

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
JERRY DRATLER,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **21-068**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on July 27, 2021, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on July 13, 2021 to Fu Chan, of Alteration Permit No. 2019/1107/6710 (Comply with NOV #201984482; infill existing lightwell area at second and third floors, revise roof framing only at stairway to fourth floor, relocate bathroom on first floor; add new gym room, reconfigure master bathroom and closet, add one new powder room on second floor, remove proposed skylight on roof plan; reference permit application #2019/0125/1296) at 1550-1552 Lake Street.

APPLICATION NO. 2019/11/07/6710

FOR HEARING ON September 22, 2021

Address of Appellant(s):

Address of Other Parties:

Jerry Dratler, Appellant(s)
40 17th Avenue
San Francisco, CA 94121

Fu Chan, Permit Holder(s)
c/o Tom Tunny, Attorney for Permit Holder(s)
Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, CA 94104



Date Filed: July 27, 2021

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 21-068

I / We, **Jerry Dratler**, hereby appeal the following departmental action: **ISSUANCE** of **Alteration Permit No. 2019/11/07/6710** by the **Department of Building Inspection** which was issued or became effective on: **July 13, 2021**, to: **Chan Hang**, for the property located at: **1550-1552 Lake Street**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **September 2, 2021, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, scott.sanchez@sfgov.org, mrchanhang@gmail.com, inconndesign.fiona@gmail.com and inconndesign@gmail.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **September 16, 2021, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, scott.sanchez@sfgov.org and dratlerj@gmail.com.

The Board's physical office is closed to the public and hard copies of the brief do NOT need to be submitted.

Only photographs and drawings may be submitted by the parties at the hearing.

Hearing Date: **Wednesday, September 22, 2021, 5:00 p.m.**, via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant :

Signature: Via Email

Print Name: Jerry Dratler

Building permit 2019.1107.6710 issued to 1550-1552 Lake Street fails to address existing site conditions and there are errors in the permit scope of work. All the outstanding building permits at 1550 -1552 Lake Street should be revoked and replaced with a comprehensive master building permit with a correct scope of work. On July 19,2021, I sent Mr. Duffy and Mr. Sanchez an email detailing my concerns. They both replied they required additional time to research the problems I enumerated and recommended I file a building permit appeal.

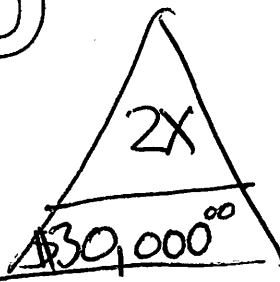
Some of the building permit scope of work errors; 1) the \$8,000 cost of work on the building permit was raised to \$157,000 by DBI. 2) three stories are listed on the permit with zero basements. However, the permit scope of work includes revising the roofing framing to the 4th floor. 3)the permit scope of work includes reconfiguring a nonexistent master bathroom.

Some of the existing site condition problems not addressed in the three outstanding building permits; 1) there are 4 holes on the North wall where the property owner removed 4 windows without a permit. 2) the Planning Department approved the building permit with the condition that more than 25 % of the interior walls be retained. The property owner removed all of the interior walls on the four floors of 1550 -1552 without a permit. 3) all of the existing electrical and plumbing permits have expired, 4) In 2019 the District Inspector issued a correction notice to repair falling stucco, the property owner has not requested a stucco repair permit, 5) the owner falsely claims there is an existing ground floor full bath and bedroom and applied for a 3rd unit ground floor UDU unit. The UDU application was denied over the counter because of a lack of visual connection and direct access. A new master building permit should be issued when the UDU inspection has been completed.

APPROVED
Dept. of Building Insp.
- San Francisco -

JUL 13 2021

Patrick O'Riordan
PATRICK O'RIORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION



Capacity Charges

Water: \$0
Wastewater: \$0
07/07/2021

BUILDING ENLARGEMENT DESCRIPTION
 VERTICAL
 HORIZONTAL

APPROVED FOR ISSUANCE

BLDG. FORM 3/8

APPLICATION NUMBER
2019-107-07110

OSHA APPROVAL REQUIRED

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER-THE-COUNTER ISSUANCE

NUMBER OF PLAN SETS: 2

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED JAN 1 2021	FILED FEE RECEIPT NO. 2001376	(1) STREET ADDRESS OF JOB 1550-1552 Lake St	BLOCK & LOT 1342/012
PERMIT NO. 0210715.121	ISSUED 7/13/21	(2A) ESTIMATED COST OF JOB \$8000	(2B) REVISED COST: BY: \$157,000. JC DATE: 6/7/21

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. 5	(5A) NO. OF STORIES OF OCCUPANCY: 3	(6A) NO. OF BASEMENTS AND CELLARS: 2	(7A) PRESENT USE: 2 unit	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS: 2
---------------------------	----------------------------------------	-----------------------------------------	-----------------------------	-------------------------	----------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. 5	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 2	(7) PROPOSED USE (LEGAL USE) 2 unit	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS: 2
--------------------------	---------------------------------------	----------------------------------------	----------------------------------------	------------------------	---------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------

(14) GENERAL CONTRACTOR TBD.	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
---------------------------------	---------	-----	-------	-----------------	-----------------

(15) OWNER - LESSEE (CROSS OUT ONE) Fu Hong	ADDRESS 1552 Lake St	ZIP	BTRC#	PHONE (FOR CONTACT BY DEPT.)
------------------------------------------------	-------------------------	-----	-------	------------------------------

(15) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

Comply with NDI #20198442, install existing lightwell area @ 2nd floor & 3rd floor. Revise roof framing only @ stairway to 4th floor @ relocate bathroom on 1st floor. Add (N) Entry Rm @ Reconfigure M. Bathroom & Closet. Add one new powder Rm on 2nd floor. Remove proposed skylight on roof plan.
REF PA# 2019-0730-1372

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? 0125 YES <input type="checkbox"/> 1296 NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> Peter Chow	ADDRESS 3626 Geary Rd #203 SF CA 94118	CALIF. CERTIFICATE NO.
-----------------------------------------------------------------------------------------------------------------	-------------------------------------------	------------------------

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")	ADDRESS
--------------------------------------------------------------------------------------------------------------------------------	---------

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

<input type="checkbox"/> OWNER	<input type="checkbox"/> ARCHITECT
<input type="checkbox"/> LESSEE	<input checked="" type="checkbox"/> AGENT
<input type="checkbox"/> CONTRACTOR	<input type="checkbox"/> ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

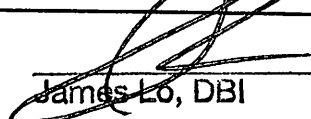
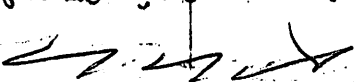
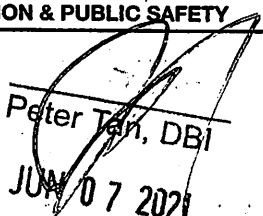

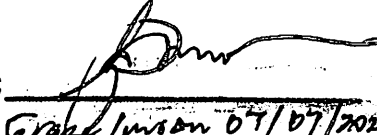
In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
- () III. The cost of the work to be done is \$100 or less.
- () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- () V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Chen
Signature of Applicant or Agent
Date: 7.25.21

