

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
CYNTHIA YEE, _____)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION, _____)
PLANNING DEPARTMENT APPROVAL Respondent

Appeal No. **21-019**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on March 17, 2021, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on March 8, 2021 to Ricky Dung, of a Site Permit (horizontal & vertical addition; addition to the rear of existing 2-story building) at 2019 23rd Avenue.

APPLICATION NO. 2018/08/30/8786

FOR HEARING ON May 5, 2021

Address of Appellant(s):

Address of Other Parties:

Cynthia Yee, Appellant(s)
2015 23rd Avenue
San Francisco, CA 94116

Ricky Dung, Carol Zhen, Determination Holder(s)
c/o Ronald Yu, Agent for Determination Holder(s)
Yuflex Engineering
5418A Geary Boulevard
San Francisco, CA 94121



Date Filed: March 17, 2021

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 21-019

I / We, **Cynthia Yee**, hereby appeal the following departmental action: **ISSUANCE of Site Permit No. 2018/08/30/8786** by the **Department of Building Inspection** which was issued or became effective on: **March 8, 2021**, to: **Ricky Dung and Carol Zhen**, for the property located at: **2019 23rd Avenue**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **April 15, 2021, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, scott.sanchez@sfgov.org and ryu@yuflux.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **April 29, 2021, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy should be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, scott.sanchez@sfgov.org and cynthiasyee@gmail.com.

The Board's physical office is closed to the public and hard copies of the brief do NOT need to be submitted.

Only photographs and drawings may be submitted by the parties at the hearing.

Hearing Date: **Wednesday, May 5, 2021, 5:00 p.m.**, via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant or Agent (Circle One):

Signature: Via Email

Print Name: Cynthia Yee

Yee Family
2015 23rd AVE
San Francisco, CA 94116

March 16, 2021

To Whom It May Concern:

We are writing to file a Permit Appeal regarding the project at 2019 23rd AVE (Permit No: 0210218-138-OL / Application Number: 2018 0830 8786-S). We recently received a Notification of Structural Addition on March 8, 2021. After viewing the most recent submitted plans at the Records Management Division, we noticed that the plans submitted and approved were not the ones we had agreed upon back in June 2019.

We voiced our concerns regarding this project when it was announced in 2019, particularly because the proposed addition would negatively impact the solar access our house and backyard receive and subsequently, the property value of our house. As our backyard is only about 17' ft in depth, the proposed addition on the 1st floor would block the entire south side of the yard. Not only would the proposed 2nd floor addition run far beyond the depth of our backyard, but the plan also had the addition running parallel to our property for 5' ft.

After consulting the city planner (Gabriela Pantoja), we spoke to the architect, Andrew Kwok, to reach a compromise. Both parties agreed to having a 5'x5' corner removed from the right side of the 2nd floor addition. This would ensure that the addition would not run parallel to our property and allow for some light access. Andrew sent the revised plans over to us and Gabriela (emails attached), but the most recent plans have now reverted back to the original wherein "Bedroom 2" is flush against our property line for 5' ft.

Thus, we seek to Appeal as this was not the revised plan that both parties had agreed to. We ask that our neighbors at 2019 honor our original agreement and have the 5'x5' corner removed.

Sincerely,
Yee Family



Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Application Number:	201808308786
Form Number:	3
Address(es):	2143 / 005 / 0 2019 23RD AV
Description:	HORIZONTAL & VERTICAL ADDITION. ADDITION TO THE REAR OF (E) 2-STORY BUILDING
Cost:	\$300,000.00
Occupancy Code:	R-3
Building Use:	27 - 1 FAMILY DWELLING

Action Date	Stage	Comments
8/30/2018	TRIAGE	
8/30/2018	FILING	
8/30/2018	FILED	
3/8/2021	APPROVED	
3/8/2021	ISSUED	

License Number: 1003909
Name: YING HUI CHEN
Company Name: STAR LIGHT CONSTRUCTION INC
Address: 174 ELMIRA * SAN FRANCISCO CA 94124-0000
Phone:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CPB	9/5/18	9/5/18			9/5/18	TORRES SHIRLEY	
2	CP-NP	5/3/19		5/3/19	5/9/19	6/19/19	PANTOJA GABRIELA	Emailed cover letter on 5/3/2019 (William) Mailed 311 notice on 5/20/2019; expires 6/19/2019 (William)
2	CP-ZOC	9/5/18	10/23/18	1/2/19	5/3/19	6/28/19	PANTOJA GABRIELA	Approved the construction of a two-story horizontal addition at the rear of an existing two-story single family residence. At the first floor, the addition will be approximately 20 feet in depth and 20 feet in width. At the second floor, the addition will be approximately 17 feet in depth and at maximum 20 feet in width. GP 06/28/2019 Sent NOPDR. GP 1/2/2019
3	BLDG	7/1/19	7/3/19			7/11/19	LOVE GARY	otc not applied
4	BLDG	7/11/19	7/19/19	7/19/19		1/9/21	FINNEGAN JOHN	(WKP999) Approved Site Plan
5	DPW-BSM	7/22/19	7/23/19			7/23/19	ZHOU ANDY	Approved SITE Permit only. 7/23/19: ADDENDUM requirement(s) for sign off: Minor Sidewalk Encroachment (Existing pavers and driveway). Download sidewalk application(s) at http://www.sfpublicworks.org/services/permits/application-forms and submit them at 1155 Market, 3rd Floor. Your construction addendum will be ON-HOLD until all necessary permit(s) are approved or the assigned BSM



								plan checker(s) may recommend sign off to the satellite office via email. Please call BSM main office at (415) 554-5810 or view http://www.sfpdpublicworks.org/informationalbrochures for permit application information. -AZ
6	SFPUC	7/24/19	7/25/19			7/25/19	HELLER MORGAN	Capacity Charge not applicable. No change in meter size, not enough fixtures added to warrant a larger meter. Route to PPC - 07/25/2019
7	CP-ZOC	1/11/21	2/1/21			2/1/21	PANTOJA GABRIELA	Re-stamp revised plan sets. GP 2/1/2020
8	DPW-BSM	2/3/21	2/9/21			2/9/21	THEO DEVINE DAVID	Approved SITE Permit only 2/9/21. ADDENDUM requirement(s) for sign off: Minor Sidewalk Encroachment (Existing pavers and driveway), Inspection Right-of-Way Conformity (final inspection), Bureau of Urban Forestry (new street tree). Download sidewalk application(s) at http://www.sfpdpublicworks.org/services/permits/application-forms and submit electronically to bsmpermitdivision@sfpd.org (sidewalk) and/or urbanforestry@sfpd.org (trees/landscaping) Only new trees can be applied ONLINE and UPLOAD plans through http://bsm.sfpd.org/buftrees2/treeplanting.aspx . Your construction addendum will be ON-HOLD until all necessary permit(s) are approved or the assigned BSM plan checker(s) may recommend sign off to the satellite office via email. Please call the office at (628) 271-2000 or email at bsmpermitdivision@sfpd.org for more information. -TD
9	SFPUC	2/10/21	2/11/21			2/11/21	WONG KENDRICK	Restamp. Route to PPC. 02/11/2021
10	DFCU	2/11/21	2/11/21			2/11/21	BLACKSHEAR JOHN	2/11/21: Planning entered a Child Care impact fee on this permit. It will be collected at addenda #1 issuance.
11	PPC	1/11/21	1/11/21			2/12/21	LUA NATALIE	2/12/21: to CPB; NL 2/11/21: QC'd to DFCU; NL 2/10/21: To SFPUC to review and stamp revised sets; NL 02/03/21: To BSM;ME 1/11/21: To DCP to review and stamp revised sets, then BSM & PUC; HP 7/25/19: to HOLD bin pending BLDG approval; am 7/24/19: to PUC; am 7/22/19: to BSM; cp 7/11/19: To BLDG; HP 7/1/19: to BLDG;EC. 6/21/19: S/R1 to DCP; HP
12	CPB	2/12/21	2/18/21			3/8/21	CHEUNG DEREK	3/8/21: released to Permit Center for customer p/u. -dc 2/18/2021: Extension fee required. 1st extension fee \$860.85. When pay fee, new cancel date: 6/20/2021.ay 2/18: called owner for e-mail to send invoice. -dc

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Online Permit and Complaint Tracking](#) home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our [FAQ area](#).



BRIEF(S) SUBMITTED BY APPELLANT(S)

Yee Family
Jeffrey Yee and Jenny Yee
2015 23rd Ave
San Francisco, CA 94116

April 13, 2021

Dear Board of Appeals,

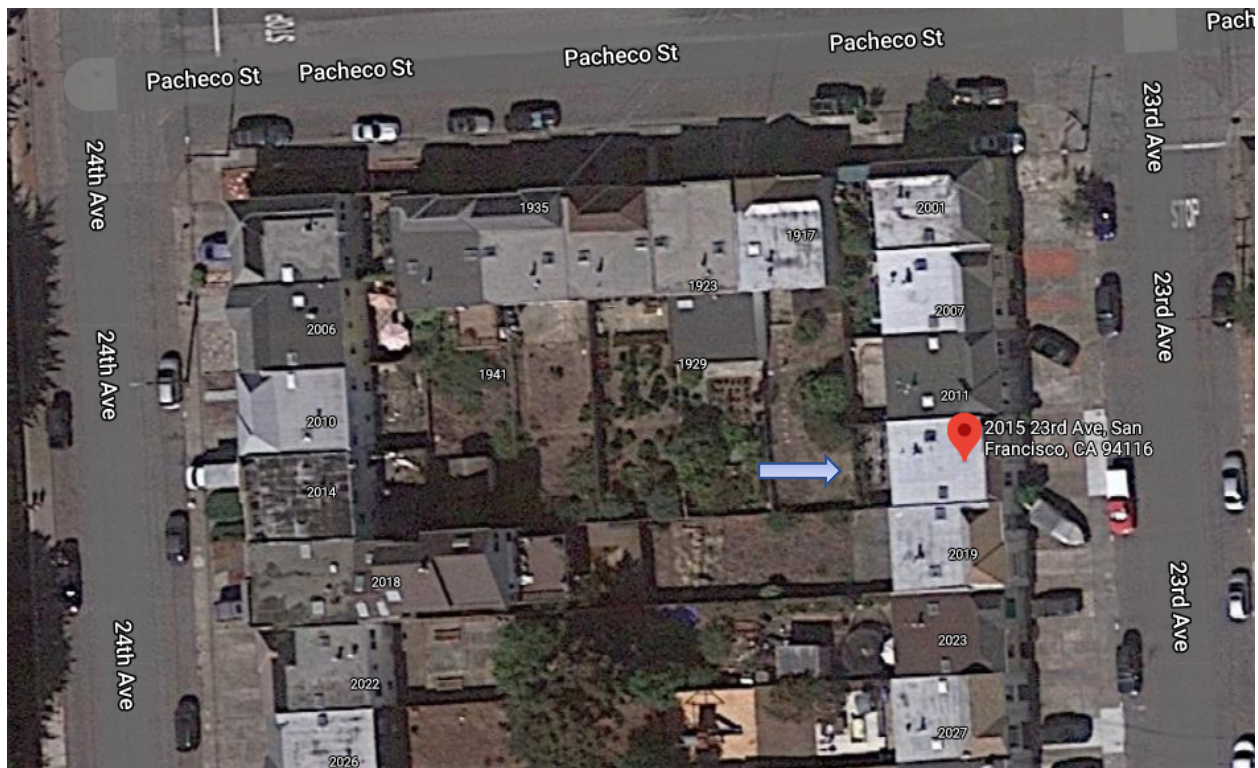
We are writing to appeal the project at 2019 23rd AVE (Permit No: 0210218-138-OL / Application Number: 2018 0830 8786-S). Although our Appeal Application statement mentioned the submission of the original plan, rather than a revised plan, we now want to use this opportunity before the Board to ask that it consider the impact that this addition would have on our home and overall livelihood.

We have lived at 2015 23rd AVE, the house adjacent to 2019, since 1995. For more than 25 years, this has been our home – where we raised and watched our two children grow into adults, where we finally bought a house of our own after renting apartments and basement units, and where we made priceless memories with family and friends. Our home is our sanctuary and where we as a family could reconvene after grueling days at work or laborious days at school. As first-generation Chinese immigrants, our parents, Jenny and Jeffrey, worked menial jobs (and still do, to this day) to support their children. Adapting to a new country, where you don't speak the language or have the education and means for upward mobility, was and remains a constant struggle. By purchasing the house, they firmly planted their roots down in San Francisco. Our home at 2015 is one of the few tangible sources of happiness and symbols of success.

When we originally heard our neighbors at 2019 wanted to add an addition to their home, we immediately expressed our hesitancy. The original architect, Andrew Kwok, held a Pre-Application Meeting in August 2018. Hearing about the original plans, we already knew that the proposed addition would significantly impact the solar access the back of our house and the yard would receive.

In the summer of 2019, we received a Notice of Building Permit Application. Again, the plans showed in greater detail a proposed 2-story addition that would extend 20' on the first floor and 17' on the second floor. **The depth of our backyard is only 17'. Not only would this addition cast a shadow on our property and block potential light access, but the addition would extend far beyond the depth of our backyard, creating a tunnel.**

Google Maps satellite screenshot below to show the stark difference between the depth of our backyard versus that of our neighbor's:



Zoomed in:



Per the notice, our options were to reach out to the Applicant (Andrew Kwok, at the time) and the City Planner (Gabriela Pantoja) to express our concerns regarding the project. We wrote letters to both parties (attached) in May 2019 detailing the impact this addition would have on our property, including reducing solar access, limiting the use of our outdoor space, and severely impacting our property value. In the letter to Andrew Kwok, we initially suggested a compromise of just a 1st floor addition.

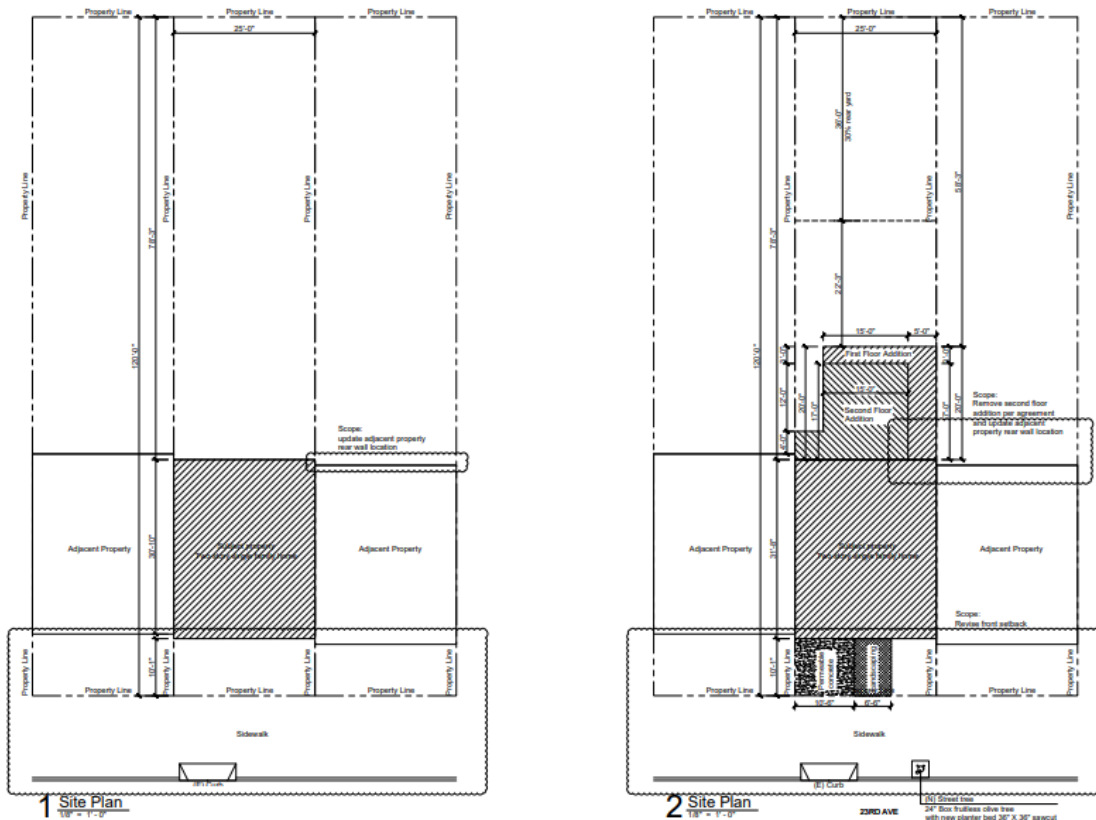
The city planner recommended exhausting all opportunities to discuss and work out a compromise that would address all concerns before resorting to a Discretionary Hearing. We quickly arranged for a phone call between ourselves and the architect, Andrew Kwok, in order to express our concerns and explain how this proposed addition would impact our home. After hearing our concerns, Andrew offered up the removal of a right side 5'x5' corner, so as to not have part of the second-floor addition run adjacent to our property line. However, as he mentioned, the addition would be happening regardless and that this was the best he could do as a compromise. Thinking we were out of options and as a gesture of goodwill and being neighborly, we reluctantly agreed. He sent over the revised plans and we offered our approval. In hindsight, we feel as though we were steamrolled by Andrew into accepting a compromise that did not completely address our concerns.

That was the last we had heard of the project. For the remainder of 2019 and throughout all of 2020, we never heard back from Andrew, our neighbors, or the City. However, in March of this year, we finally received a Notification of Structural Addition. Per the notice, we were allowed to view the plans at the Records Management Division.

Once at the Records Management Division, we were shocked to see that the plans submitted and approved were the **ORIGINAL** plans and not the revised plan that Andrew had drawn up in 2019 with the 5'x5' corner removed. **Had we not had the foresight to go down to the Records Management Division, we most likely would not have known until the rear addition had already been constructed.** Although it may be claimed that this was a "mistake," it is incredibly disappointing that this would have been submitted and approved without a single party recognizing the "mistake." **Again, the compromise was offered up as a gesture of good faith and will; to see that this was not honored, in addition to the fact that our longstanding concerns have not been taken into account, makes us uncomfortable and reluctant to let the project move forward as is.** Thus, we come to the Board of Appeals to express our concerns with this project.

We ask the Board of Appeals to please consider the severe and negative impact that this proposed addition would have on our home and neighborhood. As is, the project would extend far beyond the depth of our backyard, which is only 17'. **The most recent plans dated 03222021 incorrectly indicate that our property line runs alongside our neighbor's at 2019 on sheet A1.2. This is completely inaccurate.**

Screenshot of Sheet A1.2 below:



With our neighbor at 1917 having a longer backyard running perpendicular to our yard and those of our neighbors at 2001, 2007, and 2011, we have absolutely no possibility of adding an addition of our own. The Google Maps satellite images above show the difference between the drawn plans and what actually exists. See also the attached Sanborn map and Assessor's Block map from SF PIM (<https://sfplanninggis.org/PIM/>) that show the true width and depth of our backyard. We are concerned that these submitted plans paint an inaccurate picture depicting a yard of equal depth and the possibility that we could add an addition of our own if we chose. This simply is not true or accurate.

The photos below are taken from our backyard and show the view and sunlight that we are at risk losing with this addition, as well as the fence lines.

Facing west, back fence is visible.



Facing southwest, south fence (runs alongside 2019 property line) is visible



Facing south



Facing south, taken from northeast corner to depict actual size of backyard





While we are understanding of our neighbor's desire to add onto their home, we ask that our concerns with this addition be heard and considered. An addition of this size would negatively impact our home and property in numerous ways, including reducing solar access, limiting our outdoor space use, and negatively impacting our property value.

In conclusion, we ask the Board of Appeals and our neighbors at 2019 to seriously consider the concerns we have outlined in this letter and ask that the rear addition not exceed more than a single story. We do not feel comfortable allowing the proposed rear addition to go through, as it will severely impact our livelihood and the place we have called home since 1995. We believe a single-story addition would allow our neighbors to expand upon their home, with minimal impact on our solar access and overall livelihood. **Considering our initial compromise was not honored in the plans that were submitted to the City and the inaccurate portrayal of the depth of our property, we cannot in good faith allow this plan to**

move forward as is without speaking up and asking that the Board of Appeals and the City to seriously reconsider the issue of this permit.

Sincerely,

Yee Family

May 24, 2019

Jeffrey and Jenny Yee
2015 23rd Avenue
San Francisco, CA 94116

Andrew Kwok
475 Littlefield Avenue
South San Francisco, CA 94080

Dear Andrew,

We are the homeowners of 2015 23rd Avenue. It has come to our attention that you are moving ahead to build a rear addition to the home at 2019 23rd Avenue.

After examining the plans that were sent to us by the San Francisco Planning Department, we are writing to voice our concerns about this project. The two-story rear addition proposed would severely impact the solar access our home and backyard receive, and effectively cause devaluation in our property.

The depth of our backyard is approximately 17 feet. The proposed first floor addition would be 20 feet in depth, while the proposed second floor would be 17 feet. The entire south side of our backyard, which runs adjacent to this proposed addition, would be entirely blocked by this rear addition. Again, this would negatively impact our solar access and limit our outdoor space use; we have several plants that would suffer due to lack of sunlight.

Here is a photo of the south side of our backyard, which would be completely blocked by this rear addition:



Here is a photo of the west view from the backyard (the end of the backyard). The rear addition would extend far beyond the depth of our backyard and also alter the solar access from this angle.



While we understand our neighbor's desire to expand their home and take advantage of the land available, we ask that you please consider the severe impact this rear addition would have on our home and backyard. As mentioned, this proposed two-story rear addition would extend beyond the depth of our backyard, impact our solar access, and ultimately affect our property valuation and the livelihood of our home.

We are open to reaching a compromise between our two parties and would be open to potentially an addition of **just the first floor** to the home. We believe this would allow an addition to the home without the negative impact on our home and property.

We ask that you please reconsider the current proposal for this project and take into account our concerns regarding this rear addition. We hope that our solution for a compromise is acceptable to both parties.

Sincerely,

Jeffrey and Jenny Yee

May 22, 2019

To Whom It May Concern:

We are the owners of 2015 23rd Avenue. It has come to our attention that our neighbor at 2019 23rd Avenue is moving ahead to build a rear addition to their home.

After examining the plans that were sent to us by the San Francisco Planning Department, we are writing to voice our concerns about this project. The two-story rear addition proposed would severely impact the solar access our home and backyard receives, and effectively cause devaluation in our property.

The depth of our backyard is approximately 17 feet. The proposed first floor addition would be 20 feet in depth, while the proposed second floor would be 17 feet. The entire south side of our backyard, which runs adjacent to this proposed addition, would be entirely blocked by this rear addition. Again, this would negatively impact our solar access and limit our outdoor space use; we have several plants that would suffer due to lack of sunlight.

Here is a photo of the south side of our backyard, which would be completely blocked by this rear addition:



Here is a photo of the west view from the backyard (the end of the backyard). The rear addition would extend far beyond the depth of our backyard and also alter the solar access from this angle.



We ask the San Francisco Planning Department to please reconsider approval of this rear addition as it would severely impact the solar access, property valuation, and livelihood of our home.

Sincerely,

Jeffrey and Jenny Yee

THESE SANBORN MAPS ARE DATED TO THE MID 1990'S
USE ONLY FOR HISTORICAL CONTEXT

SAN FRANCISCO, CAL., VOL. II

1198

SUNSET RESERVOIR NO 1
CAPCY 29,500,000 GALS
CONC. CR.

2110

2111

2112

PACHECO

24TH AV.

23RD AV.

22ND AV.

SUNSET RESERVOIR NO 2
CAPCY 29,500,000 GALS
CONC. CR.

2144

2143

2142

QUINTARA

Scale of Feet.

© 1928, JUNE 1929, THE SANBORN MAP CO., INC.

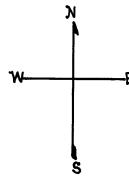
1217

LOTS MERGED
 Lot 25A into Lot 21 '47'

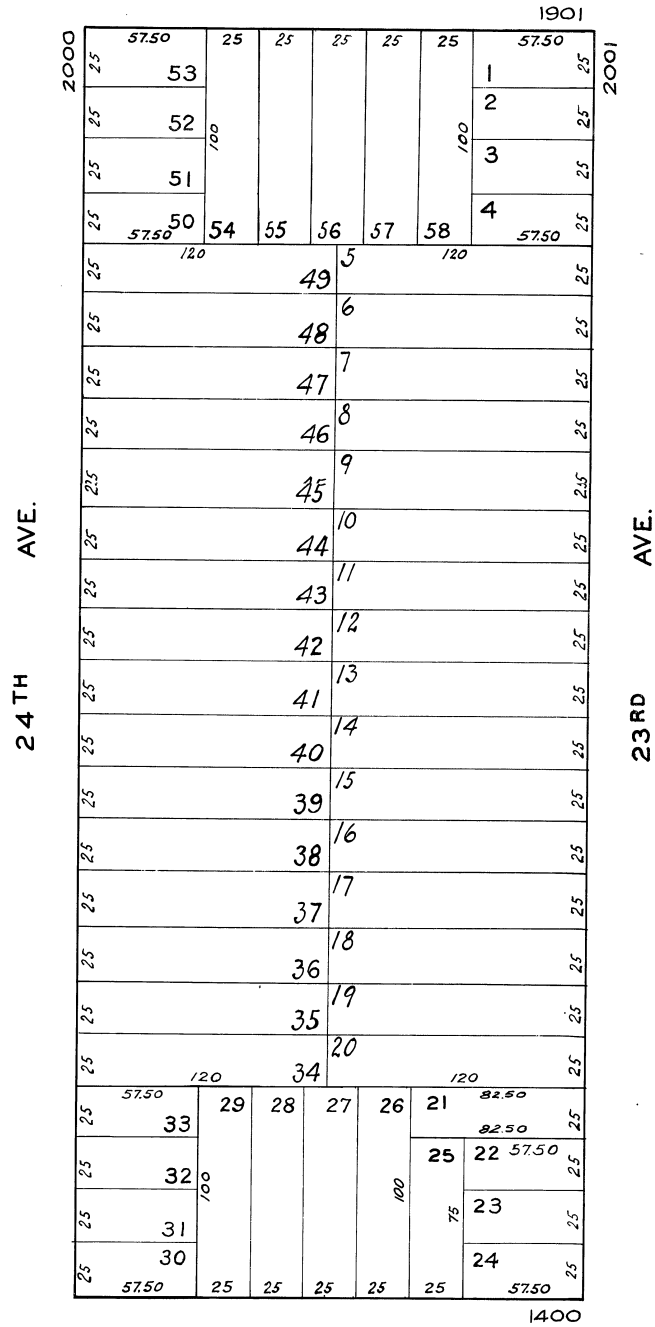
2143

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 CITY & COUNTY ASSESSOR 1995

SUNSET BLK. 1019



PACHECO



QUINTARA

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

Dung Family

Ricky Dung and Carolyn Zhen

2019 23rd Ave

San Francisco, CA 94116

April 16, 2021

Dear Board of Appeals,

The project on 2019 23rd Avenue started as a two story single family home with a two story rear yard addition 20 feet wide by 25 feet depth design by Andrew Kwok (Exhibit #1). Planning department staff made determinations to reduce the project: first floor 20 feet width and 20 feet length; and second floor to 15 feet width by 17 feet length with additional 5 feet by 5 feet at the side corner on north and south side (Exhibit #2). In May 2019 the 311 notification was sent out and an agreement was reached with the Yee Family to further reduce rear north side corner on the second floor by 5 feet by 5 feet (Exhibit #3).

After the design was approved by planning staff, Yuflux Engineering took over the project to complete the working drawings (Exhibit #4 based on Exhibit #2). Yuflux Engineering was not made aware of the 5 feet by 5 feet reduction agreement (Exhibit #3) and used the submitted 311 notification plans as a template (Exhibit #2). The working plans were approved with this error and the site permit was released (Exhibit

#4). The Yee Family filed a permit appeal pointing out the error (5 feet by 5 feet second floor corner not removed).

Since the board of appeals was filed the plans have been revised for accuracy and to encompass the agreement (Exhibit #5 & #6):

- 1) Removing the second floor 5'x5' addition
- 2) Revising the site plan to show north and south adjacent neighbors accurately, proper property lines and setbacks.

The revisions were reviewed by planning and building department staff for code compliance. The project has gone through countless review and it was determined after all the reductions that it drastically limits light impacts because the building windows are also facing east and west and the second floor is setback 5 feet from property line. We have added photos #1-#7 to illustrate shadow throughout the day and its limited impacts and reach due to building direction and geographic configuration. The shadow of the second floor with the 5 feet setback will not pass the shadow of the first floor shadow.

Design team and ownership is asking the board of appeals to accept and adopt the revised plans showing the corrections (Exhibit #6). This project appeal is not requesting a Jurisdiction Request because the City has not caused to be late in filing an appeal. A Rehearing request is not justified because no extraordinary facts or circumstances have arisen and the project is very similar to original previously agreed upon plans Exhibit #3 (original agreed concept) compared to Exhibit #6 (requested adoption plan set).

Photo took at 1pm on April 15th 2021 from backyard to the (photo#1)



Took at 1:34pm from our kitchen window to the north side of the house (photo#2)



Took at 2:45pm from back yard to the house (photo#3)



Took at 5:10pm from our house to the west side (photo#4)



5:11pm view from the back yard back to the house (photo#5)



Took at 6:26pm from our kitchen window to the west side. You can clearly see the sun sets from our backyard. (photo#6)



Took at 7:14pm (photo#7)



Since 2005 the single family home at 2019 23rd Avenue has been owner occupied. We are a growing family with kids fighting for their own rooms, crying for their own privacy space, fighting for taking turns to go to bathroom for the whole family; we have no choice but extend our living space while we have a long backyard. In addition to all these facts we want to provide for our 75 and 74 years old parents who are in a single room occupancy apartment on the 3rd floor sharing the public bathroom and kitchen in Chinatown. They have been on a list for senior housing for over 10 years and over 30 application rejections has been disheartening. The expansion will allow us to make this home a multigenerational living space. As a daughter, my heart is broken during this pandemic when they are stuck in that small area for more than a year but I can't do anything for them while we are still waiting for this project to be approved.

We are also the 1st generation immigrants. My husband started working since he was 15 to save money to afford the house we are living in and continue to work on 3 jobs a day to support the family and pay for our house, my husband only sleeps 2 hours for a long period of time when he worked for 3 jobs a day. Even now he still continues with his long working schedule daily and wakes up at 3:30 am every morning.

Since the Covid-19 pandemic, we postpone our project due to the unsafe conditions for our neighborhood and the people who are in the project; we have decided to continue our project late 2020 again as we felt it was safe enough.

The Yee family is requesting a unjustified amount of further reduction stating this project will do harm to them, while we are legally following city ordinance and going through long and expensive review process request. They however are having work done without permits. According to San Francisco city building permit records, only one

home improvement permits on file since 1995 correcting a violation for the glass sliding door and patio deck removal. Examples of current work without permit include but not limited to: all the windows in the house, side walk re- pavement, and recently repainted their house by 3rd party. Work without permits can be hazardous for the neighborhood and themselves without proper permit and city inspection.

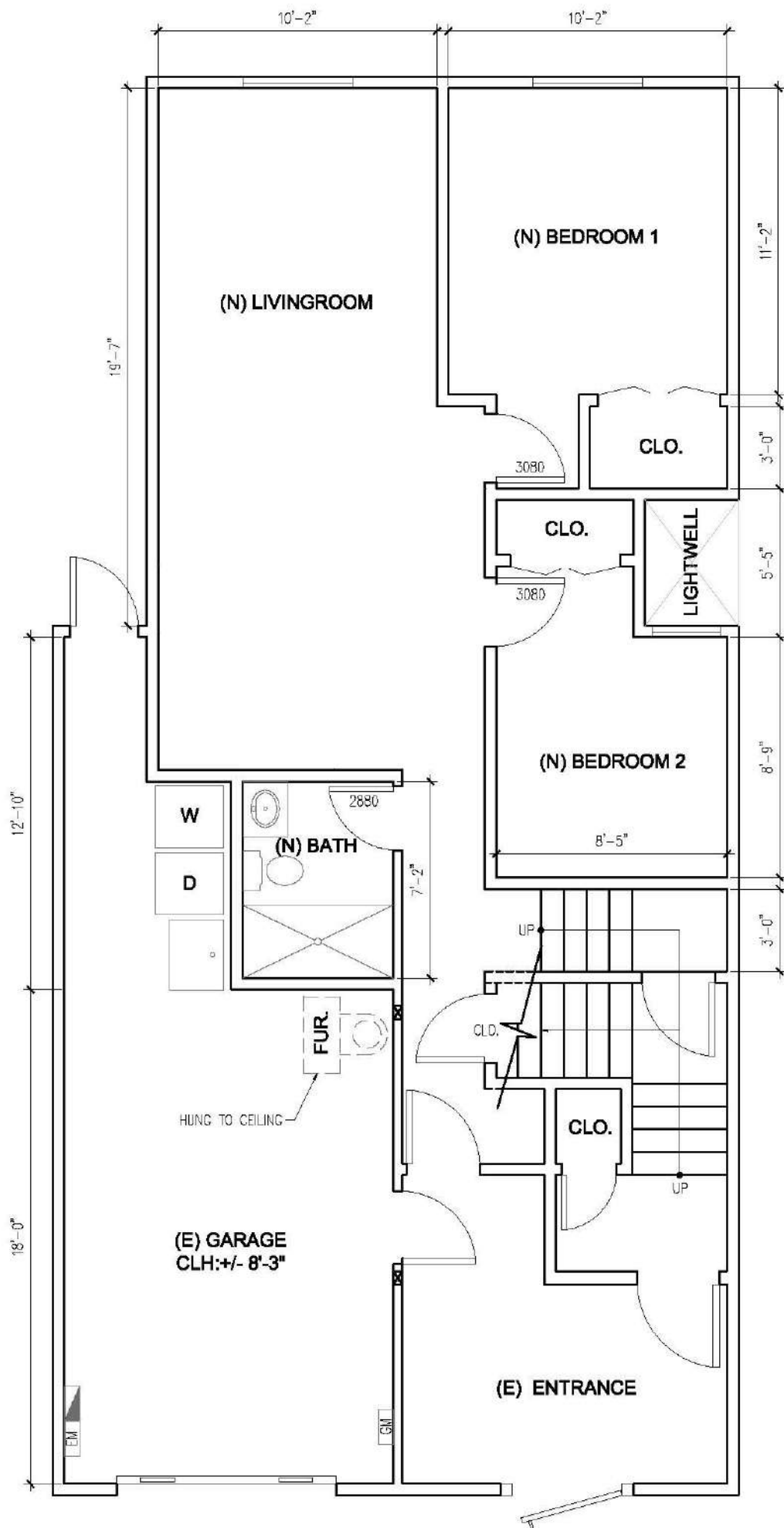
The photo of 2015 23rd avenue showing: new paint and new windows. The new windows do not meet planning code standards (vinyl with fake dividers)



Recent sidewalk replacement without permit and front yard landscaping paved at some point without permit is already cracking causing potential tripping hazard.



EXHIBIT 1



(N) 1ST FLOOR

1/4" = 1'-0"

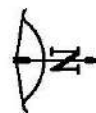
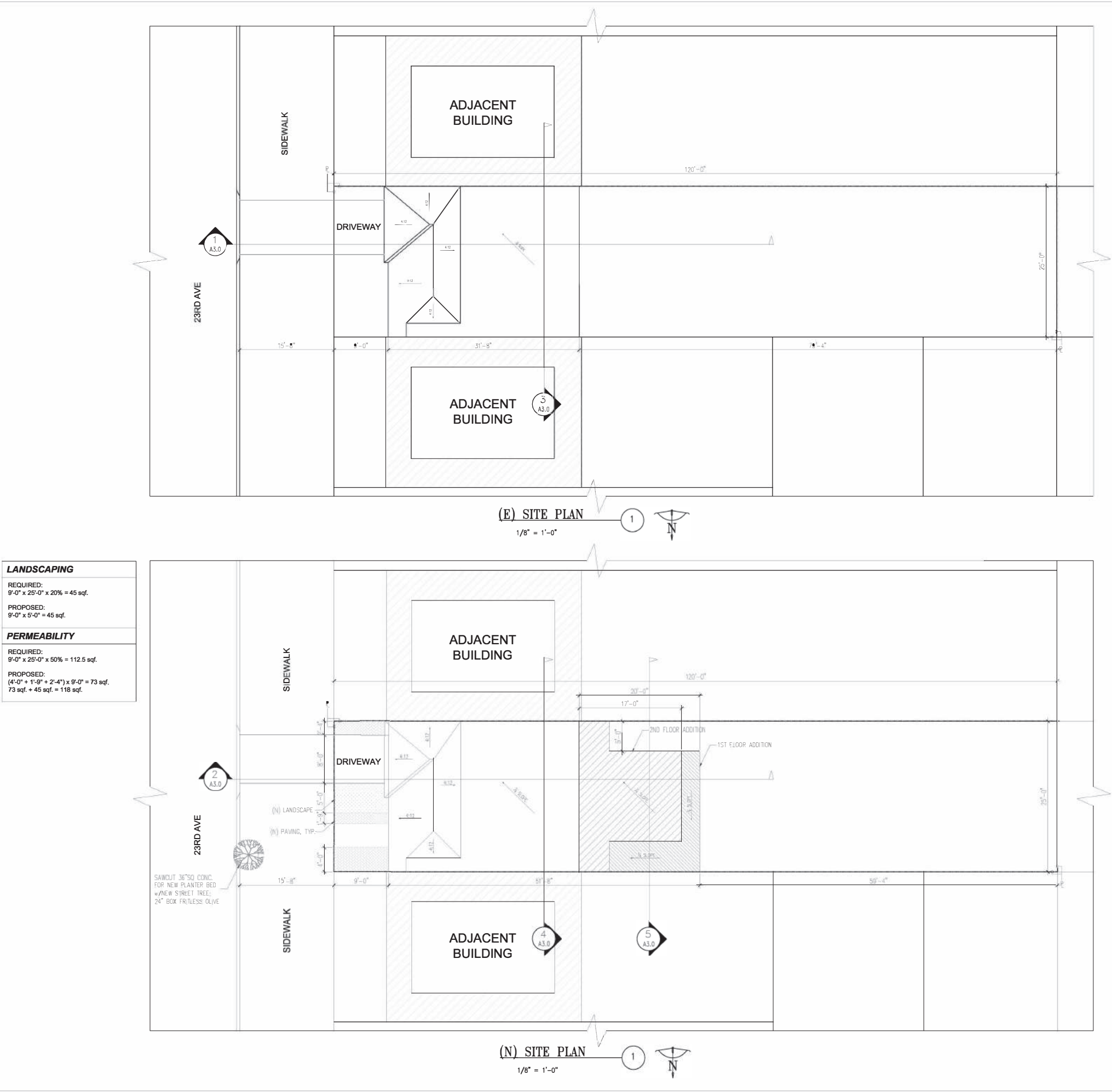


EXHIBIT 2

DRAWING INDEX
DRAWING INDEX: <div>SHEET A1.0GENERAL INFORMATION AND PLOT PLAN</div> <div>SHEET A1.1FLOOR PLANS</div> <div>SHEET A2.0EXISTING ELEVATIONS</div> <div>SHEET A2.1EXISTING ELEVATIONS</div> <div>SHEET A2.2PROPOSED ELEVATIONS</div> <div>SHEET A2.3PROPOSED ELEVATIONS</div> <div>SHEET A3.0SECTIONS</div> <div>SHEET A4.0PHOTOGRAPHS</div>
PROJECT INFORMATION
<div>BLOCK/LOT: 2143/005</div> <div>CONSTRUCTION TYPE:VB</div> <div>NUMBER OF STORIES:2</div> <div>OCCUPANCY GROUP:R-3</div> <div>ZONING:RH-1</div> <div>MAX. BUILDING HEIGHT:40'-0"</div> <div>PROPOSED BUILDING HEIGHT:21'-9" +/-</div> <div>EXISTING LIVING AREA:753 SQF.</div> <div>ADDITION LIVING AREA:1,045 SQF.</div> <div>NEW TOTAL LIVING ARE:1,798 SQF.</div>
SCOPE OF WORK
<div>SCOPE OF WORK</div> <div>HORIZONTAL ADDITION AT REAR OF EXISTING TWO STORIES RESIDENTIAL BUILDING, IN TOTAL OF 1,045 SQF.</div>
APPLICABLE CODES
<div>CALIFORNIA BUILDING CODE 2016 (CBC)</div> <div>CALIFORNIA FIRE CODE 2016 (CFC)</div> <div>CALIFORNIA PLUMBING CODE 2016 (CPC)</div> <div>CALIFORNIA MECHANICAL CODE 2016 (CMC)</div> <div>CALIFORNIA ELECTRICAL CODE 2016 (CEC)</div> <div>CALIFORNIA ENERGY CODE (CNC) 2016</div> <div>CALIFORNIA RESIDENTIAL CODE 2016 (CRC)</div> <div>CALIFORNIA GREEN BUILDING STANDARDS CODE 2016</div> <div>CALIFORNIA HISTORICAL BUILDING CODE (CHBC) 2016</div> <div>SAN FRANCISCO PLANNING CODE 2016</div> <div>SAN FRANCISCO BUILDING CODE 2016 (SFBC)</div> <div>SAN FRANCISCO FIRE CODE 2016 (SFFC)</div> <div>SAN FRANCISCO PLUMBING CODE 2016</div> <div>SAN FRANCISCO MECHANICAL CODE 2016 (SFMCI)</div> <div>SAN FRANCISCO ELECTRICAL CODE 2016 (SFEC)</div> <div>SAN FRANCISCO ENERGY CODE 2016</div>



REVISE
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-6828
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. SO. SAN FRANCISCO, CA TEL: (415) 699-5588 EMAIL: ANDREW_KWOK@YAHOO.COM
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116
SHEET TITLE: PLOT PLAN AND FLOOR PLANS
DATE: JULY/12/2018
DRAWN: A.K.
SCALE: AS NOTED
SHEET A1.0 OF 50 SHEETS

LEGEND

NEW 2X4 WALL

WALL WITH R-19 INSULATION

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

NEW EXISTING

110V HARD WIRED SMOKE DETECTOR

110V HARD WIRED CARBON MONOXIDE ALARM

FURNACE

WATER HEATER

FLOURESCENT LIGHT WITH VENT AND BACKDRAFT DAMPER

MECH. NOTES:

PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR W/H FURNACE PER CMC-CH.7

SEISMIC STRAPS AT TOP & BOTTOM OF W/H SIT ON TOP OF 18" PLATFORM.

PROVIDE 26 GA. STEEL DUCT WITHIN GARAGE SPACE.

