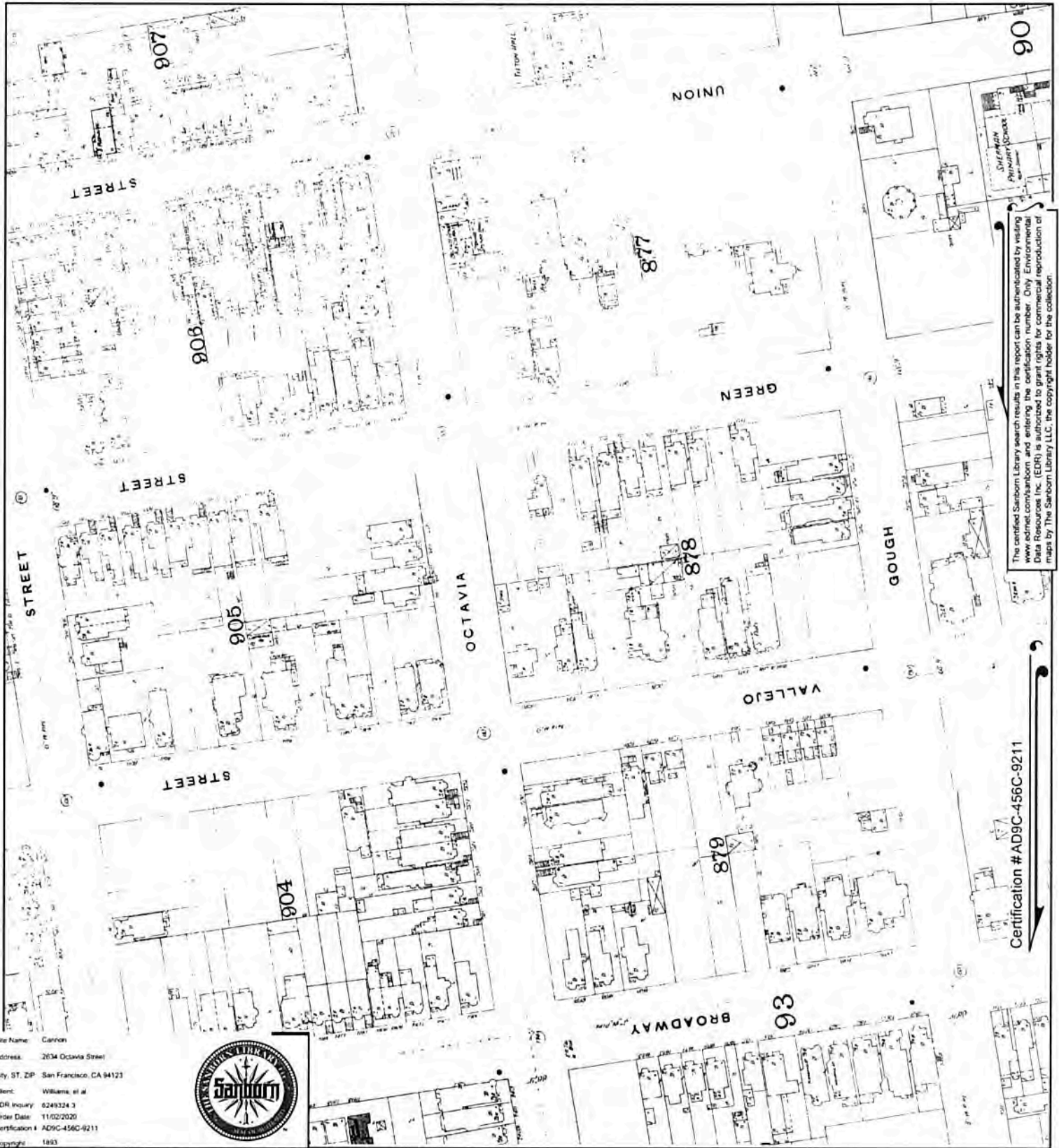


This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.



Volume 3, Sheet 279  
 Volume 3, Sheet 278





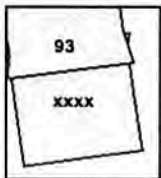
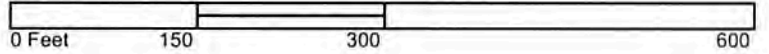
The certified Sanborn Library search results in this report can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn) and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

Certification #AD9C-456C-9211



Site Name: Canyon  
Address: 2634 Octavia Street  
City, ST, ZIP: San Francisco, CA 94123  
Client: Williams, et al  
EDR Inquiry: 6249324.3  
Order Date: 11/02/2020  
Certification #: AD9C-456C-9211  
Copyright: 1893

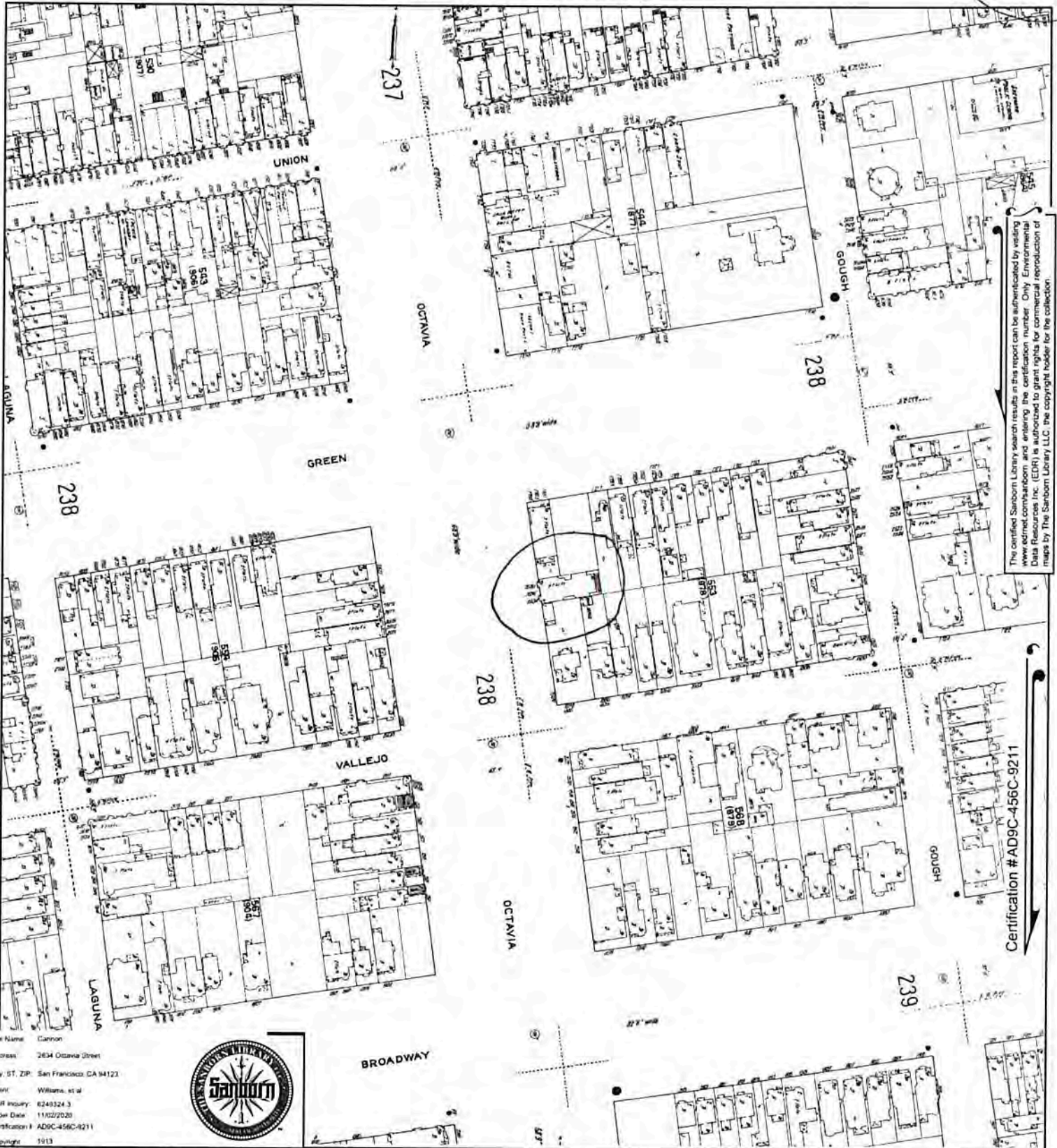
This Certified Sanborn Map combines the following sheets.  
Outlined areas indicate map sheets within the collection.



Volume 4, Sheet 93  
Volume 4, Sheet xxxx



# EXHIBIT 5



This Certified Sanborn Library search results in this report can be substantiated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn) and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

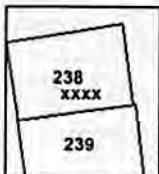
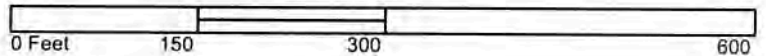
Certification #AD9C-456C-9211

Site Name: Cannon  
Address: 2634 Octavia Street  
City, ST, ZIP: San Francisco, CA 94123  
Client: Williams, et al  
EDR Inquiry: 6249324.3  
Order Date: 11/02/2020  
Certification: AD9C-456C-9211  
Copyright: 1913



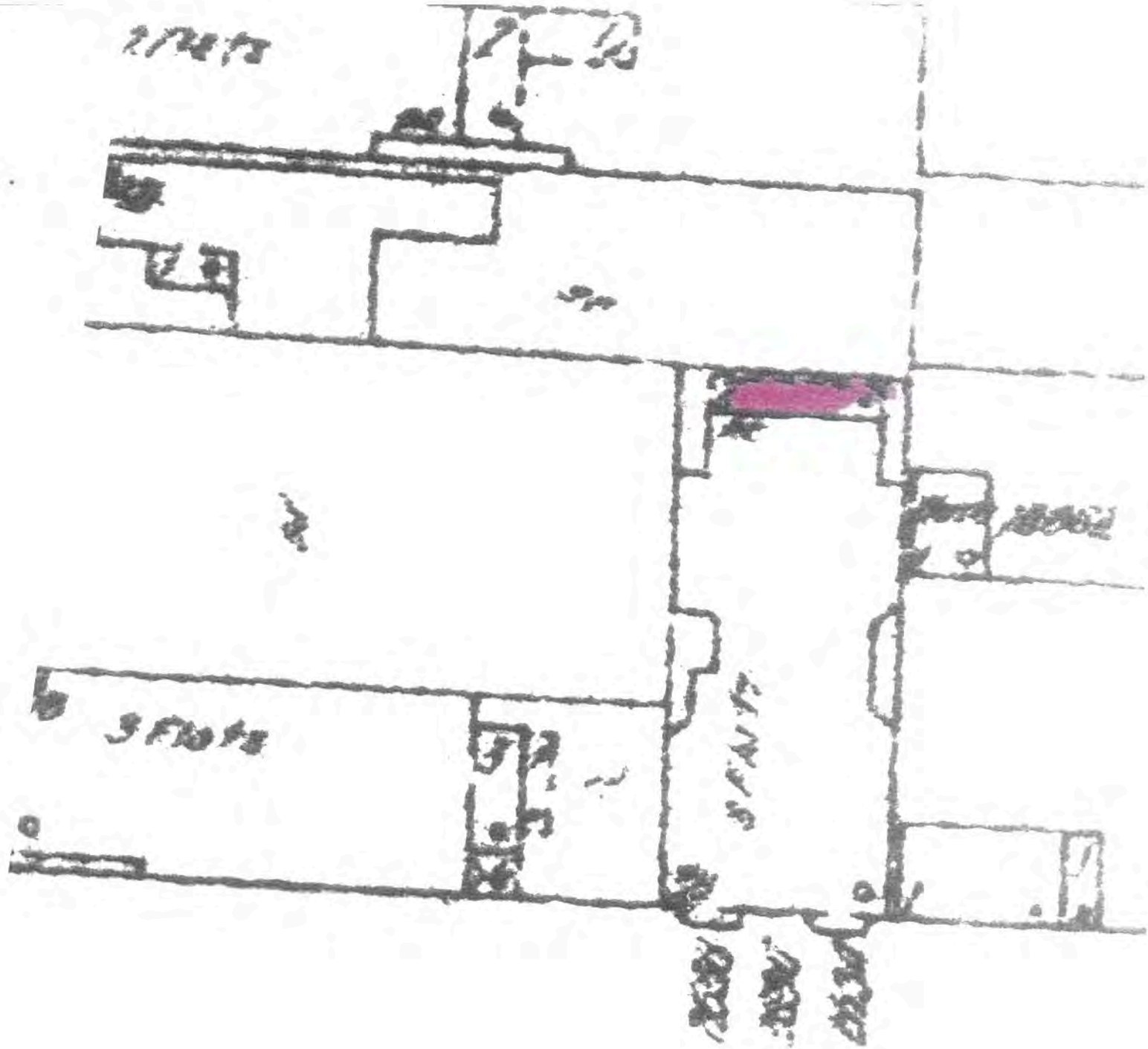
BROADWAY

This Certified Sanborn Map combines the following sheets.  
Outlined areas indicate map sheets within the collection.



Volume 3, Sheet 239  
Volume 3, Sheet 238  
Volume 1, Sheet xxxx





THESE SANBORN MAPS ARE DATED TO THE MID 1990'S  
USE ONLY 228 HISTORICAL CONTEXT

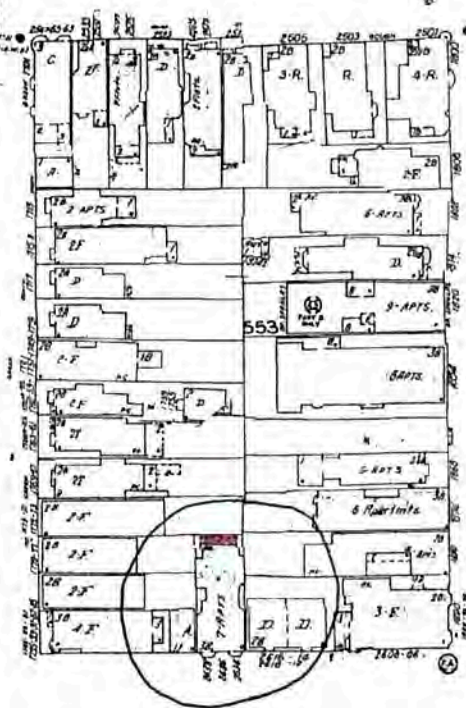
238

GOUGH

PARK

54#  
(877)

OCTAVIA



239

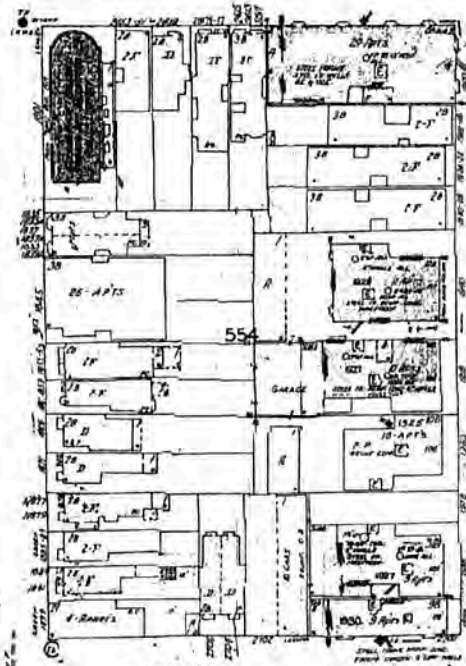
UNION

GREEN

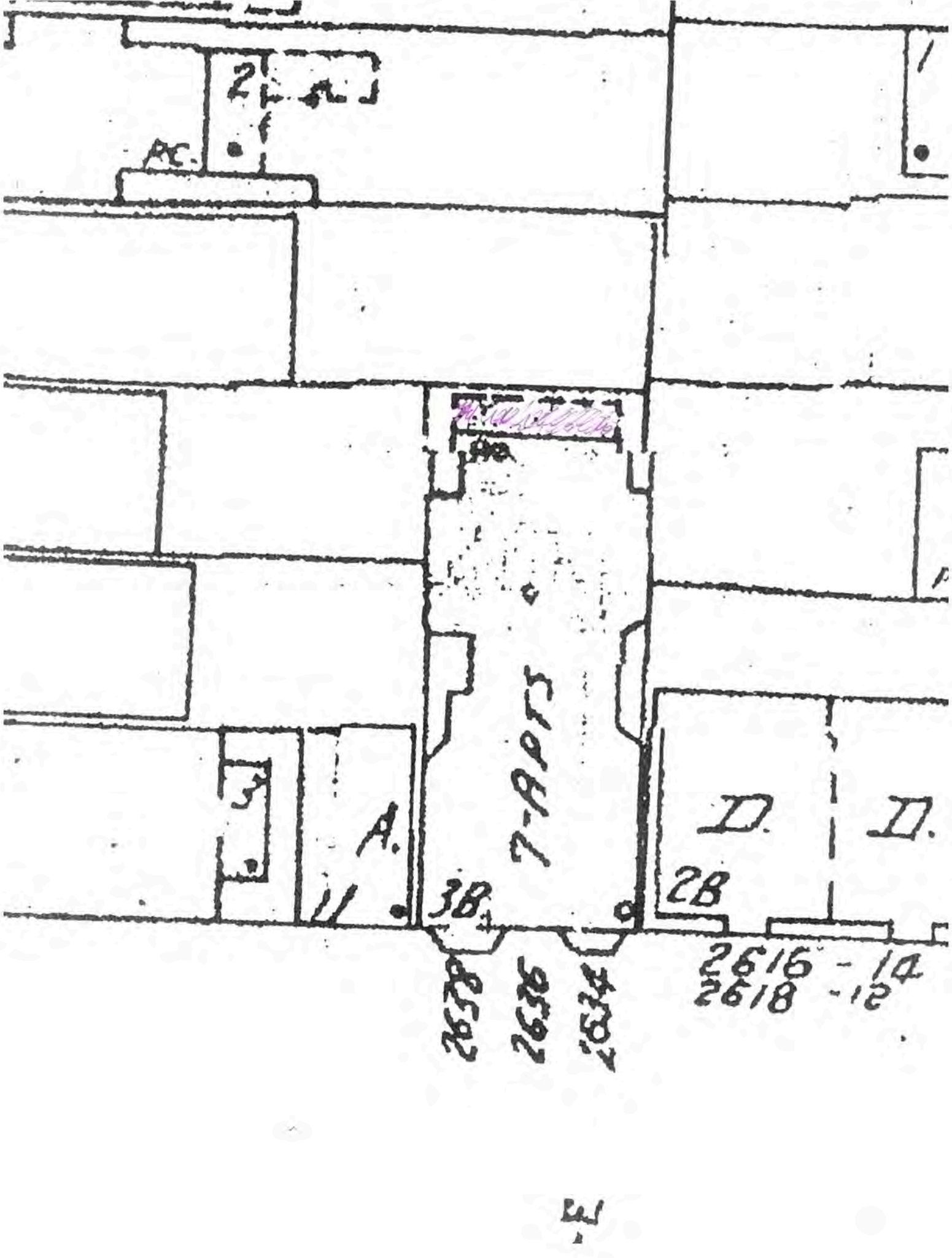
VALLEJO

LAGUNA

248

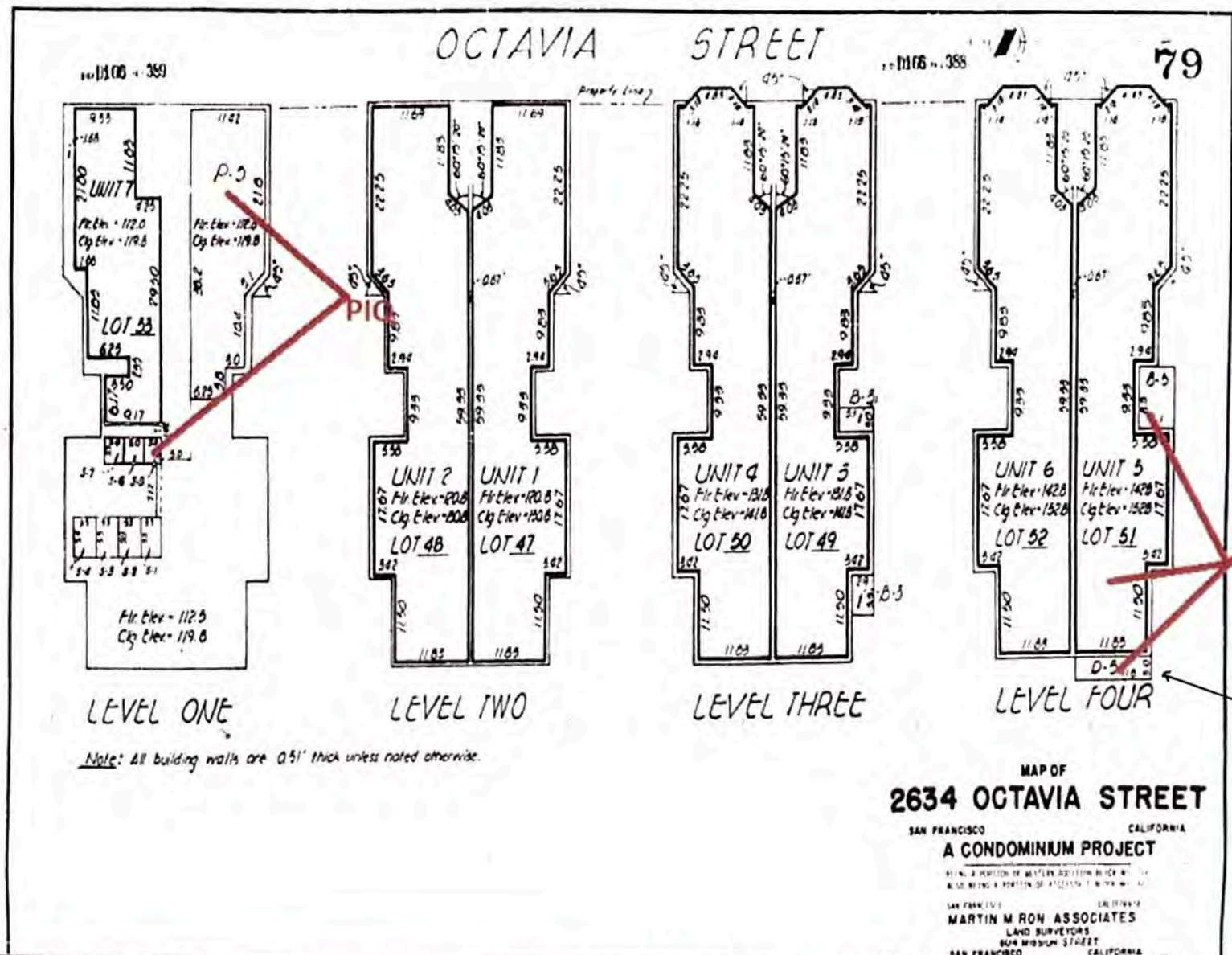


Scale of Feet.



# EXHIBIT 6





This map plat is being furnished as an aid in locating the herein described land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

# EXHIBIT 7



RECORDING REQUESTED BY

SAN FRANCISCO RECORDER'S OFFICE

San Francisco, California

BOOK- 2845611

San Francisco Title Company

Wednesday, January 09, 1991 08:00:00

Fee 1.00 --- Tax 1475.00

Sub 1475.00 ---

TOTAL 1480.00

225L 7288 IMAGE 0176

AND WHEN RECORDED MAIL TO

Name Patricia K. Cannon  
Street Address 2634 Octavia Street #5  
City San Francisco, California  
State  
Zip

SPACE ABOVE FOR RECORDER'S USE ONLY

MAIL TAX STATEMENTS TO

Vestee at above address

DOCUMENTARY TRANSFER TAX \$ 1,475.00

☒ COMPUTED ON FULL VALUE OF  
PROPERTY CONVEYED, OR

☐ COMPUTED ON FULL VALUE LESS  
LIENS & ENCUMBRANCES REMAIN-  
ING THEREON AT TIME OF SALE

As declared by the undersigned:

Signature of declarant or agent determining tax - full name

ATP No. Lot 051, Block 0553

Order No. 67226

Escrow No. 37345L-AB

## GRANT DEED

ALLISON E. MCCRADY, an unmarried woman

(GRANTOR - GRANTORS)

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
Do es Hereby Grant To

PATRICIA K. CANNON, an unmarried person

the real property in the  
County of San Francisco

State of California, described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF FOR LEGAL DESCRIPTION.  
APN 553/51

Dated

12-20-90

STATE OF CALIFORNIA  
COUNTY OF CONTRA COSTA

} ss.

On December 20, 1990  
before me, the undersigned, a Notary Public in and for said  
County and State, personally appeared

known to me (or proved to me on the basis of satisfactory  
evidence) to be the same person whose name is

subscribed to the within instrument, and acknowledged to  
me that she executed the same.

WITNESS my hand and official seal

Notary's signature

Allison E. McCrady

FOR NOTARY STAMP OR SEAL



The land referred to in this report is situated in the State of California, County of San Francisco and is described as follows:

CITY OF SAN FRANCISCO

1845611

**PARCEL A:**

UNIT NO. 5, LOT 51, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF 2634 OCTAVIA STREET, SAN FRANCISCO, CALIFORNIA, A CONDOMINIUM PROJECT, BEING A PORTION OF WESTERN ADDITION BLOCK NO. 166, ALSO BEING A PORTION OF ASSESSOR'S BLOCK NO. 553", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, ON MARCH 17, 1981, IN BOOK 16 OF CONDOMINIUM MAPS, AT PAGES 77 TO 79, INCLUSIVE.

EXCEPTING THEREFROM, THE FOLLOWING:

- (A) NON-EXCLUSIVE EASEMENTS THROUGH SAID UNITS, APPURTENANT TO THE COMMON AREA AND ALL OTHER UNITS, FOR INGRESS, EGRESS, SUPPORT AND REPAIR OF THE COMMON AREA AND ALL UNITS;
- (B) NON-EXCLUSIVE EASEMENTS, APPURTENANT TO THE COMMON AREA, FOR ENCROACHMENT UPON AIR SPACE OF THE UNIT BY THOSE PORTIONS OF THE COMMON AREA LOCATED WITHIN THE UNIT.

**PARCEL B:**

TOGETHER WITH THE FOLLOWING APPURTENANT EASEMENTS:

- (A) A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS, SUPPORT AND REPAIR THROUGH THE COMMON AREA, AS SHOWN ON THE MAP;
- (B) AN EXCLUSIVE EASEMENT TO USE PARKING AREA P-5, AS SHOWN ON THE MAP;
- (C) AN EXCLUSIVE EASEMENT TO USE DECK AREA NO. D-5, AS SHOWN ON THE MAP;
- (D) AN EXCLUSIVE EASEMENT TO USE BALCONY AREA NO. B-5, AS SHOWN ON THE MAP;
- (E) AN EXCLUSIVE EASEMENT TO USE STORAGE SPACE NO. S-5, AS SHOWN ON THE MAP.

**PARCEL C:**

AN UNDIVIDED 16% INTEREST, AS TENANTS IN COMMON WITH ALL OTHER UNIT OWNERS, IN AND TO THE COMMON AREA, AS SHOWN ON THE MAP.

EXCEPTING THEREFROM, EXCLUSIVE EASEMENTS FOR USE OF ROOF, PARKING, BALCONY, DECK AND STORAGE AREAS, OTHER THAN THOSE SHOWN IN PARCEL "B", ABOVE, IN FAVOR OF THE UNITS, AS SHOWN ON THE MAP.

**PARCEL D:**

TOGETHER WITH THE FOLLOWING EASEMENTS APPURTENANT TO THE COMMON AREA:

- (A) NON-EXCLUSIVE EASEMENTS FOR ENCROACHMENTS UPON THE AIR SPACE OF ALL OF THE UNITS BY AND FOR THE PORTIONS OF THE COMMON AREA LYING WITHIN THE UNITS.

LOT 051, BLOCK 0553

# EXHIBIT 8



OFFICIAL COPY

FOR DEPARTMENTAL USE ONLY

SAN FRANCISCO

JUL 10 1980

APPROVED FOR ISSUANCE:

DEPARTMENT OF  
BUILDING INSPECTION

CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF PUBLIC WORKS

APPLICATION FOR BUILDING PERMIT  
ADDITIONS, ALTERATIONS OR REPAIRS

APPLICATION FOR PERMIT TO CONSIDERATION WITH  
OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH  
THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH AND ACCORDING  
TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH:

(1) STREET ADDRESS OF JOB:

2634 Octavia Street  
SF.

(2) ESTIMATED COST OF JOB:

~~\$4500~~ \$7000.00

BLDG. FORM 3  
3  
8005966  
APPLICATION NO. 8005966

DATE FILED: 7-7-80  
FILING FEE RECEIPT NO.: 93831  
PERMIT NO.: 462204  
ISSUED: JUL 13 1980

DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. 1-hr <input type="checkbox"/> N <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input checked="" type="checkbox"/> 5	(5A) NUMBER OF STORIES OF OCCUPANCY: 4	(6A) NUMBER OF BASEMENTS AND CELLARS:	(7A) PRESENT USE: APP	(8A) BLDG. CODE OCCUP. CLASS: H	(9A) NO. OF DWELLING UNITS: 7
---	--	---------------------------------------	-----------------------	---------------------------------	-------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. 1-hr <input type="checkbox"/> N <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input checked="" type="checkbox"/> 5	(5) NUMBER OF STORIES OF OCCUPANCY: 4	(6) NUMBER OF BASEMENTS AND CELLARS:	(7) PROPOSED USE: SAME	(8) BLDG. CODE OCCUP. CLASS: H	(9) NO. OF DWELLING UNITS: 7
--	---------------------------------------	--------------------------------------	------------------------	--------------------------------	------------------------------

(10A) DOES THIS ALTERATION CREATE ADDITIONAL STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(10) IF YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT: FT.	(11A) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) IF YES, STATE NEW GROUND FLOOR AREA: SQ. FT.
(14) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(15) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(16) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(17) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(19) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(21) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(23) GENERAL CONTRACTOR: NONE ADDRESS: PHONE: CALIF. LICENSE NO.:

(24) ARCHITECT OR ENGINEER (DESIGN ☐ CONSTRUCTION ☐): NONE ADDRESS: CALIF. CERTIFICATE NO.:

(25) CONSTRUCTION TENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION TENDER, ENTER "UNKNOWN"). ADDRESS:

(26) OWNER - LESSEE (CROSS OUT ONE): SANFORD L. GOLDBERG ADDRESS: 2634 Octavia St #45 PHONE (FOR CONTACT BY BUREAU): 474-7275

(27) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT):

1. Add handrail in front stairwell
2. Add guardrail to rear stairs

COMPLY WITH 3R REPORT  
JR330

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See Sec. 103, 104.B, 104.B.1, 104.C, 502, 502.1, San Francisco Building Code and Sec. 104, San Francisco Housing Code. No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code. Pursuant to Sec. 302 A.8, San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site. Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this bureau for approval. ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED. BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED. APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (15) (16) (17) (20) (21) or (22). THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED. In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX:  
☒ OWNER ☐ ARCHITECT ☐ ENGINEER  
☒ LESSEE ☐ AGENT WITH POWER OF ATTORNEY  
☐ CONTRACTOR ☐ ATTORNEY IN FACT

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of this permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands and actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have on file, or file with the Central Permit Bureau, either Certificate (i) or (ii) or (iii) designated below or shall indicate item (IV) or (V) or (VI) below, whichever is applicable. If however, item (VI) is checked then item (V) must be checked as well. Mark the appropriate method of compliance below:

- ( ) I. Certificate of Consent to Self-Insure issued by the Director of Industrial Relations.
- ( ) II. Certificate of Workman's Compensation Insurance issued by an admitted insurer.
- ( ) III. An exact copy or duplicate of (i) certified by the Director or (ii) certified by the insurer.
- (X) IV. The cost of the work to be performed is \$100 or less.
- (X) V. I certify that in the performance of the work for which this Permit is issued, I shall not employ any person in any manner so as to become subject to the workman's compensation laws of California. I further acknowledge that I understand, in the event that I should become subject to the workman's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the Permit herein applied for shall be deemed revoked.
- (X) VI. I certify as the owner (or the agent of the owner) that in the performance of the work for which this Permit is issued, I will employ a contractor who complies with the workman's compensation laws of California and who has on file, or prior to the commencement of any work will file, with the Central Permit Bureau evidence that workman's compensation insurance is carried.

Applicant's Signature: Sanford L. Goldberg Date: 7-7-80

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO:

APPROVED:

Any electrical or plumbing work will require appropriate separate permits.

DEPARTMENT OF BUILDING INSPECTION

To Comply with 3A Report only

J. Charles Bishop  
BUILDING INSPECTOR, BUR. OF BLDG. INSP.

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

APPROVED:

Not reviewed by the Department of City Planning. Issuance of the requested permit constitutes no indication that use of this property does or does not conform to the City Planning Code.

JWB

DEPARTMENT OF CITY PLANNING

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

APPROVED:

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

APPROVED:

CIVIL ENGINEER, BUR. OF BLDG. INSPECTION

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

APPROVED:

BUREAU OF ENGINEERING

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

APPROVED:

DEPARTMENT OF PUBLIC HEALTH

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

APPROVED:

REDEVELOPMENT AGENCY

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

APPROVED: REFER TO PROPERTY CONSERVATION DIVISION

RESIDENTIAL ENV. INSPECTOR, DIV. OF APT. & HOTEL INSP., B.B.I.

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

APPROVED:

DATE: \_\_\_\_\_

REASON: \_\_\_\_\_

NOTIFIED MR. \_\_\_\_\_

I AGREE TO COMPLY WITH ALL CONDITIONS OR STIPULATIONS OF THE VARIOUS BUREAUS OR DEPARTMENTS NOTED ON THIS APPLICATION, AND ATTACHED STATEMENTS OF CONDITIONS OR STIPULATIONS, WHICH ARE HEREBY MADE A PART OF THIS APPLICATION.

NUMBER OF ATTACHMENTS ☐

SIGNATURE OF OWNER, LESSEE OR AUTHORIZED AGENT FOR OWNER OR LESSEE.

J. L. Golden

HOLD SECTION — NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING



WAIVER OF TIME RESTRICTION ON REQUESTS  
FOR ADDITIONAL INFORMATION

I hereby waive all time restrictions relative to submission of additional information. This waiver applies to those provisions of law which limit the City and County of San Francisco's ability to require further information for this project application. These provisions of law include Sections 65943 and 65944 of Chapter 4.5 of Division 1 of Title 7 of the Government Code (Review and Approval of Development Projects).

*Leonard L. Golden*  
Applicant's/Owner's: Signature

\_\_\_\_\_  
Type or Print Name

7-7-80  
Date

\_\_\_\_\_  
Application No,

\_\_\_\_\_  
Address

CPB-34



OWNER OR LESSEE		JOB LOCATION		APP. NO.		
Sanford L. Goldeen		2634 Octavia St.		8005966		
OWNER OR LESSEE'S ADDRESS		BLOCK LOT		HOUSE NO.		
ESTIMATED COST Same \$ 25,000		DATE APPLICATION		7 7 80		
PERMIT ISSUED JUL 19 1980		PERMIT NO. 762200		INSPECTOR Bishop		
EJECT/ALTER	BUILDING TYPE	CLASS	DESCRIPTION	PLANS	NUMBER OF STORIES	FAM.
Alter	5	II	Art		4	7
CONTRACTOR			ADDRESS			
ARCHITECT			ADDRESS			
ENGINEER			ADDRESS			
BUILDING RECORD DEPARTMENT OF PUBLIC WORKS CITY AND COUNTY OF SAN FRANCISCO						
OWNER OR LESSEE		JOB LOCATION		BUILDING INSPECTION JOB CARD		APP. NO.
Sanford L. Goldeen		2634 Octavia St.				8005966

DATE	BUILDING INSPECTORS JOB RECORD
/ /	WORK COMMENCED
/ /	FOUNDATION FORMS INSPECTED O.K. TO POUR
/ /	LATHING PERMISSION TAG POSTED
/ /	FLUES BY _____ NO. _____
/ /	EXTERIOR OR STRUCTURAL PLASTERING OK
/ /	ALL SPECIAL INSPECTION REPORTS RECEIVED.
/ /	FIRE ESCAPE INSTALLED PER APPROVED PLAN.
/ /	
7/11/80	Sprinkles not complete
/ /	alarm does not operate
7/11/80	Leakage approved
7/18/80	Electric approved
/ /	
7/25/80	Work complete as
/ /	3R Report #530
/ /	
/ /	
/ /	
/ /	
/ /	
/ /	
WORK COMPLETED. FINAL CERTIFICATE POSTED	
8005966	J. Charles Bishop BUILDING INSPECTOR

OFFICIAL COPY



FB-501a  
X CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF PUBLIC WORKS  
BUREAU OF BUILDING INSPECTION

Application  
Number 8005966

# CERTIFICATE OF FINAL COMPLETION AND OCCUPANCY

NOTE: A separate PERMIT OF OCCUPANCY is required for buildings with a class H occupancy.

Location 2634 OCTAVIA ST.  
House, Flat, or Street or Avenue

Notes & Remarks if Applicable:

Type of building 4-story SN Occupancy H Transit  
Description  
Construction TO Comply with 3R Report #530

The construction described on this permit is completed and conforms to Ordinances of the City and County of San Francisco, and to the State of California effective as of the date on which the hereinabove mentioned permit is issued, and the proposed occupancy is approved in pursuance to Sec. 306 C, Article XXII, Chapter 1, Part 1 of the San Francisco Municipal Code.

NOTE: BEFORE CERTAIN AREAS ARE OCCUPIED AND BEFORE CERTAIN BUSINESSES, ENTERPRISES, OR ACTIVITIES ARE CONDUCTED, SEPARATE AND ADDITIONAL LICENSES AND PERMITS MAY BE REQUIRED IN ACCORDANCE WITH PART III OF THE SAN FRANCISCO MUNICIPAL CODE AS WELL AS OTHER APPLICABLE CODES.

Approved: NOT 19  
S. B. A. L. E. H. A. P. E. N. T. A. P. U. B. L. I. C. W. O. R. K. S.  
Approved: RE Quinn 19  
S. E. T. OF P. U. B. L. I. C. H. E. A. L. T. H.

This certificate posted on  
7/25 1980  
SUPERINTENDENT, BUREAU OF  
BUILDING INSPECTION  
By J. Charles Dierke  
Building Inspector

# EXHIBIT 9

Sanford L. Goldeen  
337 Blackfield Drive  
Tiburon, California, 94920

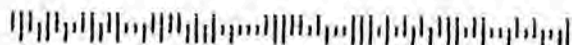
SAN FRANCISCO CA 940

1 OCT 2020 PM 4 L



Ms. Patricia Cannon  
2634 Octavia Street #5  
San Francisco, Cal 94123

94123-790199



10/1/2020

Dear Patricia.

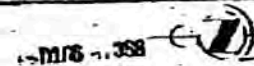
I just got your card. I'm retired and unfortunately have no clear information for you. As I vaguely recall the rear stairs and small landings/decks at 2634 Octavia Street were existing and created by others prior to my doing a condo conversion of the building (about 40 years ago) in 1980. I can confirm I followed all rules and code details at the time of the conversion to the best of my knowledge and ability, and the premises were inspected and approved by the City. I wish you well and hope you will be feeling better.

Cordially,

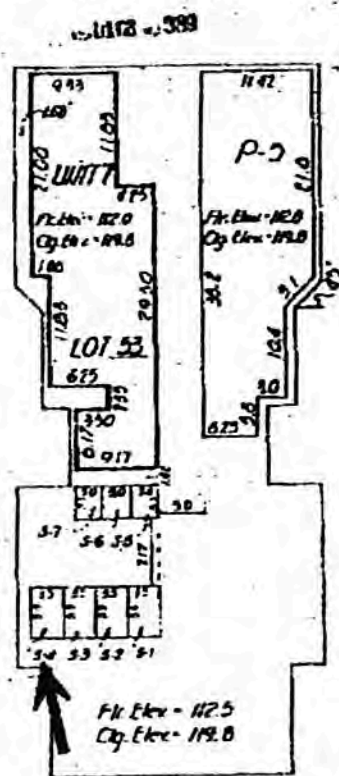
Sanford Goldeen



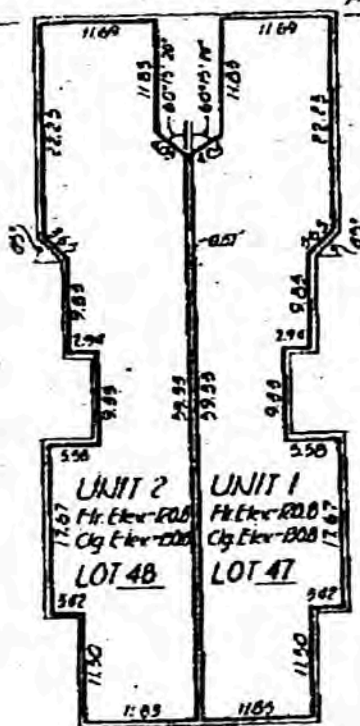
# OCTAVIA STREET



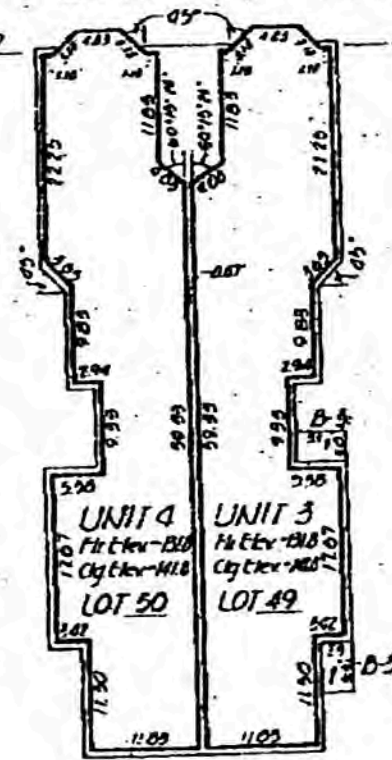
79



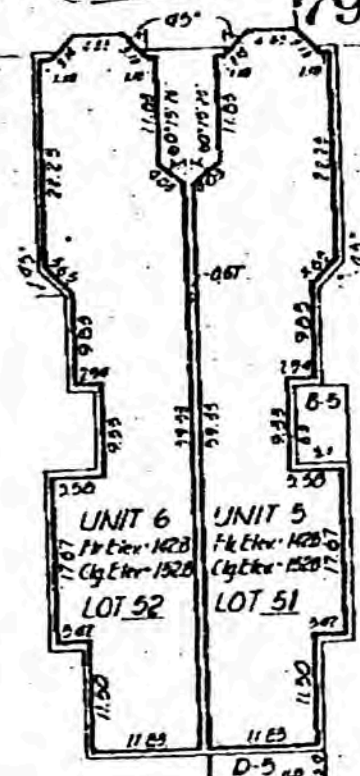
LEVEL ONE



LEVEL TWO



LEVEL THREE



LEVEL FOUR

Note: All building walls are 0.51' thick unless noted otherwise.

## MAP OF 2634 OCTAVIA STREET

SAN FRANCISCO CALIFORNIA

### A CONDOMINIUM PROJECT

BEING A PORTION OF MEDIAN ACQUISITION BLOCK NO. 704  
ALSO BEING A PORTION OF ASSessor's BLOCK NO. 704

SAN FRANCISCO CALIFORNIA  
MARTIN M. RON ASSOCIATES

LAND SURVEYORS  
404 MISSION STREET  
SAN FRANCISCO CALIFORNIA

RECEIVED 1974

SCALE: 1" = 8'

SHEET 1

1. THE SUBDIVISION DEPICTED HEREON IS SUBJECT TO THE PROVISIONS OF THE CALIFORNIA CONDOMINIUM ACT, TITLE 6, PART 4, DIVISION SECOND OF THE CIVIL CODE.
2. "UNIT" MEANS A NUMBERED PARCEL SO DESIGNATED ON THIS MAP. EACH OF THE UNITS AS SEPARATELY SHOWN CONSISTS OF THE SPACE BOUNDED BY AND CONTAINED WITHIN THE INTERIOR UNFINISHED SURFACES OF THE PERIMETER WALLS, FLOORS, CEILINGS, WINDOWS AND DOORS OF EACH UNIT.
3. "COMMON AREA" WITHIN THE SUBDIVISION SHALL MEAN AND REFER TO THOSE PORTIONS OF PROPERTY, TO WHICH TITLE IS HELD BY ALL OWNERS IN COMMON, AND EXCEPTING THE INDIVIDUAL CONDOMINIUM UNITS. THE COMMON AREA INCLUDES, GARAGE AREA, BEARING WALLS, COLUMNS, GIRDERS, SUBFLOORS, UNFINISHED FLOORS, ROOFS, AND FOUNDATIONS, CENTRAL HEATING, CENTRAL AIR-CONDITIONING EQUIPMENT, RESERVOIRS, TANKS, PUMPS, MOTORS, DUCTS, FLUES AND SHUTS, CONDUITS, PIPES, PLUMBING, WIRES, AND OTHER UTILITY INSTALLMENTS (EXCEPT THE OUTLETS THEREOF LOCATED WITHIN A UNIT), REQUIRED TO PROVIDE POWER, LIGHT, TELEPHONE, GAS, WATER, SEWERAGE, DRAINAGE, HEAT AND AIR-CONDITIONING, SPRINKLERS, SPRINKLER PIPES AND SPRINKLER HEADS WHICH PROTRUDE INTO THE AIR SPACE OF A CONDOMINIUM UNIT; CENTRAL TELEVISION ANTENNA, VACUUM CLEANER SYSTEM, IF ANY.
4. THE AREA ENTITLED P-5 IS A PARKING AREA. AN EASEMENT FOR THE EXCLUSIVE USE OF SAID PARKING AREA SHALL BE GRANTED AS AN APPURTENANCE TO UNIT 5.
5. THE AREAS ENTITLED B-3 AND B-5 ARE BALCONY AREAS. AN EASEMENT FOR THE EXCLUSIVE USE OF SAID BALCONY AREA SHALL BE GRANTED AS AN APPURTENANCE TO THE CORRESPONDING NUMBERED UNIT.
6. THE AREA ENTITLED D-5 IS A DECK AREA. AN EASEMENT FOR THE EXCLUSIVE USE OF SAID DECK AREA SHALL BE GRANTED AS AN APPURTENANCE TO THE CORRESPONDING NUMBERED UNIT.
7. THE AREAS ENTITLED S-1 THROUGH S-7 ARE STORAGE AREAS. AN EASEMENT FOR EXCLUSIVE USE OF SAID STORAGE AREA SHALL BE GRANTED AS AN APPURTENANCE TO A UNIT.
8. FOR PERCENTAGE OF OWNERSHIP IN THE COMMON AREA, SEE TABLE ON SHEET 2 OF 3.
9. ALL BUILDING WALLS OF UNITS ARE AT RIGHT ANGLES UNLESS OTHERWISE NOTED.
10. ALL INTERIOR DIMENSIONS SHOWN, AND ELEVATIONS NOTED ON SHEET 3 ARE INTENDED TO BE THE UNFINISHED INTERIOR SURFACES OF THE WALLS, FLOORS AND CEILING.
11. BASIS OF SURVEY IS THE MONUMENT MAP NO. 22 ON FILE IN THE OFFICE OF THE CITY ENGINEER.
12. ELEVATIONS ARE BASED ON CITY DATUM.
13. ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS AT THE INTERSECTION OF OCTAVIA AND GREEN STREETS.
14. THE ROOF AREA OF THE CONDOMINIUM PROJECT SHOWN HEREON IS RESERVED FOR THE EXCLUSIVE USE OF UNIT 5, INCLUDING WITHOUT LIMITATION THE RIGHT IN THE FUTURE TO CONSTRUCT IMPROVEMENTS UPON SAID AREA, SUBJECT TO THE APPLICATION FOR AND ISSUANCE OF A BUILDING PERMIT FOR ANY ADDITION TO BE CONSTRUCTED THEREUPON. THE COMMON AREA IS SUBJECT TO THE EXCLUSIVE RIGHT OF UNIT 5 TO USE AND CONSTRUCT IMPROVEMENTS UPON THE ROOF AREA.

## MAP OF

## 2634 OCTAVIA STREET

SAN FRANCISCO

CALIFORNIA

## A CONDOMINIUM PROJECT

BEING A PORTION OF WESTERN ADDITION BLOCK NO. 166  
ALSO BEING A PORTION OF ASSESSOR'S BLOCK NO. 553

SAN FRANCISCO

CALIFORNIA

MARTIN M. RON ASSOCIATES

LAND SURVEYORS  
604 MISSION STREET.

OCTOBER, 1979

SAN FRANCISCO

CALIFORNIA

SHEET 2 OF 3

OCTAVIA STREET ARE  
AND 4504, 1 OF

IMPLY APPROVAL  
STREET AREA WHERE  
IT WAIVE CITY'S  
10M RUN UP IN THE  
TOWARD RESOLVING

# EXHIBIT 10



# MANDATORY SOFT STORY RETROFIT

2634 OCTAVIA STREET  
SAN FRANCISCO, CALIFORNIA 94123  
PARCEL NO.: 0553/047-053

SITE LOCATION MAP



SITE AERIAL IMAGE



## PROJECT TEAM

**CLIENT:**  
JANET BAILEY  
HSA HOMEOWNERS ASSOCIATION  
2634 OCTAVIA STREET  
SAN FRANCISCO, CALIFORNIA 94123  
T: (415) 474-1886

**ENGINEERING FIRM:**  
ECR ENGINEERING  
1842 JEFFERSON STREET, #104  
SAN FRANCISCO, CALIFORNIA 94123  
T: (415) 205-3804  
ECRENGINEERING@GMAIL.COM

**GENERAL CONTRACTOR:**  
T.B.C.

## CODE COMPLIANCE AND PROJECT INFORMATION

THE PROJECT IS LOCATED IN THE CITY OF SAN FRANCISCO, CALIFORNIA. THE SOFT-STORY RETROFIT DESIGN WILL BE IN ACCORDANCE WITH THE FOLLOWING BUILDING CODES AND DESIGN STANDARDS:

- 2013 SAN FRANCISCO FIRE CODE
- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA FIRE CODE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 14TH EDITION
- AMERICAN CONCRETE INSTITUTE, AC 318-11
- 2012 AMERICAN WOOD COUNCIL NATIONAL DESIGN SPECIFICATION (NDS)
- 2012 AMERICAN WOOD COUNCIL SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC (SDPWS)

THE BUILDING PROPERTIES ARE:

LOT SIZE: 2,800 SQUARE FEET  
BUILDING AREA: 8,200 SQUARE FEET  
ORIGINAL CONST. DATE: 1964  
ORIGINAL BUILDING CODE: PRE-CODE DHA  
PROPERTY CLASS: RESIDENTIAL  
ZONING: RH-2  
CONSTRUCTION TYPE: V  
# OF STORIES: 3 + BASEMENT  
# OF UNITS: 7  
OCCUPANCY: R-2

**SITE SAFETY NOTES:**

- ALL EXITS TO BE MAINTAINED DURING AND AFTER CONSTRUCTION.
- ALL FIRE RAYINGS TO BE RESTORED AFTER CONSTRUCTION.
- ALL PENETRATIONS TO BE SEALED WITH APPROVED METHODS & MATERIALS.
- MUST MAINTAIN EXISTING FIRE LIFE SAFETY SYSTEMS DURING CONSTRUCTION.