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED:  James Lo, DBI JUN 07 2021 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: NOV. 07 2019 REASON: S. HAJNAL OK TO PROCESS
<input type="checkbox"/>	APPROVED: Revise interior layout, Cumulatively retaining more than 25% existing interior walls. Both units access new 70' x 1-Cor. Parking Por each unit. w. R11 lightwell, Remove Chimney  DEPARTMENT OF CITY PLANNING & RECORDS Mgmt. Dept. Moses Corrette 5.5.21 7.4.21	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:  Peter Tan, DBI JUN 07 2021 MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: James Lo, DBI JUN 07 2021 CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: NO ALTERATION TO OR RECONSTRUCTION OF CITY RIGHT-OF-WAY UNDER THIS PERMIT By  6/11/21 SFPW/BSM BUREAU OF ENGINEERING	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. DATE: _____ REASON: _____
<input checked="" type="checkbox"/>	APPROVED: SFPUC REDEVELOPMENT AGENCY  Grace Ineson 07/07/2021	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: HOUSING INSPECTION DIVISION	NOTIFIED MR. DATE: _____ REASON: _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT

City and County of
San Francisco

- Home
- Permit Services
- Plan Review
- Inspection Services
- Most Requested
- Key Programs
- About Us

Home » Most Requested

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 7/27/2021 10:00:56 AM

Application Number: 201911076710

Form Number: 3

Address(es): 1342 /012 /0 1550 LAKE ST
1342 /012 /0 1552 LAKE ST

Description: COMPLY WITH NOV #201984482, INFILL (E) LIGHTWELL AREA AT 2ND FL & 3RD FL, REVISE ROOF FRAMING ONLY AT STAIRWAY TO 4TH FL, RELOCATE BATHROOM ON 1ST F, ADD (N) GYM ROOM, RECONFIGURE MASTER BATHROOM & CLOSET, ADD ONE NEW POWDER ROOM ON 2ND FL, REMOVE PROPOSED SKYLIGHT ON ROOF PLAN. REF PA #201901251296

Cost: \$157,000.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
11/7/2019	TRIAGE	
11/7/2019	FILING	
11/7/2019	FILED	
7/13/2021	APPROVED	
7/13/2021	ISSUED	

Contact Details:

Contractor Details:

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	BID-INSP	11/7/19	11/7/19			11/7/19	HAJNAL STEVEN	
2	INTAKE	11/7/19	11/7/19			11/7/19	LEI ALVINA	
3	CPB	1/13/20	1/13/20			1/13/20	TORRES SHIRLEY	
4	CP-ZOC	1/13/20	5/4/20	5/6/20	10/28/20	3/29/21	CORRETTE MOSES	5/4/2020 - Permit assigned. Emailed project architect for additional information [current photographs; reference set of original permit; clarification of work (description is vague and plans depict work not listed such as chimney removal)]. 10/22/20 - Need to show open railing on floor plan to keep gf wet bar; more importantly, lightwell infill for both units does not comply with Section 181(c) (3) - NSR needed to declare which is the conforming and which one is the non-conforming plan - plans to Jennifer and customer will submit a PRJ and then, to NW Quad 1/4/21 - Approved revision permit. Complies with interior demo, rooms down, parking, and access to rear yard.



5	BLDG	1/29/21	1/29/21		1/29/21	CHEUNG JIMMY	2/3/21: CUSTOMER WILL CANCEL (PA#201907307352) AND THIS PERMIT IS A REVISION TO PA#2019-0125-1296 1/29/21: NO REVIEW DONE, RETURN TO CUSTOMER. CUSTOMER CANNOT FILE A REVISION TO A PERMIT THAT HAS YET TO BE "ISSUED" (PA#201907307352).
6	BLDG	2/23/21	2/23/21		2/23/21	LO JAMES	OTC PROJECT, ATTACHED COMMENTS TO APPLICATION FORM, ROUTE TO CP-ZOC FOR RESTAMP, WKP999.
7	CP-ZOC	3/25/21	3/29/21		3/29/21	CORRETTE MOSES	Restamped duplicate
8	CP-ZOC	4/9/21	5/5/21		5/5/21	CORRETTE MOSES	5.5.21: Re-approved 2nd duplicate. Permit to DBI-BLDG. 5/4/21: Hard copy revisions and replacement permit received; Delivered to M. Corrette at Planning. (Jennifer) Comments. Plans are from February missing the March drawings I had restamped. Present set conflates pre-project with work approved on permit that has been withdrawn (201997307352) instead of 201901251296, which was approved by planning. Please print revised plans showing cumulative interior demo plans (1) existing as pre-project, (2) approved 201901251296 and proposed plans.
9	BLDG	5/6/21	6/1/21		6/7/21	LO JAMES	FORM 3 PROJECT, APPROVED, ROUTE TO PPC 6/7/21.
10	MECH	4/13/21	4/13/21		4/13/21	TAN (PETER) JIA JIAN	Stapled comments to the pink form Sent plans to BSM
11	MECH	6/7/21	6/7/21		6/7/21	TAN (PETER) JIA JIAN	restamped
12	DPW-BSM	6/7/21	6/11/21		6/11/21	LAM ERIC	6/11/21 BSM ready for sign off. no alt. to PROW. - EL
13	SFPUC	6/14/21	7/7/21		7/7/21	IMSON GRACE	Capacity Charge not applicable. No change in meter size, not enough fixtures added to warrant a larger meter. Route to PPC - 07/07/2021
14	PPC	7/8/21	7/8/21		7/8/21	LUA NATALIE	7/8/21: To CPB;nl 06/14/21: TO puc;me 6/7/21: To BSM; NL 06/07/21: TO peter tans office for re stamp & review for plans received on 06/07/21;me 5/6/21: To James Lo office (BLDG) to review plans and stamp drawings received on 2/23/21; NL 4/9/21: Received permit application package from permit center. Reviwed the plans and it is missing Planning approval stamp and sign on plans which has received date of 2/23/21; route back to Planning to review and stamp the drawings;EC. 3/25/21: 2 Sets of duplication drawings with permit application from to DCP;EC. 1/13/20: to DCP; am
15	CPB	7/8/21	7/13/21		7/13/21	CHEUNG DEREK	7/13: issued. -dc

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
---------------	-----------	------------------------	-------------------

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			2	BOLTS INSTALLED IN CONCRETE	
0			24E	WOOD FRAMING	
0			24A	FOUNDATIONS	
0			4	REINFORCING STEEL AND PRESTRESSING TENDONS	reinforcing steel

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Online Permit and Complaint Tracking](#) home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our [FAQ area](#).

[Contact SFGov](#)

[Accessibility](#)

[Policies](#)

City and County of San Francisco © 2021

J. Dratler September 02, 2021 BOA Brief for Appeal 21-068

The duplex at 1550-1552 Lake Street, adjacent to our property, was in poor condition when the current owner acquired it in March of 2018. The current owner has allowed the property to continue to decline. I would like the renovation work on this project to proceed quickly, safely and to be fully building and planning code compliant. It is a shame that an elegant corner duplex on what is now a pedestrian street, has been reduced to its current blighted condition.



A vacant building complaint was filed (not by me) in February of 2020 against 1550-1552 Lake Street, and nine months later DBI inspected the building and registered the building as a vacant building. Police were called (not by me) when squatters attempted to break into the first-floor unit and occupy the building. This is one of 11 DBI complaints filed against the current property owners (exhibit 1). Three of the 11 complaints remain open.

The current property owner's amateurish unpermitted remodel work over the last three years needs to end. This will only happen if DBI revokes the 4 outstanding building permits including permit 2019.1107.6710 issued on July 15, 2021 (exhibit 2) and requires the project sponsor to secure a new master building permit to address the illegal interior demolition, unpermitted window removals and current site conditions resulting from unpermitted work.

The unpermitted work summarized below is addressed in the September 12, 2019, and July 19, 2021, emails (exhibit 8 &9) I sent the Planning Department and DBI with pictures and explanations that document each violation. Mr. Duffy and Mr. Sanchez both sent me emails (exhibit 3) mentioning that I might want to appeal the July 15, 2021, building permit because they could not fully research my complaints in 15 days.