TERMINATE GAS VENT 4'-0" FROM PROPERTY LINE AND 2'-0" ABOVE ANY PORTION OF A BLDG. WITHIN 10'-0"

TERMINATE EXH. FAN OUTLET OUTSIDE MIN. 3'-0" FROM PROPERTY LINE AND BLDG. OPENINGS W/BACK-DRAFT DAMPER

SPECIFY FLUORESCENT LIGHT PER TITLE-24

USE ALL HIGH EFFICACY LIGHTING OR CONTROLLED BY DIMMER SWITCH AND OCCUPANCY SENSOR

DOOR SCHEDULE						
NO.	SIZE	TYPE	DETAIL	COLOR	MATERIAL	
1	2'-8" x 6'-8"	B	SIX PANEL FIBERGLAS	EXTERIOR	WHITE	STEEL
2	2'-8" x 6'-8"	B	SIX PANEL COMPOSITE	INTERIOR	WHITE	WOOD
3	4'-0" x 6'-8"	D	SIX PANEL COMPOSITE SLIDING CLOSET	INTERIOR	WHITE	WOOD
4	2'-8" x 6'-8"	B	SIX PANEL COMPOSITE	INTERIOR	WHITE	WOOD
5	2'-8" x 6'-8"	B	SIX PANEL COMPOSITE	INTERIOR	WHITE	WOOD
6	2'-8" x 6'-8"	A	EXTERIOR FIBERGLAS/GLASS	EXTERIOR	WHITE	STEEL
7	2'-8" x 6'-8"	B	SIX PANEL 20 MIN. FIRE RATED	INTERIOR	WHITE	WOOD
8	5'-4" x 6'-8"	A	FIBERGLAS /GLASS	EXTERIOR	WHITE	STEEL
9	16'-0" x 8'-0"	E	GARAGE DOOR	EXTERIOR	WHITE	STEEL
10	3'-0" x 6'-8"	C	BI-FOLD COMPOSITE	INTERIOR	WHITE	WOOD
11	3'-0" x 6'-8"	F	FIBERGLASS/GLASS	EXTERIOR	WHITE	STEEL
12	5'-0" x 6'-8"	G	FIBERGLASS/GLASS (SLD.)	EXTERIOR	WHITE	STEEL

WINDOW SCHEDULE (ALL D.P. U=0.30)				
NO.	SIZE	TYPE	MATERIAL	
1	2'-0" x 1'-0"	SLD. /TEMPERED	A	VINYL
2	2'-0" x 2'-0"	SLD. /TEMPERED	A	VINYL
3	3'-0" x 4'-0"	SLD.	A	VINYL
4	4'-0" x 4'-0"	SLD.	A	VINYL
5	5'-0" x 4'-0"	SLD.	A	VINYL
6	2'-0" x 3'-0"	S.H.	B	VINYL
7	2'-0" x 3'-0"	S.H. / TEMPERED	B	VINYL
8	2'-0" x 4'-0"	S.H.	B	VINYL
9	3'-0" x 4'-0"	S.H.	B	VINYL
10	2'-6" x 3'-0"	CASEMENT	C	VINYL

EGRESS WINDOWS
CLEAR 20" WIDE MIN. CLEAR 24"
HEIGHT MIN. 5.7 SQ.FT NET CLEAR
OPENING. WINDOW SILL WITHIN
44" OF FLOOR

EGRESS WINDOWS
CLEAR 20" WIDE MIN. CLEAR 24"
HEIGHT MIN. 5.7 SQ.FT NET CLEAR
OPENING. WINDOW SILL WITHIN
44" OF FLOOR

DEMOLITION CALCULATIONS			
LINEAR FOOTAGE MEASUREMENT			
ELEMENT	(E) LENGTH	REMOVED	% REMOVED
FRONT FACADE	25'-0"	0'-0"	0%
REAR FACADE	25'-0"	20'-0"	80%
LEFT SIDE FACADE	31'-8"	0'-0"	0%
RIGHT SIDE FACADE	31'-8"	0'-0"	0%
TOTAL	113'-4"	20'-0"	18%
AREA FOOTAGE MEASUREMENT			
VERTICAL ELEMENTS	(E) LENGTH	REMOVED	% REMOVED
FRONT FACADE	440	0	0%
REAR FACADE	440	352	80%
LEFT SIDE FACADE	557	0	0%
RIGHT SIDE FACADE	557	0	0%
TOTAL	1994	352	18%
HORIZONTAL ELEMENTS	(E) LENGTH	REMOVED	% REMOVED
SECOND FLOOR	792	0	0%
GROUND FLOOR	792	0	0%
TOTAL	1584	0	0%

REVISE

ER: CKY & C
OWN: RI
ADDRESS: 2016 23RD AVE
TEL: (415) 699-5586
EMAIL: ANDREW.CHYK@YAHOO.COM

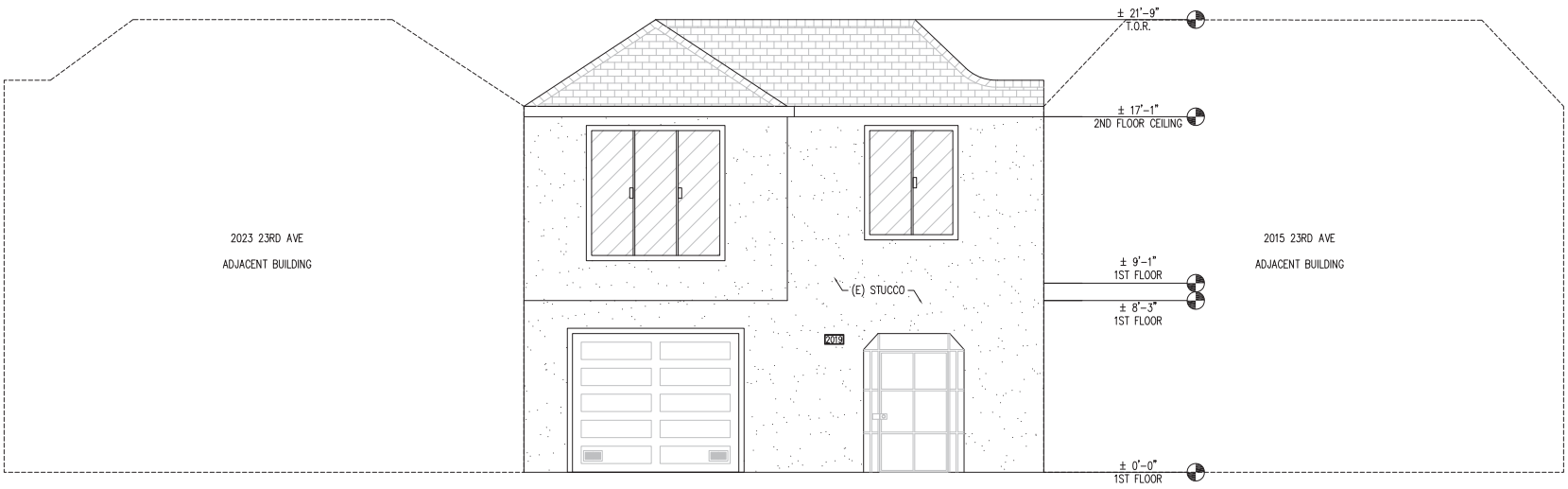
DESIGN: ANDREW KWOK
ADDRESS: 475 LITTLEFIELD AVE.
SO. SAN FRANCISCO, CA
TEL: (415) 699-5586
EMAIL: ANDREW.CHYK@YAHOO.COM

DUNG RESIDENCE

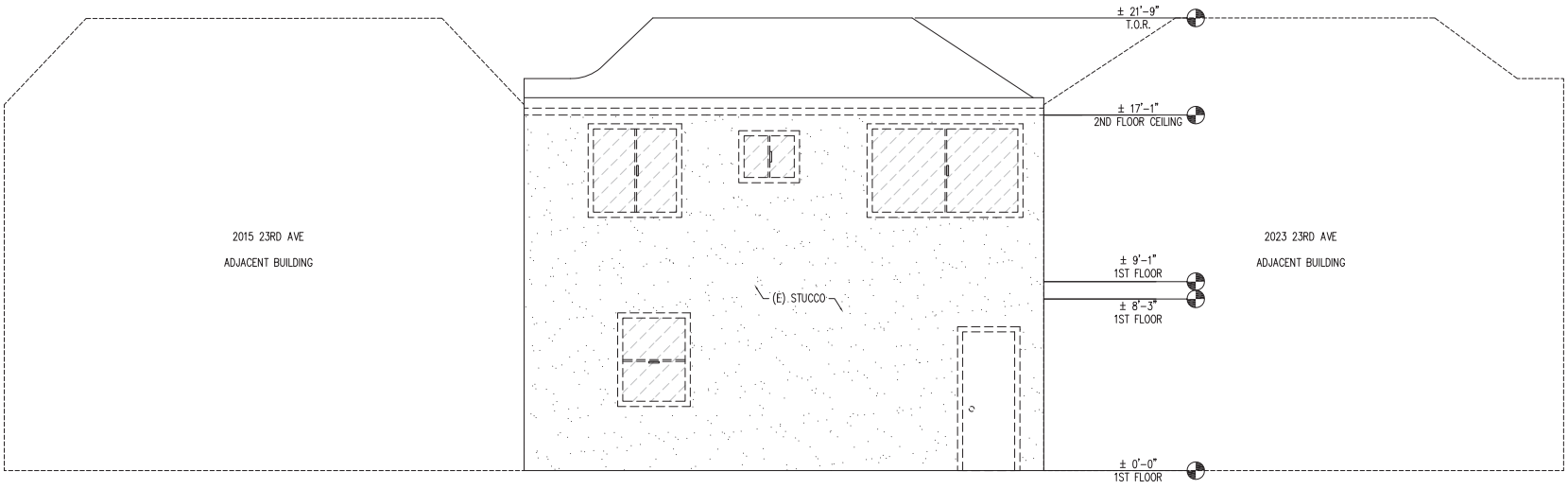
2019 23RD AVE, SAN FRANCISCO, CA 94116

SHEET 1 OF 1
FLOOR PLANS

DATE: JULY 12, 2019
DRAWN: R.K.
SCALE: AS NOTED
SHEET
A1.1
OF 1 SHEETS

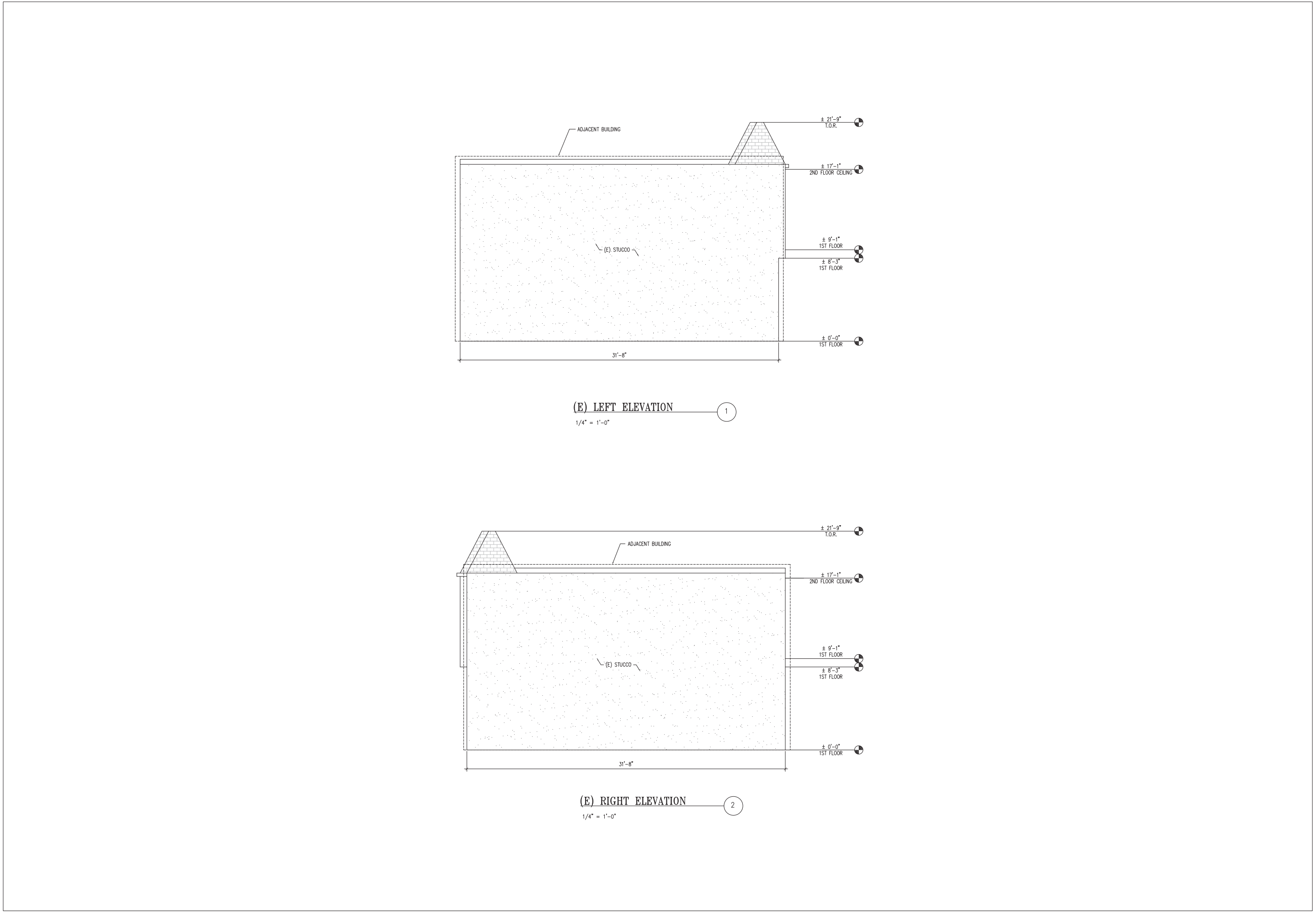


(E) FRONT ELEVATION (NO WORK) 1
1/4" = 1'-0"

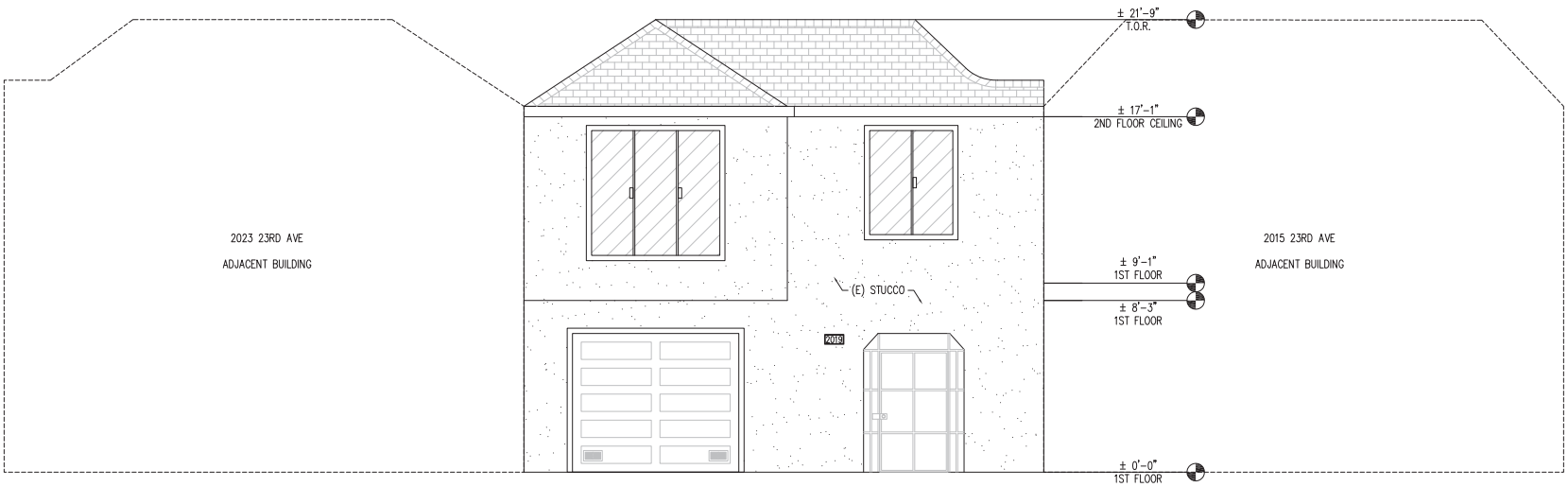


(E) REAR ELEVATION 2
1/4" = 1'-0"

REVISE
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-6828
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. SO. SAN FRANCISCO, CA TEL: (415) 699-5586 EMAIL: ANDREW_KWOK@YAHOO.COM
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116
SHEET TITLE: EXISTING ELEVATION
DATE: JULY/12/2018
DRAWN: A.K.
SCALE: AS NOTED
SHEET A2.0 OF 8 SHEETS



REVISE	
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-6628	
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. SO. SAN FRANCISCO, CA TEL: (415) 694-5586 EMAIL: ANDREW_KWOK@YAHOO.COM	
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116	
SHEET TITLE: EXISTING ELEVATION	
DATE:	JULY/12/2018
DRAWN:	A.K.
SCALE:	AS NOTED
SHEET A2.1 OF 8 SHEETS	

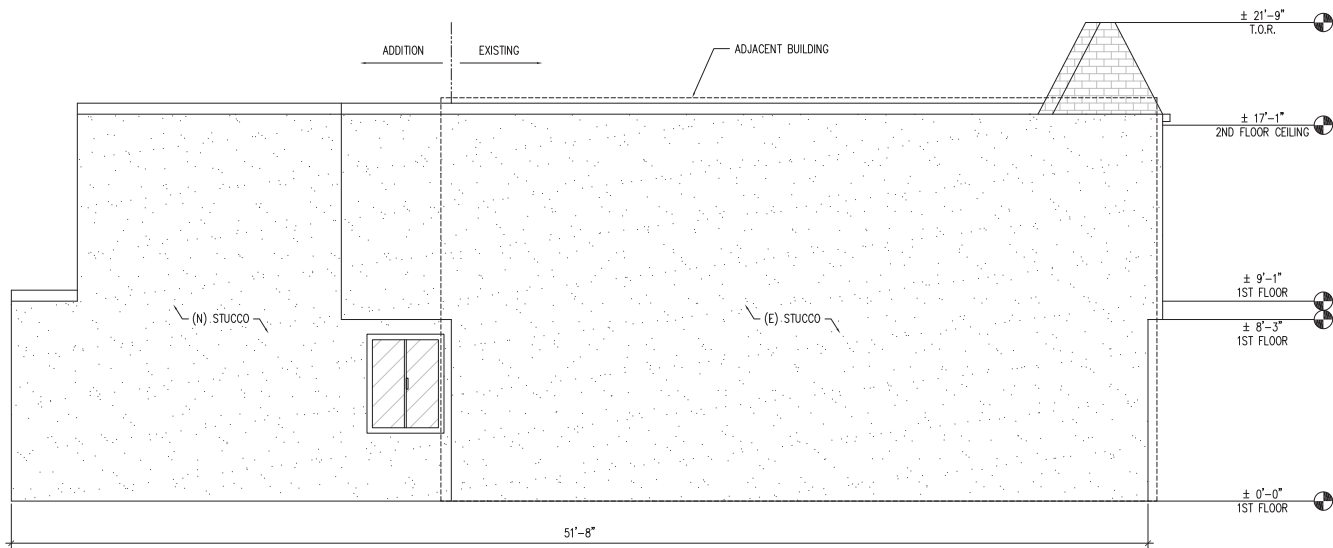


(N) FRONT ELEVATION (NO WORK) 1
1/4" = 1'-0"



(N) REAR ELEVATION 2
1/4" = 1'-0"

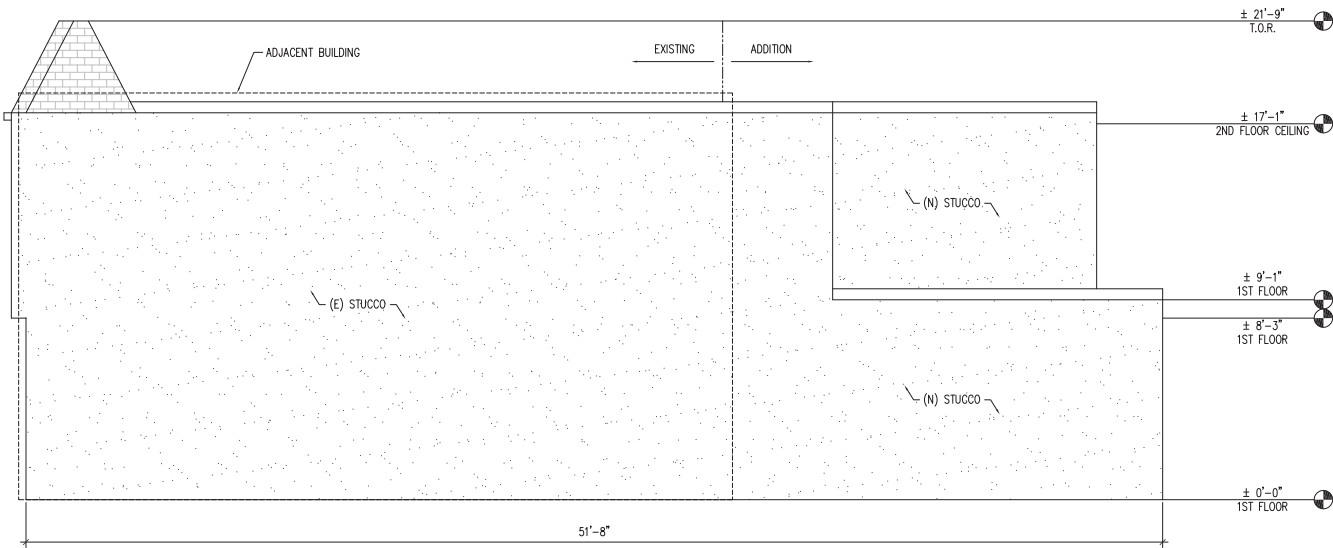
REVISE
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-6828
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. SO. SAN FRANCISCO, CA TEL: (415) 699-5586 EMAIL: ANDREW_KWOK@YAHOO.COM
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116
SHEET TITLE: PROPOSED ELEVATION
DATE: JULY/12/2018
DRAWN: A.K.
SCALE: AS NOTED
SHEET A2.2 OF 8 SHEETS



(N) LEFT ELEVATION

1/4" = 1'-0"

1

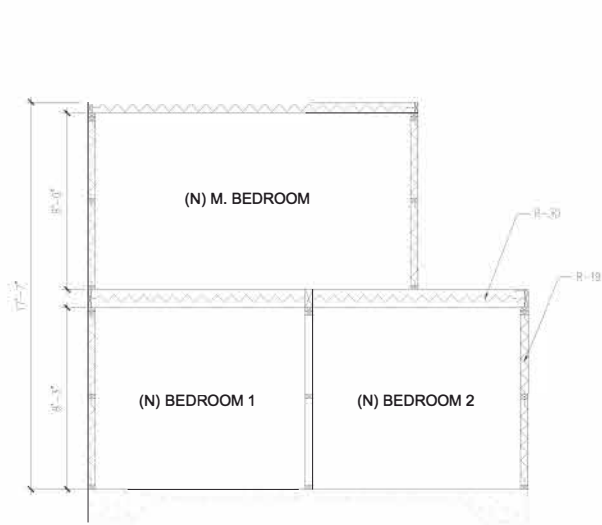


(N) RIGHT ELEVATION

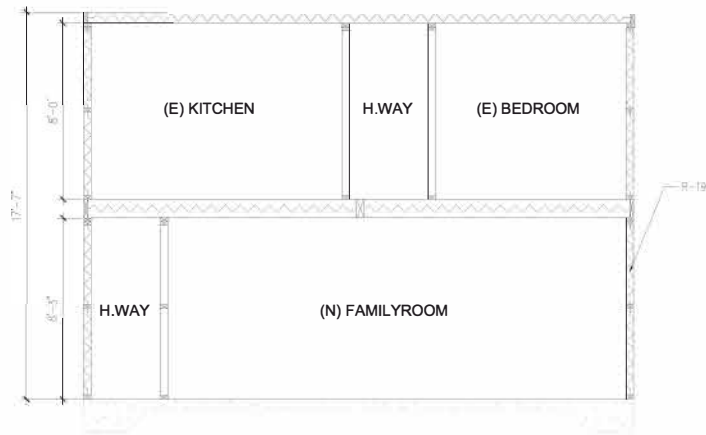
1/4" = 1'-0"

2

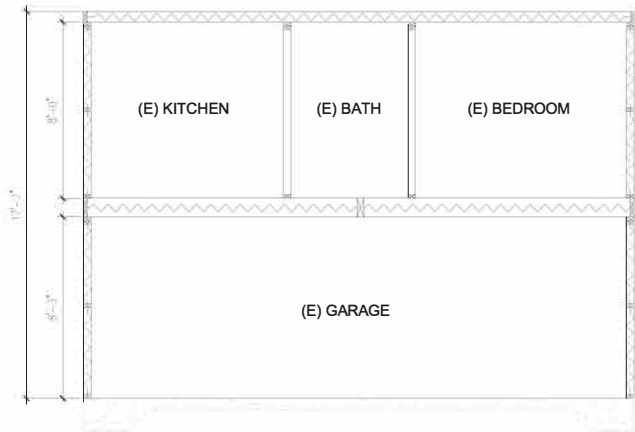
REVISE
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-6828
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. SO. SAN FRANCISCO, CA TEL: (415) 699-5586 EMAIL: ANDREW_KWOK@YAHOO.COM
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116
SHEET TITLE: PROPOSED ELEVATION
DATE: JULY/12/2018
DRAWN: A.K.
SCALE: AS NOTED
SHEET A2.3 OF 8 SHEETS



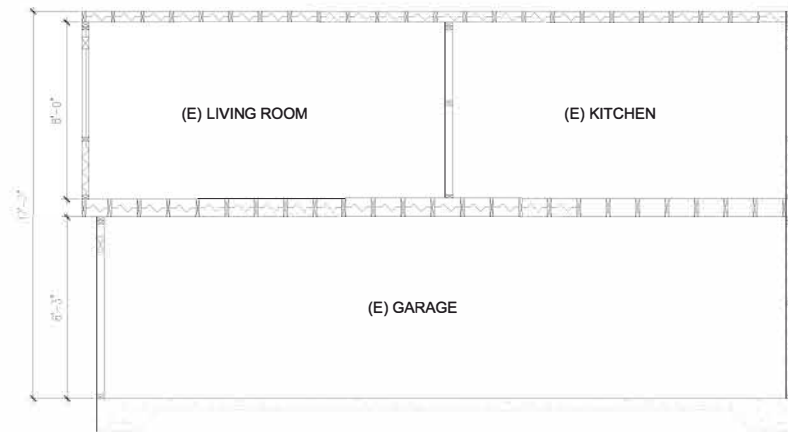
(N) SECTION 5
1/4" = 1'-0"



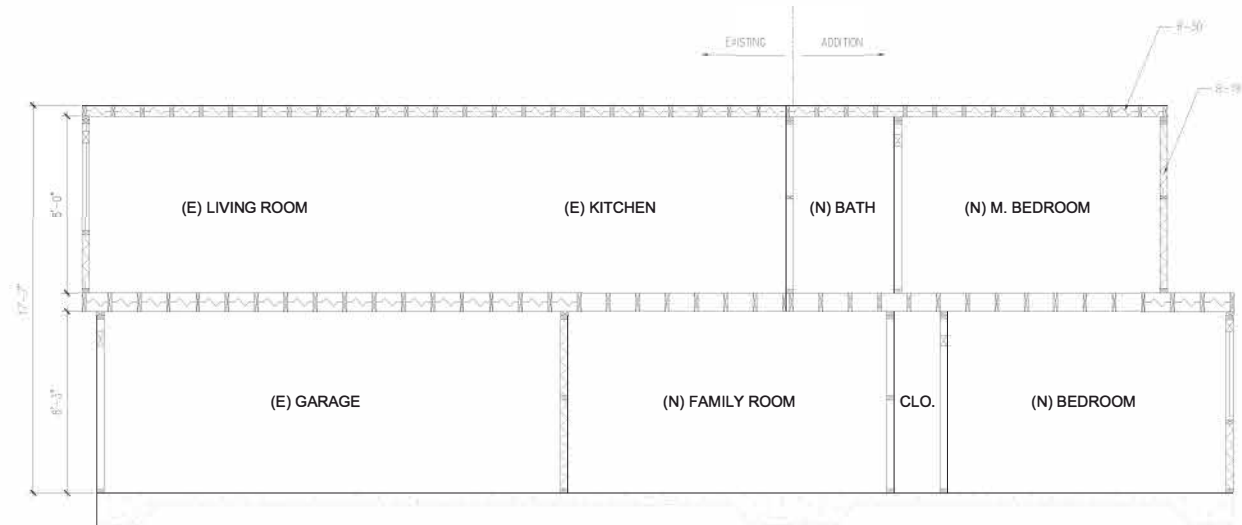
(N) SECTION 4
1/4" = 1'-0"



(E) SECTION 3
1/4" = 1'-0"



(E) SECTION 1
1/4" = 1'-0"



(N) SECTION 2
1/4" = 1'-0"

REVISE
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-6626
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE, SO. SAN FRANCISCO, CA TEL: (415) 699-5586 EMAIL: ANDREW_KWOK@YAHOO.COM
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116
SHEET TITLE: SECTIONS
DATE: JULY/12/2018 DRAWN: A.K. SCALE: AS NOTED
SHEET A3.0 OF 2 SHEETS

EXHIBIT 3

DRAWING INDEX

DRAWING INDEX:	
SHEET A1.0	GENERAL INFORMATION AND PLOT PLAN
SHEET A1.1	FLOOR PLANS
SHEET A2.0	EXISTING ELEVATIONS
SHEET A2.1	EXISTING ELEVATIONS
SHEET A2.2	PROPOSED ELEVATIONS
SHEET A2.3	PROPOSED ELEVATIONS
SHEET A3.0	SECTIONS
SHEET A4.0	PHOTOGRAPHS

PROJECT INFORMATION	
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BLOCK/LOT: 2143/005	
CONSTRUCTION TYPE:	VB
NUMBER OF STORIES:	2
OCCUPANCY GROUP:	R-3
ZONING:	RH-1
MAX. BUILDING HEIGHT:	40'-0"
PROPOSED BUILDING HEIGHT:	21'-9" +/-
<hr/>	
EXISTING LIVING AREA:	753 SQF.
ADDITION LIVING AREA:	1,045 SQF.
NEW TOTAL LIVING ARE:	1,798 SQF.

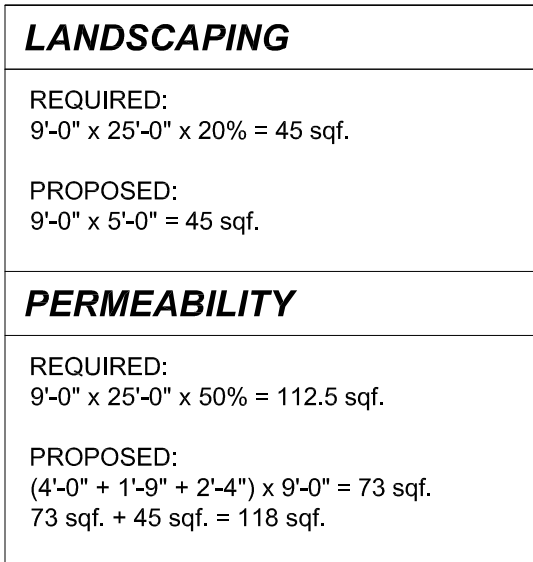
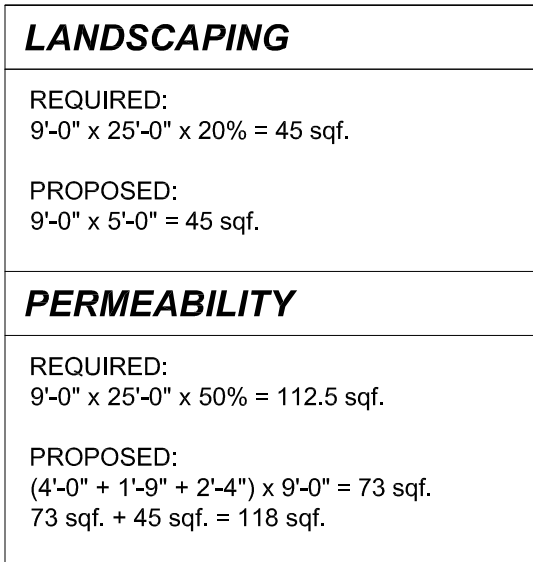
SCOPE OF WORK

SCOPE OF WORK

HORIZONTAL & VERTICAL ADDITION AT REAR OF EXISTING TWO STORIES RESIDENTIAL BUILDING,
IN TOTAL OF 1,045 SQF.

APPLICABLE CODES

CALIFORNIA BUILDING CODE 2016 (CBC)
CALIFORNIA FIRE CODE 2016 (CFC)
CALIFORNIA PLUMBING CODE 2016 (CPC)
CALIFORNIA MECHANICAL CODE 2016 (CMC)
CALIFORNIA ELECTRICAL CODE 2016 (CEC)
CALIFORNIA ENERGY CODE (CNC) 2016
CALIFORNIA RESIDENTIAL CODE 2016 (CRC)
CALIFORNIA GREEN BUILDING STANDARDS CODE 2016
CALIFORNIA HISTORICAL BUILDING CODE (CHBC) 2016
SAN FRANCISCO PLANNING CODE 2016
SAN FRANCISCO BUILDING CODE 2016 (SFBC)
SAN FRANCISCO FIRE CODE 2016 (SFFC)
SAN FRANCISCO PLUMBING CODE 2016
SAN FRANCISCO MECHANICAL CODE 2016 (SFMC)
SAN FRANCISCO ELECTRICAL CODE 2016 (SFEC)
SAN FRANCISCO ENERGY CODE 2016

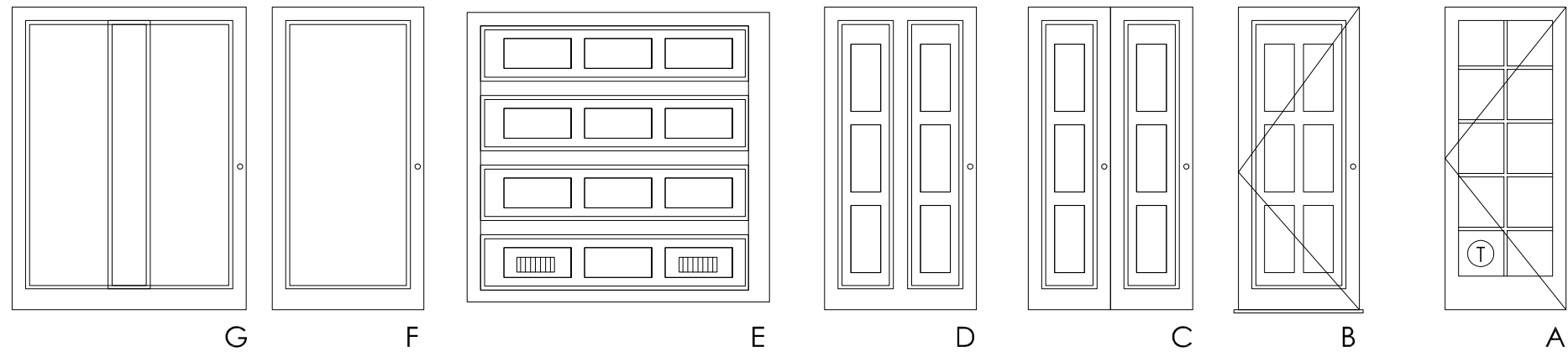
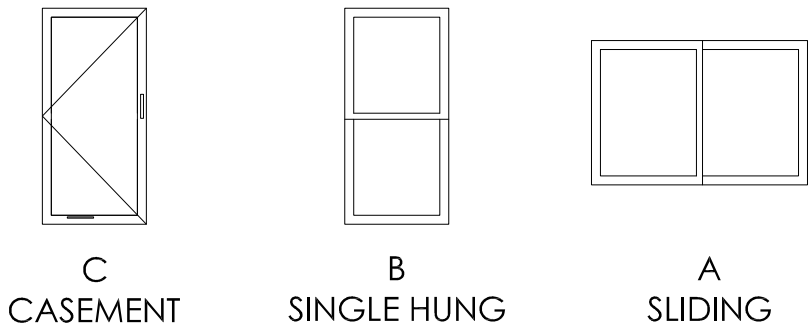


LANDSCAPING
REQUIRED: 9'-0" x 25'-0" x 20% = 45 sqft.
PROPOSED: 9'-0" x 5'-0" = 45 sqft.
PERMEABILITY
REQUIRED: 9'-0" x 25'-0" x 50% = 112.5 sqft.
PROPOSED: (4'-0" + 1'-9" + 2'-4") x 9'-0" = 73 sqft. 73 sqft. + 45 sqft. = 118 sqft.

LEGEND		MECH. NOTES:	
	NEW 2X4 WALL		PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR W/H/FURNACE PER CMC-CH.7
	WALL WITH R-19 INSULATION		SEISMIC STRAPS AT TOP& BOTTOM OF W/H SIT ON TOP OF 18" PLATFORM.
	EXISTING WALL TO REMAIN		PROVIDE 26 GA. STEEL DUCT WITHEN GARAGE SPACE.
	EXISTING WALL TO BE REMOVED		TERMINATE GAS VENT 4'-0" FROM PROPERTY LINE AND 2'-0" ABOVE ANY PORTION OF A BLDG. WITHIN 10'-0"
	NEW		TERMINATE EXH. FAN OUTLET OUTSIDE MIN. 3'-0" FROM PROPERTY LINE AND BLDG. OPENINGS W/BACK-DRAFT DAMPER
	EXISTING		SPECIFY FLUORESCENT LIGHT PER TITLE-24
	110V HARD WIRED SMOKE DETECTOR		USE ALL HIGH EFFICACY LIGHTING OR CONTROLLED BY DIMMER SWITCH AND OCCUPANCY SENSOR
	110V HARD WIRED CARBON MONOXIDE ALARM		
	FURNACE		
	WATER HEATER		
	FLUORESCENT LIGHT WITH VENT		
	AND BACKDRAFT DAMPER		

DOOR SCHEDULE						
MR	SIZE		TYPE	DETAIL	COLOR	MATERIAL
	WD	HGT				
1	2'-8"	6'-8"	B	SIX PENAL FIBERGLAS	EXTERIOR WHITE	STEEL
2	2'-6"	6'-8"	B	SIX PANEL COMPOSITE	INTERIOR WHITE	WOOD
3	4'-0"	6'-8"	D	SIX PANEL COMPOSITE SILDING CLOSET	INTERIOR WHITE	WOOD
4	2'-8"	6'-8"	B	SIX PANEL COMPOSITE	INTERIOR WHITE	WOOD
5	2'-4"	6'-8"	B	SIX PANEL COMPOSITE	INTERIOR WHITE	WOOD
6	2'-6"	6'-8"	A	EXTERIOR FIBERGLAS/GLASS	EXTERIOR WHITE	STEEL
7	2'-8"	6'-8"	B	SIX PENAL 20 MIN. FIRE RATED	INTERIOR WHITE	WOOD
8	5'-4"	6'-8"	A	FIBERGLAS /GLASS	EXTERIOR WHITE	STEEL
9	16'-0"	8'-0"	E	GARAGE DOOR	EXTERIOR WHITE	STEEL
10	3'-0"	6'-8"	C	BI-FOLD COMPOSITE	INTERIOR WHITE	WOOD
11	3'-0"	6'-8"	F	FIBERGLASS/GLASS	EXTERIOR WHITE	STEEL
12	5'-0"	6'-8"	G	FIBERGLASS/GLASS (SLD.)	EXTERIOR WHITE	STEEL

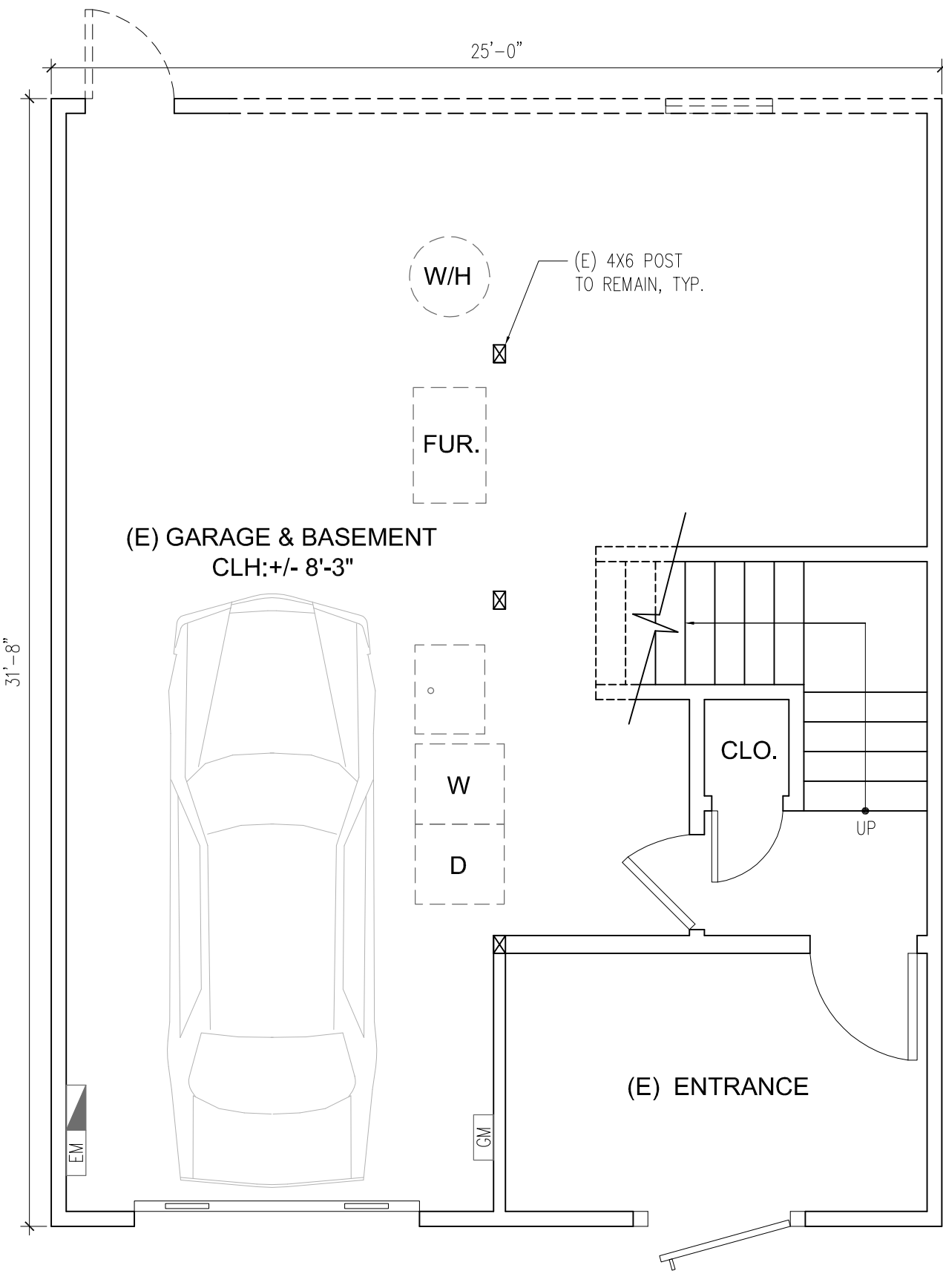
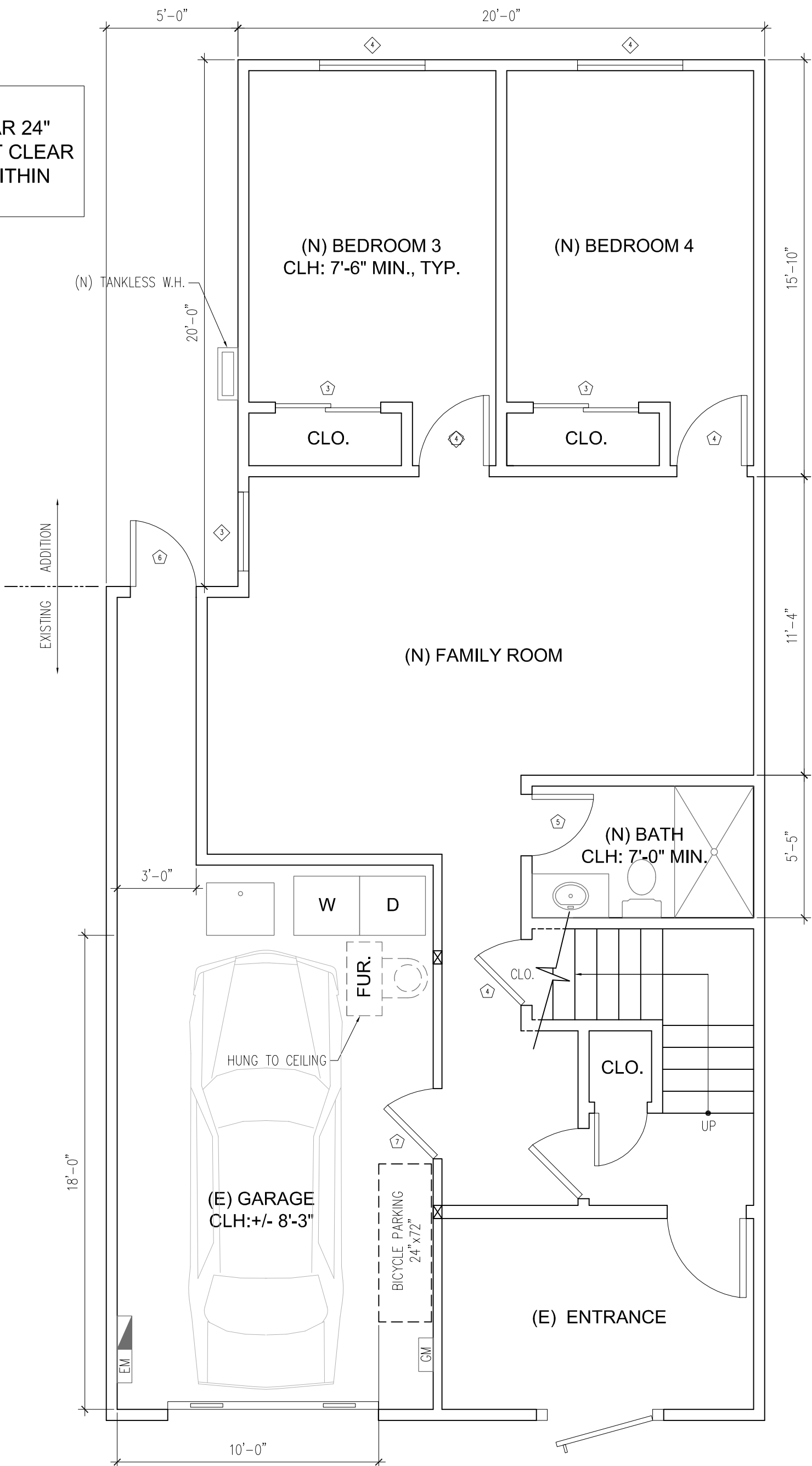
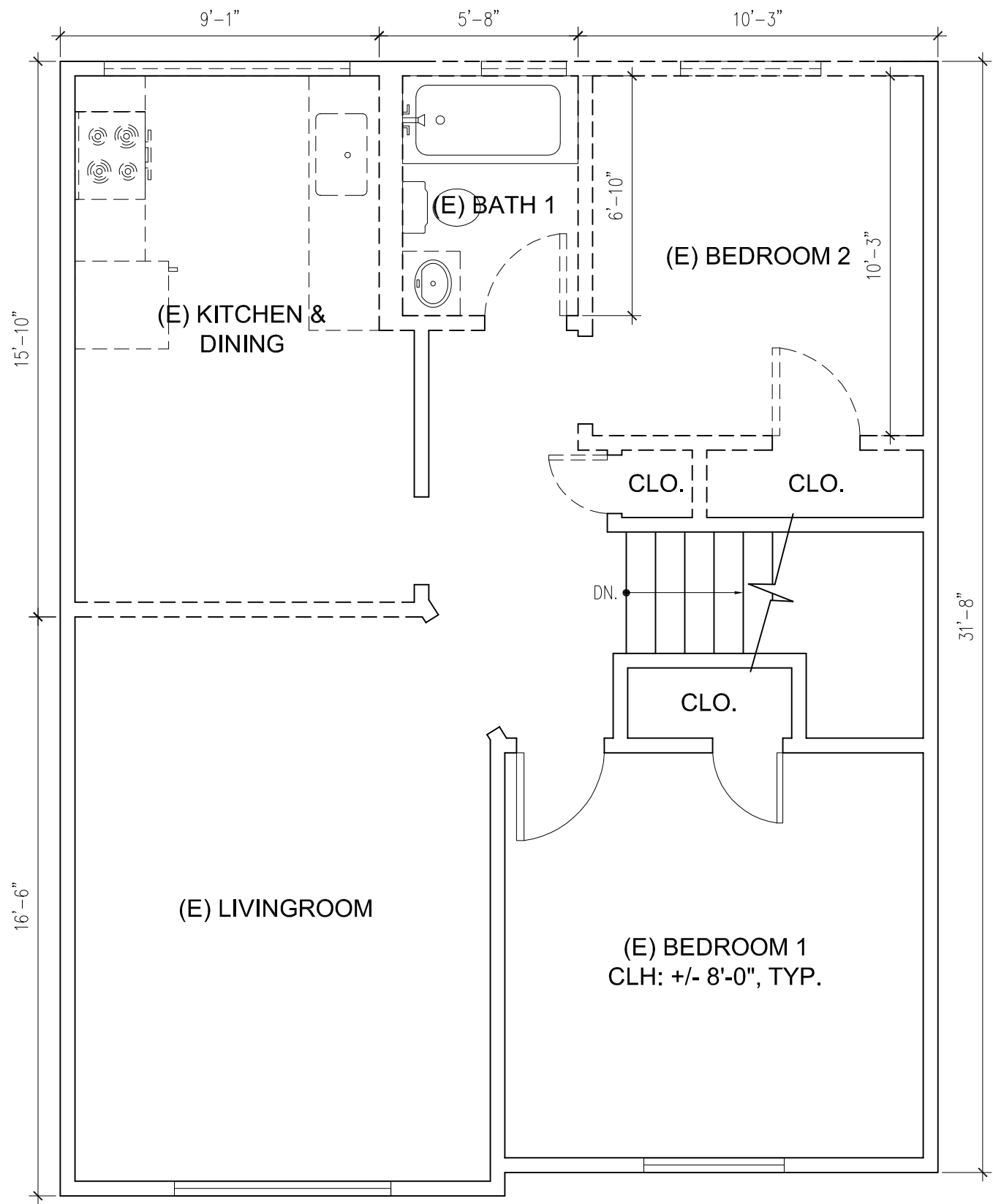
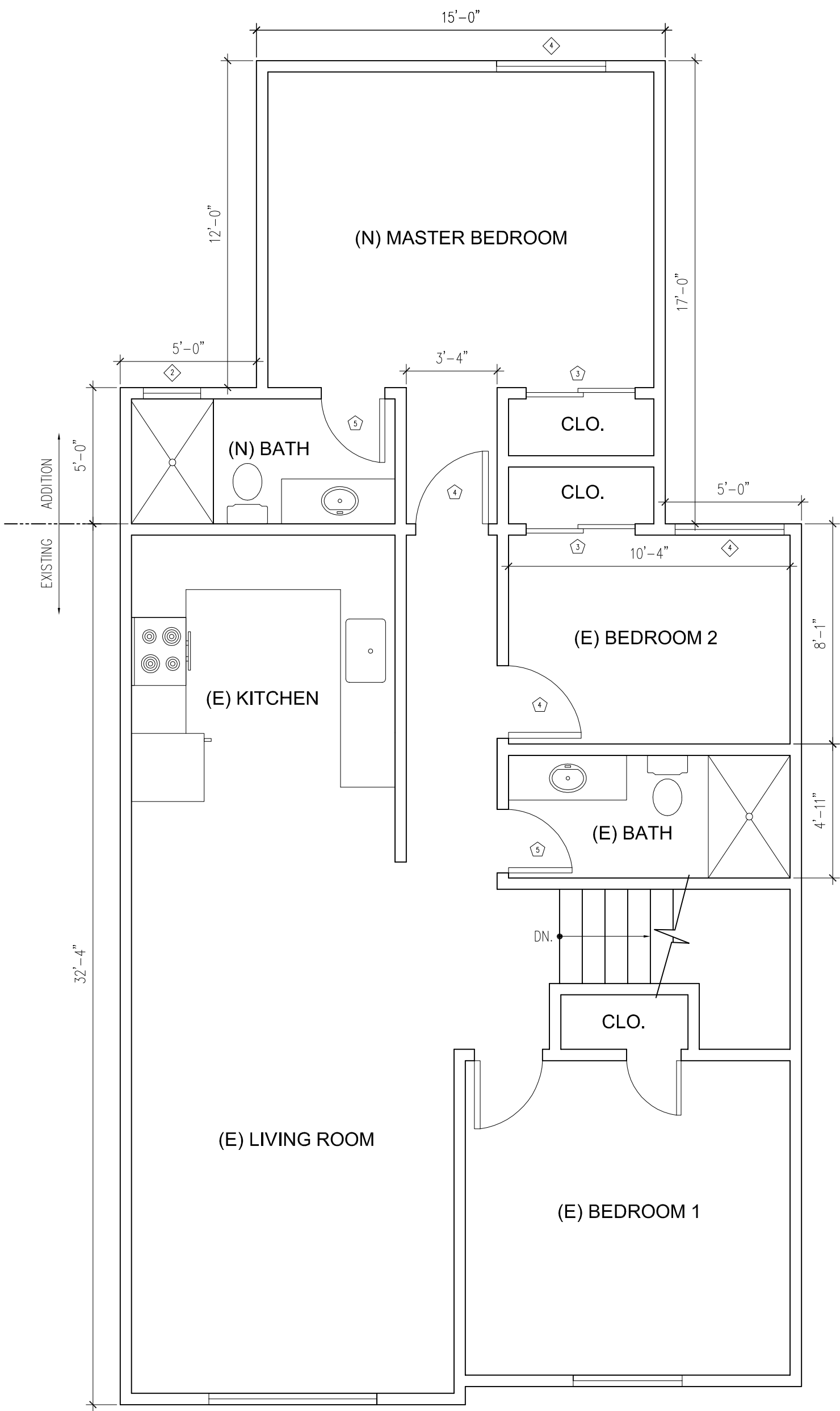
WINDOW SCHEDULE (ALL D.P. U=0.30)					
MR	SIZE		TYPE		MATERIAL
	WD	HGT			
1	2'-0"	1'-0"	SLD. /TEMPERED	A	VINYL
2	2'-0"	2'-0"	SLD. /TEMPERED	A	VINYL
3	3'-0"	4'-0"	SLD.	A	VINYL
4	4'-0"	4'-0"	SLD.	A	VINYL
5	5'-0"	4'-0"	SLD.	A	VINYL
6	2'-0"	3'-0"	S.H.	B	VINYL
7	2'-0"	3'-0"	S.H. / TEMPERED	B	VINYL
8	2'-0"	4'-0"	S.H.	B	VINYL
9	3'-0"	4'-0"	S.H.	B	VINYL
10	2'-6"	3'-0"	CASEMENT	C	VINYL