## PROJECT SCOPE

THE SCOPE OF WORK IS LIMITED TO A MANDATORY SOFT STORY STRENGTHENING AT THE GROUND FLOOR OF THE SUBJECT PROPERTY DUE TO SAN FRANCISCO SOFT STORY ORDINANCE. ALL WORK IS DONE IN CONFORMANCE WITH THE 2013 INTERNATIONAL EDITION BUILDING CODE (IBC), CHAPTER 16. ALL NEW WORK IS PERFORMED TO INCREASE THE LATERAL CAPACITY OF THE BUILDING AND DOES NOT AFFECT THE GRAVITY LOAD CARRYING SYSTEM OF THE BUILDING.

ALL NEW WORK IS LIMITED TO THE GROUND FLOOR OF THE BUILDING. THE SCOPE OF WORK INCLUDES:

- PROVIDE (2) ONE-BAY STEEL MOMENT FRAMES
- PROVIDE (4) 1/2" THICK STEEL PLATE GIRDS, PLY SAWER, WALL
- PROVIDE NEW FLYWOOD SHEATHING ON (3) WALLS
- BRIDGE COLLECTORS AND STEAK CONNECTIONS
- PROVIDE NEW FOUNDATIONS

SEE PLANS FOR LOCATIONS.

## DRAWING INDEX

AS.1	COVER SHEET AND PROJECT INFORMATION
A1.1	BASEMENT FLOOR PLAN
A1.2	1ST FLOOR PLAN
A1.3	2ND & 3RD FLOOR PLAN
30.1	GENERAL NOTES
30.2	GENERAL NOTES
31.1	BASEMENT/FOUNDATION PLAN
31.2	2ND FLOOR FRAMING PLAN
32.1	STRUCTURAL DETAILS
32.2	STRUCTURAL DETAILS

SOFT STORY RETROFIT per SBC Chapter 16  
Engineering License (Sealed in back of book)  
[ ] PERM. [ ] ASCE 41-13 [ ] NDS 2012 14.18  
[ ] SBC 2013 Appendix A.4 [ ] Other notes in back

City and County of San Francisco  
Department of Building Inspection



Sharon M. Lee, Mayor  
Tina C. Hall, B.S., C.B.D., Director

## NOTICE

### SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspection form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the District Building Inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project at 415-558-4122. If there are any **field** questions regarding special inspection, please call your District Building Inspector at 415-558-6570.

Before first building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance requests from the architect or engineer of record prior to special inspection agency access after the submission of work resulting special inspection. The permit will not be finalized without compliance with the special inspection requirements.

### STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.5. The building permit will not be finalized without compliance with the structural observation requirements.

### Special Inspection Services Contact Information

1. Telephone: (415) 558-4122  
2. Fax: (415) 558-6474  
3. Email: [SAI@buildinginspection.sfdem.org](mailto:SAI@buildinginspection.sfdem.org)  
4. In person: 3rd Floor at 1800 Mission Street

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be created (preferably) or faxed. We also are adding to a paperless fax receipt mode.

Special Inspection Services  
1800 Mission Street - San Francisco CA 94103  
(Office) (415) 558-4122 - FAX (415) 558-6474 - [www.sai.org](mailto:www.sai.org)

MUST MAINTAIN EXISTING FIRE LIFE SAFETY SYSTEMS DURING CONSTRUCTION

REVIEWED BY FIRE DEPT.  
TH  
FIRE DEPT. PROJECT NO. 1455-1454-1836



### SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

FOR ADDRESS: 2634 Octavia APPLICATION NO. 2016-100-0725 APPROVED BY: OWNER NAME: Janet Bailey OWNER PHONE NO. 415-474-1886

Employment of Special Inspection is the direct responsibility of the CHARTER, or the responsibility of record acting as the Charter's representative. Special Inspector shall be one of those as prescribed in Section 1704.5. Name of special inspection shall be furnished to DIB District Inspector prior to start of the work for which the special inspection is required. Structural observation shall be performed as provided by Section 1704.5. A preconstruction conference is recommended for owner/owner's representative, engineer/architect, contractor, and the project city/county fire department or authority.

In accordance with Civil 1701, 1702, 1704, 1705 (2013 SFPEC), Special Inspection entire testing is required for the following work:

- |                                      |                                   |  |
|--------------------------------------|-----------------------------------|--|
| 1. All concrete placement & curing   | 11. High strength concrete        | 21. Reinforcing steel placement & curing |
| 2. All masonry construction          | 12. Masonry masonry               | 22. Concrete repair or patching          |
| 3. All steel erection                | 13. Structural steel erection     | 23. Steel repair or patching             |
| 4. All foundation work               | 14. Foundation work               | 24. Foundation repair or patching        |
| 5. All structural steel connections  | 15. Structural steel connections  | 25. Structural steel connections         |
| 6. All structural steel welding      | 16. Structural steel welding      | 26. Structural steel welding             |
| 7. All structural steel bolting      | 17. Structural steel bolting      | 27. Structural steel bolting             |
| 8. All structural steel painting     | 18. Structural steel painting     | 28. Structural steel painting            |
| 9. All structural steel fireproofing | 19. Structural steel fireproofing | 29. Structural steel fireproofing        |
| 10. All structural steel testing     | 20. Structural steel testing      | 30. Structural steel testing             |

3. Structural observation per Sec. 1704.5 shall be in accordance with: (a) Inspection (b) Testing (c) Both (d) None

4. Continuity is required: (a) Continuity (b) Continuity (c) Continuity (d) Continuity

5. Prepared by: ECR ENGINEERING Date: 10/15/2016

6. Project Information: Project: 2016-100-0725

7. Date: 10/15/2016

8. Signature: [Signature]

9. Title: [Title]

10. Project: 2016-100-0725

11. Project: 2016-100-0725

12. Project: 2016-100-0725

13. Project: 2016-100-0725

14. Project: 2016-100-0725

15. Project: 2016-100-0725

16. Project: 2016-100-0725

17. Project: 2016-100-0725

18. Project: 2016-100-0725

19. Project: 2016-100-0725

20. Project: 2016-100-0725

21. Project: 2016-100-0725

22. Project: 2016-100-0725

23. Project: 2016-100-0725

24. Project: 2016-100-0725

25. Project: 2016-100-0725

26. Project: 2016-100-0725

27. Project: 2016-100-0725

28. Project: 2016-100-0725

29. Project: 2016-100-0725

30. Project: 2016-100-0725

31. Project: 2016-100-0725

32. Project: 2016-100-0725

33. Project: 2016-100-0725

34. Project: 2016-100-0725

35. Project: 2016-100-0725

36. Project: 2016-100-0725

37. Project: 2016-100-0725

38. Project: 2016-100-0725

APPROVED  
JAN 17 2017  
[Signature]  
SEAL OF BUILDING INSPECTOR



2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

COVER SHEET & PROJECT INFO

REVISIONS

NO.	DESCRIPTION	DATE



SHEET NO.

A0.1

SCALE: NONE

GRAPH: B1 SV

DATE: 3/5/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

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DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

DATE: 10/15/2016

PLAN NOTES

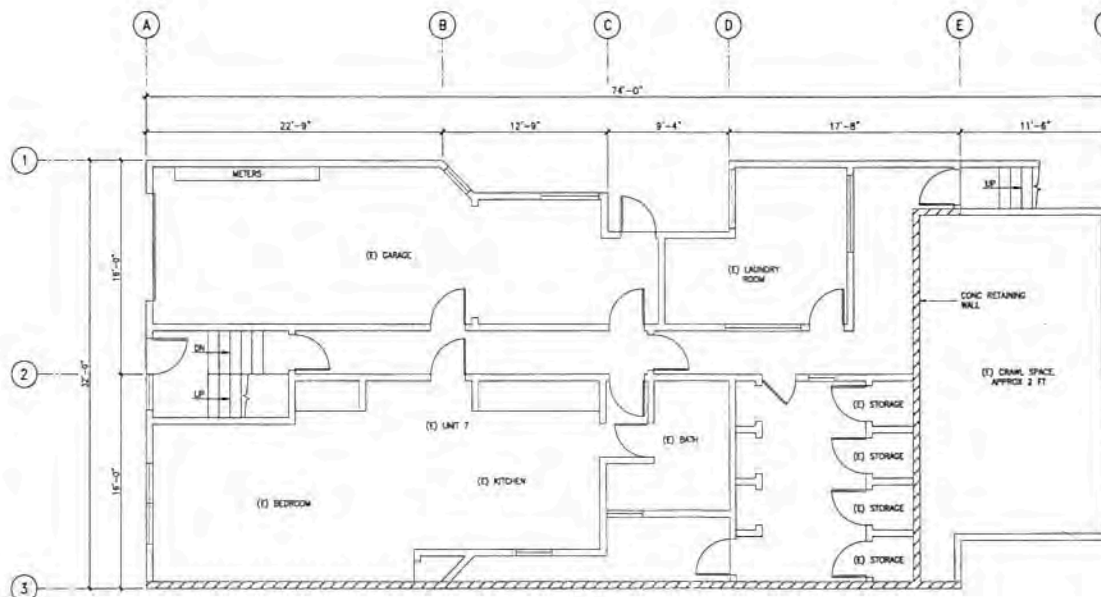
1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION MATERIALS, SHOP DRAWINGS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION, AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES.

APPROVED  
JAN 17 2007  
F. C. H.  
REGISTERED  
SEAL OF BUILDING INSPECTOR



2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

BASEMENT FLOOR PLAN



BASEMENT FLOOR PLAN



RECEIVED  
OCT 19 2006  
DEPT. OF BUILDING INSPECTION  
RECEIVED FOR THE QUALITY  
& TECHNICAL FOR THE CITY OF  
SAN FRANCISCO

Thomas Herve, SPFD  
OCT 20 2006

Chris Yu, CDR  
OCT 19 2006



SHEET NO.

A1.1

SCALE: AS SHOWN  
DRAWN BY: RV  
DATE: 5/3/2006



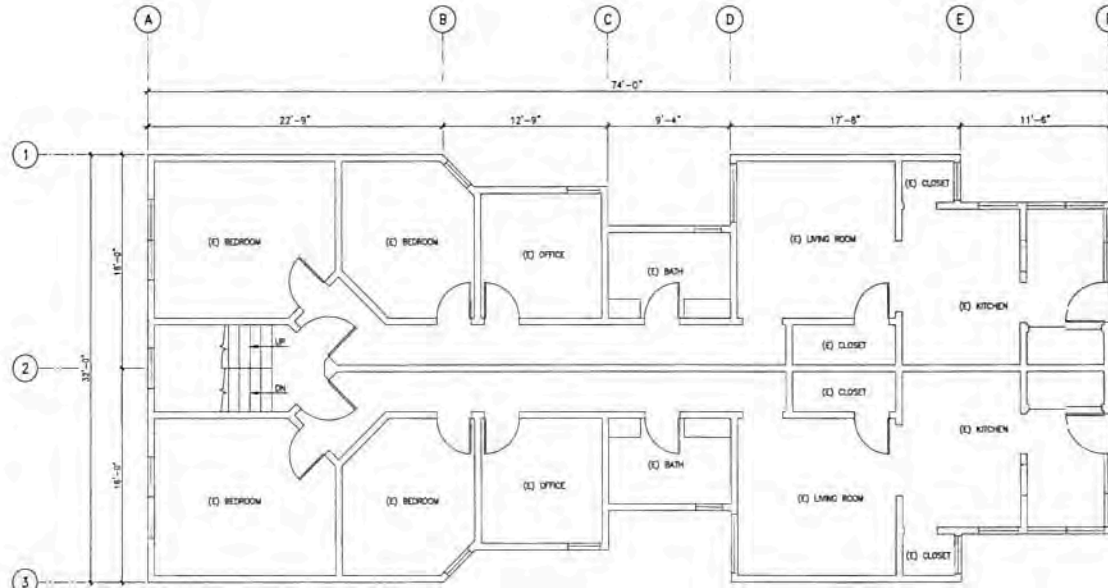


PLAN NOTES

1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION MATERIALS, SHOP DRAWINGS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION, AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INADEQUACIES
3. FLOOR PLANS FOR REFERENCE ONLY.



2634 OC TAVIA STREET  
SAN FRANCISCO, CA 94123  
1ST FLOOR PLAN



1ST FLOOR PLAN



SCALE: 1/4"=1'-0"



Thomas Hines, SPO  
OCT 18 2018

Cyrl Yu, EIR  
OCT 18 2018



SHEET NO.

A1.2

SCALE: AS SHOWN  
DRAWN BY: BY  
DATE: 5/3/2018



1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION, MATERIALS, SHOP DRAWINGS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION, AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES.
3. FLOOR PLANS FOR REFERENCE ONLY.



22634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

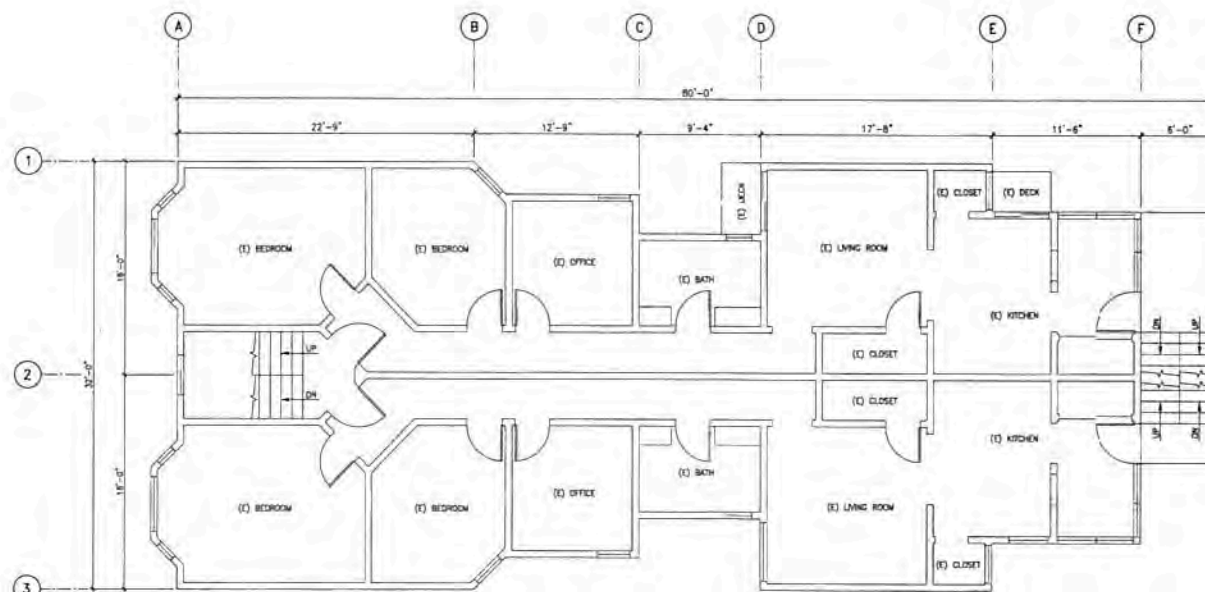
3RD FLOOR PLAN

[illegible]

SHEET NO.

A1.3

SCALE:	AS SHOWN
DRAWN BY:	BY
DATE:	5/5/2018



2ND &amp; 3RD FLOOR PLAN



SCALE: 1/4"=1'-0"



Thomas Harnett, SPFC  
OCT 20 2016

Cyril Yu, Obit  
OCT 19 2016









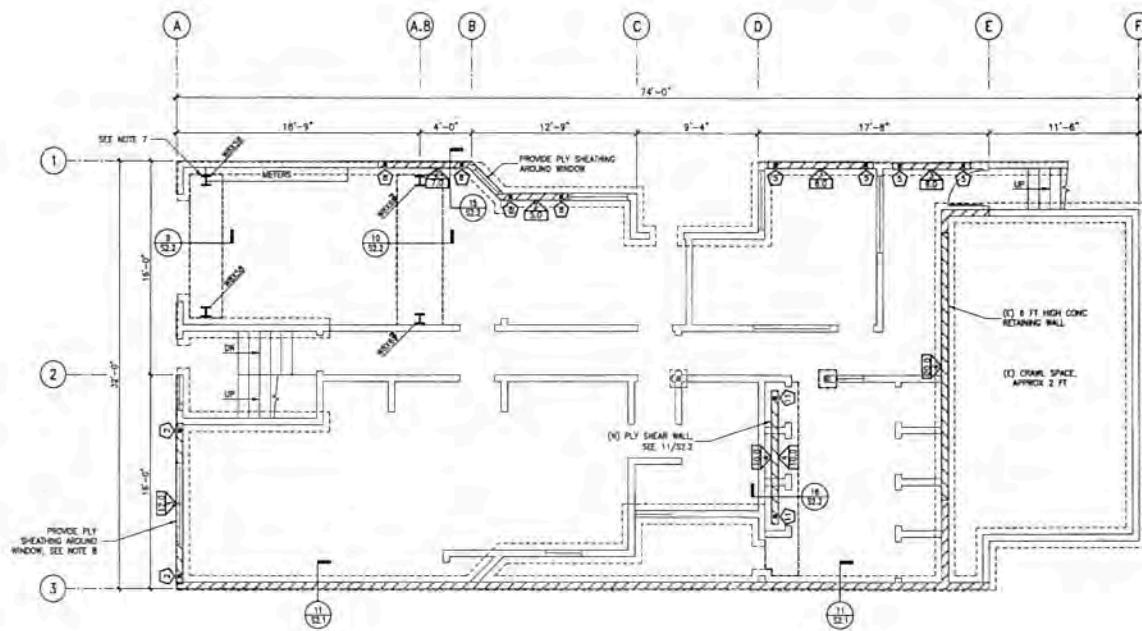
PLAN NOTES

1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION MATERIALS, SHOP DRAWINGS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION, AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES.
3. SHEAR WALLS ARE SHOWN AS NUMBER IN THE TRIANGLE INDICATES SHEAR WALL TYPE PER DETAIL 8/12/11 NUMBER IN RECTANGLE INDICATES WINDOW WALL LENGTH IN FEET. PLYWOOD SHALL BE INSTALLED ON THE SIDE OF THE WALL WHERE THE SYMBOL IS SHOWN.
4. HOLDINGS ARE SHOWN AS: (1) PER DETAIL 12/12/1 FOR HOLD-DOWN SCHEDULE.
5. WALL LEGEND:  
 AAAAAA (1) CONC WALLS  
 (2) STUD WALLS
6. CONTRACTOR SHALL USE DONNELLS WHERE (1) FOW AND (2) FOW ARE ADJACENT, SEE 12/12/1

7. FRAME LOCATION SHALL BE VERIFIED IN FIELD BASED ON (1) CONDITIONS, (2) WATER PIPE SHALL BE RELOCATED IF NECESSARY.
8. THE PLYWOOD SHEATHING CAN BE INSTALLED FROM INSIDE THE UNIT IF NECESSARY.

HOLD-DOWN PULL-OUTS LOADS

HOU2	8,000 LBS
HOU3	8,000 LBS
HOU8	10,000 LBS
HOU11	15,000 LBS



BASEMENT/FOUNDATION PLAN



RECEIVED  
OCT 13 2016  
DEPT OF BUILDING INSPECTION  
1535 PLANNING & DESIGN  
STANDARD FOR DESIGNER'S  
REVISIONS

Thomas Henry, SFD  
OCT 20 2016  
OCT 19 2016

APPROVED  
JAN 17 2017  
F. C. C. C.  
DEPT OF BUILDING INSPECTION

ECR Engineering

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123  
BASEMENT/FOUNDATION PLAN

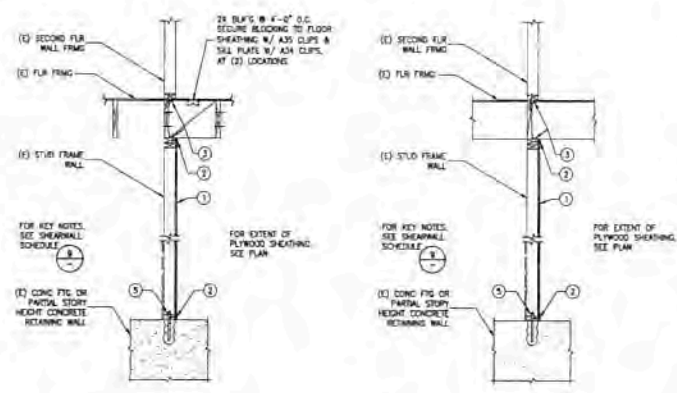
REVISIONS	BY



SHEET NO.  
S1.1  
SCALE: AS SHOWN  
DRAWN BY: JTV  
DATE: 5/3/2016







5 SHEAR WALL PARALLEL TO JOIST N.T.S. 6 SHEAR WALL PERPENDICULAR TO JOIST N.T.S.

SHEAR WALL SCHEDULE									
MARK	CAPACITY	SHEATHING (1)	EDGE NAIL (2)	SHEAR CLIPS (3)	SOLE PL. NAIL (4)	SILL PL. A.B. IN CONC. (5)	SILL PL. A.B. IN CMU (6)	FOR TYPICAL DETAIL, SEE (7) THRU (9)	
340 PLF	15/32" CD RATED	104 @ 6" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.
510 PLF	15/32" STRUCTURAL I	104 @ 4" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.
885 PLF	15/32" STRUCTURAL I	104 @ 3" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.
870 PLF	15/32" STRUCTURAL I	104 @ 2" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.	20# @ 8" O.C.

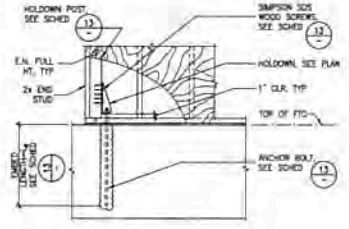
1. ALL WALL PLYWOOD SHALL BE NAILED PER S.D.S. 2. INTERMEDIATE (FIELD) NAILING SHALL BE 16" @ 12" O.C., U.O.N. 3. BLOCK ALL PLYWOOD EDGES. 4. ALL WALLS SHALL BE COMMON WALLS OR GALVANIZED ROOF. 5. ALL CONNECTORS & FASTENERS IN CONTACT W/ PRESSURE TREATED MEMBERS SHALL BE HOT DIP GALVANIZED. 6. PROVIDE WHERE HAIRING TENDS TO SPUR WOOD. 7. OTHER THAN FRAMING AT ADJOINING PANEL EDGES (STUDS & BLOCKS) AND AT SILL PLATES SHALL BE 3" NOW OR MORE AND NAILING SHALL BE STAGGERED WITH 8" EDGE DISTANCE AT PLYWOOD BOUNDARY NAILING. 8. SHEAR WALLS WHICH ARE MORE THAN ONE VERTICAL PANEL IN HEIGHT SHALL HAVE EITHER VERTICAL OR HORIZONTAL STAGGERED SPICE JOINTS AT CONTINUOUS HORIZONTAL JOINTS. BLOCKING SHALL BE 3" NOW OR MORE. 9. WHERE PLYWOOD IS APPLIED ON BOTH SIDES OF A WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS. OR FRAMING SHALL FRAMING SHALL BE 3" NOW OR MORE AT ADJOINING PANEL EDGES AND NAILS AT ALL PANEL EDGES SHALL BE STAGGERED. 10. PROVIDE 3"x2" W/ WASHER PLATES AND 5" MIN EMBED AT ALL SILL ANCHORS. PROVIDE 5"x2" W/ WASHER PLATES AND 5" MIN EMBED AT ALL SILL ANCHORS. 11. PROVIDE 5"x2" W/ WASHER PLATES AND 5" MIN EMBED AT ALL SILL ANCHORS. 12. WHERE PLYWOOD IS APPLIED ON BOTH SIDES, DECREASE ANCHOR BOLT SPACING BY HALF.

9 PLYWOOD SHEAR WALL SCHEDULE N.T.S.

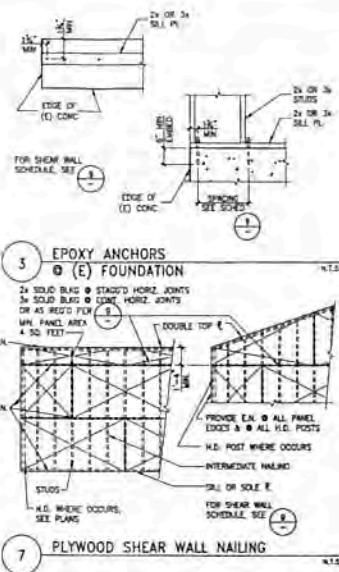
HOLDOWN SCHEDULE									
SYMBOL	HOLDOWN SIZE	HOLDOWN SCHEDULE	NAIL POST SIZE	A.B. DIMENSION	C.L.P. A.B. DIMENSION	ADHESIVE DIMENSION	FOR TYP DETAIL, SEE (14)		
HOLZ	(5) S2S 3/4"x5/8"	3"	3/4"	8"x8"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
HOLZ	(14) S2S 3/4"x5/8"	3"	3/4"	8"x8"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
HOLZ	(20) S2S 3/4"x5/8"	3"	3/4"	8"x8"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
HOLZ	(24) S2S 3/4"x5/8"	3"	3/4"	8"x8"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"

NOTE: 1. HOLDOWN DESIGNATIONS, CONNECTORS & BEARING PLATES ARE BY SIMPSON. 2. USE ADHESIVE AS SPECIFIED ON S.D.S. AT EXISTING CONCRETE. 3. POST THICKNESS MEASURED IN DIRECTION OF THE FASTENER PENETRATION.

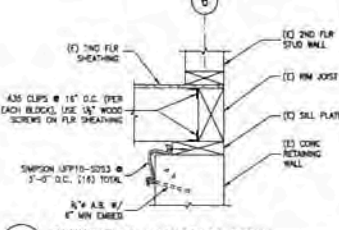
13 HOLDOWN SCHEDULE N.T.S.



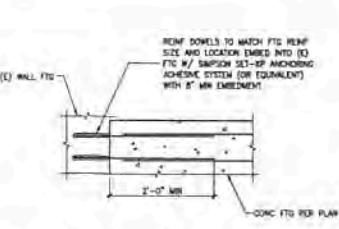
14 HOLDOWN (E) FTG N.T.S.



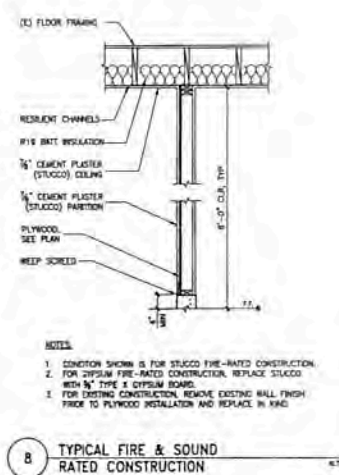
7 EPOXY ANCHORS (E) FOUNDATION N.T.S.



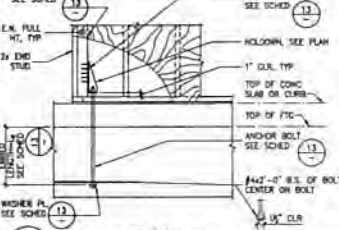
11 FOUNDATION ANCHORAGE DETAIL SCALE: 1\"/>



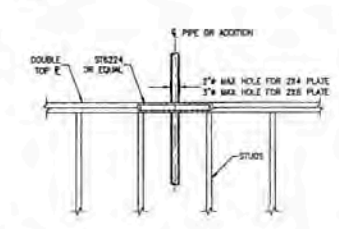
15 CONCRETE FOOTING CONN TO (E) FTG SCALE: 1\"/>



8 TYPICAL FIRE & SOUND RATED CONSTRUCTION N.T.S.



12 HOLDOWN (N) FTG N.T.S.



16 SPLICE (E) PIPE OR ADDITION SCALE: N.T.S.

APPROVED  
JAN 11 2017  
J. C. H.  
SEAL  
DEPT. OF BUILDING OPERATIONS

ECR Engineering

2634 OC TAVIA STREET  
SAN FRANCISCO, CA 94123  
STRUCTURAL DETAILS

REVISIONS	BY

REGISTERED PROFESSIONAL  
JAN 2014  
SEAL  
STATE OF CALIFORNIA

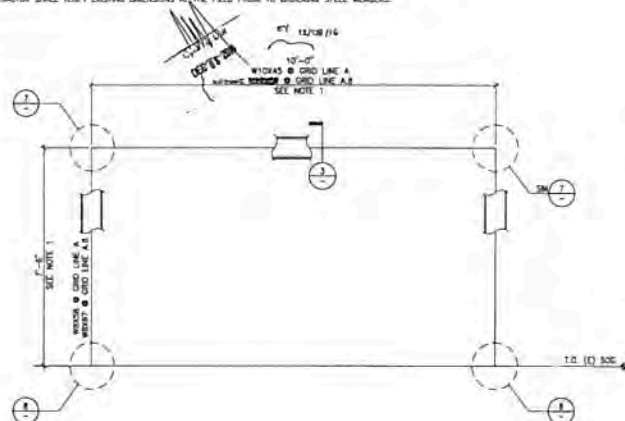
RECEIVED  
OCT 19 2016  
DEPT. OF BUILDING OPERATIONS  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR CHITING  
ADDITIONAL

Thomas Henry, SFD  
OCT 19 2016  
CIVIL ENGR.  
OCT 19 2016

SHEET NO  
S2.1  
SCALE: AS SHOWN  
DRAWN BY: JH  
DATE: 5/5/2016

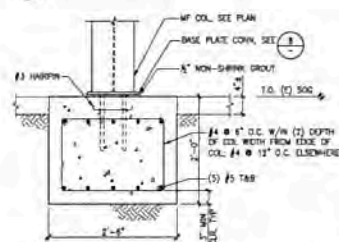
NOTE:

1. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS AT THE FIELD PRIOR TO ORDERING STEEL MEMBERS.



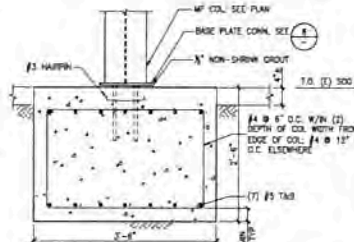
5. MOMENT FRAME ELEVATION

SCALE: N.T.S.



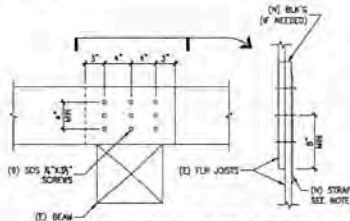
9. CONCRETE GRADE BEAM

SCALE: 1/4"=1'-0"



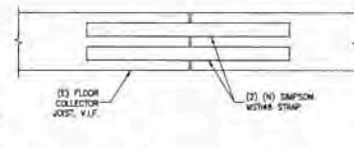
10. CONCRETE GRADE BEAM

SCALE: 1/4"=1'-0"



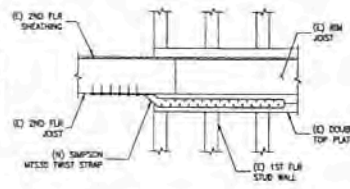
13. (E) FLOOR COLLECTOR SPLICE

SCALE: N.T.S.



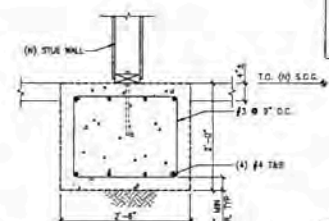
14. (E) FLOOR BEAM COLLECTOR SPLICE

SCALE: 1/4"=1'-0"



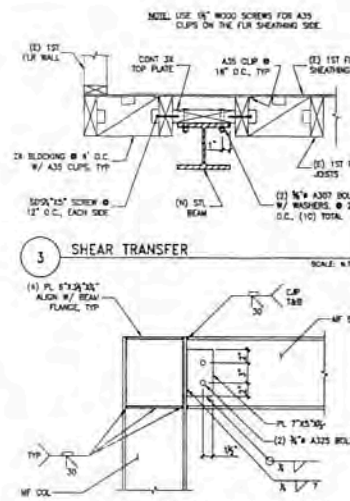
15. DETAIL

SCALE: N.T.S.



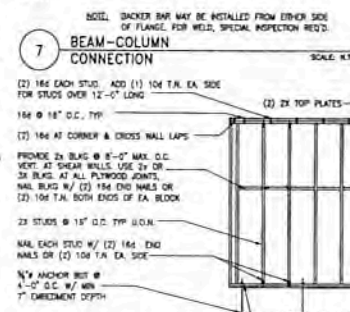
16. (N) CONCRETE GRADE BEAM

SCALE: 1/4"=1'-0"



3. SHEAR TRANSFER

SCALE: N.T.S.

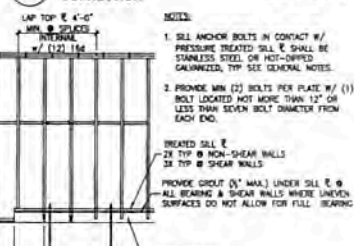


7. BEAM-COLUMN CONNECTION

SCALE: N.T.S.

8. BASE PLATE CONNECTION

SCALE: 1/2"=1'-0"



- NOTES:
1. ALL ANCHOR BOLTS IN CONTACT W/ PRESSURE TREATED SILL E SHALL BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED, TYP SEE GENERAL NOTES.
  2. PROVIDE MIN (2) BOLTS PER PLATE W/ (1) BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETER FROM EACH END.
- TREATED SILL E  
2X TYP @ NON-SHEAR WALLS  
2X TYP @ SHEAR WALLS  
PROVIDE GROUT (1" MAX.) UNDER SILL E @ ALL BEARING & SHEAR WALLS WHERE UNEVEN SURFACES DO NOT ALLOW FOR FULL BEARING.
- CLASH CONDITION WHERE OCCURS

APPROVED  
JAN 17 2017  
Tom C. de  
DIRECTOR  
DEPT OF BUILDING

ECR Engineering

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

STRUCTURAL DETAILS

REVISIONS	BY

RECEIVED  
OCT 19 2016  
DEPT OF BUILDING INSPECTION  
1815 FLYING DUTCHMAN BLVD  
SAN FRANCISCO, CA 94103



SHEET NO.

S2.2

Thomas Haney, SPFO  
OCT 19 2016

CHP VL DLR  
OCT 19 2016

SCALE: AS SHOWN  
DRAWN BY: RV  
DATE: 5/3/2016

# PERMIT HOLDER'S BRIEF



San Francisco Board of Appeals

Appeal No.: 21-001

Appeal Title: Cannon vs. DBI (PDA)

Subject Property: 2634 Octavia Street

Permit Type: Alteration Permit

Permit No.: 2020/09/03/3412

Answer from the 2634 Octavia Street HomeOwner's Association to the appellant's brief

Members of the Board of Appeals,

## Summary

1. The HOA has no position on the legal status of the deck-landing. The HOA, after research and consulting with licensed professionals, could not determine the legal status of unit 5's deck-landing. Any mention or identification of the deck-landing being legal or illegal is a miscommunication or a misunderstanding. We agree with the appellant that the term "illegal" applied to the deck-landing should not be on the plan.
2. The HOA made efforts to support the appellant that are not presented in the appellant's brief. After submitting the initial plan to the planning department, the HOA voted to contract the engineer to draft new plans which include the deck-landing as requested by the appellant and approved by her legal counsel. Plans will be presented at the hearing. Then the HOA, including the appellant Ms Cannon, voted to adopt this neutral HOA position.
3. The current state of the stairs is putting lives at risk (see documents 6 and 7). This is our priority.

We present you two plans, with and without deck-landing, and hope that you will give us a clear direction by validating one so that we can begin rebuilding the stairs immediately.



# Background

The HOA has been managed by volunteers for 40 years. We're trying to do our best to solve problems respecting laws and regulations. It's not easy even when we rely on licensed professionals.

Our absolute priority is to reconstruct the back stairs. Today, any adult walking on the landing is likely to fall through (see document 7). Unit 5's deck-landing is particularly at risk as the pillar supporting it is very fragile (see document 6). The back stairs are putting lives in danger. The HOA has asked that all units refrain from using the stairs and deck-landing to prevent injuries, unless an emergency requires it.

## How we got there

We all agreed the stairs present a life-threatening danger. When the decision was made to repair the stairs, the deck-landing legal situation quickly appeared as a delicate issue:

1. **Avoidance:** Ms Cannon first refused the reconstruction and asked to lightly repair the deck and stairs instead in order to avoid going through a permit process. (see document 1).  
Contractors and engineers visiting said it was technically impossible. See documents 6 and 7 for visuals of the extremely dangerous state of the structure.
2. **HOA's default position:** The default assumption of the HOA was that the structure would be rebuilt in kind, including the deck-landing. We got a quote from a contractor for the stairs rebuild including the deck-landing (see document 2). Owners of several units recalled some confusion and ambiguity from more than 20 years ago, regarding a previous possible un-permitted extension of the original deck-landing of Ms Cannon. But no document, fact or date could be found at that time.
3. **Grandfathering:** Ms Cannon then asked that the deck-landing be grandfathered. The HOA consulted engineers, who said the process was difficult and required documentation such

as plans or bills older than 30 years, if not more. The HOA searched for documents and invited Ms Cannon to do the same. Neither of us could find anything.

4. **Engineering:** The HOA contracted the licensed engineer Engin Yagmur to draft plans for the stairs. We said we had no idea about the legal status of the deck-landing and could not find documents ourselves. All we had was the fact that the condo conversion happened in the early 1980s. He said the best option was to get original plans from the city records. We asked that he include the deck-landing in the plan if they were on the original plans, or if they were not but he thought we had reasonably good chances to have it be accepted by the planning department.
5. **No plans on record:** The engineer searched for building or stairs plans on file with the city and could not find any. He drafted plans without the deck-landing and sent them to the HOA. The HOA forwarded them to all the members including Ms Cannon.
6. **New documents:** While the plans were being reviewed by the planning department, additional elements were found:

- a. **Existence of a deck-landing, proportions unclear:** One owner found the October 1979 condo map from a title insurance company (see document 3). The map states it is not a survey. The map shows a slim landing for unit 5. The apparent ratio of the shape is roughly 3.3/1 but the handwriting describes a larger deck-landing at 5x11ft (a ratio of 2.2/1). The current deck-landing is close to 5x12ft.

Was the landing originally slim then extended to the current size? Or was the deck-landing built as it today but the plan is not representing the right proportions? We do not know.

This document, which may have been presented to each owner at time of purchase, explains why owners are still unsure about the official deck-landing size.

- b. **Source of HOA misconceptions:** Letter (document 4) and photo (document 5) from the mid 1990s showing repairs to the deck-landing and a slight lateral extension, plus a letter from one of the members (unit 6) complaining about the deck-landing. We trace back the HOA uncertainty about the legal status of the deck-landing to this

letter, but the current HOA has no opinion on the legal status. Apparent age of the deck supporting structure on the photo proves some kind of deck was very likely present years before the photo was taken, when Ms Cannon bought her unit.

7. Ms Cannon also hired a legal counsel and he found additional documents.

To summarize the evolution of the HOA understanding:

1. The HOA originally wanted to build in kind, with the deck-landing. We gathered quotes including the deck, and we inquired about the contractor/engineer's ability to support grandfathering applications.
2. After consulting with licensed professionals, we could not find a way to gather documentation to support the grandfathering and create plans that would likely be accepted by the planning department.
3. **Today, with more professionals bringing nuance and additional documents**, our understanding has changed. We have no opinion on the legal status of the deck. We cannot find records stating when the deck was created and if/when it was extended. But we do believe Ms Cannon bought the unit 30 years ago with a deck close to the one present today.
4. Based on discussion with Julie Rosenberg, who explained the BOA process and what to expect, it is our understanding that you can approve plans on the spot. We will present you two plans, with and without deck, and hope that you will give us a clear direction by validating one in order to rebuild immediately.

Regards, Paul Guermonprez, HOA president

## Document 1:

Email from 2020-06-07: from HOA President (Paul Guermonprez) to Ms Cannon:

- **Ms Cannon:** *Attaching L braces might provide give some interim safety. Screw rather than hammer them in.*
- **HOA President:** *No. All the engineers and contractors said the stairs are falling apart everywhere, specifically this beam. Repairs with brackets won't do. Even the guy you asked to visit clearly said so in front of us both.*

...

- **Ms Cannon:** *Obviously I am concerned about the back deck to Unit 5. Explain pls. I've seen contractors and SF officials discussing it.*
- **HOA President:** *Totally understandable that you are concerned about your deck. I'm not sure city officials ever visited us yet*

...

*To my knowledge only engineers and contractors came to give an opinion and give quotes. The situation is quite simple: the licensed engineer will do his work (I guess both looking at the plans on city records and at the stairs as they are today), then he will make a proposal about what is doable legally and technically about the stairs and decks. Nobody in the HOA has anything against your deck, we all wish good luck, but I can't predict what the engineer and city will say about it.*

## Document 2:

Quote requested by the HOA for the stairs rebuild including the deck-landing.

Answer from the HOA treasurer 2020-01-13: "Yes, that's a great price. Did they say how much experience they have with constructing staircases and following the codes for older (grandfathered) buildings?"

<b>SUPER HOME BUILDERS</b> 1849 Geary Blvd #156734 San Francisco, CA 94115 Tel (415) 731-2020 / Fax (415) 834-5322 License # 1011687		<b>PROPOSAL</b>	
Submitted To: <b>Mr. Paul Guernonprez</b>		Job Name: <b>Exterior Staircase Repair</b>	Date: <b>01-13-20</b>
Job Address: <b>2634 Octavia St. San Francisco, CA 94123</b>		Mailing Address: <b>2634 Octavia St. #2 San Francisco, CA 94123</b>	
Telephone: <b>(415) 758-3366</b>	Fax:	ATTN:	E-Mail: <b>paul.guernonprez@gmail.com</b>
We hereby submit specification and estimates for:			
<b>Scope of work:</b> <ul style="list-style-type: none"><li>• Area to work: Back side of property 20' x 6' wooden staircase (ground to 3<sup>rd</sup> level).</li><li>• Estimation based on visual inspection without architecture/structure engineer plan drawing and specification.</li><li>• Estimation cost could be changed by DBI approval plan, engineer inspection, DBI inspection, special design work, and type of material and/or method of installation.</li><li>• Prepare plans as needed and obtain permits as required. Permit and plan, inspection fee cost not included.</li><li>• Demolish entire staircase and build new similar one to match existing staircase with pressure treat wood.</li><li>• If there is any excessive work occurrence and major structure repair, excessive repairs will be addressed with the property owner and a decision will be made as to the best solution and a changed order will be generated.</li><li>• Debris will be removed to dump.</li></ul>			
			
<b>Exclusions:</b> Areas not specified in general scope / Hazard material abatement.			
<b>Insurance:</b> While work is being performed under this agreement, SUPER HOME CO. shall continually provide appropriate workers Compensation coverage and liability insurance.			
<b>Warranty of licenses:</b> SUPER HOME CO. warrants that it presently holds a valid California contractor's licenses.			
<b>Completion delay:</b> It is understood and that, SUPER HOME CO. shall not be held liable for any loss, damage or delay occasioned by fire, acts of God or accidents, boycotts, material shortages, or disturbed labor conditions, delay from other sub contractors, delivery of materials from suppliers, inclement weather, or other causes beyond the reasonable control of , SUPER HOME CO			



### Document 3:

Detail of the land survey showing a landing of unclear proportions.



## Document 4:

Letter from unit 6 to the HOA (or to unit 3, unsure), likely from the mid-late 1990s, referring to work being done by Ms Cannon and her partner living in unit 5:

*"DECK (OR) BALCONY),*

*Hi Maggie,*

*Here is a brief history of the new infamous balcony (or deck). A few years back the members of the Home Owners Association voted to repair the dry rot area on the rear stairs + balcony (#5) as needed for safety.*

*What happened was, the original deck was completely removed down to the two (2) vertical support poles. Then the new, deluxe, and enlarged deck (balcony) was constructed (the one that's there now). All this removal + construction was paid for by the H.O.A. This was done before dry-rot on stairs was repaired, by the way.*

*A lot of doubt still remains as the necessity of a 'jazzy' new balcony, or the original recommended repairs.*

*All this done at the Association's expense! Construction (and removal) by Vince Rinaldi, and (Ha!) many "helpful suggestions" by R Zeman.*

*Hope this will be helpful, more to come.*

*We are behind you, Dick+Sheila.*

*P.S.: plus a matching gate."*

## DECK (OR) BALCONY

Ku Maggie:-

Here is a brief history of the now 'infamous balcony (or deck)'. A few years back the members of the Home Owners Association voted to repair the dry rot areas on the rear stairs + balcony (#5) as needed, for safety.

What happened was, the original deck was completely removed, down to two (2) vertical support poles. Then the new, de-luxe, and enlarged deck (balcony) was constructed. (The one that's there now). All this removal + construction was paid for by the H.O.A.. This was done before dry-rot on stairs was repaired, by the way.

A lot of doubt still remains as to the necessity of a 'jazzy' new balcony, or the necessity of <sup>oops!</sup> original recommended repairs!

ORIGINAL >

All this done at the Association's expense!  
Construction (and removal) - By Vince Rinaldi, and -- (#A!)  
Many "Helpful Suggestions" - By - R. Zeman.

Hope this will be helpful - More to come.

'We are behind you!', Dick + Sheila

P.S. - Plus a matching gate.



## Document 5:

Photo attached to the letter from unit 6 to the HOA (or unit 3, unsure),  
likely from the mid 1990s:





## Document 6:

Pillar supporting the landing-deck, representative of the general state of the structure.





## Document 7:

Broken boards of the landing between units 2 and 3,  
representative of the general state of the structure.



Original Plan Set dated 7/27/2020



FIRE EGRESS STAIRS REPLACEMENT IN KIND  
2634 OCTAVIA STREET  
SAN FRANCISCO, CALIFORNIA 94123  
PARCEL NO.: 0553/047-053 (7 LOTS)



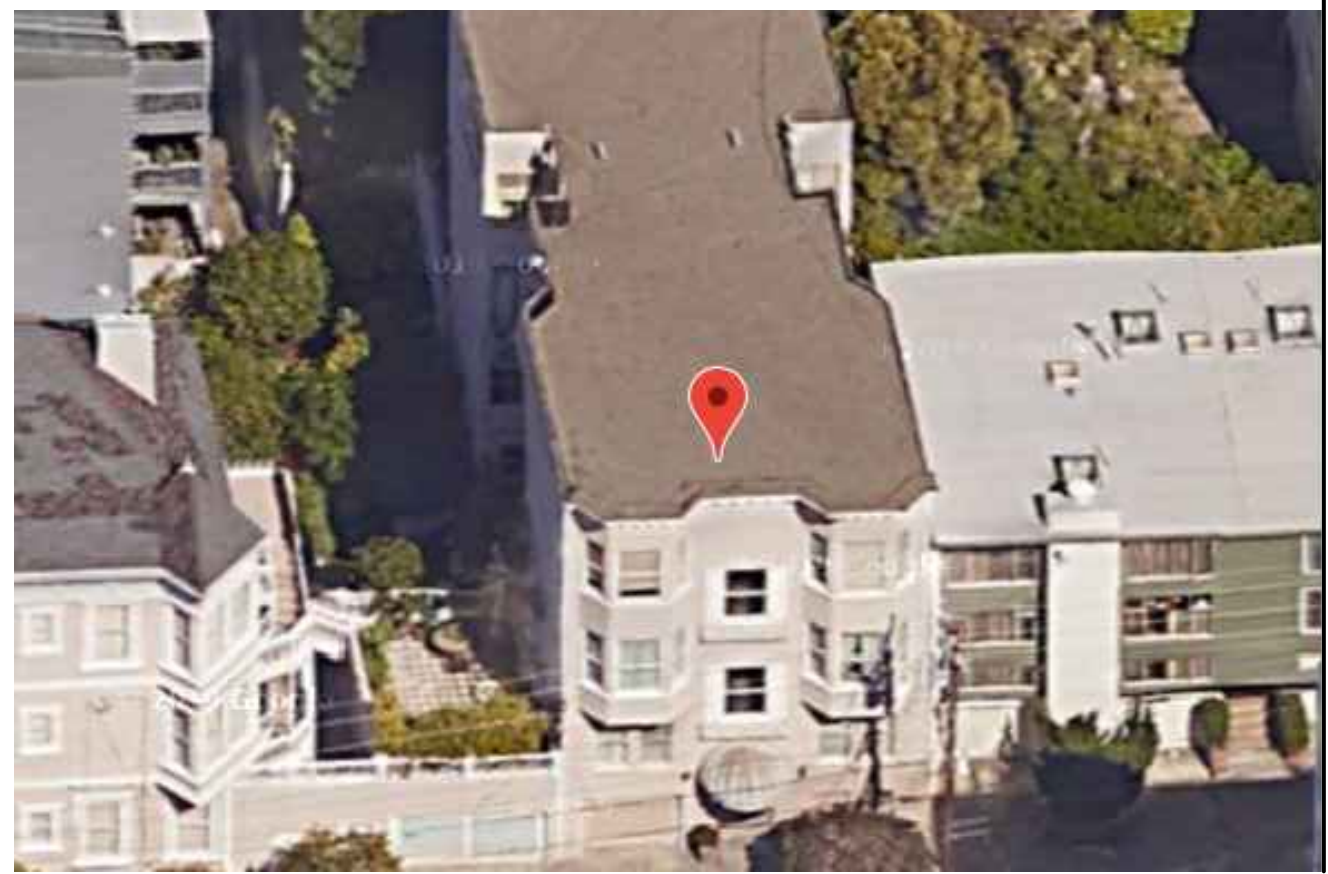
COVER SHEET &  
PROJECT INFO

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

SITE LOCATION MAP



SITE AERIAL IMAGE



PROJECT TEAM

**CLIENT:**  
OWNER: PAUL GUERMONPREZ  
REPRESENTATIVE OF 2634 OCTAVIA STREET HOA  
2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123  
T: (415) 758-3366

**ENGINEERING FIRM:**  
ECR ENGINEERING  
1842 JEFFERSON STREET, #104  
SAN FRANCISCO, CA 94123  
T: (415) 205-3804  
ecrengineering@gmail.com

**GENERAL CONTRACTOR:**  
T.B.D.

PROJECT SCOPE

THE PROPOSED SCOPE OF WORK IS LIMITED TO REPLACING FIRE EGRESS STAIRS IN KIND DUE TO SIGNIFICANT DRY-ROT DAMAGE AND DEMO EXISTING ILLEGAL 3RD FLOOR DECK, LOCATED, LOCATED AT THE BACK OF THE SUBJECT BUILDING.