I reviewed earlier building plans on May 03, 2019, at DBI. The plans included residential demo calculations where the project sponsor said he would remove 75.75% of the 4th floor sunroom, 25.5% of the 3rd floor, 23.59% of the 1st floor and 24.56% of the ground floor. In Sr. Inspector McHugh's September 27, 2019, email (exhibit 4) he states the project sponsor exceeded the scope of the interior demo calculations on all floors, filled in a lightwell on the east side and made exterior changes to the North wall facade.

The exterior changes on the North wall include the removal of four exterior windows (exhibit 5). The property owner removed the 1st floor kitchen window, two additional rear 1st floor windows and expanded the ground floor window on the north wall into an entrance.

I believe the new north wall ground floor entrance was added to support the project sponsor's application for a new 3rd living unit on the ground floor. Comments from the Planning Department PIM system (exhibit 6) show the project sponsor has submitted plans that falsely claim there is an existing full bath and bedroom on the ground floor. Pictures in exhibit 7 show construction of the "existing" ground floor full bath and bedroom and the former north wall window that was removed and expanded into an entrance. The project sponsors over the counter application for the third unit was declined pending a Planning Department units down screening.

Six problems with the July 2021 building permit are listed below. I also include 12 other reasons a new master permit should be issued and the four existing building permits revoked.

Problems with the building permit 2019.1107.6710 that was issued on July 15, 2021.

- 1) The cost of work on the building permit that was submitted by the project sponsor was \$8,000. DBI raised the cost to \$157,000. Understating the project cost by 95% on the building permit demonstrates the project sponsor's continuing disregard for the rules.
- 2) Three stories are listed on the permit with zero basements or cellars. However, the permit scope of work includes revising the roofing framing to the 4th floor.

How can the building permit include work on the 4th floor when the project sponsor submitted a building permit which claims there are 3 stories and no basement?

- 3) There never was a master bathroom at 1550-1552 Lake. The permit scope of work includes reconfiguring the nonexistent master bathroom. This is the same master bathroom the project sponsor plans to add in permit 2019.0125.1296. This permit should be revoked and replaced with a comprehensive master permit.
- 4) The bathroom on the first floor can't be relocated because it was removed without a permit when the property owners gutted the first floor.
- 5) The permit scope of work includes filling in the existing lightwell. Inspector McHugh's email states the lightwell was filled in 2018 without a building permit and never inspected.
- 6) The scope of work does not address the four windows at the rear wall of the building that were removed without permit. The four new window openings are shown in exhibit 5. A new master permit should address the unpermitted window removals because the former windows are visible from the street.

Existing conditions that need to be addressed in the new master permit.

- 1) In July of 2018, the project sponsor removed all the interior lath and plaster, studs, and headers on the first floor and second floor without a building permit. The unpermitted new framing that was installed requires inspection. The plans that were submitted with the building plan did not show the existing two

bedrooms at the front of the building. The unpermitted reframing of floors one and two should have been added to the permit that was issued on July 15, 2021.

- 2) The Planning Department approved building permit 2019.1107.6710 with the condition the interior revision retain more than 25% of the existing interior walls. In Sr. Inspector McHugh's September 16, 2019, email (exhibit 4) he confirms all the interior existing walls have been removed without permit. The project sponsor would need to rebuild more than 25% of the interior walls that existed to be in compliance with the planning code. Rebuilding the former interior walls is not in the permit scope of work.
- 3) Building permit 2018.0731.6408 to re-dry wall in kind should be revoked because the project sponsor removed all the lath and plaster and interior studs. Nothing remains to attach the drywall to.
- 4) Some of the wall studs that were removed in July of 2018 had nob and tube wiring attached to the studs. Existing electrical permits expired two months ago, and rewiring work started but was not completed. The new master building permit should include new master electrical and plumbing permits.
- 5) In April of 2019, the contractor was observed installing new footings (page 6 picture) without a permit. I filed a complaint because Rob Duffy, his wife and nine-year-old daughter were living in the upper unit with the 4th floor sunroom, and I was concerned for their safety. Rob and his family lived in the top unit for eight years, and they are a lovely family and were wonderful neighbors.
- 6) The contractor installed temporary 2x4s to support the three floors above the north garage while he installed new footings. Was the placement of the rebar inspected

before the new footings were poured? Were concrete core samples sent to a testing lab?



7) In August of 2019, the project sponsor replaced a broken sewer line without a permit. Sewer work was outside the scope of the three existing plumbing permits all of which expired. The new sewer line has never been inspected and the building permit that was

issued on July 15, 2021, scope of work includes relocating a bathroom, reconfiguring a nonexistent master bathroom, and a new powder room. This building permit should not have been approved without requiring the project sponsor to secure the necessary plumbing permits for the bathroom work.

8) The workers who removed all the interior studs and headers on the ground floor, 1st and 2nd floors of 1550-1552 Lake Street used sledgehammers to remove the lath and plaster. The blows from the sledgehammers loosened the exterior stucco which is now falling from the building. In April of 2019, a complaint was filed (not by me) for stucco falling off the building. District Inspector Chan issued a correction notice requiring the project sponsor to obtain a building permit for stucco repair. Two years have passed, and the project sponsor has not obtained a stucco repair building permit. A stucco repair permit should be included in the new master building permit.

9) Two kitchens were removed and the June 2018 permit scope of work only covers one kitchen remodel. Replacing the second kitchen is not in the building permit 2019.1107.6710 scope of work. The second kitchen replacement should be in the new master building permit.

10) The project sponsor removed two first floor windows on the north wall of the first floor (exhibit 5) without a building permit. The removed windows are visible from the street. If new windows are approved by the Planning Department, the new first floor north wall windows should be included in the new master building permit.

11) The project sponsor removed a north wall ground floor window and expanded the window opening to be a ground floor north wall entrance. If the new ground floor

entrance is permitted after the Planning Department's UDU screening, the new entrance should be included in the new master building permit.

12) The project sponsor reframed the 4th floor sunroom (two pictures below) without a building permit. Mr. McHugh's email refers to the unpermitted reframing of the roof line adjacent to the 4th floor sunroom.





In the picture below you can see the 4th floor sunroom at the back of the duplex is integral to the character of the building. Changing the roof line of the sunroom would be very visible from the street because the duplex is on the corner of the block on what is now a pedestrian street. Altering the sunroom roof line requires Planning Department approval. If approved, altering the roof line should be included in the new master building permit.



I include one additional point for clarification. The property owner submitted plans that call for the addition of 619 square feet of conditioned space. I would like the project sponsor to identify where the additional habitable square feet will be added and if the additional square feet are included in the scope of work in the existing 4 building permits.