EGRESS WINDOWS
CLEAR 20" WIDE MIN. CLEAR 24"
HEIGHT MIN. 5.7 SQ.FT NET CLEAR
OPENING. WINDOW SILL WITHIN
44" OF FLOOR

EGRESS WINDOWS
CLEAR 20" WIDE MIN. CLEAR 24"
HEIGHT MIN. 5.7 SQ.FT NET CLEAR
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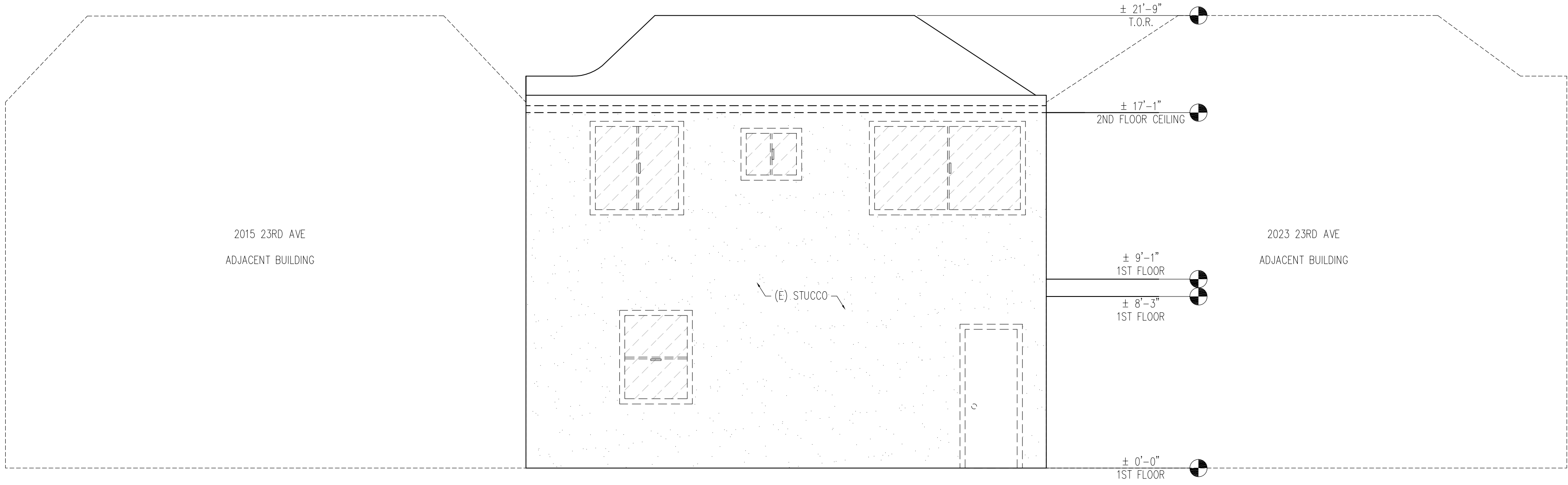
DEMOLITION CALCULATIONS			
LINEAR FOOTAGE MEASUREMENT			
ELEMENT	(E) LENGTH	REMOVED	% REMOVED
FRONT FACADE	25'-0"	0'-0"	0%
REAR FACADE	25'-0"	20'-0"	80%
LEFT SIDE FACADE	31'-8"	0'-0"	0%
RIGHT SIDE FACADE	31'-8"	0'-0"	0%
TOTAL	113'-4"	20'-0"	18%
AREA FOOTAGE MEASUREMENT			
VERTICAL ELEMENTS	(E) LENGTH	REMOVED	% REMOVED
FRONT FACADE	440	0	0%
REAR FACADE	440	352	80%
LEFT SIDE FACADE	557	0	0%
RIGHT SIDE FACADE	557	0	0%
TOTAL	1994	352	18%
HORIZONTAL ELEMENTS	(E) LENGTH	REMOVED	% REMOVED
FRONT FACADE	792	0	0%
REAR FACADE	792	0	0%
TOTAL	1584	0	0%



REVISE		
		OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-6826
		DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. SAN FRANCISCO, CA TEL: (415) 886-8888 EMAIL: ANDREW_CHHK@YAHOO.COM
DUNG RESIDENCE		2019 23RD AVE, SAN FRANCISCO, CA 94116
FLOOR PLANS		
SHEET TITLE:		
DATE:	JUNE/13/2019	
DRAWN:	A.K.	
SCALE:	AS NOTED	
SHEET		
A1.1		
OF	8	SHEETS

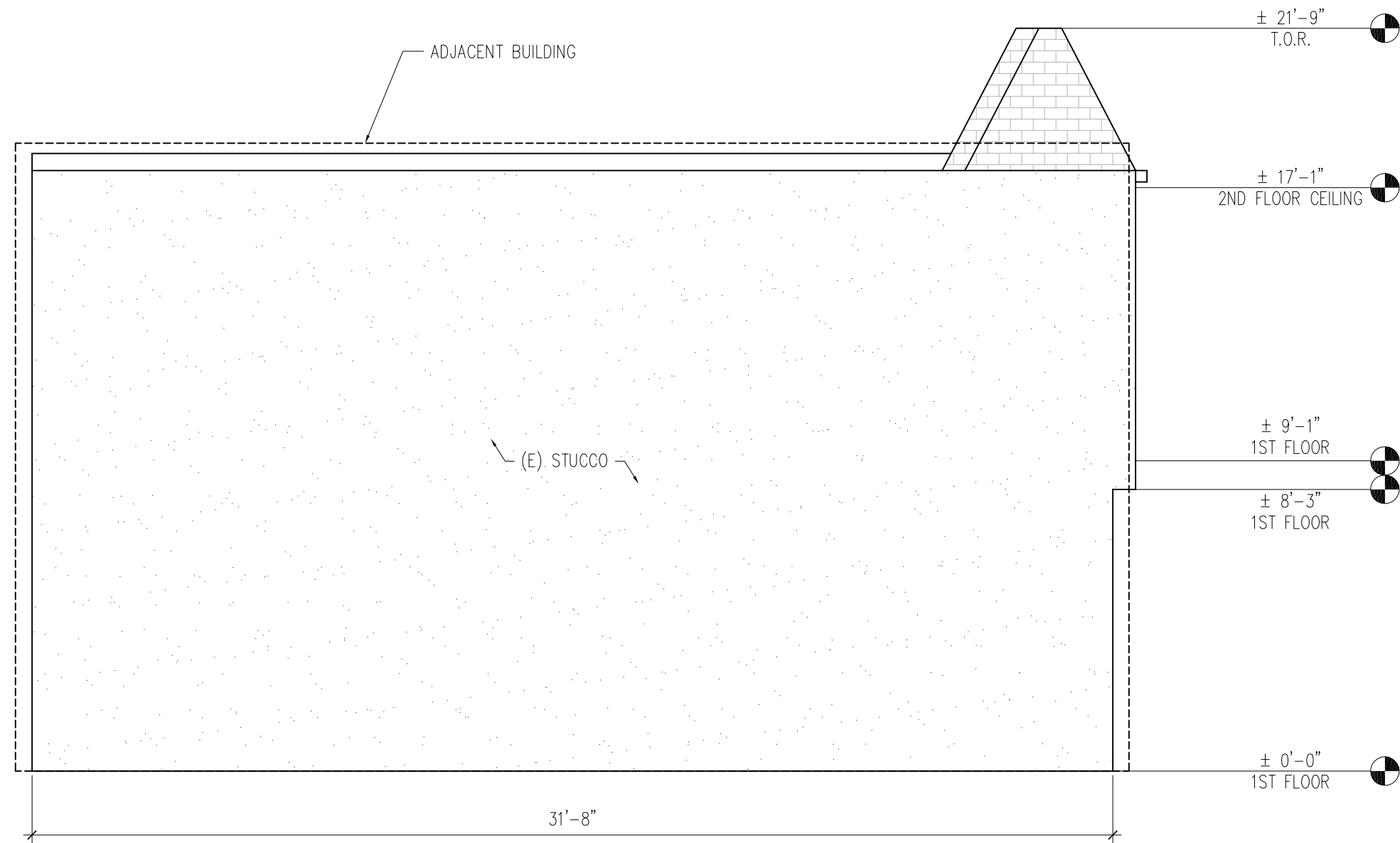


(E) FRONT ELEVATION (NO WORK) 1
1/4" = 1'-0"



(E) REAR ELEVATION 2
1/4" = 1'-0"

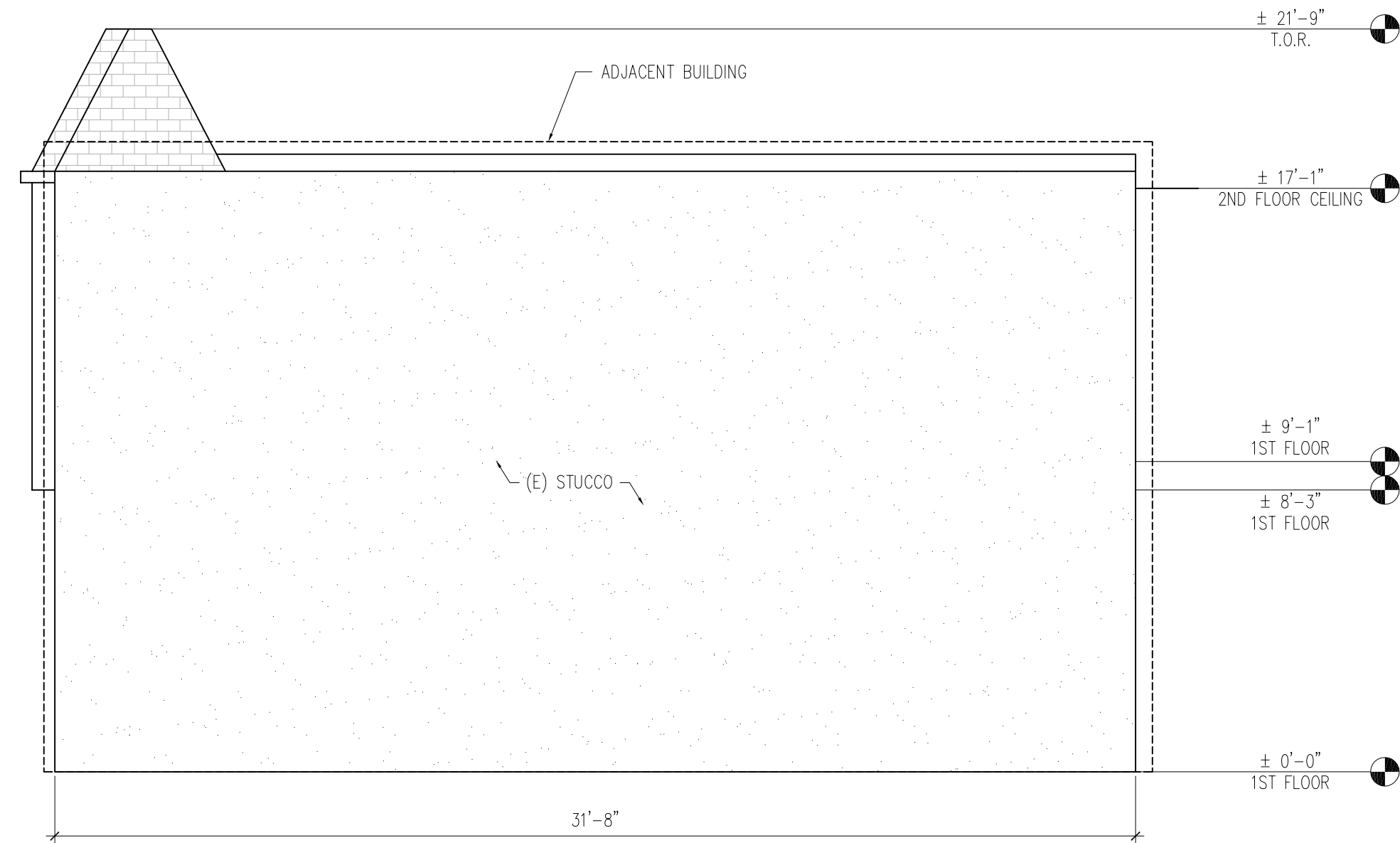
REVISE	
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-8826	
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. O. SAN FRANCISCO, CA TEL: (415) 888-8888 EMAIL: ANDREW_CHH@YAHOO.COM	
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116	
SHEET TITLE: EXISTING ELEVATION	
DATE:	JUNE/13/2019
DRAWN:	A.K.
SCALE:	AS NOTED
SHEET A2.0 OF 8 SHEETS	



(E) LEFT ELEVATION

1/4" = 1'-0"

1



(E) RIGHT ELEVATION

1/4" = 1'-0"

2

REVISE	
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-8826	
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. O. SAN FRANCISCO, CA TEL: (415) 898-9889 EMAIL: ANDREW_CHHK@YAHOO.COM	
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116	
SHEET TITLE: EXISTING ELEVATION	
DATE:	JUNE/13/2019
DRAWN:	A.K.
SCALE:	AS NOTED
SHEET A2.1 OF 8 SHEETS	



(N) FRONT ELEVATION (NO WORK) 1

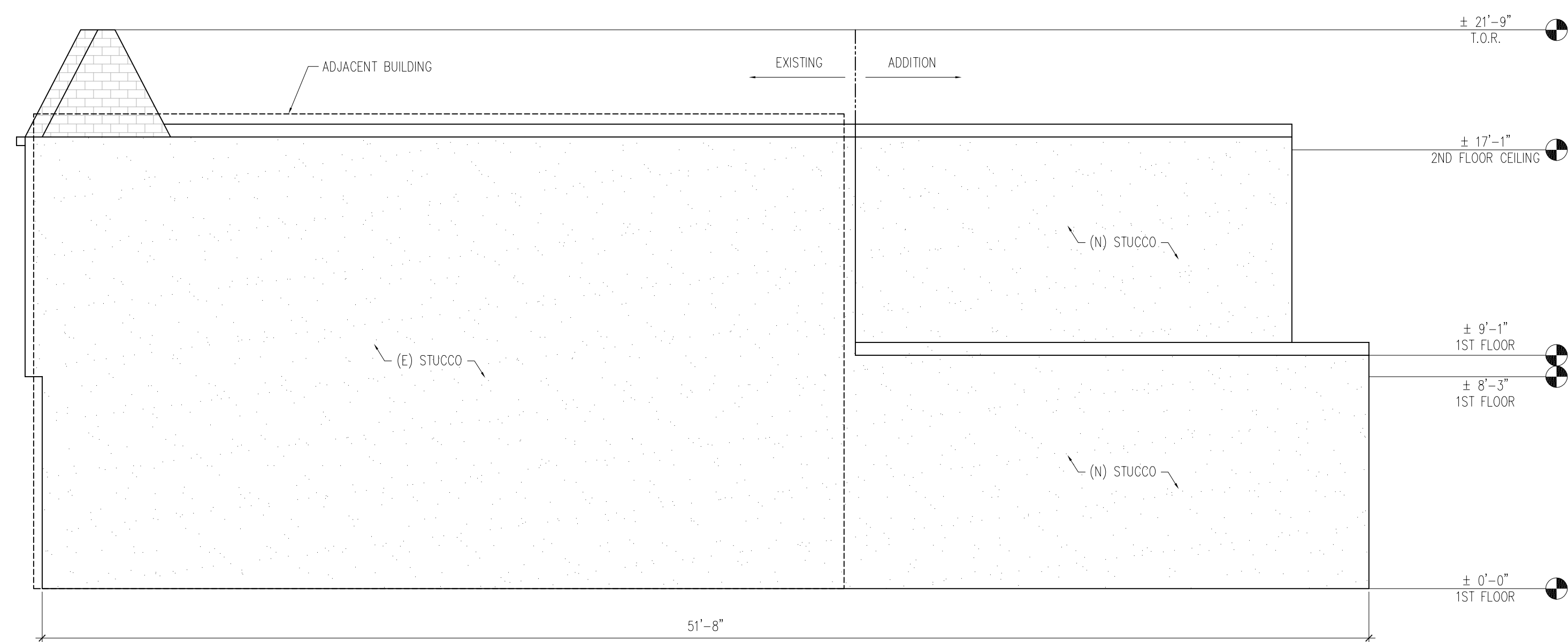
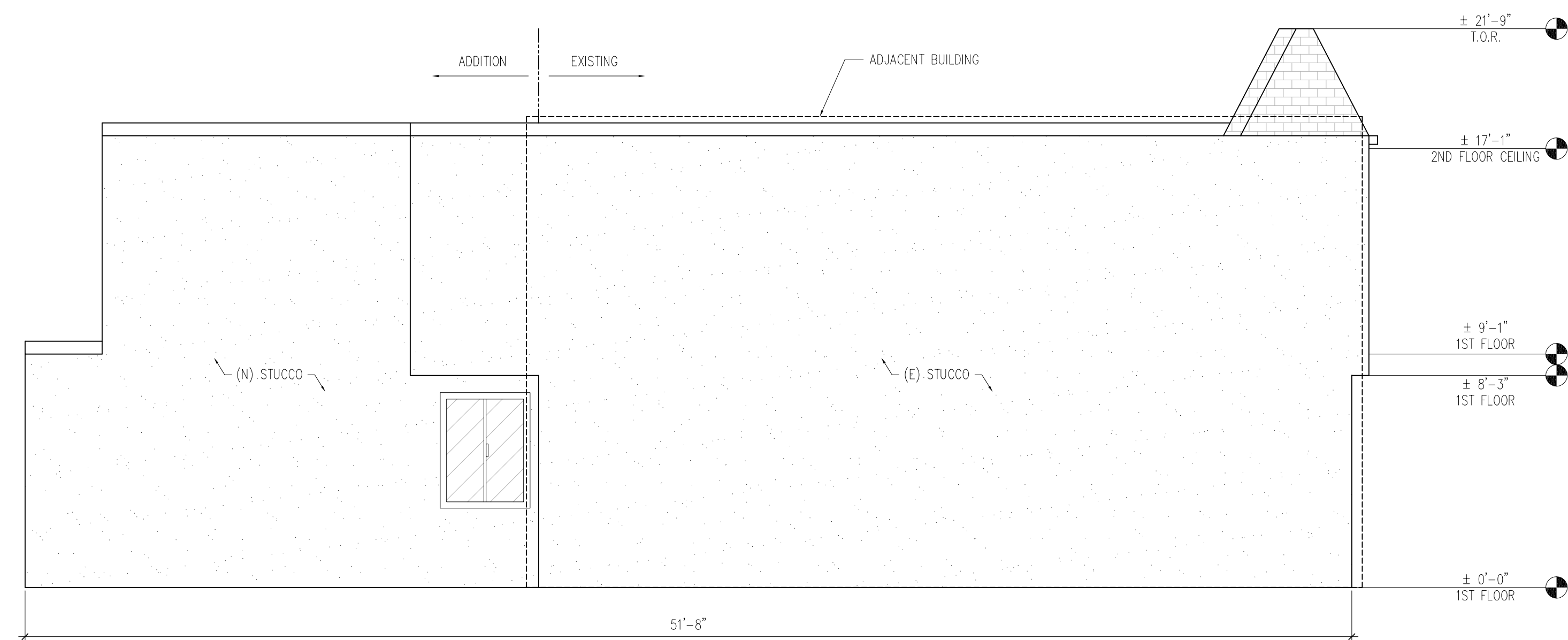
1/4" = 1'-0"



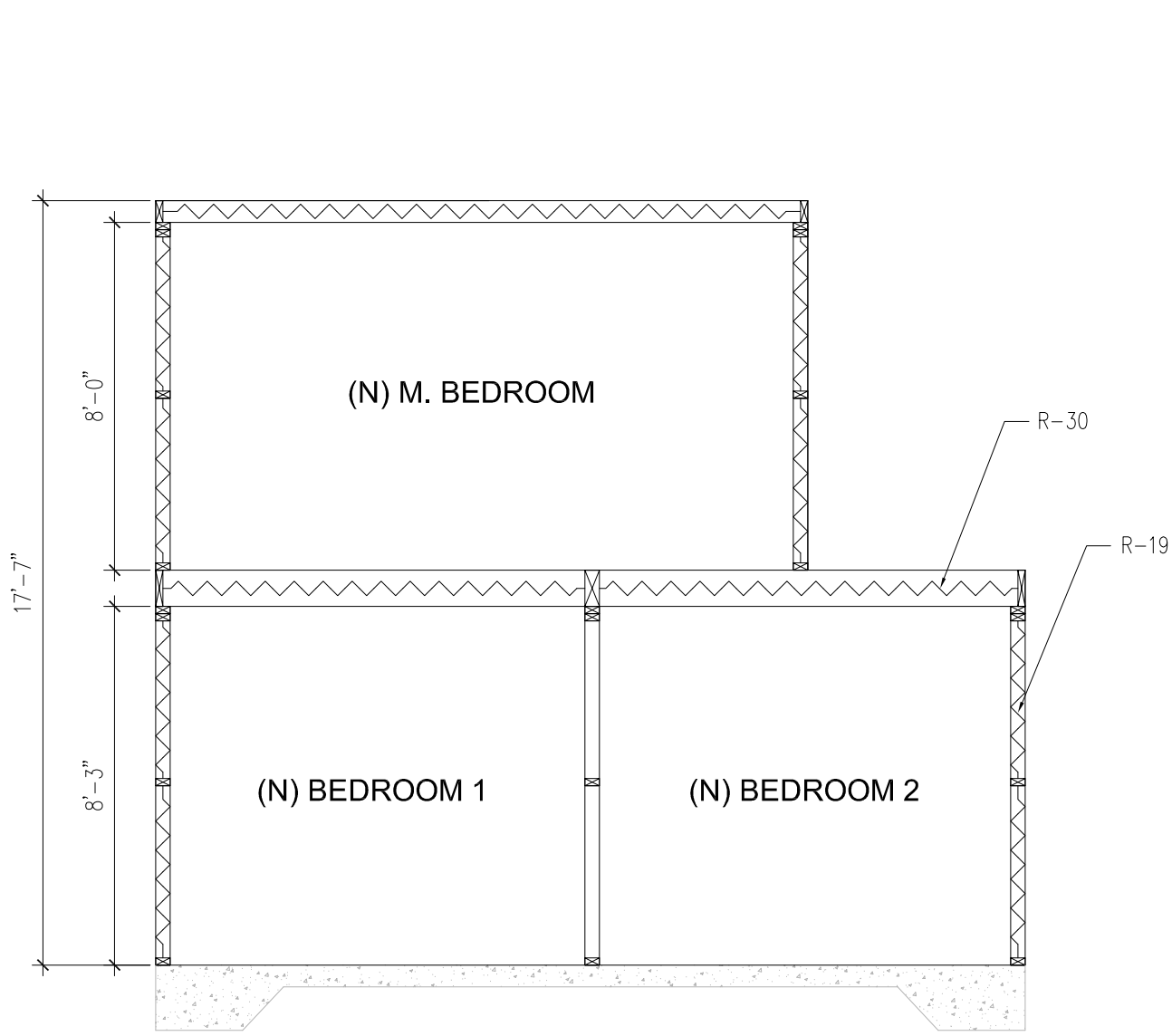
(N) REAR ELEVATION 2

1/4" = 1'-0"

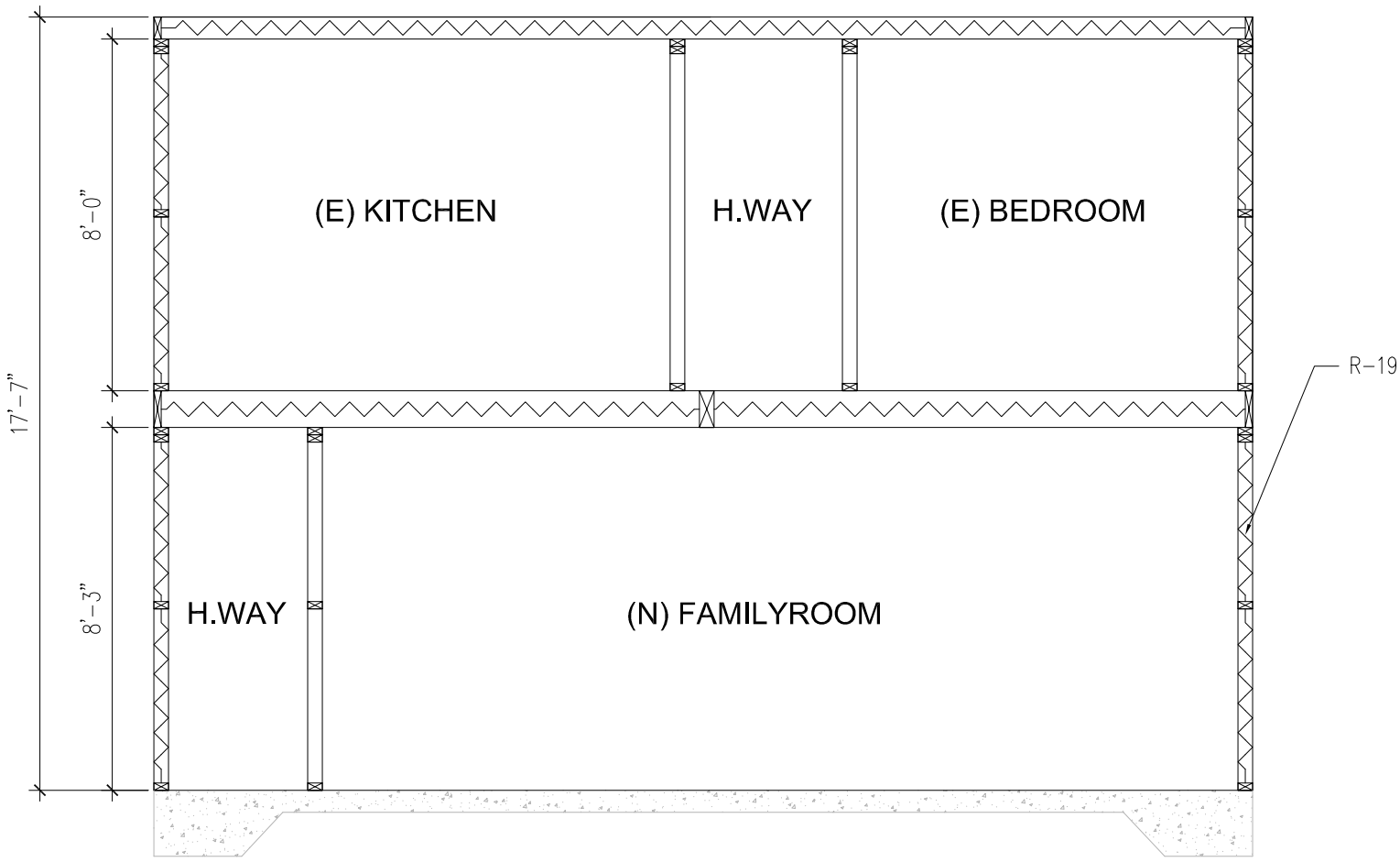
REVISE	
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-8826	
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. O. SAN FRANCISCO, CA TEL: (415) 898-8888 EMAIL: ANDREW_CHH@YAHOO.COM	
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116	
SHEET TITLE: PROPOSED ELEVATION	
DATE:	JUNE/13/2019
DRAWN:	A.K.
SCALE:	AS NOTED
SHEET A2.2	
OF 8 SHEETS	



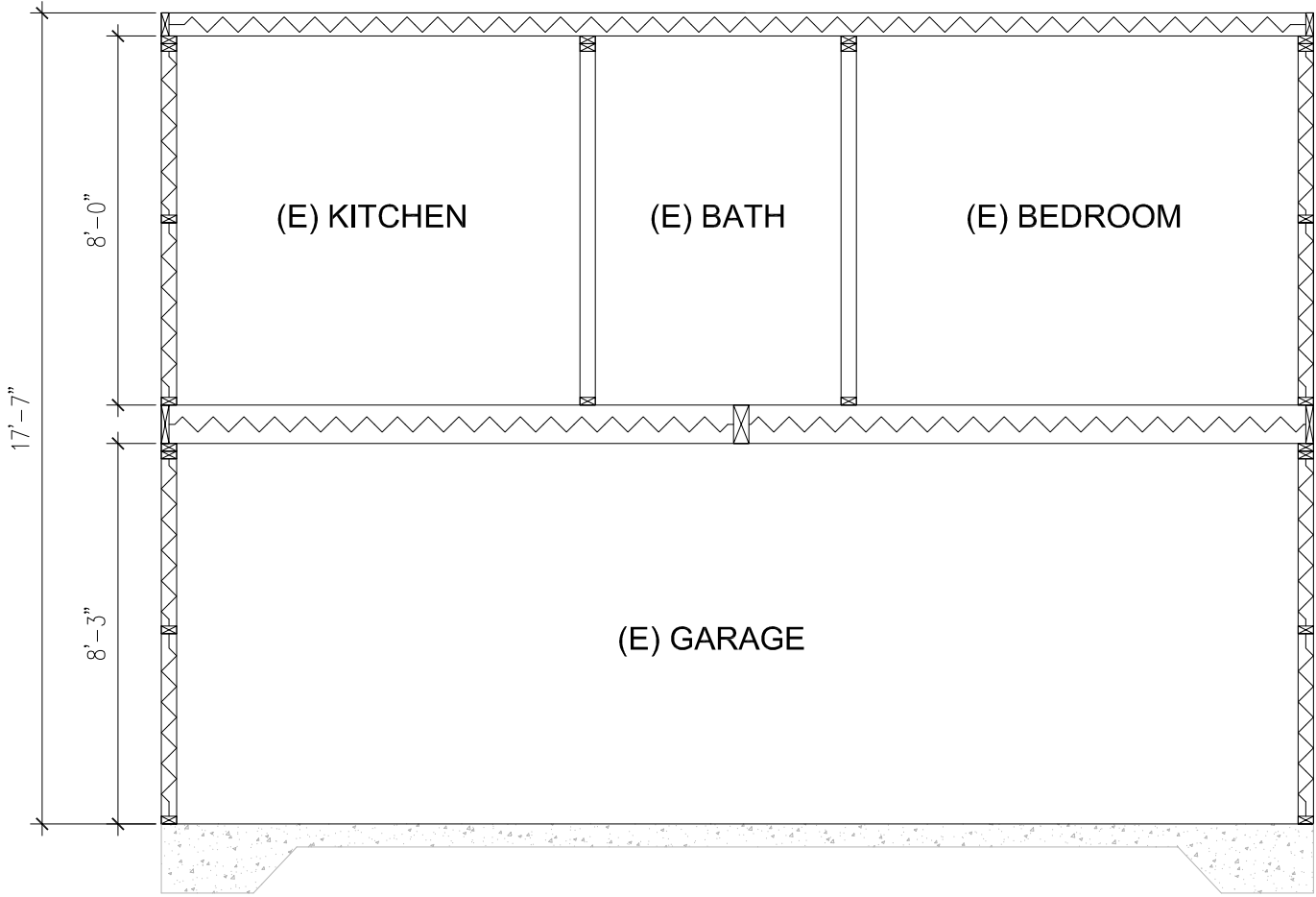
<p>OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-6828</p>		<p>DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE., SO. SAN FRANCISCO, CA TEL: (415) 689-5556 EMAIL: ANDREW_CHHK@YAHOO.COM</p>		<p>2019 23RD AVE, SAN FRANCISCO, CA 94116</p>	
<p>SHEET TITLE:</p> <p>PROPOSED ELEVATION</p>					
<p>DATE: JUNE /13/2019</p> <p>DRAWN: A.K.</p> <p>SCALE: AS NOTED</p>		<p>SHEET</p> <p>A2.3</p> <p>OF 8 SHEETS</p>			



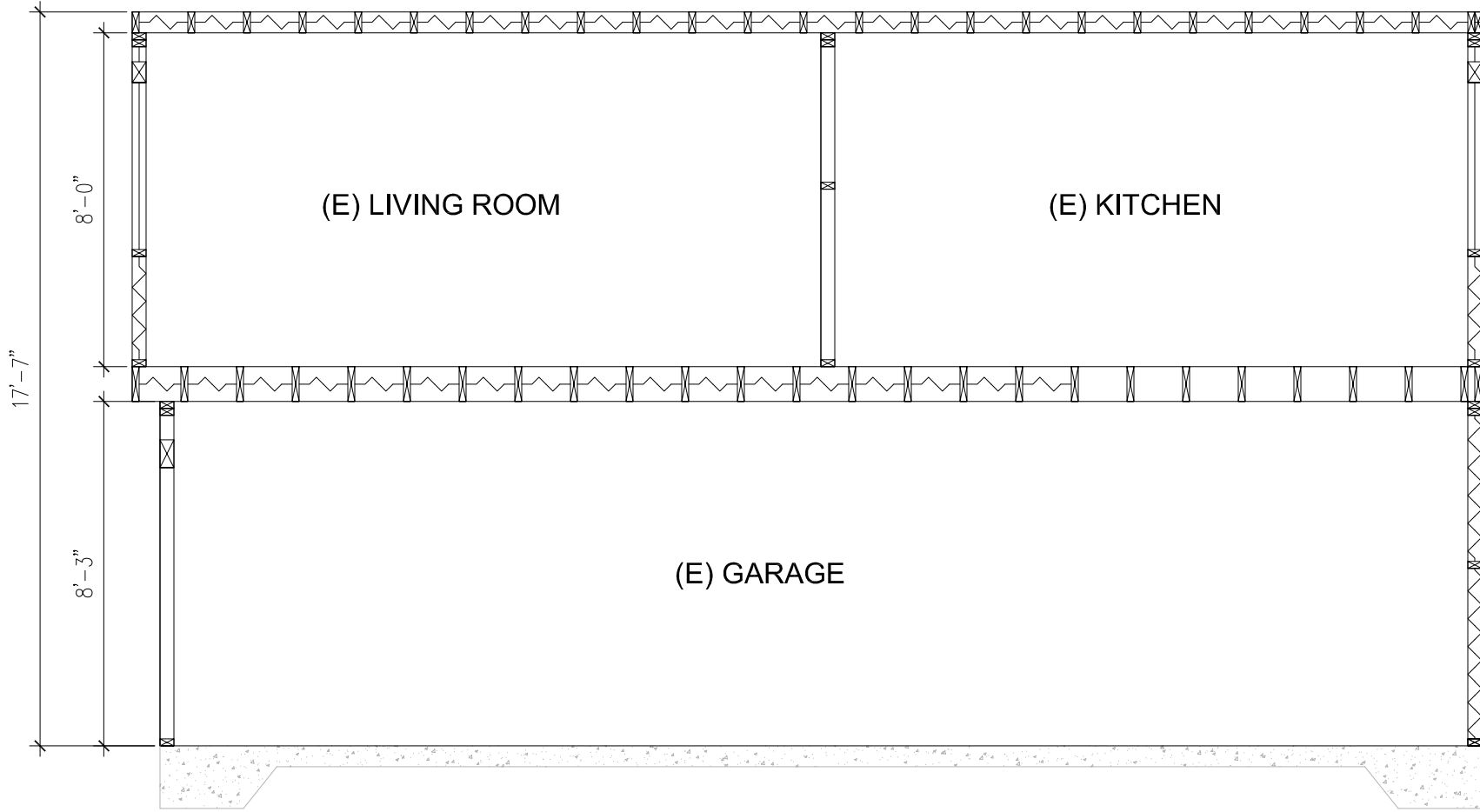
(N) SECTION 5
1/4" = 1'-0"



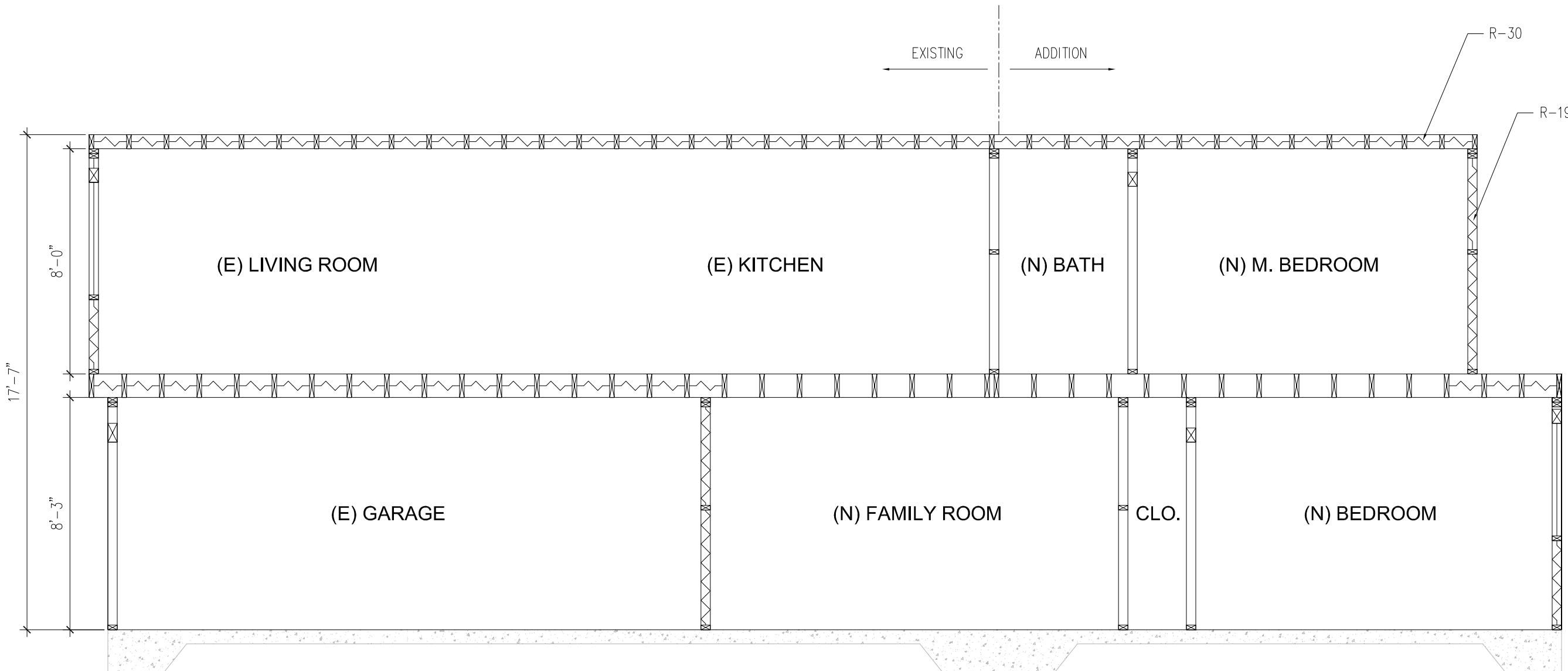
(N) SECTION 4
1/4" = 1'-0"



(E) SECTION 3
1/4" = 1'-0"



(E) SECTION 1
1/4" = 1'-0"



(N) SECTION 2
1/4" = 1'-0"

REVISE	
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-8826	
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE. O. SAN FRANCISCO, CA TEL: (415) 884-8888 EMAIL: ANDREW_CHH@YAHOO.COM	
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116	
SHEET TITLE: SECTIONS	
DATE:	JUNE/13/2019
DRAWN:	A.K.
SCALE:	AS NOTED
SHEET A3.0 OF 8 SHEETS	



REVISE	
OWNER: RICKY & CAROL DUNG ADDRESS: 2019 23RD AVE SAN FRANCISCO, CA 94116 TEL: (415) 216-8826	
DESIGN: ANDREW KWOK ADDRESS: 475 LITTLEFIELD AVE, SAN FRANCISCO, CA TEL: (415) 888-1888 EMAIL: ANDREW_CHHK@YAHOO.COM	
DUNG RESIDENCE 2019 23RD AVE, SAN FRANCISCO, CA 94116	
SHEET TITLE: PHOTOGRAPHS	
DATE:	JUNE/13/2019
DRAWN:	A.K.
SCALE:	AS NOTED
SHEET A4.0 OF 8 SHEETS	

EXHIBIT 4

Project data

ADDRESS:

2019 23rd Ave

BLOCK

2143

LOT

005

STORIES:

2

PRESENT USE:

Residential-House, One Family

OCCUPANCY:

R3

TYPE:

5B

ZONING:

RH-1

Scope of work

HORIZONTAL ADDITION AT REAR OF EXISTING TWO STORIES RESIDENTIAL BUILDING.

Project notes

Area/floor	Existing (ft²)	Proposed (ft²)	Change (ft²)
Living	753	1798	1,045
Car parking	1	1	
Bike parking	0	1	
Landscaping	0	(9*6.5)/(9*25)= 58.5 / 225 = 26%	> (45 ft²)20% req.
Permeable surface	0	(9*17)/(9*25)= 152/225 68%	> (12 ft²)50% req.

*No existing sprinkler and no proposed sprinkler systems

General notes

1. All work performed shall be in accordance with the adopted codes, standards and any applicable state or local amendments, including but not limited to:

1.1. Occupational safety and health standards, (CAL OSHA).

1.2. Lists of inspected appliances, equipment and materials (underwriters laboratories).

1.3. Approved equipment listing (factory mutual).

1.4. Handbook of rigging (rossnagel).

1.5. Safety code for building construction, ANSI.

1.6. California Building Code, 2016 edition.

1.7. California Electrical Code, 2016 edition.

1.8. California Energy Code, 2016 edition.

1.9. California Fire code, 2016 edition.

1.10. California Mechanical code, 2016 edition.

1.11. California Plumbing code, 2016 edition.

1.12. California Referenced Standards code, 2016 edition.

1.13. California Energy Efficiency standards, 2016 edition.

1.14. San Francisco Building Code

2. Where differences exist between codes affecting this work, the more restrictive code shall govern.

3. If the contractors observe that these drawings and specifications are in variance with the codes, he shall notify the architects and engineers in writing at once.

4. Ductwork, piping and equipment shall be installed per smacna "seismic restraint manual guidelines for mechanical systems"addendum no. 1 or equal in accordance with asce chapter 13 "seismic design requirements for non-structural components".

5. All fire-rated wall and floor penetrations shall be firesafed utilizing a ul approved fire safing systems.

6. All plumbing and piping systems shall be pressure tested and verified leak tight prior to calling for city progress or final inspections.

7. These drawings represent approximations of existing conditions. all conditions and dimensions are to be field verified by contractors prior to construction.

Abbreviations

ABV. ABOVE

A.F.F. ABOVE FINISH FLOOR

ALC. ALCOVE

ADJ. ADJACENT

ADJUST. ADJUSTABLE

ALUM. ALUMINUM

A.V. AUDIO-VISUAL

B.O. BOTTOM OF

BD. BOARD

BLDG. BUILDING

BTWN. BETWEEN

CAB. CABINET

C.G. CORNER GUARD

C.H. CLOTHES HOOK

C.J. CONTROL JOINT

C.L. CENTER LINE

CLG. CEILING

CLR. CLEAR

CNTR. COUNTER

COL. COLUMN

CONC. CONCRETE

COND. CONDITION

CONT. CONTINUOUS

CONST. CONSTRUCTION

CPT. CARPET

C.S.C.I CONTRACTOR SUPPLIED & CONTRACTOR INSTALLED

CTR. CENTER

DBL. DOUBLE

DEMO. DEMOLITION

DIM. DIMENSION

DISP. DISPENSER

DN. DOWN

DR. DOOR

DTL. DETAIL

DWG. DRAWING

DWR. DRAWER

(E) EXISTING

EA. EACH

EL. ELEVATION

ELEC. ELECTRICAL

ENCL. ENCLOSED

EQ. EQUAL

EQUIP. EQUIPMENT

EXPAN. EXPANSION

EXT. EXTERIOR

FAB. FABRICATION

F.D. FLOOR DRAIN

F.F. FINISH FLOOR

FEC. FIRE EXT. CABINET

FIN. FINISH

FLR. FLOOR

FLUOR. FLUORESCENT

F.O. FACE OF

F.T. FEET

F.S. FIRE SHUTTER

GA. GAUGE

G.B. GRAB BAR

G.D. GARBAGE DISPOSAL

G.C. GENERAL

GL. GLASS

GYP. BD. GYPSUM BOARD

H.C. HANDICAPPED

HT. HEIGHT

INT. INTERIOR

INSUL. INSULATED

JT. JOINT

K.S. KNEE SPACE

L. LOCKER

LOC. LOCATION

MAG. MAGNETIC

MAX. MAXIMUM

MECH. MECHANICAL

MIN. MINIMUM

MOS. MOTION SENSOR

MTD. MOUNTED

MTG. MOUNTING

MTL. METAL

(N) NEW

N.I.C. NOT IN CONTRACT

N.T.S. NOT TO SCALE

O/ OVER

O.C. ON CENTER

O.H. OPPOSITE HAND

OPNG. OPENING

OPP. OPPOSITE

O.S.C.I. OWNER SUPPLIED

& CONTRACTOR INSTALLED

O.S.O.I. OWNER SUPPLIED

& OWNER INSTALLED

PART. BD. PARTICLE BOARD

PL. PLATE

P. LAM. PLASTIC LAMINATE

PLCB. PLASTIC

PNL. LAMINATE CABINET

P.NEL. PANEL

P.T. PAPER TOWEL

PTD. DISPENSER

PAINTED

RAD. RADIUS

REINF. REINFORCE

REQ'D. REQUIRED

RESIL. RESILIENT

R.C.P. REFLECTED

CEILING PLAN

RM. ROOM

R.O. ROUGH OPENING

R.O.S. ROLL OUT SHELF

S&P. SHELF AND POLE

S.D. SOAP DISPENSER

SIM. SIMILAR

SHT. SHEET

S.C.D. SEE CIVIL

ENGINEERING

DRAWINGS

S.E.D. SEE ELECTRICAL

DRAWINGS

S.L.D. SEE LANDSCAPE

DRAWINGS

S.M.D. SEE MECHANICAL

DRAWINGS

S.P.D. SEE PLUMBING

DRAWINGS

SPECS. SPECIFICATIONS

SQ. IN. SQUARE INCHES

SQ. FT. SQUARE FEET

S.S. STAINLESS STEEL

S.S.D. SEE

STRUCTURAL

DRAWINGS

ST. STL. STAINLESS STEEL

STL. STEEL

STN. STATION

SUSP. SUSPENDED

T. TEMPERED GLASS

TEL. TELEPHONE

TEMP. TEMPERED

T.O. TOP OF

TYP. TYPICAL

U.N. UNLESS

OTHERWISE NOTED

V.A.T. VINYL ACOUSTICAL

TILE

V.I.F. VERIFY IN FIELD

W/ WITH

W.C. WATER CLOSET

WD. WOOD

WDW. WINDOW

W/O. WITHOUT

W.O. WHERE OCCURS

Sheet index

A1.1 Notes, Legend, Scope of Work

A1.2 Site plans

A2.1 Floor plans

A2.2 Roof plans

A2.3 Elevations

A2.4 Elevations

A2.5 Section

A3.1 Architectural details

2019 23rd Ave

San Francisco CA 94116

Demolition Calculation

Demolition Calculation			
Linear footage measurement			
Element	(E) Length	Removed	% Removed
Front Façade	25'0"	0'-0"	0%
Rear Façade	25'0"	20'0"	80%
Left side elevation	31'8"	0'-0"	0%
Right side elevation	31'8"	0'-0"	0%
Total	113'4"	20'0"	18%

Area footage measurement

Vertical elements	(E) Length	Removed	% Removed
Front Façade	440	0	0%
Rear Façade	440	352	80%
Left side elevation	557	0	0%
Right side elevation	557	0	0%
Total	1994	352	18%

Horizontal Elements

(E) Length	Removed	% Removed
Second floor	0	0
Ground floor	0	0
Total	0	0

School fee chart (Habitable space)

Floor area	Existing total (ft²)	Proposed total (ft²)
First floor	0	504
Second floor	530	700
Total area	530	1204

YUFLUX

ENGINEERING LLC

5418A GEARY BLVD.