THE PROPOSED SCOPE OF WORK INCLUDES:

- (N) POSTS.
- (N) JOISTS, STRINGERS AND BEAMS FOR STAIRS FRAMING.
- (N) GUARDRAILS AND HANDRAILS.
- (N) ISOLATED PAD FOOTINGS.
- NO FIREWALL CONSTRUCTION.
- DEMO THE EXISTING ILLEGAL DECK

DRAWING INDEX

A0.1 COVER SHEET & PROJECT INFO  
A1.1 SITE PLAN  
A1.2 BASEMENT & 1ST FLOOR PLANS  
A1.3 2ND & 3RD FLOOR PLANS  
A2.1 EXISTING ELEVATIONS  
A2.2 PROPOSED ELEVATIONS  
A3.1 PHOTOS OF (E) DECK & EGRESS STAIRS  
S0.1 GENERAL NOTES  
S1.1 PARTIAL 1ST FLOOR FOUNDATION PLAN & PARTIAL 2ND & 3RD FLOOR FRAMING PLANS  
S2.1 STRUCTURAL DETAILS


CODE COMPLIANCE AND PROJECT INFORMATION

THE PROJECT IS LOCATED IN THE CITY OF SAN FRANCISCO, CALIFORNIA. THE DESIGN WILL BE IN ACCORDANCE WITH THE FOLLOWING BUILDINGS CODES AND DESIGN STANDARDS:

- 2019 SAN FRANCISCO FIRE CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 SAN FRANCISCO EXISTING BUILDING CODE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), 15TH EDITION
- AMERICAN CONCRETE INSTITUTE, ACI 318-19
- 2018 AMERICAN WOOD COUNCIL NATIONAL DESIGN SPECIFICATION (NDS)
- 2018 AMERICAN WOOD COUNCIL SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC (SDPWS)

THE BUILDING PROPERTIES ARE:

LOT SIZE:	2,600 SF
BUILDING AREA	Unknown
ORIGINAL CONST DATE:	1904
ORIGINAL BUILDING CODE:	PRE-CODE ERA
PROPERTY CLASS:	MULTI-FAMILY
ZONING:	RH-2
TYPE OF CONSTRUCTION:	V-B
# OF UNITS	7
# OF STORIES:	3 W/ BASEMENT
OCCUPANCY	R-2
SPRINKLERED	NON SPRINKLERED

<p>City and County of San Francisco Department of Building Inspection</p> <p></p> <p><b>Edwin M. Lee, Mayor</b> <b>Tom C. Hui, S.E., C.B.O., Director</b></p> <p><b>NOTICE</b></p> <p><b>SPECIAL INSPECTION REQUIREMENTS</b></p> <p>Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.</p> <p>These special inspections are required <i>in addition to</i> the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.</p> <p>For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or <b>415-558-6132</b>. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.</p> <p>Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. <b><i>The permit will not be finalized without compliance with the special inspection requirements.</i></b></p> <p><b>STRUCTURAL OBSERVATION REQUIREMENTS</b></p> <p>Structural observation shall be provided as required per Section 1704.5. <b>The building permit will not be finalized without compliance with the structural observation requirements.</b></p> <p><b>Special Inspection Services Contact Information</b></p> <p>1. Telephone: (415) 558-6132 2. Fax: (415) 558-6474 3. Email: <a href="mailto:dbi.specialinspections@sfgov.org">dbi.specialinspections@sfgov.org</a> 4. In person: 3<sup>rd</sup> floor at 1660 Mission Street</p> <p><b>Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.</b></p> <p><b>Special Inspection Services</b> 1660 Mission Street – San Francisco CA 94103 Office (415) 558-6132 – FAX (415) 558-6474 – <a href="http://www.sfdbi.org">www.sfdbi.org</a></p> <p>Revised 9-22-17</p>	<p><b>SPECIAL INSPECTION AND STRUCTURAL OBSERVATION</b> <b>A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET</b></p> <p>JOB ADDRESS <u>2634 OCTAVIA STREET</u> APPLICATION NO. _____ ADDENDUM NO. _____</p> <p>OWNER NAME <u>PAUL GUERMONPREZ</u> OWNER PHONE NO. <u>(415) 758-3366</u></p> <p>Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec.1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.6. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.</p> <p>In accordance with Chapter 17 (SFBC), Special Inspection and/or testing is required for the following work:</p> <table><tbody><tr><td>1. <input checked="" type="checkbox"/> Concrete (Placement &amp; <del>consolidation</del>)</td><td>6. <input type="checkbox"/> High-strength bolting</td><td>18. <b>Bolts installed in existing concrete masonry:</b></td></tr><tr><td>2. <input checked="" type="checkbox"/> Bolts installed in concrete</td><td>7. <input type="checkbox"/> Structural masonry</td><td><input type="checkbox"/> Concrete <input type="checkbox"/> Masonry</td></tr><tr><td>3. <input type="checkbox"/> Special moment-resisting concrete frame</td><td>8. <input type="checkbox"/> Reinforced gypsum concrete</td><td><input type="checkbox"/> Pull/torque tests</td></tr><tr><td>4. <input checked="" type="checkbox"/> Reinforcing steel <del>anchorage and lap splicing</del></td><td>9. <input type="checkbox"/> Insulating concrete fill</td><td>19. <input type="checkbox"/> Shear walls and floor systems used as shear diaphragms</td></tr><tr><td>5. Structural welding:</td><td>10. <input type="checkbox"/> Sprayed-on fireproofing</td><td>20. <input type="checkbox"/> Holdowns</td></tr><tr><td>A. Periodic visual inspection</td><td>11. <input type="checkbox"/> Piling, drilled piers and caissons</td><td>21. <b>Special cases:</b></td></tr><tr><td><input type="checkbox"/> Single pass fillet welds 5/16" or smaller</td><td>12. <input type="checkbox"/> Shotcrete</td><td><input type="checkbox"/> Shoring</td></tr><tr><td><input type="checkbox"/> Steel deck</td><td>13. <input type="checkbox"/> Special grading, excavation</td><td><input type="checkbox"/> Underpinning: <input type="checkbox"/> Not affecting adjacent property</td></tr><tr><td><input type="checkbox"/> Welded studs</td><td>14. <input type="checkbox"/> And filling (Geo. Engineered)</td><td><input type="checkbox"/> Affecting adjacent property: PA _____</td></tr><tr><td><input type="checkbox"/> Cold formed studs and joists</td><td>15. <input type="checkbox"/> Smoke-control system</td><td><input type="checkbox"/> Others _____</td></tr><tr><td><input type="checkbox"/> Stair and railing systems</td><td>16. <input type="checkbox"/> Demolition</td><td>22. <input type="checkbox"/> Crane safety (Apply to the operation of Tower cranes on highrise building) (Section 1705.21)</td></tr><tr><td><input type="checkbox"/> Reinforcing steel</td><td>17. <b>Retrofit of unreinforced masonry buildings:</b></td><td>23. <input type="checkbox"/> Others: "As recommended by professional of record" _____</td></tr><tr><td><input type="checkbox"/> Testing of mortar quality and shear tests</td><td><input type="checkbox"/> Exterior Facing</td><td></td></tr><tr><td><input type="checkbox"/> Inspection of repointing operations</td><td><input type="checkbox"/> Installation inspection of new shear bolts</td><td></td></tr><tr><td><input type="checkbox"/> All other welding (NDT exception: Fillet weld)</td><td><input type="checkbox"/> Pre-installation inspection for embedded bolts</td><td></td></tr><tr><td><input type="checkbox"/> Reinforcing steel; and <input type="checkbox"/> NDT required</td><td><input type="checkbox"/> Pull/torque tests per SFBC Sec.1607C &amp; 1615C</td><td></td></tr><tr><td><input type="checkbox"/> Moment-resisting frames</td><td></td><td></td></tr><tr><td><input type="checkbox"/> Others _____</td><td></td><td></td></tr></tbody></table> <p>24. <b>Structural observation per Sec. 1704.6 for the following:</b> <input type="checkbox"/> Foundations <input type="checkbox"/> Steel framing <input type="checkbox"/> Concrete construction <input type="checkbox"/> Masonry construction <input type="checkbox"/> Wood framing <input type="checkbox"/> Other: _____</p> <p>25. Certification is required for: <input type="checkbox"/> Glu-lam components</p> <p>26. <input type="checkbox"/> Firestops in high-rise building</p> <p>Prepared by: <u>ENGIN YAGMUR</u> Phone: <u>(415) 205-3804</u> Engineer/Architect of Record</p> <p>Required information: FAX: ( _____ ) Email: <u>ecrengineering@gmail.com</u></p> <p>Review by: _____ Phone: <u>(415) 558- _____</u> DBI Engineer or Plan Checker</p> <p><b>APPROVAL (Based on submitted reports.)</b></p> <p>DATE _____ DBI Engineer or Plan Checker / Special Inspection Services Staff</p> <p>QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO: Special Inspection Services (415) 558-6132; or, <a href="mailto:dbi.specialinspections@sfgov.org">dbi.specialinspections@sfgov.org</a> ; or FAX (415) 558-6474</p> <p>Revised 9-22-17</p>	1. <input checked="" type="checkbox"/> Concrete (Placement & <del>consolidation</del> )	6. <input type="checkbox"/> High-strength bolting	18. <b>Bolts installed in existing concrete masonry:</b>	2. <input checked="" type="checkbox"/> Bolts installed in concrete	7. <input type="checkbox"/> Structural masonry	<input type="checkbox"/> Concrete <input type="checkbox"/> Masonry	3. <input type="checkbox"/> Special moment-resisting concrete frame	8. <input type="checkbox"/> Reinforced gypsum concrete	<input type="checkbox"/> Pull/torque tests	4. <input checked="" type="checkbox"/> Reinforcing steel <del>anchorage and lap splicing</del>	9. <input type="checkbox"/> Insulating concrete fill	19. <input type="checkbox"/> Shear walls and floor systems used as shear diaphragms	5. 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<input type="checkbox"/> Others _____																																																							

REVISIONS BY



SHEET NO.

A0.1

SCALE: NONE

DRAWN BY: RV

DATE: 7/27/2020



2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

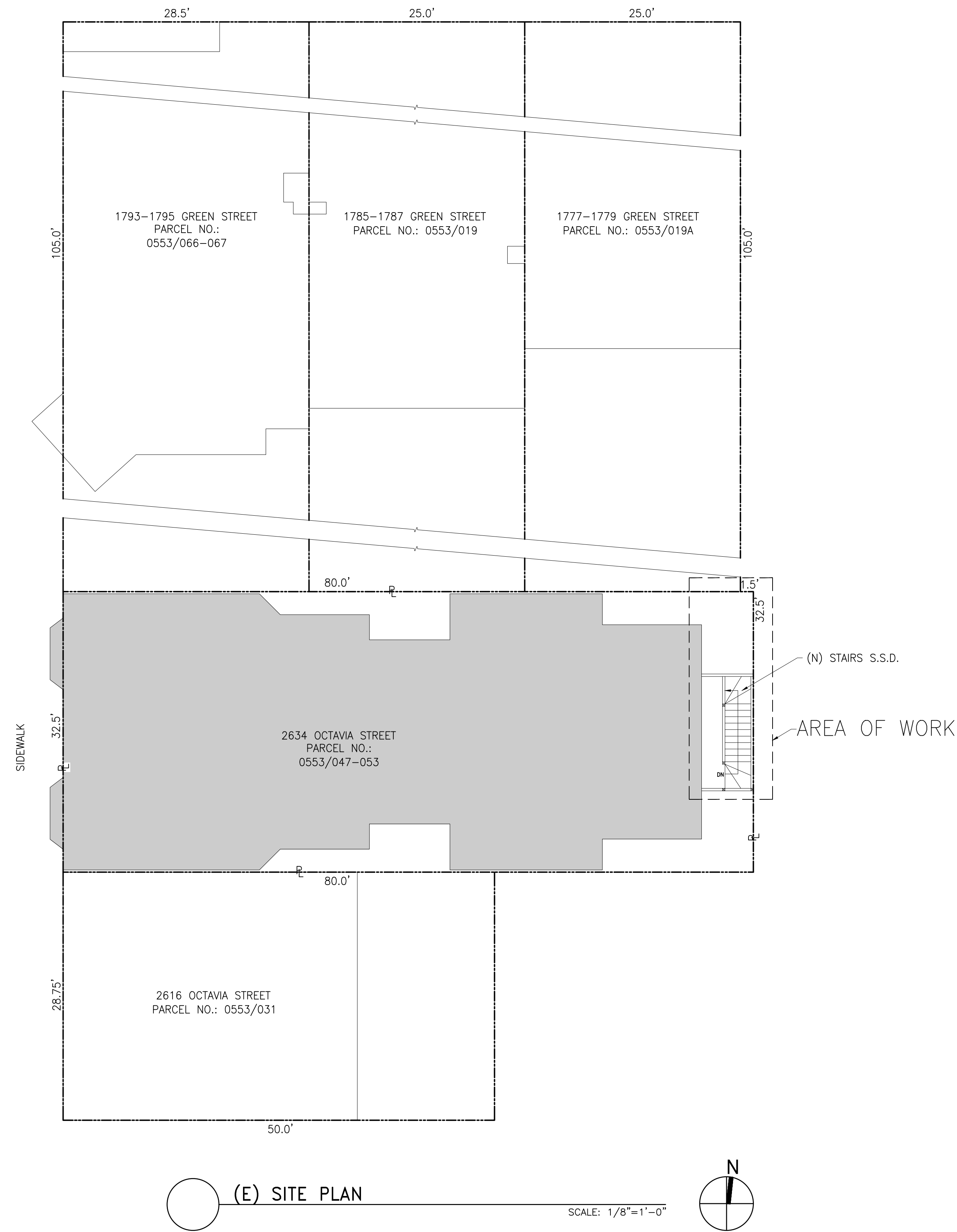
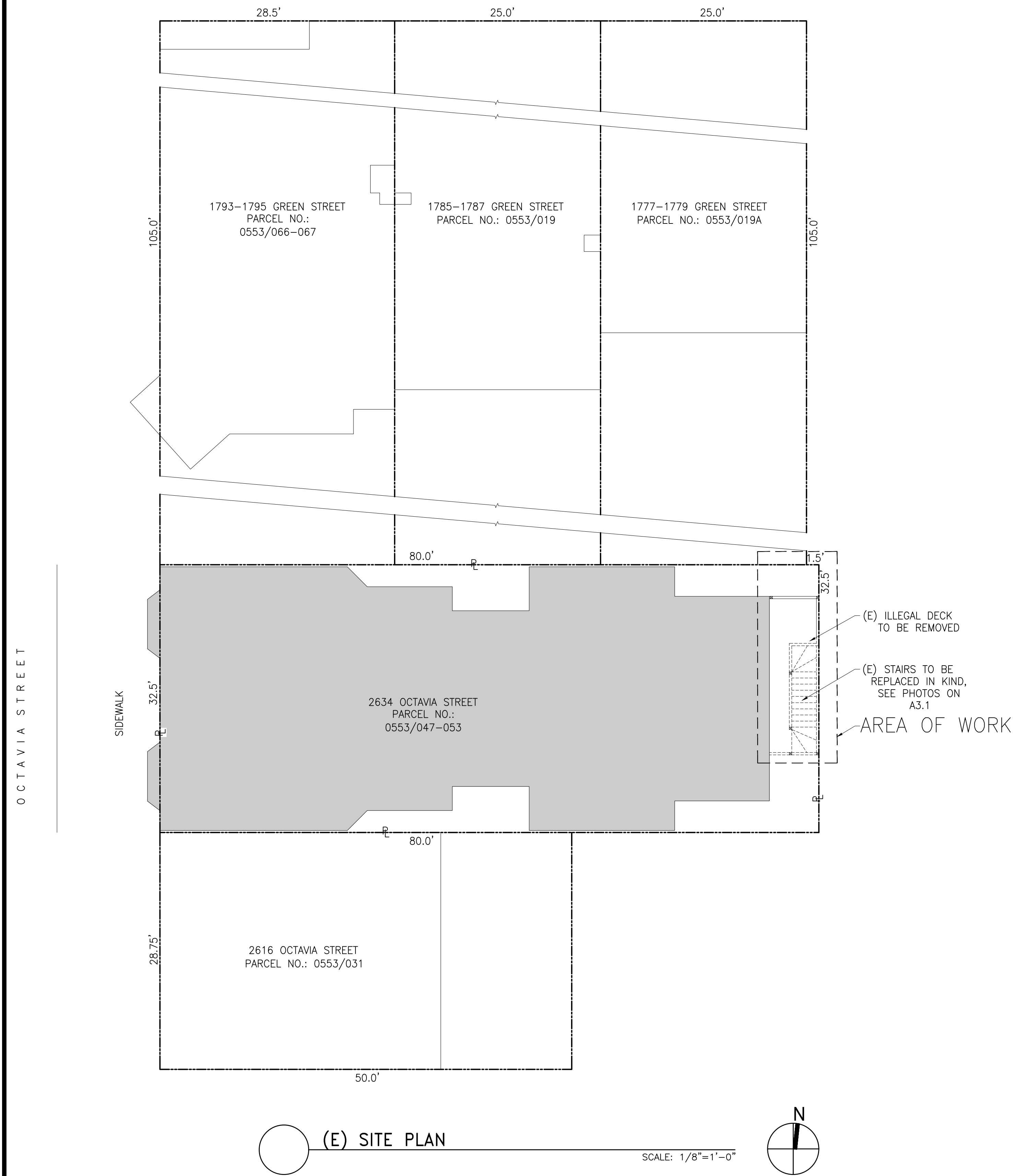
REVISIONS	BY



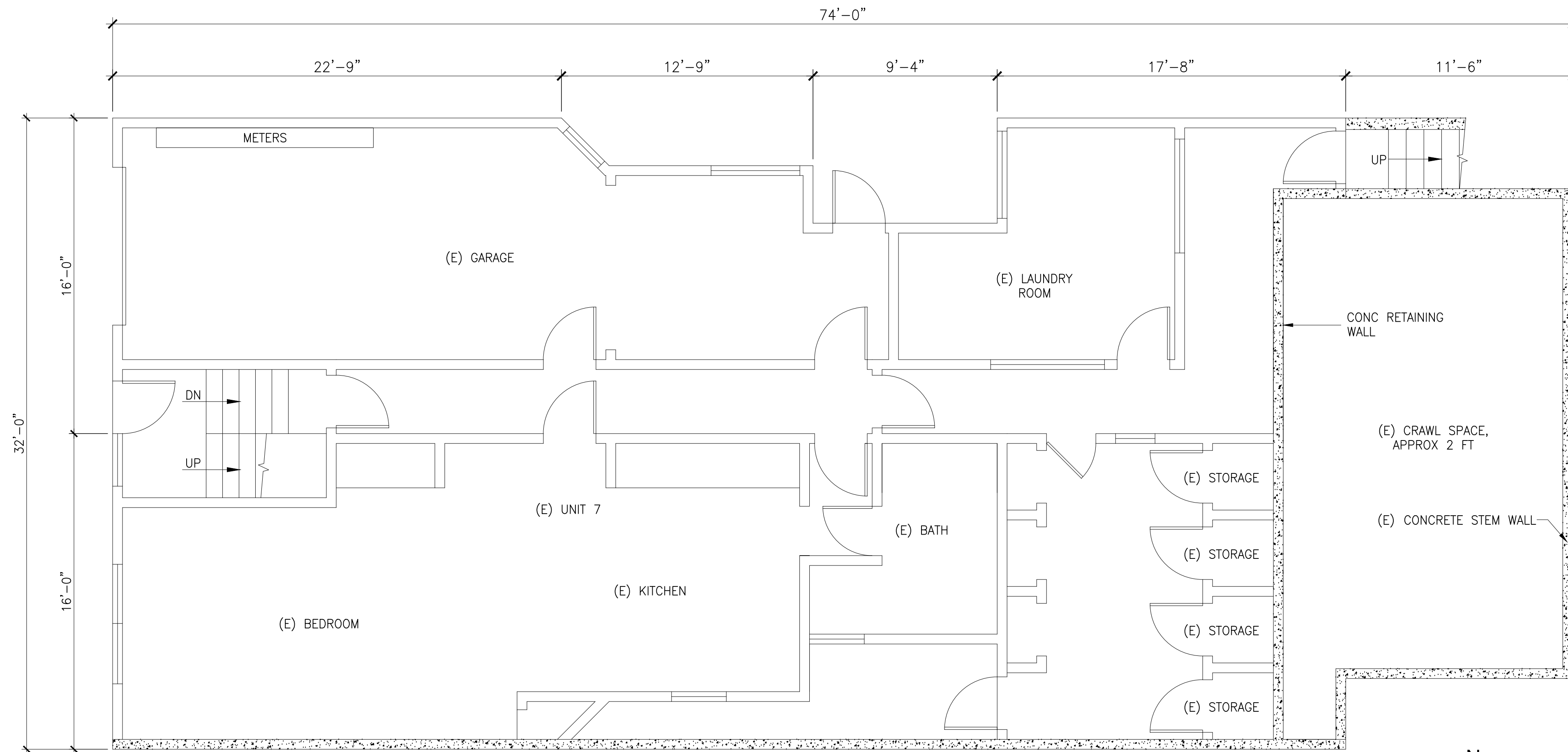
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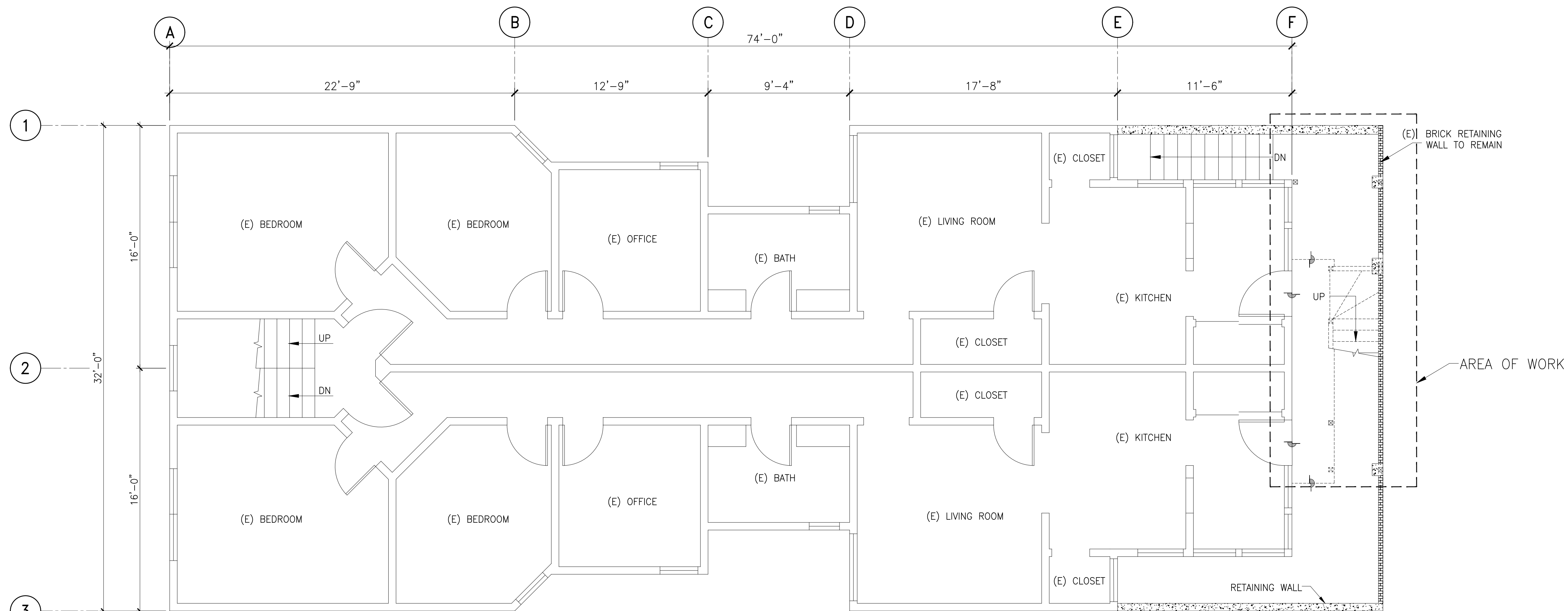
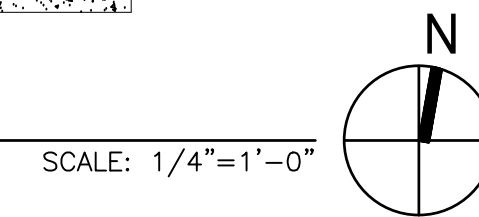
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DATE: 7/27/2020



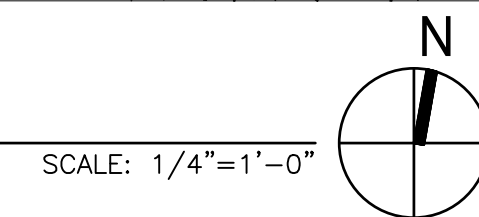




BASEMENT FLOOR PLAN



1ST FLOOR PLAN



PLAN NOTES

1. ALL ROOMS SHOW (E) CONDITIONS, FOR REFERENCE ONLY.



BASEMENT  
&  
1ST FLOOR  
PLANS

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY



SHEET NO.

A1.2

SCALE: AS SHOWN

DRAWN BY: RV

DATE: 7/27/2020

REVISIONS	BY



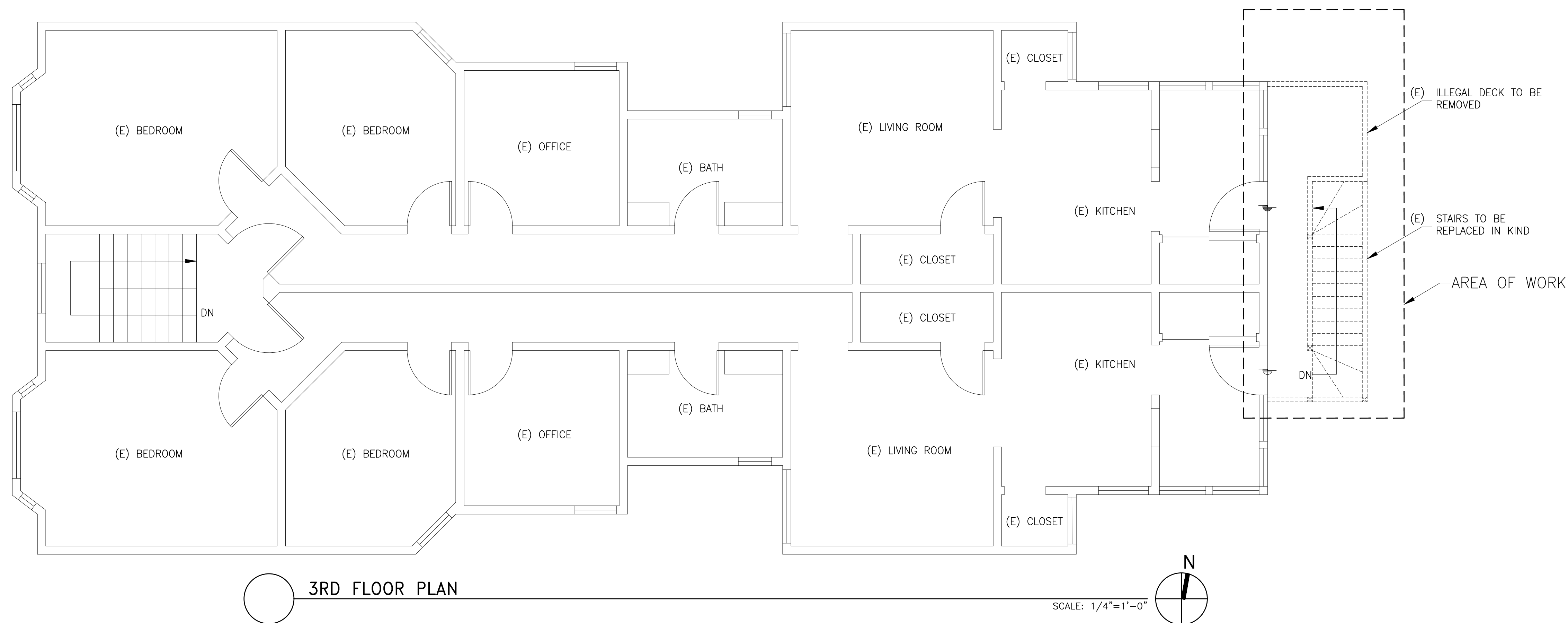
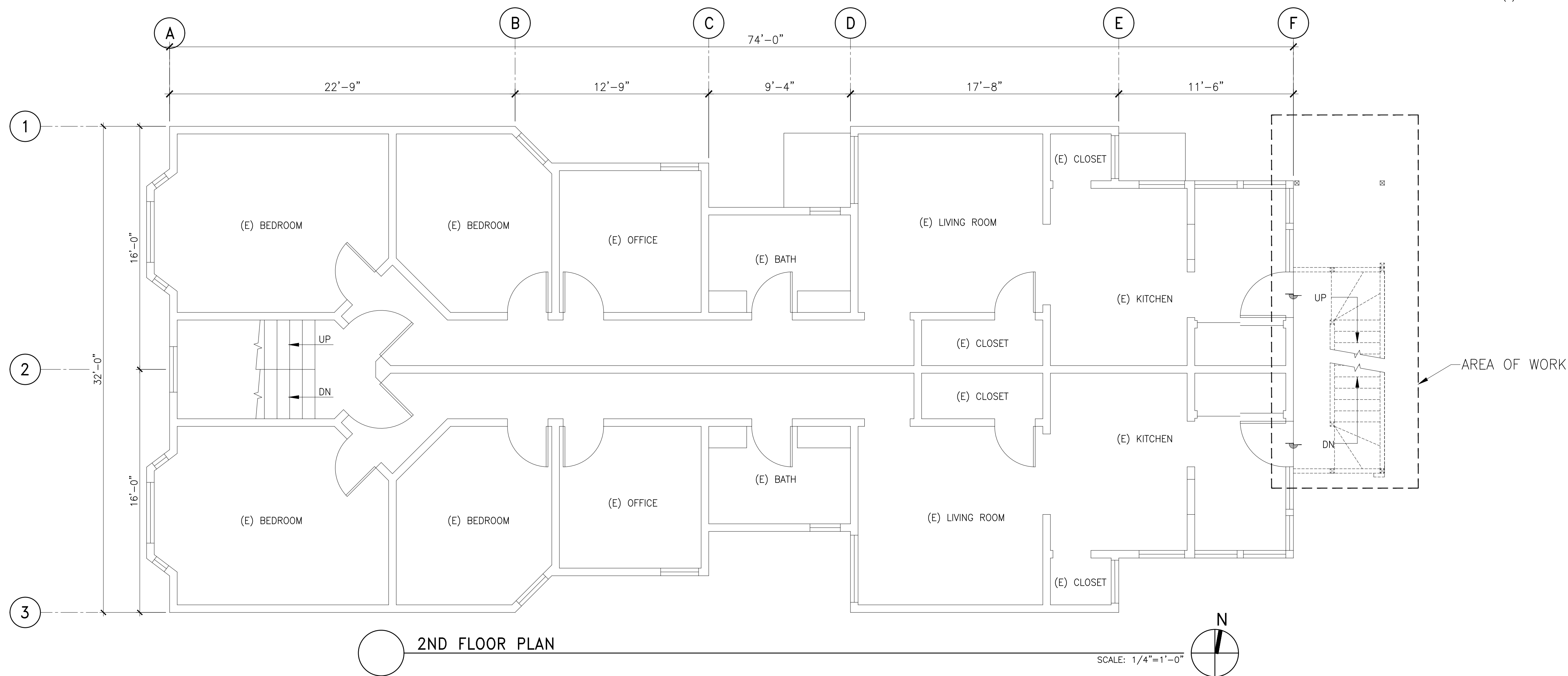
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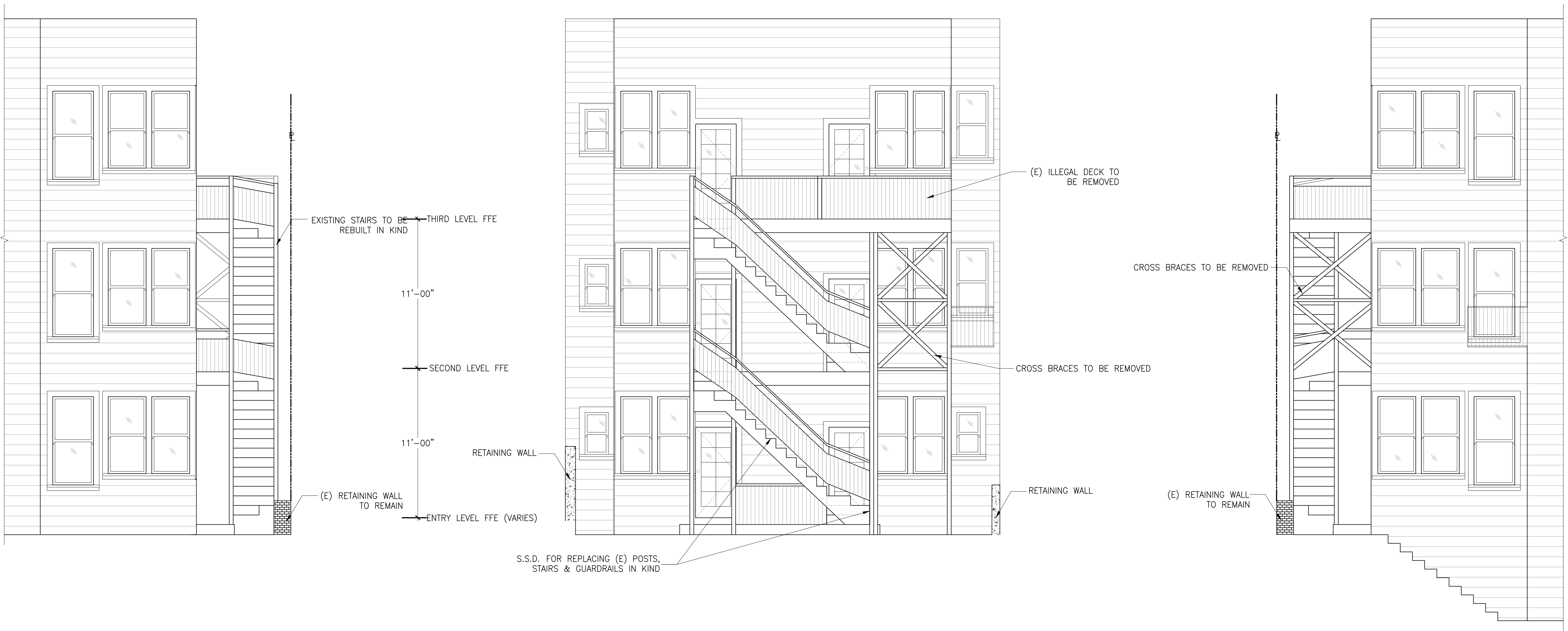
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DRAWN BY: RV  
DATE: 7/27/2020

PLAN NOTES

1. ALL ROOMS SHOW (E) CONDITIONS, FOR REFERENCE ONLY.



REVISIONS	BY



(E) SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

(E) EAST ELEVATION  
SCALE: 1/4"=1'-0"

(E) NORTH ELEVATION  
SCALE: 1/4"=1'-0"

REVISIONS	BY

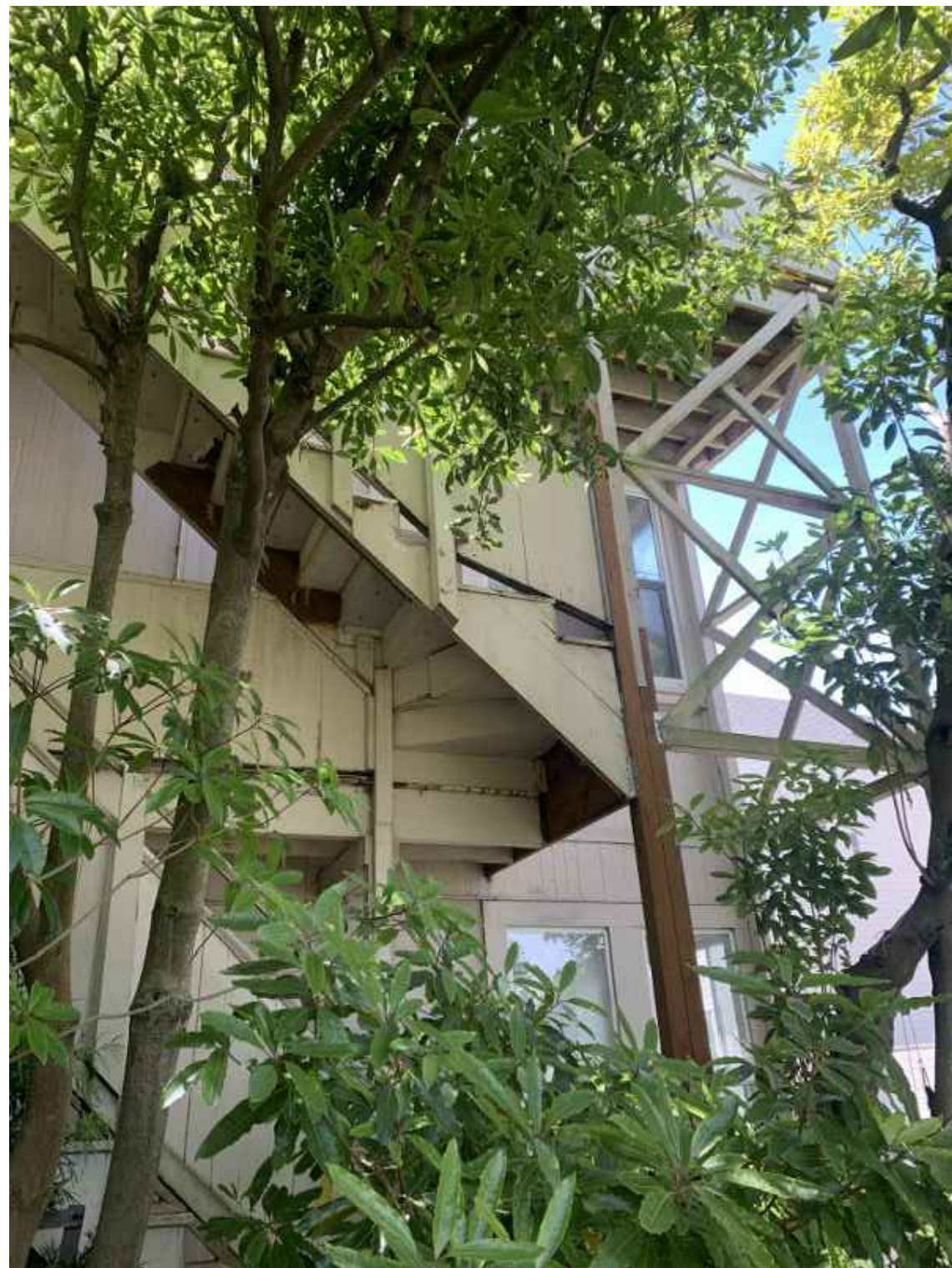


(N) SOUTH ELEVATION  
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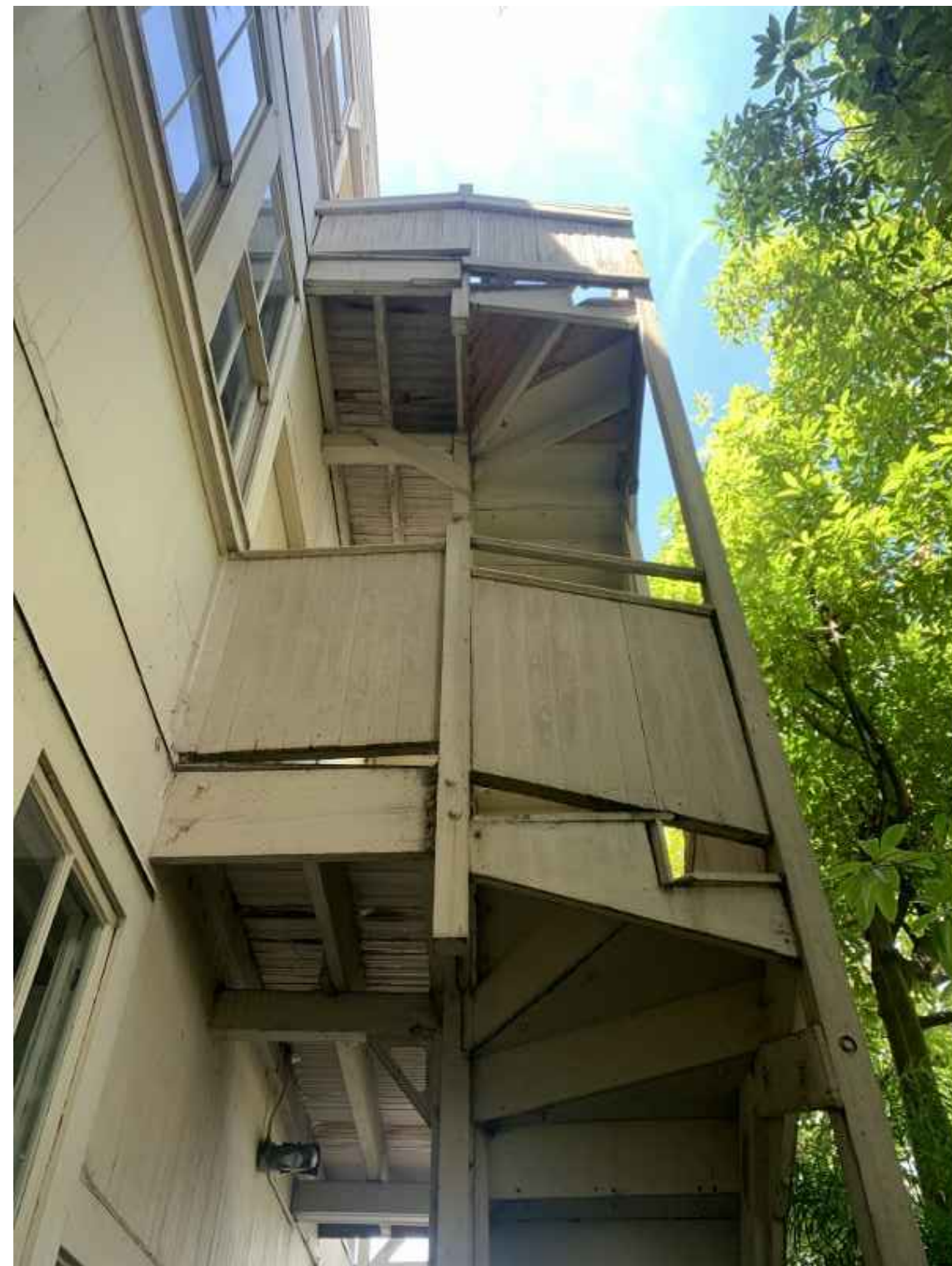
(N) EAST ELEVATION  
SCALE: 1/4"=1'-0"

(N) NORTH ELEVATION  
SCALE: 1/4"=1'-0"





1 (E) FIRE STAIRS TO BE DEMO'D



2 THE (SOUTH) SIDE ELEVATION OF THE FIRE STAIRS



3 (E) ILLEGAL DECK TO BE REMOVED



4 THE FIRST FLOOR STAIRS



5 THE FIRST FLOOR STRINGERS, POSTS. AND FOOTINGS



6 TYPICAL DAMAGED SLOPING LANDING



7 TYPICAL DRY-ROTTED POST



8 TYPICAL DRY-ROTTED STRINGER

REVISIONS	BY



DESIGN LOADS

DL = 15 psf (Stairs)  
LL = 100 psf (Stairs)

No wind or earthquake loads considered.

EXISTING CONSTRUCTION

- Work shown is new unless noted as existing: (E)
- Existing construction shown on these drawings was obtained from site investigation and can be used for bidding purposes. The contractor shall verify all existing job conditions, review all drawings and verify dimensions prior to construction. The contractor shall notify the architect of all discrepancies and exceptions before proceeding with the work.
- The removal, cutting, drilling, etc. of existing work shall be performed with care in order not to jeopardize the structural integrity of the building. If structural members or mechanical, electrical, or architectural features not indicated for removal interferes with the new work, the architect shall be immediately notified and prior approval shall be obtained before removal of members.
- The contractor shall safely shore existing construction wherever existing supports are removed to allow the installation of the new work.
- The contractor shall perform the work with a minimum of inconvenience to the owner and so as not to interrupt the day to day work operations. The constructor shall ensure safe passage of persons around areas of construction and shall conduct all operations with the owner or his agent.
- The contractor shall promptly repair damage caused during operations with similar materials and workmanship.
- All removed items, materials and debris, unless otherwise noted, shall be removed promptly from the site and disposed of in a legal manner.

CONCRETE & REINFORCING STEEL

- All concrete shall be ready-mix in accordance with ASTM C94.
  - All concrete shall be reinforced unless specifically marked "not reinforced".
  - Cement: ASTM C150 Type II.
  - Aggregate: ASTM C33
  - Non-shrink Grout: premixed, non-staining, non-shrink grout.
  - Chlorides: Grout or concrete containing more than 0.1 percent of soluble chloride
  - Mixes to be reviewed by owner's testing lab and submitted to the structural engineer for approval. Do not cast without approval by structural engineer.
- | Concrete      | Strength  | Slump | Agg. Size | Remarks |
|---------------|-----------|-------|-----------|---------|
| Slab-on-grade | 3,000 psi | 4"    | ¾"        |         |
| Foundations   | 3,000 psi | 4"    | ¾"        |         |
| Other         | 3,000 psi | 4"    | ¾"        |         |
- (wet mix)
- See specifications for additional requirements. All concrete shall be hardrock aggregate, regular weight concrete, 145 PCF, U.O.N.
- Inserts: All items to be cast in concrete such as reinforcing dowels, bolts, anchors, pipes, sleeves, etc., shall be securely positioned in the forms before placing the concrete.
  - Pipes: Pipes and electrical conduits shall not be embedded in structural concrete except where specifically approved by the structural engineer.
  - Provide sleeves for plumbing and electrical openings in concrete before placing. Do not cut any reinforcing which may interfere. Coring in concrete is not permitted except as shown. Notify the structural engineer in advance of conditions not shown on the drawings.

- Construction joints: Provide as detailed on drawings. Expose clean coarse aggregate solidly embedded in mortar matrix by sandblasting, bushhammer, or other approved method. Location of construction joints shall be approved by the structural engineer.
- Dry pack or place non-shrink grout under baseplates, sill plates, etc., as required for full bearing.
- Reinforcing steel: ASTM A615 grade 60  
ASTM A706 where welded
- Welded wire fabric: ASTM A185
- All reinforcement shall be continuous. Stagger splices where possible. Laps shall be per typical details, unless otherwise noted.
- Minimum clear concrete cover for reinforcement, U.O.N.:

Cast against earth:	3 inches
Cast in forms and exposed to earth or weather:	
#6 bar and larger	2 inches
#5 bar and smaller	1½ inches
Not exposed to earth or weather:	
Slabs, walls and joists:	1 inch
Beams, girders and columns (to ties):	1½ inches

Clearances are to closest reinforcement.
- Reinforcing steel allowance: the contractor shall provide 2000 pounds of reinforcing steel for the engineer to use at his discretion during construction. The contractor shall reimburse the owner for the unused portion.

CARPENTRY

- Framing Lumber: All lumber shall meet the following minimum standards except where otherwise noted. All lumber shall be graded and stamped in accordance with the West Coast Lumber Inspection Bureau (WCLIB).
  - All new framing lumber shall have 19% maximum moisture content at time of installation.
- | Use                 | Species | Grade                  | Remarks |
|---------------------|---------|------------------------|---------|
| Horizontal Framing: |         |                        |         |
| 2x4 & 2x6           | D.F.    | No. 2                  |         |
| 2x8 & Wider         | D.F.    | No. 1 or better        |         |
| 3x & Wider Beams    | D.F.    | No. 1                  |         |
| Vertical Framing:   |         |                        |         |
| 2x & 3x Studs       | D.F.    | No. 2                  |         |
| 4x Posts            | D.F.    | No. 2                  |         |
| 6x & Larger Posts   | D.F.    | No. 1                  |         |
| Wall Sill Plates    | D.F.    | No. 2                  |         |
| Mud Sills           | D.F.    | No. 2 Pressure treated |         |
| Other u.o.n.        | D.F.    | Std. or better         |         |
- Plywood Sheathing: All plywood shall meet the following minimum standards except where otherwise noted. All plywood shall be graded and stamped in accordance U.S. product standard PS 1-95. All plywood shall be manufactured using exterior glue.