List of exhibits
1550-1552 Lake Street

Exhibit #	Description
1	11 DBI complaints filed against the current owner of 1550-1552 Lake Street
2	List of 4 outstanding building permits 1550-1552 Lake Street
3	July 2021 emails from Mr. Duffy and Mr. Sanchez
4	Email from Sr. Inspector Kevin McHugh
5	Pictures of the 4 exterior windows removed from the North wall of 1550-1552 Lake Street
6	Planning Department PIM information on new ground floor living unit application.
7	Pictures of the existing ground floor living unit
8	September 12,2019 email with pictures to DBI and the Planning Department
9	July 19,2021 email with pictures to DBI and the Planning Department

Exhibit 1
Complaints Since 2018
1550/1552 Lake Street

	Complaint #	Date Filed	Status	Street #	Street Name	complaint
1	202020888	2/24/2020	CLOSED	1550	LAKE ST	vacant building
2	202020621	2/21/2020	CLOSED	1550	LAKE ST	2 windows over looking sidewalk are broken (2nd floor) --- Building appears to be vacant. Broken windows potential hazards fall on pedestrians. (311 SR 12102329)
3	202014231	1/29/2020	ACTIVE	1550	LAKE ST	Blight- The windows of the building are broken with jagged edges that could fall out and hit someone
4	201984482	9/13/2019	ACTIVE	1550	LAKE ST	date last observed: 12-SEP-19; time last observed: all day; identity of person performing the work: property owner's contractor; floor: 3rd floor; unit: top unit o; exact location: Main Bldg; building type: Residence/Dwelling WORK BEYOND SCOPE OF PERMIT; ; additional information: Contractor partially demolished the 3rd floor and installed framing for expansion of existing penthouse. I sent Mr. O'Riordan, Mr. McHugh, Mr. Chan an email with pictures and additional documentation.;
5	201977251	8/15/2019	CLOSED	1550	LAKE ST	date last observed: 13-AUG-19; time last observed: mid day; floor: North gara; exact location: Main Bldg; building type: Residence/Dwelling BROKEN SEWER; ; additional information: jackhammering garage floor to replace sewer line without a permit;
6	201951911	5/6/2019	CLOSED	1552	LAKE ST	date last observed: 04-MAY-19; time last observed: 11:00 am; floor: ground flo; unit: Northern g; exact location: Garage; building type: Residence/Dwelling WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT; ; additional information: I observed a worker standing in a trench that ran the entire east/west length of the Northern Garage. Yesterday workers unloaded rebar. I reviewed the architectural plans for 1552 Lake submitted by the structural eng. and a seismic upgrade was not in the plans. No inspection for a seismic upgrade was specified. ;
7	201949881	4/30/2019	CLOSED	1550	LAKE ST	STUCCO FALLING OFF THE SIDE OF THE BUILDING AND WORK BEING DONE IN AN UNSAFE MANNER
8	201944925	4/11/2019	CLOSED	1550	LAKE ST	date last observed: 10-APR-19; floor: garage; exact location: Main Bldg; building type: Residence/Dwelling WORK W/O PERMIT; STRUCTURAL PROBLEMS; ; additional information: Contractor is doing structural work to the property without a permit. Contractor is jackhammering the garage floor under the section of the house that is three- stories and is putting in new footings. A Notice of Violation needs to be issued and the contractor needs to submit plans signed off by a structural engineer. ;
9	201879385	7/23/2018	CLOSED	1552	LAKE ST	date last observed: 15-JUL-18; time last observed: morning; floor: first; exact location: Main Bldg; building type: Residence/Dwelling ELECTRICAL WORK BEING PERFORMED W/O PERMIT; ; additional information: Contractor's truck was loaded with building debris (wooden studs) that had been removed with a sawzall with wiring attached. I have pictures if needed.

Exhibit 1
Complaints Since 2018
1550/1552 Lake Street

	Complaint #	Date Filed	Status	Street #	Street Name	complaint
10	201879386	7/23/2018	CLOSED	1552	LAKE ST	ate last observed: 20-JUL-18; time last observed: morning; floor: first ; exact location: Main Bldg; building type: Residence/Dwelling WORK BEYOND SCOPE OF PERMIT; ; additional information: workers pushing a 15-20 ft. piece of engineered lumber through a first floor window. It appears the contractor is making structural changes to the interior space without a permit.. I have pictures.;
11	201877062	7/11/2018	ACTIVE	1552	LAKE ST	date last observed: 09-JUL-18; time last observed: 12:00 pm; floor: first floo; exact location: Rear Bldg; building type: Residence/Dwelling WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT; ; additional information: <u>contractor has permit for kitchen and bath remodel and has removed almost all the first floor interior walls. Contrator removed rear exterior wood steps without permit that lead to ground floor. This is a safety issue. Interior demolition likely required contrator to break electrical and plumbing connections without permits.;</u>

Exhibit 2
Building Permits
1550 -1552 Lake Street

Permit #	status	Date	Description
2019.1107.6710	suspended	7/27/2017	COMPLY WITH NOV #201984482 , INFILL (E) LIGHTWELL AREA AT 2ND FL & 3RD FL, REVISE ROOF FRAMING ONLY AT STAIRWAY TO 4TH FL, RELOCATE BATHROOM ON 1ST F, ADD (N) GYM ROOM, RECONFIGURE MASTER BATHROOM & CLOSET, ADD ONE NEW POWDER ROOM ON 2ND FL, REMOVE PROPOSED SKYLIGHT ON ROOF PLAN. REF PA #201901251296
2019.0730.7352	withdrawn	2/4/2021	REV TO PA201901251296: TO FLIP (E) STAIRCASE INTO THE OPPOSITE DIRECTION BETWEEN 1/F AND 2/F. CREATE (N) FIRE RATED WALL BETWEEN NEW CORRIDOR & COMPACT CAR GARAGE.
2019.0125.1296	issued	3/6/2019	COMPLY WITH COMPLAINT 201877062; ADD 1 FAMILY RM & RELOCATE THE (E) STAIRCASE ON GRAGAGE FL. PER PLAN, ADD 1 MASTER BEDROOM, MASTER BATHROOM, 1 LAUNDRY ROOM, RELOCATE (E) KITCHEN ON 2ND FL: PER PLAN, ADD 2 (N) BATHROOM, 1 BEDROOM, RELOCATE (E) KITCHEN & STAIRCASE, ADD 1 NEW SKYLIGHT
			What was the framing correction required in the September 10,2019 district inspection? This was the last inspection.
2018.0731.6048	issued	7/31/2018	RE-DRY WALL REPLACEMENT IN KIND MAINTAIN 1-HR FIRE RATING AT PROPERTY LINE WHERE APPLIANCES. RE-DRY WALL THE UNIT 400 SQFT LIVING ROOM, 100 SQFT BATH ROOM AND 200 SQFT KITCHEN.
2018.0621.2534	issued	6/21/2018	Remodel one kitchen and one bathroom on second floor.

Exhibit 3 emails from Joe Duffy and Scott Sanchez

From: "Duffy, Joseph (DBI)" <joseph.duffy@sfgov.org>
Date: July 21, 2021 at 11:02:36 PM PDT
To: "Sanchez, Scott (CPC)" <scott.sanchez@sfgov.org>
Cc: dratlerj@gmail.com, "O'Riordan, Patrick (DBI)" <patrick.oriordan@sfgov.org>, "McHugh, Kevin (DBI)" <kevin.mchugh@sfgov.org>
Subject: Re: email to planning and dbi on permit 201911076710 v2.0.pdf

Dear Mr Dratler

Thank you as well for your email and I will work with Senior Building Inspector Kevin Mc Hugh to look into your concerns. And similar to Mr Sanchez comments it will take some time to look into this and if you have the option of an appeal you may want to move ahead.

I personally am not familiar with the project

Thank you

Joe Duffy

Sent from my iPhone

On Jul 21, 2021, at 10:07 PM, Sanchez, Scott (CPC) <scott.sanchez@sfgov.org> wrote:

Dear Mr. Dratler,

Thank you for the email. I will refer your complaint to our enforcement team for review; however, this will take some time for our staff to review (we don't have an existing enforcement case for this property). if you have specific concerns related to this permit you may still want to file an appeal to preserve your rights.