SAN FRANCISCO, CA

P 415-322-0793

F 415-963-4080

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TITLE

Residential horizontal addition

SHEET TITLE

General notes

LOCATION

2019 23rd Ave

San Francisco CA 94116

BLOCK : 2143

LOT : 005

ZONING : RH-1

These drawings represent approximations of existing conditions. all conditions and dimensions are to be field verified by contractors prior to construction.

REGISTERED PROFESSIONAL ENGINEER

RONALD GATE

No. C76647

Exp. 12/31/2020

CIVIL

STATE OF CALIFORNIA

DRAWN

SCALE

AS NOTED

DATE

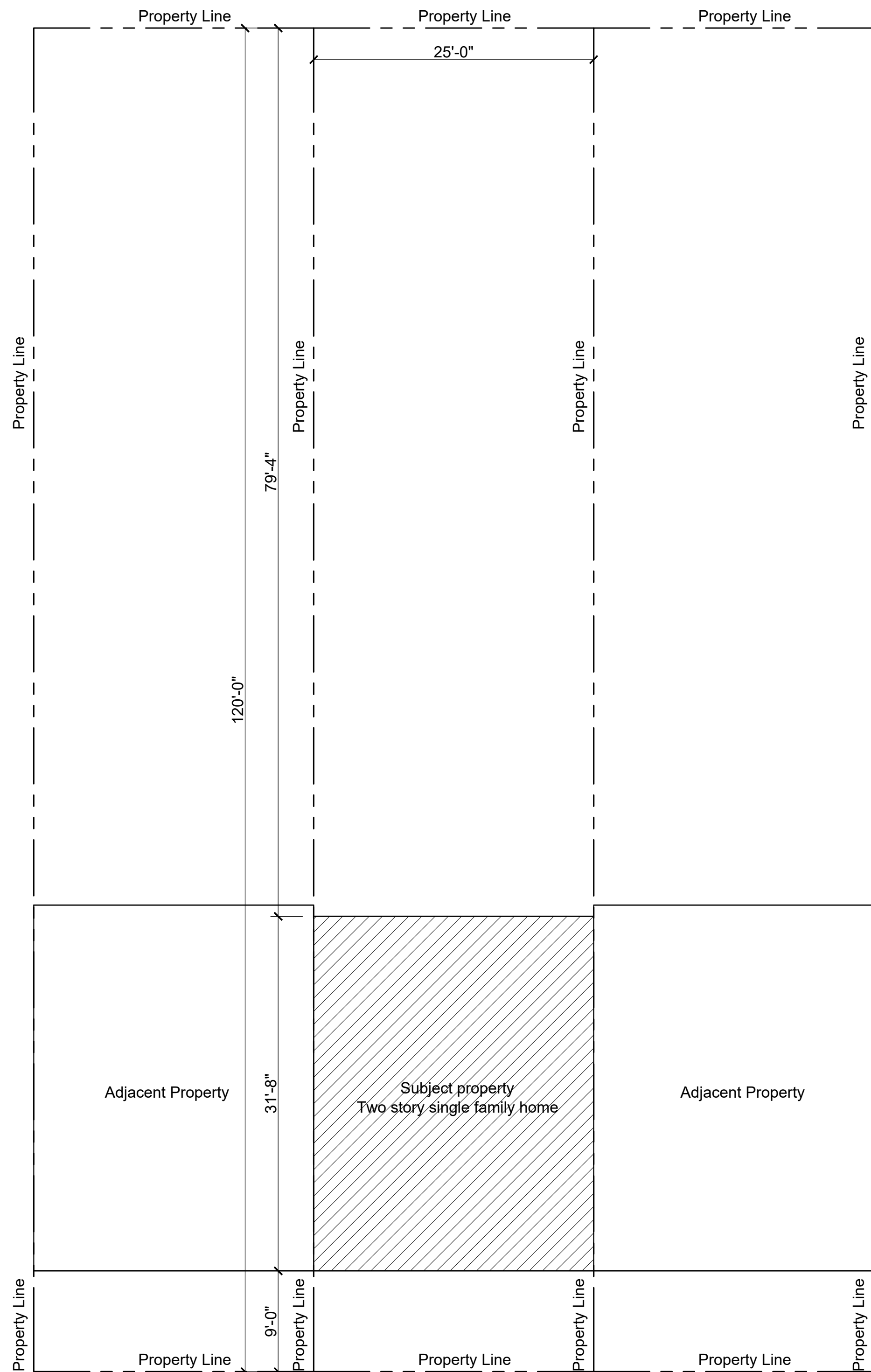
7/23/2020

PROJECT NO.

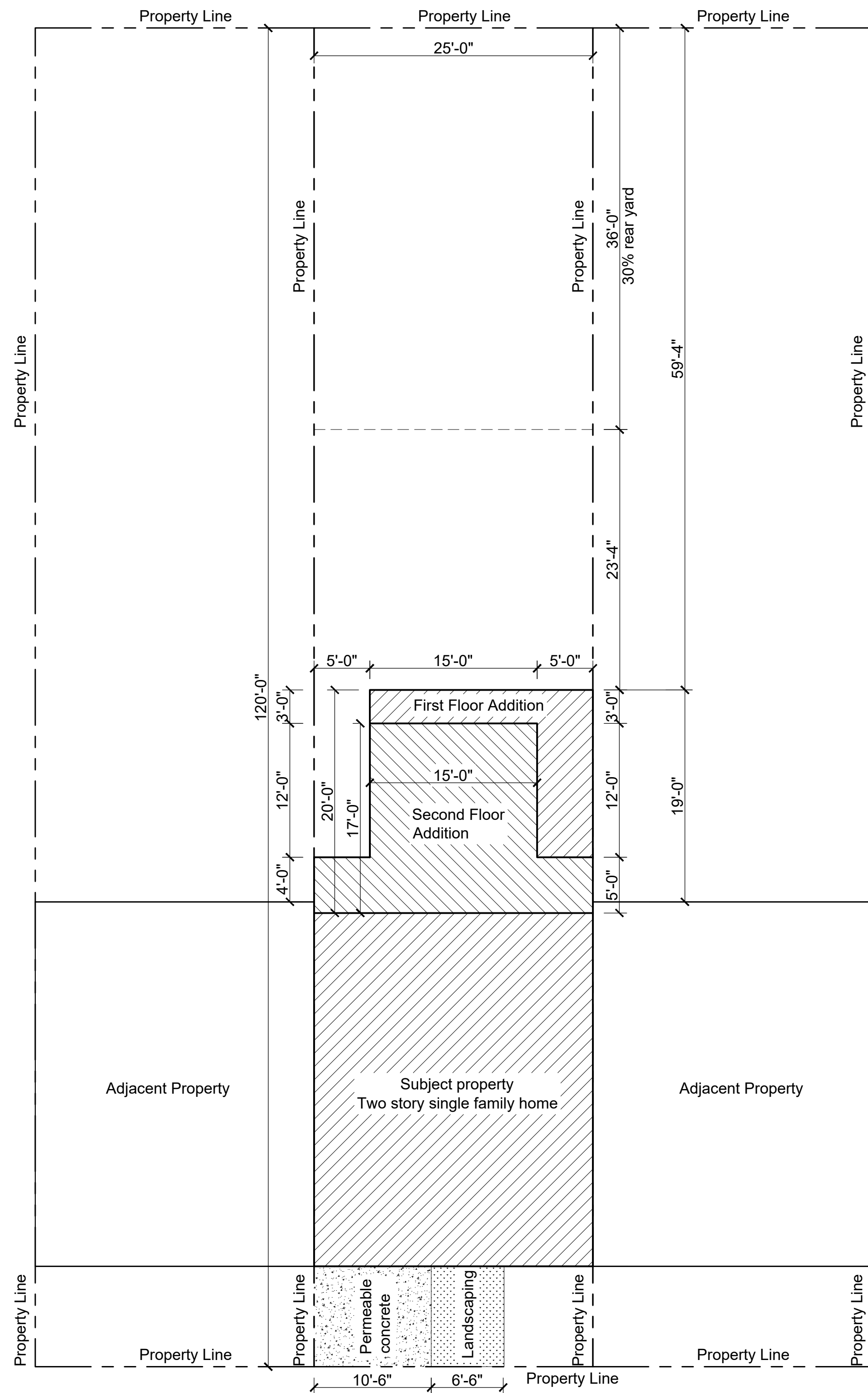
SHEET

A1.1

2019 23rd Avenue 2018-08-30-8786



1 Site Plan
1/8" = 1' - 0"

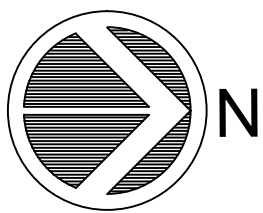


2 Site Plan
1/8" = 1' - 0"

Sidewalk

23RD AVE

(N) Street tree
24" Box fruitless olive tree
with new planter bed 36" X 36" sawcut



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REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TITLE
Residential horizontal addition

SHEET TITLE
Site Plans

LOCATION
2019 23rd Ave
San Francisco CA 94116
BLOCK : 2143 LOT : 005
ZONING : RH-1

These drawings represent approximations of existing conditions. All conditions and dimensions are to be field verified by contractors prior to construction.



DRAWN

SCALE AS NOTED

DATE 7/23/2020

PROJECT NO.

SHEET

A1.2

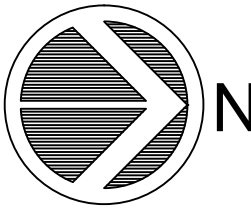
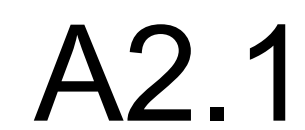
MECHANICAL NOTES	
(M1)	Provide combustion air openings from outside for W.H / furnace per CMC-CH.7
(M2)	Seismic strap W.H. REQ'D.
(M3)	Provide 26 GA. steel duct within garage space.
(M4)	Terminate gas vent 4'-0" from property line and 2'-0" above any portion of a bldg. within 10'-0"
(M5)	Terminate EXH. fan outlet outside min. 3'-0" from property line and bldg. openings w/ back-draft damper
(M6)	Specify high efficacy lighting per TITLE-24
(M7)	All high efficacy lighting or controlled by dimmer switch
(M8)	All high efficacy lighting controlled by vacancy sensor
(S)	Exhaust fan w/ humidistat
(SD)	Smoke detector
(CO)	Carbon monoxide detector

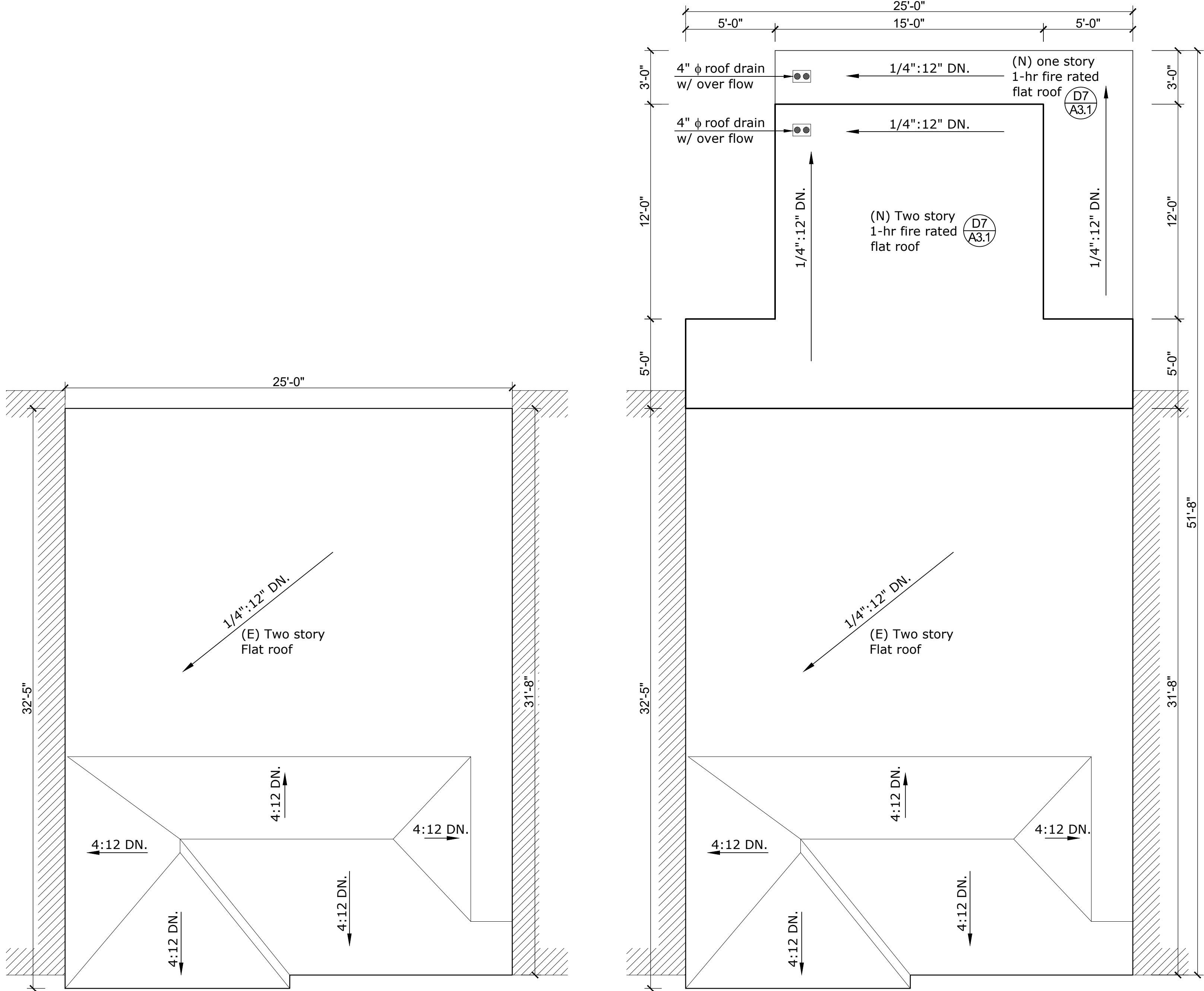
NOTES	
1. Provide R-19 insulation in ceiling for all unconditioned non-habitable spaces that are adjacent to conditioned habitable spaces	10. 42" guardrail w/ handrail
2. Provide 1-3/8" thick, solid wood, self-closing, self-latching door between the garage and habitable spaces	11. max 7.75" rise and min. 10" run
3. Provide min. 200 IN² louver in garage for outside air	12. Min. 5/8" type "X" gyp board in garage area walls and ceiling
4. All habitable spaces (rooms, kitchen, bathrooms, hallways) shall have a minimum ceiling height of 7'-0"	13. Windows: All emergency escape and rescue openings shall have: The bottom of the opening shall not be more than 44 inches above the floor. Minimum net clear opening height of 24" and width of 20." Minimum net clear opening of 5.7 square feet
5. Provide tempered glazing for all windows, where bottom edge of the glazing is less than 18 inches above the floor	14. 5/8" type "X" gypsum board under stairs
6. Bathtub/shower floors/walls above bathtubs with installed shower head and in shower compartments shall be finished with a nonabsorbent surface, surface shall not extend to a height of not less than 72" above the floor	
7. 1-hour fire rated wall with R-13 insulation (See detail D4/A3.1)	
8. New wall with R-13 insulation and one layer of 5/8" type X gyp board (See D5/A3.1 & D6/A3.1)	
9. One hour fire rated roof with R-30 Insulation	

2019 23rd Avenue 2018-08-30-8786

PROJECT TITLE	Residential horizontal addition
SHEET TITLE	Floor plans

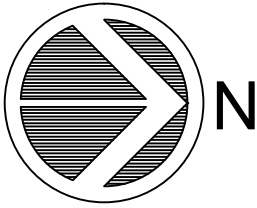
These drawings represent approximations of existing conditions. all conditions and dimensions are to be field verified by contractors prior to construction.





1 Existing roof plans
1/4" = 1' - 0"

2 Proposed roof plans
1/4" = 1' - 0"



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F 415-963-4080

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TITLE
Residential horizontal addition

SHEET TITLE
Roof plans

LOCATION
2019 23rd Ave
San Francisco CA 94116
BLOCK : 2143 LOT : 005
ZONING : RH-1

These drawings represent approximations of existing conditions. all conditions and dimensions are to be field verified by contractors prior to construction.



DRAWN

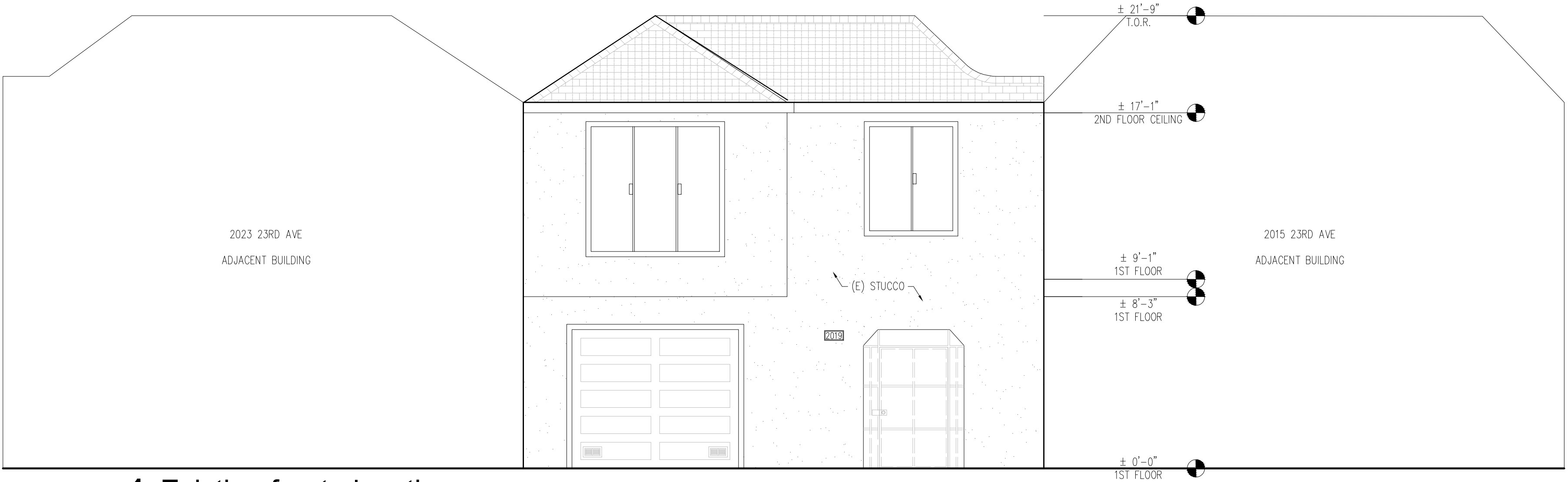
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DATE 7/23/2020

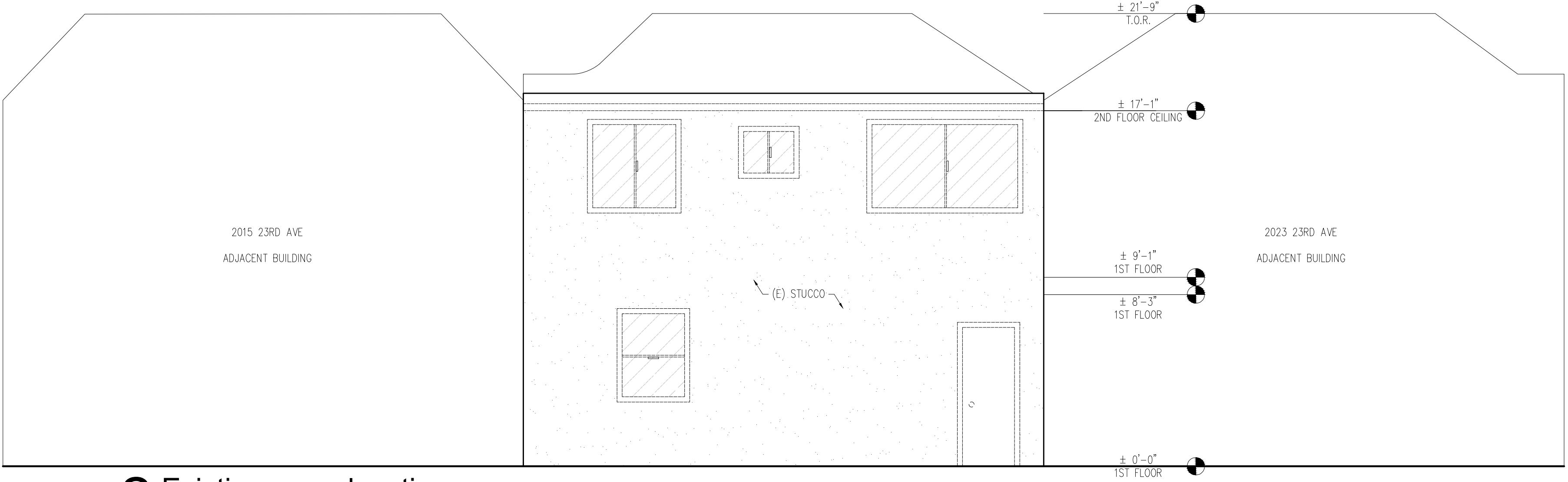
PROJECT NO.

SHEET

A2.2



1 Existing front elevation
1/4" = 1' - 0" (No work) *East elevation



2 Existing rear elevation
1/4" = 1' - 0" *West elevation



3 Proposed rear elevation
1/4" = 1' - 0" *West elevation

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REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TITLE
Residential horizontal addition
SHEET TITLE
Elevations

LOCATION
2019 23rd Ave
San Francisco CA 94116
BLOCK : 2143 LOT : 005
ZONING : RH-1

These drawings represent approximations of existing conditions. all conditions and dimensions are to be field verified by contractors prior to construction.



DRAWN

SCALE AS NOTED

DATE 7/23/2020

PROJECT NO.

SHEET

A2.3

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TITLE
Residential horizontal addition

SHEET TITLE
Elevations

LOCATION

2019 23rd Ave
San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

These drawings represent approximations of
existing conditions. all conditions and
dimensions are to be field verified by contractors
prior to construction.



DRAWN

SCALE AS NOTED

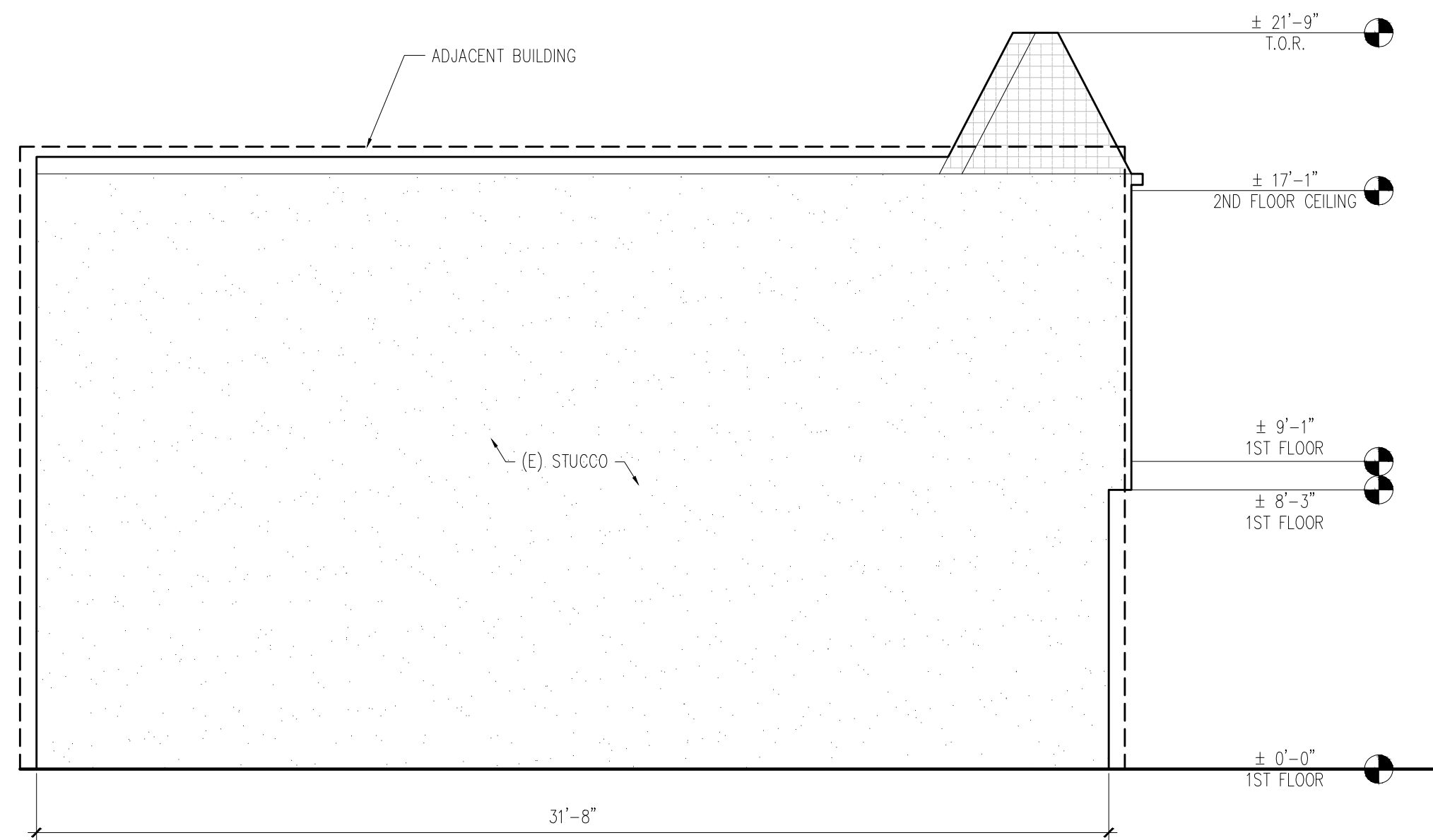
DATE 7/23/2020

PROJECT NO.

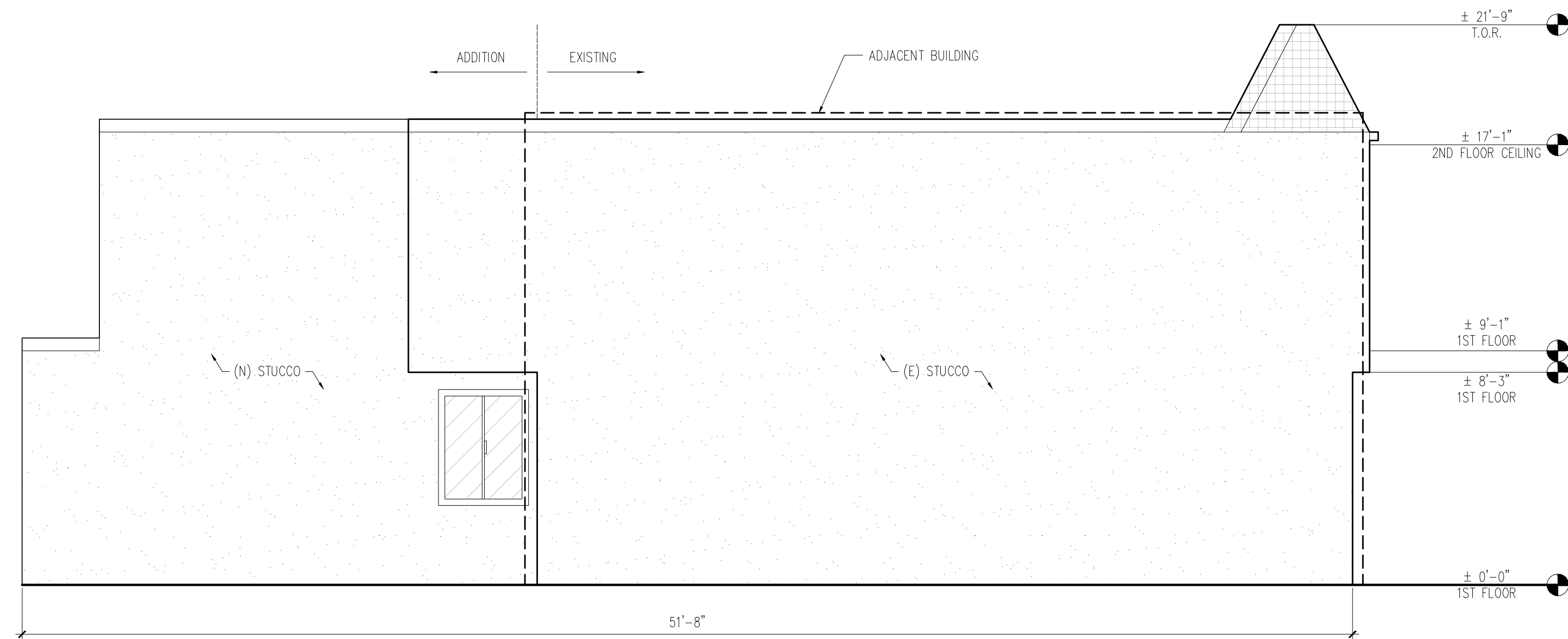
SHEET

A2.4

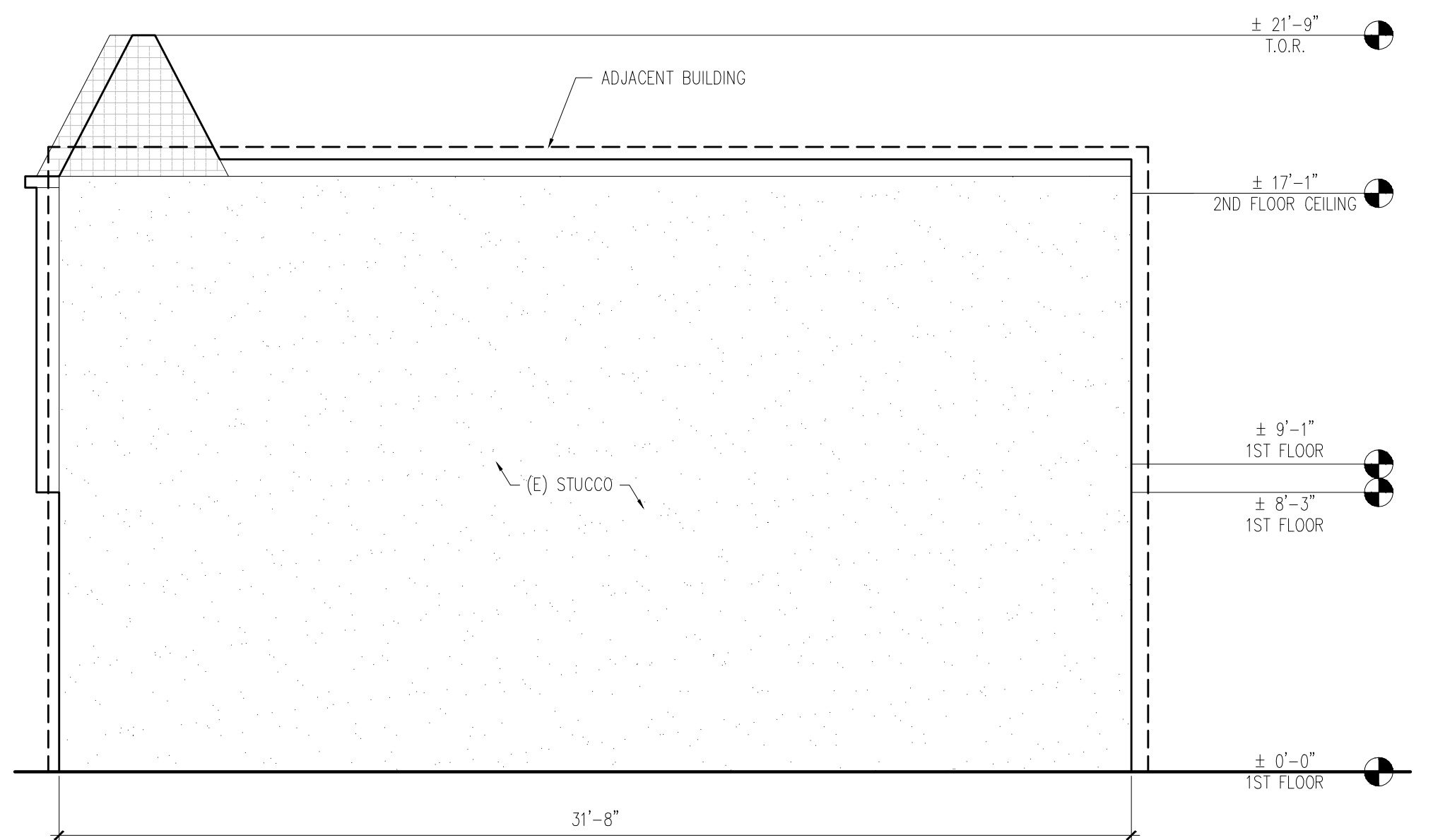
2019 23rd Avenue 2018-08-30-8786



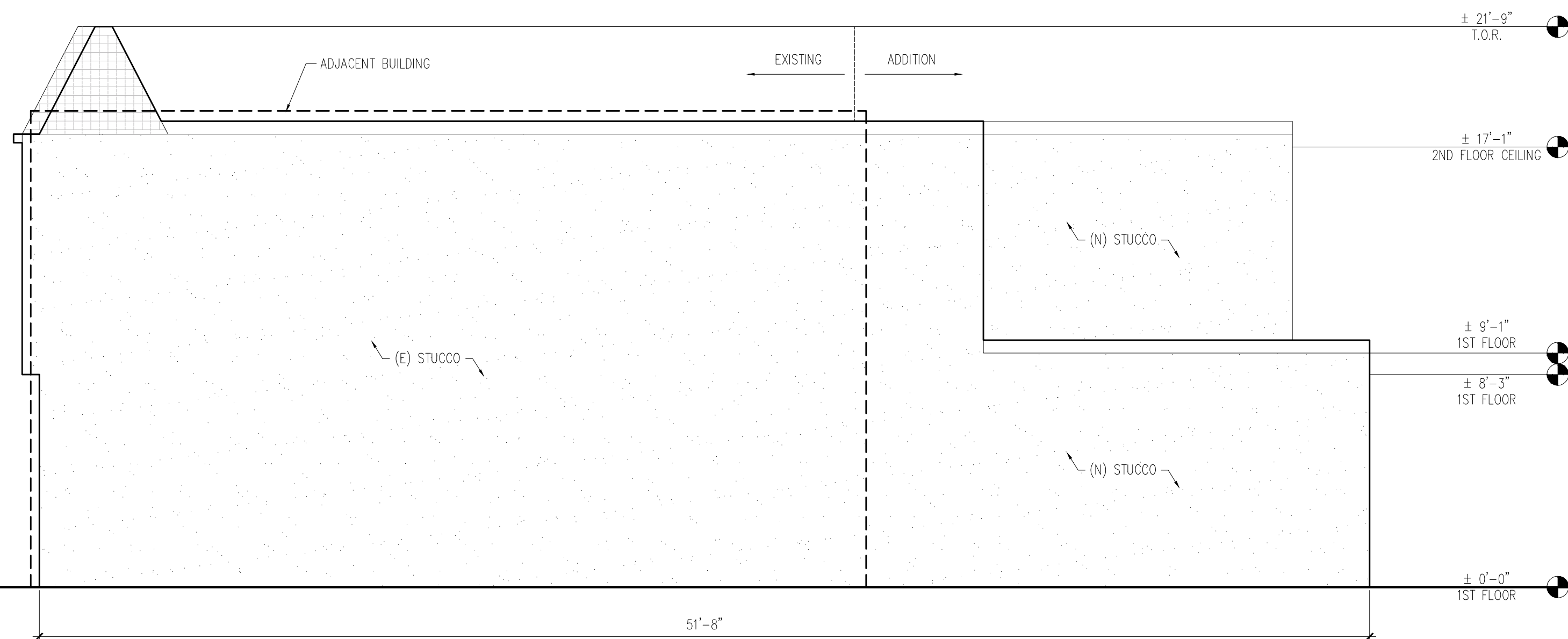
1 Existing left elevation
1/4" = 1' - 0" *South elevation



2 Proposed left elevation
1/4" = 1' - 0" *South elevation



3 Existing right elevation
1/4" = 1' - 0" *North elevation



4 Proposed right elevation
1/4" = 1' - 0" *North elevation

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TITLE

Residential horizontal addition

SHEET TITLE

Sections

LOCATION

2019 23rd Ave
San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

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DRAWN

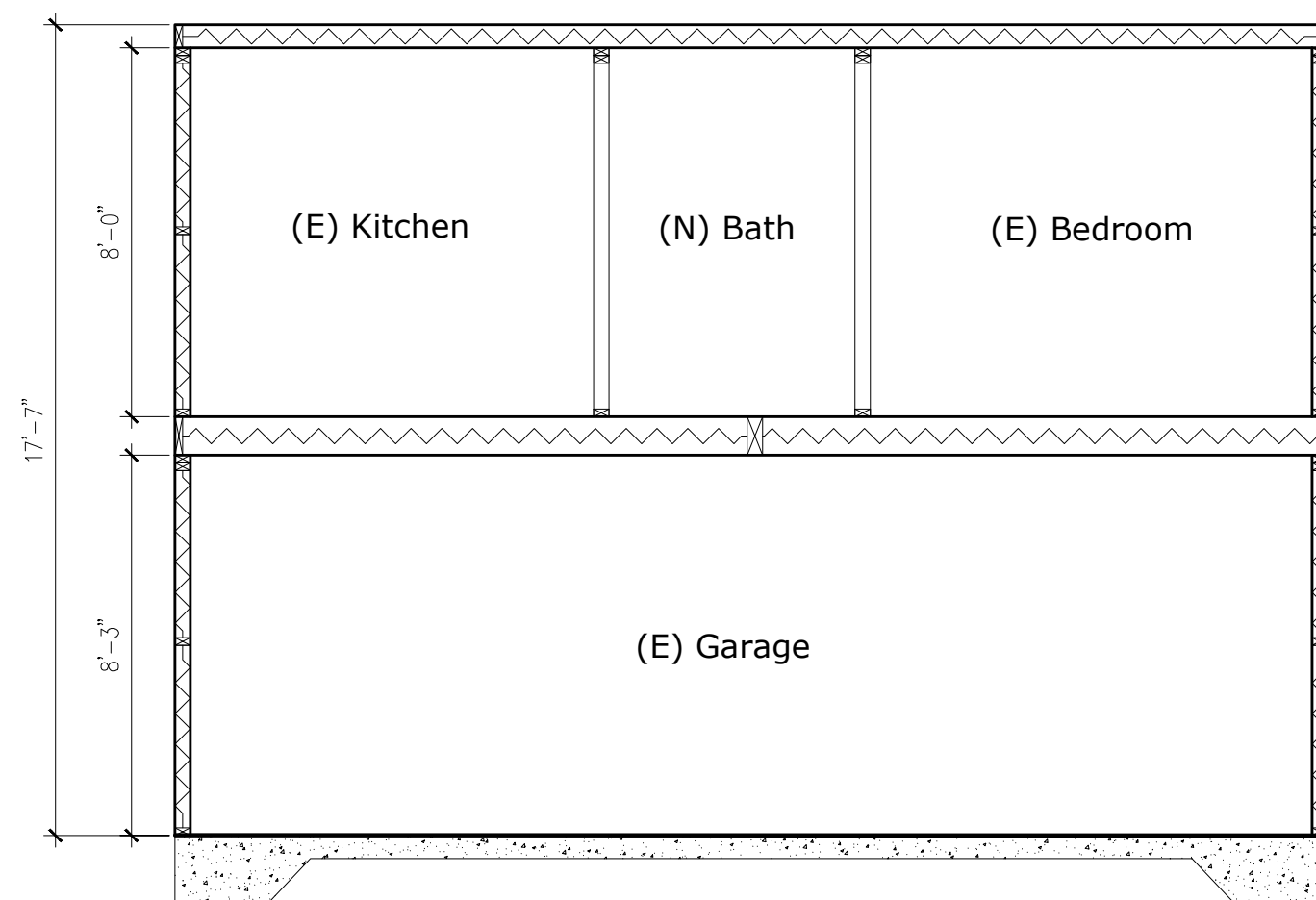
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DATE 7/23/2020

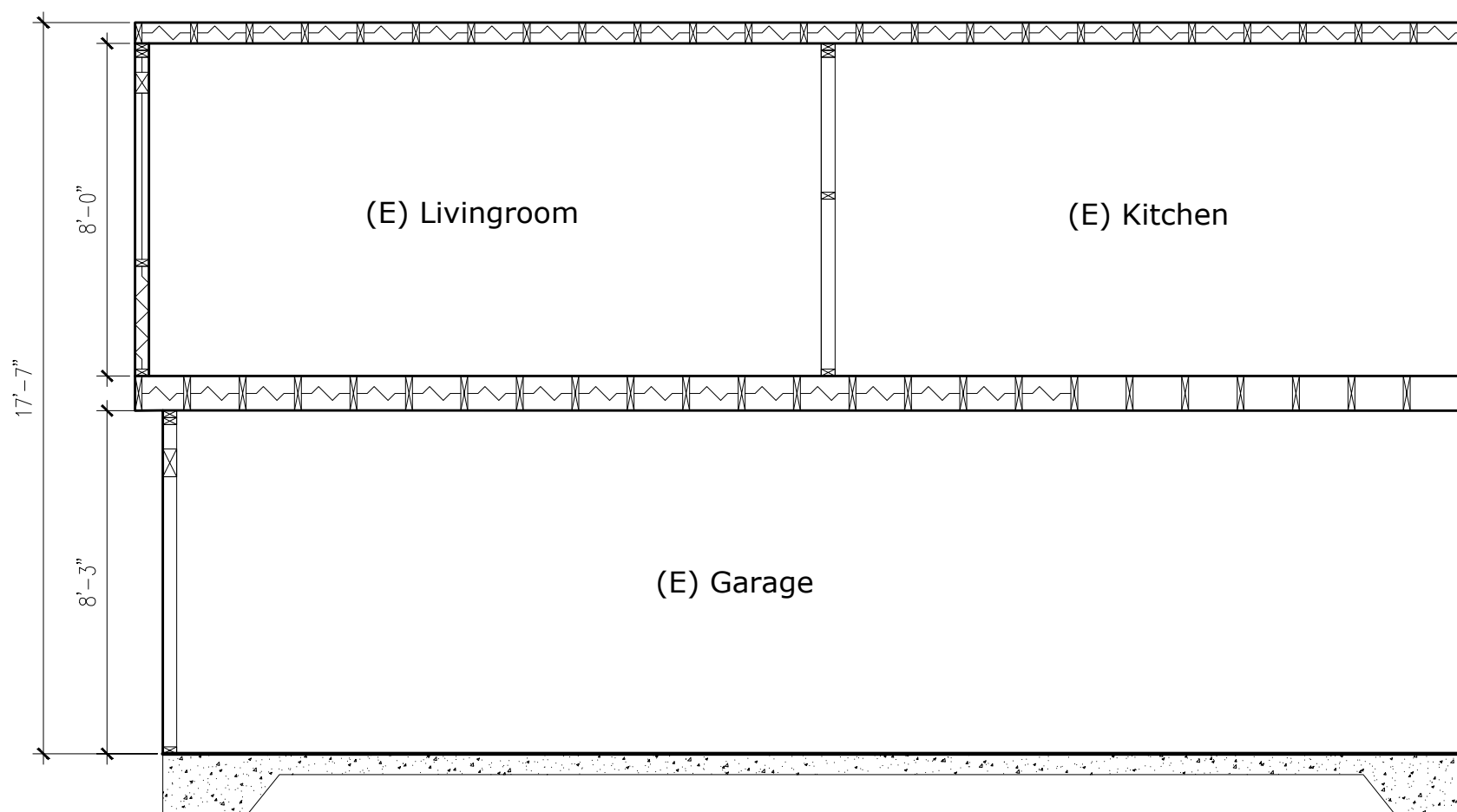
PROJECT NO.