Location	Thickness	Grade	Span Rating	Remarks
Walls:	15/32"	CD Rated,	Struct I	
Floors:	15/32"	Struct I		

Typical Nailing Schedule (Minimum)

- | Connection  | Nailing   |
|---|---|
| 1. Joist or Rafter to sides of studs                    | (3) - 8d  |
| 2. Bridging to joist, toenail each end                  | (2) - 8d  |
| 3. 1"x6" subfloor or less to each joist, face nail      | (2) - 8d  |
| 4. Wider than 1"x6" subfloor to ea joist, face nail     | (3) - 8d  |
| 5. 2" subfloor to joist or girder, blind and face nail  | (2) - 16d   |
| 6. Sole plate to joist or blocking, face nail           | 16d @ 16" o.c   |
| 7. Top plate to stud, end nail                          | (2) - 16d   |
| 8. Stud to sole plate                                   | (4) - 8d toenail or (2) - 16d end nail  |
| 9. Double studs, face nail                              | 16d @ 24" o.c   |
| 10. Doubled top plates, face nail                       | 16d @ 16" o.c   |
| 11. Top plates, laps and intersections, face nail       | (2) - 16d   |
| 12. Continuous header, two pieces along ea. edge        | 16d @ 16" o.c   |
| 13. Ceiling joists to plate, toenail                    | (3) - 8d  |
| 14. Continuous header to stud, toenail                  | (4) - 8d  |
| 15. Ceiling joists, laps over partitions, face nail     | (3) - 16d   |
| 16. Ceiling joists to parallel rafters, face nail       | (3) - 16d   |
| 17. Rafter to plate, toenail, ea. side                  | (2) - 10d   |
| 18. 1" brace to each stud and plate, face nail          | (2) - 8d  |
| 19. 1"x8" sheathing or less to ea bearing, face nail    | (2) - 8d  |
| 20. Wider than 1"x8" sheathing to ea bearing, face nail | (3) - 8d  |
| 21. Built-up corner studs                               | 16d @ 24" o.c   |
| 22. Built-up girders and beams                          | 20d @ 32" o.c. at top and bott staggered (2) - 20d at ends and at each splice |

- Nails: Nails called out in schedule shall be common wire nails all other nails called for on the drawings shall be common wire nails unless otherwise noted. All diaphragm and shear wall nailing shall utilize common nails or galvanized box.
- See plywood nailing schedules for nailing of plywood sheathing. Where nailing is not noted, use 10d @ 6" o.c. at panel edges and 10d @ 12" o.c. at intermediate bearings.
- Predrill nail holes to 70% of nail shank diameter where nails tend to split the wood.
- Bolts: Bolts in wood framing shall be standard machine bolts unless otherwise noted. All bolt holes shall be drilled ½" to ⅝" oversized. Bolt heads and nuts shall bear on standard malleable iron (M.I.) washers or steel hardware. Carriage bolts require M.I. Washers under the nuts only. Bolts in contact with pressure treated members shall be stainless steel A316 or hot-dip galvanized (G185 per ASTM A653 or ASTM A153).

All nuts shall be retightened at completion of job or just prior to closing in with finished construction.

- Holdowns: Holdown connector bolts into wood framing require approved plate washers; and holdowns shall be finger tight and ½ wrench turn just prior to covering the wall framing. Holdown hardware must be secured in place prior to foundation inspection.
- Lag Screws: Lead holes shall be prebored as follows. The lead hole for the shank shall have the same diameter as the shank and the same depth as the length of unthreaded shank. The lead hole hole for the threaded portion shall have a diameter equal 70 percent of the shank diameter, and a length equal to at least the length of the threaded portion. Lag screws shall be screwed into place, not drive into place. Provide washers per note "7".

CARPENTRY CONT.

- Wood Screws: Lead holes shall be prebored and shall have a diameter of 70% of the root diameter of the screw. Screws shall be screwed into place, not driven into place.
- Metal Connectors: Metal connectors are referred to on the drawings by particular type as manufactured by "Simpson Company, Inc." of Hayward, California. Products of other manufacturers with equivalent load carrying capacities may be used provided that the products have current I.C.B.O. approval. Contractor shall submit product catalog and a table indicating both the designated product and the substituted product along with their respective capacities for approval by the architect. Install all fasteners called for by the product manufacturer unless otherwise noted on the drawings. Use manufacturer supplied nails where thickness of timber precludes the use of common nails.
- Blocking and Bridging: Solid blocking shall not be less than 2 inches in thickness and the full depth of the joist or stud. Joists shall be supported laterally at the ends and at each support by solid blocking except where the ends of joists are nailed to a header, band or rim joist or to an adjoining stud or when supported in a hanger. Floor joists shall be bridged every 8 feet and roof joists every 10 feet by solid blocking 2 inches thick and the full depth of the joist, or by wood cross bridging of not less than 1 inch by 3 inches or metal cross bridging of equal strength. Where cross bridging is used, the lower ends of such cross bridging shall be driven up and nailed after the floor, subfloor or roof has been nailed.
- Framing for Openings: Provide double trimmer and header joists at all openings that cut joists. Provide joist hangers where joists frame into header and headers frame into trimmers.
- Double joists under all partitions parallel to the joists.
- All wood members in contact with concrete or masonry shall be pressure treated.

ADHESIVE ANCHORS

- Use Simpson SET-XP Adhesive Anchoring System, by Simpson Strong-Tie (ICC-ES ESR-2330).
- Installation of anchors shall conform to all requirements of ICC Report, manufacturer's recommendations and these notes.
- Pre-drill hole, remove dust and debris using a wire brush and oil-free compressed air.
- A clean mixing nozzle shall be attached to the cartridge, and the first three trigger pulls from each refill pack shall be discarded.
- The holes shall be filled one-half to two-thirds full with the epoxy adhesive, starting at the bottom to avoid entrapment of air.
- Anchors must be clean and oil free. Insert threaded rod turning slightly while pushing the anchor to the bottom of the hole. Do not disturb during cure time.

City and County of San Francisco  
Department of Building Inspection



London N. Breed, Mayor  
Tom C. Hui, S.E., C.B.O., Director

Attachment A

SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST

A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

JOB ADDRESS 2634 OCTAVIA STREET APPLICATION NO. \_\_\_\_\_ ADDENDUM NO. \_\_\_\_\_  
OWNER NAME PAUL GUERMONPREZ OWNER PHONE NO. (415) 758-3366

1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION	
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000.	YES	NO	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
2: AVERAGE SLOPE OF PROPERTY			
PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE  (APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)	YES	NO	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES

Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

Prepared by: ENGIN YAGMUR Engineer/Architect of Record

(415) 205-3804 Telephone ecrengineering@gmail.com Email

Signature \_\_\_\_\_ Date \_\_\_\_\_



Technical Services Division  
1660 Mission Street- San Francisco CA 94103  
Office (415) 558-6205 - FAX (415) 558-6401 - www.sfdbi.org

INFORMATION SHEET S-19

ATTACHMENT A

FOR DBI USE ONLY

ASSIGNMENT OF REVIEW TIER

EXEMPTED: Reports per Section E and Third Party Peer Review Not Required

- ☐ If the box in Section 1 "Property Location" **AND** the box in Section 2 "Average Slope of Property" are marked "No" **OR** if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

TIER I: Reports per Section E Required but Third Party Peer Review Not Required

- ☐ If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

TIER II: Reports per Section E and Third Party Peer Review Required

- ☐ If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property lies within the areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

TIER III: Structural Advisory Committee (SAC) Review

- ☐ If the box in Section 1 "Property Location" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBC Section 105A.6.

Tier assigned by: \_\_\_\_\_ Phone: (415)  
DBI Plan Review Engineer

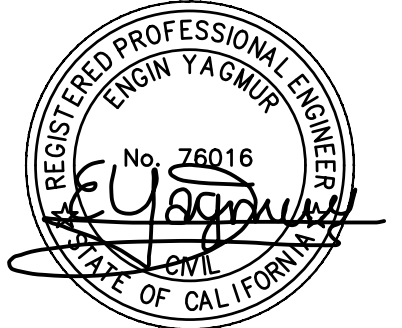
Comment: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



GENERAL PLANS

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY



SHEET NO.

S0.1

SCALE: NONE  
DRAWN BY: RV  
DATE: 7/27/2020

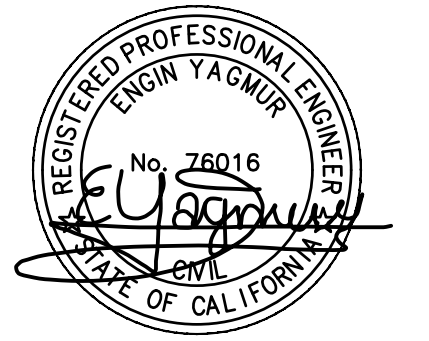




PARTIAL  
1ST/  
FOUNDATION PLAN  
&  
PARTIAL 2ND FLOOR  
FRAMING PLAN  
&  
3RD FLOOR FRAMING  
FLOOR PLAN

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY



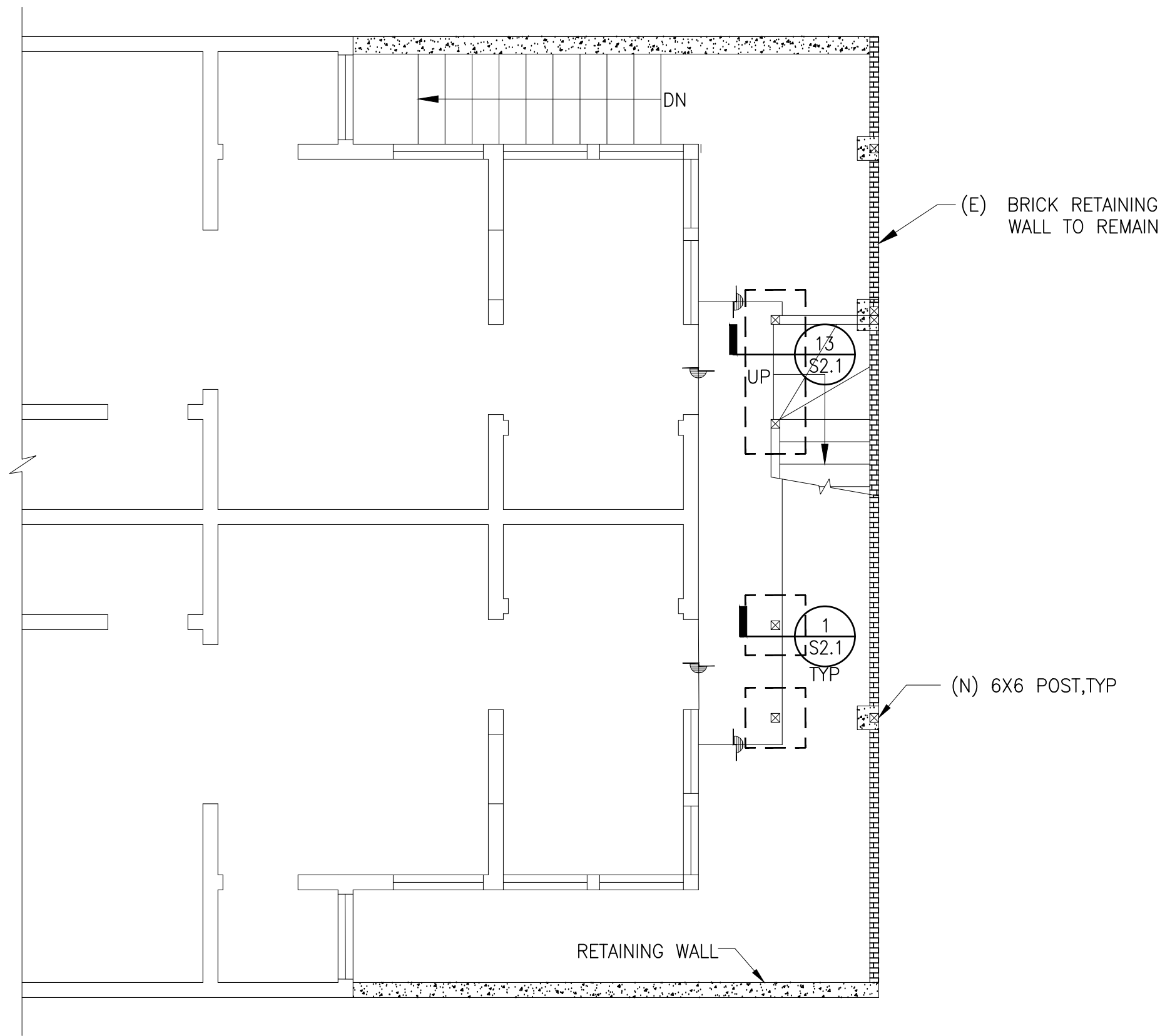
SHEET NO.

S1.1

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DRAWN BY:	RV
DATE:	7/27/2020

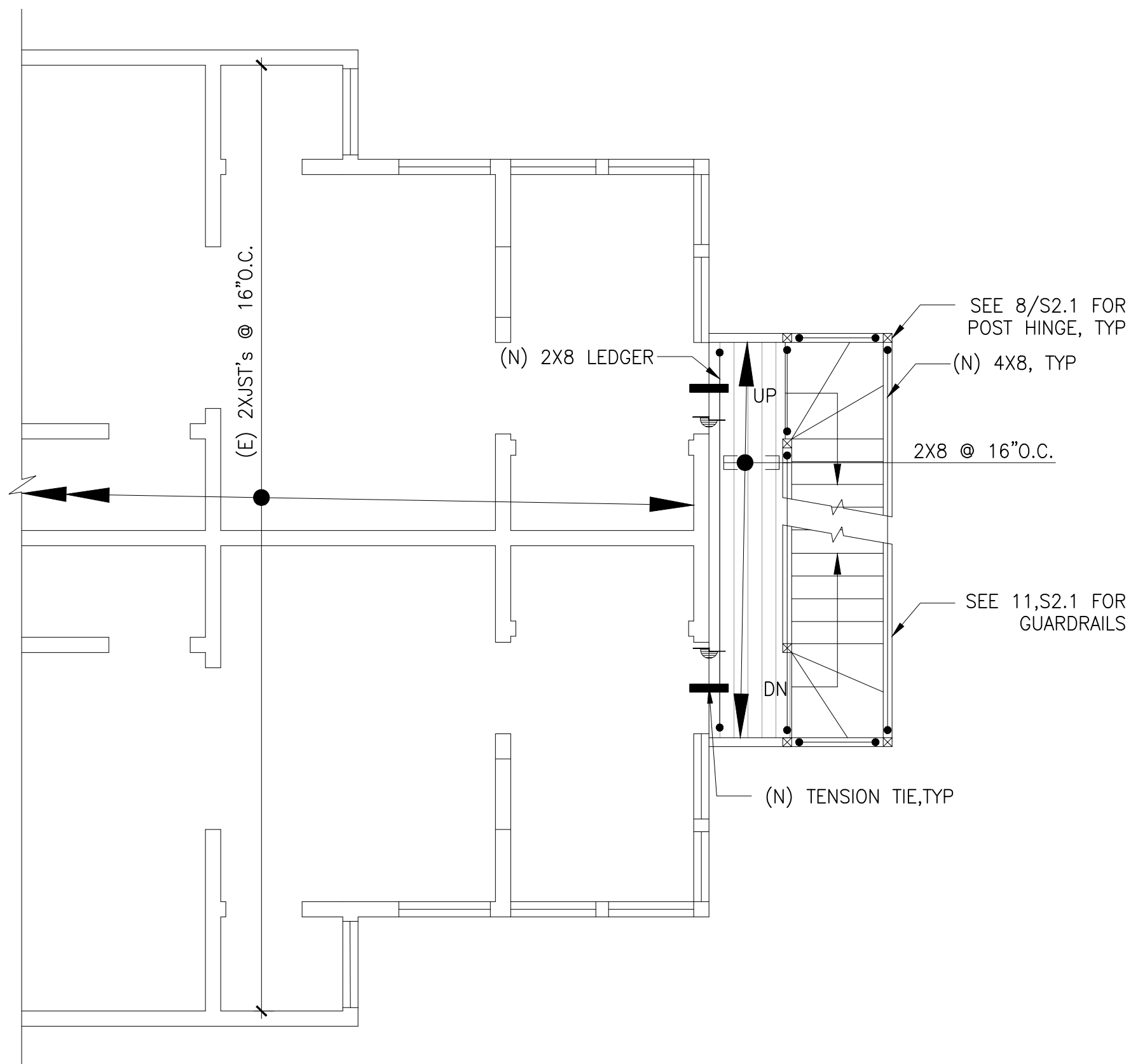
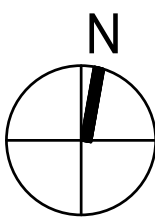
PLAN NOTES

- REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION, MATERIALS, SHOP DRAWINGS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION, AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES.
- CONTRACTOR SHALL USE GALVANIZED NAILS AND SCREW. ALL WOOD MEMBERS TO BE PRESSURE TREATED.
- CONTRACTOR SHALL CONFIRM THE DIMENSION AT FIELD, AND SHALL NOTIFY THE ENGINEER IF IT CHANGES DUE TO STAIRS TREAD AND RISER HEIGHTS.
- FOR TYPICAL POST HINGE CONNECTION, SEE 8/S2.1.
- FOR TYPICAL GUARDRAIL DETAILS, SEE 15/S2.1 AND 16/S2.1.
- ALL (N) BEAMS AND POSTS SHALL BE DOUGLAS FIR NO. 1, UNLESS OTHERWISE NOTED.



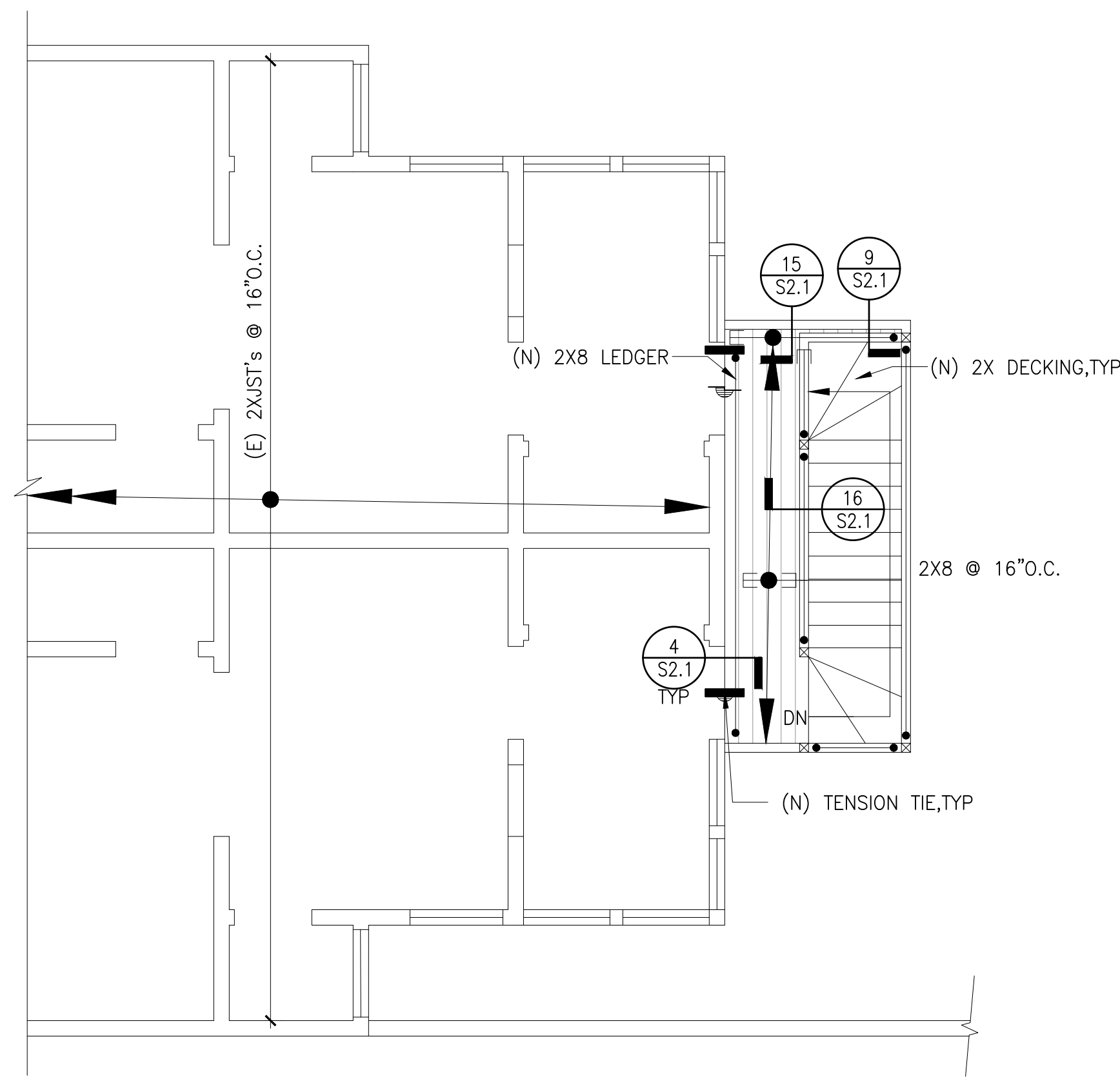
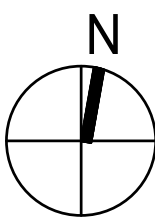
1ST FLOOR FOUNDATION PLAN

SCALE: 1/4"=1'-0"



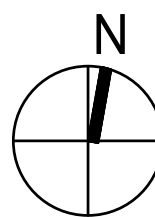
2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

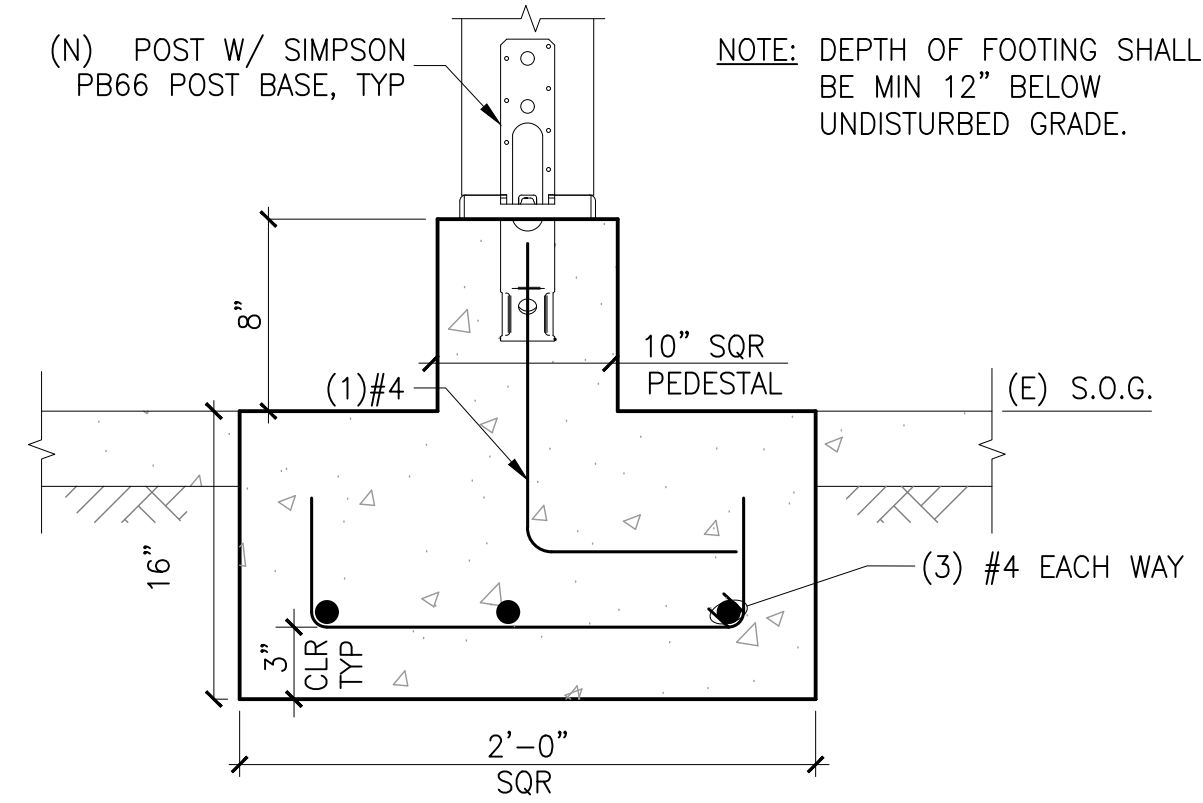


3RD FLOOR FRAMING PLAN

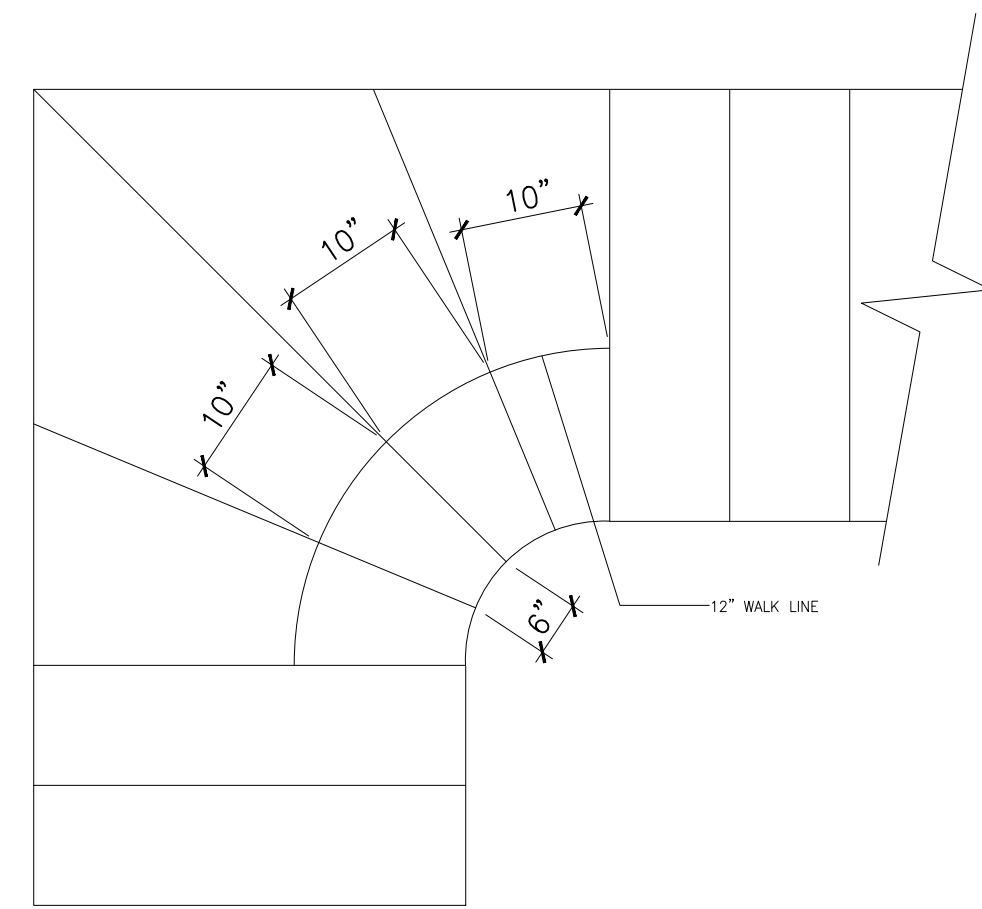
SCALE: 1/4"=1'-0"



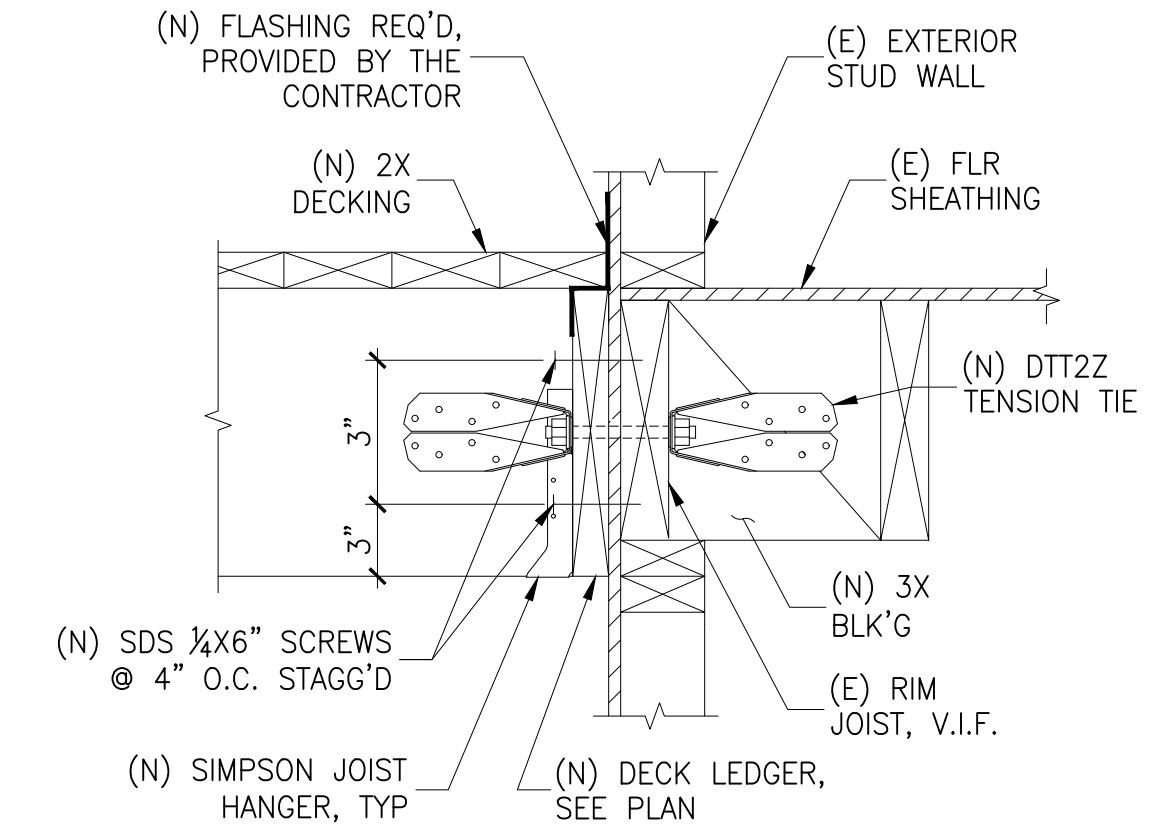
REVISIONS	BY



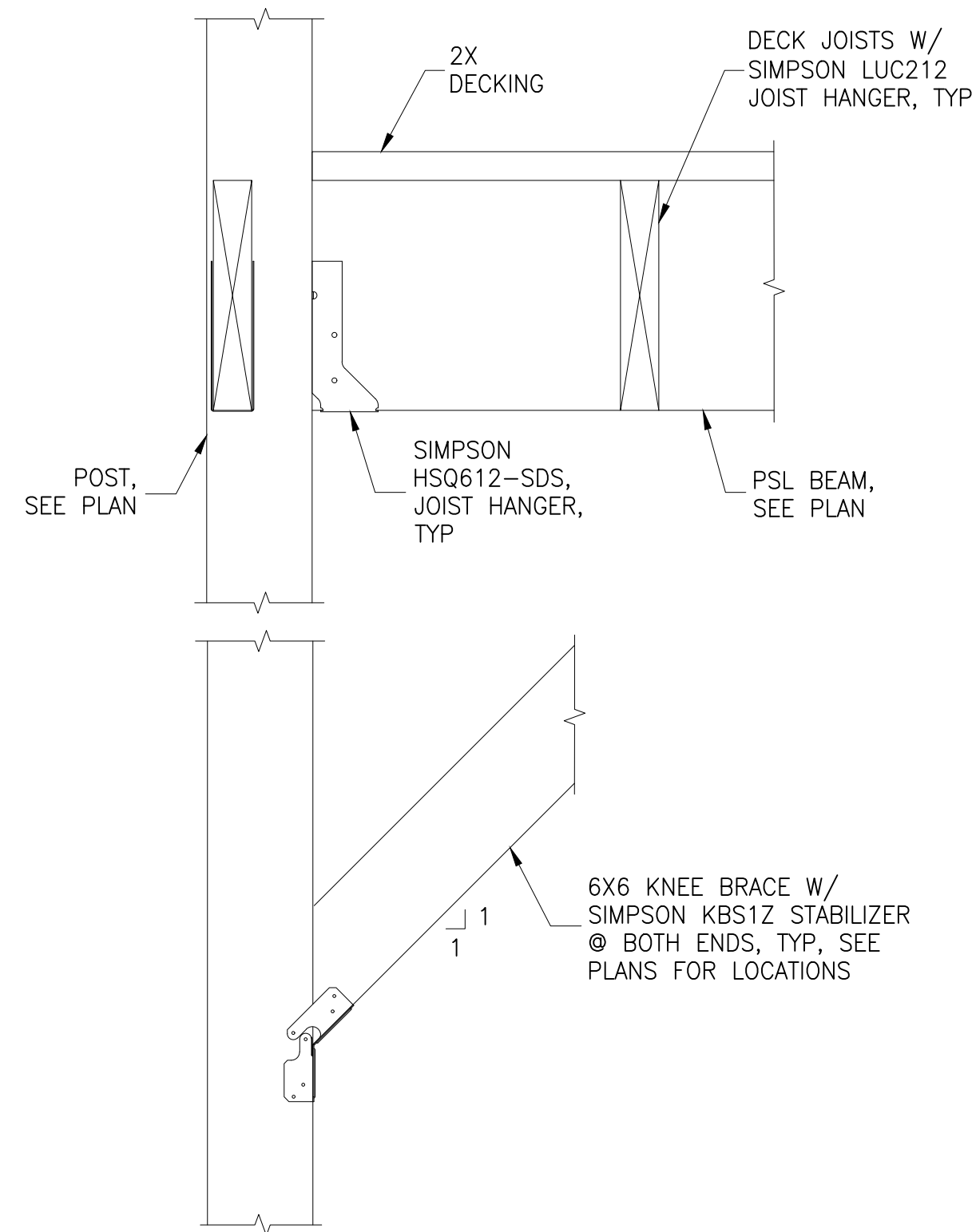
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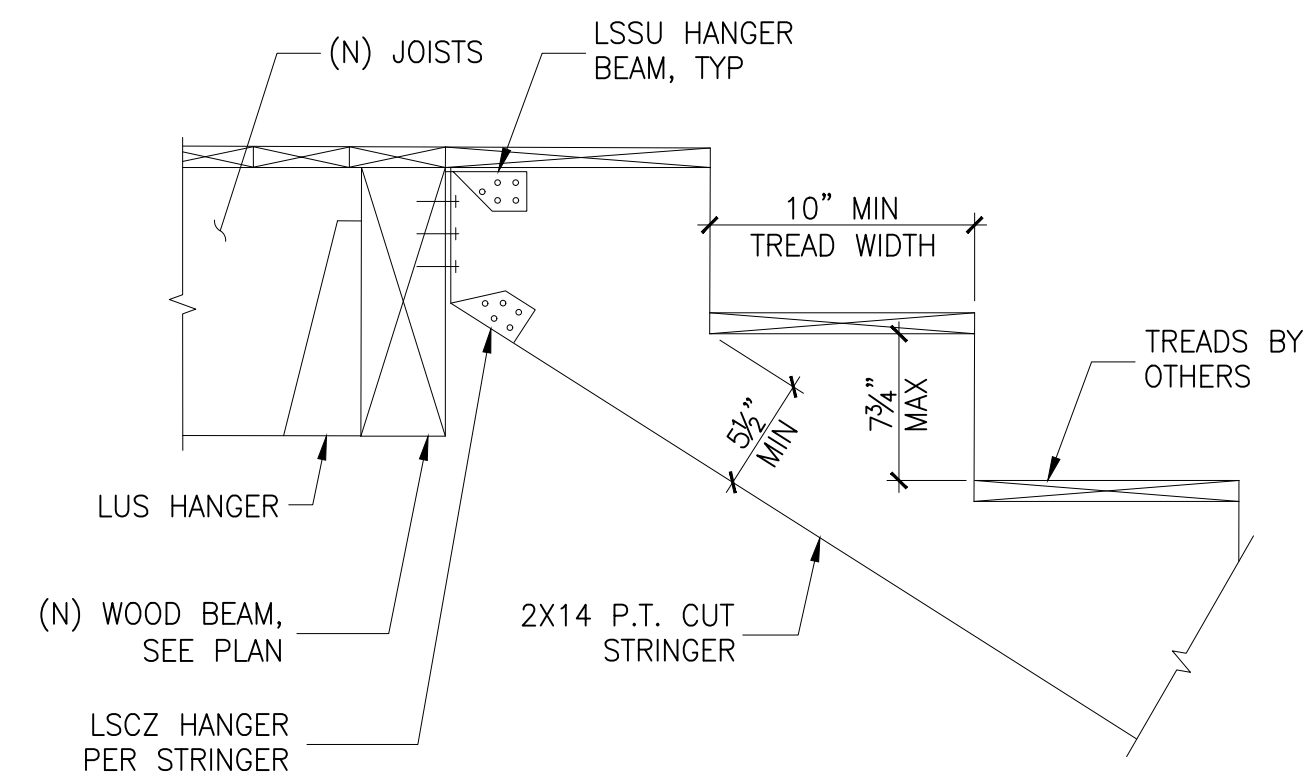
2 STAIR WINDERS DETAIL  
N.T.S.



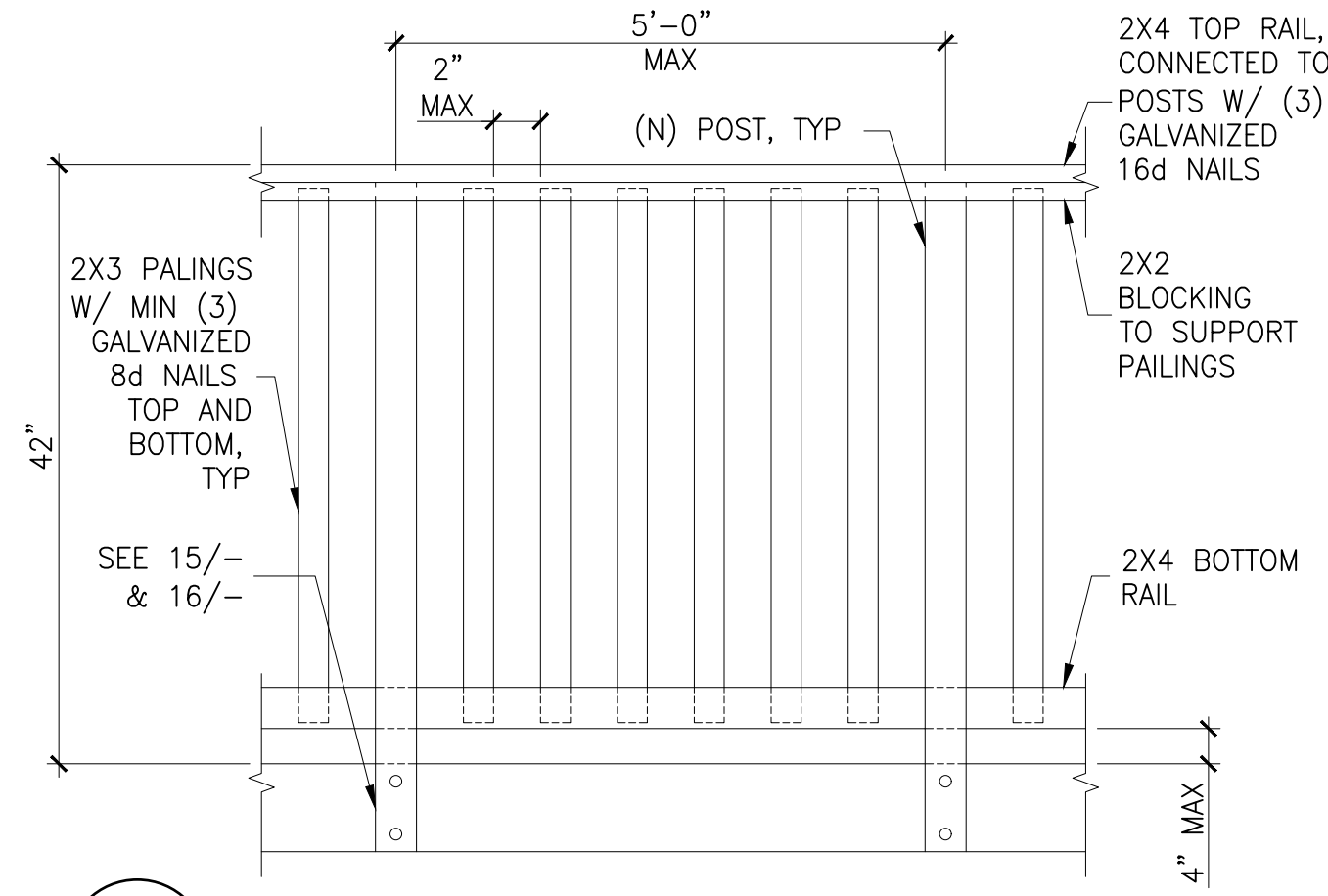
4 DECK LEDGER CONNECTION  
N.T.S.



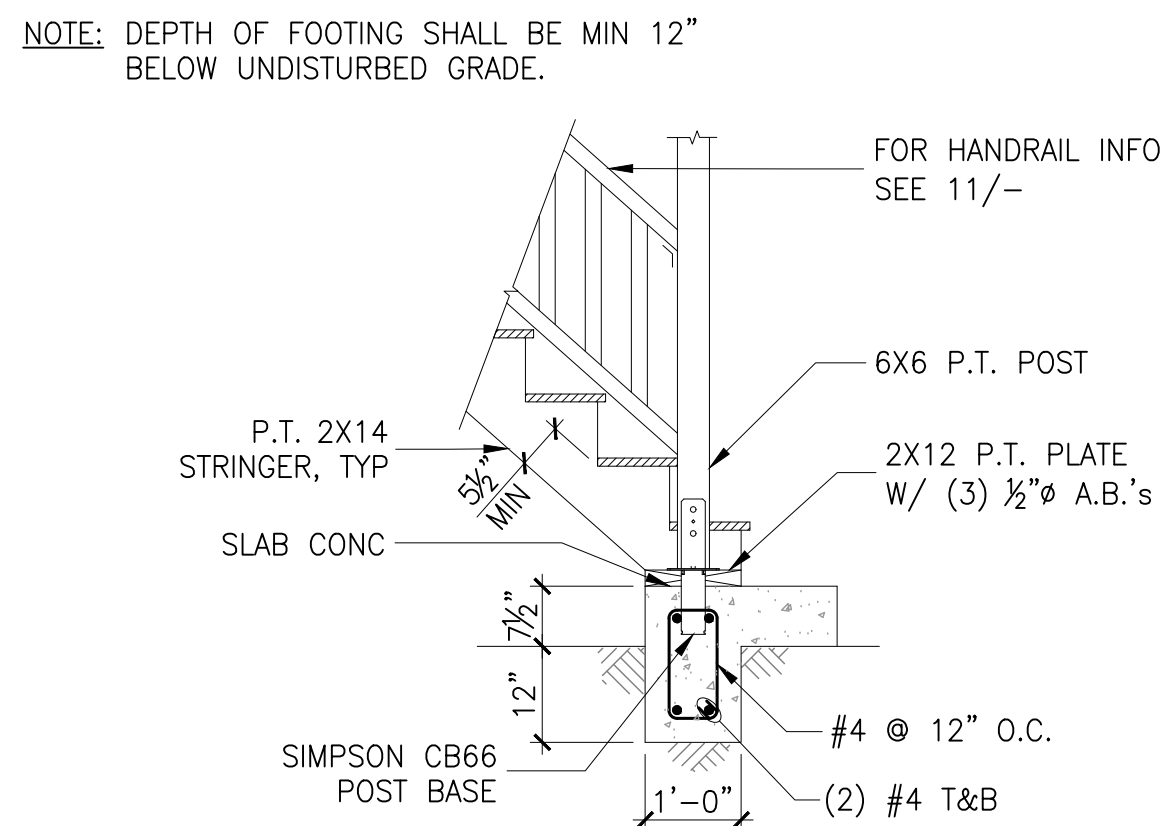
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SCALE: N.T.S.



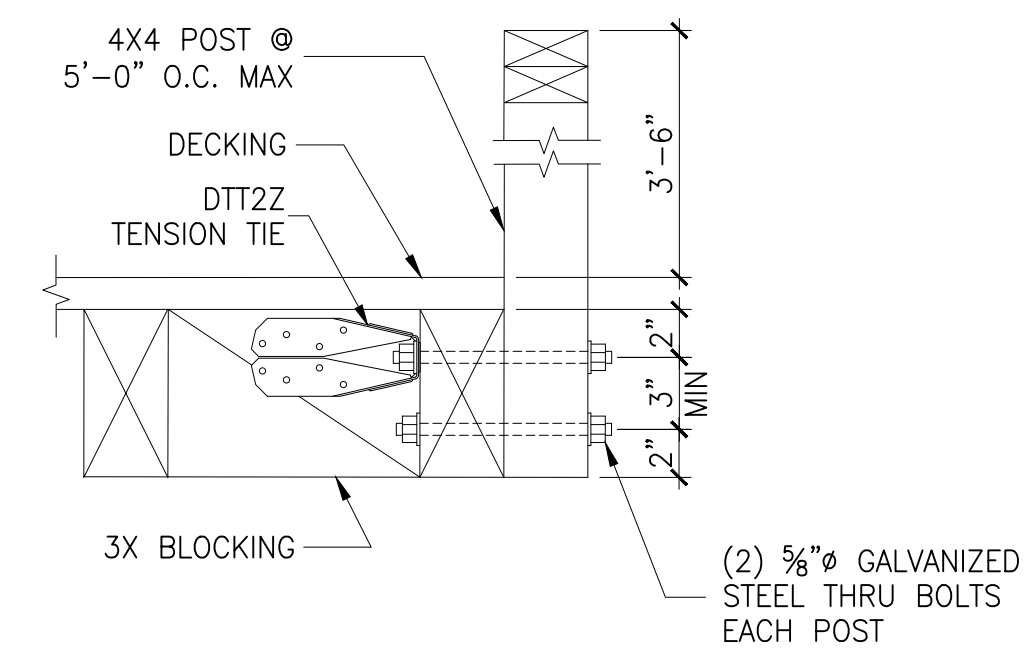
10 TYPICAL WOOD STAIRS  
SCALE: N.T.S.



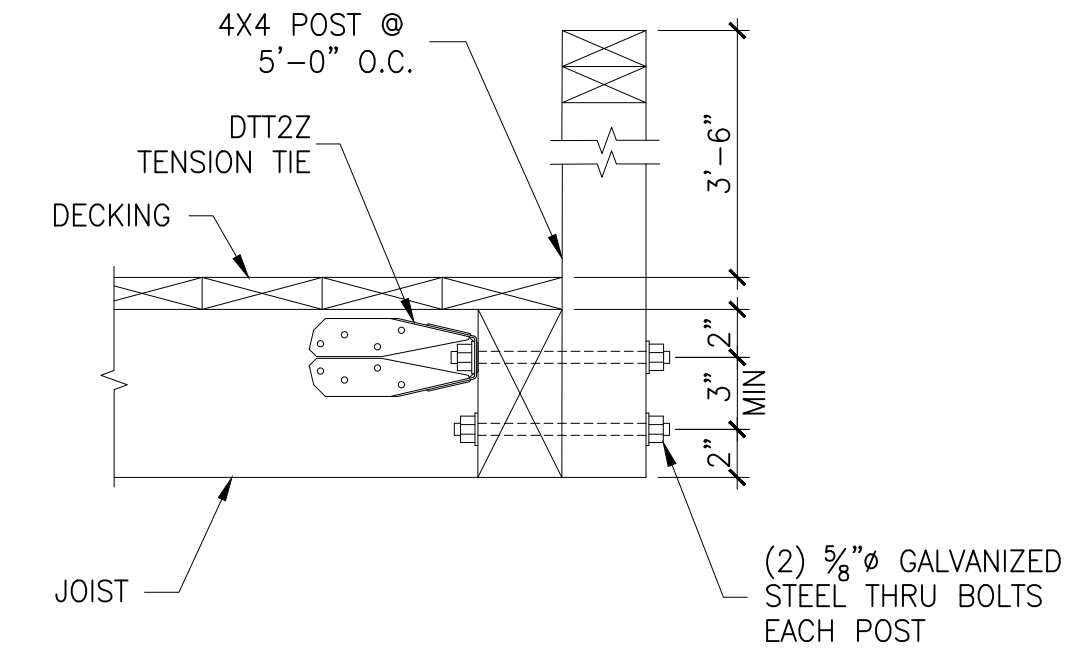
11 TYPICAL GUARDRAIL DETAIL  
N.T.S.



13 (N) EXTERIOR LANDING  
SCALE: N.T.S.