Regards,

Scott F. Sanchez
Deputy Zoning Administrator

San Francisco Planning

PLEASE NOTE MY NEW ADDRESS AND PHONE NUMBER AS OF AUGUST 17:

49 South Van Ness Avenue, Suite 1400, San Francisco, CA 94103

Direct: 628.652.7384 | www.sfplanning.org

[San Francisco Property Information Map](#)

IN ORDER FOR US TO MOVE, OUR OFFICE WILL BE CLOSED WITH NO ACCESS TO PHONES OR E-MAIL ON THURSDAY, AUGUST 13 and FRIDAY, AUGUST 14. WE APPRECIATE YOUR PATIENCE.

Due to COVID-19, San Francisco Planning is not providing any in-person services, but we are operating remotely. Our staff are available by e-mail, and the Planning and Historic Preservation Commissions are convening remotely. The public is encouraged to participate. Find more information on our services here.

Exhibit 4



From: Jerry Dratler
dratlerj@gmail.com

Subject: Re: unpermitted demolition and expansion of third floor penthouse at 1550 and 1552 Lake Street

Date: September 27, 2019 at
4:14 PM

To: McHugh, Kevin (DBI) kevin.mchugh@sfgov.org

Cc: Sweeney, Edward (DBI) edward.sweeney@sfgov.org, **Chan, Michael (DBI)** michael.y.chan@sfgov.org, **O'Riordan, Patrick (DBI)**
patrick.oriordan@sfgov.org
v.org

Thank
you. Jerry
Dratler

Sent from my
iPad

On Sep 27, 2019, at 12:30 PM, McHugh, Kevin (DBI)

<kevin.mchugh@sfgov.org> wrote: Mr Dratler,

Mr Slattery from the DOE will be contacting you shortly with information concerning the DDRP and the Contractor who did the hauling.

Kevin McHugh
Senior Building Inspector
1660 Mission Street, 3rd floor
San Francisco, CA 94103
415 575 6830

On Sep 16, 2019, at 5:17 PM, Jerry Dratler <dratlerj@gmail.com> wrote:

Thank you for promptly addressing the problem. I would not have bothered you if the violations were trivial and the property owner learned from my first complaint.

Jerry Dratler

On Sep 16, 2019, at 4:26 PM, McHugh, Kevin (DBI)

<kevin.mchugh@sfgov.org> wrote: Mr Dratler,

Thank you for your email and photos concerning the construction at 1550/52 Lake Street.

I visited the site today and found that construction had exceeded the scope of what was permitted, so an NOV, with stop work notice was issued.

The violations included, exceeding the scope of the interior demo calcs on all floors, construction of a new roof line adjacent to the 4th floor sun room, filling in a lightwell on east side, exterior changes to the North wall facade, removal of 2 existing chimneys and interior layout changes, not consistent with what was approved.

I'm perplexed as to where the 619 foot addition may be as I did not notice any expansion on the ground (1st) or 2nd floors or any expansion of the sun room.

Structural plans associated with 201901251296 are included with the architectural set and no structural deficiencies that would be considered hazardous were noted.

The property owner will be required to submit revisions with City planning approval and the building is to be secured in the interim.

I have a call into MR Slattery at DOE concerning the DDRP and will keep you appraised when I get further information.

Kevin McHugh
Senior Building Inspector
1660 Mission Street, 3rd floor
San Francisco, CA 94103
415 575 6830

On Sep 13, 2019, at 1:12 PM, O'Riordan, Patrick (DBI)

<patrick.oriordan@sfgov.org> wrote: Hi Kevin,

Please review the attached letter and photos. Please conduct a site visit, review drawings, site conditions and verify compliance with the approved permit documents along with the requirements of the Building Code. Additionally, make sure that the complaints on file are appropriately updated.

Please respond to Mr. Dratler by the end of next

week with your findings and actions. Thanks,

Patrick O'Riordan
Chief Building Inspector
Department of Building Inspection

Department of Building Inspection
1660 Mission
Street, 3rd floor
San Francisco,
CA 94103
patrick.oriordan@
sfgov.org

From: dratler@sonic.net
<dratler@sonic.net> Sent:

Friday, September 13,
2019 8:19 AM

To: O'Riordan, Patrick (DBI) <patrick.oriordan@sfgov.org>; McHugh, Kevin
(DBI) <kevin.mchugh@sfgov.org>; Chan, Michael
(DBI) <michael.y.chan@sfgov.org>

Cc: Kirby, Alexandra (CPC) <alexandra.kirby@sfgov.org>; Gordon-
Jonckheer, Elizabeth (CPC) <elizabeth.gordon-
jonckheer@sfgov.org>; Jimenez, Sylvia (CPC)
<sylvia.jimenez@sfgov.org>

Subject: unpermitted demolition and expansion of third floor penthouse at
1550 and 1552 Lake Street

This message is from outside the City email system. Do not open
links or attachments from untrusted sources. Please see attached
memo.

Jerry Dratler

<Unpermitted expansion of third floor penthouse at 1550 and 1552 Lake
Street.pdf>

Exhibit 5 North wall windows removed without permit



North wall former first floor kitchen window



Three former North wall windows west of the former kitchen window



North wall ground floor window removed and opening expanded to doorway

Exhibit 6 unit down information 1550-1552 Lake Street



A notice was added to this record on 01/25/2019.

Condition: Poss UDU (3rd unit) in bsmt Severity: Notice

Total Conditions: 1 (Notice: 1)

For Documents:

1. Select the record of interest *
2. Click Record Info
3. Select Attachments

* To list project records, click on Record Info and select Related Records.

Documents available online do not represent the full administrative record. To review the complete file for active records, please contact the assigned planner. To review closed records, please request the record via email at CPC-RecordRequest@sfgov.org.

Conditions

Showing 1-1 of 1

Default - 1 Applied

Permit

Poss UDU (3rd unit) in bsmt

Poss UDU in basement - 3rd unit? Full bath and bedroom shown on existing plans next to garage. Total lack of visual connection along with direct access. No OTC permit for rooms down until UDU screening completed.

Applied | Notice | 01/25/2019

There is no existing full bath and bedroom. If they are represented as existing conditions the licensed professional prepared false plans.

Exhibit 7 ground floor existing bedroom and full bath with former North wall window



To: Mr. O’Riordan, Mr. McHugh, Mr. Chan

CC: Ms. Alexander, Ms. Gordon- Joncheer, Ms. Jimenez

From: Jerry Dratler

Date September 12, 2019

Subject : Unpermitted demolition and expansion of the third-floor penthouse at 1550/1552 Lake Street, lot 1342/012

- I first raised the issue of unpermitted work at 1550/1552 Lake Street when I filed a complaint and sent inspector Chan an email on July 28,2018 after I observed the property owner’s contractor removing the interior load bearing walls for the first-floor unit while the second floor was occupied by Rob Duffy, his wife and nine year old daughter. They have been great neighbors for the last ten years.
- A permit summary is below. As you can see from the permit’s scope of work this is case of serial permitting.

Summary of building permits 1550/1552 Lake Street				
Permit #	date issued	status	cost	description of work
201806212534	June 21,2018	issued	\$15,000	remodel one kitchen, bath second floor
201807316048	July 31,2018	issued	\$8,000	re- dry wall replacement in kind maintain 1 hour rating at property line were appliances, re-dry wall the unit 400 sq. ft. living room, 100 square ft. bathroom and 200 sq. ft. kitchen.
201901251296	March 06,2019	issued	\$120,000	comply with complaint 201877062, add 1 family room, & relocate the garage staircase on garage floor, add 1 master bedroom 1 laundry room, relocate kitchen on 2nd floor, add two new bathrooms, 1 bedroom , relocate kitchen and staircase and add 1 new skylight.
201907307352	March 30,2019	filed	\$5,000	rev to Pa 201901251296 to flip staircase in opposite direction between 1st and 2nd floor. Create new corridor fire rated wall between new corridor and compact car garage.