SHEET

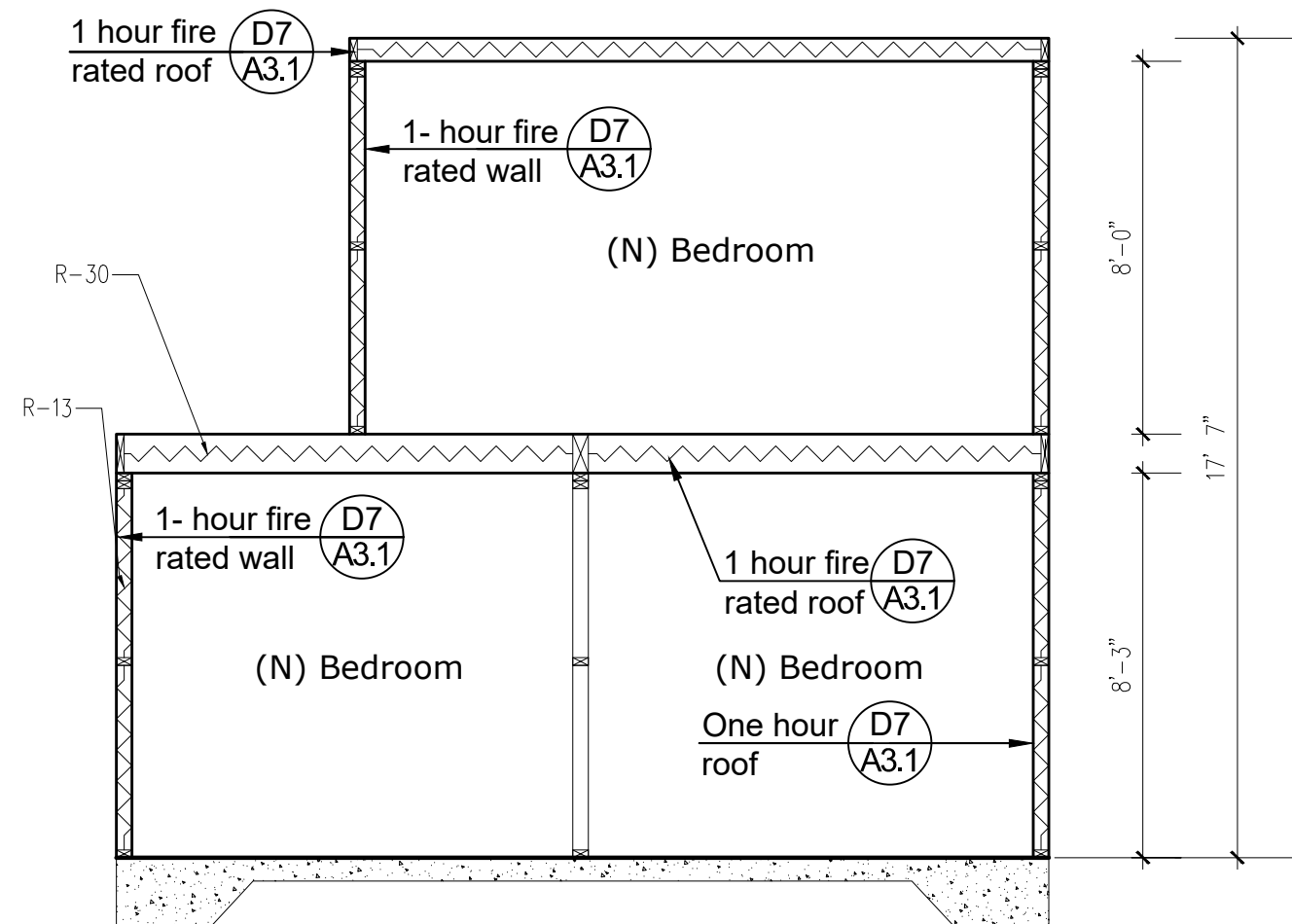
A2.5



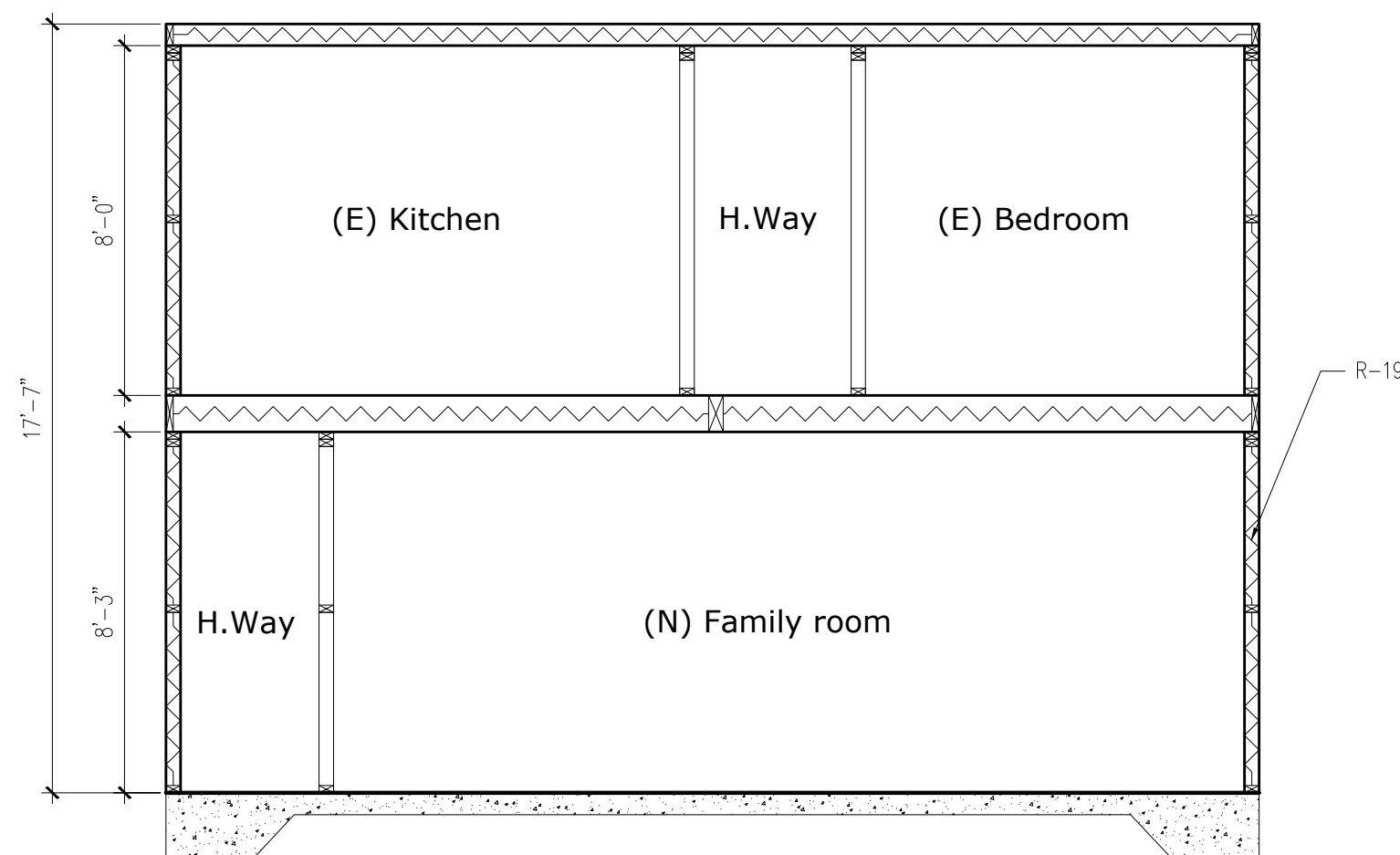
3 Existing section
1/4" = 1' - 0"



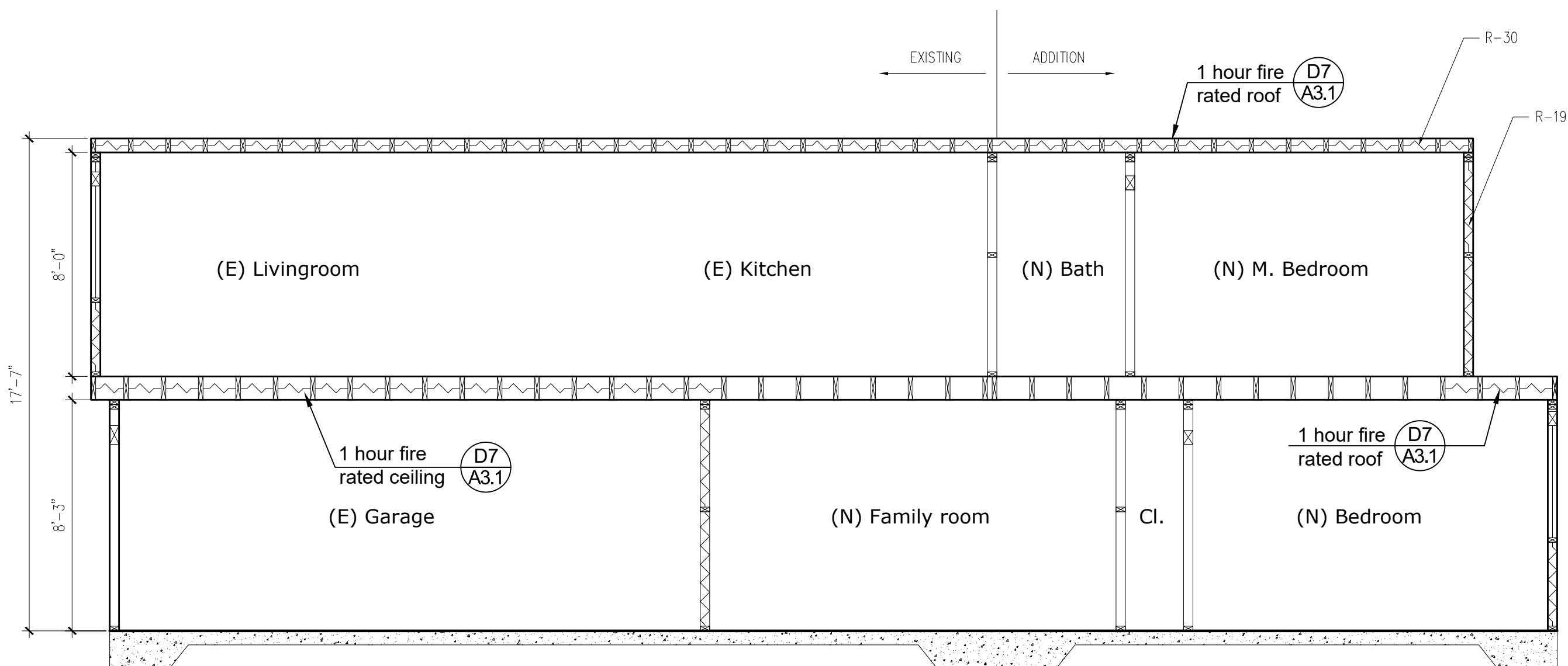
1 Existing section
1/4" = 1' - 0"



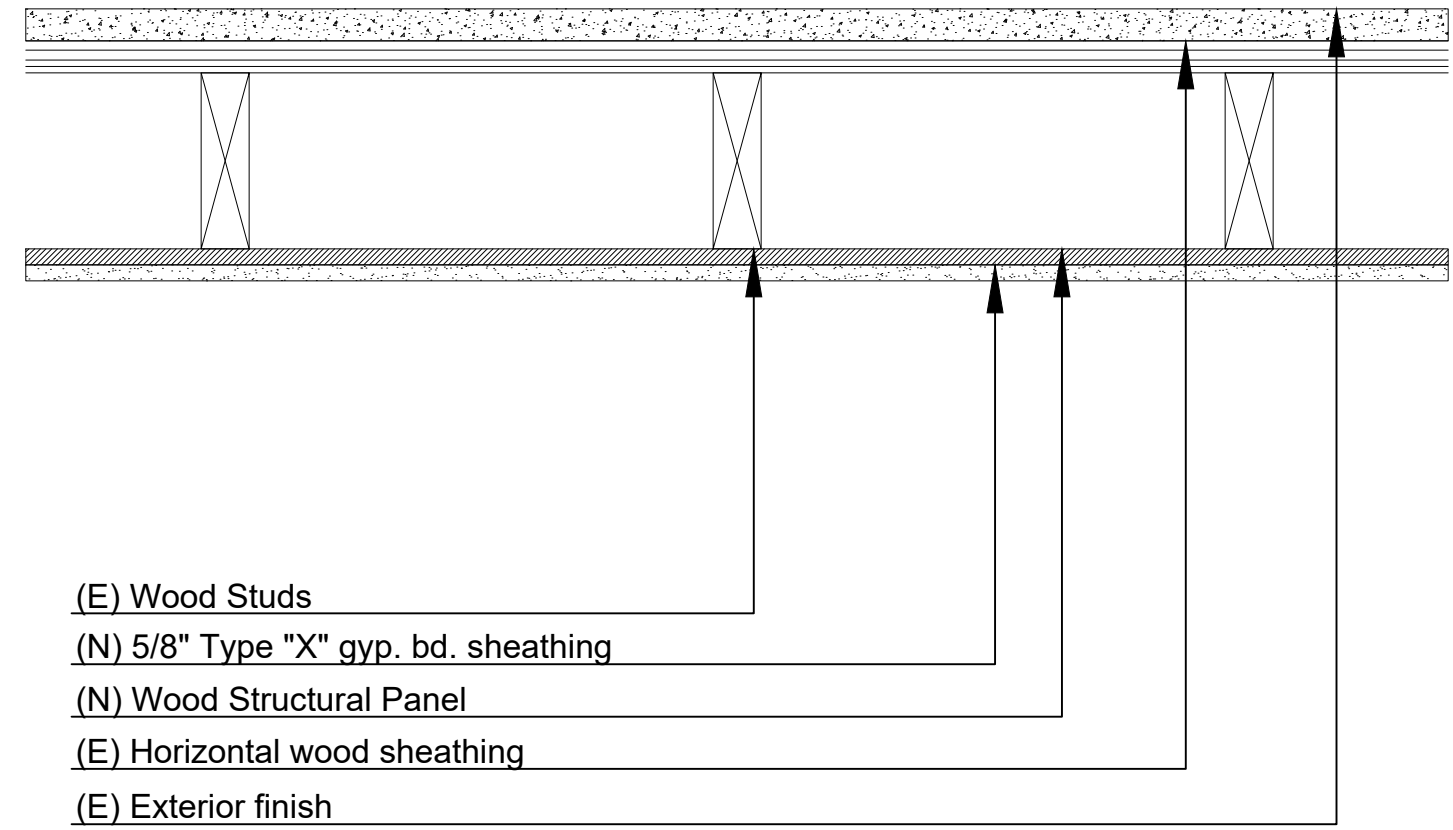
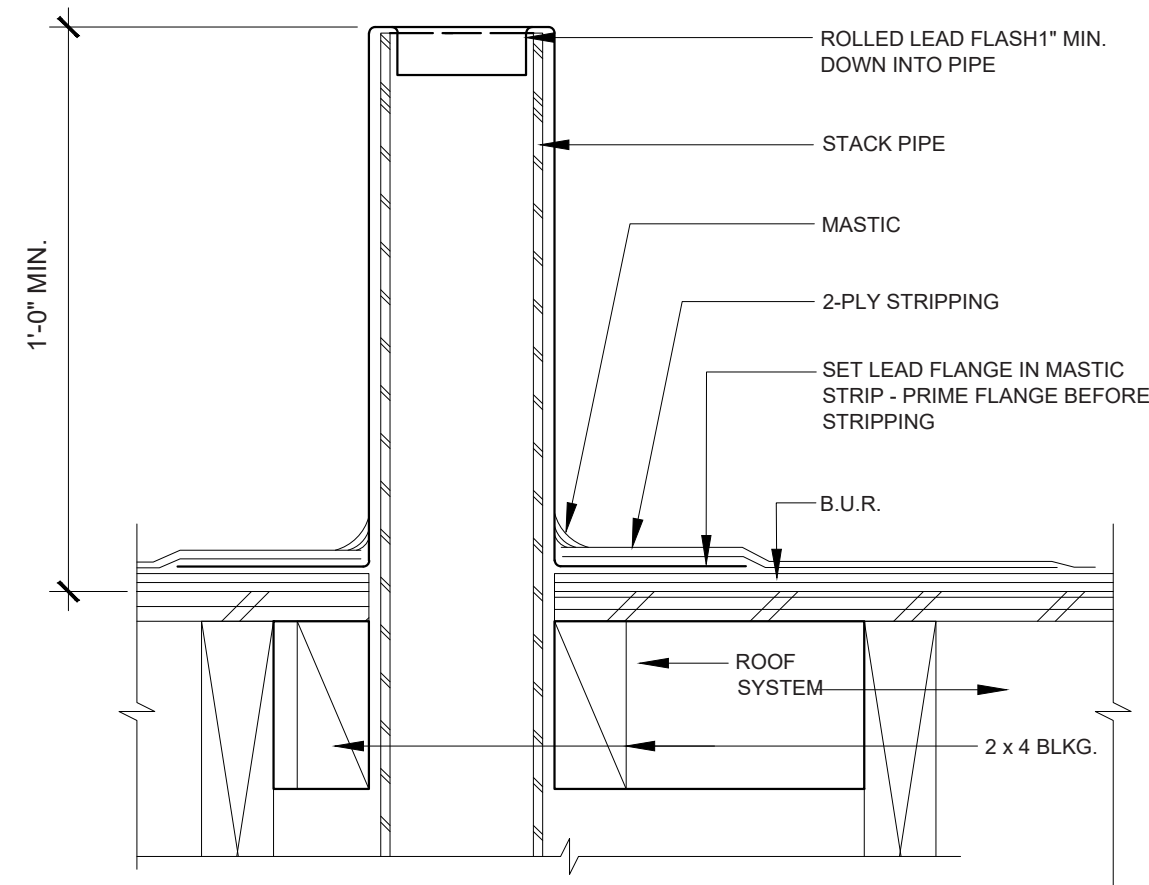
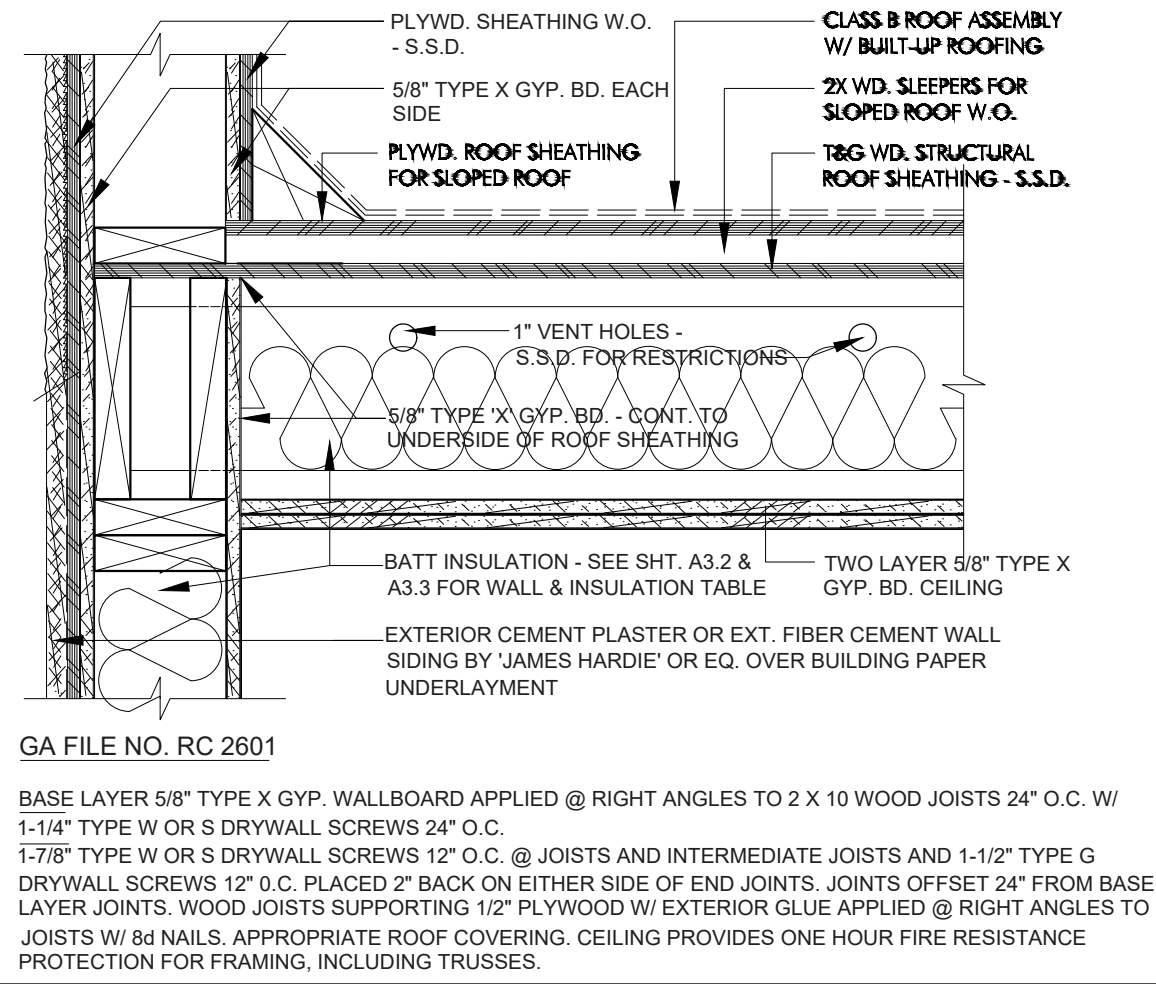
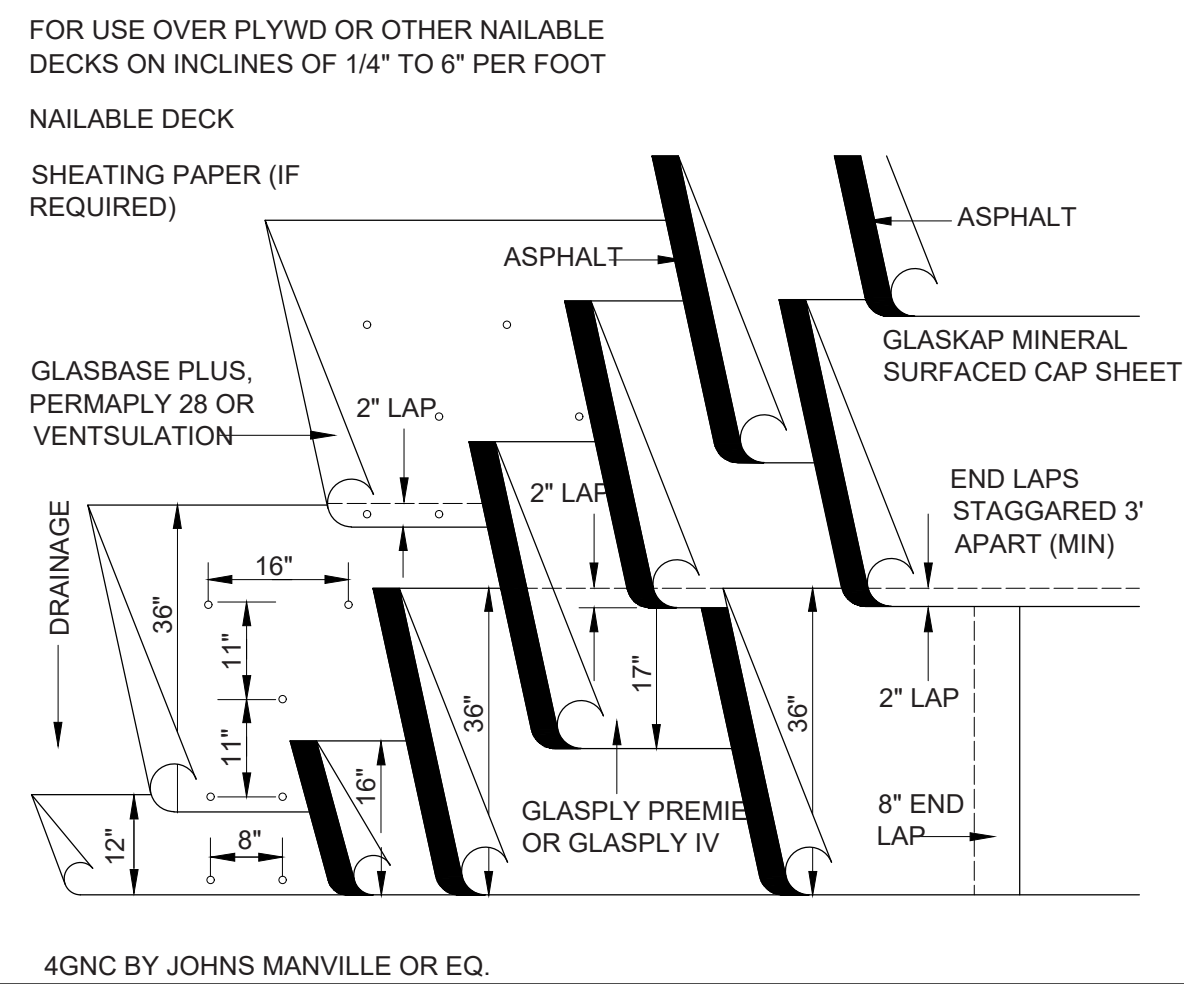
5 New section
1/4" = 1' - 0"



4 New section
1/4" = 1' - 0"



2 New section
1/4" = 1' - 0"

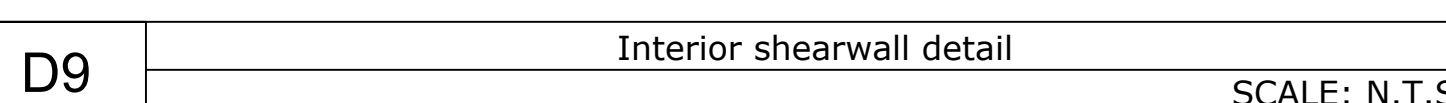
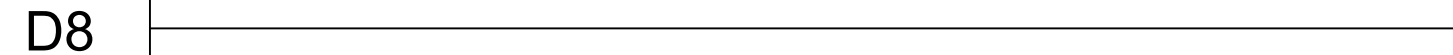
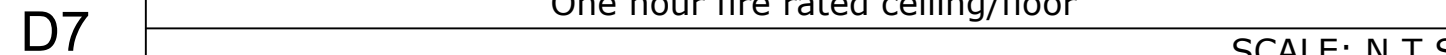
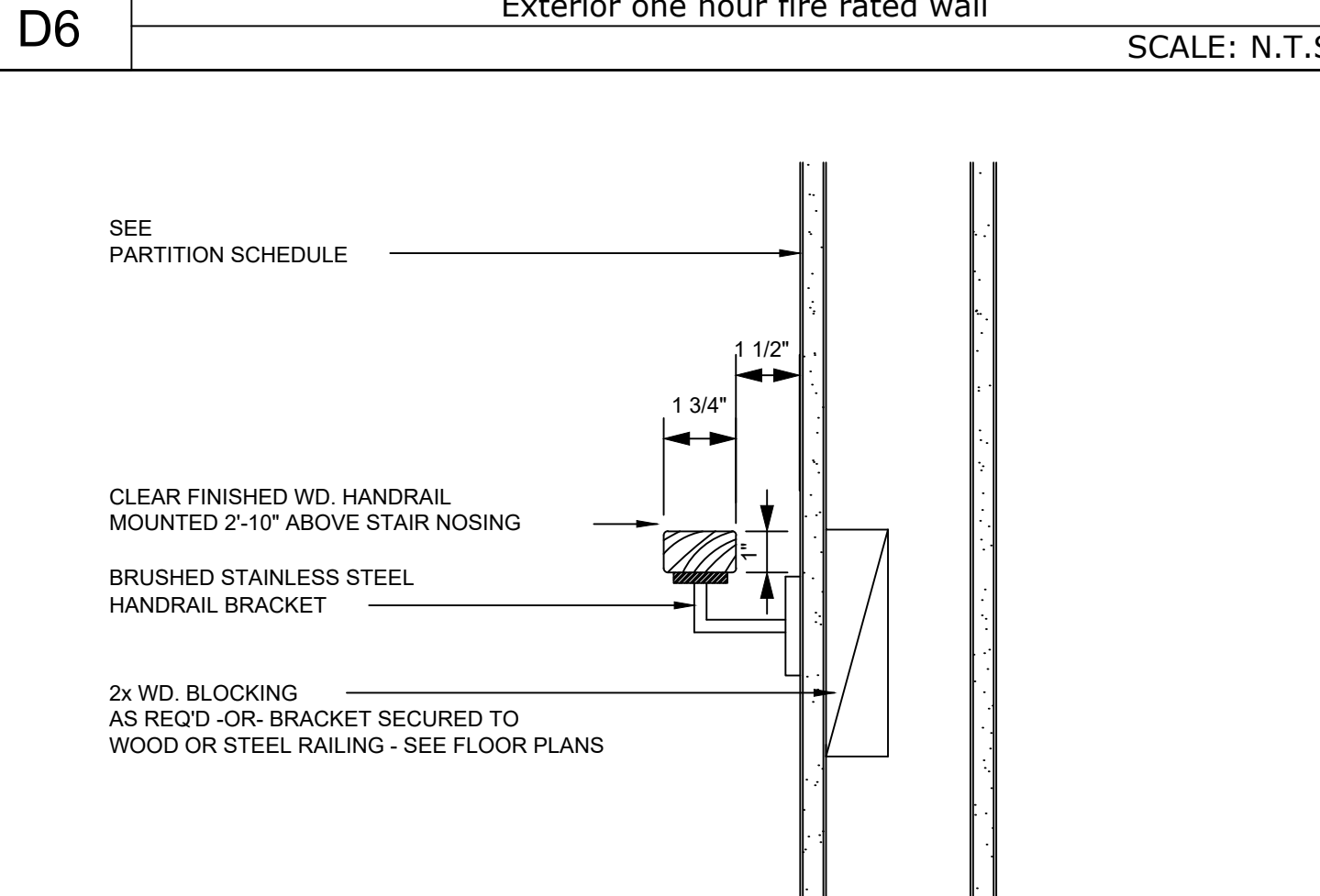
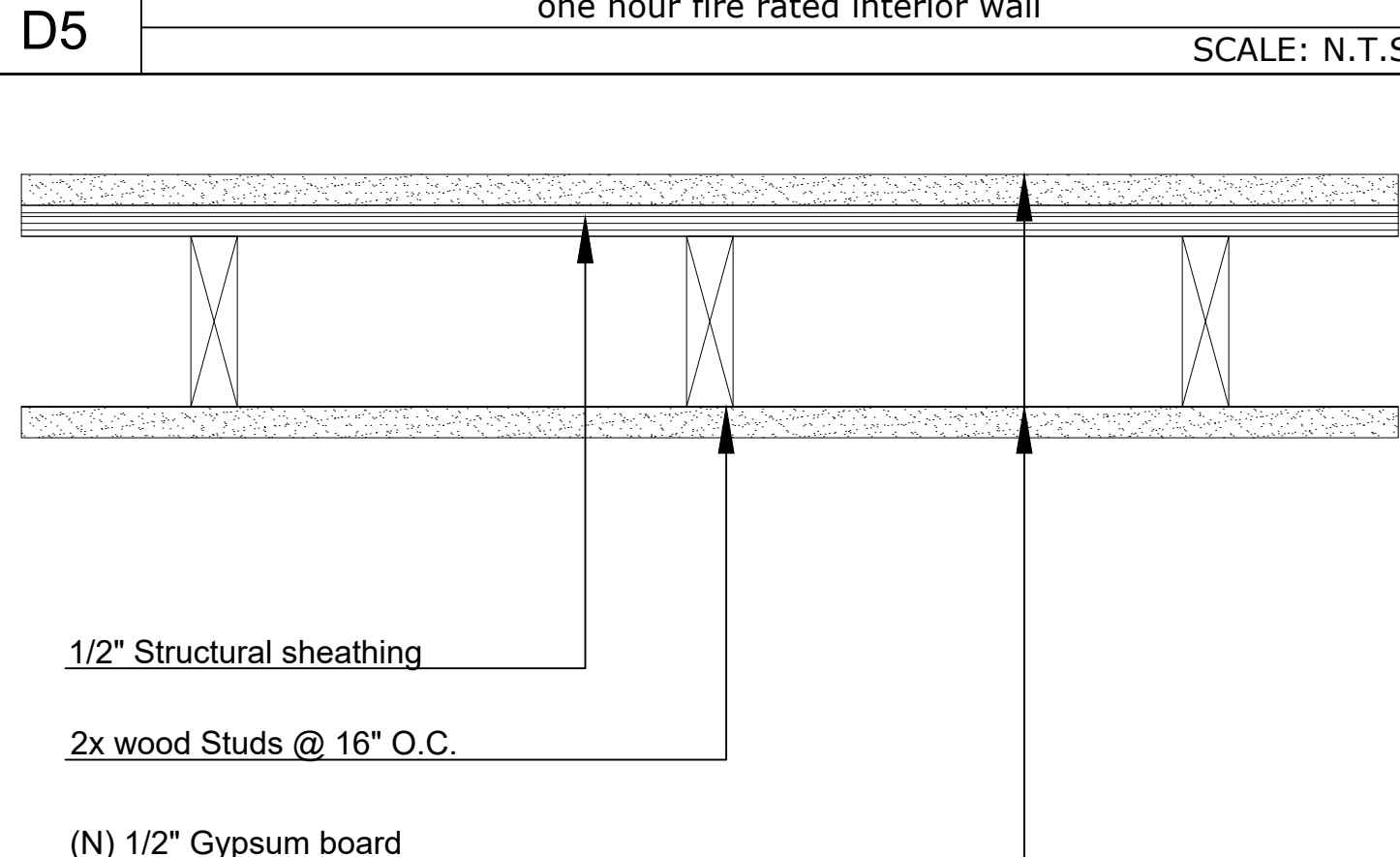
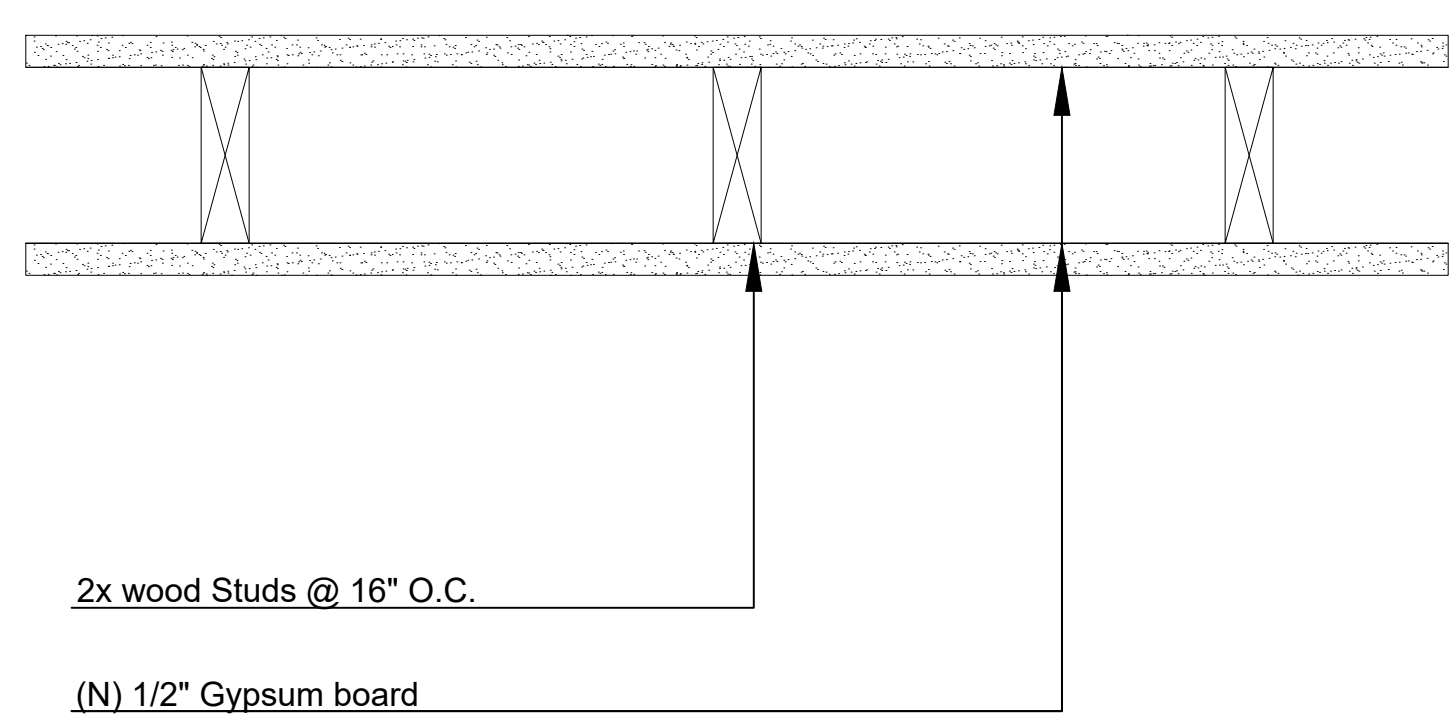
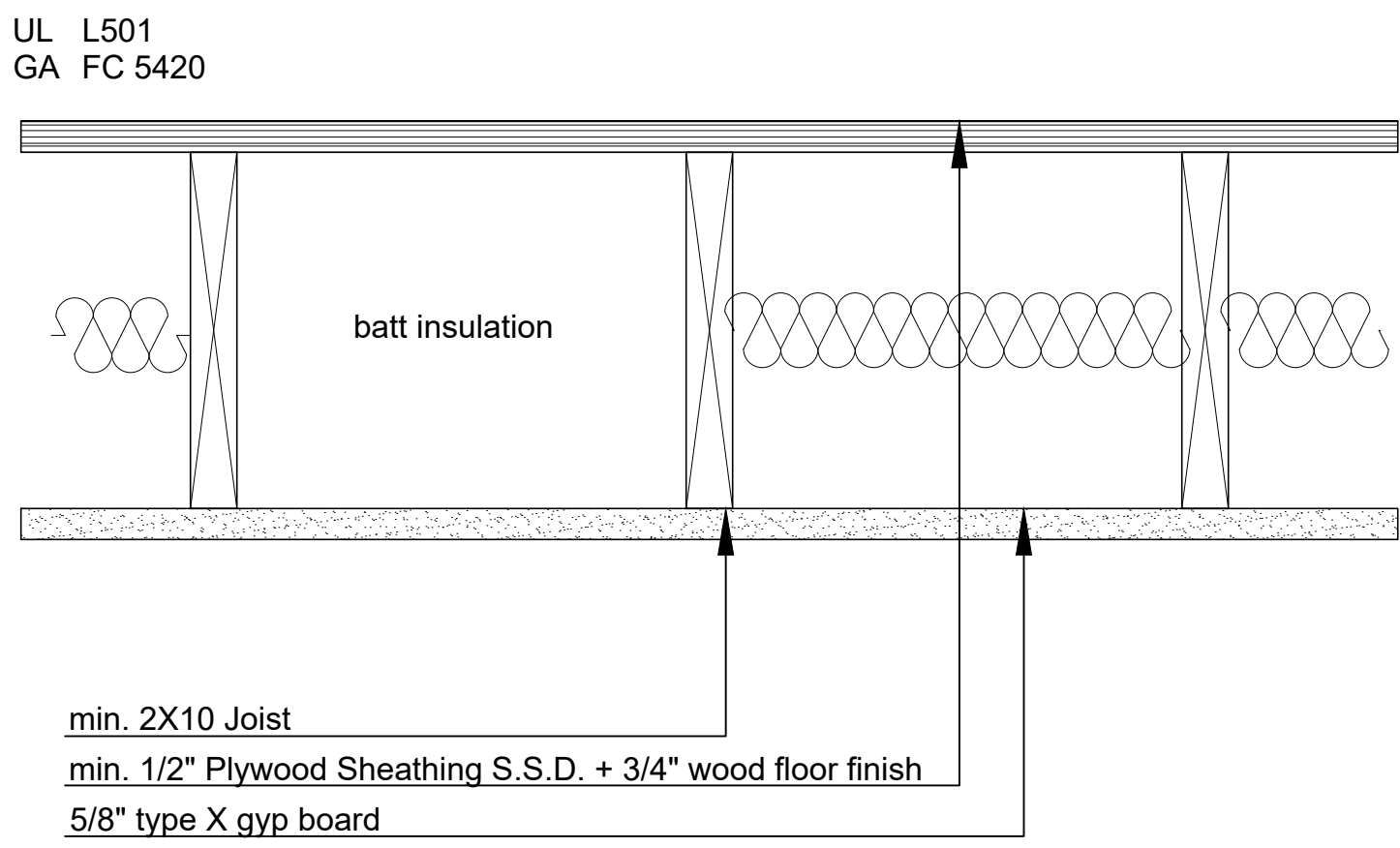
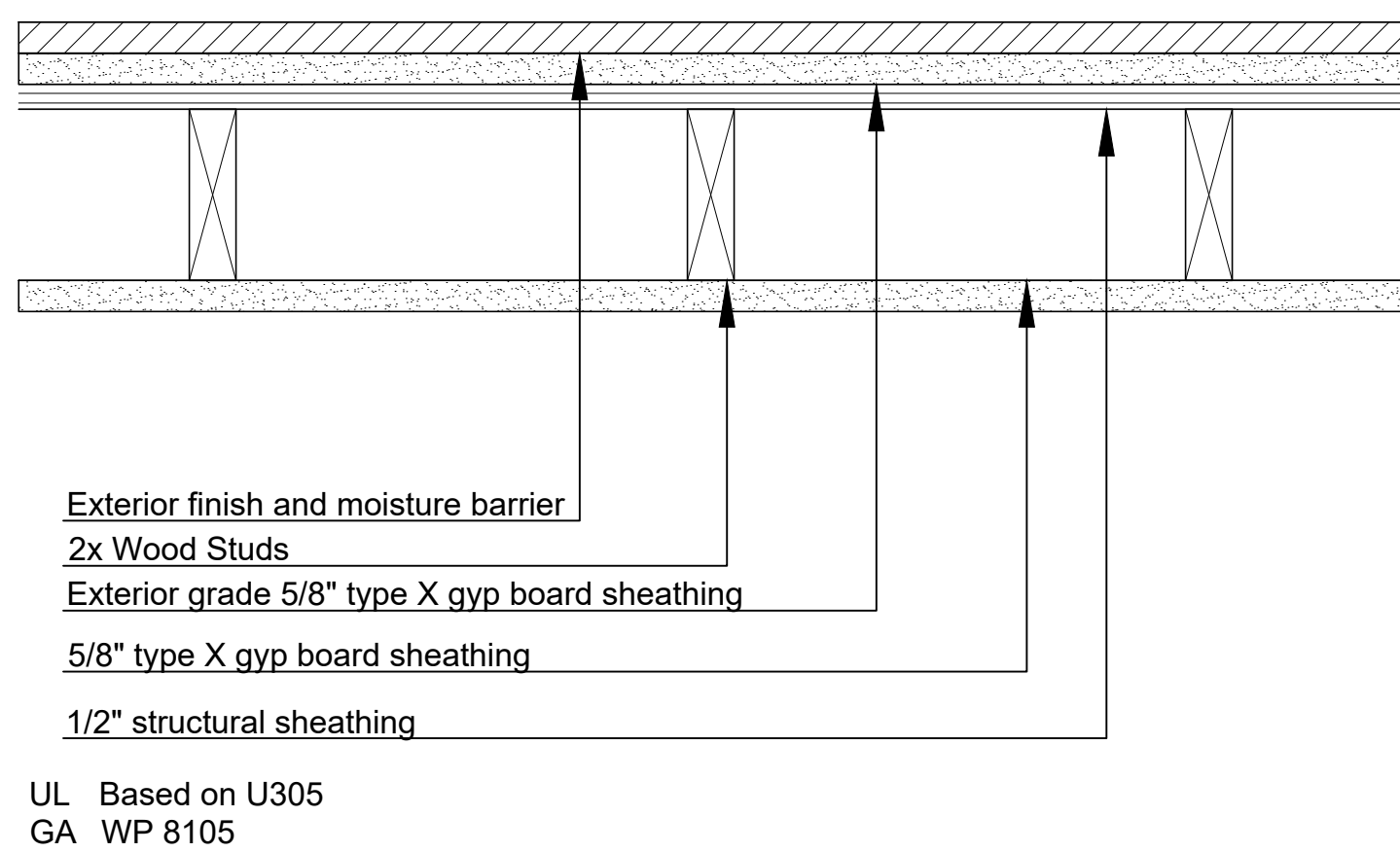
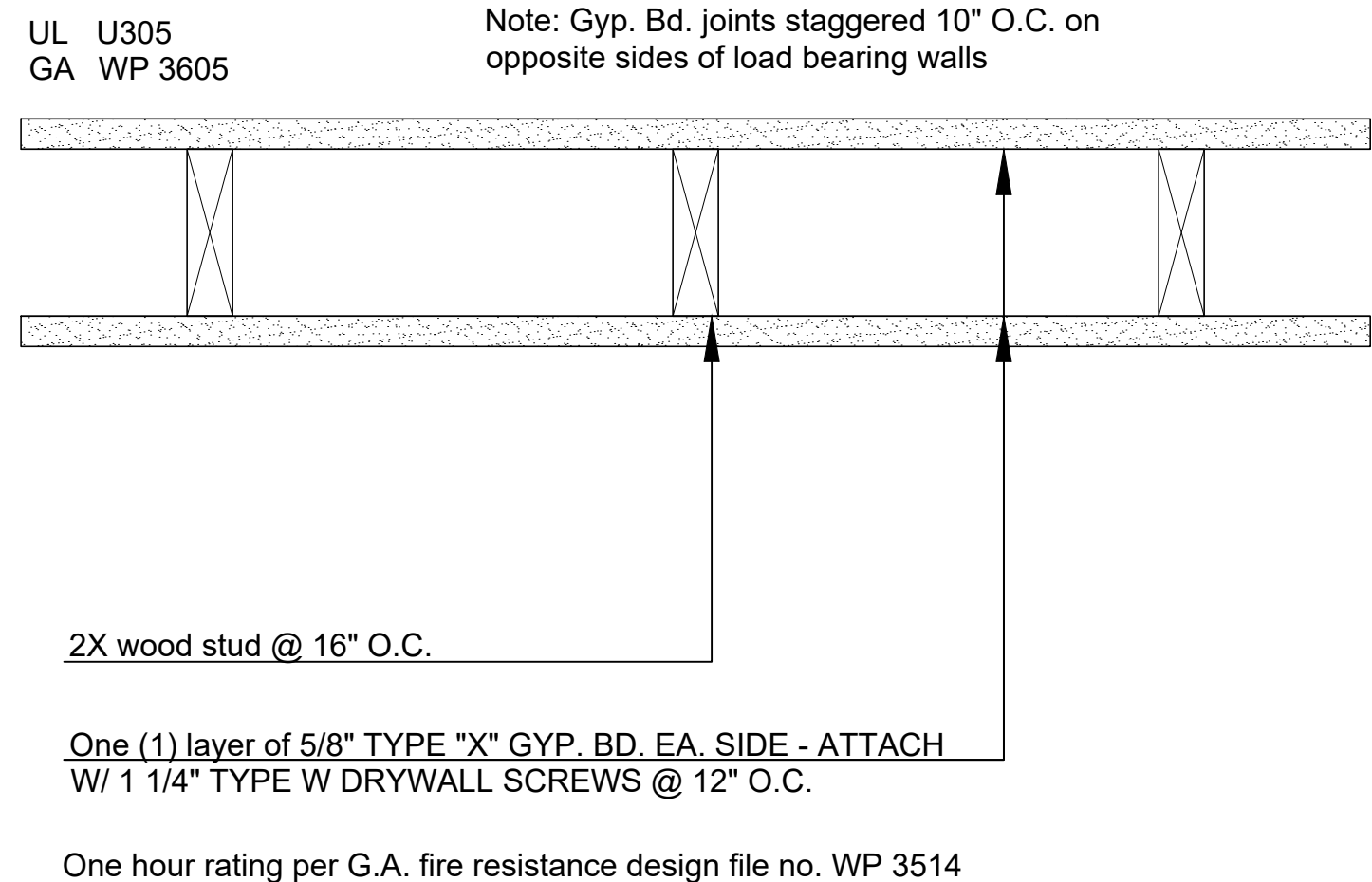


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F 415-963-4080

[illegible]

PROJECT TITLE	Residential horizontal addition
SHEET TITLE	Details



Drawings represent approximations of conditions. All conditions and measurements are to be field verified by contractors during construction.