15 RAILING DETAIL TO WOOD JOIST  
N.T.S.



16 RAILING DETAIL TO WOOD JOIST  
N.T.S.



Revised Plan Set dated 8/17/2020 (submitted by the  
permit holder on 2/16/2021)



# FIRE EGRESS STAIRS REPLACEMENT IN KIND

## 2634 OCTAVIA STREET

### SAN FRANCISCO, CALIFORNIA 94123

### PARCEL NO.: 0553/047-053 (7 LOTS)



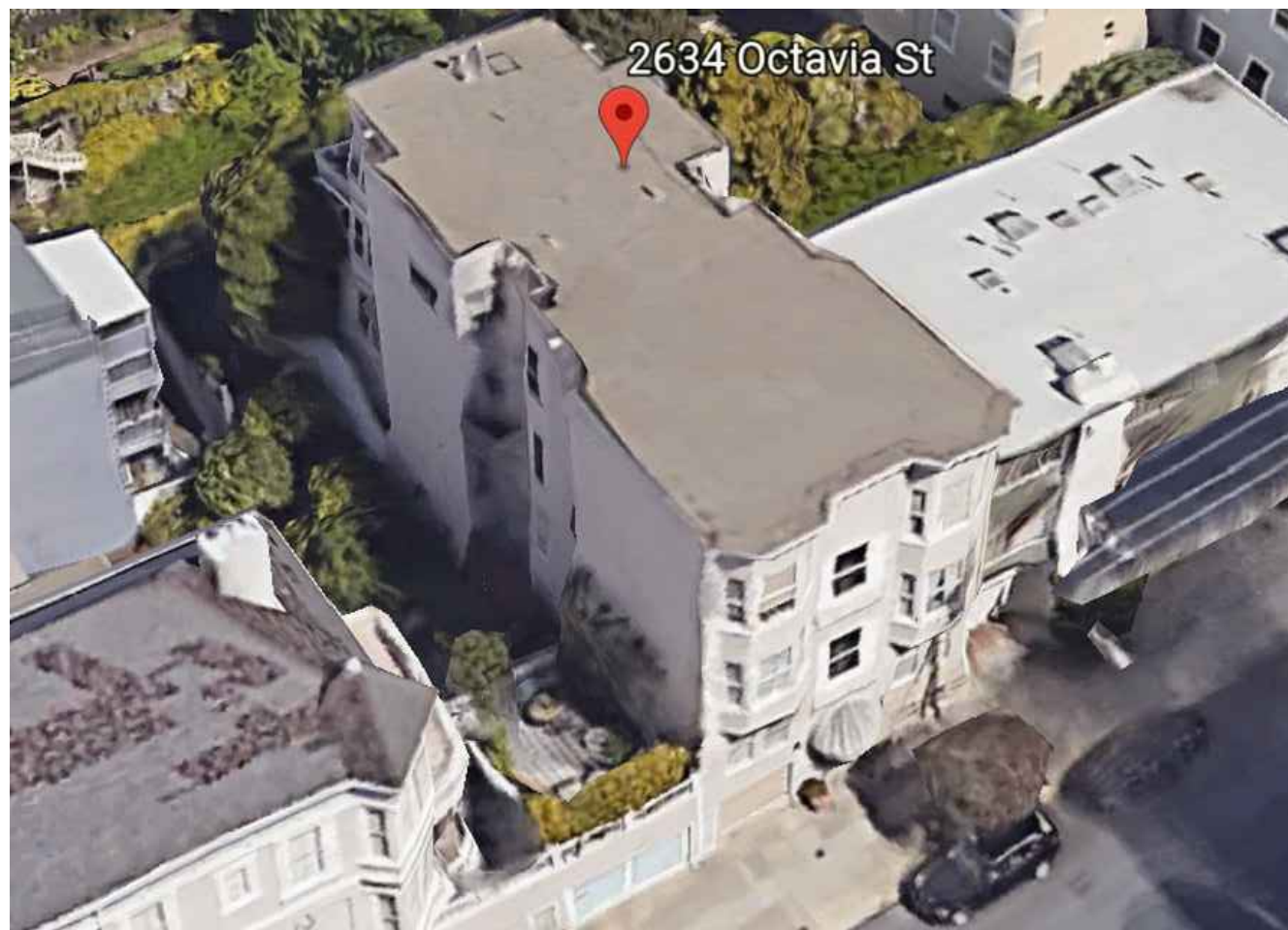
COVER SHEET  
&  
PROJECT  
INFORMATION

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

SITE LOCATION MAP



SITE AERIAL IMAGE



#### PROJECT TEAM

##### CLIENT:

OWNER: PAUL GUERMONPREZ  
REPRESENTATIVE OF 2634 OCTAVIA STREET HOA  
2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123  
T: (415) 758-3366

##### ENGINEERING FIRM:

ECR ENGINEERING  
1842 JEFFERSON STREET, #104  
SAN FRANCISCO, CA 94123  
T: (415) 205-3804  
ecrengineering@gmail.com

##### GENERAL CONTRACTOR:

T.B.D.

#### CODE COMPLIANCE AND PROJECT INFORMATION

THE PROJECT IS LOCATED IN THE CITY OF SAN FRANCISCO, CALIFORNIA. THE DESIGN WILL BE IN ACCORDANCE WITH THE FOLLOWING BUILDINGS CODES AND DESIGN STANDARDS:

- 2019 SAN FRANCISCO FIRE CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA EXISTING BUILDING CODE
- 2019 SAN FRANCISCO EXISTING BUILDING CODE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), 15TH EDITION
- AMERICAN CONCRETE INSTITUTE, ACI 318-19
- 2018 AMERICAN WOOD COUNCIL NATIONAL DESIGN SPECIFICATION (NDS)
- 2018 AMERICAN WOOD COUNCIL SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC (SDPWS)

THE BUILDING PROPERTIES ARE:

LOT SIZE: 2,600 SF  
BUILDING AREA: UNKNOWN  
ORIGINAL CONST DATE: 1904  
ORIGINAL BUILDING CODE: PRE-CODE ERA  
PROPERTY CLASS: MULTI-FAMILY  
ZONING: RH-2  
TYPE OF CONSTRUCTION: V-B  
# OF UNITS: 7  
# OF STORIES: 3 + BASEMENT  
OCCUPANCY: R-2  
SPRINKLERS: NON-SPRINKLERED

#### PROJECT SCOPE

THE PROPOSED SCOPE OF WORK IS LIMITED TO REPLACING FIRE EGRESS STAIRS IN KIND, DUE TO SIGNIFICANT DRY-ROT DAMAGE, AND DEMO EXISTING 3RD FLOOR DECK, LOCATED AT THE BACK OF THE SUBJECT BUILDING.

THE PROPOSED SCOPE OF WORK INCLUDES:

- (N) POSTS.
- (N) JOISTS, STRINGERS, AND BEAMS FOR STAIRS FRAMING.
- (N) GUARDRAILS & HANDRAILS.
- (N) ISOLATED PAD FOOTINGS.
- NO FIREWALL CONSTRUCTION.
- DEMO THE (E) 3RD FLOOR DECK.

#### DRAWING INDEX

- A0.1 COVER SHEET & PROJECT INFO
- A1.1 SITE PLAN
- A1.2 BASEMENT PLAN & 1ST FLOOR PLAN
- A1.3 2ND FLOOR PLAN & 3RD FLOOR PLAN
- A2.1 EXISTING ELEVATIONS
- A2.2 PROPOSED ELEVATIONS
- A3.1 PHOTOS OF EXISTING DECK & EGRESS STAIRS
- S0.1 GENERAL NOTES
- S1.1 1ST FLOOR/FOUNDATION PLAN & 2ND FLOOR FRAMING PLAN & 3RD FLOOR FRAMING PLAN
- S2.1 STRUCTURAL DETAILS

City and County of San Francisco  
Department of Building Inspection



London N. Breed, Mayor  
Patrick O'Riordan, Interim Director

### NOTICE

#### SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required *in addition to* the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or **628-652-3407**. If there are any field problems regarding special inspection, please call your District Building Inspector or 628-652-3400 Ext 1.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

#### STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.6. **The building permit will not be finalized without compliance with the structural observation requirements.**

#### Special Inspection Services Contact Information

1. Telephone: (628) 652-3407
2. Email: [dbi.specialinspections@sfgov.org](mailto:dbi.specialinspections@sfgov.org)
3. In person: 49 South Van Ness Ave - Suite 400

**Note:** We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services  
49 South Van Ness Ave - Suite 400 - San Francisco CA 94103  
Office (628) 652-3407 - [www.sfdbi.org](http://www.sfdbi.org)

Updated 10/05/2020

#### SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS 3634 Octavia Street APPLICATION NO. ADDENDUM NO.

OWNER NAME Paul Guernonprez OWNER PHONE NO. ( 415 ) 758 - 3366

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.6. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and high-rise projects, and for projects utilizing new processes or materials.

In accordance with Chapter 17 (SFBC), Special Inspection and/or testing is required for the following work:

- |  |   |   |
|--|---|---|
| 1. [x] Concrete (Placement <del>and sampling</del> )                 | 6. [ ] High-strength bolting                      | 18. Bolts Installed in existing concrete or masonry:                                |
| 2. [x] Bolts installed in concrete                                   | 7. [ ] Structural masonry                         | [ ] Concrete [ ] Masonry  |
| 3. [ ] Special moment - Resisting concrete frame                     | 8. [ ] Reinforced gypsum concrete                 | [ ] Pull/torque tests per SFBC Sec. 507C & 515C                                     |
| 4. [x] Reinforcing steel <del>and preconstruction conference</del>   | 9. [ ] Insulating concrete fill                   | 19. [ ] Shear walls and floor systems used as shear diagrams                        |
| 5. Structural welding:   | 10. [ ] Spray-on fireproofing                     | 20. [ ] Holdowns  |
| A. Periodic visual inspection  | 11. [ ] Piling, drilled piers and caissons        | 21. Special cases:  |
| [ ] Single pass fillet welds 5/16" or smaller                        | 12. [ ] Shotcrete                                 | [ ] Shoring   |
| [ ] Steel deck   | 13. [ ] Special grading, excavation and filling   | [ ] Underpinning [ ] Not affecting adjacent property                                |
| [ ] Welded studs   | (Geo. Engineered)                                 | [ ] Affecting adjacent property: PA   |
| [ ] Cold formed studs and joists                                     | 14. [ ] Smoke-control system                      | [ ] Others  |
| [ ] Stair and railing systems  | 15. [ ] Demolition                                | 22. [ ] Crane safety (Apply to the operation of tower cranes on high-rise building) |
| [ ] Reinforcing steel  | 16. [ ] Exterior Facing                           | (Section 1705.22)   |
| B. Continuous visual inspection and NDT (Section 1704)               | 17. Retrofit of unreinforced masonry buildings:   | 23. [ ] Others: "As recommended by professional of record"                          |
| [ ] All other welding  | [ ] Testing of mortar quality and shear tests     |   |
| [ ] Installation inspection of new shear bolts                       | [ ] Inspection of repointing operations           |   |
| [ ] Reinforcing steel; and [ ] NDT required                          | [ ] Pre-installation inspection for embedded      |   |
| [ ] Moment-resisting frames  | [ ] Pull/torque tests per SFBC Sec. 1607C & 1615C |   |
| [ ] Others   |   |   |
| 24. Structural observation per Sec. 1704.6 (SFBC) for the following: | [ ] Foundations                                   | [ ] Steel framing   |
| [ ] Concrete construction  | [ ] Masonry construction                          | [ ] Wood framing  |
| [ ] Other:   |   |   |
| 25. Certification is required for: [ ] Glu-lam components            |   |   |
| 26. [ ] Firestops in high-rise building                              |   |   |

Prepared by: Engin Yagmur Phone: ( 415 ) 205 - 3804

Engineer/Architect of Record

Required information:

FAX: ( ) Email: [ecrengineering@gmail.com](mailto:ecrengineering@gmail.com)

Review by: DBI Engineer or Plan Checker Phone: (628) 652-

APPROVAL (Based on submitted reports.)

DATE DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO:  
Special Inspection Services (628) 652-3407; or, [dbi.specialinspections@sfgov.org](mailto:dbi.specialinspections@sfgov.org)

Updated 10/05/2020

REVISIONS BY




SHEET NO.

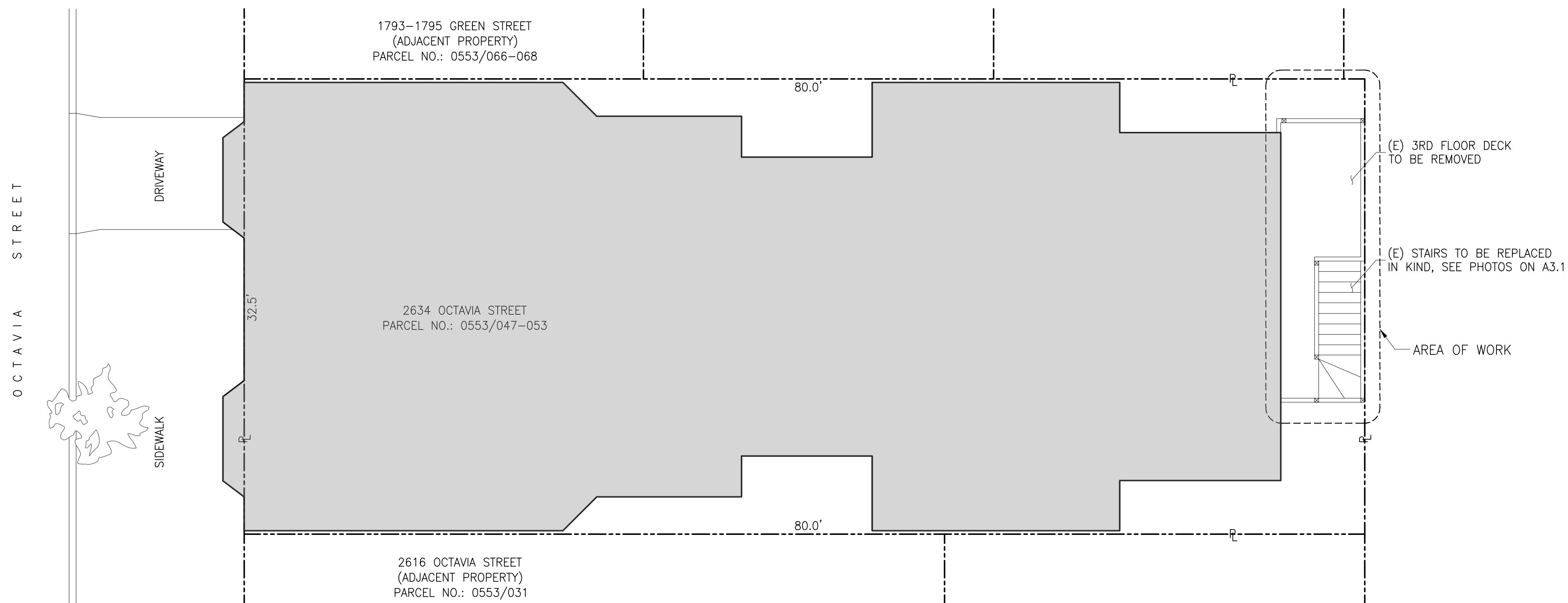
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DRAWN BY: MV/RV

DATE: 8/17/2020

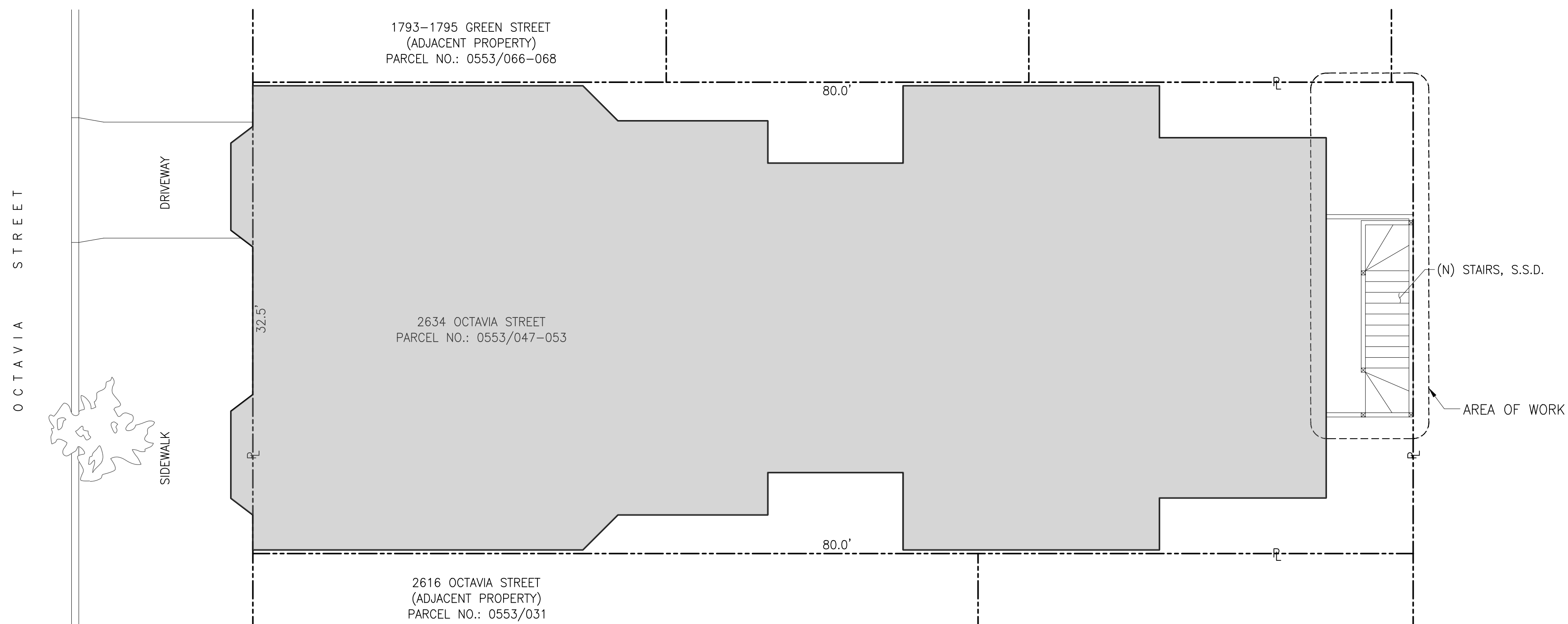




EXISTING SITE PLAN

SCALE: 3/16"=1'-0"

N



PROPOSED SITE PLAN

SCALE: 3/16"=1'-0"

N



EXISTING  
&  
PROPOSED  
SITE PLANS

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY



SHEET NO.

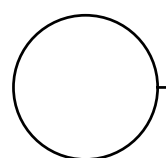
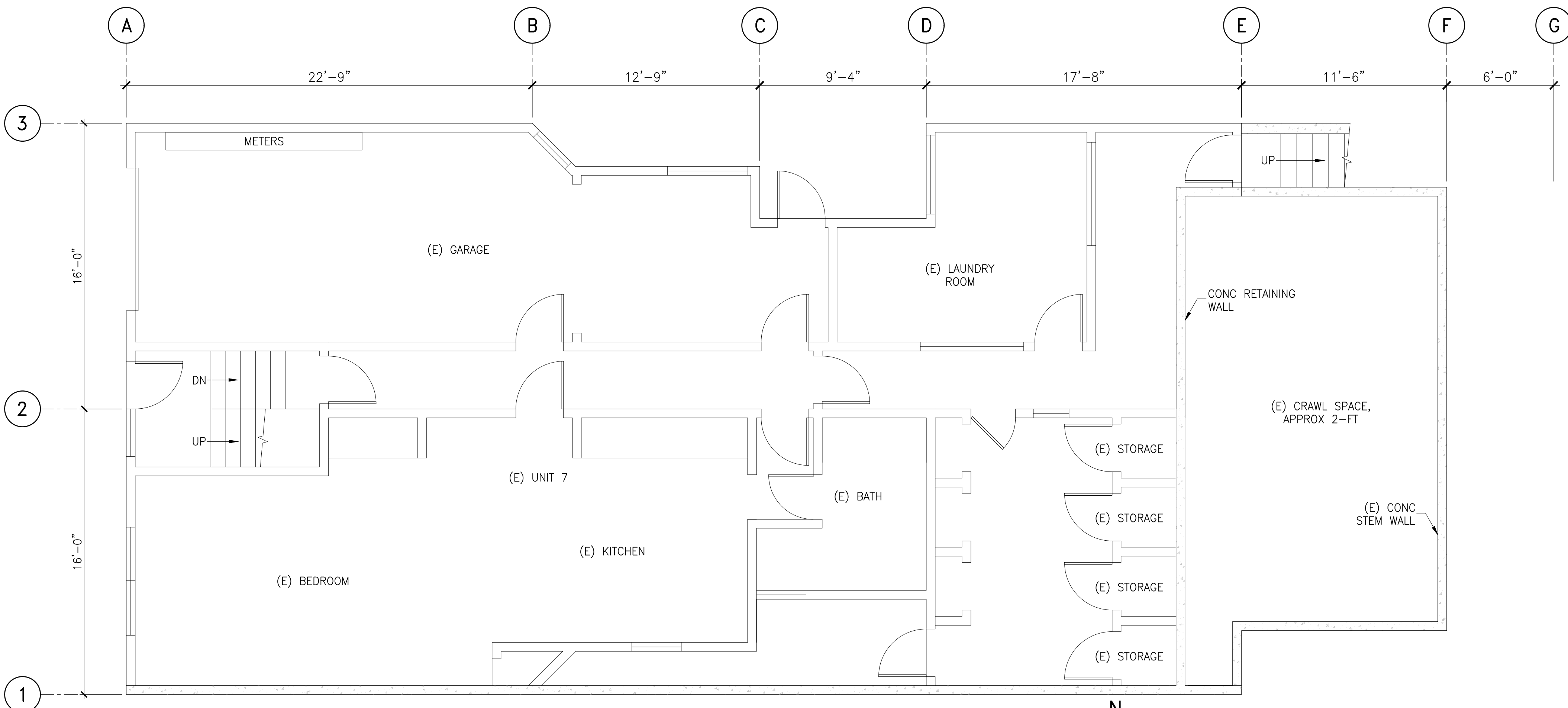
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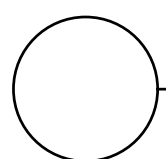
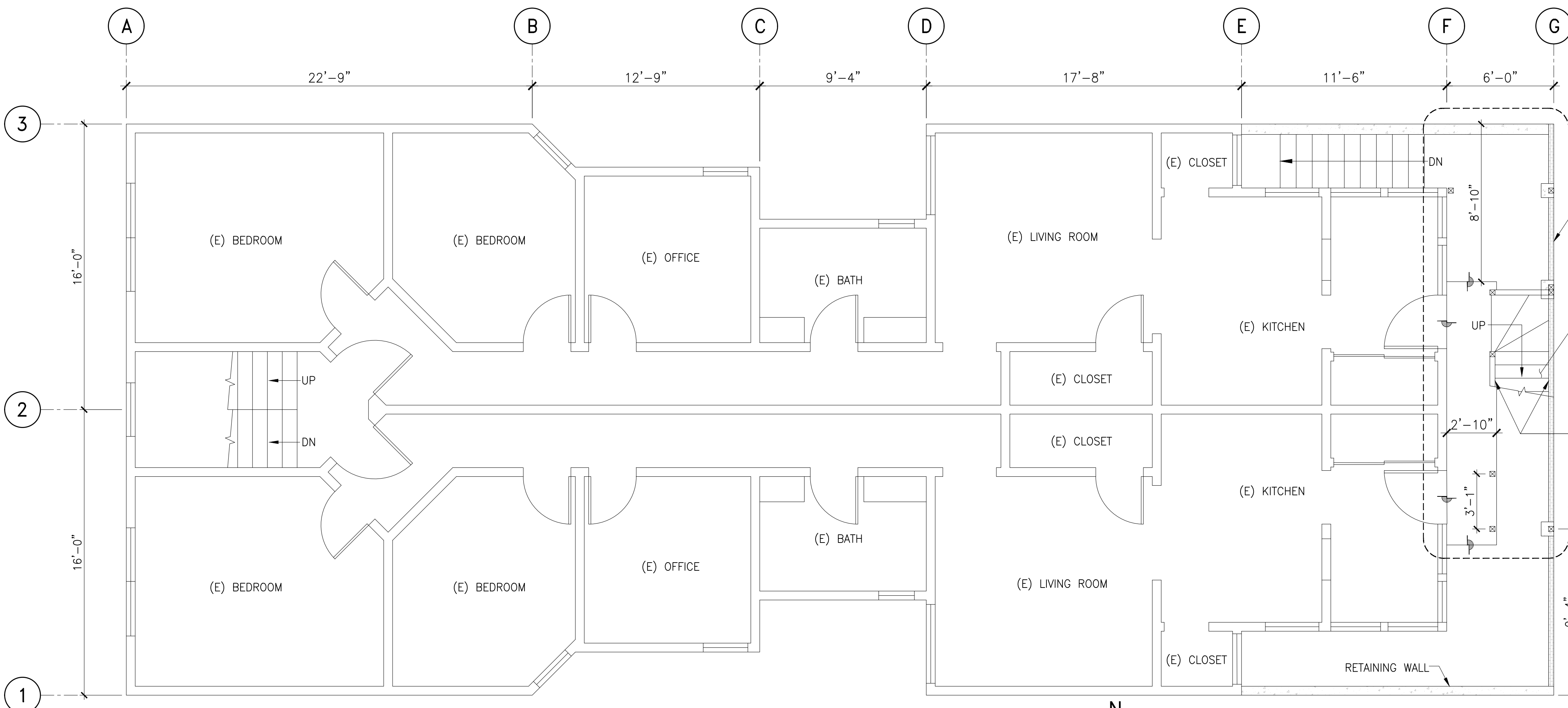
DATE: 8/17/2020





BASEMENT PLAN

SCALE: 1/4"=1'-0"



1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

PLAN NOTES

1. ALL ROOMS SHOW EXISTING CONDITIONS, FOR REFERENCE ONLY.



BASEMENT  
PLAN  
&  
1ST FLOOR  
PLAN

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY



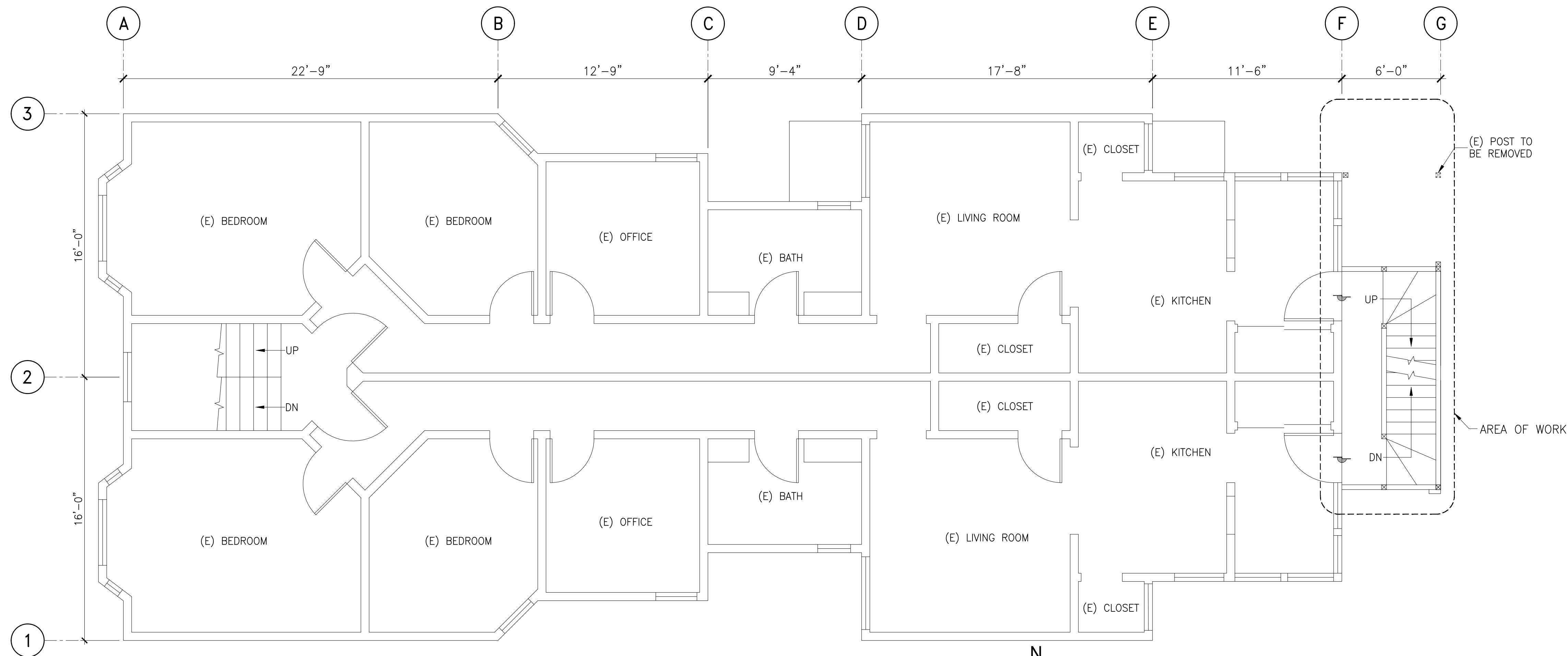
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A1.2

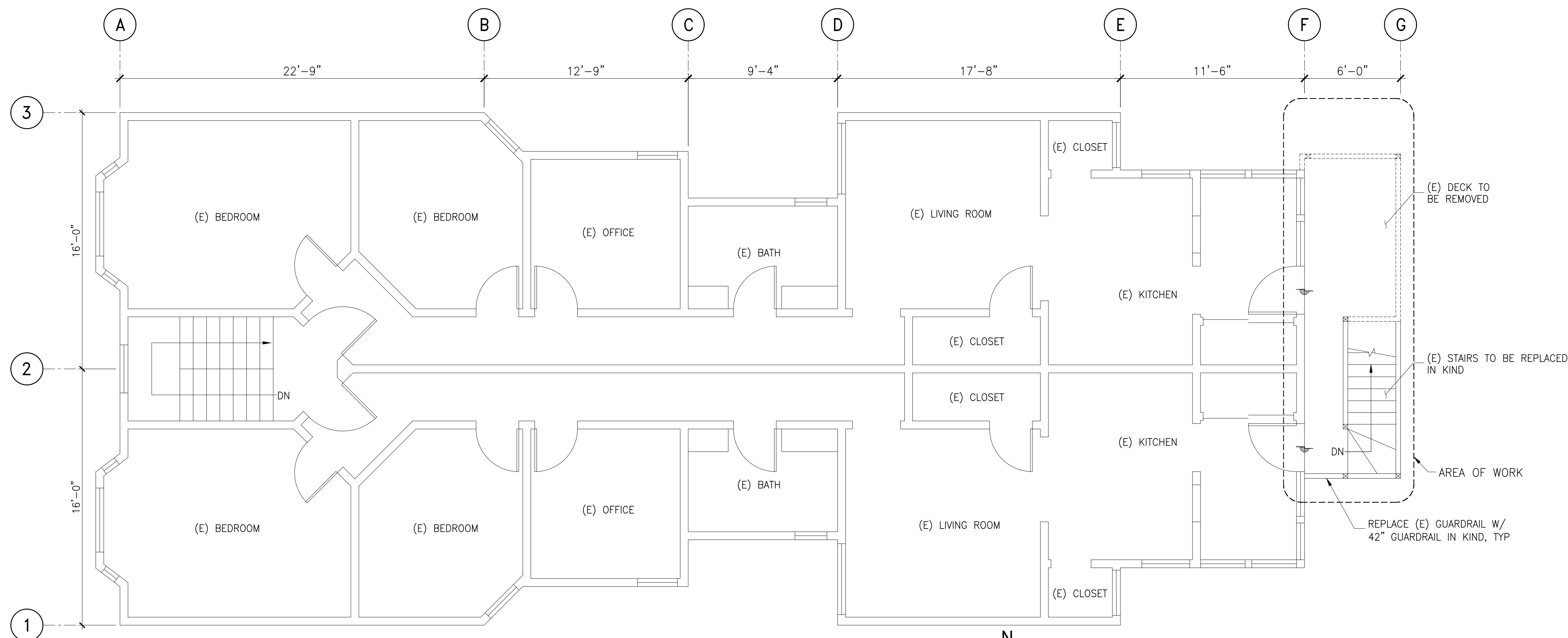
SCALE: AS SHOWN

DRAWN BY: MV/RV

DATE: 8/17/2020



2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"



3RD FLOOR PLAN  
SCALE: 1/4"=1'-0"

PLAN NOTES

1. ALL ROOMS SHOW EXISTING CONDITIONS, FOR REFERENCE ONLY.



2ND FLOOR  
PLAN  
&  
3RD FLOOR  
PLAN

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY



SHEET NO.

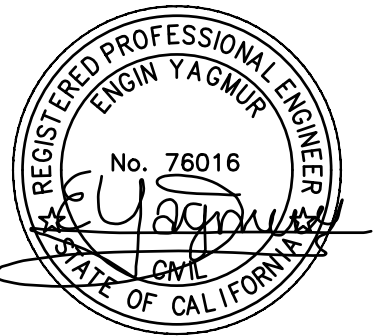
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SCALE: AS SHOWN

DRAWN BY: MV/RV

DATE: 8/17/2020

REVISIONS	BY



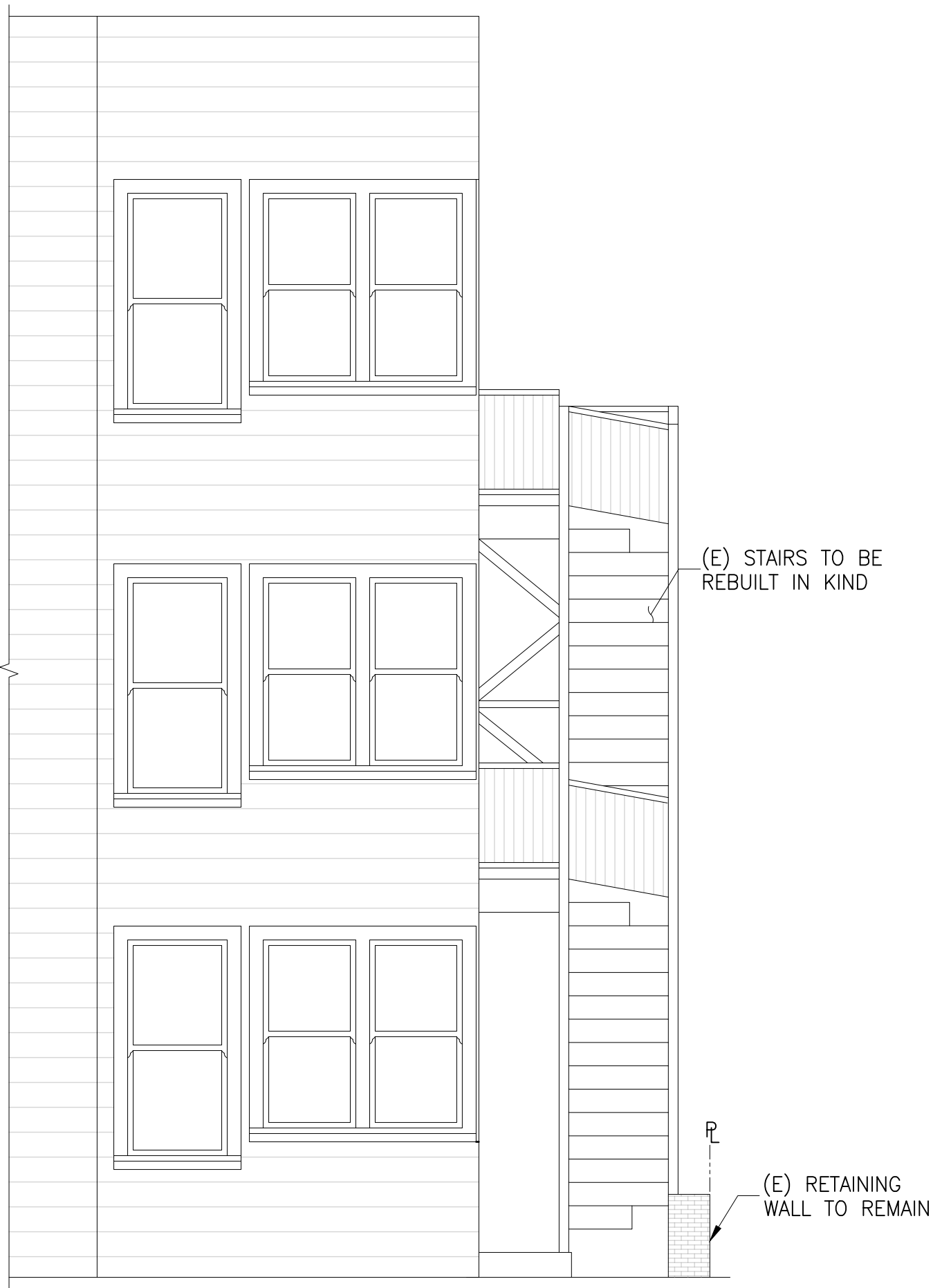
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A2.1

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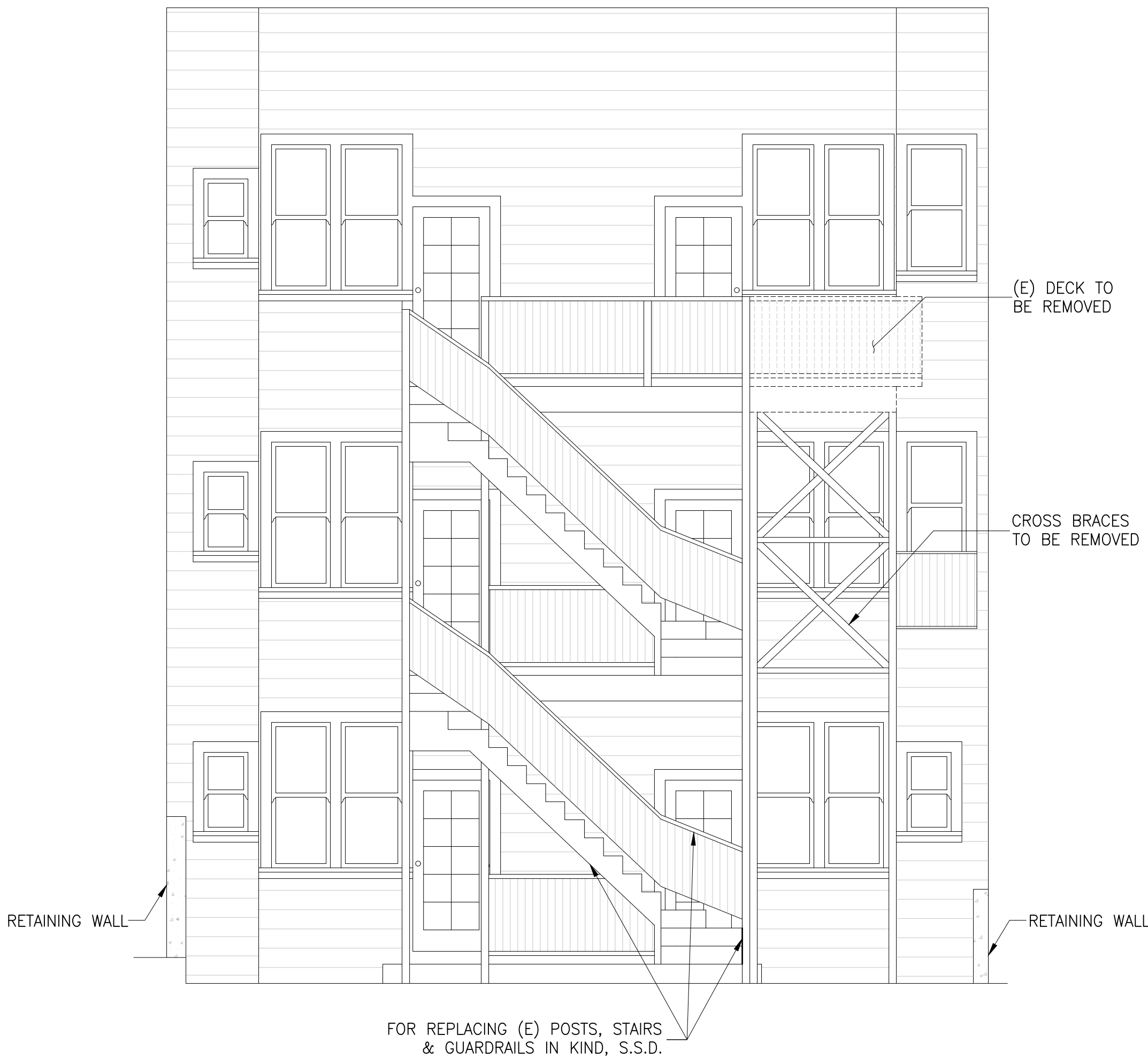
DRAWN BY: MV/RV

DATE: 8/17/2020



EXISTING SOUTH ELEVATION

SCALE: N.T.S.



EXISTING EAST ELEVATION

SCALE: N.T.S.



EXISTING NORTH ELEVATION

SCALE: 1/4"=1'-0"





PROPOSED  
ELEVATIONS

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY



SHEET NO.

A2.2

SCALE:	AS SHOWN
DRAWN BY:	MV/RV
DATE:	8/17/2020

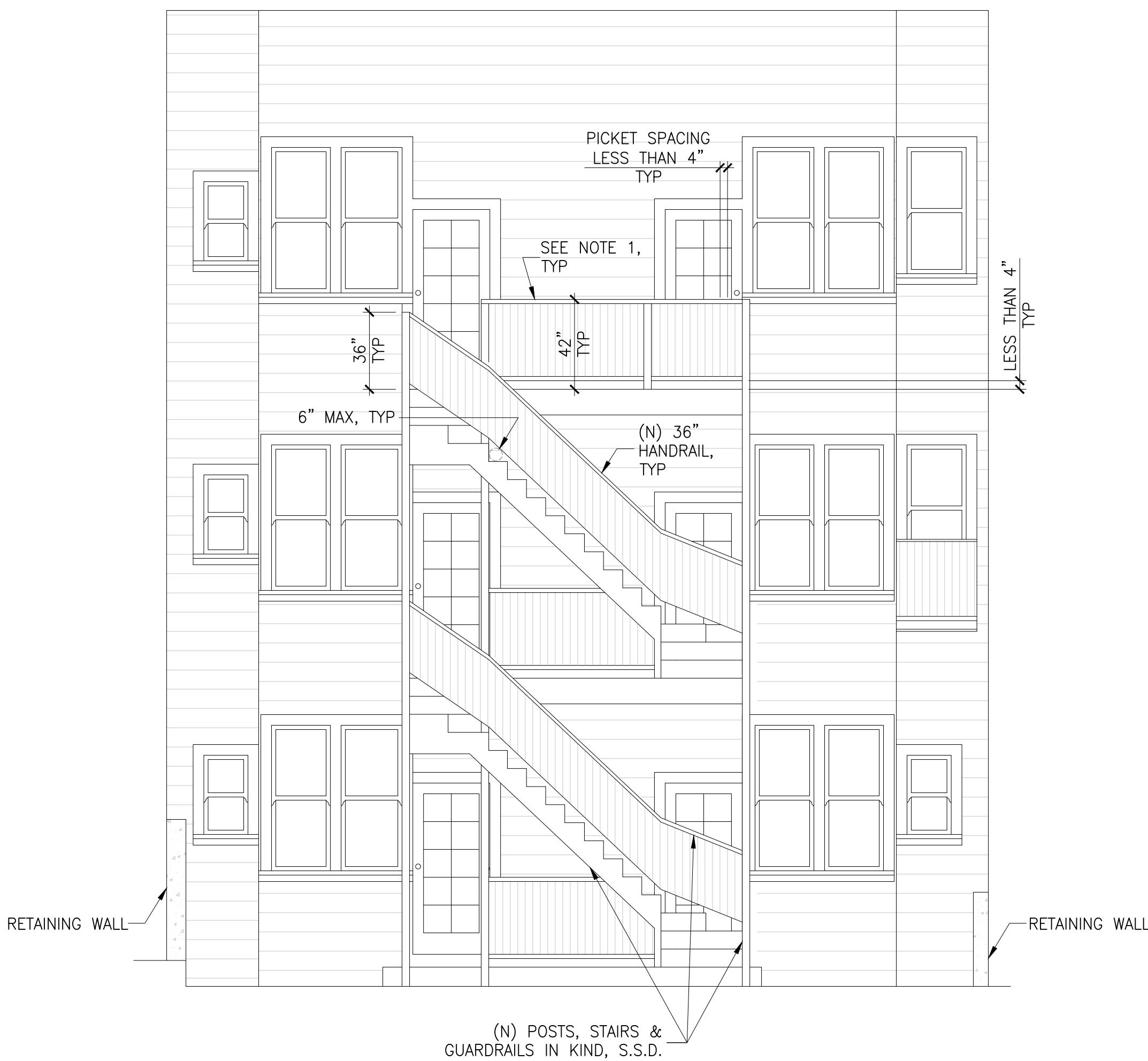
PLAN NOTES

1. NEW GUARDRAILS SHALL BE 42" ABOVE THE FINISHED DECK, WITH PICKET SPACING TO BE LESS THAN 4". FOR TYPICAL GUARDRAIL, SEE DETAILS 6 & 11 ON S2.1.



PROPOSED SOUTH ELEVATION

SCALE: N.T.S.



PROPOSED EAST ELEVATION

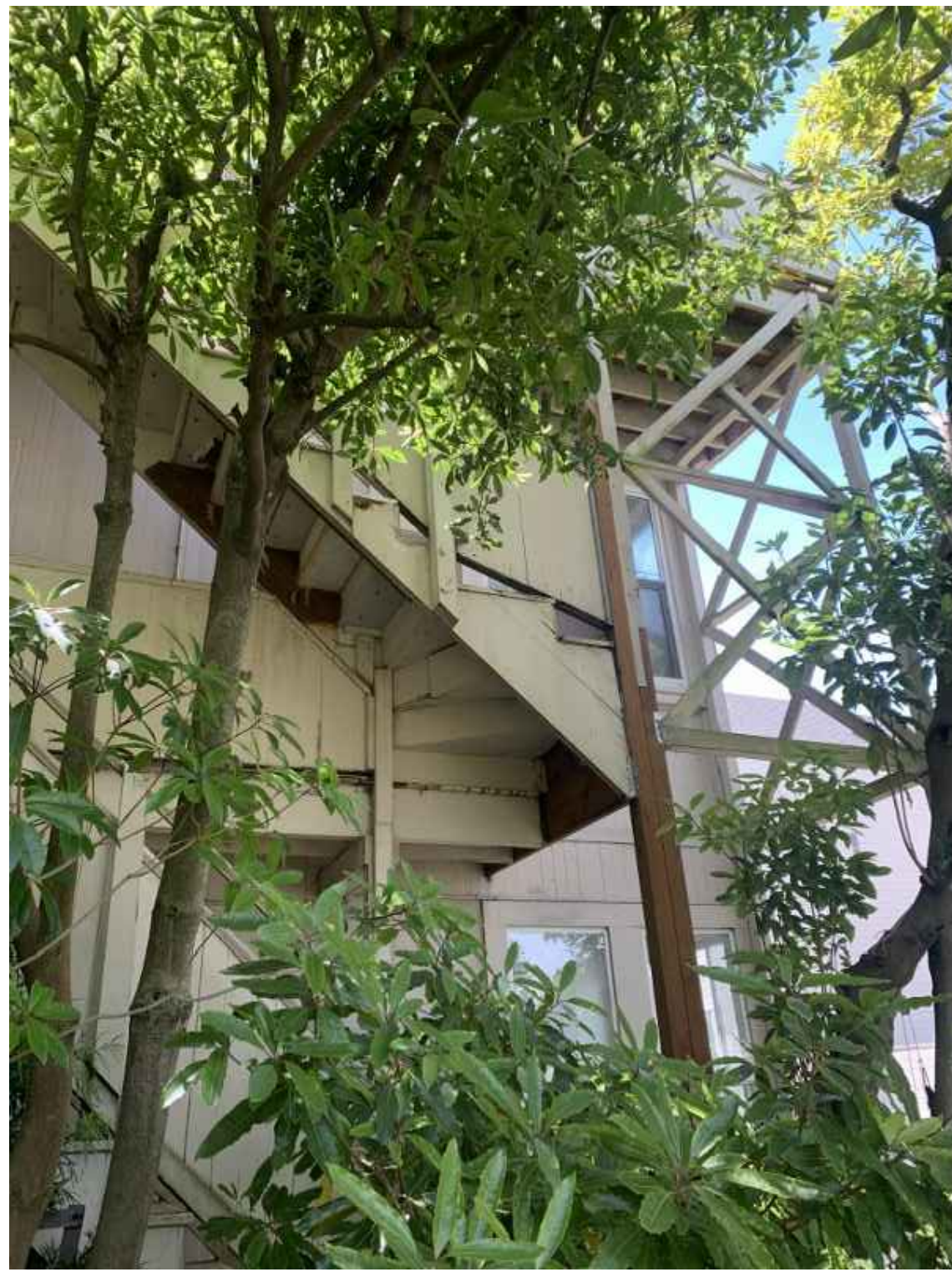
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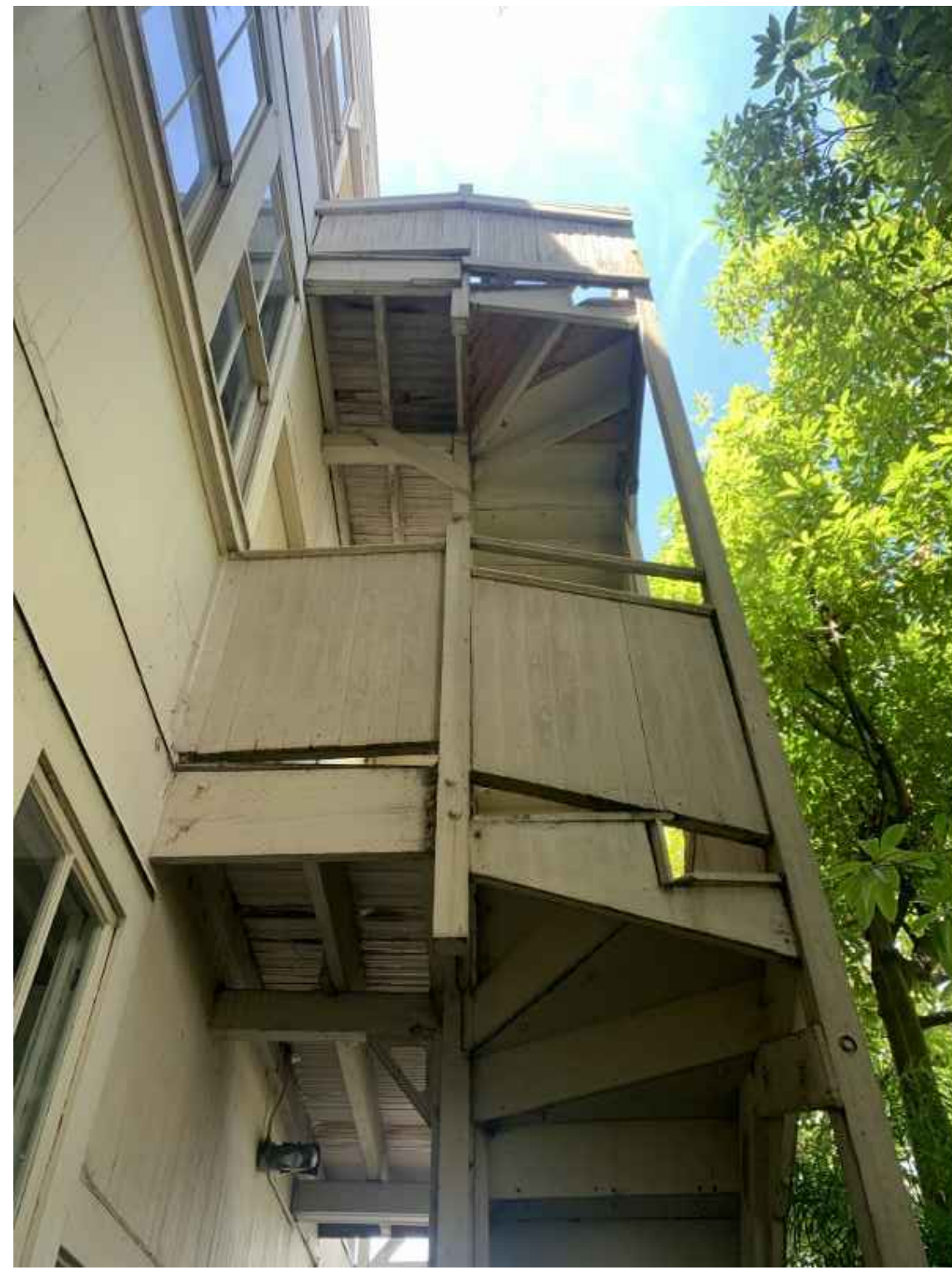
PROPOSED NORTH ELEVATION

SCALE: 1/4"=1'-0"





1 (E) FIRE STAIRS TO BE DEMO'D



2 (SOUTH) SIDE ELEVATION OF THE FIRE STAIRS



3 (E) DECK TO BE REMOVED



4 1ST FLOOR STAIRS



5 1ST FLOOR STRINGERS, POSTS, & FOOTINGS



6 TYPICAL DAMAGED SLOPING LANDING



7 TYPICAL DRY-ROTTED POST



8 TYPICAL DRY-ROTTED STRINGER

REVISIONS	BY



DESIGN LOADS

DL = 15 psf (Stairs)  
LL = 100 psf (Stairs)

No wind or earthquake loads considered.