- The property owner has started an unpermitted demolition and expansion of the third-floor penthouse at 1550/1552 Lake Street.

Roof re-framing work was started on the third floor as per the attached picture.

- The current contractor has done an extensive structural upgrade of the in the north garage and first floor but has done little work in the south garage. The work is to support a major expansion of the third floor.
- The attached pictures show the house is being supported by a temporary structure while the timbers and footings supporting the North half of the house are being replaced.
- This is the second unpermitted expansion by the current property owner. If filed a complaint when the property owner hired an unlicensed contractor who attempted to expand the rear second floor (picture attached) of the home in the existing rear stairway without a permit.
- The architectural plans submitted with the Mach 06,2019 permit (the permit filed in response to my complaint) include a table which shows that 75.75% of the penthouse is being demolished. No proposed plans for the 3rd floor or penthouse were submitted with the building permit.
- The plans disclose 619 square foot of additional conditioned space.
 - There is no square foot table in the building plans that show the existing and new square feet by floor that would allow us to determine the proposed expansion of the penthouse and where the 619 sq. ft. is being added.

Concerns:

1. Neighbors did not receive notice regarding the proposed 619 square foot addition to 1550 and 1552 Lake Street.

2. The property owner did not file a Historic Resource Evaluation report as required by CEQA prior to altering the exterior a building constructed over 100 years ago.

3. The depiction of the existing first floor in the architectural plans submitted is inaccurate. The existing depiction fails to show the two bedrooms in the front of the house (the Lake Street side of the house). The drawing depicts a massive family room that does not exist.

4. A demolition debris plan was not filed with the S.F. Department of Building Inspection for the removal of three truckloads of interior building debris. The property owner used an unlicensed debris hauler, Reyes Pena's Hauling 415-635-9064. Ca #334867.
 - a. Reyes or Pena are not on the S. F. listing of approved debris haulers as of May 03,2019. DBI should contact the firm and request trip logs or tickets to confirm that debris loads were delivered to an approved recycling location.

2. The penthouse or 3rd floor does not have a fire escape today and I did not see a fire escape in the architectural plans submitted.

Demolition of load bearing members from the first floor



Unpermitted rearward (east) expansion of the first floor



Bracing the first floor when footings were poured for existing timbers

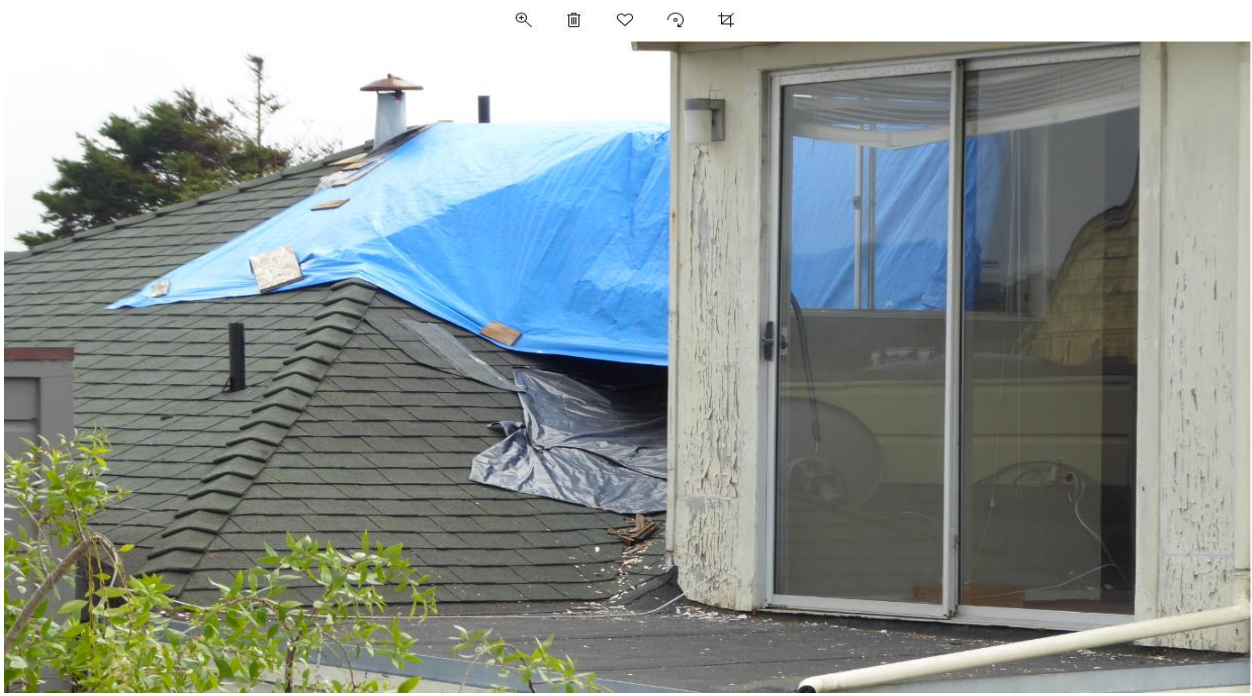


The penthouse ties into the architecture of the entire structure

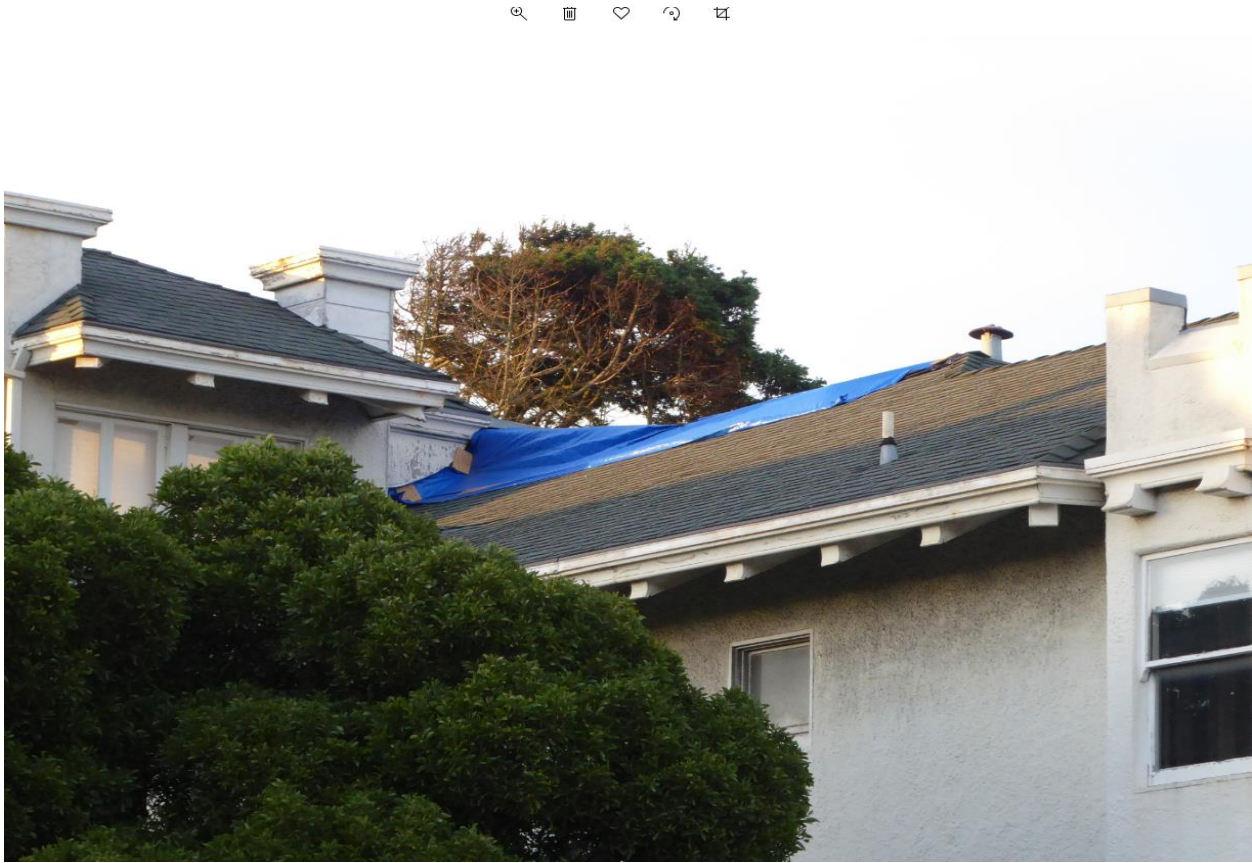


Close up of the penthouse note blue tarp covering framing.