DRAWN

SCALE AS NOTED


DATE 7/23/2020

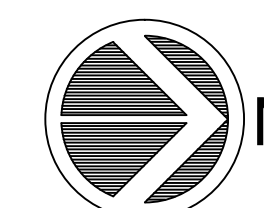
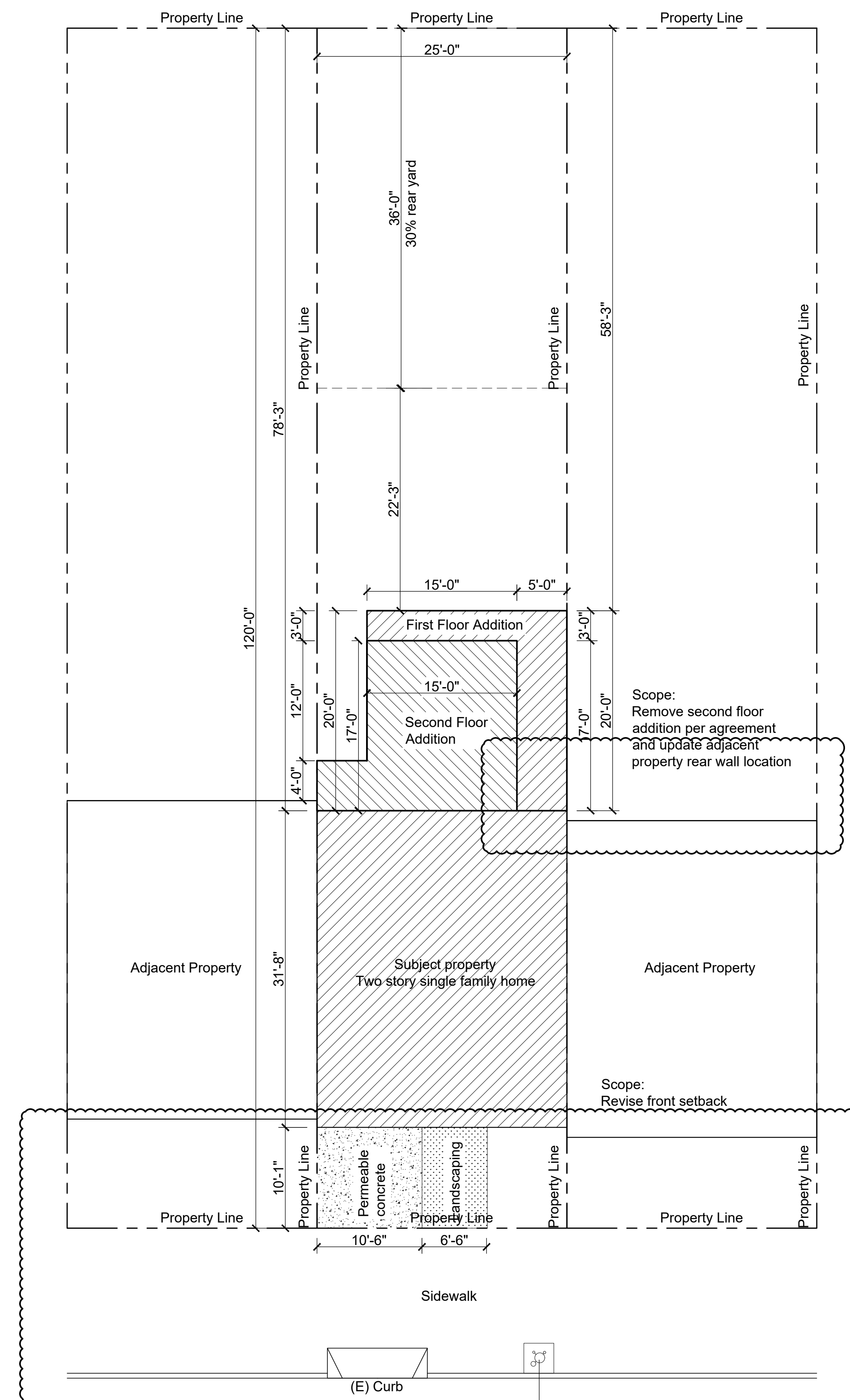
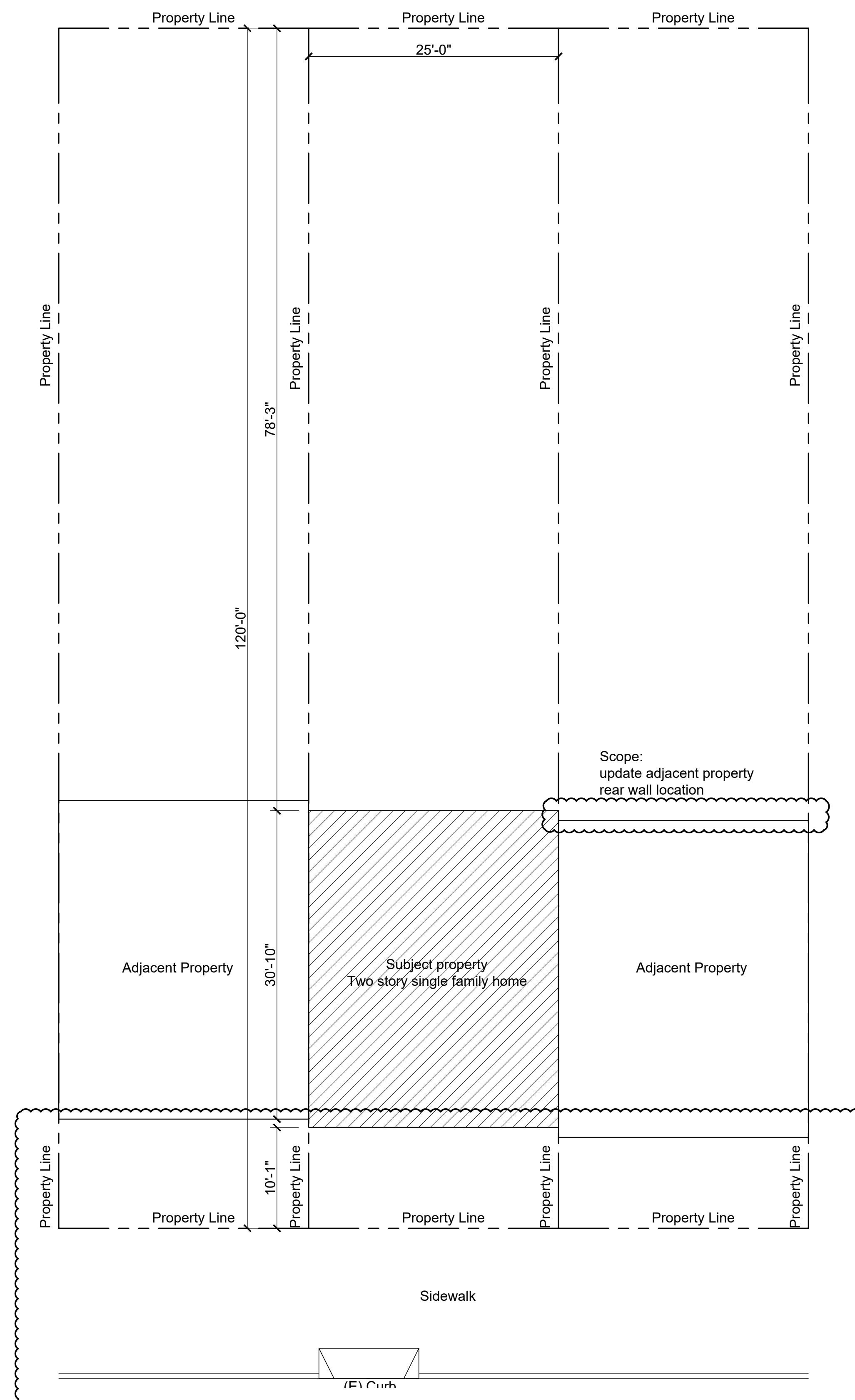
PROJECT NO.

SHEET

A3.1

EXHIBIT 5

Project data				Abbreviations				2019 23rd Ave San Francisco CA 94116				YUFLUX ENGINEERING LLC																									
ADDRESS: 2019 23rd Ave				ABV. ABOVE A.F.F. ABOVE FINISH FLOOR ALC. ALCOVE ADJ. ADJACENT ADJUST. ADJUSTABLE ALUM. ALUMINUM A.V. AUDIO-VISUAL B.O. BOTTOM OF BD. BOARD BLDG. BUILDING BTWN. BETWEEN CAB. CABINET C.G. CORNER GUARD C.H. CLOTHES HOOK C.J. CONTROL JOINT C.L. CENTER LINE CLG. CEILING CLR. CLEAR CNTR. COUNTER COL. COLUMN CONC. CONCRETE COND. CONDITION CONT. CONTINUOUS CONST. CONSTRUCTION CPT. CARPET C.S.C.I CONTRACTOR SUPPLIED & CONTRACTOR INSTALLED				MTG. MOUNTING MTL. METAL (N) NEW N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE O/ OVER O.C. ON CENTER O.H. OPPOSITE HAND OPNG. OPENING OPP. OPPOSITE O.S.C.I. OWNER SUPPLIED & CONTRACTOR INSTALLED O.S.O.I. OWNER SUPPLIED & OWNER INSTALLED PART. BD. PARTICLE BOARD PL. PLATE P. LAM. PLASTIC LAMINATE				5418A GEARY BLVD. SAN FRANCISCO, CA P 415-322-0793 F 415-963-4080																									
BLOCK 2143				CTR. CENTER DBL. DOUBLE DEMO. DEMOLITION DIM. DIMENSION DISP. DISPENSER DN. DOWN DR. DOOR DTL. DETAIL DWG. DRAWING DWR. DRAWER (E) EXISTING EA. EACH EL. ELEVATION ELEC. ELECTRICAL ENCL. ENCLOSED EQ. EQUAL EQUIP. EQUIPMENT EXPAN. EXPANSION EXT. EXTERIOR FAB. FABRICATION F.D. FLOOR DRAIN F.F. FINISH FLOOR FEC. FIRE EXT. CABINET FIN. FINISH FLR. FLOOR FLUOR. FLUORESCENT F.O. FACE OF F.T. FEET F.S. FIRE SHUTTER GA. GAUGE G.B. GRAB BAR G.D. GARBAGE DISPOSAL G.C. GENERAL CONTRACTOR GL. GLASS GYP. BD. GYPSUM BOARD H.C. HANDICAPPED HT. HEIGHT INT. INTERIOR INSUL. INSULATED JT. JOINT K.S. KNEE SPACE L. LOCKER LOC. LOCATION MAG. MAGNETIC MAX. MAXIMUM MECH. MECHANICAL MIN. MINIMUM MOS. MOTION SENSOR MTD. MOUNTED				PLCB. PLASTIC LAMINATE CABINET PNL. PANEL P.T. PAPER TOWEL PTD. PAINTED RAD. RADIUS REINF. REINFORCE REQ'D. REQUIRED RESIL. RESILIENT REFLECTED CEILING PLAN RM. ROOM R.O. ROUGH OPENING R.O.S. ROLL OUT SHELF S&P SHELF AND POLE S.D. SOAP DISPENSER SIM. SIMILAR SHT. SHEET S.C.D. SEE CIVIL ENGINEERING DRAWINGS S.E.D. SEE ELECTRICAL DRAWINGS S.L.D. SEE LANDSCAPE DRAWINGS S.M.D. SEE MECHANICAL DRAWINGS S.P.D. SEE PLUMBING DRAWINGS SPECS. SPECIFICATIONS SQ. IN. SQUARE INCHES SQ. FT. SQUARE FEET S.S. STAINLESS STEEL S.S.D. SEE STRUCTURAL DRAWINGS ST. STL. STAINLESS STEEL STL. STEEL STN. STATION SUSP. SUSPENDED T. TEMPERED GLASS TEL. TELEPHONE TEMP. TEMPERED T.O. TOP OF TYP. TYPICAL U.N. UNLESS OTHERWISE NOTED V.A.T. VINYL ACOUSTICAL TILE V.I.F. VERIFY IN FIELD W/ WITH W.C. WATER CLOSET WD. WOOD WDW WINDOW W/O. WITHOUT WHERE OCCURS																													
Scope of work																																					
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Project notes																																					
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								School fee chart (Habitable space)																													
								<table><tr><th>Floor area</th><th>Existing total (ft²)</th><th>Proposed total (ft²)</th></tr><tr><td>First floor</td><td>0</td><td>504</td></tr><tr><td>Second floor</td><td>530</td><td>700</td></tr><tr><td>Total area</td><td>530</td><td>1204</td></tr></table>				Floor area	Existing total (ft ²)	Proposed total (ft ²)	First floor	0	504	Second floor	530	700	Total area	530	1204														
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								DATE 7/23/2020																													
								PROJECT NO.																													
								SHEET A1.1																													

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PROJECT TITLE	Residential horizontal addition
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SHEET TITLE	Site Plans
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LOCATION
2019 23rd Ave
San Francisco CA 94116
BLOCK: 2143 LOT: 005
ZONING: RH-1

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DRAWN

SCALE AS NOTED

DATE 7/23/2020

PROJECT NO.

SHEET

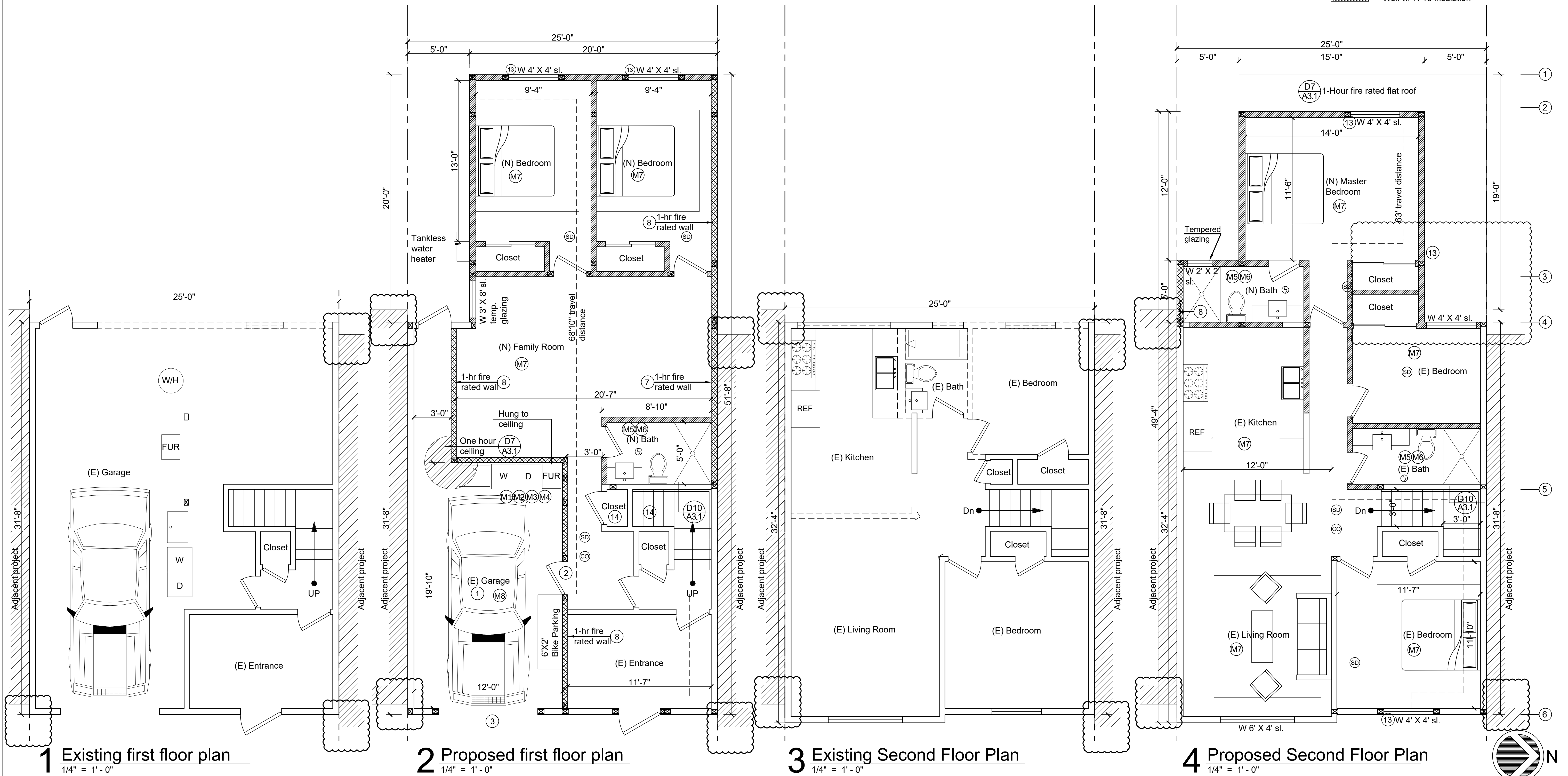
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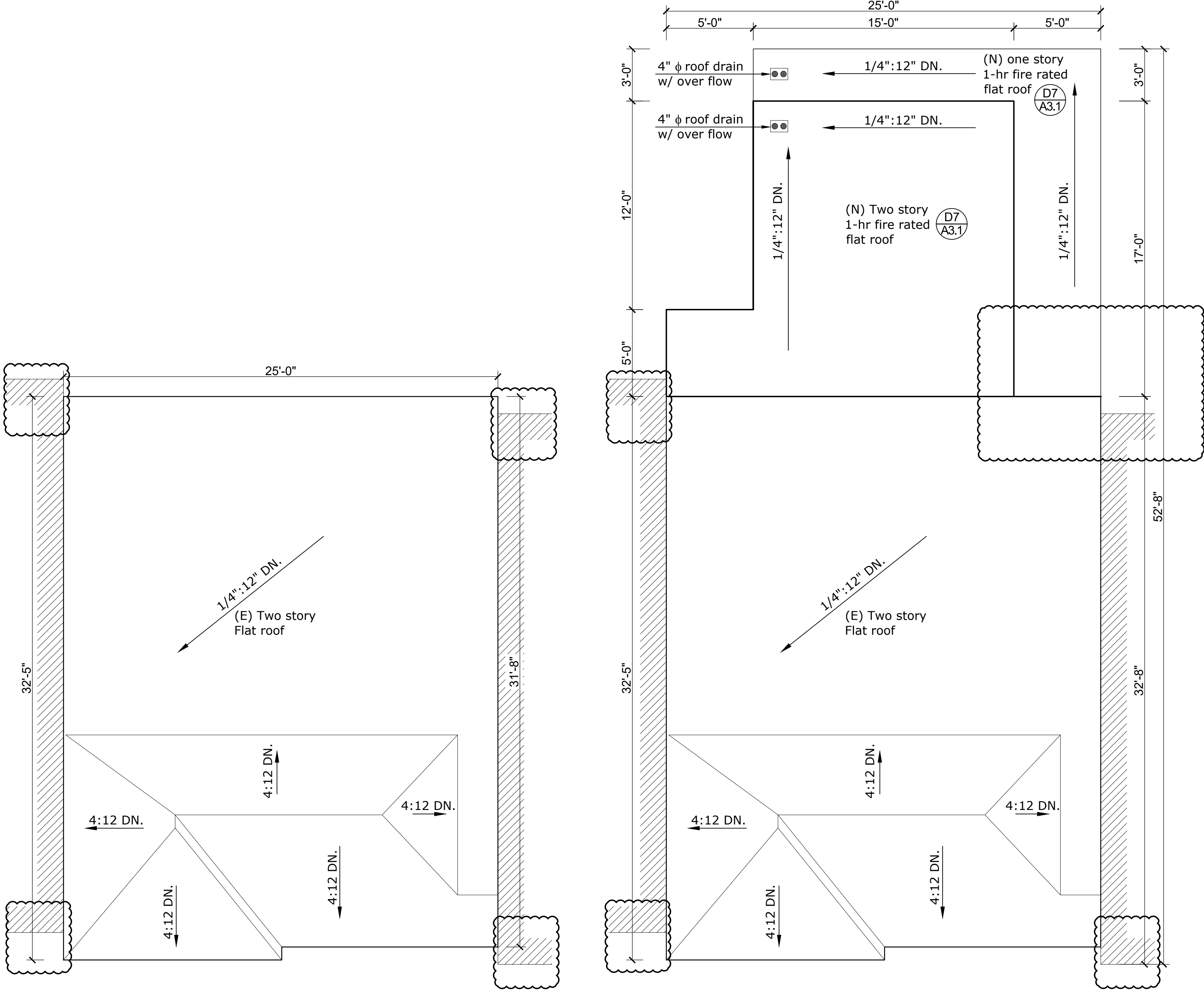
MECHANICAL NOTES	
(M1)	Provide combustion air openings from outside for W.H / furnace per CMC-CH.7
(M2)	Seismic strap W.H. REQ'D.
(M3)	Provide 26 GA. steel duct within garage space.
(M4)	Terminate gas vent 4'-0" from property line and 2'-0" above any portion of a bldg. within 10'-0"
(M5)	Terminate EXH. fan outlet outside min. 3'-0" from property line and bldg. openings w/ back-draft damper
(M6)	Specify high efficacy lighting per TITLE-24
(M7)	All high efficacy lighting or controlled by dimmer switch
(M8)	All high efficacy lighting controlled by vacancy sensor
(S)	Exhaust fan w/ humidistat
(SD)	Smoke detector
(CO)	Carbon monoxide detector

NOTES	
1.	Provide R-19 insulation in ceiling for all unconditioned non-habitable spaces that are adjacent to conditioned habitable spaces
2.	Provide 1- $\frac{3}{8}$ " thick, solid wood, self-closing, self-latching door between the garage and habitable spaces
3.	Provide min. 200 IN ² louver in garage for outside air
4.	All habitable spaces (rooms, kitchen, bathrooms, hallways) shall have a minimum ceiling height of 7'-0"
5.	Provide tempered glazing for all windows, where bottom edge of the glazing is less than 18 inches above the floor
6.	Bathtub/shower floors/walls above bathtubs with installed shower head and in shower compartments shall be finished with a nonabsorbent surface, surface shall not extend to a height of not less than 72" above the floor
7.	1-hour fire rated wall with R-13 insulation (See detail D4/A3.1)
8.	New wall with R-13 insulation and one layer of 5/8" type X gyp board (See D5/A3.1 & D6/A3.1)
9.	One hour fire rated roof with R-30 Insulation
10.	42" guardrail w/ handrail
11.	max 7.75" rise and min. 10" run
12.	Min. 5/8" type "X" gyp board in garage area walls and ceiling
13.	Windows: All emergency escape and rescue openings shall have: The bottom of the opening shall not be more than 44 inches above the floor. Minimum net clear opening height of 24" and width of 20." Minimum net clear opening of 5.7 square feet
14.	5/8" type "X" gypsum board under stairs

2019 23rd Avenue 2018-08-30-8786

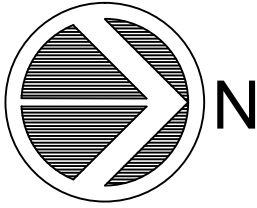
DRAWN	
SCALE	AS NOTED
DATE	7/23/2020
PROJECT NO.	





1 Existing roof plans
1/4" = 1' - 0"

2 Proposed roof plans
1/4" = 1' - 0"



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REVISIONS

NO.	DESCRIPTION	DATE
1	Site permit update	3/22/2021

PROJECT TITLE
Residential horizontal addition
SHEET TITLE
Roof plans

LOCATION
2019 23rd Ave
San Francisco CA 94116
BLOCK : 2143 LOT : 005
ZONING : RH-1

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DRAWN

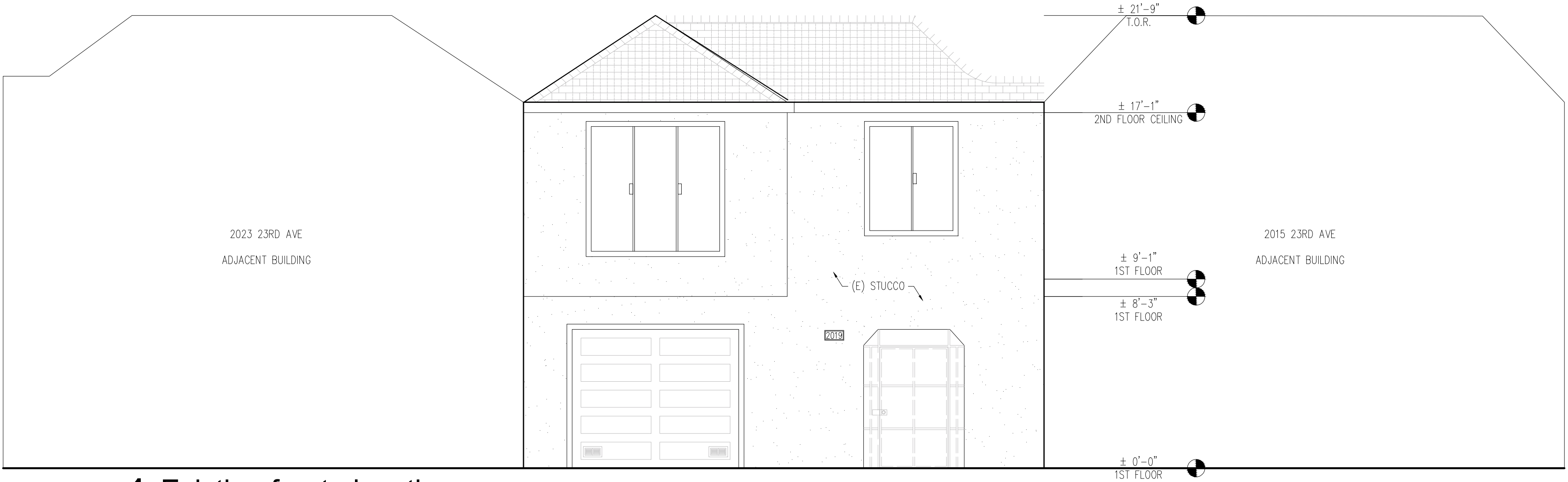
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DATE 7/23/2020

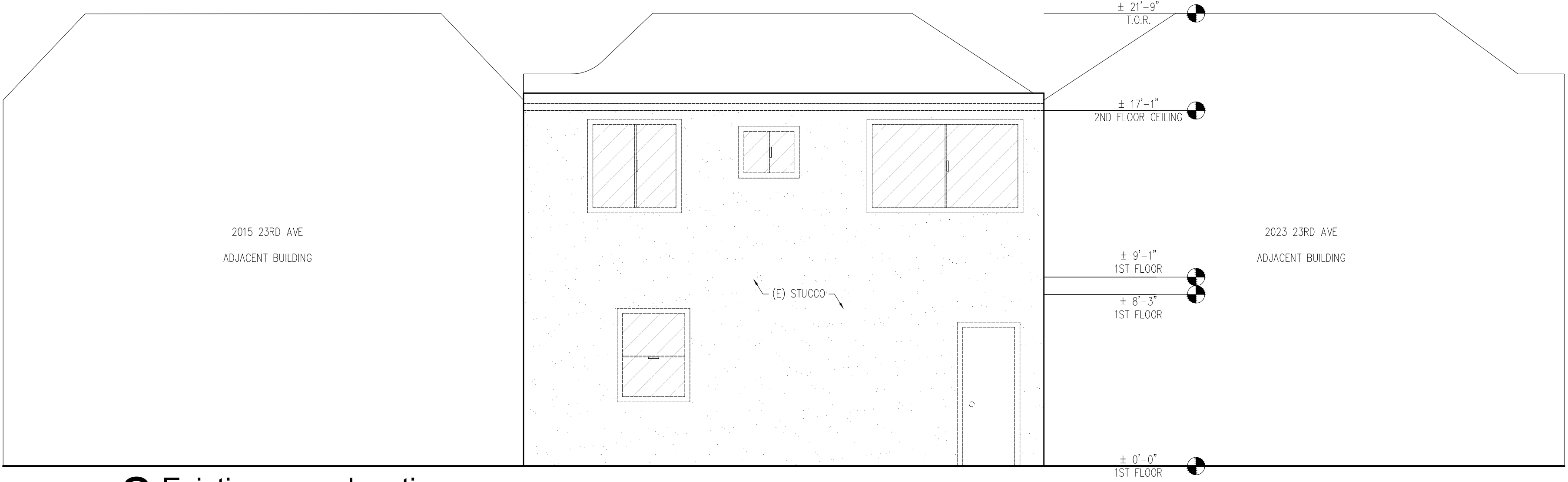
PROJECT NO.

SHEET

A2.2



1 Existing front elevation
1/4" = 1' - 0" (No work) *East elevation



2 Existing rear elevation
1/4" = 1' - 0" *West elevation



3 Proposed rear elevation
1/4" = 1' - 0" *West elevation

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REVISIONS

NO.	DESCRIPTION	DATE
1	Site permit update	3/22/2021

PROJECT TITLE
Residential horizontal addition

SHEET TITLE
Elevations

LOCATION

2019 23rd Ave
San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

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DRAWN

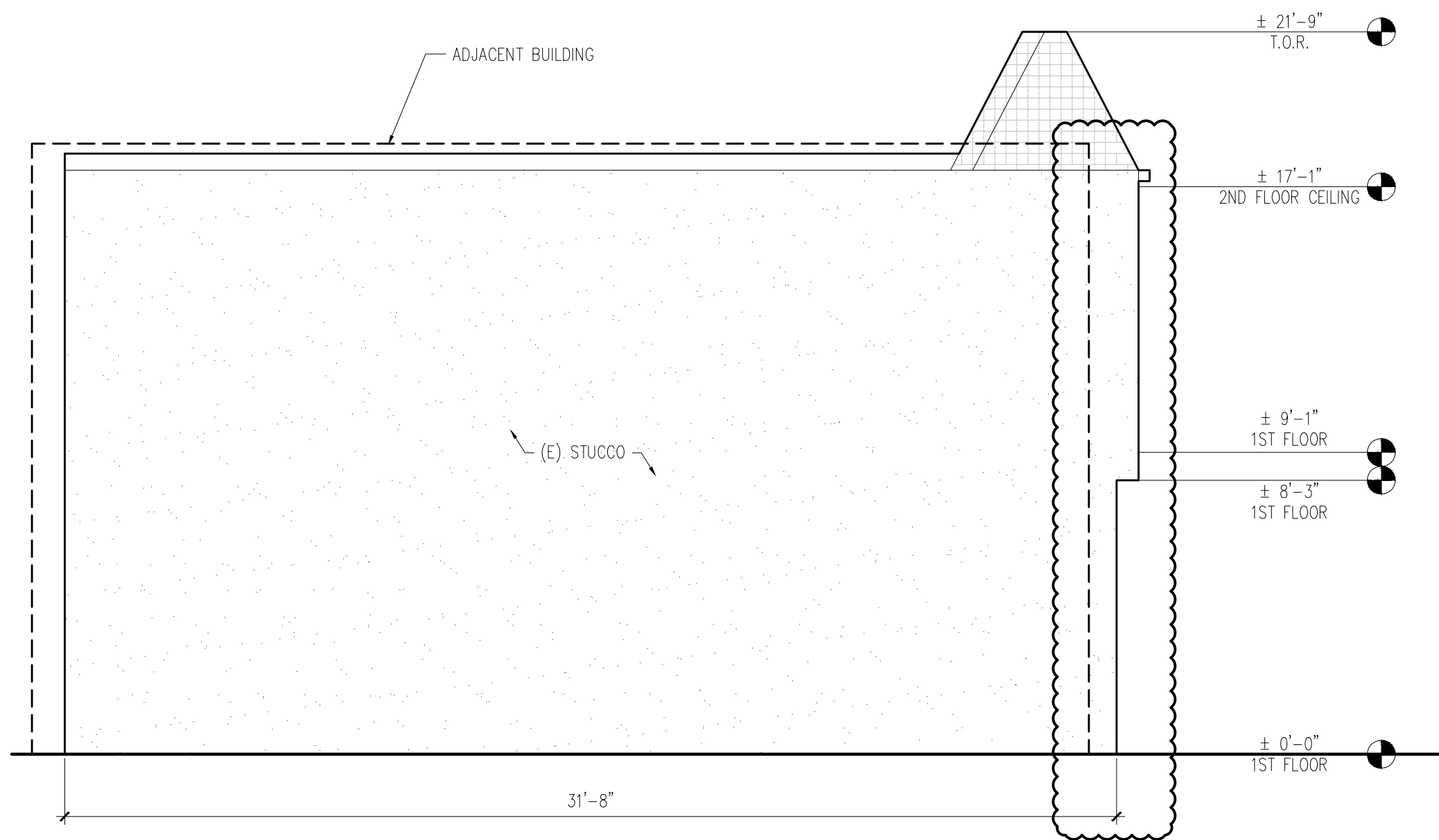
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DATE 7/23/2020

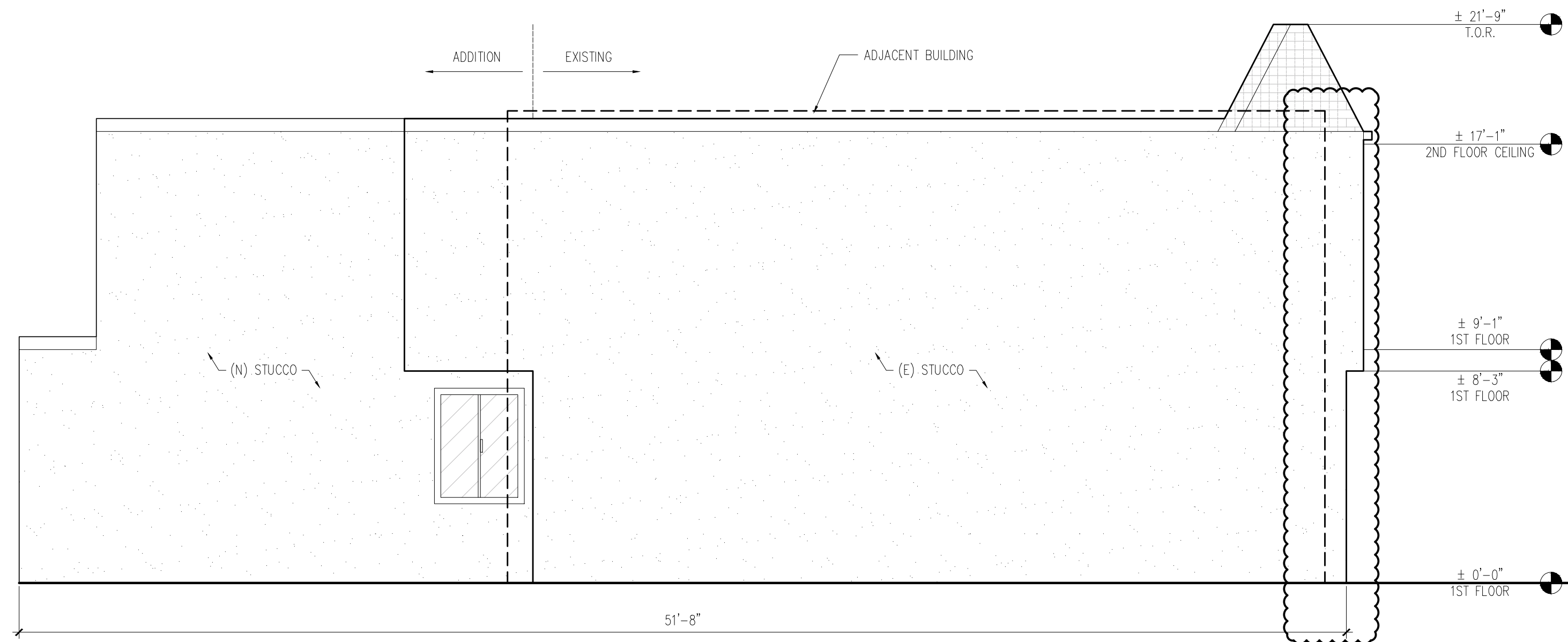
PROJECT NO.

SHEET

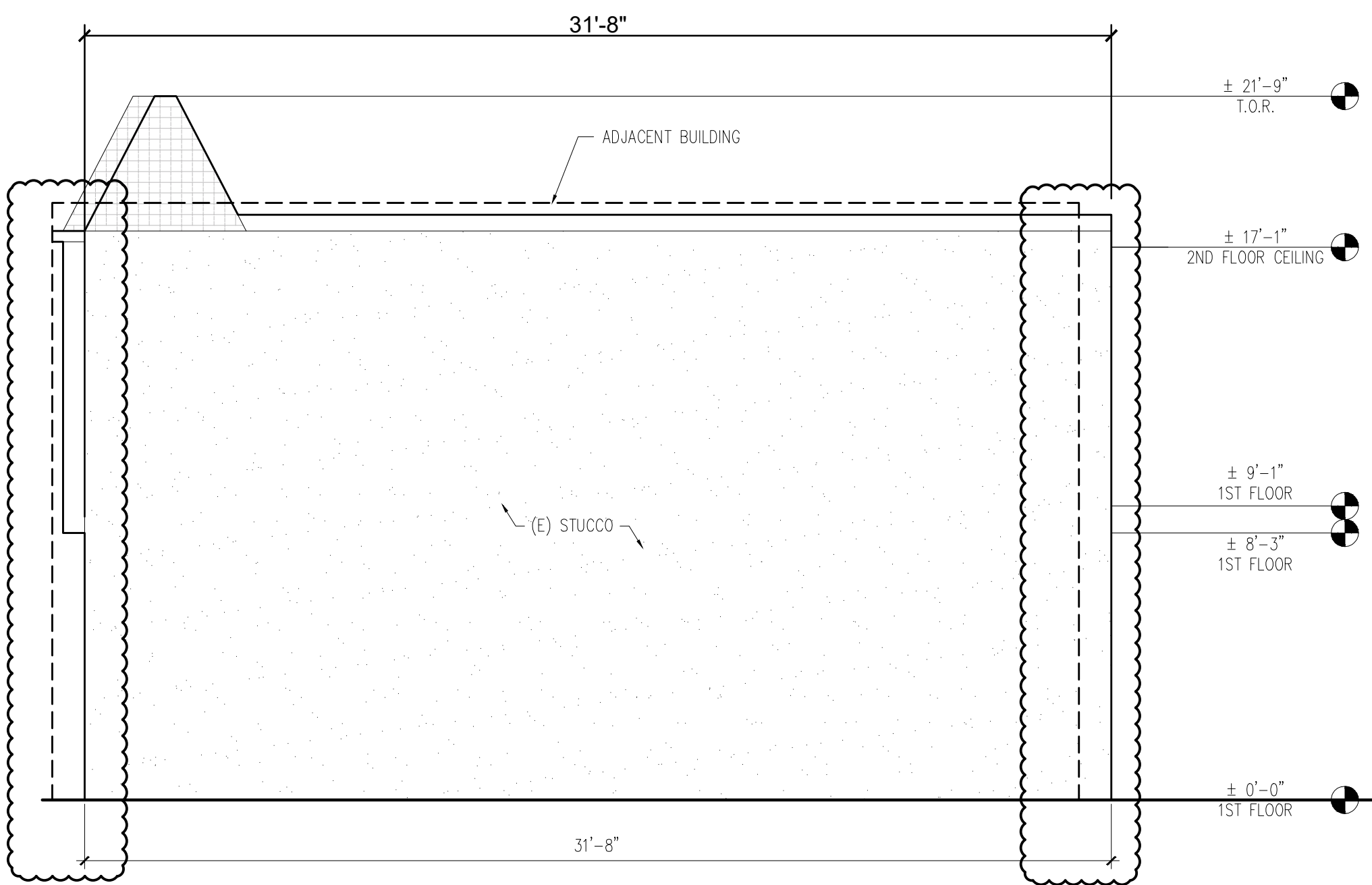
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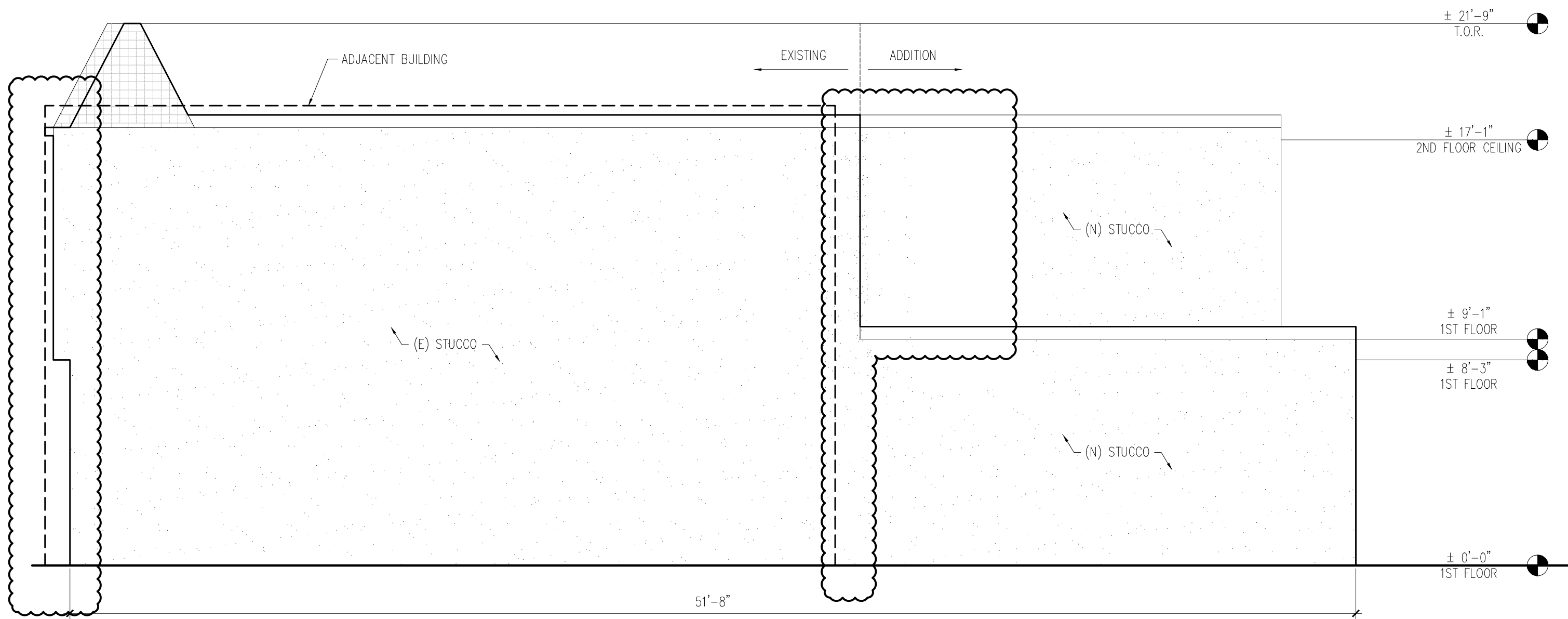
1 Existing left elevation
1/4" = 1' - 0" *South elevation



2 Proposed left elevation
1/4" = 1' - 0" *South elevation



3 Existing right elevation
1/4" = 1' - 0" *North elevation



4 Proposed right elevation
1/4" = 1' - 0" *North elevation

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REVISIONS

NO.	DESCRIPTION	DATE
1	Site permit update	3/22/2021

PROJECT TITLE

Residential horizontal addition

SHEET TITLE

Elevations

LOCATION

2019 23rd Ave
San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

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SCALE AS NOTED

DATE 7/23/2020

PROJECT NO.

SHEET

A2.4

REVISIONS

NO.	DESCRIPTION	DATE
1	Site permit update	3/22/2021

PROJECT TITLE
Residential horizontal addition

SHEET TITLE
Sections

LOCATION
2019 23rd Ave
San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

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DRAWN

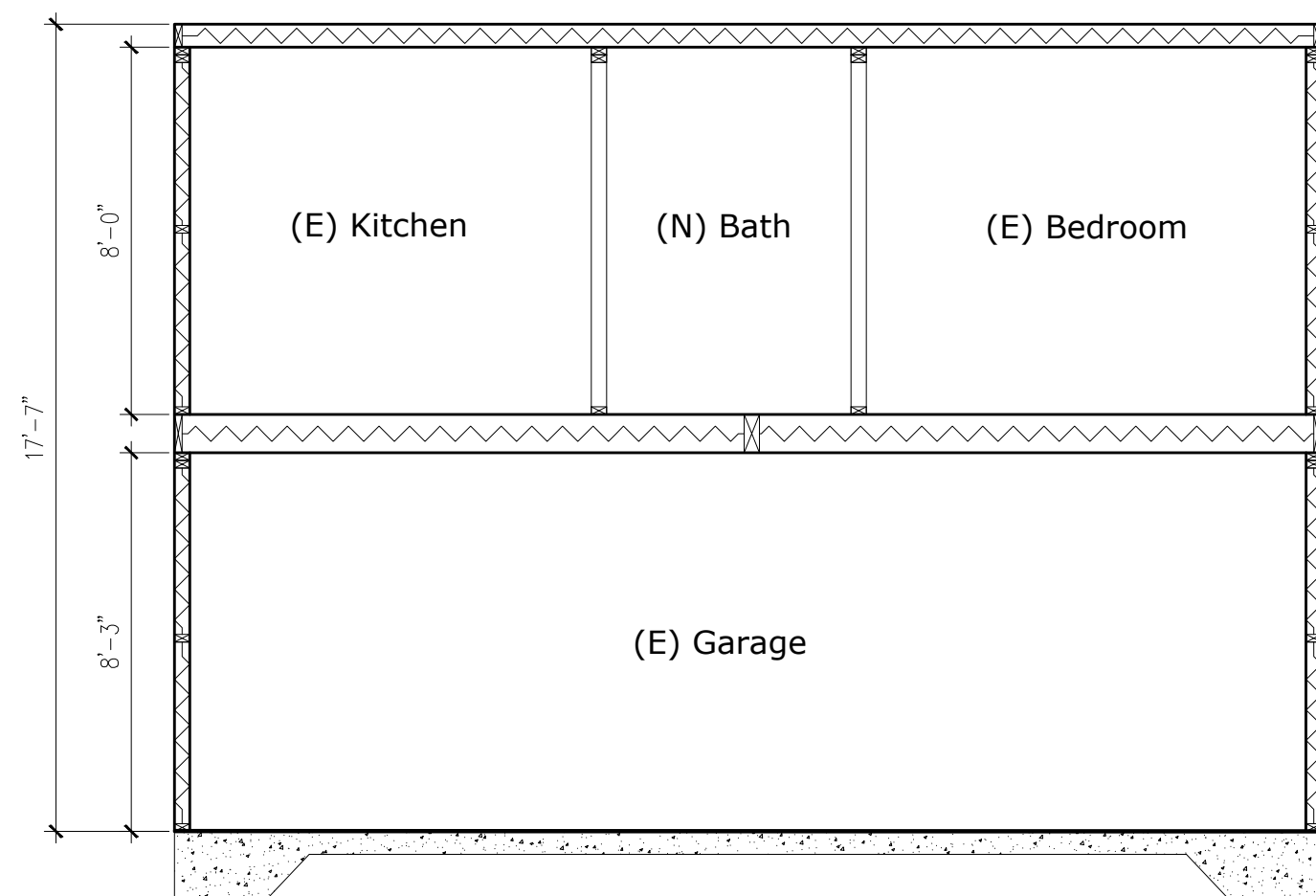
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DATE 7/23/2020

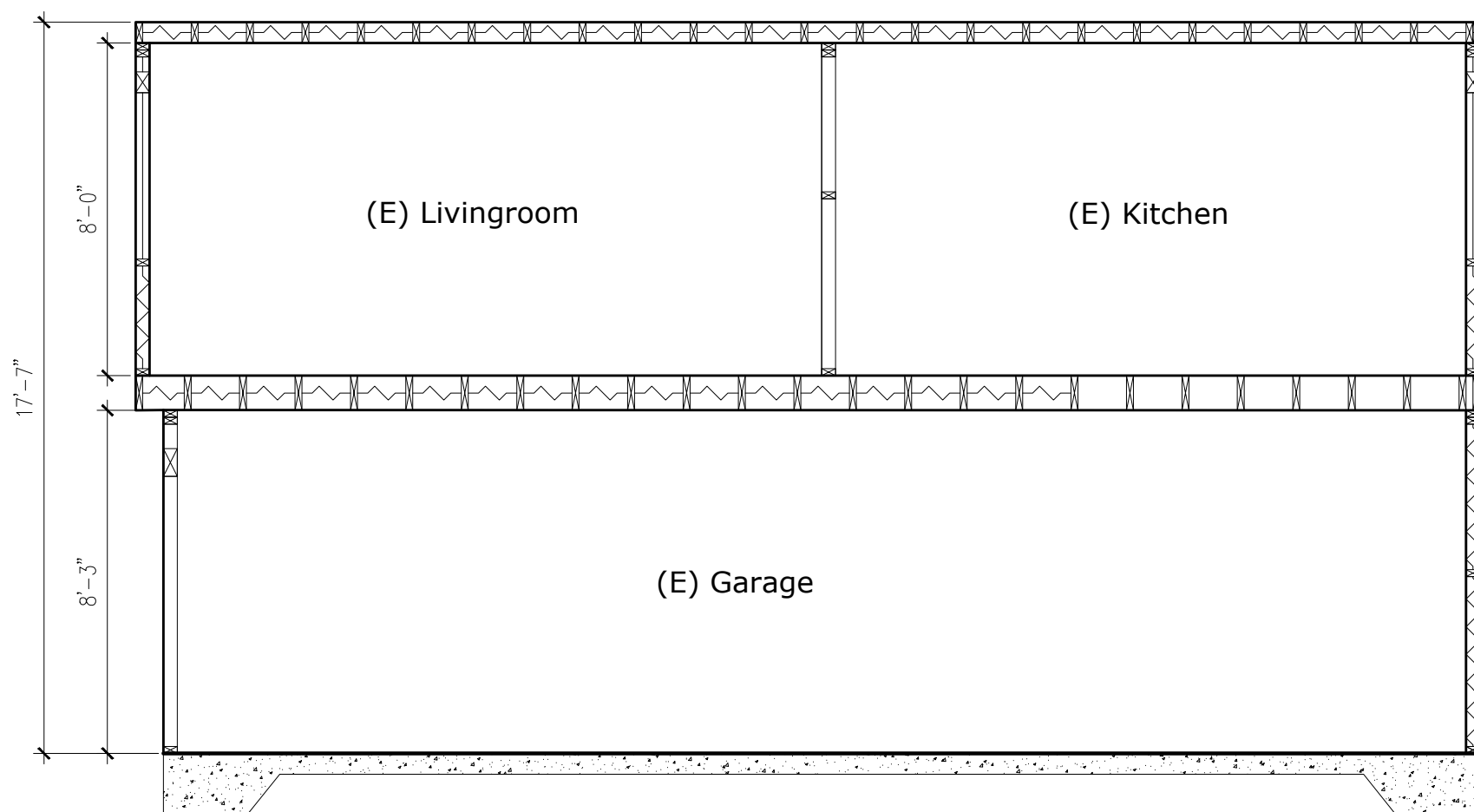
PROJECT NO.