EXISTING CONSTRUCTION

- Work shown is new unless noted as existing: (E)
- Existing construction shown on these drawings was obtained from site investigation and can be used for bidding purposes. The contractor shall verify all existing job conditions, review all drawings and verify dimensions prior to construction. The contractor shall notify the architect of all discrepancies and exceptions before proceeding with the work.
- The removal, cutting, drilling, etc. of existing work shall be performed with care in order not to jeopardize the structural integrity of the building. If structural members or mechanical, electrical, or architectural features not indicated for removal interferes with the new work, the architect shall be immediately notified and prior approval shall be obtained before removal of members.
- The contractor shall safely shore existing construction wherever existing supports are removed to allow the installation of the new work.
- The contractor shall perform the work with a minimum of inconvenience to the owner and so as not to interrupt the day to day work operations. The constructor shall ensure safe passage of persons around areas of construction and shall conduct all operations with the owner or his agent.
- The contractor shall promptly repair damage caused during operations with similar materials and workmanship.
- All removed items, materials and debris, unless otherwise noted, shall be removed promptly from the site and disposed of in a legal manner.

CONCRETE & REINFORCING STEEL

- All concrete shall be ready-mix in accordance with ASTM C94.
- All concrete shall be reinforced unless specifically marked "not reinforced".
- Cement: ASTM C150 Type II.
- Aggregate: ASTM C33
- Non-shrink Grout: premixed, non-staining, non-shrink grout.
- Chlorides: Grout or concrete containing more than 0.1 percent of soluble chloride
- Mixes to be reviewed by owner's testing lab and submitted to the structural engineer for approval. Do not cast without approval by structural engineer.

Concrete	Strength	Slump	Agg. Size	Remarks
Slab-on-grade	3,000 psi	4"	¾" or ½"	
Foundations	3,000 psi	4"	¾" or ½"	
Other	3,000 psi	4"	¾" or ½"	(wet mix)

See specifications for additional requirements. All concrete shall be hardrock aggregate, regular weight concrete, 145 PCF, U.O.N.

- Inserts: All items to be cast in concrete such as reinforcing dowels, bolts, anchors, pipes, sleeves, etc., shall be securely positioned in the forms before placing the concrete.
- Pipes: Pipes and electrical conduits shall not be embedded in structural concrete except where specifically approved by the structural engineer.
- Provide sleeves for plumbing and electrical openings in concrete before placing. Do not cut any reinforcing which may interfere. Coring in concrete is not permitted except as shown. Notify the structural engineer in advance of conditions not shown on the drawings.
- Construction joints: Provide as detailed on drawings. Expose clean coarse aggregate solidly embedded in mortar matrix by sandblasting, bushhammer, or other approved method. Location of construction joints shall be approved by the structural engineer.
- Dry pack or place non-shrink grout under baseplates, sill plates, etc., as required for full bearing.
- Reinforcing steel: ASTM A615 grade 60  
ASTM A706 where welded
- Welded wire fabric: ASTM A185
- All reinforcement shall be continuous. Stagger splices where possible. Laps shall be per typical details, unless otherwise noted.
- Minimum clear concrete cover for reinforcement, U.O.N.:

Cast against earth:	3 inches
Cast in forms and exposed to earth or weather:	
#6 bar and larger	2 inches
#5 bar and smaller	1½ inches
Not exposed to earth or weather:	
Slabs, walls and joists:	1 inch
Beams, girders and columns (to ties):	1½ inches

Clearances are to closest reinforcement.
- Reinforcing steel allowance: the contractor shall provide 2000 pounds of reinforcing steel for the engineer to use at his discretion during construction. The contractor shall reimburse the owner for the unused portion.

CARPENTRY

- Framing Lumber: All lumber shall meet the following minimum standards except where otherwise noted. All lumber shall be graded and stamped in accordance with the West Coast Lumber Inspection Bureau (WCLIB).
- All new framing lumber shall have 19% maximum moisture content at time of installation.

Use	Species	Grade	Remarks
Horizontal Framing:			
2x4 & 2x6	D.F.	No. 2	
2x8 & Wider	D.F.	No. 1 or better	
3x & Wider Beams	D.F.	No. 1	
Vertical Framing:			
2x & 3x Studs	D.F.	No. 2	
4x Posts	D.F.	No. 2	
6x & Larger Posts	D.F.	No. 1	
Wall Sill Plates	D.F.	No. 2	
Mud Sills	D.F.	No. 2 Pressure treated	
Other u.o.n.	D.F.	Std. or better	
- Plywood Sheathing: All plywood shall meet the following minimum standards except where otherwise noted. All plywood shall be graded and stamped in accordance U.S. product standard PS 1-95. All plywood shall be manufactured using exterior glue.

Location	Thickness	Grade	Span Rating	Remarks
Walls:	15/32"	CD Rated,	Struct I	
Floors:	15/32"	Struct I		

Typical Nailing Schedule (Minimum)

Connection	Nailing
1. Joist or Rafter to sides of studs	(3) - 8d
2. Bridging to joist, toenail each end	(2) - 8d
3. 1"x6" subfloor or less to each joist, face nail	(2) - 8d
4. Wider than 1"x6" subfloor to ea joist, face nail	(3) - 8d
5. 2" subfloor to joist or girder, blind and face nail	(2) - 16d
6. Sole plate to joist or blocking, face nail	16d @ 16" o.c
7. Top plate to stud, end nail	(2) - 16d
8. Stud to sole plate	(4) - 8d toenail or (2) - 16d end nail
9. Double studs, face nail	16d @ 24" o.c
10. Doubled top plates, face nail	16d @ 16" o.c
11. Top plates, laps and intersections, face nail	(2) - 16d
12. Continuous header, two pieces along ea. edge	16d @ 16" o.c
13. Ceiling joists to plate, toenail	(3) - 8d
14. Continuous header to stud, toenail	(4) - 8d
15. Ceiling joists, laps over partitions, face nail	(3) - 16d
16. Ceiling joists to parallel rafters, face nail	(3) - 16d
17. Rafter to plate, toenail, ea. side	(2) - 10d
18. 1" brace to each stud and plate, face nail	(2) - 8d
19. 1"x8" sheathing or less to ea bearing, face nail	(2) - 8d
20. Wider than 1"x8" sheathing to ea bearing, face nail	(3) - 8d
21. Built-up corner studs	16d @ 24" o.c
22. Built-up girders and beams top and bott staggered	20d @ 32" o.c. at (2) - 20d at ends and at each splice

- Nails: Nails called out in schedule shall be common wire nails all other nails called for on the drawings shall be common wire nails unless otherwise noted. All diaphragm and shear wall nailing shall utilize common nails or galvanized box.
- See plywood nailing schedules for nailing of plywood sheathing. Where nailing is not noted, use 10d @ 6" o.c. at panel edges and 10d @ 12" o.c. at intermediate bearings.
- Predrill nail holes to 70% of nail shank diameter where nails tend to split the wood.
- Bolts:

Bolts in wood framing shall be standard machine bolts unless otherwise noted. All bolt holes shall be drilled ½" to ⅝" oversized. Bolt heads and nuts shall bear on standard malleable iron (M.I.) washers or steel hardware. Carriage bolts require M.I. Washers under the nuts only. Bolts in contact with pressure treated members shall be stainless steel A316 or hot-dip galvanized (G185 per ASTM A653 or ASTM A153).

All nuts shall be retightened at completion of job or just prior to closing in with finished construction.

- Holdowns:

Holdown connector bolts into wood framing require approved plate washers; and holdowns shall be finger tight and ½ wrench turn just prior to covering the wall framing. Holdown hardware must be secured in place prior to foundation inspection.
- Lag Screws:

Lead holes shall be prebored as follows. The lead hole for the shank shall have the same diameter as the shank and the same depth as the length of unthreaded shank. The lead hole hole for the threaded portion shall have a diameter equal 70 percent of the shank diameter, and a length equal to at least the length of the threaded portion. Lag screws shall be screwed into place, not drive into place. Provide washers per note "7".

CARPENTRY CONT.

- Wood Screws:

Lead holes shall be prebored and shall have a diameter of 70% of the root diameter of the screw. Screws shall be screwed into place, not driven into place.
- Metal Connectors:


Metal connectors are referred to on the drawings by particular type as manufactured by "Simpson Company, Inc." of Hayward, California. Products of other manufacturers with equivalent load carrying capacities may be used provided that the products have current I.C.B.O. approval. Contractor shall submit product catalog and a table indicating both the designated product and the substituted product along with their respective capacities for approval by the architect. Install all fasteners called for by the product manufacturer unless otherwise noted on the drawings. Use manufacturer supplied nails where thickness of timber precludes the use of common nails.
- Blocking and Bridging:

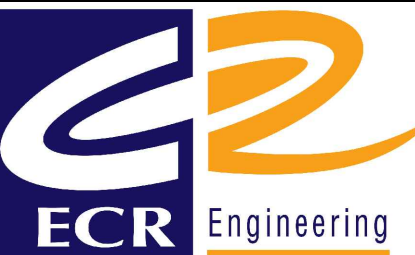
Solid blocking shall not be less than 2 inches in thickness and the full depth of the joist or stud. Joists shall be supported laterally at the ends and at each support by solid blocking except where the ends of joists are nailed to a header, band or rim joist or to an adjoining stud or when supported in a hanger. Floor joists shall be bridged every 8 feet and roof joists every 10 feet by solid blocking 2 inches thick and the full depth of the joist, or by wood cross bridging of not less than 1 inch by 3 inches or metal cross bridging of equal strength. Where cross bridging is used, the lower ends of such cross bridging shall be driven up and nailed after the floor, subfloor or roof has been nailed.
- Framing for Openings:

Provide double trimmer and header joists at all openings that cut joists. Provide joist hangers where joists frame into header and headers frame into trimmers.
- Double joists under all partitions parallel to the joists.
- All wood members in contact with concrete or masonry shall be pressure treated.

ADHESIVE ANCHORS

- Use Simpson SET-XP Adhesive Anchoring System, by Simpson Strong-Tie (ICC-ES ESR-2330).
- Installation of anchors shall conform to all requirements of ICC Report, manufacturer's recommendations and these notes.
- Pre-drill hole, remove dust and debris using a wire brush and oil-free compressed air.
- A clean mixing nozzle shall be attached to the cartridge, and the first three trigger pulls from each refill pack shall be discarded.
- The holes shall be filled one-half to two-thirds full with the epoxy adhesive, starting at the bottom to avoid entrapment of air.
- Anchors must be clean and oil free. Insert threaded rod turning slightly while pushing the anchor to the bottom of the hole. Do not disturb during cure time.

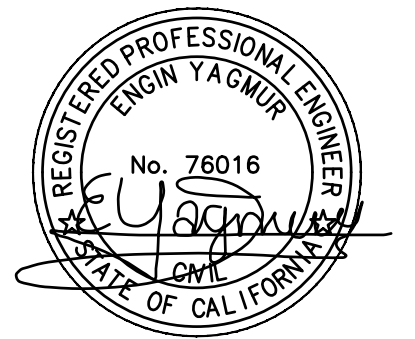
City and County of San Francisco Department of Building Inspection				London N. Breed, Mayor Tom C. Hul, S.E., C.B.O., Director	
Attachment A					
SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST					
A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION					
JOB ADDRESS 2634 Octavia Street		APPLICATION NO. 2020-0903-3412		ADDENDUM NO. _____	
OWNER NAME Paul Guernonprez		OWNER PHONE NO. (415) 758 - 3366			
1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION			
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000.		CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA SHORING UNDERPINNING GRADING, INCLUDING EXCAVATION OR FILL, OF OVER 50 CUBIC YARDS OF EARTH MATERIAL CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY: RETAINING WALL: OTHERS: _____			
2: AVERAGE SLOPE OF PROPERTY		PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE (APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)			
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>			
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>			
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>			
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>			
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>			
SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES					
Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.					
Prepared by: _____ ECR Engineering Engineer/Architect of Record					
(415) 205 - 3804 ecrengineering@gmail.com					
Telephone _____ Email _____					
Signature _____ Date 8/17/2020					
Technical Services Division 1660 Mission Street - San Francisco CA 94103 Office (415) 558-6205 - FAX (415) 558-6401 - www.sfdbi.org					
INFORMATION SHEET S-19 ATTACHMENT A					
FOR DBI USE ONLY					
ASSIGNMENT OF REVIEW TIER					
EXEMPTED: Reports per Section E and Third Party Peer Review Not Required					
<input type="checkbox"/> If the box in Section 1 "Property Location" <b>AND</b> the box in Section 2 "Average Slope of Property" are marked "No" <b>OR</b> if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.					
TIER I: Reports per Section E Required but Third Party Peer Review Not Required					
<input type="checkbox"/> If the box in Section 2 "Average Slope of Property" <b>AND</b> any boxes in Section 3 "Proposed Construction" are marked "Yes" <b>AND</b> the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.					
TIER II: Reports per Section E and Third Party Peer Review Required					
<input type="checkbox"/> If the box in Section 2 "Average Slope of Property" <b>AND</b> any boxes in Section 3 "Proposed Construction" are marked "Yes" <b>AND</b> the property lies within the areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.					
If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.					
TIER III: Structural Advisory Committee (SAC) Review					
<input type="checkbox"/> If the box in Section 1 "Property Location" <b>AND</b> any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBC Section 105A.6.					
Tier assigned by: _____ Phone: (415) _____ DBI Plan Review Engineer					
Comment: _____ _____ _____ _____					
Page   2					



GENERAL PLANS

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY



SHEET NO.

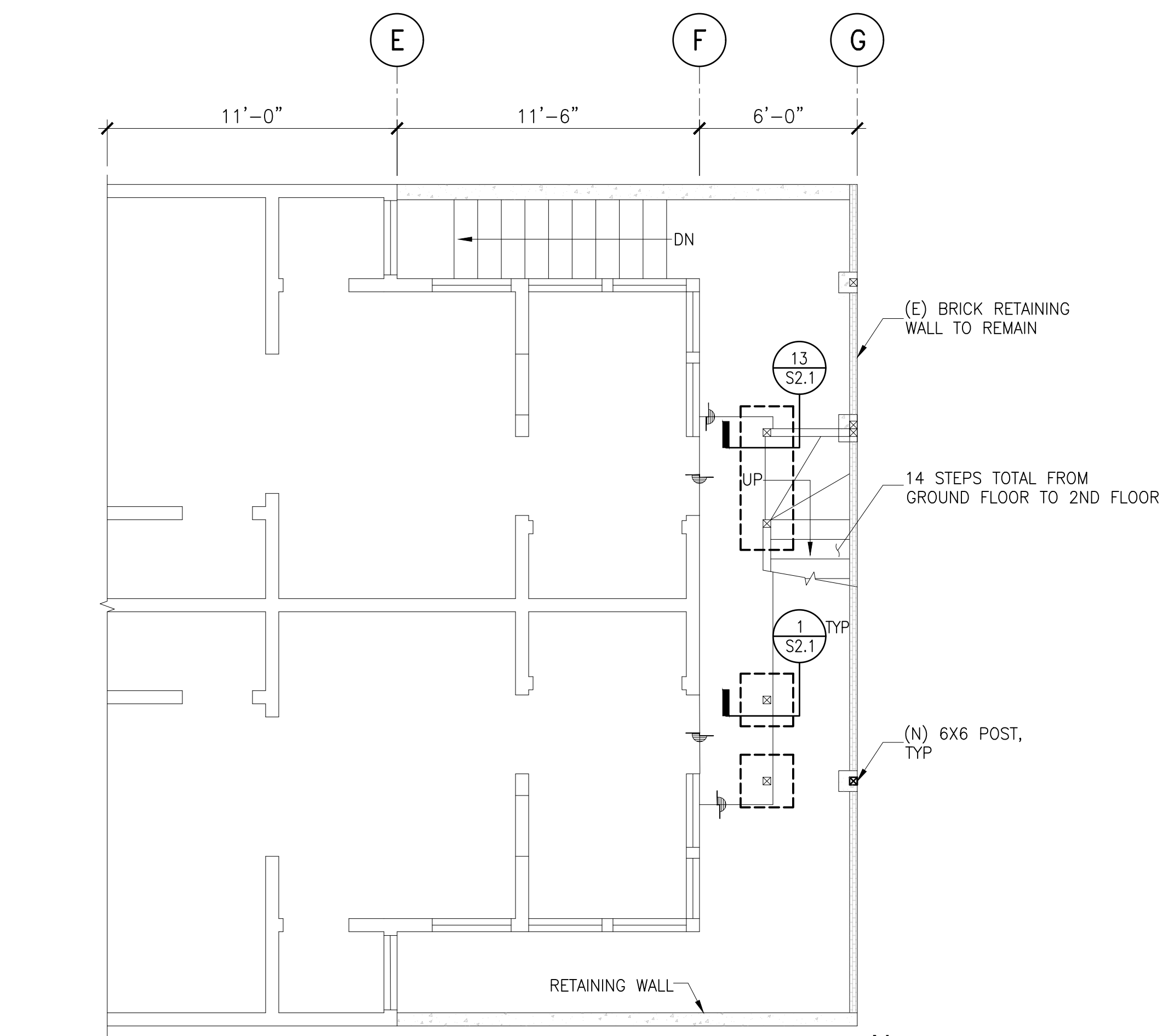
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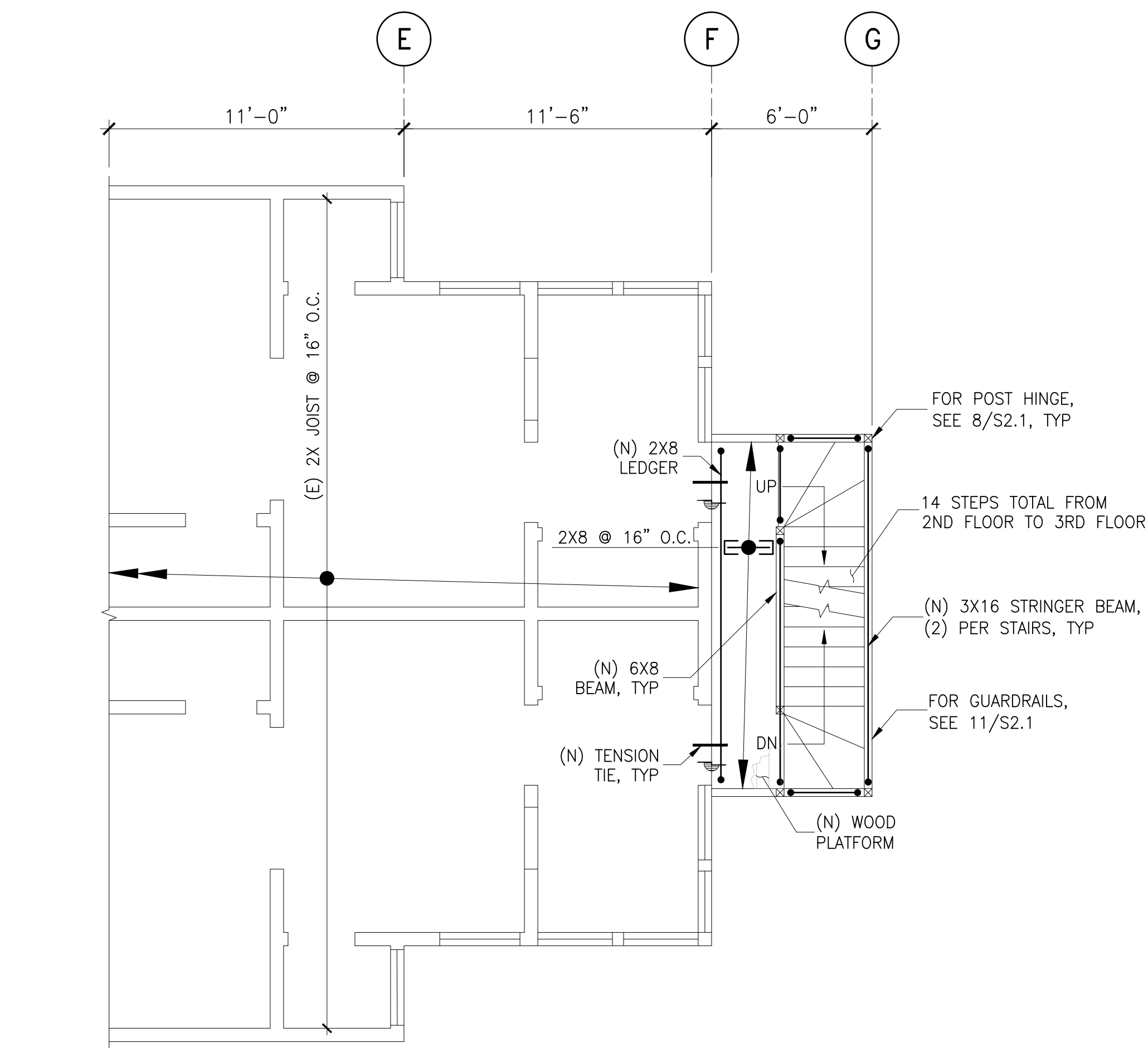
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DATE: 8/17/2020

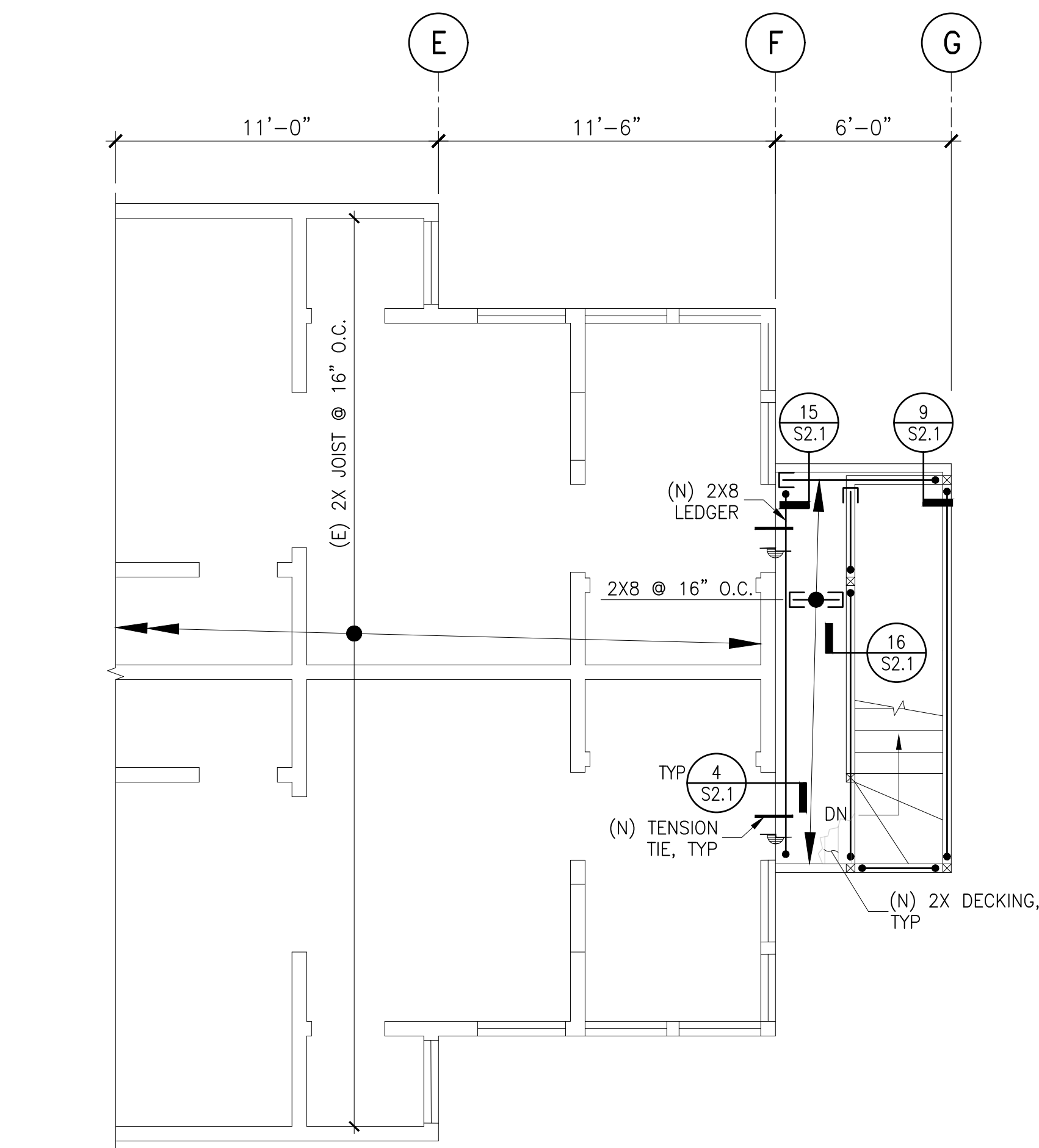




1ST FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"



2ND FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"



3RD FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"

#### PLAN NOTES

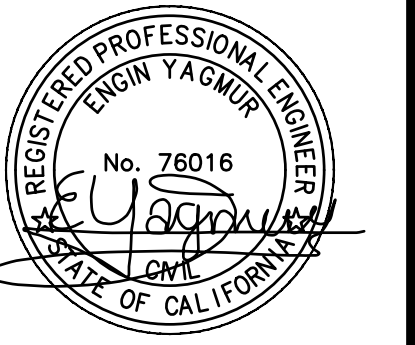
1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION, MATERIALS, SHOP DRAWINGS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION, AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES.
3. CONTRACTOR SHALL USE GALVANIZED NAILS AND SCREW. ALL WOOD MEMBERS TO BE PRESSURE TREATED.
4. CONTRACTOR SHALL CONFIRM THE DIMENSION AT FIELD, AND SHALL NOTIFY THE ENGINEER IF IT CHANGES DUE TO STAIRS TREAD AND RISER HEIGHTS.
5. FOR TYPICAL POST HINGE CONNECTION, SEE 8/S2.1.
6. FOR TYPICAL GUARDRAIL DETAILS, SEE 15/S2.1 & 16/S2.1.



1ST FLOOR/  
FOUNDATION PLAN  
&  
2ND FLOOR  
FRAMING PLAN  
&  
3RD FLOOR  
FRAMING PLAN

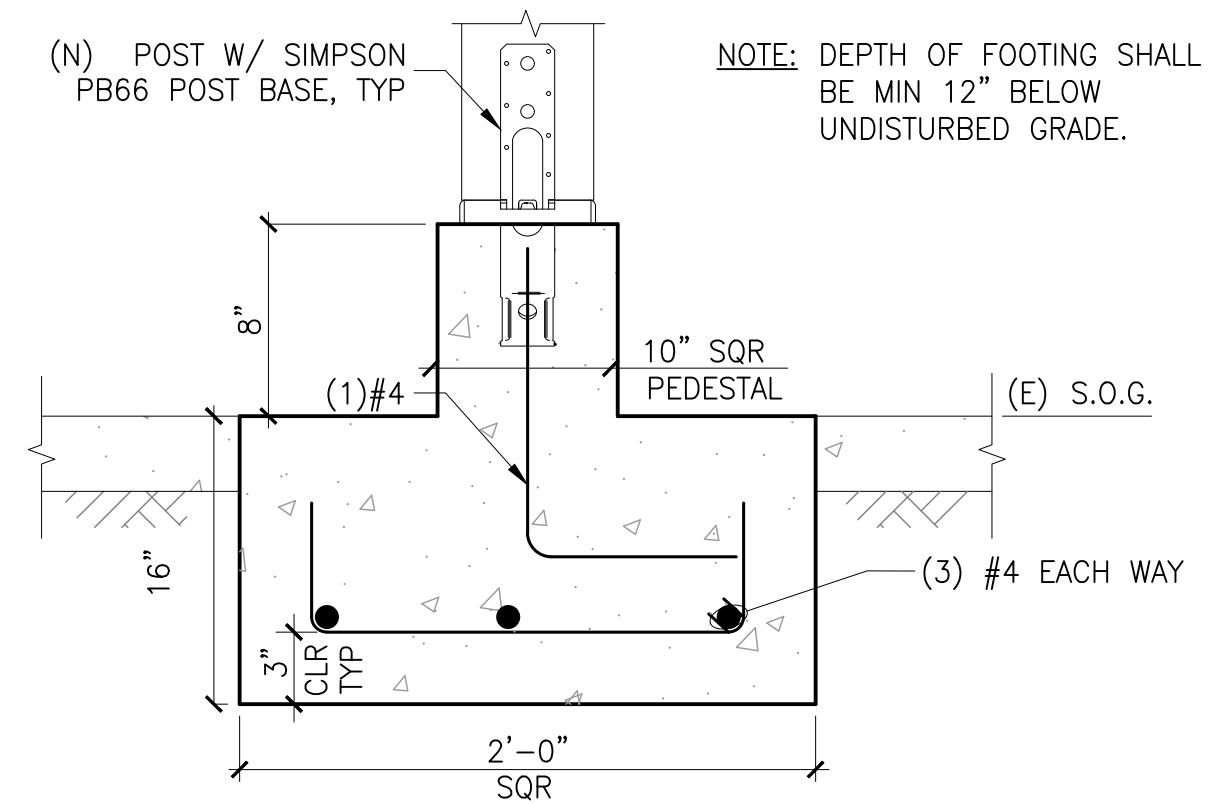
2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY

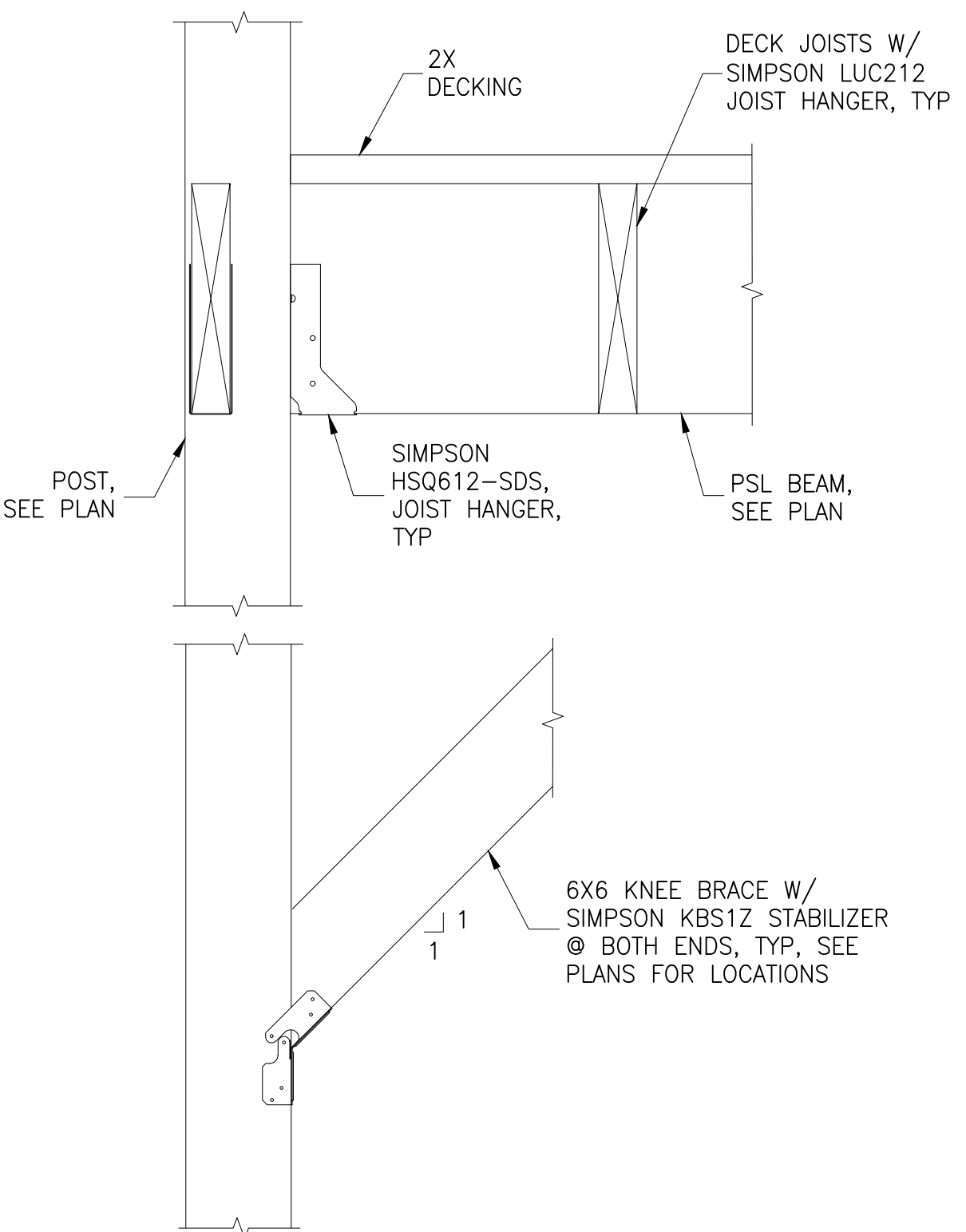


SHEET NO.  
S1.1

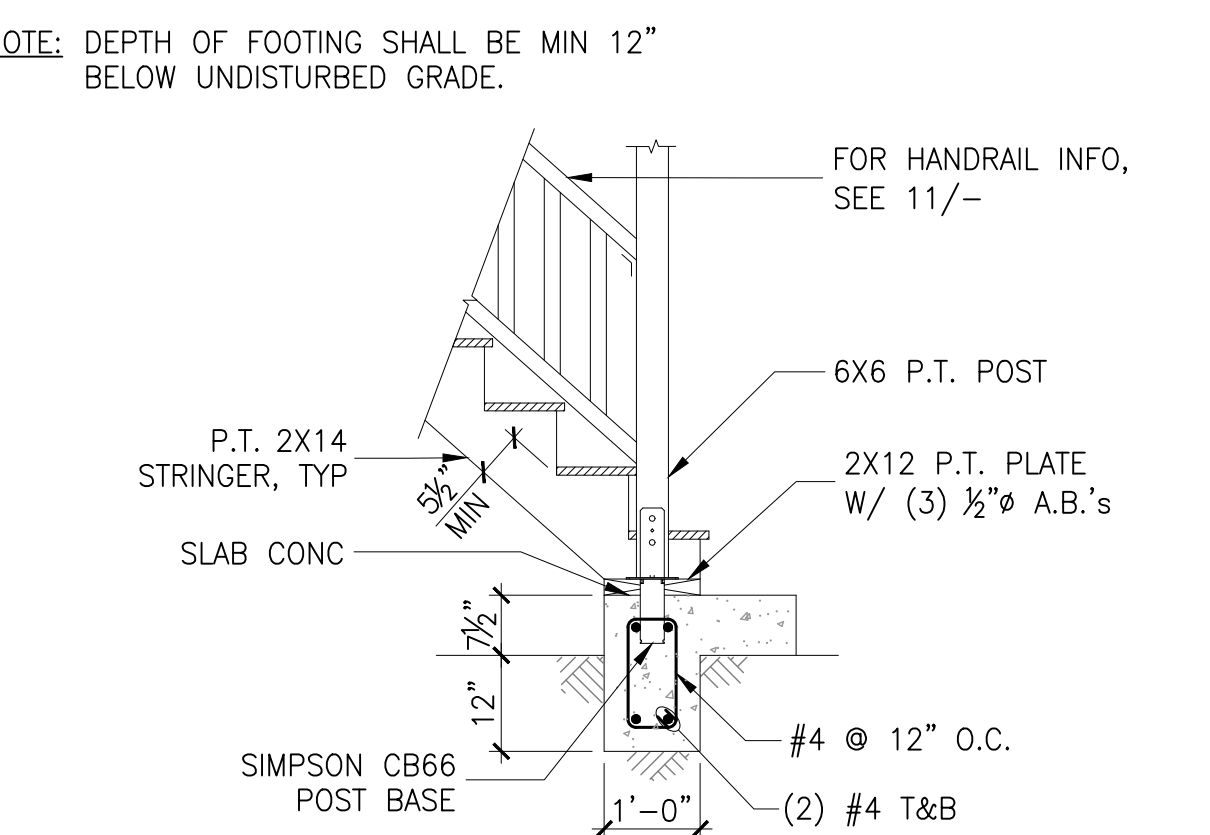
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DRAWN BY: MV/RV  
DATE: 8/17/2020



1 SECTION SCALE: N.T.S.



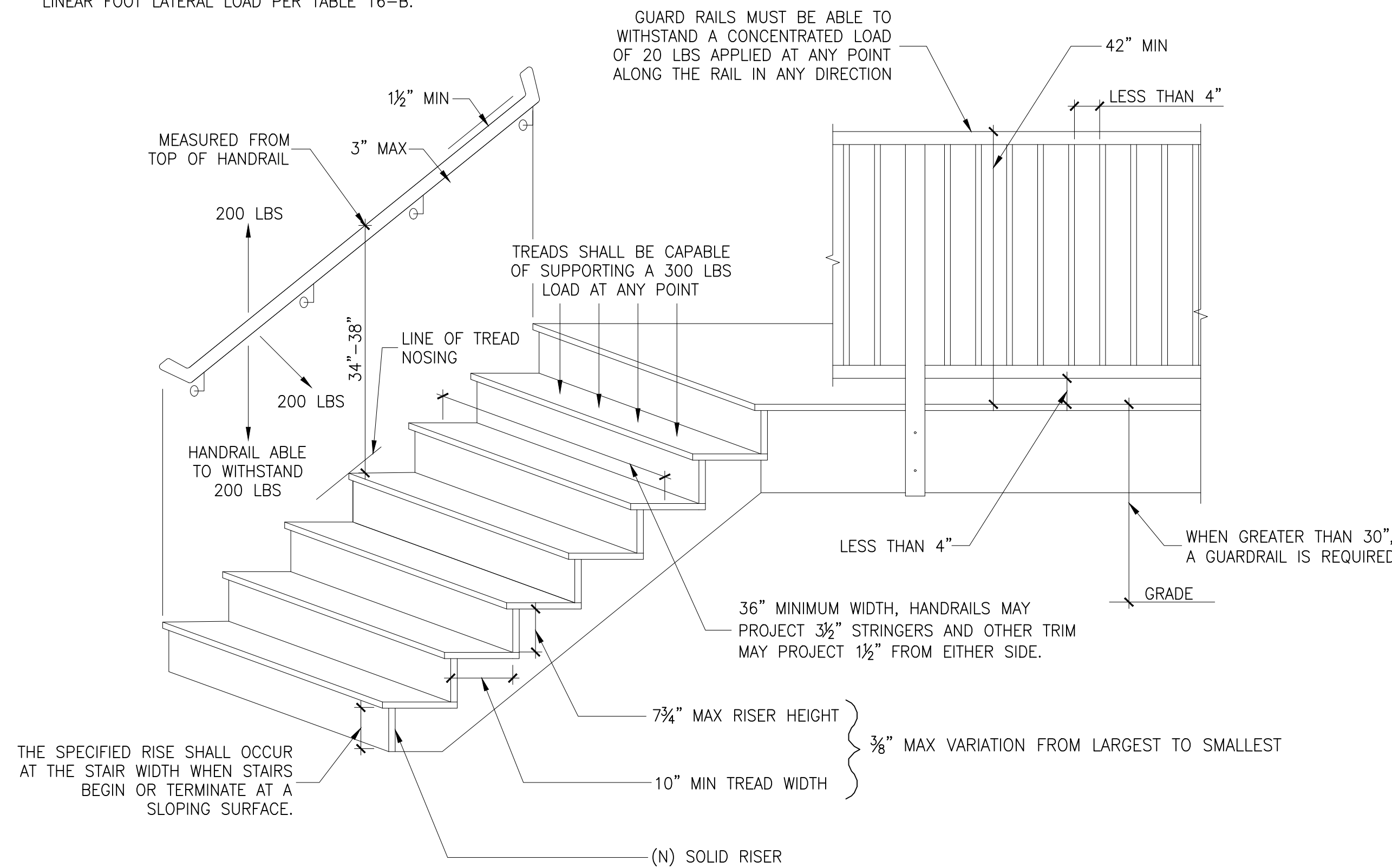
9 SECTION SCALE: N.T.S.



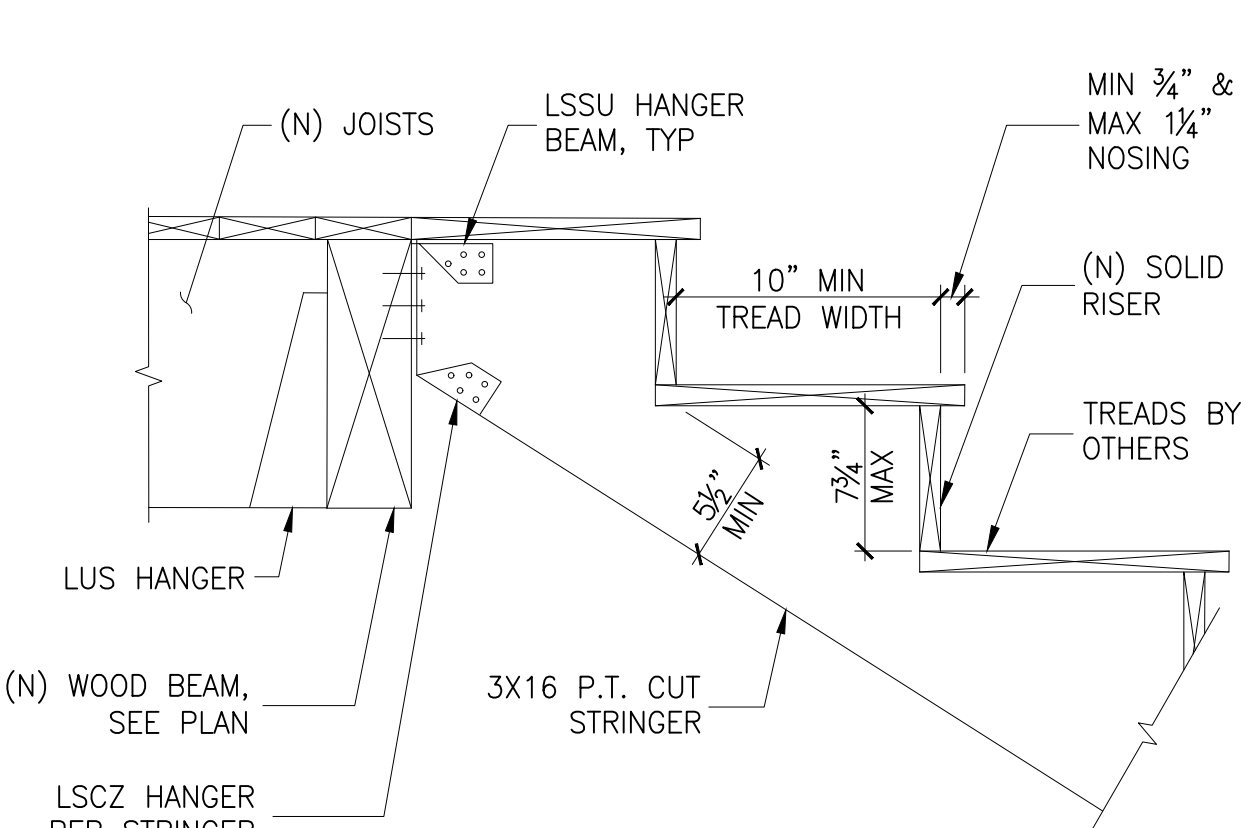
13 (N) EXTERIOR LANDING SCALE: N.T.S.

GENERAL STAIR NOTES:

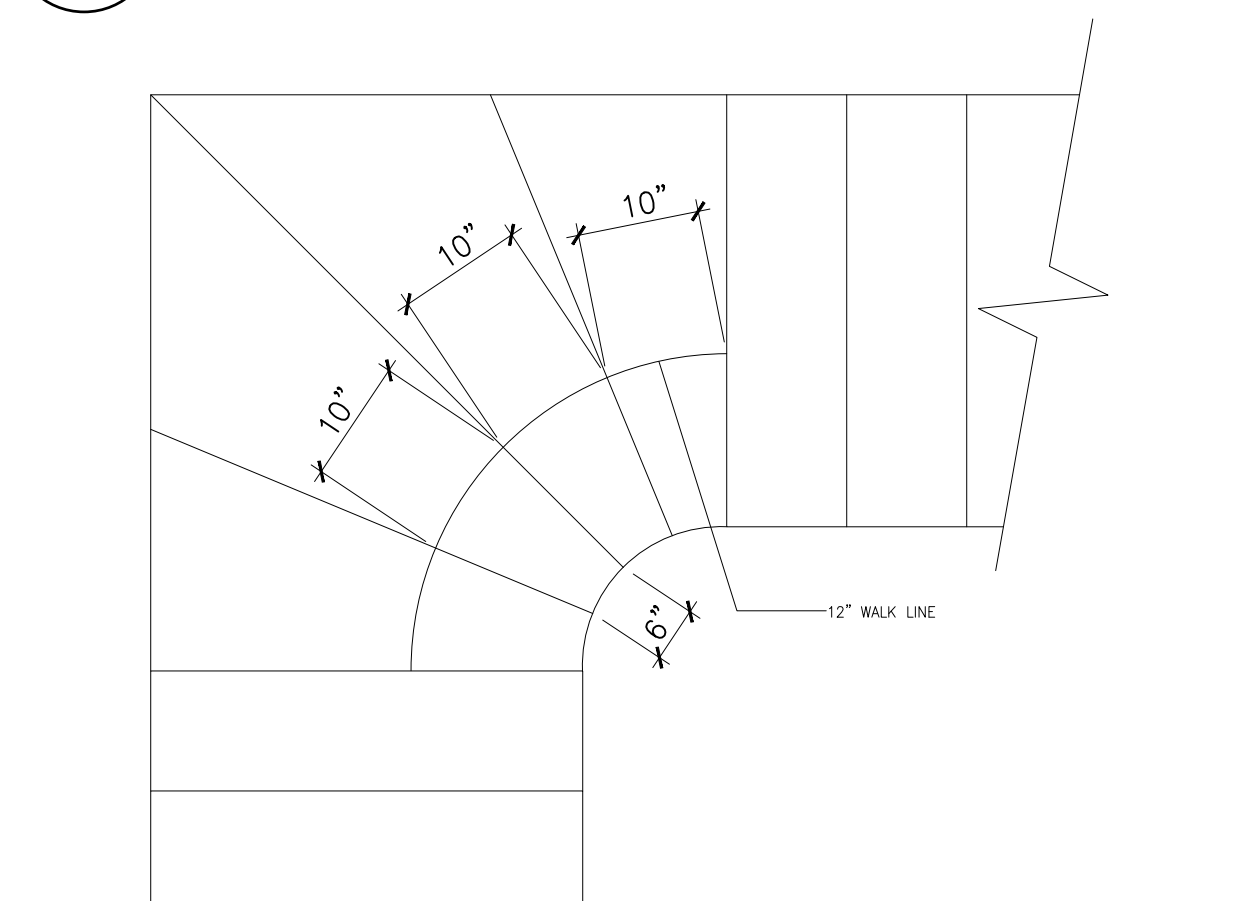
1. STAIR TO BE MINIMUM 36" WIDE WITH MINIMUM HEADROOM OF 6'-8". FIRE BLOCKING TO BE PROVIDED BETWEEN STAIR STRINGERS AND STUD WALL.
2. STAIR GUARD RAILS SHALL BE ABLE TO RESIST A 20 LBS PER LINEAR FOOT LATERAL LOAD PER TABLE 16-B.