🔍 🗑️ ❤️ ↻ 📏



🔍 🗑️ ❤️ ↻ 📏

Note framing under the blue tarp.



One of three loads of dirt hauled by approved hauler.



To: Patrick O'Riordan

CC: Joe Duffy, Scott Sanchez

From: Jerry Dratler

Subject: Building permit 2019.1107.6710, 1550 -1552 Lake Street issued 7/15/2021.

Date; July 19, 2021

The duplex at 1550-1552 Lake Street, adjacent to my property, was in poor condition when the current owner acquired it in March of 2018. The current owner has allowed the property to decline further, and the property is a blight on the neighborhood. I would like the work on this project to proceed quickly, safely and for the work to be fully building and planning code compliant.

A vacant building complaint was filed (not by me) in February of 2020 against 1550 Lake Street and nine months later DBI inspected the building and registered the building as a vacant building. Police were called (not by me) when squatters attempted to break into the first-floor unit and occupy the building.

The current property owner's amateurish unpermitted remodel work over the last three years needs to end. This will only happen if DBI revokes the 3 outstanding building permits including permit 2019.1107.6710 issued on July 15, 2021 and requires the project sponsor to secure a new master building permit to address the illegal interior demolition, unpermitted window removals and current site conditions resulting from unpermitted work. A summary of the building permits is attached.

Most of the unpermitted work summarized below is in the attached September 12, 2019, email I sent you, planning staff and the district inspection team. The September 12, 2019, email has pictures that document specific code violations.

I reviewed earlier building plans on May 03, 2019, at DBI. The plans included residential demo calculations where the project sponsor said he would remove 75.75% of the sunroom, 25.5% of the 2nd floor, 23.59% of the first floor and 24.56% of the ground floor.



In Sr. Inspector McHugh's email below, he states the project sponsor exceeded the scope of the interior demo calculations on all floors, filled in a lightwell on the east side and made exterior changes to the North wall facade. The exterior changes on the North wall include the removal of four exterior windows. The 1st floor kitchen window, two additional rear 1st floor windows and expansion of the ground floor window on the North wall into an entrance. Pictures of the new North wall window openings are at the end of this document.

I believe the new north wall ground floor entrance was added to support the project sponsor's application for a 3rd unit on the ground floor. Attached are comments from the Planning department PIM system that show the project sponsor has submitted plans that falsely claim there is an existing full bath and bedroom on the ground floor. The project sponsors over the

counter application for the third unit was declined pending a Planning Department units down screening.

*On Sep 16, 2019, at 4:26 PM, McHugh, Kevin (DBI)
<kevin.mchugh@sfgov.org> wrote:*

Mr. Dratler,

Thank you for your email and photos concerning the construction at 1550/52 Lake Street.

I visited the site today and found that construction had exceeded the scope of what was permitted, so an NOV, with stop work notice was issued.

The violations included, exceeding the scope of the interior demo calcs on all floors, construction of a new roof line adjacent to the 4th floor sunroom, filling in a lightwell on east side, exterior changes to the North wall facade, removal of 2 existing chimneys and interior layout changes, not consistent with what was approved.

I'm perplexed as to where the 619 foot addition may be as I did not notice any expansion on the ground (1st) or 2nd floors or any expansion of the sunroom.

Structural plans associated with 201901251296 are included with the architectural set and no structural deficiencies that would be considered hazardous were noted.

The property owner will be required to submit revisions with City planning approval and the building is to be secured in the interim.

I have a call into MR Slattery at DOE concerning the DDRP and will keep you apprised when I get further information.

*Kevin McHugh
Senior Building Inspector
1660 Mission Street, 3rd floor
San Francisco, CA 94103
415 575 6830*

If DBI does not revoke the 3 existing building permits and require a new master building permit, my only option is to file an appeal with the Board of Appeals.

I have included below 6 problems with the July 2021 building permit along with 11 valid reasons supporting my recommendation that a new master permit should be issued, and the three existing building permits revoked.

Problems with the building permit 2019.1107.6710 that was issued on July 15, 2021.

- 1) The cost of work on the building permit that was submitted by the project sponsor was \$8,000. DBI raised the cost to \$157,000. Understating the project cost by 95% on the building permit demonstrates the project sponsor's continuing disregard for the rules.
- 2) Three stories are listed on the permit with zero basements or cellars. However, the permit scope of work includes revising the roofing framing to the 4th floor. How can the building permit include work on the 4th floor when the project sponsor submitted a building permit which claims there are 3 stories and no basement?
- 3) There never was a master bathroom at 1550-1552 Lake. The permit scope of work includes reconfiguring the nonexistent master bathroom. This is the same master bathroom the project sponsor plans to add in permit 2019.0125.1296. This permit should be revoked and replaced with a comprehensive master permit.
- 4) The bathroom on the first floor can't be relocated because it was removed without a permit.
- 5) The permit scope of work includes filling in the existing lightwell. Inspector McHugh's email states the lightwell was filled in 2018 without a building permit and never inspected.
- 6) The scope of work does not address the four windows at the rear wall of the building that were removed without permit. The four new window openings are shown on the last page of this memo. A new master permit should address the unpermitted window removals.

Existing conditions that need to be addressed in the new master permit.

- 1) In July of 2018, the project sponsor removed all the interior lath and plaster, studs, and headers on the ground floor, first floor and second floor without a building permit. It appears that unpermitted new framing was installed that requires inspection. The unpermitted reframing of the two kitchens should have been added to the permit that was issued on July 15, 2021. The demolition and reframing that occurred in 2018 was outside the scope of work in the only open building permit below. This building permit remains open and should be revoked.

Application Number:	201807316048
Form Number:	8
Address(es):	1342/012 /0 1552 LAKE ST
Description:	RE-DRY WALL REPLACEMENT IN KIND MAINTAIN 1-HR FIRE RATING AT PROPERTY LINE <u>WHERE</u> APPLIANCES. RE-DRY WALL THE UNIT 400 SQFT LIVING ROOM, 100 SQFT <u>BATH ROOM</u> AND 200 SQFT KITCHEN.
Cost:	\$8,000.00
Occupancy Code:	R-3
Building Use:	28 - 2 FAMILY DWELLING

The Planning Department approved building permit 2019.1107.6710 with the condition the interior revision retain more than 25% of the existing interior walls. In Sr. Inspector McHugh's 9/16/2019 email (above) he confirms all the interior existing walls have been removed without permit. The project sponsor would need to rebuild more than 25% of the interior walls that existed to be in code compliance. Rebuilding the walls is not in the permit scope of work.

Building permit 2018.0731.6408 to re-dry wall in kind should be revoked because the project sponsor removed all the interior studs. Nothing remains to attach the drywall to.