SHEET

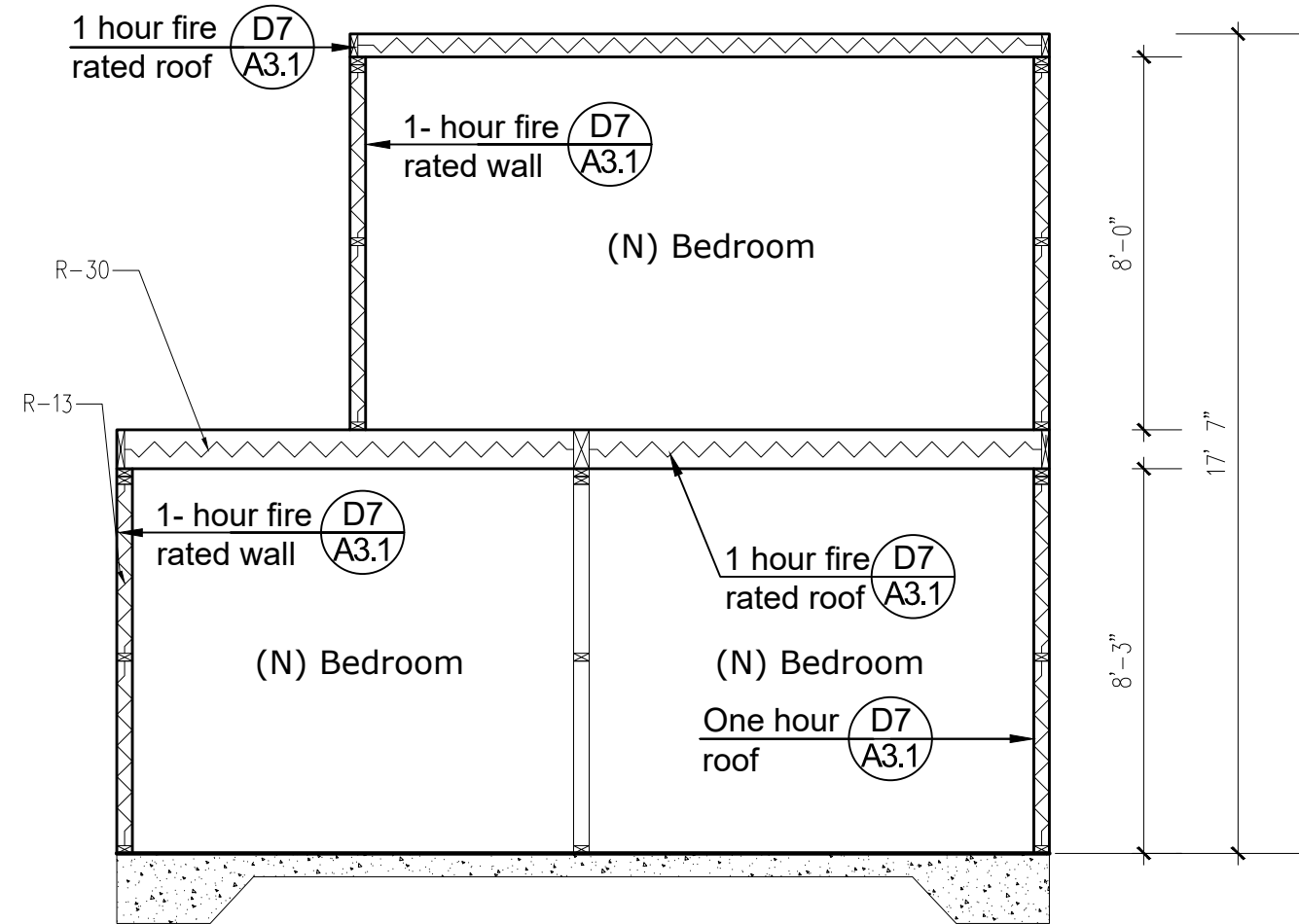
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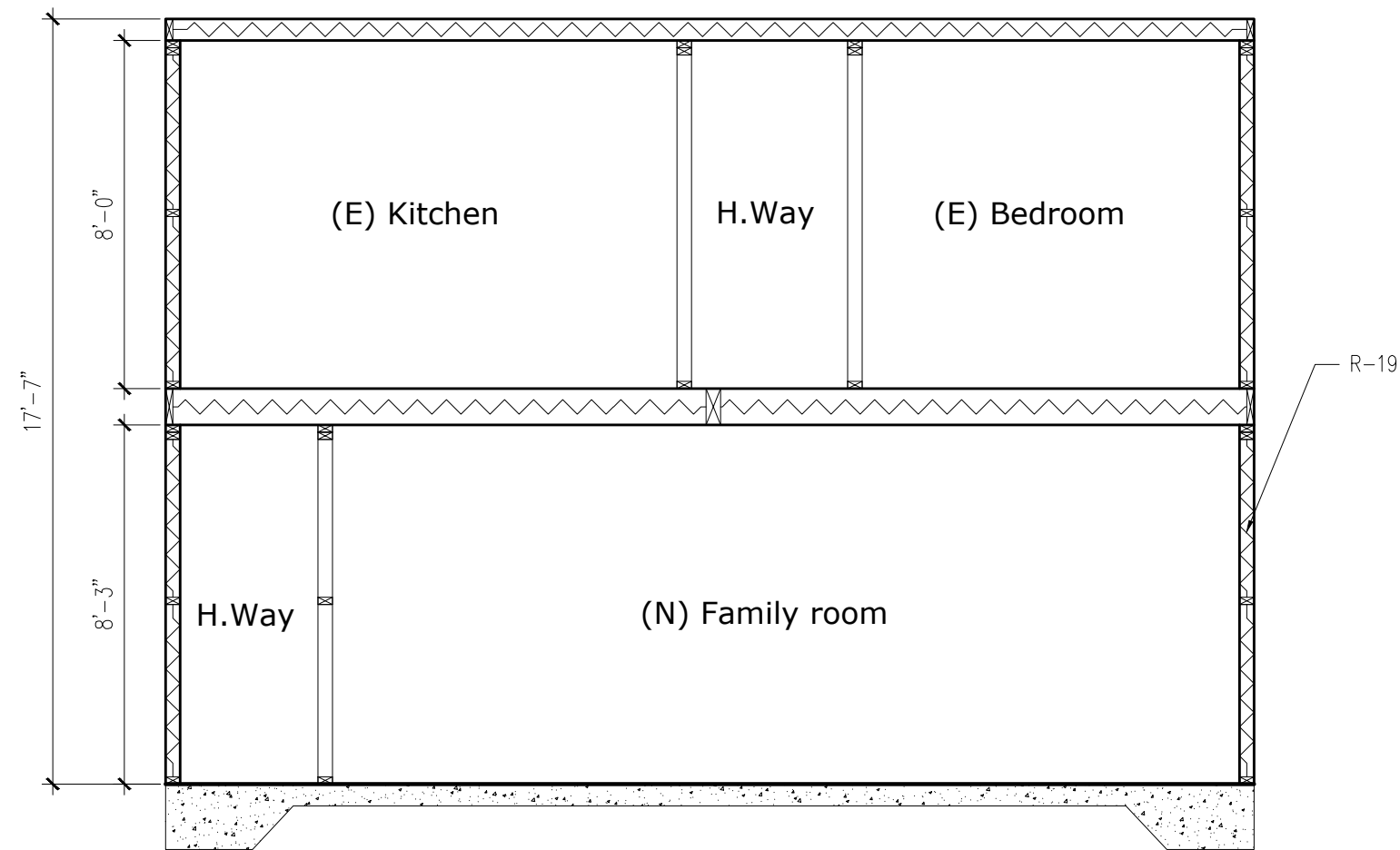
3 Existing section
1/4" = 1' - 0"



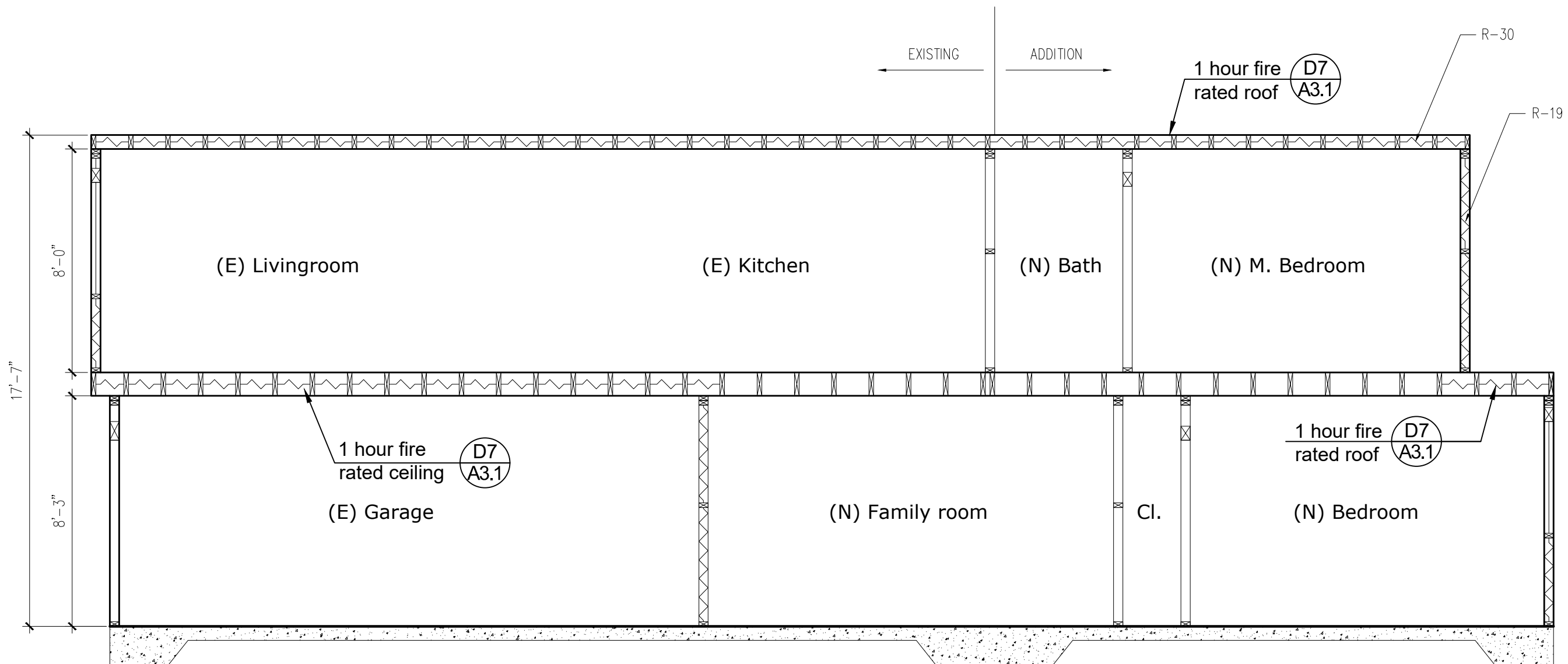
1 Existing section
1/4" = 1' - 0"



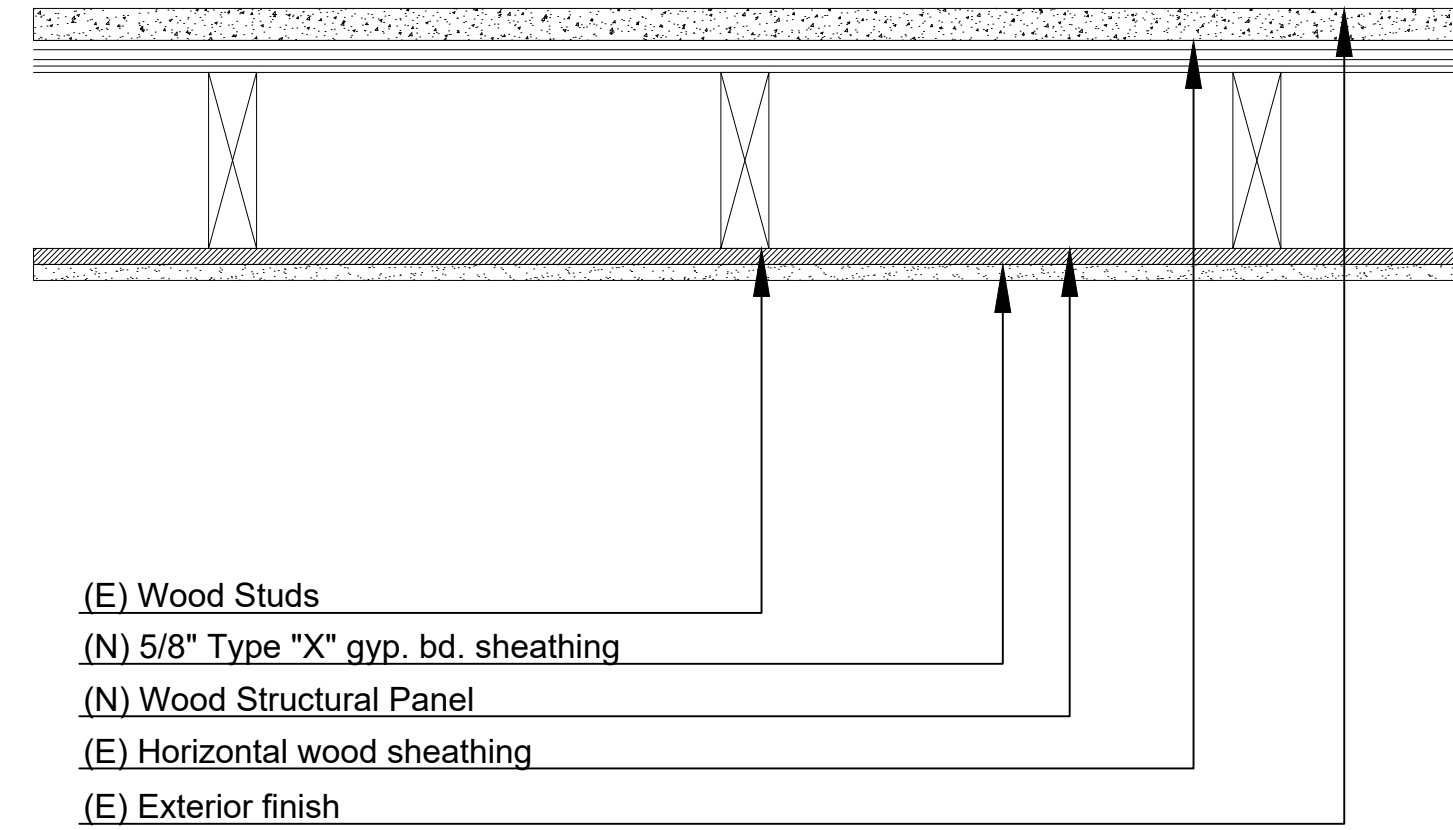
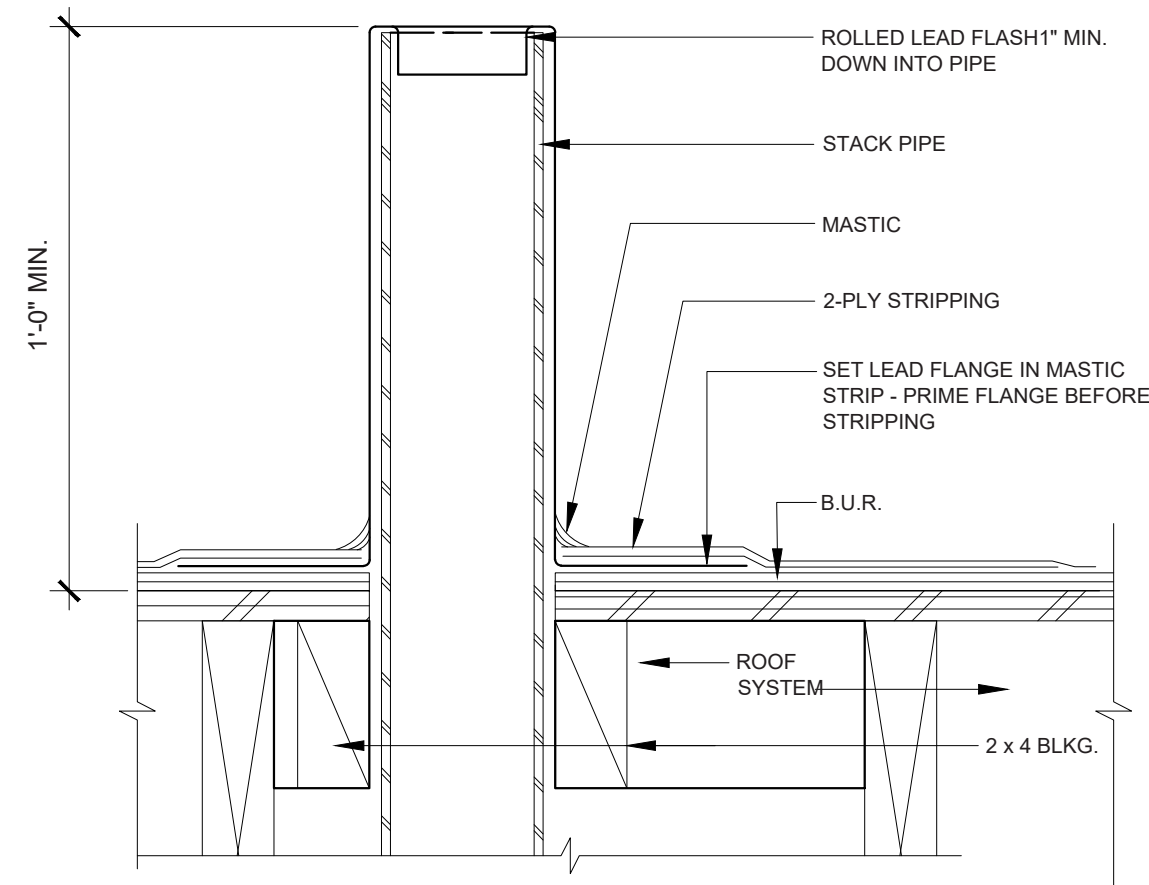
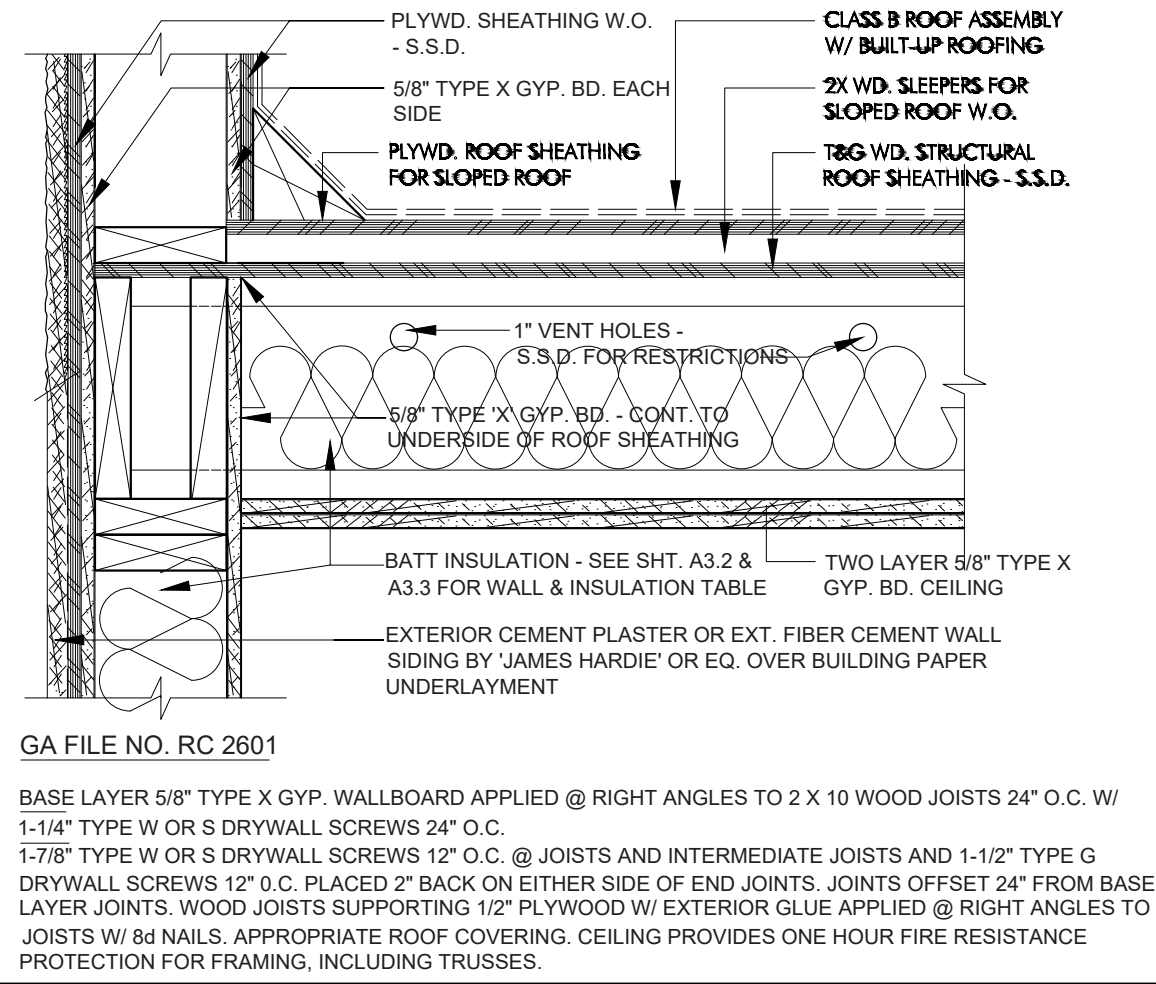
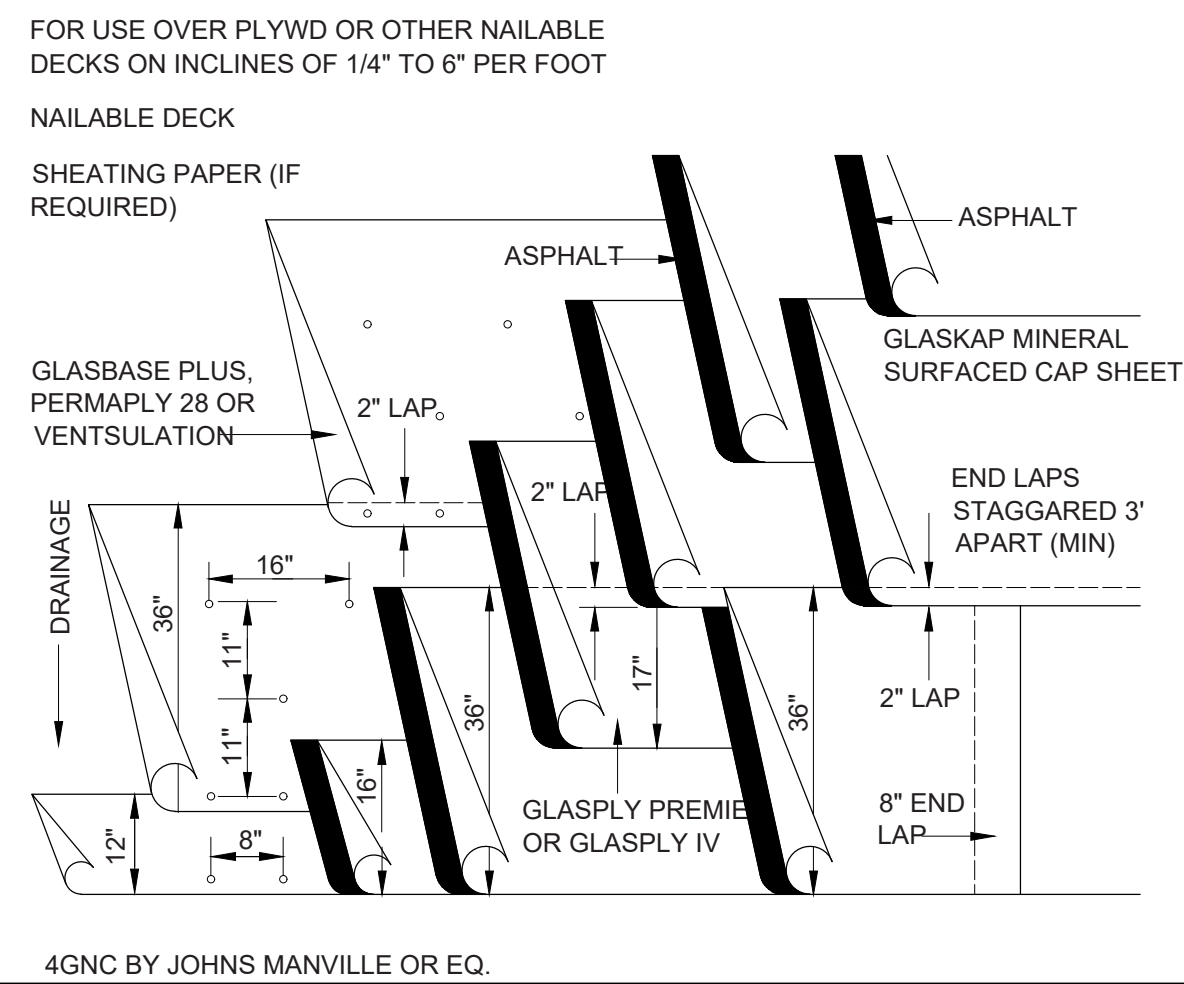
5 New section
1/4" = 1' - 0"



4 New section
1/4" = 1' - 0"



2 New section
1/4" = 1' - 0"



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[illegible]

PROJECT TITLE	Residential horizontal addition
SHEET TITLE	Details

LOCATION
2019 23rd Ave
San Francisco CA 94116
BLOCK: 2143 LOT: 005
ZONING: RH-1

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DRAWN

SCALE AS NOTED

DATE 7/23/2020

PROJECT NO.

SHEET

A3.1

EXHIBIT 6

Project data

ADDRESS:

2019 23rd Ave

BLOCK

2143

LOT

005

STORIES:

2

PRESENT USE:

Residential-House, One Family

OCCUPANCY:

R3

TYPE:

5B

ZONING:

RH-1

Scope of work

HORIZONTAL ADDITION AT REAR OF EXISTING TWO STORIES RESIDENTIAL BUILDING.

Project notes

Area/floor	Existing (ft²)	Proposed (ft²)	Change (ft²)
Living	753	1798	1,045
Car parking	1	1	
Bike parking	0	1	
Landscaping req.	0	(10.08*6.5)/(10.08*25)= 65.54 / 252 = 26% > (50.4 ft²)20%	
Permeable surface	0	(10.08*17)/(10.08*25)= 171/252 68% >(126 ft²)50% req.	

*No existing sprinkler and no proposed sprinkler systems

General notes

1. All work performed shall be in accordance with the adopted codes, standards and any applicable state or local amendments, including but not limited to:

1.1. Occupational safety and health standards, (CAL OSHA).

1.2. Lists of inspected appliances, equipment and materials (underwriters laboratories).

1.3. Approved equipment listing (factory mutual).

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1.7. California Electrical Code, 2016 edition.

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1.9. California Fire code, 2016 edition.

1.10. California Mechanical code, 2016 edition.

1.11. California Plumbing code, 2016 edition.

1.12. California Referenced Standards code, 2016 edition.

1.13. California Energy Efficiency standards, 2016 edition.

1.14. San Francisco Building Code

2. Where differences exist between codes affecting this work, the more restrictive code shall govern.

3. If the contractors observe that these drawings and specifications are in variance with the codes, he shall notify the architects and engineers in writing at once.

4. Ductwork, piping and equipment shall be installed per smacna "seismic restraint manual guidelines for mechanical systems"addendum no. 1 or equal in accordance with asce chapter 13 "seismic design requirements for non-structural components".

5. All fire-rated wall and floor penetrations shall be firesafed utilizing a ul approved fire safing systems.

6. All plumbing and piping systems shall be pressure tested and verified leak tight prior to calling for city progress or final inspections.

7. These drawings represent approximations of existing conditions. all conditions and dimensions are to be field verified by contractors prior to construction.

Abbreviations

ABV. ABOVE

A.F.F. ABOVE FINISH FLOOR

ALC. ALCOVE

ADJ. ADJACENT

ADJUST. ADJUSTABLE

ALUM. ALUMINUM

A.V. AUDIO-VISUAL

B.O. BOTTOM OF

BD. BOARD

BLDG. BUILDING

BTWN. BETWEEN

CAB. CABINET

C.G. CORNER GUARD

C.H. CLOTHES HOOK

C.J. CONTROL JOINT

C.L. CENTER LINE

CLG. CEILING

CLR. CLEAR

CNTR. COUNTER

COL. COLUMN

CONC. CONCRETE

COND. CONDITION

CONT. CONTINUOUS

CONST. CONSTRUCTION

CPT. CARPET

C.S.C.I CONTRACTOR SUPPLIED & CONTRACTOR INSTALLED

CTR. CENTER

DBL. DOUBLE

DEMO. DEMOLITION

DIM. DIMENSION

DISP. DISPENSER

DN. DOWN

DR. DOOR

DTL. DETAIL

DWG. DRAWING

DWR. DRAWER

(E) EXISTING

EA. EACH

EL. ELEVATION

ELEC. ELECTRICAL

ENCL. ENCLOSED

EQ. EQUAL

EQUIP. EQUIPMENT

EXPAN. EXPANSION

EXT. EXTERIOR

FAB. FABRICATION

F.D. FLOOR DRAIN

F.F. FINISH FLOOR

FEC. FIRE EXT. CABINET

FIN. FINISH

FLR. FLOOR

FLUOR. FLUORESCENT

F.O. FACE OF

F.T. FEET

F.S. FIRE SHUTTER

GA. GAUGE

G.B. GRAB BAR

G.D. GARBAGE DISPOSAL

G.C. GENERAL

GL. GLASS

GYP. BD. GYPSUM BOARD

H.C. HANDICAPPED

HT. HEIGHT

INT. INTERIOR

INSUL. INSULATED

JT. JOINT

K.S. KNEE SPACE

L. LOCKER

LOC. LOCATION

MAG. MAGNETIC

MAX. MAXIMUM

MECH. MECHANICAL

MIN. MINIMUM

MOS. MOTION SENSOR

MTD. MOUNTED

MTG. MOUNTING

MTL. METAL

(N) NEW

N.I.C. NOT IN CONTRACT

N.T.S. NOT TO SCALE

O/ OVER

O.C. ON CENTER

O.H. OPPOSITE HAND

OPNG. OPENING

OPP. OPPOSITE

O.S.C.I. OWNER SUPPLIED

& CONTRACTOR INSTALLED

O.S.O.I. OWNER SUPPLIED

& OWNER INSTALLED

PART. BD. PARTICLE BOARD

PL. PLATE

P. LAM. PLASTIC LAMINATE

PLCB. PLASTIC

PNL. LAMINATE CABINET

P.NEL. PANEL

P.T. PAPER TOWEL

PTD. DISPENSER

RAD. RADIUS

REINF. REINFORCE

REQ'D. REQUIRED

RESIL. RESILIENT

R.C.P. REFLECTED

CEILING PLAN

RM. ROOM

R.O. ROUGH OPENING

R.O.S. ROLL OUT SHELF

S&P. SHELF AND POLE

S.D. SOAP DISPENSER

SIM. SIMILAR

SHT. SHEET

S.C.D. SEE CIVIL

ENGINEERING

DRAWINGS

S.E.D. SEE ELECTRICAL

DRAWINGS

S.L.D. SEE LANDSCAPE

DRAWINGS

S.M.D. SEE MECHANICAL

DRAWINGS

S.P.D. SEE PLUMBING

DRAWINGS

SPECS. SPECIFICATIONS

SQ. IN. SQUARE INCHES

SQ. FT. SQUARE FEET

S.S. STAINLESS STEEL

S.S.D. SEE

STRUCTURAL

DRAWINGS

ST. STL. STAINLESS STEEL

STL. STEEL

STN. STATION

SUSP. SUSPENDED

T. TEMPERED GLASS

TEL. TELEPHONE

TEMP. TEMPERED

T.O. TOP OF

TYP. TYPICAL

U.N. UNLESS

OTHERWISE NOTED

V.A.T. VINYL ACOUSTICAL

TILE

V.I.F. VERIFY IN FIELD

W/ WITH

W.C. WATER CLOSET

WD. WOOD

WDW. WINDOW

W/O. WITHOUT

W.O. WHERE OCCURS

Sheet index

A1.1 Notes, Legend, Scope of Work

A1.2 Site plans

A2.1 Floor plans

A2.2 Roof plans

A2.3 Elevations

A2.4 Elevations

A2.5 Section

A3.1 Architectural details

S1.1 Structural notes

S1.2 Structural notes

S2.1 Structural plans

S3.1 Structural details

S3.2 Structural details

S3.3 Structural details

S3.4 Structural details

2019 23rd Ave

San Francisco CA 94116

Demolition Calculation

Linear footage measurement

Element	(E) Length	Removed	% Removed
Front Façade	25'0"	0'-0"	0%
Rear Façade	25'0"	20'0"	80%
Left side elevation	31'8"	0'-0"	0%
Right side elevation	31'8"	0'-0"	0%
Total	113'4"	20'0"	18%

Area footage measurement

Vertical elements	(E) Length	Removed	% Removed
Front Façade	440	0	0%
Rear Façade	440	352	80%
Left side elevation	557	0	0%
Right side elevation	557	0	0%
Total	1994	352	18%

Horizontal Elements

(E) Length	Removed	% Removed
Second floor	0	0
Ground floor	0	0
Total	0	0

School fee chart (Habitable space)

Floor area	Existing total (ft²)	Proposed total (ft²)
First floor	0	504
Second floor	530	700
Total area	530	1204

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F 415-963-4080

REVISIONS

NO.	DESCRIPTION	DATE
1	Site permit update	3/22/2021
2	Site permit update	4/28/2021

PROJECT TITLE

Residential horizontal addition

SHEET TITLE

General notes

LOCATION

2019 23rd Ave

San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

These drawings represent approximations of existing conditions. all conditions and dimensions are to be field verified by contractors prior to construction.

REGISTERED PROFESSIONAL ENGINEER

RONALD GAY

No. C716647

Exp. 12/31/2020

CIVIL

STATE OF CALIFORNIA

DRAWN

SCALE

AS NOTED

DATE

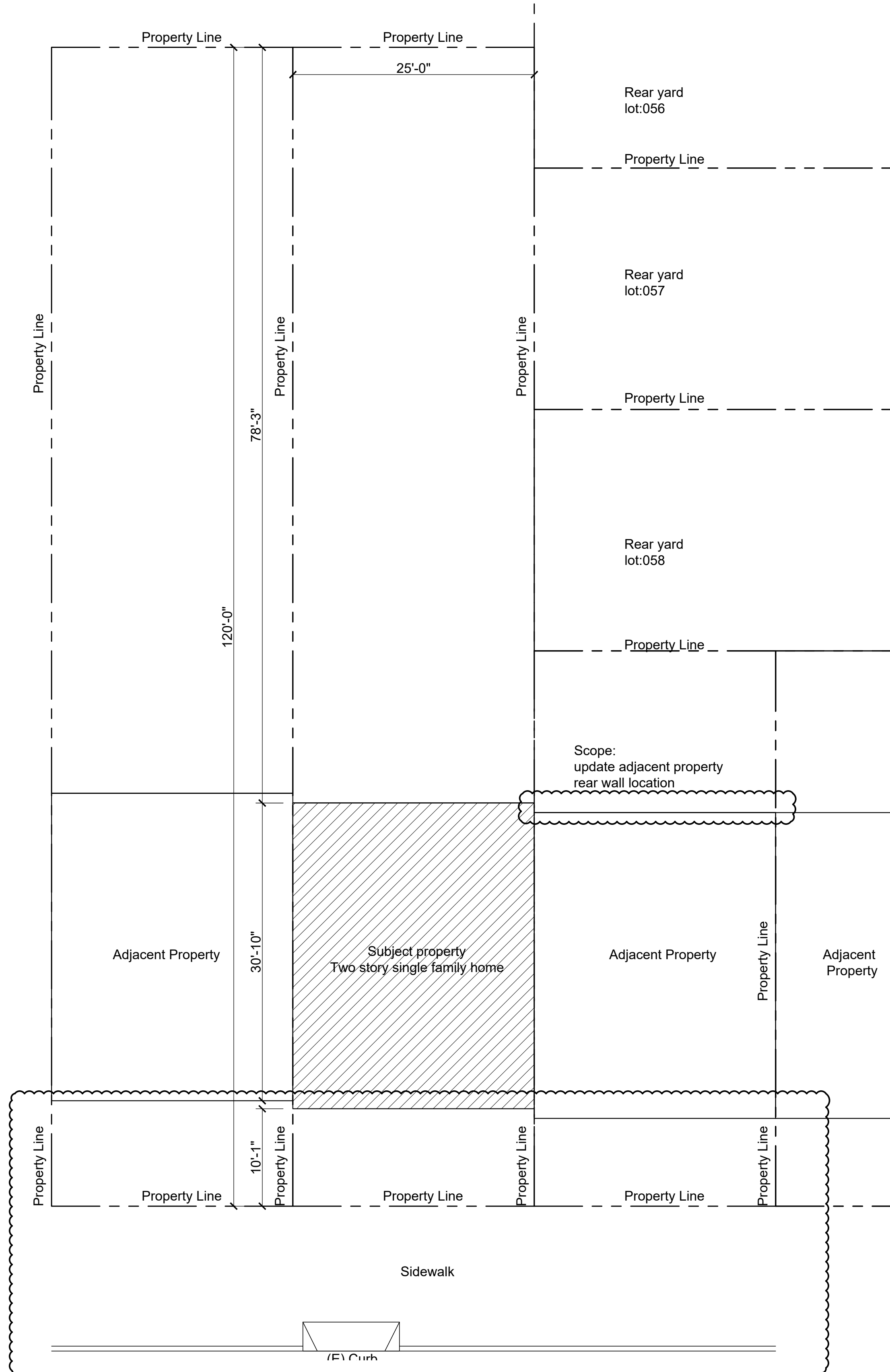
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PROJECT NO.

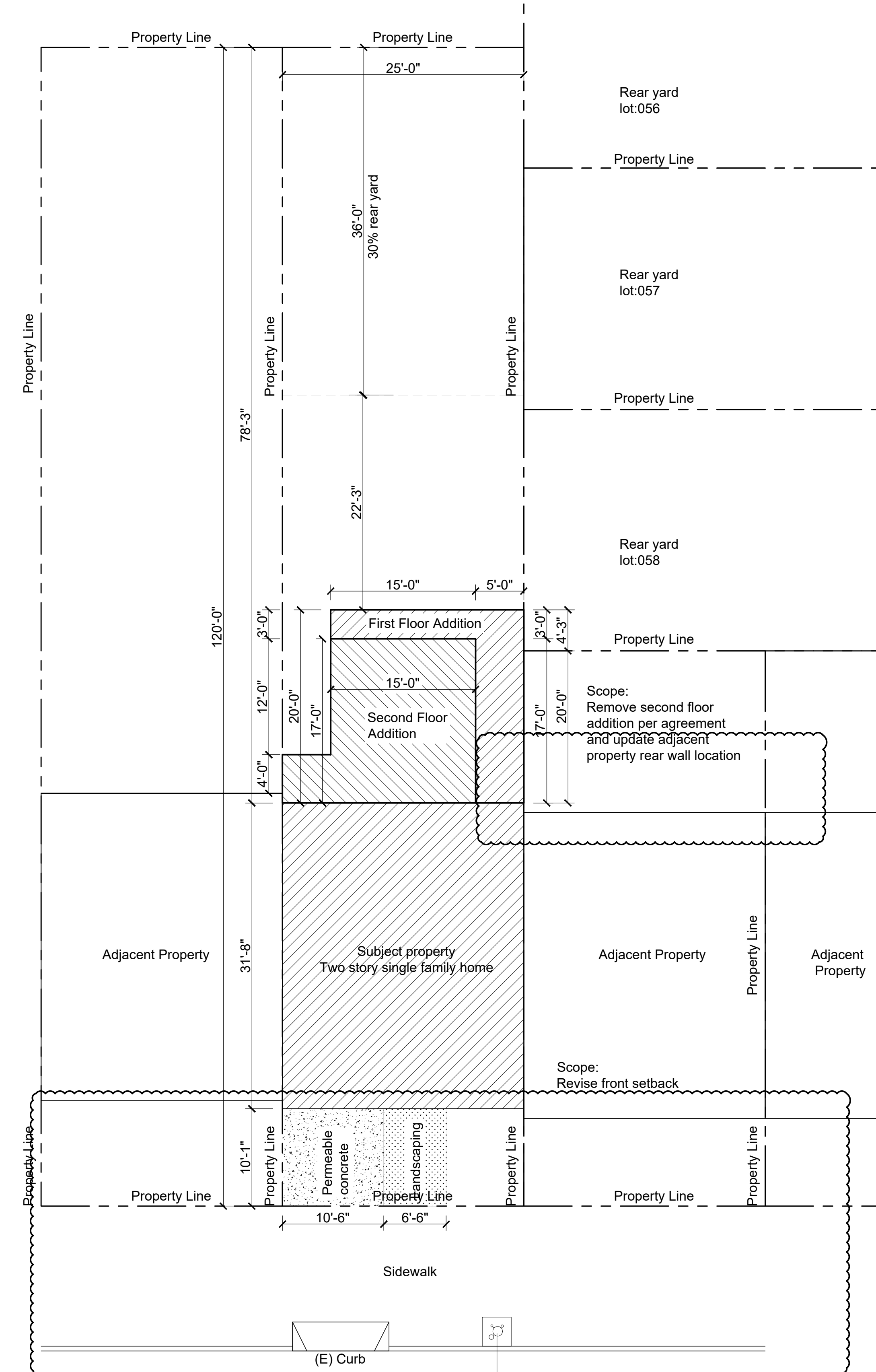
SHEET

A1.1

2019 23rd Avenue 2018-08-30-8786

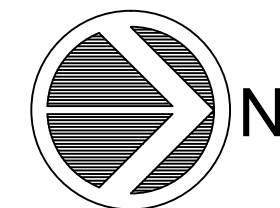


1 Site Plan
1/8" = 1' - 0"



2 Site Plan
1/8" = 1' - 0"

(N) Street tree
24" Box fruitless olive tree
with new planter bed 36" X 36" sawcut



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1	Site permit update	3/22/2021
2	Site permit update	4/28/2021

PROJECT TITLE
Residential horizontal addition

SHEET TITLE
Site Plans

LOCATION

2019 23rd Ave
San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

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DRAWN

SCALE AS NOTED

DATE 7/23/2020

PROJECT NO.