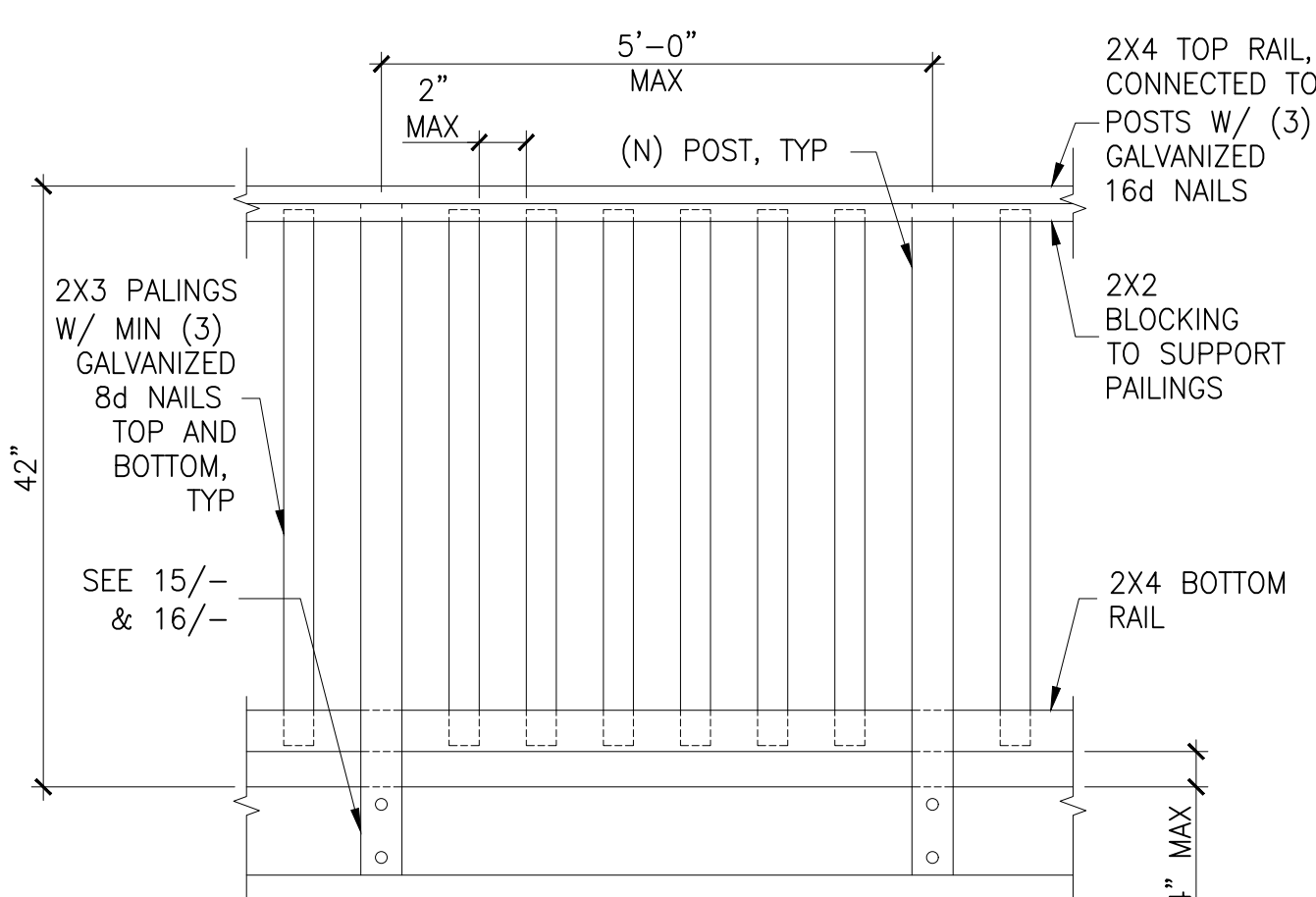
6 STAIR DETAILS SCALE: N.T.S.



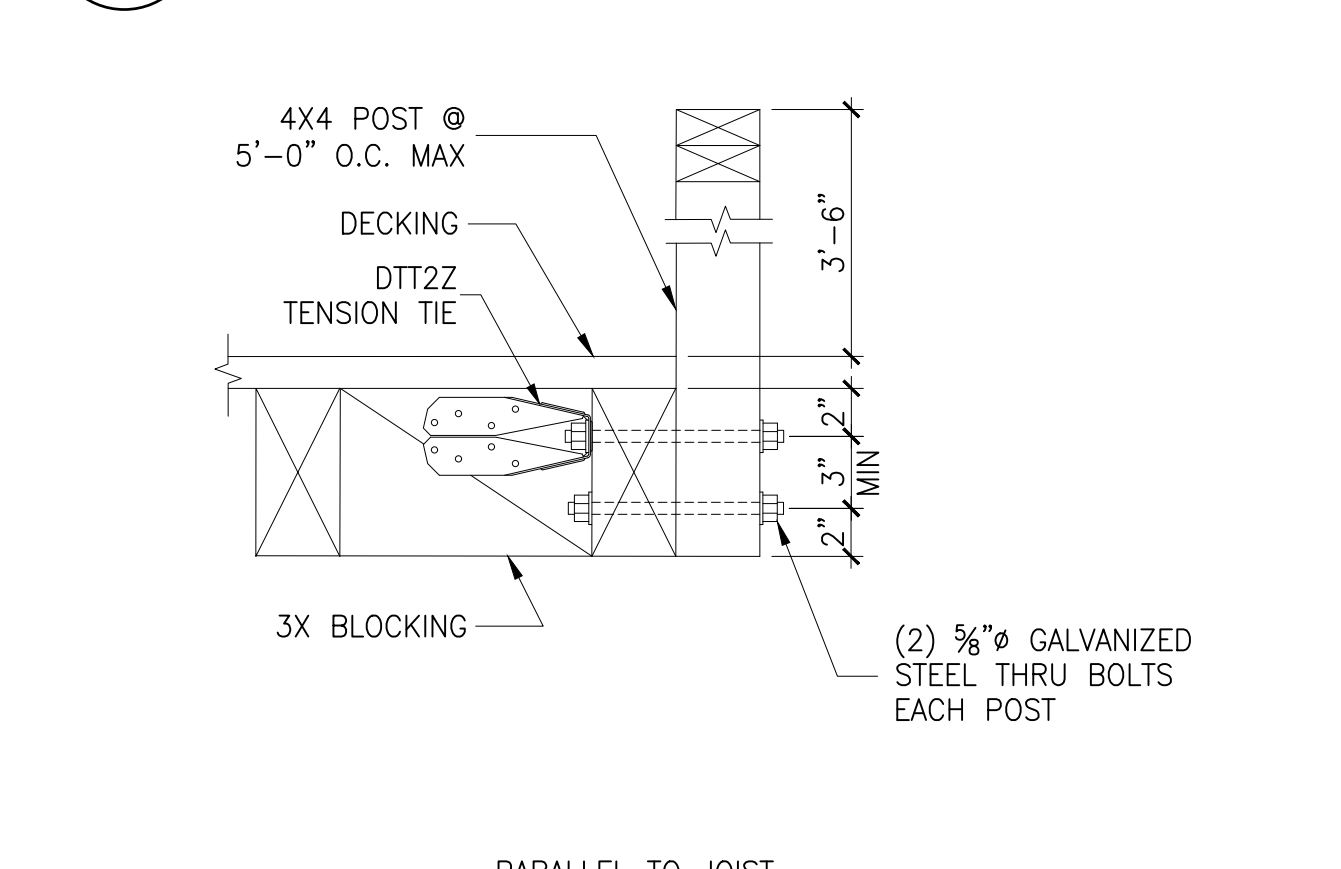
10 TYPICAL WOOD STAIRS SCALE: N.T.S.



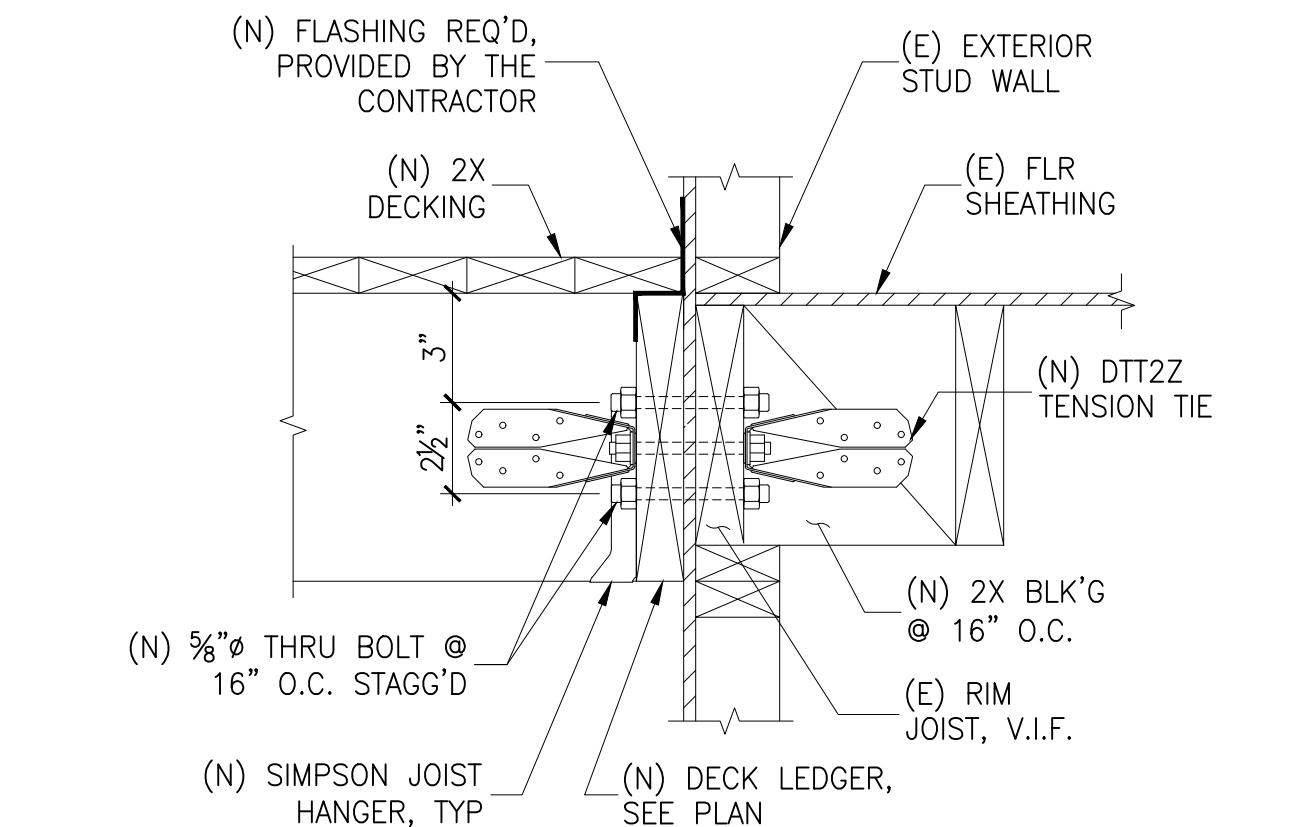
14 STAIR WINDERS DETAIL N.T.S.



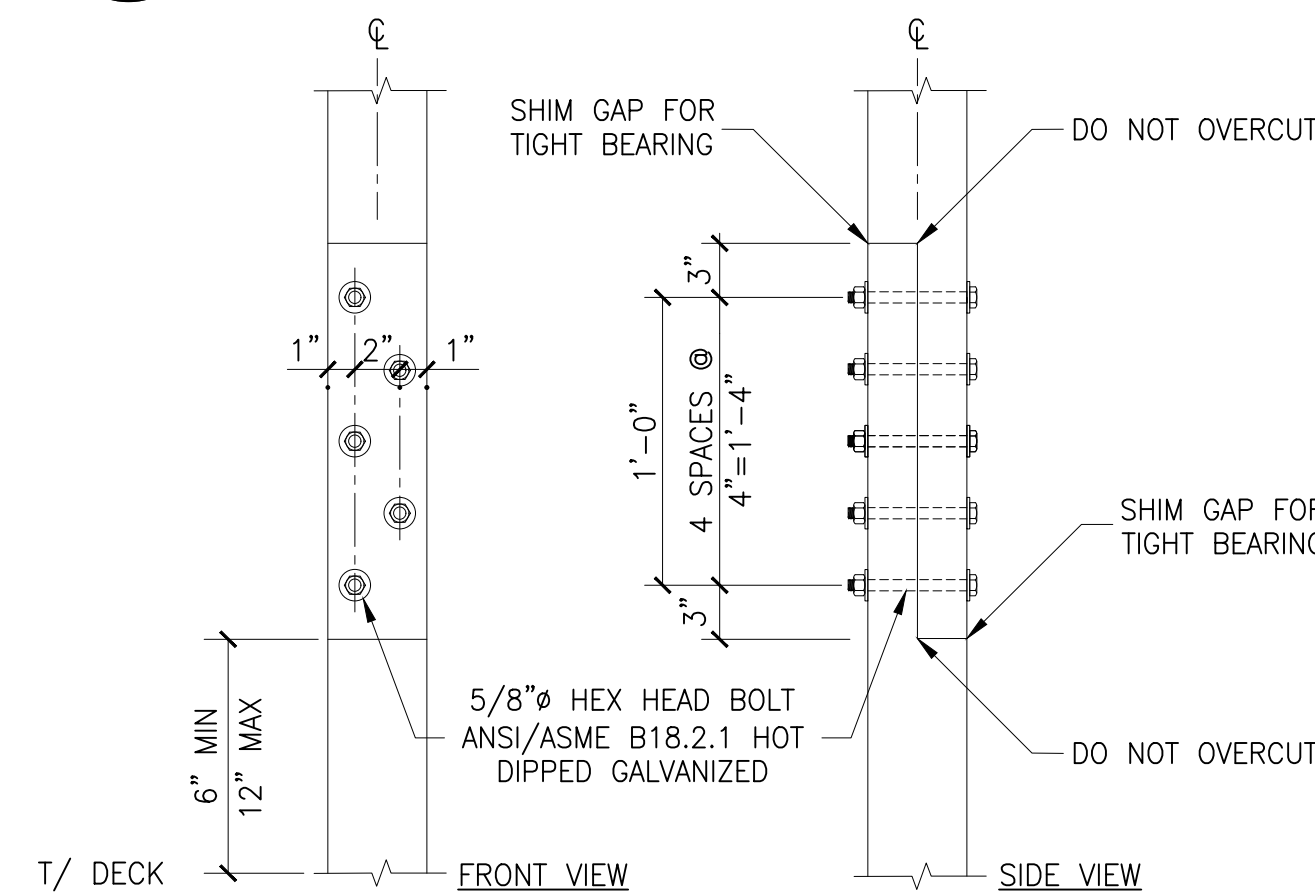
11 TYPICAL GUARDRAIL DETAIL N.T.S.



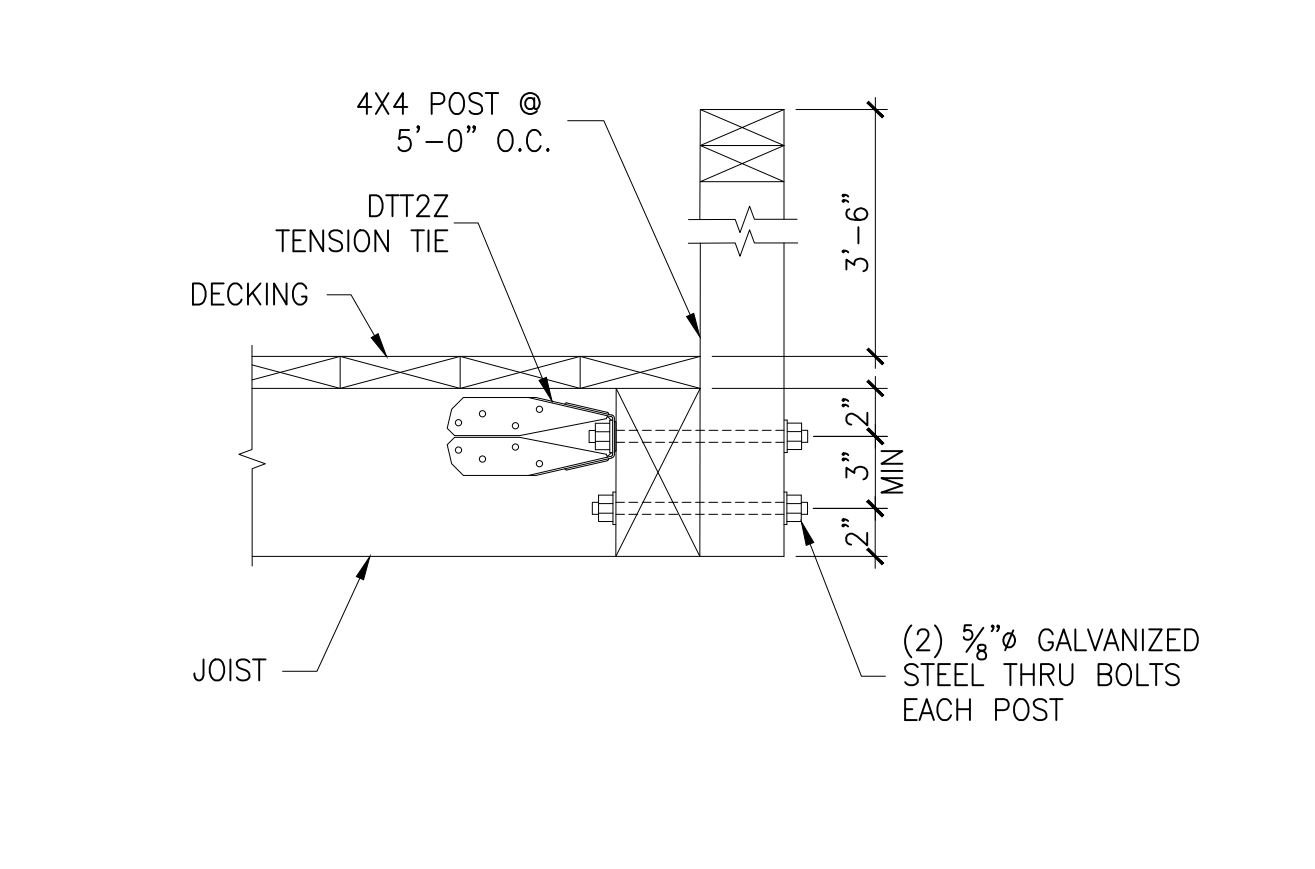
15 RAILING DETAIL TO WOOD JOIST N.T.S.



4 DECK LEDGER CONNECTION SCALE: N.T.S.



8 POST HINGE CONNECTION DETAIL N.T.S.



16 RAILING DETAIL TO WOOD JOIST N.T.S.

Revised Plan Set dated 8/17/2020 with a revision  
date of 1/26/2021 (submitted by the appellant on  
2/17/2021)



FIRE EGRESS STAIRS REPLACEMENT IN KIND  
2634 OCTAVIA STREET  
SAN FRANCISCO, CALIFORNIA 94123  
PARCEL NO.: 0553/047-053 (7 LOTS)



COVER SHEET  
&  
PROJECT  
INFORMATION

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY
1/26/2021	EY

NOT FOR  
CONSTRUCTION

SHEET NO.

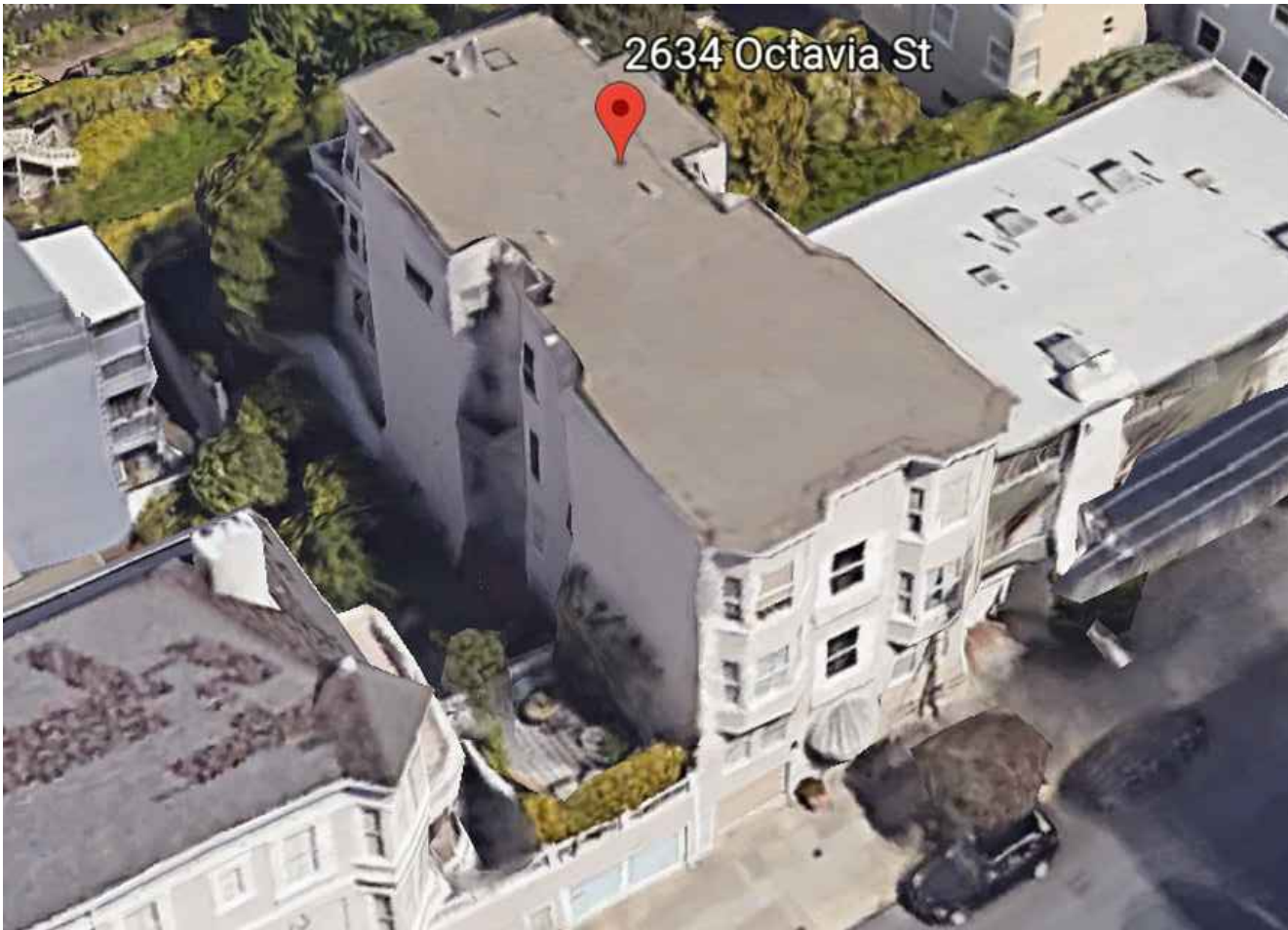
A0.1

SCALE: NONE  
DRAWN BY: MV/RV  
DATE: 8/17/2020

SITE LOCATION MAP



SITE AERIAL IMAGE



PROJECT TEAM

**CLIENT:**  
OWNER: PAUL GUERMONPREZ  
REPRESENTATIVE OF 2634 OCTAVIA STREET HOA  
2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123  
T: (415) 758-3366

**ENGINEERING FIRM:**  
ECR ENGINEERING  
1842 JEFFERSON STREET, #104  
SAN FRANCISCO, CA 94123  
T: (415) 205-3804  
ecrengineering@gmail.com

**GENERAL CONTRACTOR:**  
T.B.D.

PROJECT SCOPE

THE PROPOSED SCOPE OF WORK IS LIMITED TO REPLACING FIRE EGRESS STAIRS IN KIND, DUE TO SIGNIFICANT DRY-ROT DAMAGE, AND DEMO EXISTING ILLEGAL 3RD FLOOR DECK, LOCATED AT THE BACK OF THE SUBJECT BUILDING.

THE PROPOSED SCOPE OF WORK INCLUDES:

- (N) POSTS.
- (N) JOISTS, STRINGERS, AND BEAMS FOR STAIRS FRAMING.
- (N) GUARDRAILS & HANDRAILS.
- (N) ISOLATED PAD FOOTINGS.
- NO FIREWALL CONSTRUCTION.
- DEMO THE (E) ILLEGAL DECK.

**REVISION 1 TO (E) P.A. # 2020-0903-3412**

REVISE THE DRAWINGS TO KEEP THE EXISTING DECK AT THE 3RD STORY WHICH WAS SHOWN AS BEING REMOVED UNDER THE ORIGINAL PERMIT.

SEE PLANS FOR MORE DETAILS.

DRAWING INDEX	
A0.1	COVER SHEET & PROJECT INFORMATION
A1.1	SITE PLAN
A1.3	2ND FLOOR PLAN & 3RD FLOOR PLAN
A2.1	EXISTING ELEVATIONS
A2.2	PROPOSED ELEVATIONS
A3.1	PHOTOS OF EXISTING DECK & EGRESS STAIRS
S1.1	1ST FLOOR/FOUNDATION PLAN & 2ND FLOOR FRAMING PLAN & 3RD FLOOR FRAMING PLAN

CODE COMPLIANCE AND PROJECT INFORMATION

THE PROJECT IS LOCATED IN THE CITY OF SAN FRANCISCO, CALIFORNIA. THE DESIGN WILL BE IN ACCORDANCE WITH THE FOLLOWING BUILDINGS CODES AND DESIGN STANDARDS:

- 2019 SAN FRANCISCO FIRE CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA EXISTING BUILDING CODE
- 2019 SAN FRANCISCO EXISTING BUILDING CODE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), 15TH EDITION
- AMERICAN CONCRETE INSTITUTE, ACI 318-19
- 2018 AMERICAN WOOD COUNCIL NATIONAL DESIGN SPECIFICATION (NDS)
- 2018 AMERICAN WOOD COUNCIL SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC (SDPWS)

THE BUILDING PROPERTIES ARE:

LOT SIZE:	2,600 SF
BUILDING AREA:	UNKNOWN
ORIGINAL CONST DATE:	1904
ORIGINAL BUILDING CODE:	PRE-CODE ERA
PROPERTY CLASS:	MULTI-FAMILY
ZONING:	RH-2
TYPE OF CONSTRUCTION:	V-B
# OF UNITS:	7
# OF STORIES:	3 + BASEMENT
OCCUPANCY:	R-2
SPRINKLERS:	NON-SPRINKLERED





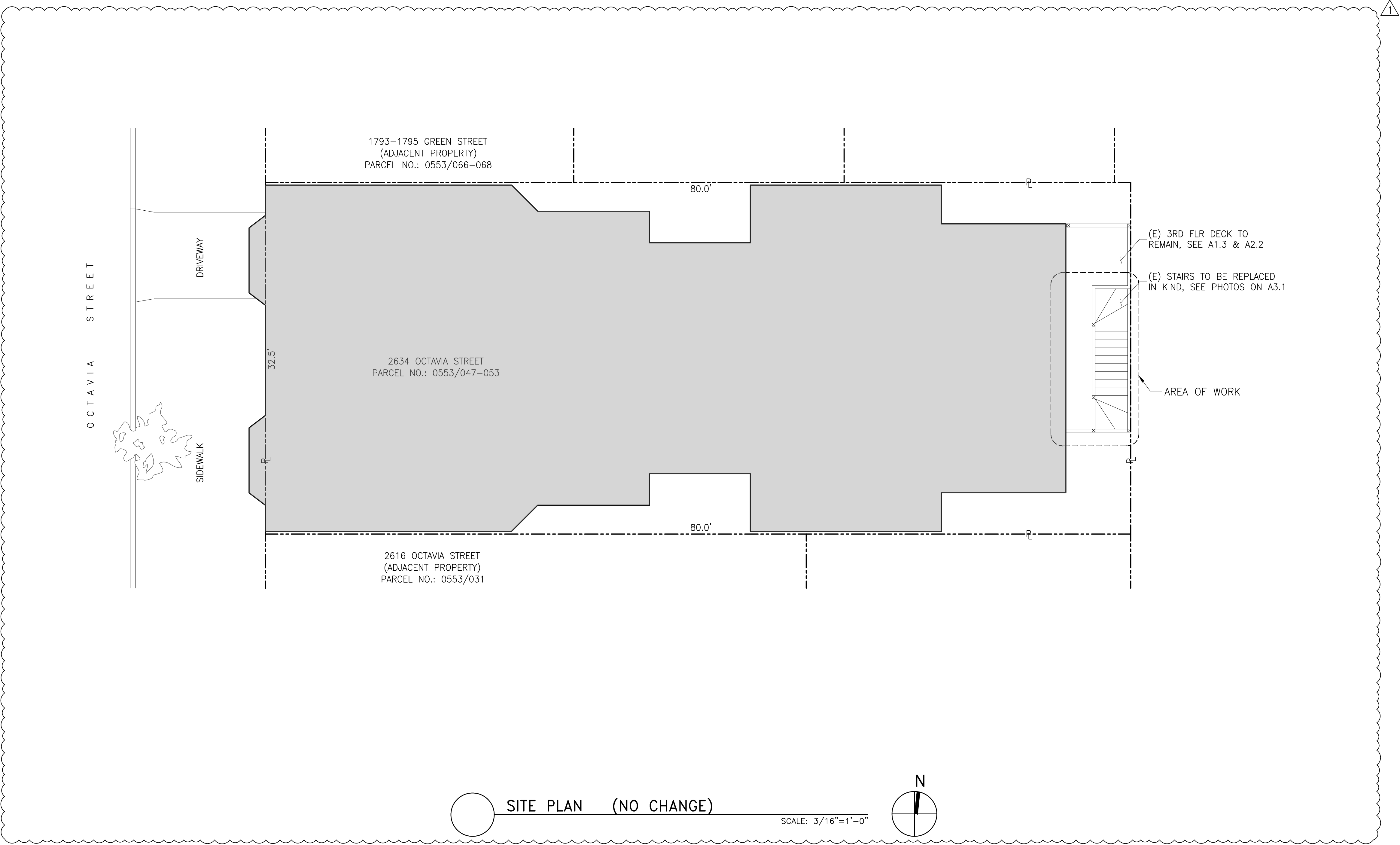
SITE PLAN

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

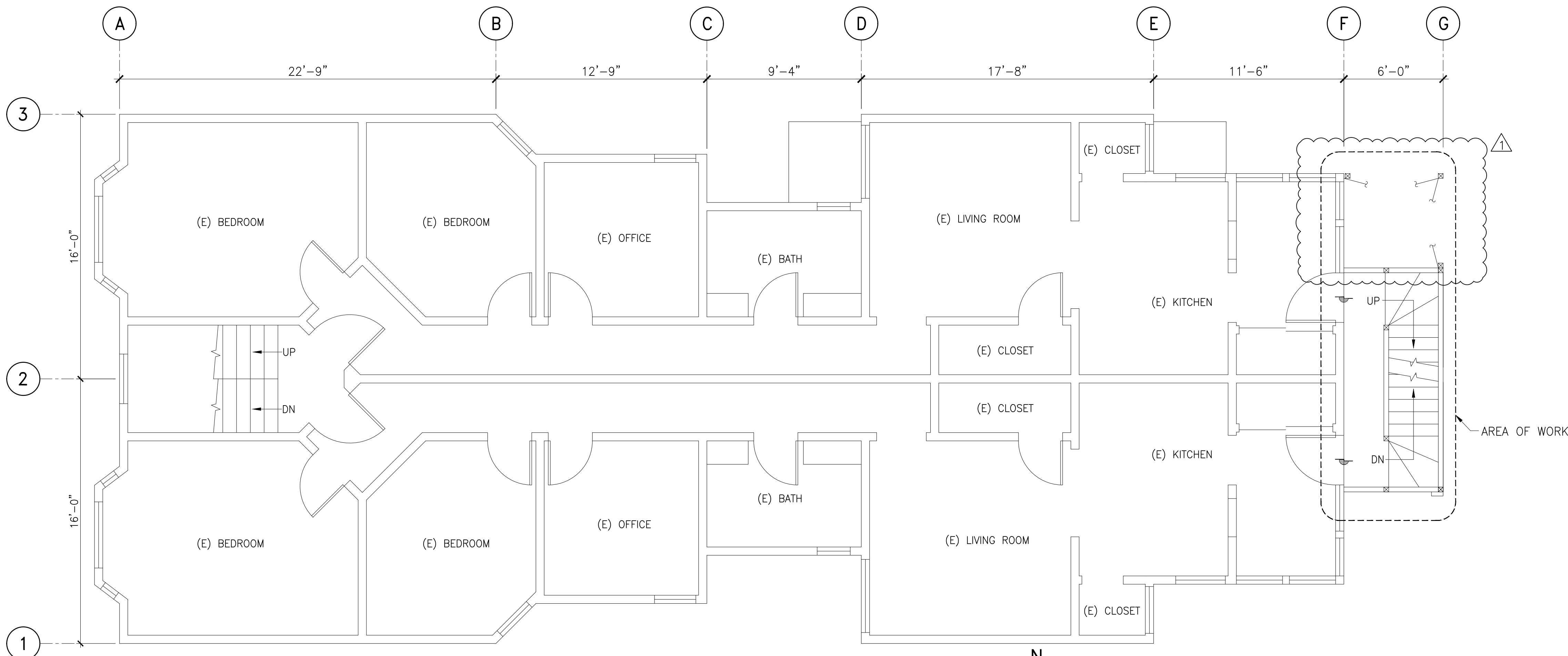
REVISIONS	BY
1/26/2021	EY

NOT FOR  
CONSTRUCTION

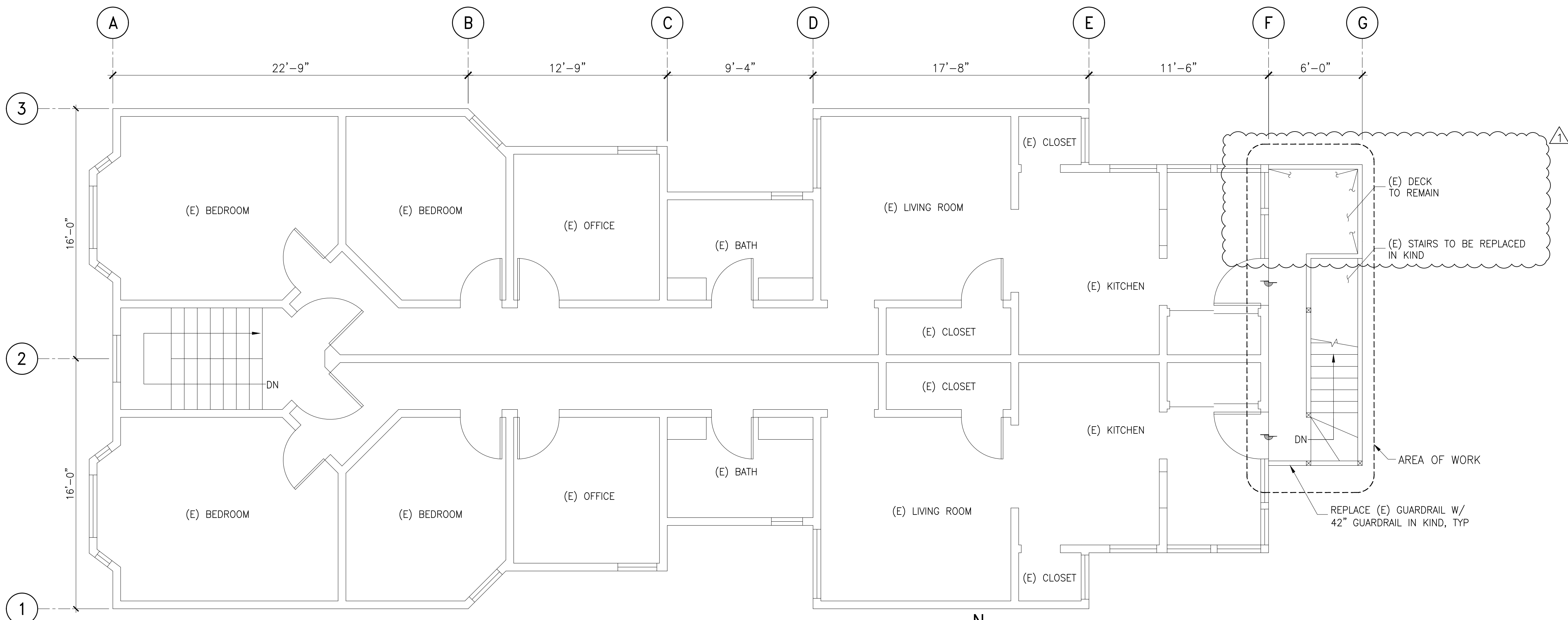
SHEET NO.  
  
A1.1  
  
SCALE: AS SHOWN  
DRAWN BY: MV/RV  
DATE: 8/17/2020



SITE PLAN (NO CHANGE)  
SCALE: 3/16"=1'-0"



2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"



3RD FLOOR PLAN  
SCALE: 1/4"=1'-0"

PLAN NOTES

1. ALL ROOMS SHOW EXISTING CONDITIONS, FOR REFERENCE ONLY.



2ND FLOOR  
PLAN  
&  
3RD FLOOR  
PLAN

2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY
1/26/2021	EY


NOT FOR  
CONSTRUCTION

SHEET NO.

A1.3

SCALE:	AS SHOWN
DRAWN BY:	MV/RV
DATE:	8/17/2020



REVISIONS	BY
1/26/2021 	EY

NOT FOR  
CONSTRUCTION

SHEET NO.

A2.1

SCALE: AS SHOWN

DRAWN BY: MV/RV

DATE: 8/17/2020



EXISTING SOUTH ELEVATION

SCALE: N.T.S.




EXISTING EAST ELEVATION

SCALE: N.T.S.



EXISTING NORTH ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS	BY
1/26/2021 	EY

NOT FOR CONSTRUCTION

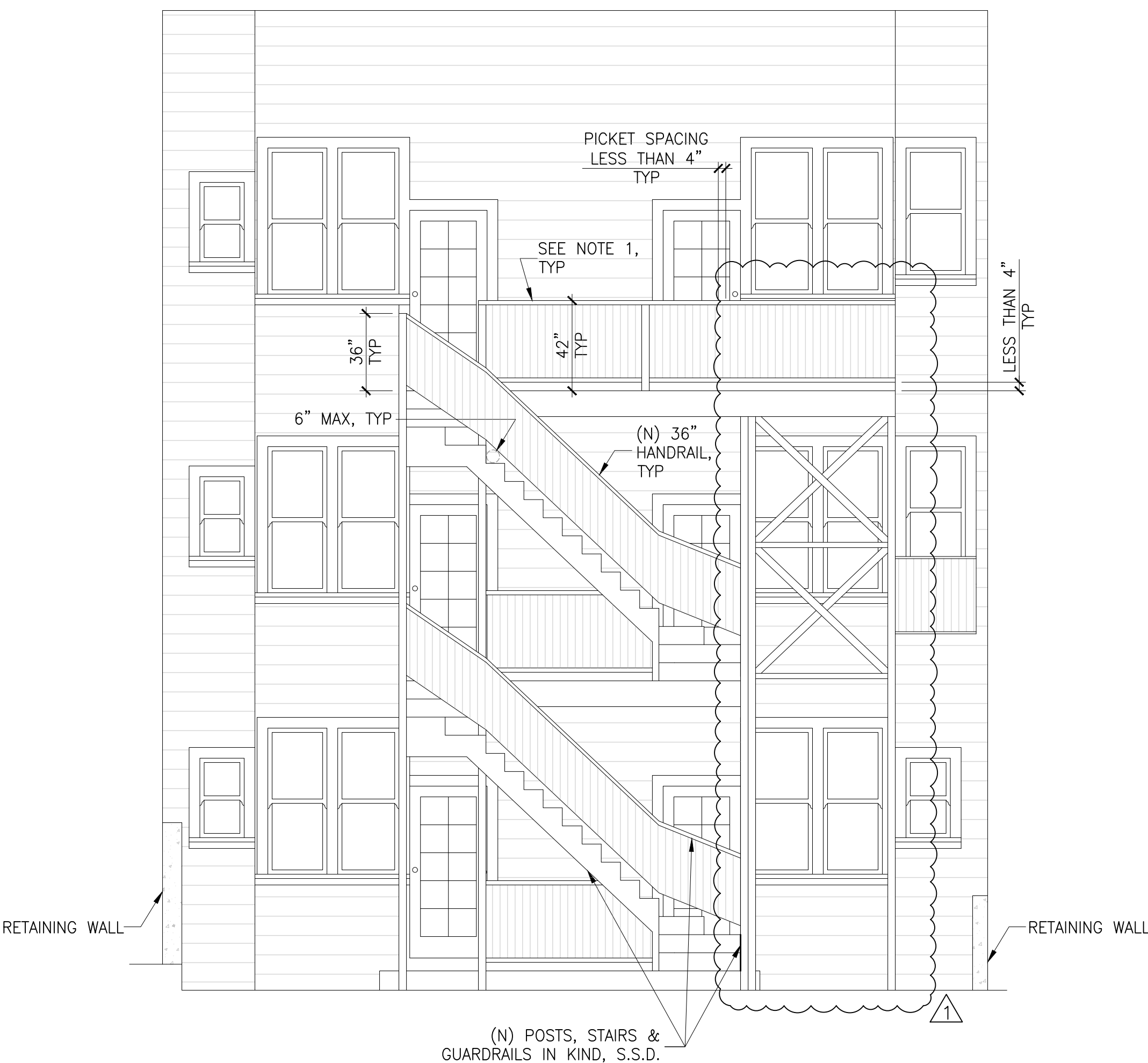
SHEET NO.

A2.2

SCALE:	AS SHOWN
DRAWN BY:	MV/RV
DATE:	8/17/2020

PLAN NOTES

1. NEW GUARDRAILS SHALL BE 42" ABOVE THE FINISHED DECK, WITH PICKET SPACING TO BE LESS THAN 4". FOR TYPICAL GUARDRAIL, SEE DETAILS 6 & 11 ON S2.1.



PROPOSED SOUTH ELEVATION

SCALE: N.T.S.

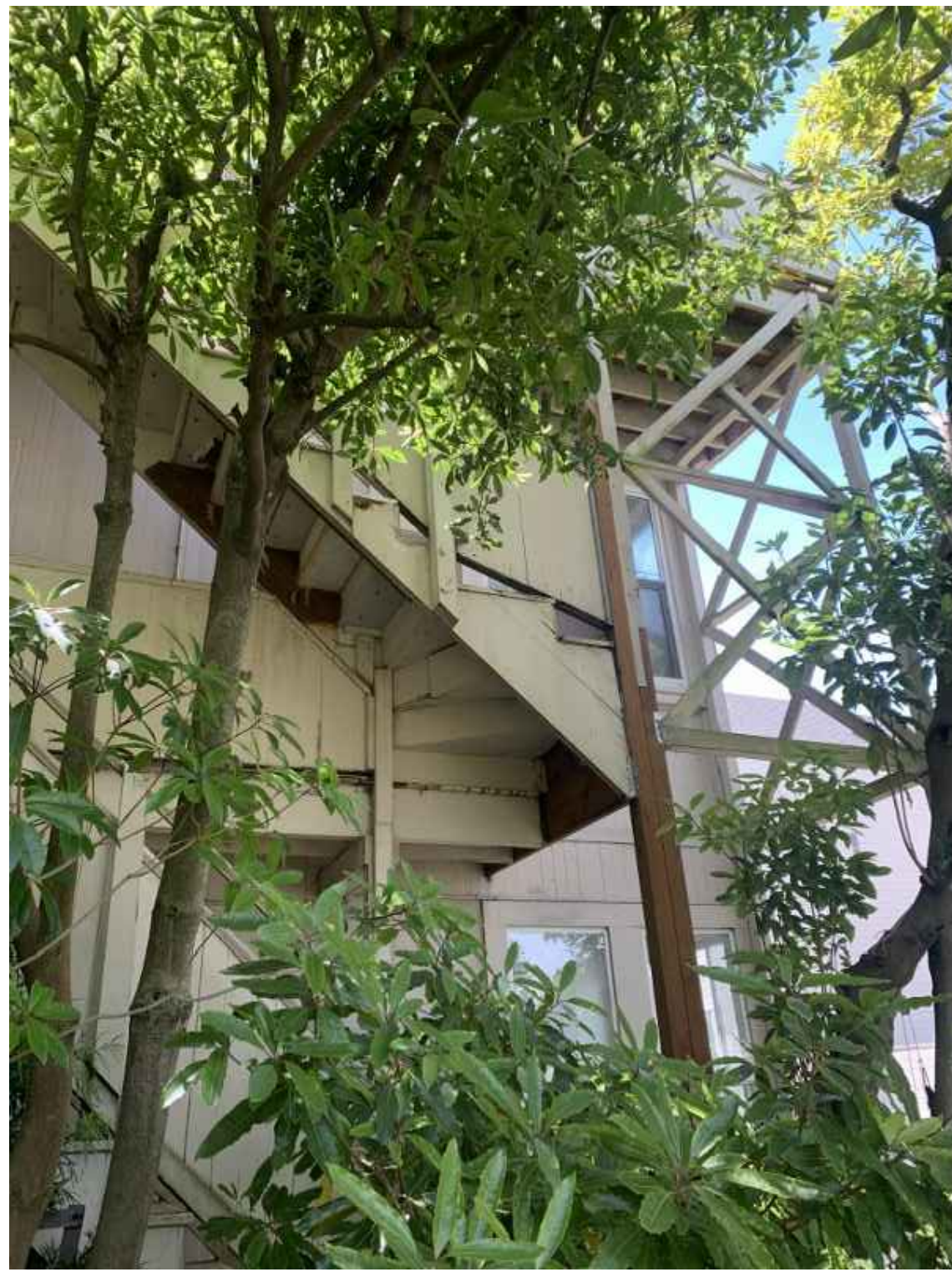
PROPOSED EAST ELEVATION

SCALE: 1/4"=1'-0"

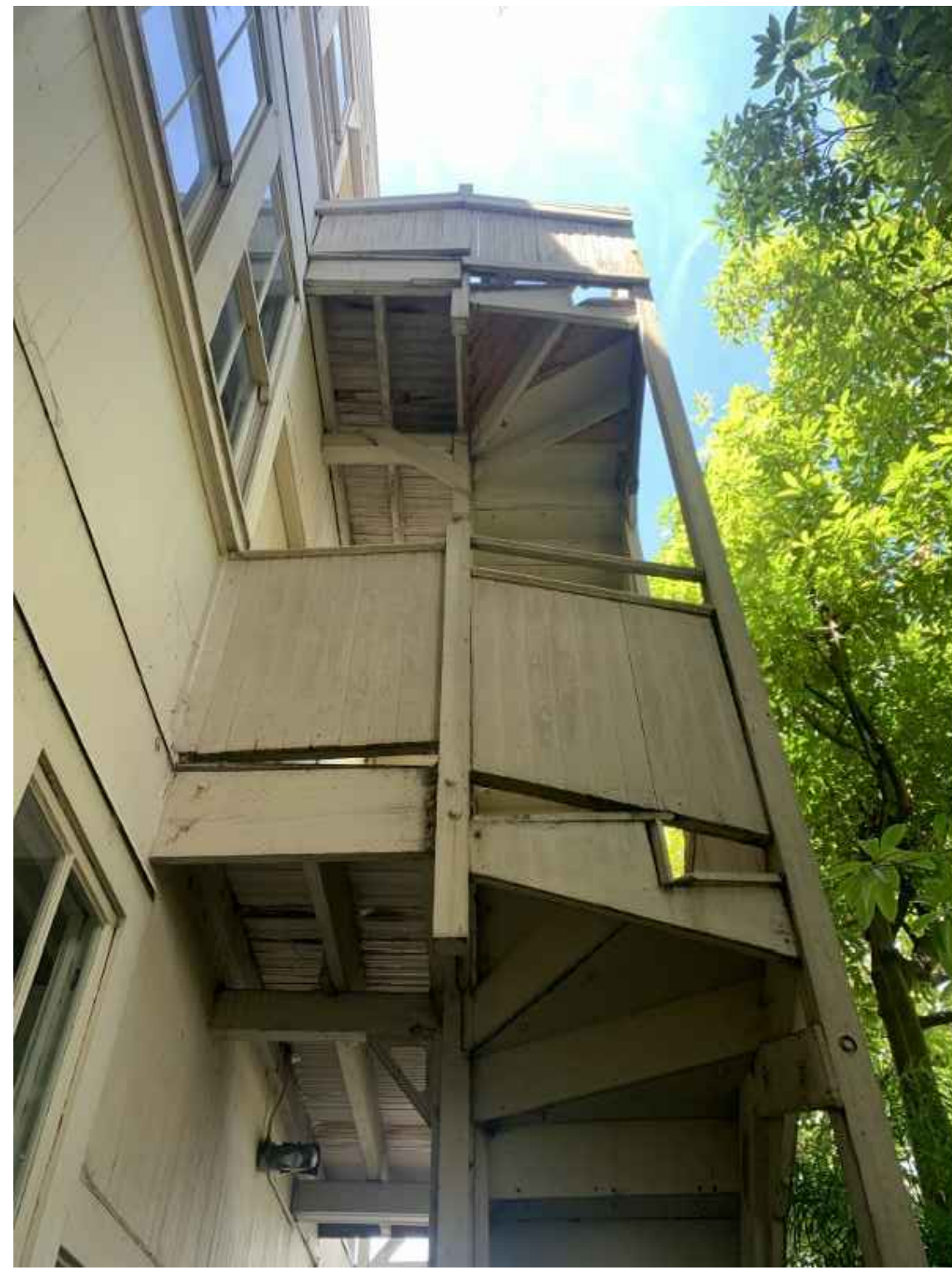
PROPOSED NORTH ELEVATION

SCALE: 1/4"=1'-0"





1 (E) FIRE STAIRS TO BE DEMO'D



2 (SOUTH) SIDE ELEVATION OF THE FIRE STAIRS



3 (E) 3RD FLOOR DECK TO REMAIN



4 1ST FLOOR STAIRS



5 1ST FLOOR STRINGERS, POSTS, & FOOTINGS



6 TYPICAL DAMAGED SLOPING LANDING



7 TYPICAL DRY-ROTTED POST



8 TYPICAL DRY-ROTTED STRINGER

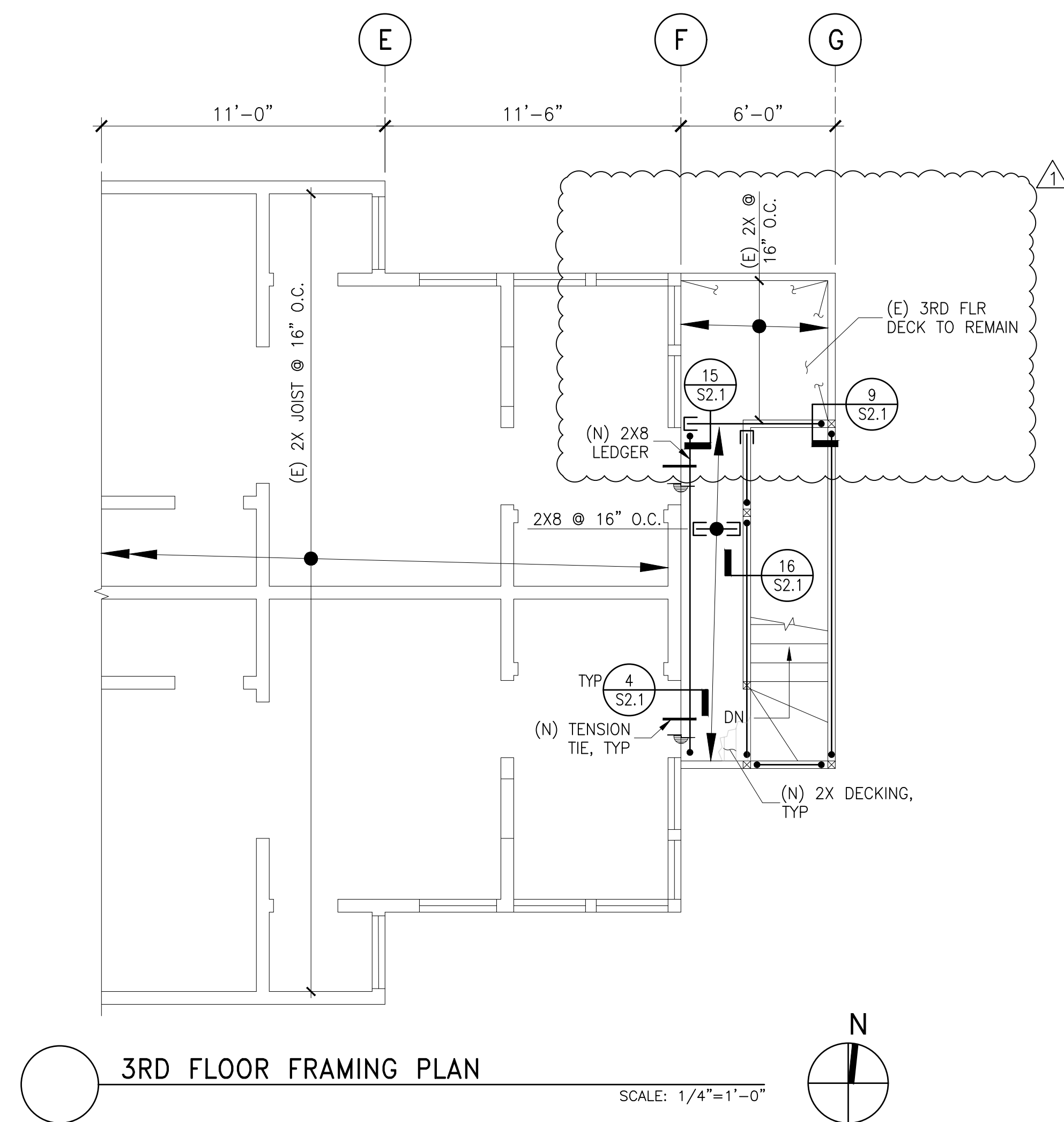
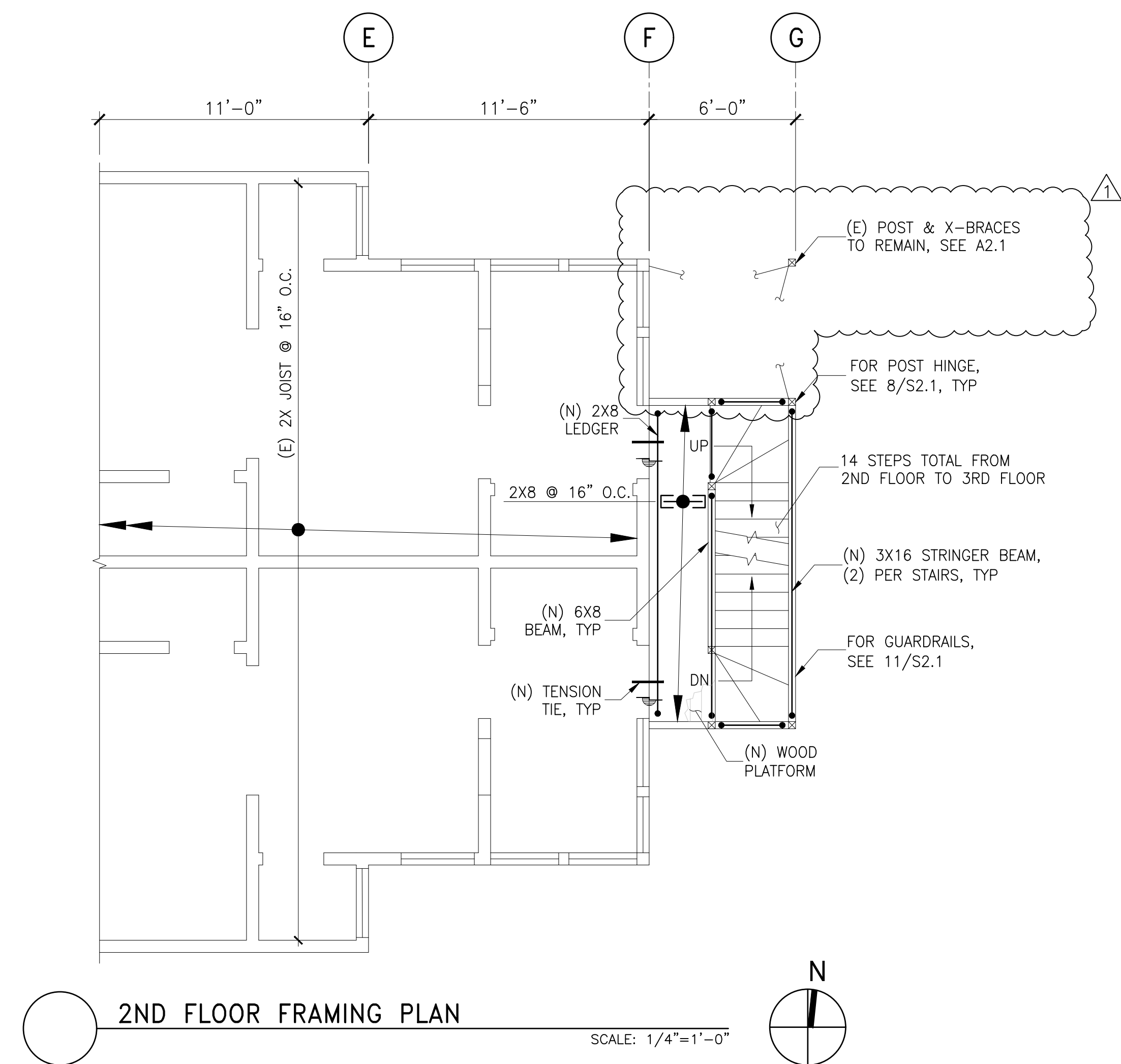
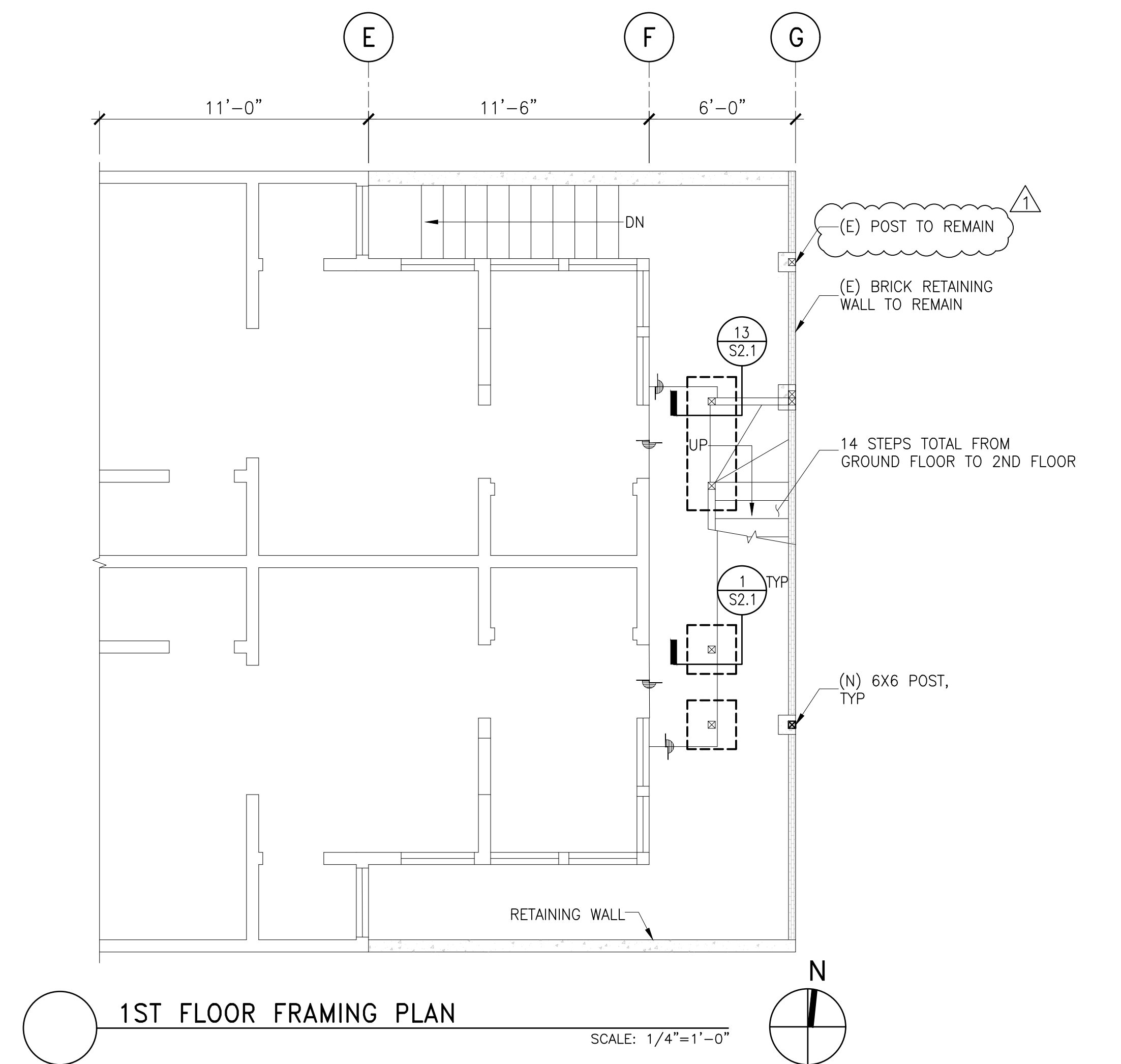
REVISIONS	BY
1/26/2021	EY

NOT FOR  
CONSTRUCTION

SHEET NO.  
A3.1

SCALE: AS SHOWN  
DRAWN BY: MV/RV  
DATE: 8/17/2020





#### PLAN NOTES

1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION, MATERIALS, SHOP DRAWINGS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION, AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES.
3. CONTRACTOR SHALL USE GALVANIZED NAILS AND SCREW. ALL WOOD MEMBERS TO BE PRESSURE TREATED.
4. CONTRACTOR SHALL CONFIRM THE DIMENSION AT FIELD, AND SHALL NOTIFY THE ENGINEER IF IT CHANGES DUE TO STAIRS TREAD AND RISER HEIGHTS.
5. FOR TYPICAL POST HINGE CONNECTION, SEE 8/S2.1.
6. FOR TYPICAL GUARDRAIL DETAILS, SEE 15/S2.1 & 16/S2.1.



1ST FLOOR/  
FOUNDATION PLAN  
&  
2ND FLOOR  
FRAMING PLAN  
&  
3RD FLOOR  
FRAMING PLAN

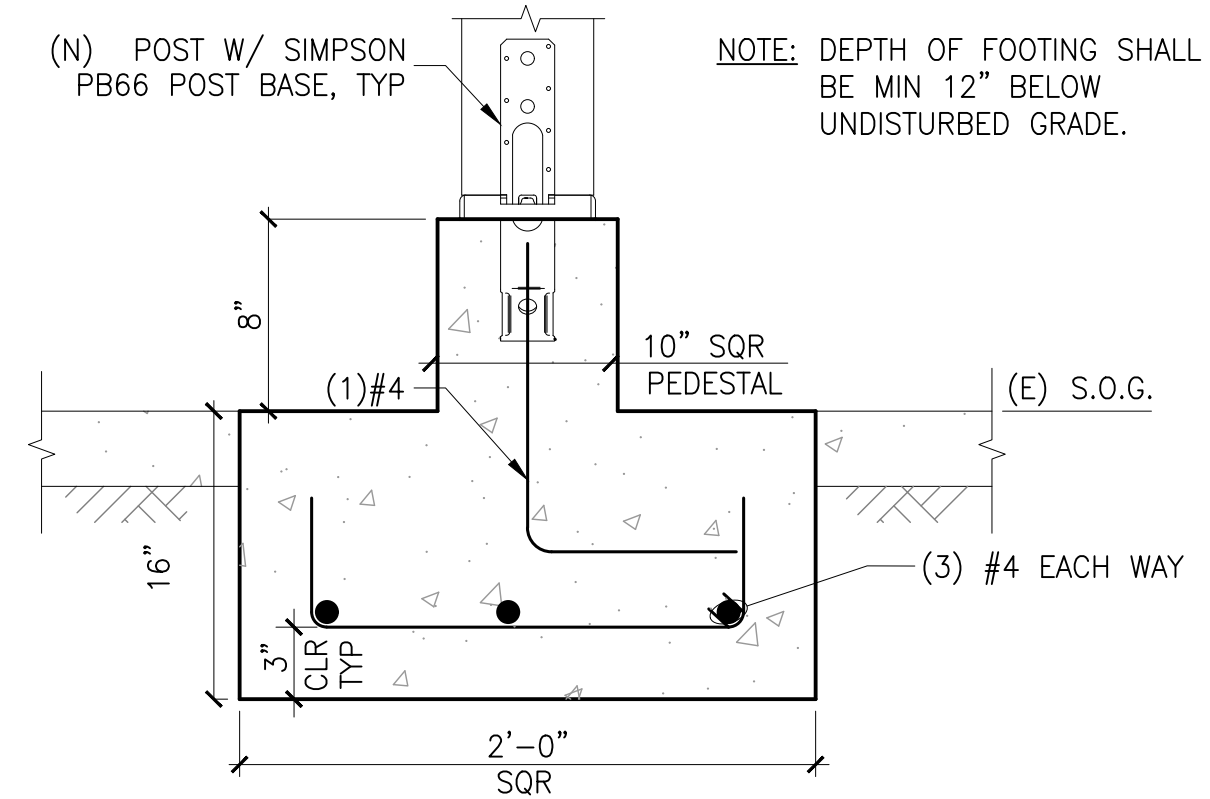
2634 OCTAVIA STREET  
SAN FRANCISCO, CA 94123

REVISIONS	BY
1/26/2021	EY

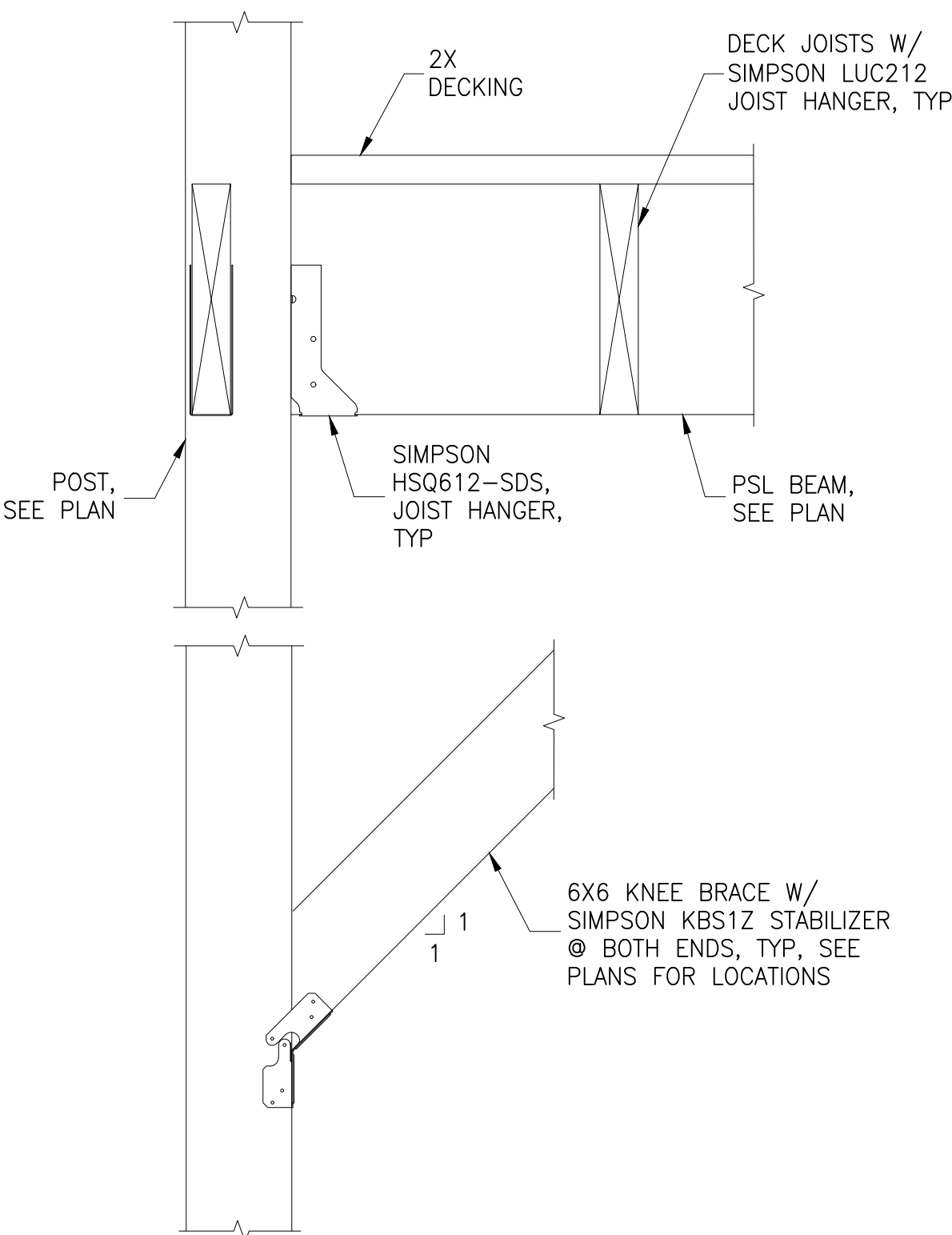
NOT FOR  
CONSTRUCTION

SHEET NO.  
S1.1

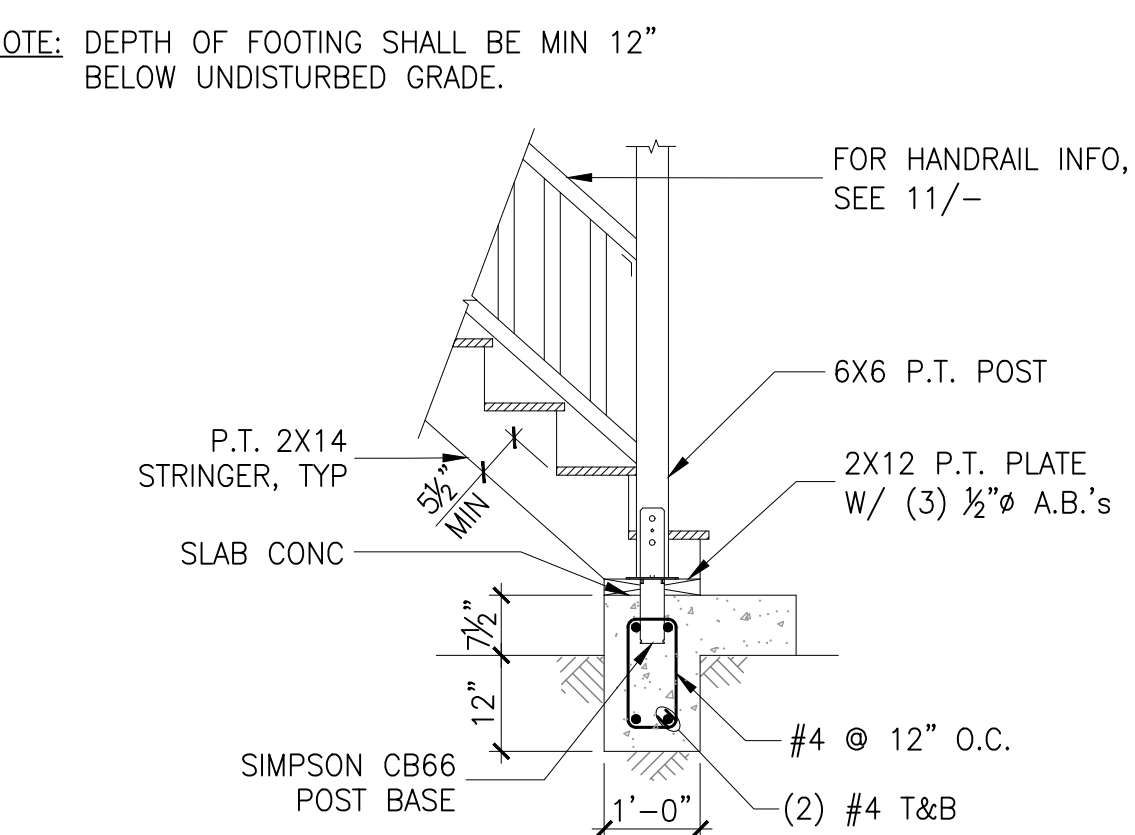
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DRAWN BY: MV/RV  
DATE: 8/17/2020



1 SECTION SCALE: N.T.S.



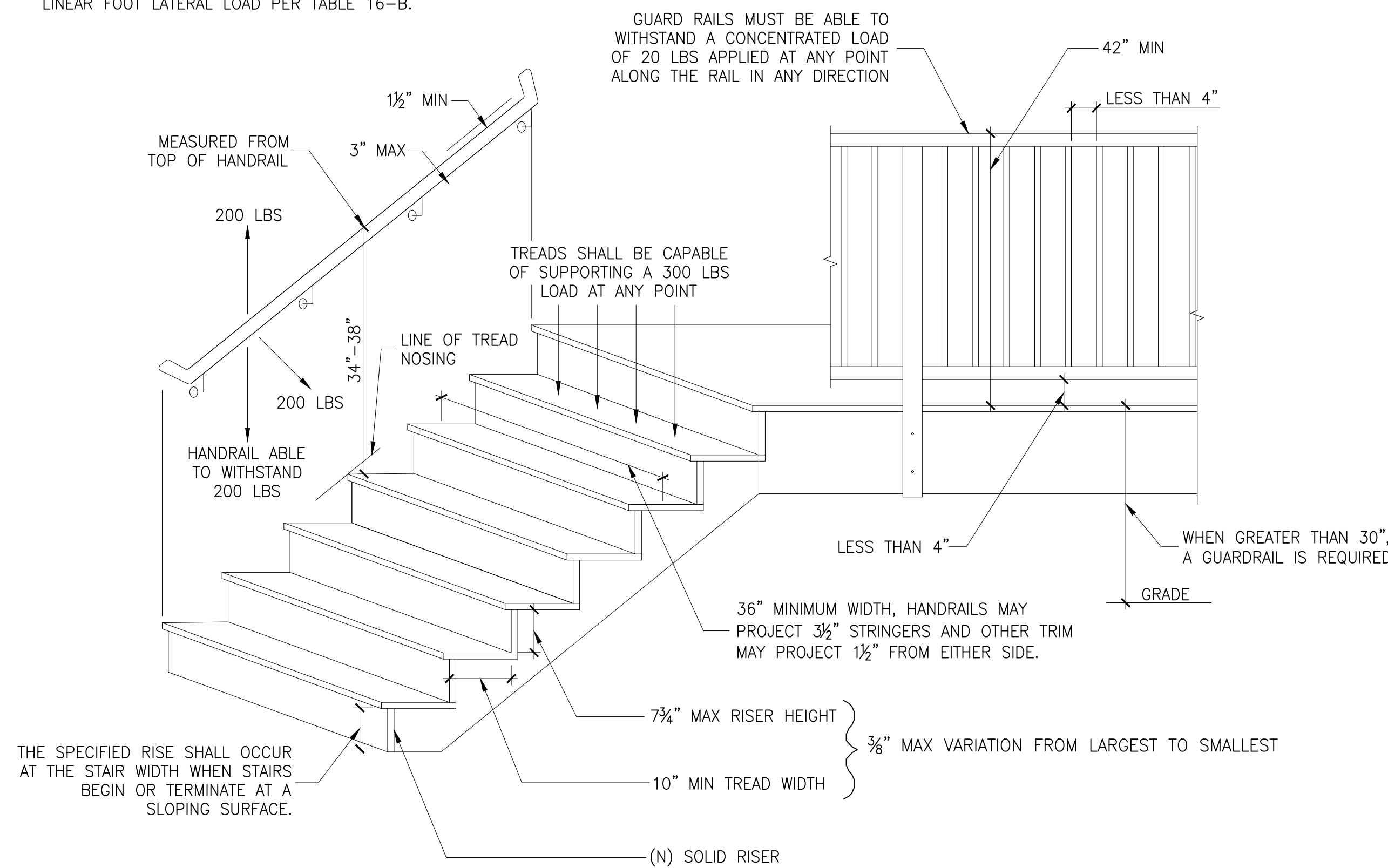
9 SECTION SCALE: N.T.S.



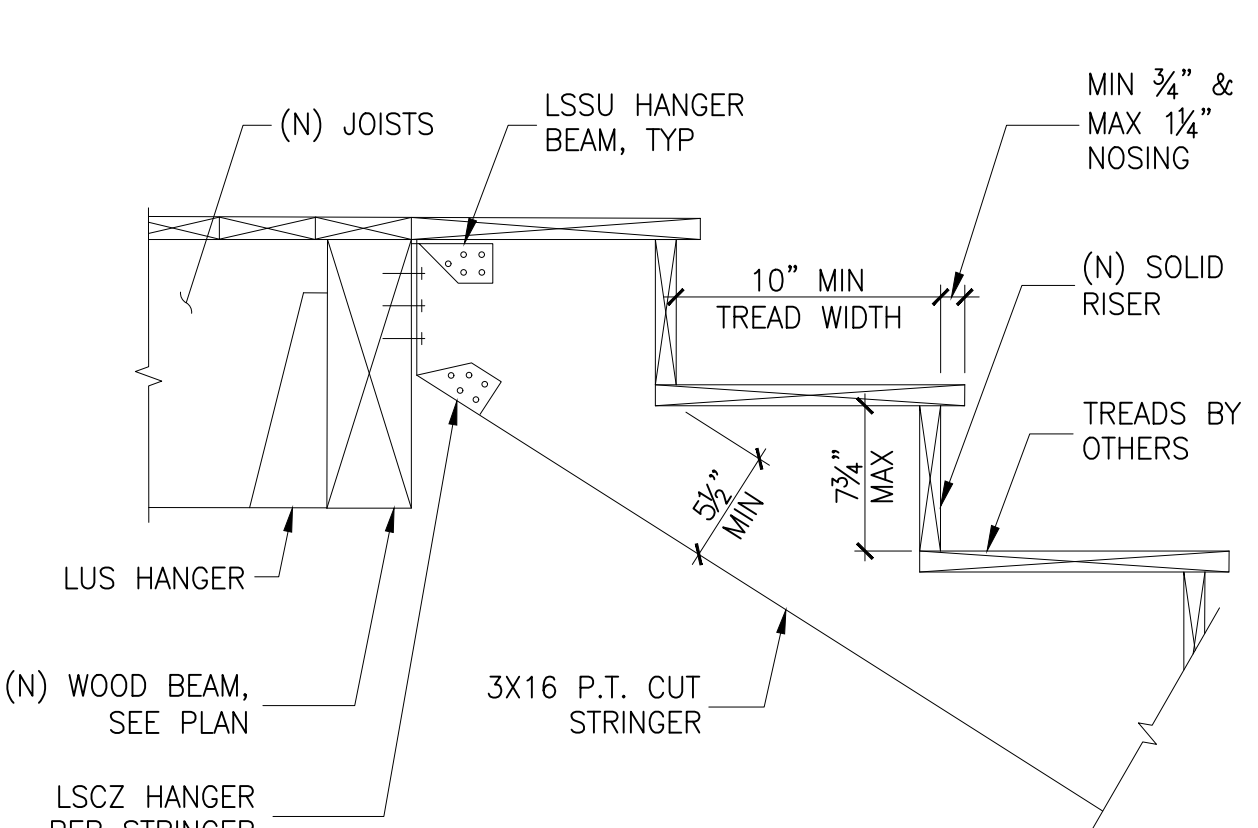
13 (N) EXTERIOR LANDING SCALE: N.T.S.

GENERAL STAIR NOTES:

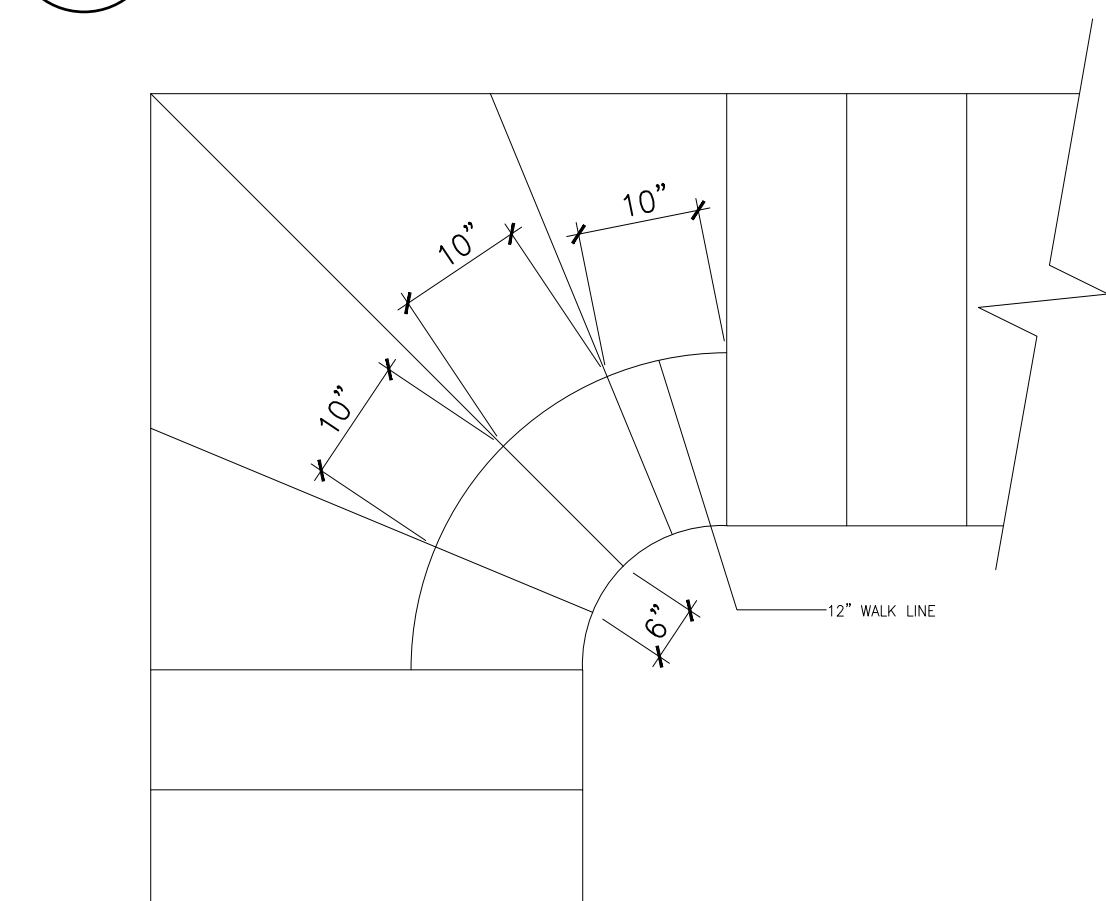
1. STAIR TO BE MINIMUM 36" WIDE WITH MINIMUM HEADROOM OF 6'-8". FIRE BLOCKING TO BE PROVIDED BETWEEN STAIR STRINGERS AND STUD WALL.
2. STAIR GUARD RAILS SHALL BE ABLE TO RESIST A 20 LBS PER LINEAR FOOT LATERAL LOAD PER TABLE 16-B.



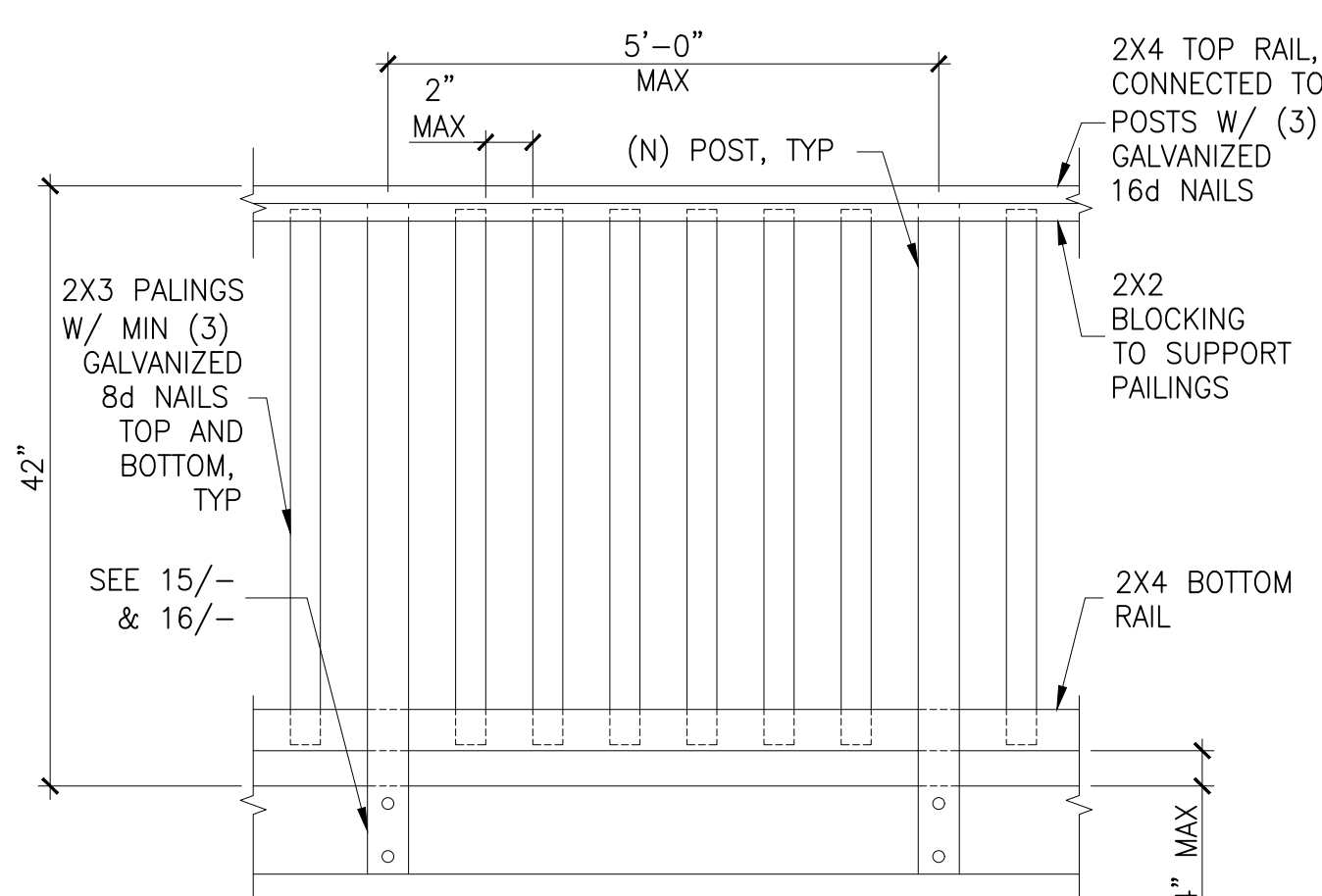
6 STAIR DETAILS SCALE: N.T.S.



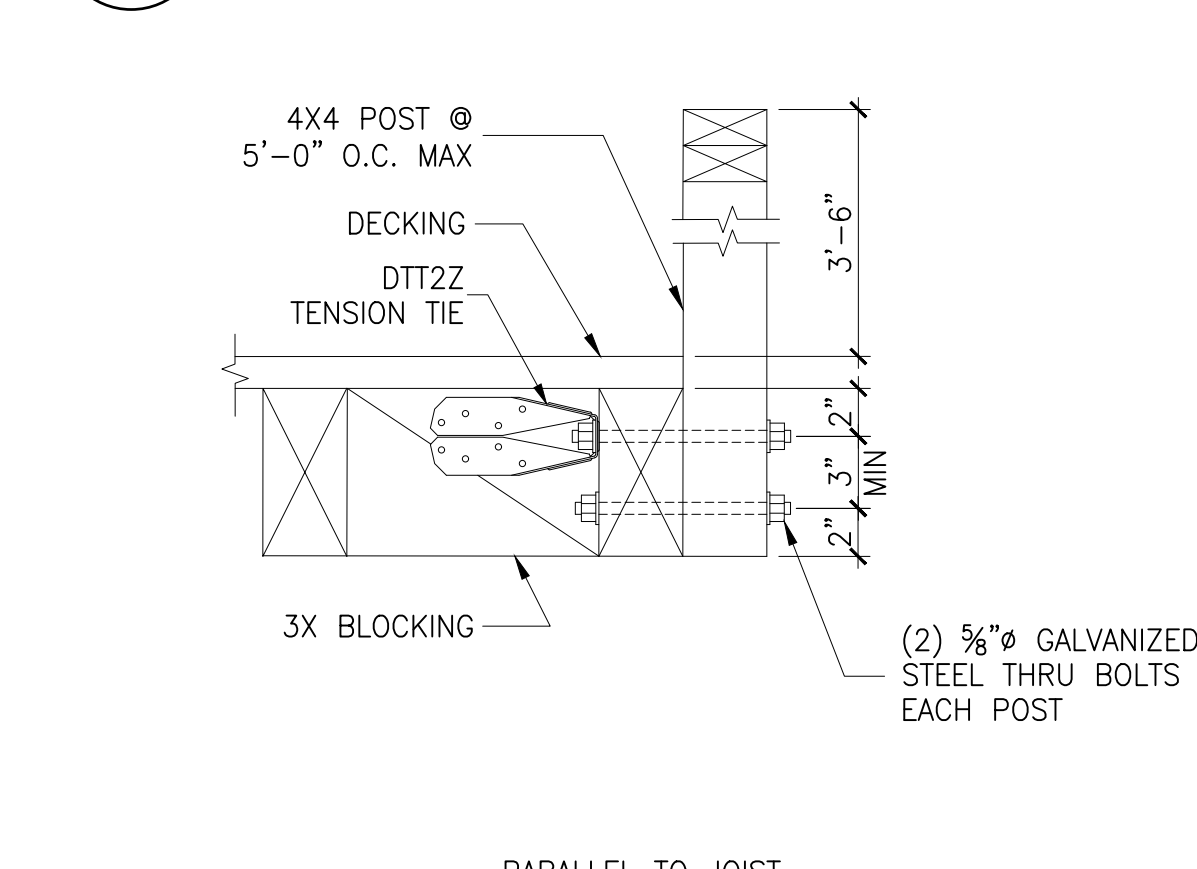
10 TYPICAL WOOD STAIRS SCALE: N.T.S.



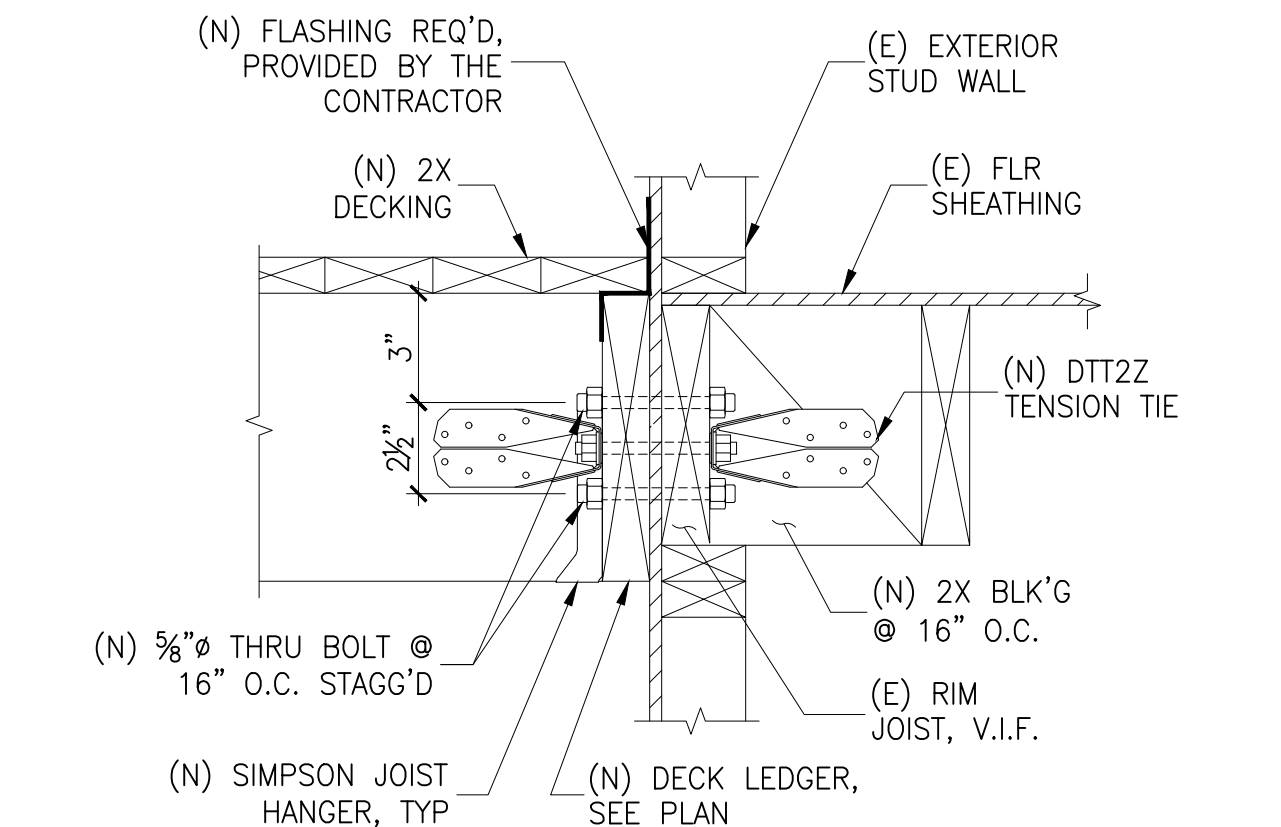
14 STAIR WINDERS DETAIL SCALE: N.T.S.



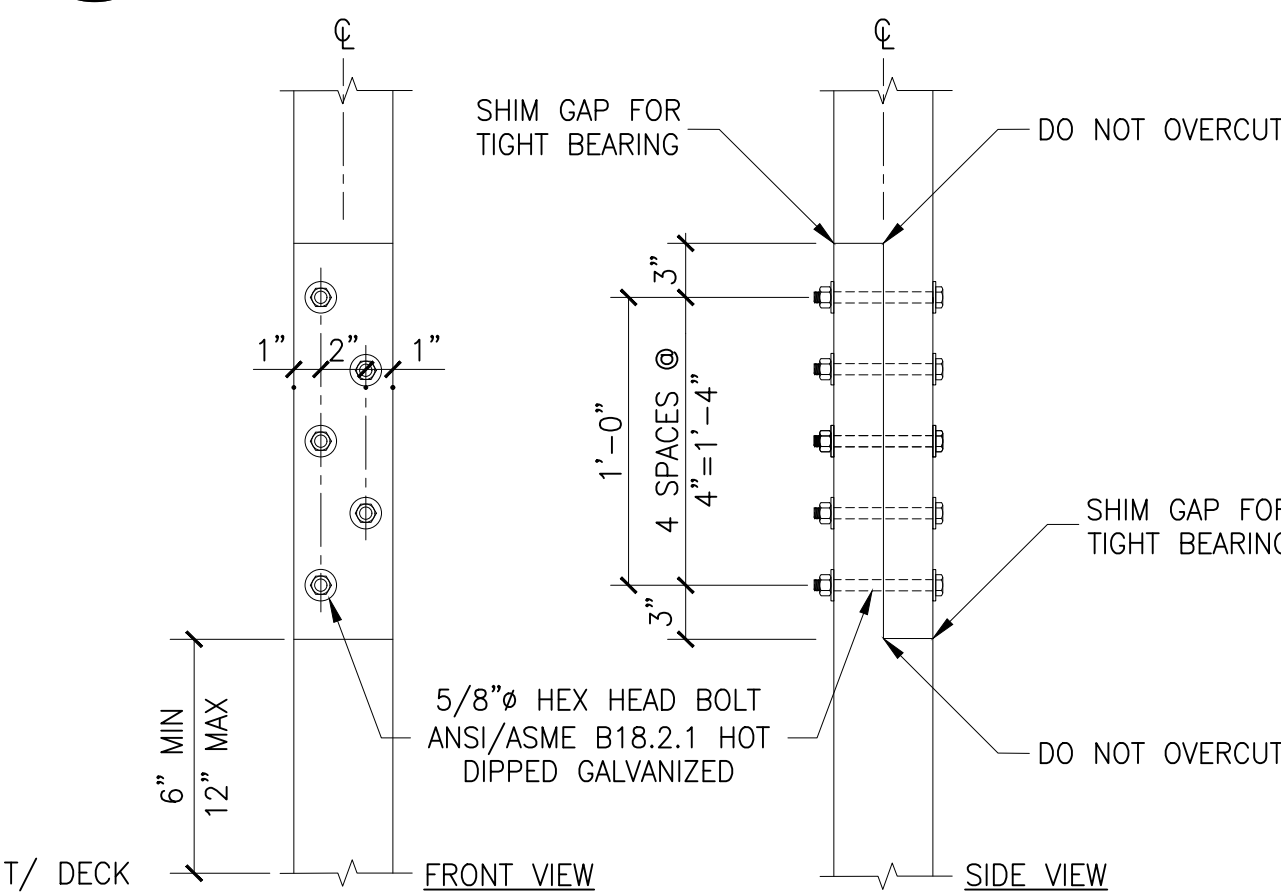
11 TYPICAL GUARDRAIL DETAIL N.T.S.



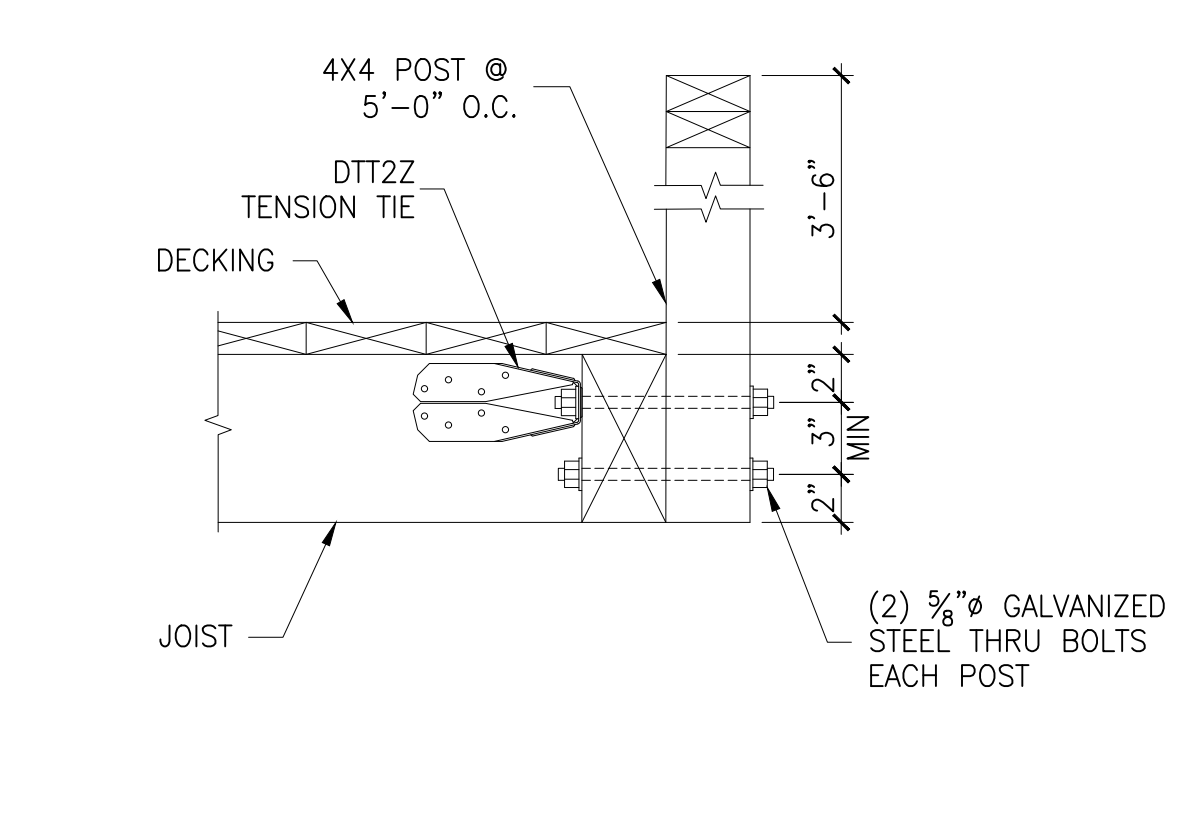
15 RAILING DETAIL TO WOOD JOIST N.T.S.



4 DECK LEDGER CONNECTION SCALE: N.T.S.



8 POST HINGE CONNECTION DETAIL N.T.S.



16 RAILING DETAIL TO WOOD JOIST N.T.S.