SHEET

A1.2

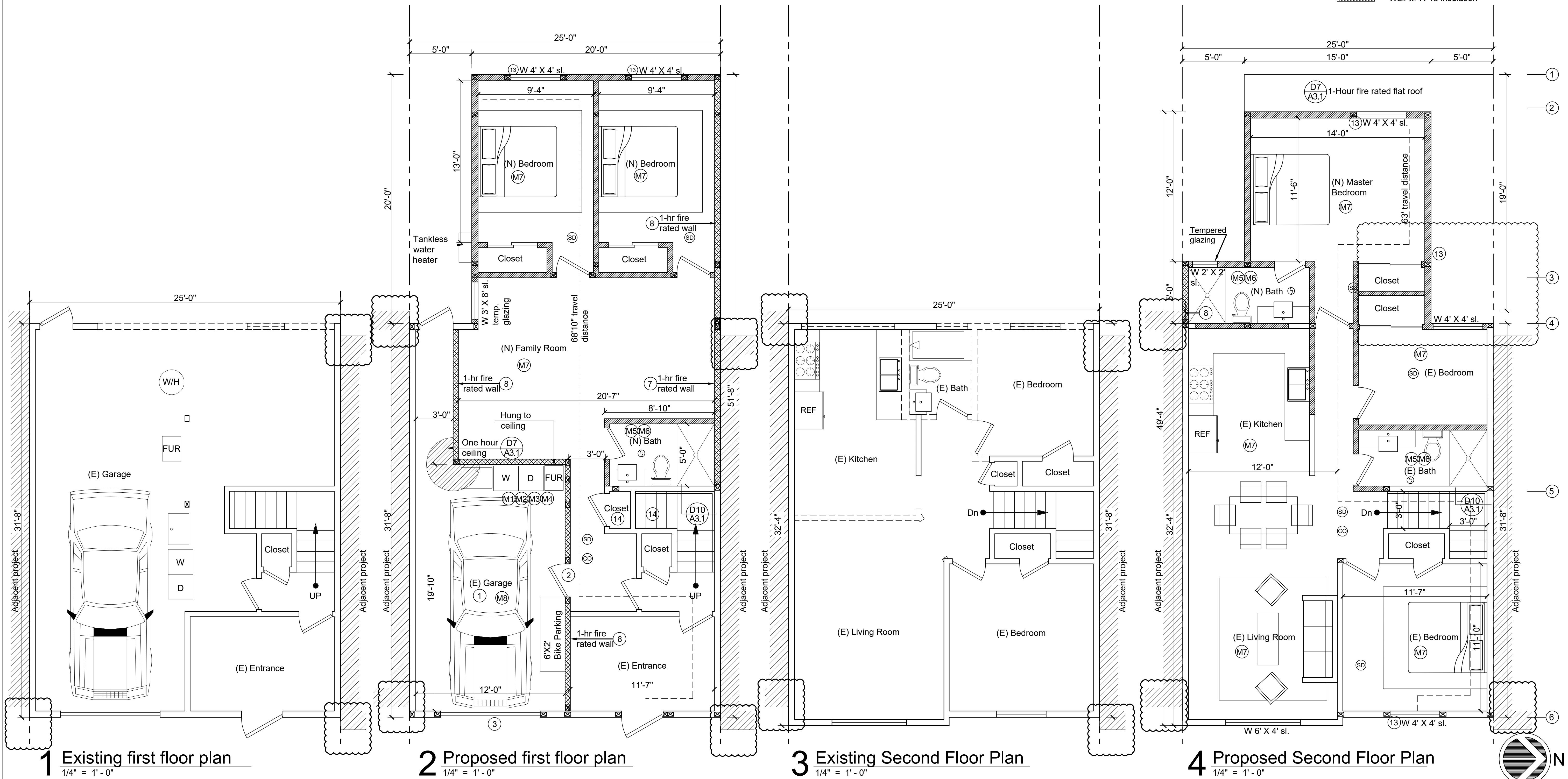

2019 23rd Avenue 2018-08-30-8786

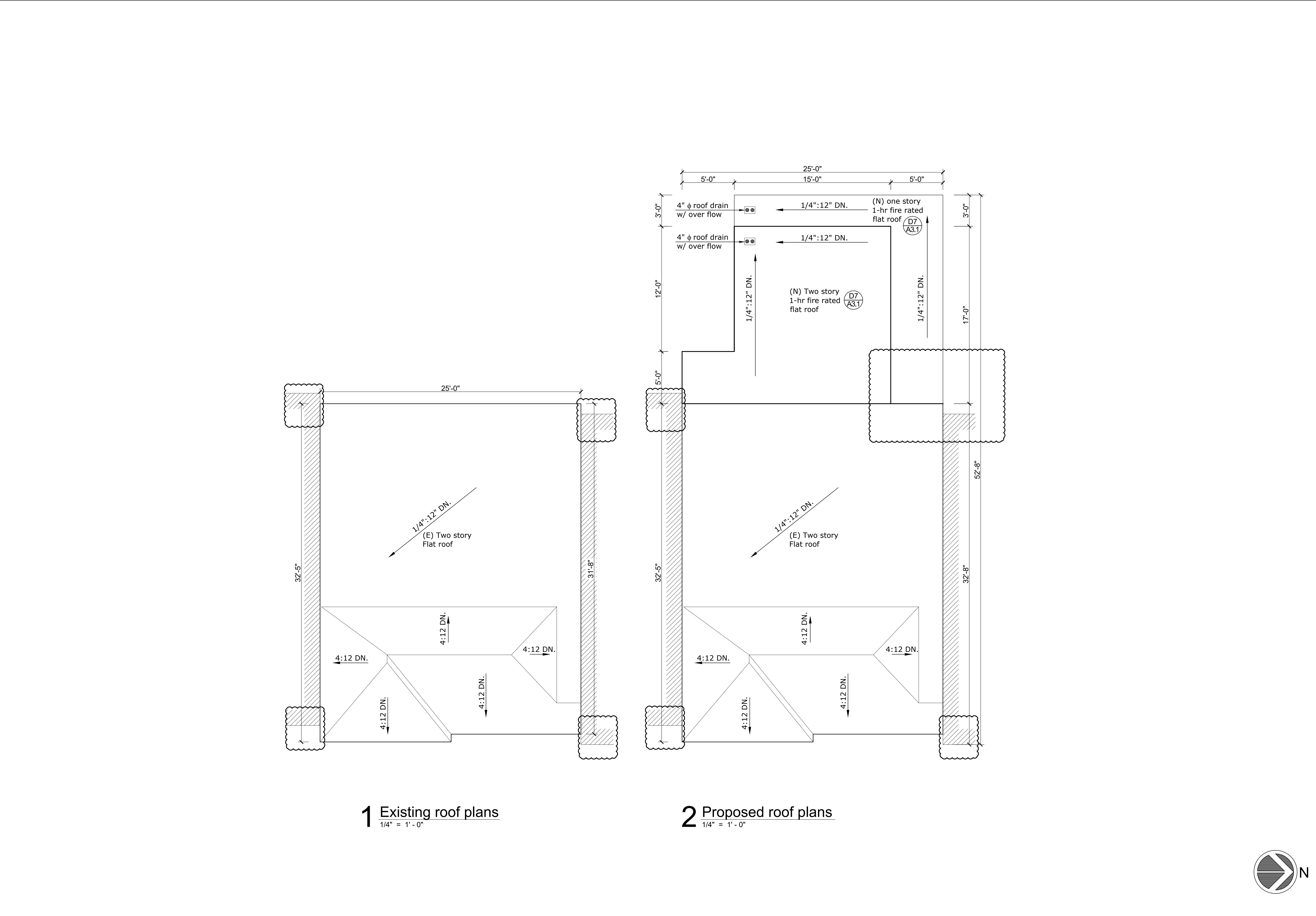
MECHANICAL NOTES			
M1	Provide combustion air openings from outside for W.H / furnace per CMC-CH.7	M6	Specify high efficacy lighting per TITLE-24
M2	Seismic strap W.H. REQ'D.	M7	All high efficacy lighting or controlled by dimmer switch
M3	Provide 26 GA. steel duct within garage space.	M8	All high efficacy lighting controlled by vacancy sensor
M4	Terminate gas vent 4'-0" from property line and 2'-0" above any portion of a bldg. within 10'-0"	5	Exhaust fan w/ humidistat
M5	Terminate EXH. fan outlet outside min. 3'-0" from property line and bldg. openings w/ back-draft damper	SD	Smoke detector
		CO	Carbon monoxide detector

NOTES	
1. Provide R-19 insulation in ceiling for all unconditioned non-habitable spaces that are adjacent to conditioned habitable spaces	10. 42" guardrail w/ handrail
2. Provide 1-3/8" thick, solid wood, self-closing, self-latching door between the garage and habitable spaces	11. max 7.75" rise and min. 10" run
3. Provide min. 200 IN² louver in garage for outside air	12. Min. 5/8" type "X" gyp board in garage area walls and ceiling
4. All habitable spaces (rooms, kitchen, bathrooms, hallways) shall have a minimum ceiling height of 7'-0"	13. Windows: All emergency escape and rescue openings shall have: The bottom of the opening shall not be more than 44 inches above the floor. Minimum net clear opening height of 24" and width of 20." Minimum net clear opening of 5.7 square feet
5. Provide tempered glazing for all windows, where bottom edge of the glazing is less than 18 inches above the floor	14. 5/8" type "X" gypsum board under stairs
6. Bathtub/shower floors/walls above bathtubs with installed shower head and in shower compartments shall be finished with a nonabsorbent surface, surface shall not extend to a height of not less than 72" above the floor	
7. 1-hour fire rated wall with R-13 insulation (See detail D4/A3.1)	
8. New wall with R-13 insulation and one layer of 5/8" type X gyp board (See D5/A3.1 & D6/A3.1)	
9. One hour fire rated roof with R-30 Insulation	

2019 23rd Avenue 2018-08-30-8786

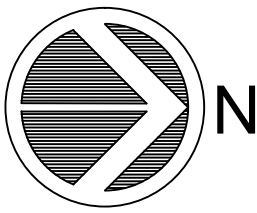
DRAWN	
SCALE	AS NOTED
DATE	7/23/2020
PROJECT NO.	





1 Existing roof plans
1/4" = 1' - 0"

2 Proposed roof plans
1/4" = 1' - 0"



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REVISIONS

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1	Site permit update	3/22/2021
2	Site permit update	4/28/2021

PROJECT TITLE
Residential horizontal addition

SHEET TITLE
Roof plans

LOCATION
2019 23rd Ave
San Francisco CA 94116
BLOCK : 2143 LOT : 005
ZONING : RH-1

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DRAWN

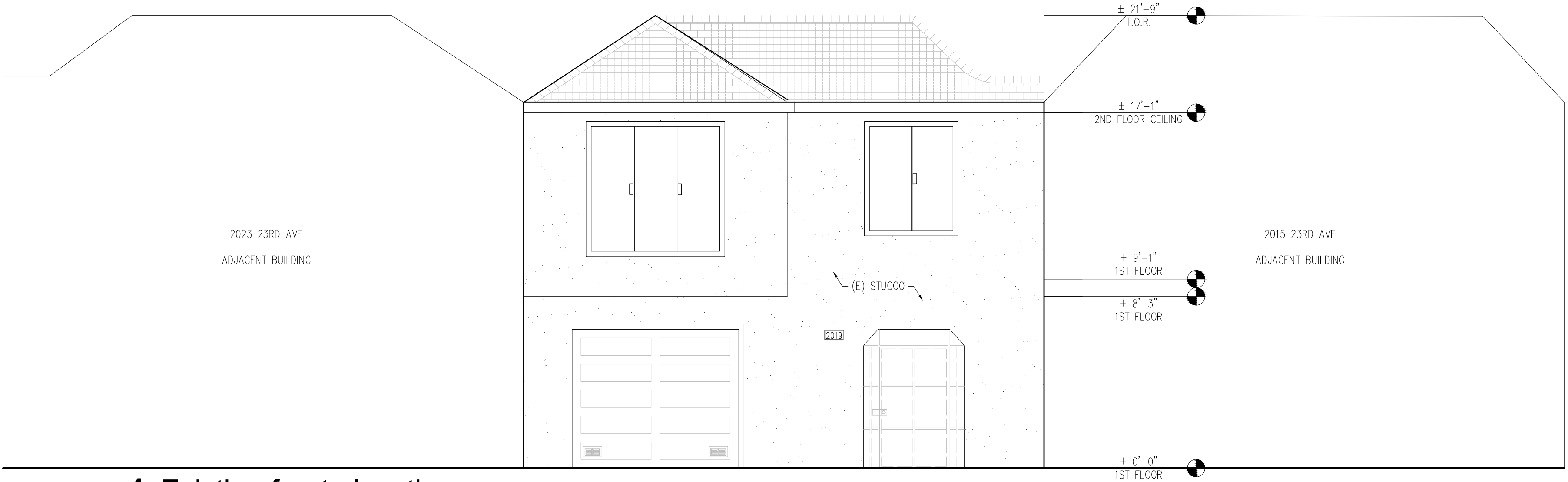
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DATE 7/23/2020

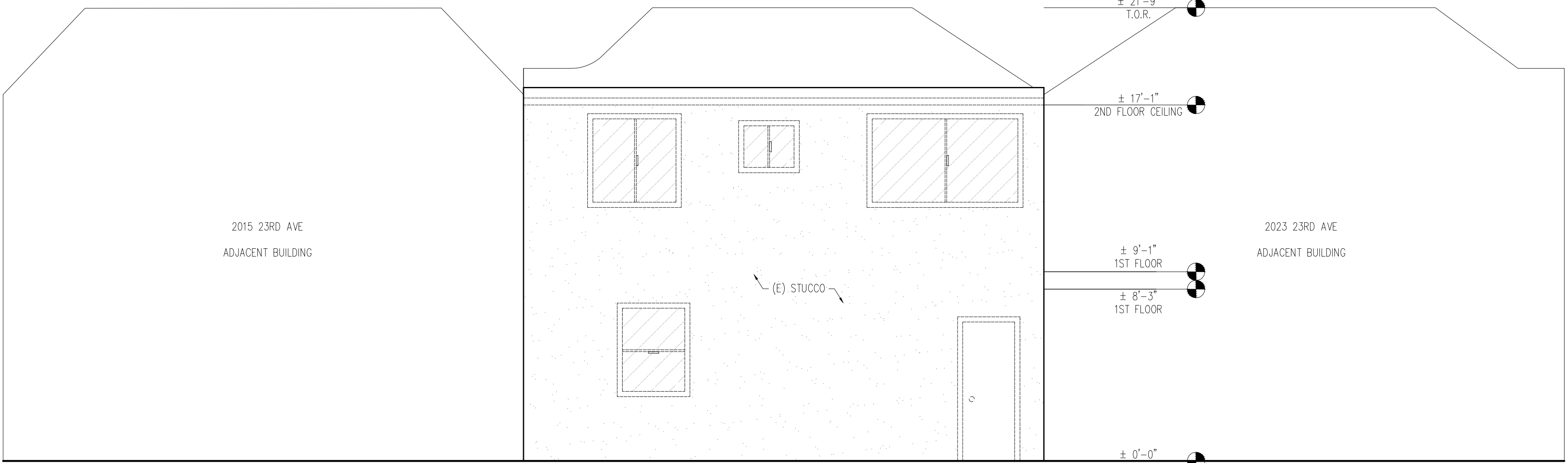
PROJECT NO.

SHEET

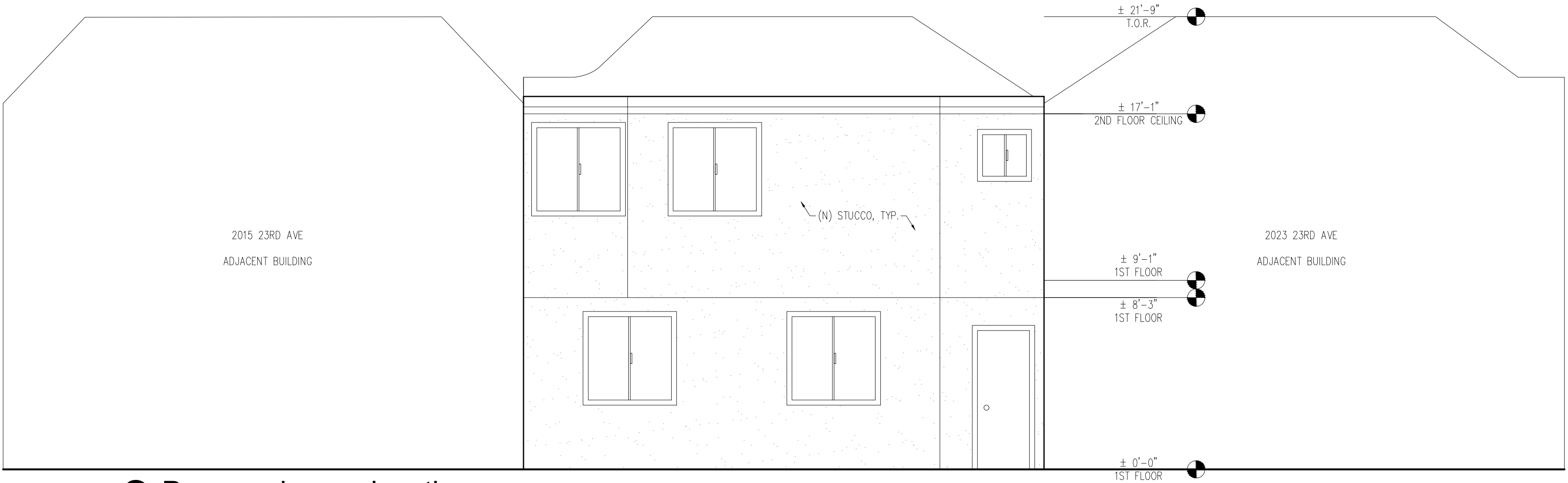
A2.2



1 Existing front elevation
1/4" = 1' - 0" *East elevation



2 Existing rear elevation
1/4" = 1' - 0" *West elevation



3 Proposed rear elevation
1/4" = 1' - 0" *West elevation

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REVISIONS		
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1	Site permit update	3/22/2021
2	Site permit update	4/28/2021

PROJECT TITLE
Residential horizontal addition
SHEET TITLE
Elevations

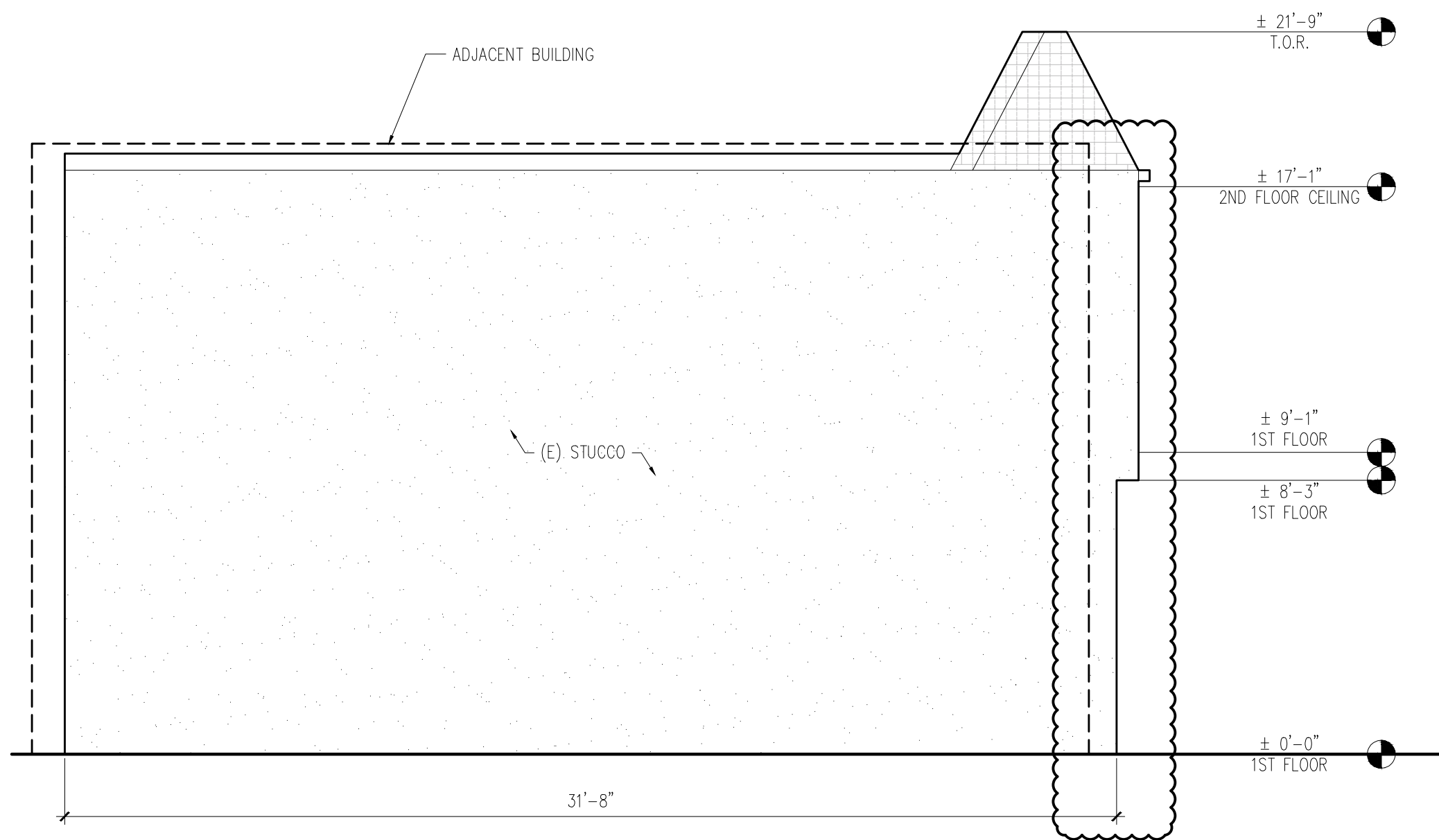
LOCATION
2019 23rd Ave
San Francisco CA 94116
BLOCK : 2143 LOT : 005
ZONING : RH-1

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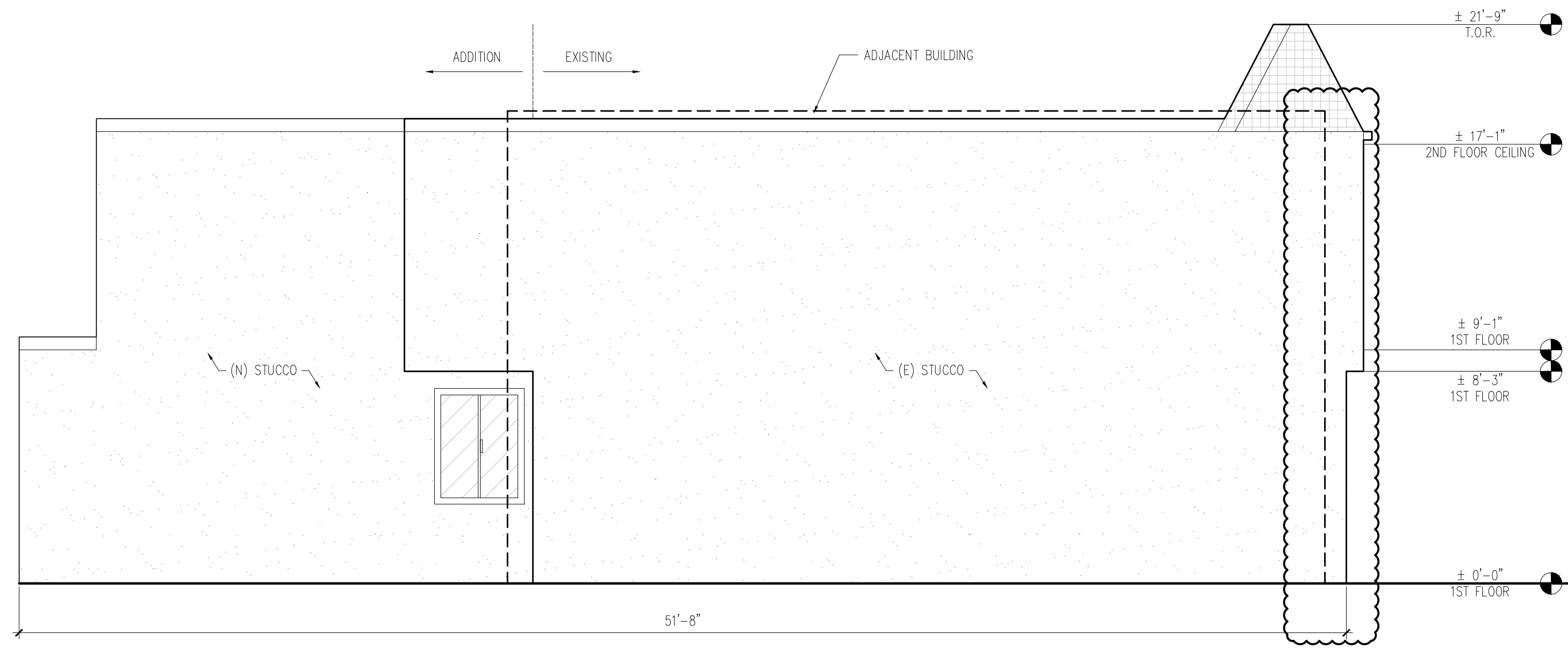


DRAWN
SCALE AS NOTED
DATE 7/23/2020
PROJECT NO.
SHEET
A2.3

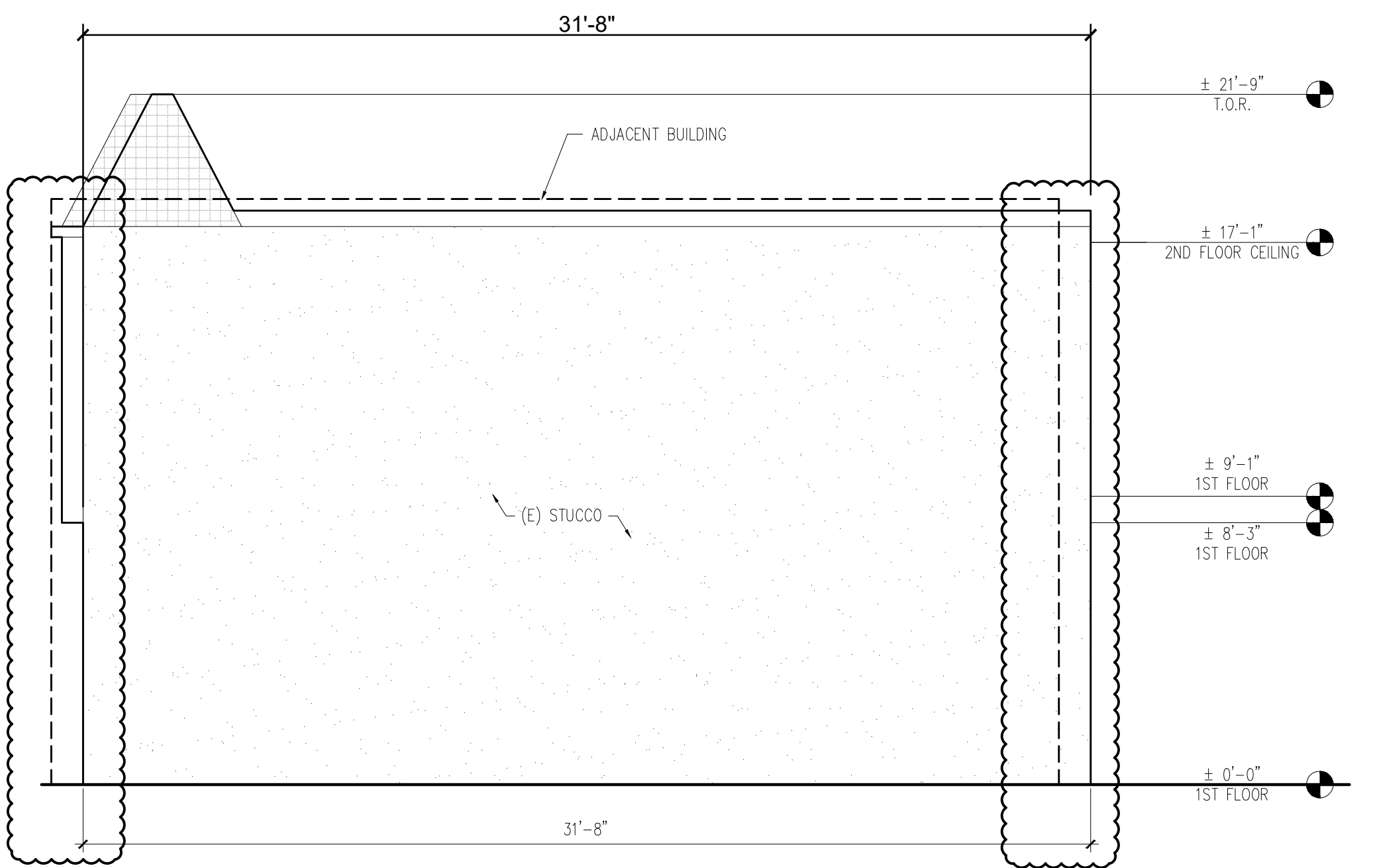
2019 23rd Avenue 2018-08-30-8786



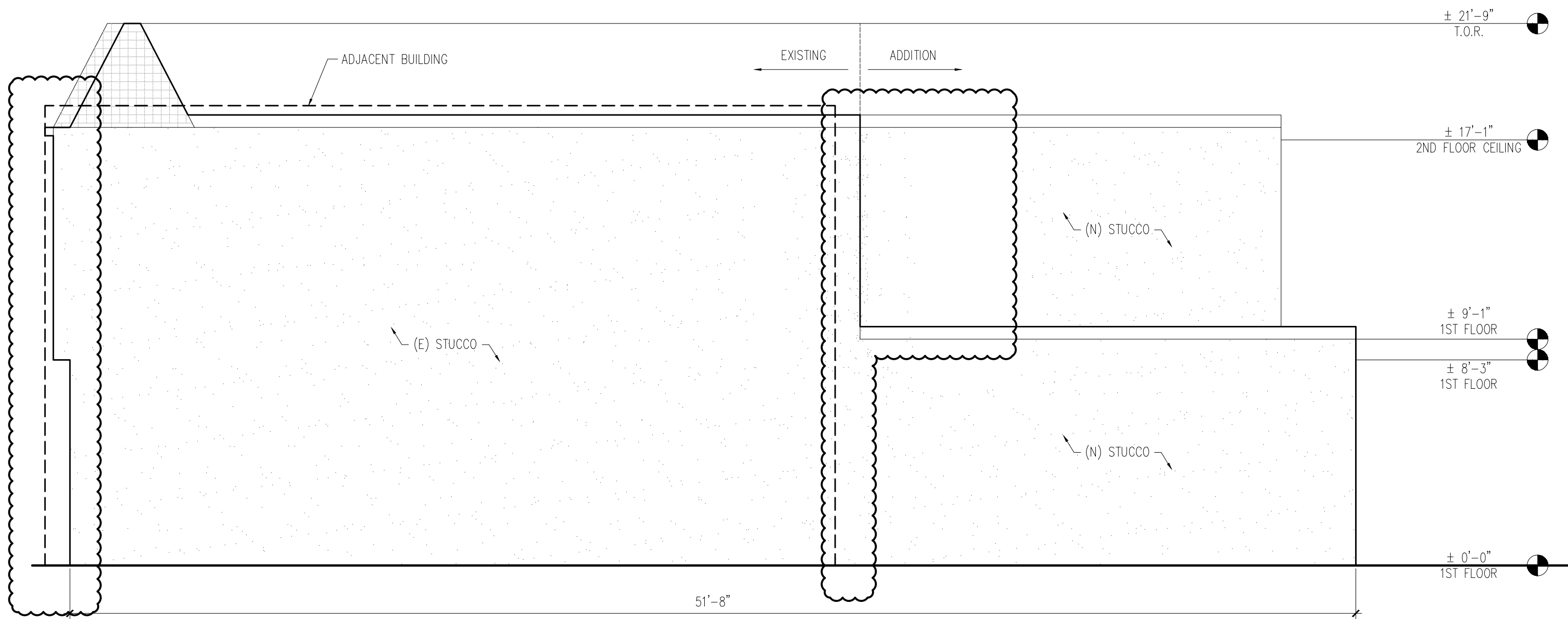
1 Existing left elevation
1/4" = 1' - 0" *South elevation



2 Proposed left elevation
1/4" = 1' - 0" *South elevation



3 Existing right elevation
1/4" = 1' - 0" *North elevation



4 Proposed right elevation
1/4" = 1' - 0" *North elevation

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REVISIONS

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1	Site permit update	3/22/2021
2	Site permit update	4/28/2021

PROJECT TITLE

Residential horizontal addition

SHEET TITLE

Elevations

LOCATION

2019 23rd Ave
San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

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DRAWN

SCALE AS NOTED

DATE 7/23/2020

PROJECT NO.

SHEET

A2.4

REVISIONS

NO.	DESCRIPTION	DATE
1	Site permit update	3/22/2021
2	Site permit update	4/28/2021

PROJECT TITLE

Residential horizontal addition

SHEET TITLE

Sections

LOCATION

2019 23rd Ave
San Francisco CA 94116

BLOCK : 2143 LOT : 005

ZONING : RH-1

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DRAWN

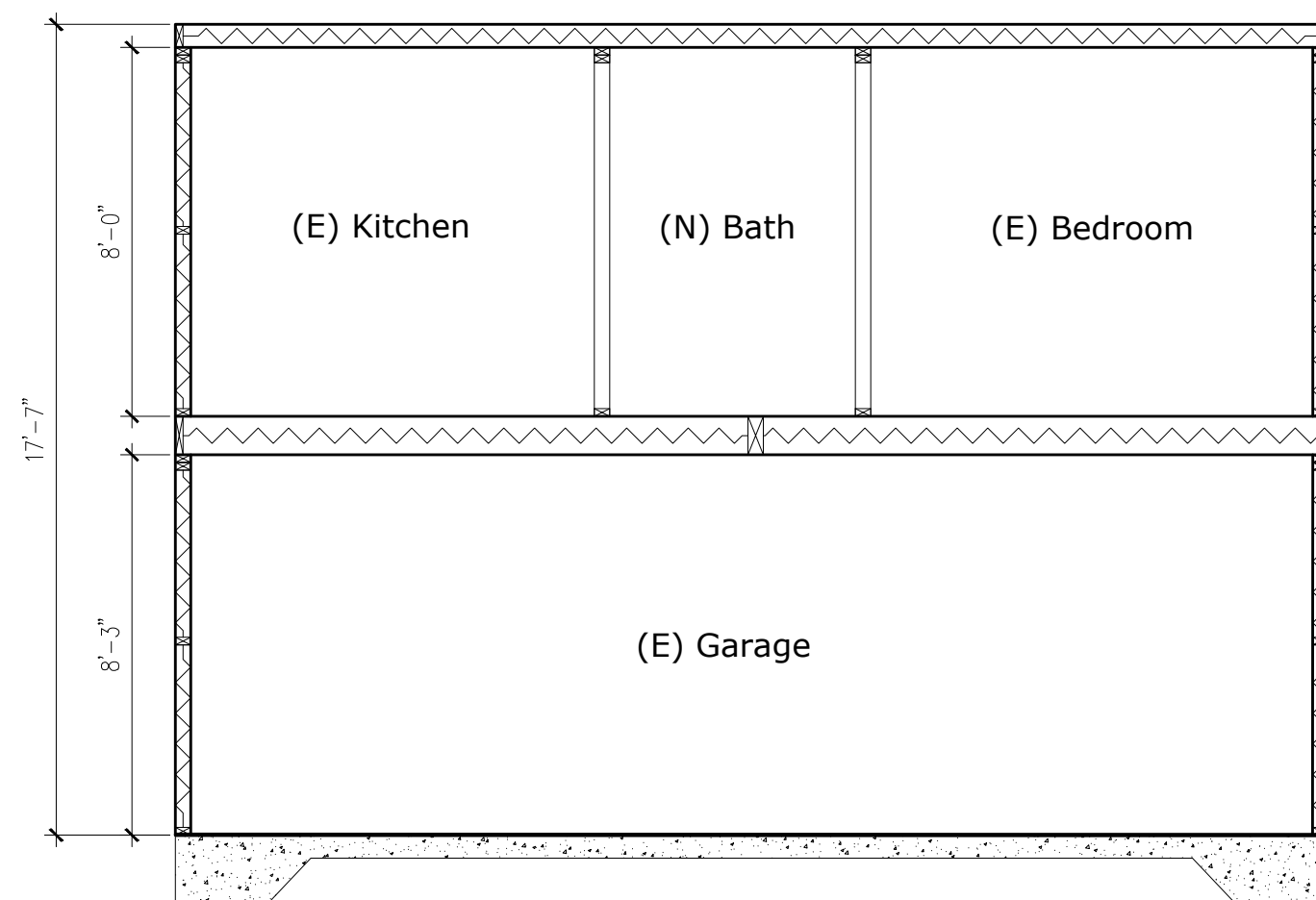
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DATE 7/23/2020

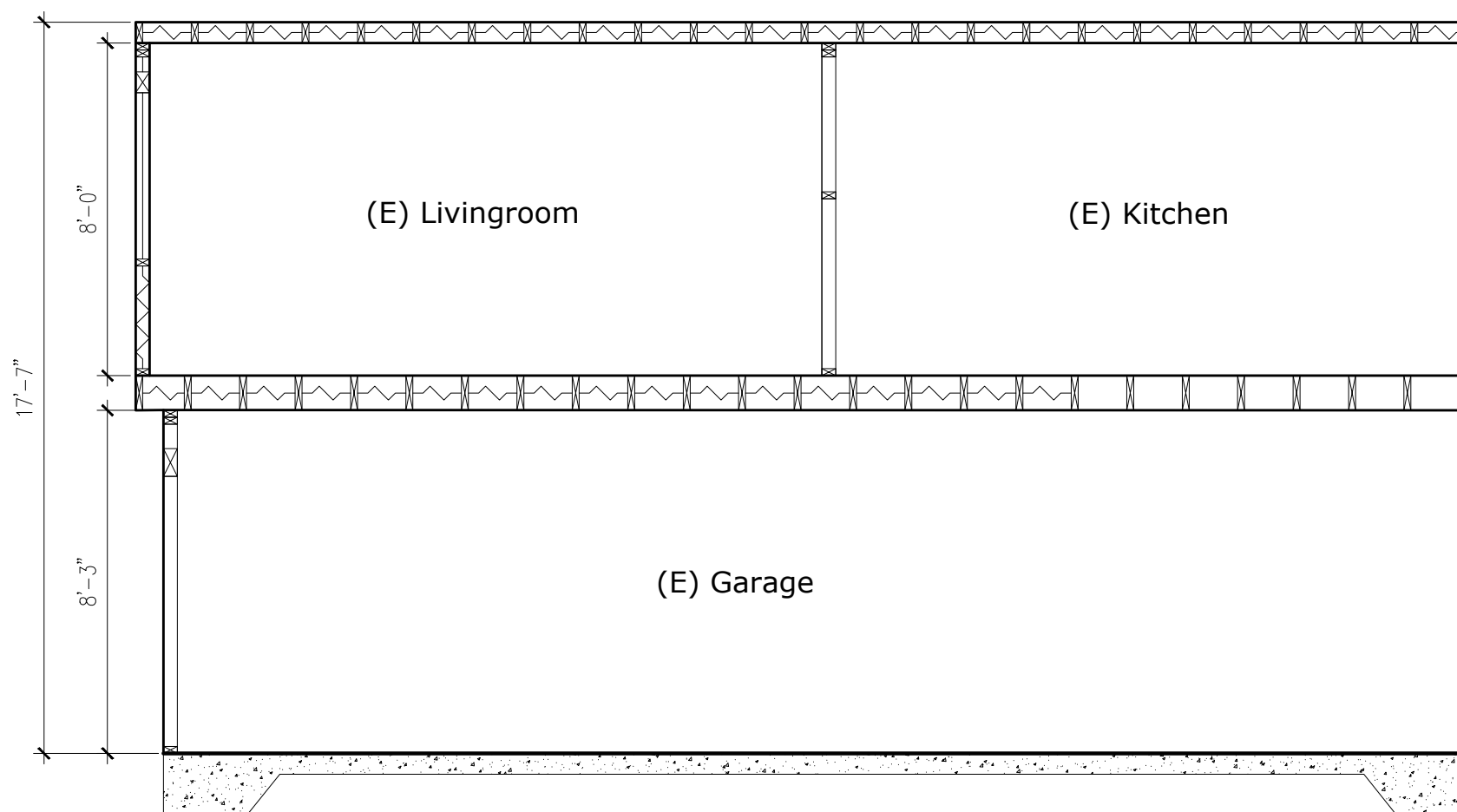
PROJECT NO.

SHEET

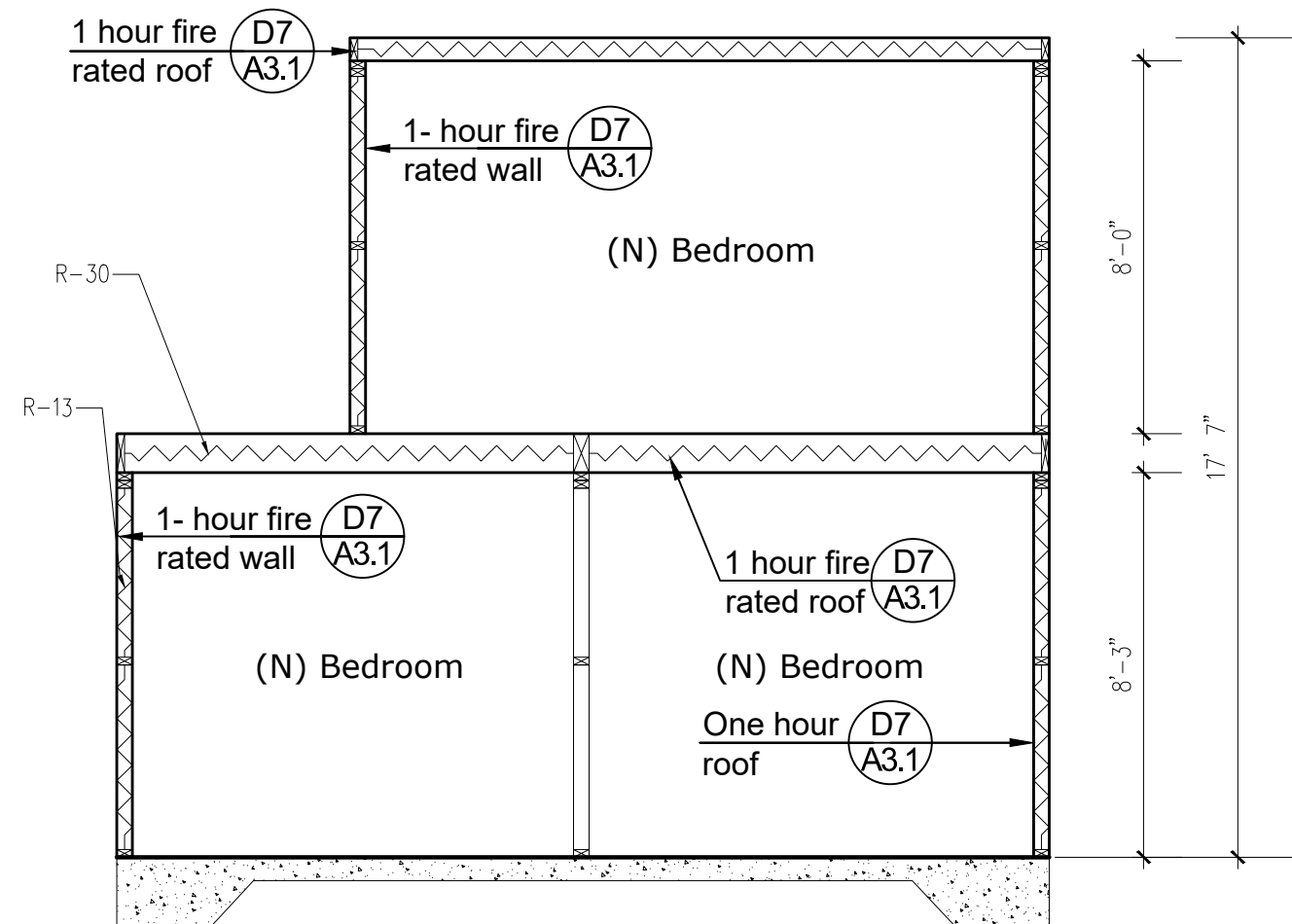
A2.5



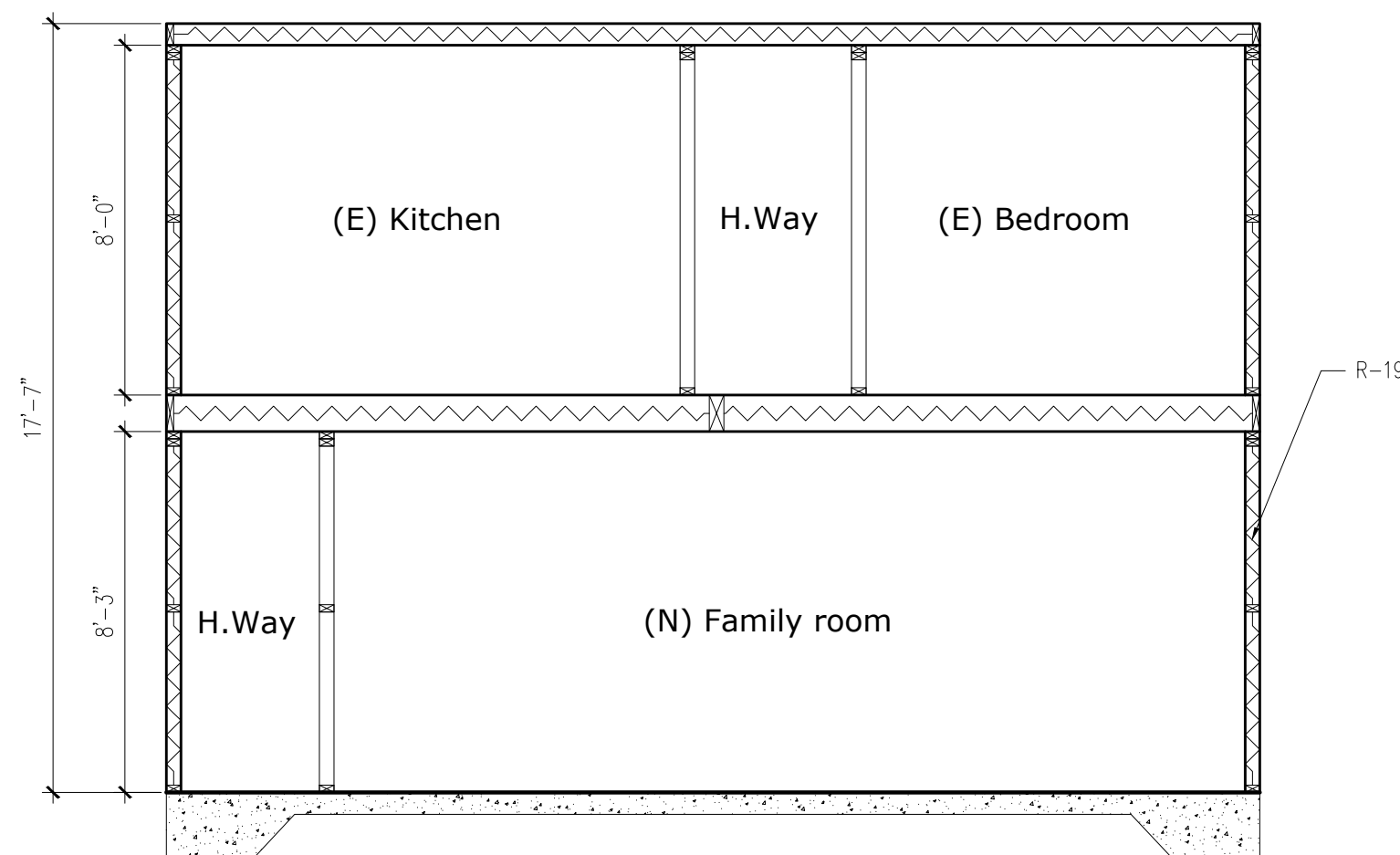
3 Existing section
1/4" = 1' - 0"



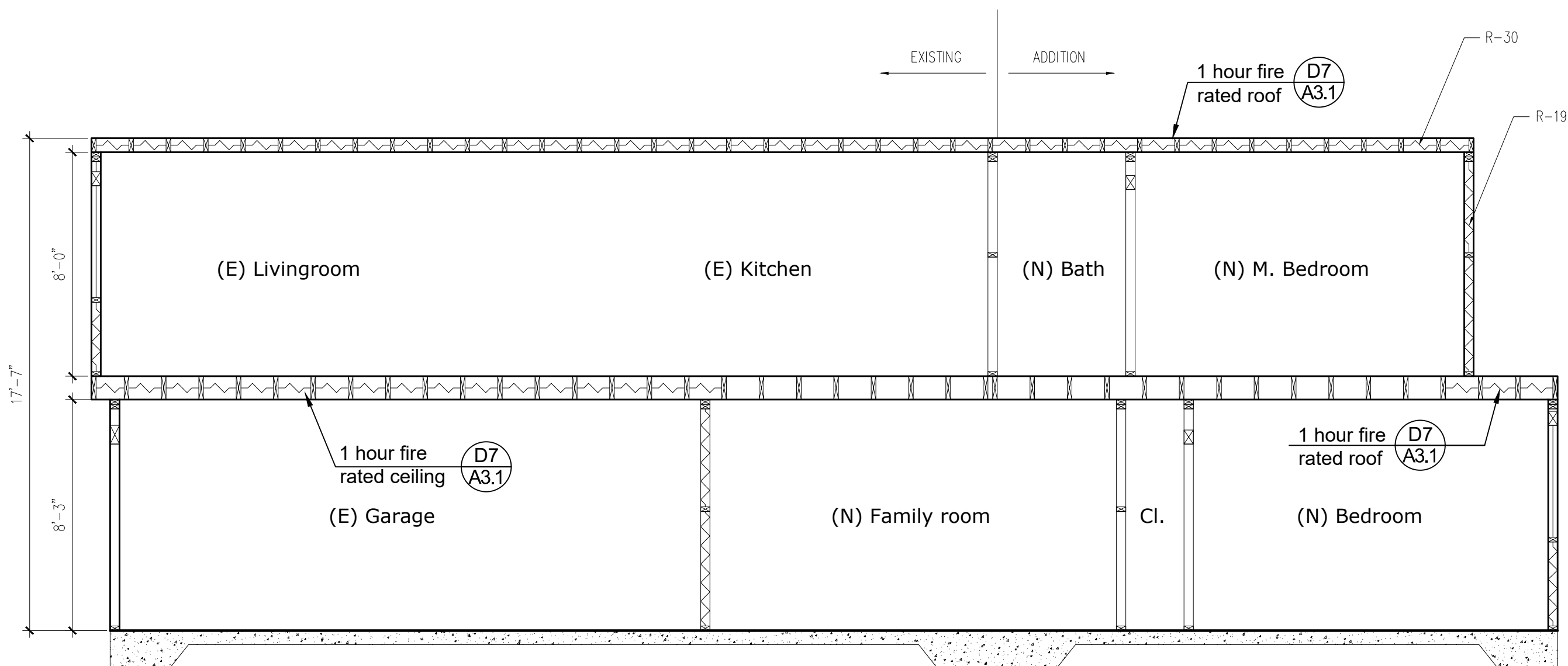
1 Existing section
1/4" = 1' - 0"



5 New section
1/4" = 1' - 0"



4 New section
1/4" = 1' - 0"



2 New section
1/4" = 1' - 0"