- 2) Some of the wall studs that were removed in July of 2018 had nob and tube wiring attached to the studs. Existing electrical permits expired two months ago, and rewiring work started but was not completed.

You selected:

Address: 1550 LAKE ST

Block/Lot: 1342 / 012

Please select among the following links, the type of permit for which to view address information:

[Electrical Permits](#) [Plumbing Permits](#) [Building Permits](#) [Complaints](#)

(Electrical permits matching the selected address.)

Permit #	Block	Lot	Street #	Street Name	Unit	Current Stage	Stage Date
E201903069629	1342	012	1550	LAKE ST		EXPIRED	5/28/2021

- 3) In July of 2018, the contractor was observed pushing a 20 foot section of engineered lumber through a first floor window. It appears the contractor was making structural changes to the interior space without a building permit or approved plans for the structural work. Should the unpermitted structural work be inspected before construction is allowed to resume?

- 4) In April of 2019, the contractor was observed installing new footings without a permit. I filed a complaint because painting contractor Rob Duffy, his wife and nine-year-old daughter were living in the upper unit with the 4th floor sunroom, and I was concerned for their safety. Rob and his family lived in the top unit for eight years, and they are a lovely family and were wonderful neighbors. Rob would be available to discuss the existing condition of the building the project sponsor purchased in 2018.

The picture on page 7 shows different floor heights for the north and south garages on the ground floor, the unpermitted construction of a new stairway in the front unit (south garage) and how the contractor installed inadequate temporary support beams to support the three floors in the north garage while he installed new footings. This building has two full floors and the sunroom over the north garage. The unpermitted new stairway on the right side of the picture below relates to permit 2019.0730.7352 which was filed on July 30, 2019, and withdrawn on February 4, 2021.

DBI issued a NOV on September 13, 2019. Have the unpermitted footings been inspected? You can see from the picture below the contractor mixed the mortar for the footings. Were concrete core samples sent to a testing lab? Was the placement of the rebar inspected before the footings were poured?



5) In August of 2019, the project sponsor replaced a broken sewer line without a permit. Sewer work was outside the scope of the three existing plumbing permits all of which expired. The new sewer line has never been inspected and the building permit that was issued on July 15, 2021, scope of work includes relocating a bathroom, reconfiguring a nonexistent master bathroom, and a new powder room. This building permit should not have been approved without requiring the project

sponsor to secure the necessary plumbing permits for the bathroom work.

(Plumbing permits matching the selected address.)

Permit #	Block	Lot	Street #	Street Name	Unit	Current Stage	Stage Date
PM20190306713	1342	012	1550	LAKE ST		EXPIRED	5/8/2020
PP20190306712	1342	012	1550	LAKE ST		EXPIRED	5/8/2020
PP20180726478	1342	012	1552	LAKE ST		EXPIRED	7/22/2019

- 6) The workers who removed all the interior studs and headers on the ground floor, 1st and 2nd floors of 1550-1552 Lake Street used sledgehammers to remove the lath and plaster. The blows from the sledgehammers loosened the exterior stucco which is now falling from the building.

In April of 2019, a complaint was filed (not by me) for stucco falling off the building. District Inspector Chan issued a correction notice requiring the project sponsor to obtain a building permit for stucco repair. Two years have passed, and the project sponsor has not obtained a stucco repair building permit. A stucco repair permit should be included in the new master building permit.

- 7) The project sponsor removed 1st floor rear kitchen windows without a building permit. Please see the attached picture. There is no kitchen work in the building permit 2019.1107.6710 scope of work. The project sponsor has to construct a new kitchen to replace the kitchen he removed without a building permit. This work should be in the new master permit along with replacing the 2nd floor kitchen.
- 8) The project sponsor removed two first floor windows on the north wall of the first floor without a building permit. The removed windows are visible from the street. If new windows are approved by the Planning Department the new first floor north wall windows should be included in the new master building permit.

- 9) The project sponsor removed a north wall ground floor window and expanded the window opening to be a ground floor North wall entrance. If the new ground floor entrance is permitted after the UDU screening the new entrance should be included in the new master building permit.
- 10) The project sponsor was observed reframing the 4th floor sunroom without a building permit. Mr. McHugh's email refers to the unpermitted reframing of the roof line adjacent to the 4th floor sunroom. This work is visible from the street, if this work is planning code compliant it should be included in the new master building permit.
- 11) Complaints were filed (not by me) for broken windows and falling glass from the broken windows at the front of the house. The new master building permit should include window repair and replacement not mentioned in items 7,8 and 9.

Four illegal window removals on the North wall of 1550-1552 Lake Street.



Illegal window removal in former 1st floor kitchen, no permit.



illegal window removals, ground floor window converted to exterior doorway for 3rd unit, two 1st floor windows removed

Attached documents.

1. Planning Department notice for possible UDU(3rd unit).
2. Building permit summary
3. Original copy of permit 2019.1107.6710
4. My September 13, 2019, 11-page email sent to DBI and Planning Department.

For Documents:

1. Select the record of interest *
2. Click Record Info
3. Select Attachments

* To list project records, click on Record Info and select Related Records.

Documents available online do not represent the full administrative record. To review the complete file for active records, please contact the assigned planner. To review closed records, please request the record via email at CPC-RecordRequest@sfgov.org.

Conditions

Showing 1-1 of 1

Default - 1 Applied

Permit

Poss UDU (3rd unit) in bsmt

Poss UDU in basement - 3rd unit? Full bath and bedroom shown on existing plans next to garage. Total lack of visual connection along with direct access. No OTC permit for rooms down until UDU screening completed.

Applied | Notice | 01/25/2019

There was no existing full bath and bedroom. If they are represented as existing conditions the licensed professional prepared false plans.

<u>permit #</u>	<u>Scope of work</u>	<u>status</u>	<u>date issued</u>	<u>cost</u>
2019.1107.6710	COMPLY WITH NOV #201984482, INFILL (E) LIGHTWELL AREA AT 2ND FL & 3RD FL, REVISE ROOF FRAMING ONLY AT STAIRWAY TO 4TH FL , RELOCATE BATHROOM ON 1ST F, ADD (N) GYM ROOM, RECONFIGURE MASTER BATHROOM & CLOSET , ADD ONE NEW POWDER ROOM ON 2ND FL, REMOVE PROPOSED SKYLIGHT ON ROOF PLAN. REF PA#201901251296	issued	7/13/2021	\$157,000
2019.0730.7352	REV TO PA201901251296: TO FLIP (E) STAIRCASE INTO THE OPPOSITE DIRECTION BETWEEN 1/F AND 2/F. CREATE (N) FIRE RATED WALL BETWEEN NEW CORRIDOR & COMPACT CAR GARAGE.	withdrawn	2/24/2021	\$5,000
2019.0125.1296	COMPLY WITH COMPLAINT 201877062; ADD 1 FAMILY RM & RELOCATE THE (E) STAIRCASE ON GRAGAGE FL. PER PLAN, ADD 1 MASTER BEDROOM, MASTER BATHROOM , 1 LAUNDRY ROOM, RELOCATE (E) KITCHEN ON 2ND FL: PER PLAN, ADD 2 (N) BATHROOM, 1 BEDROOM, RELOCATE (E) KITCHEN & STAIRCASE , ADD 1 NEW SKYLIGHT	issued	3/26/2019	\$120,000
2018.0731.6048	RE-DRY WALL REPLACEMENT IN KIND MAINTAIN 1-HR FIRE RATING AT PROPERTY LINE WHERE APPLIANCES. RE-DRY WALL THE UNIT 400 SQFT LIVING ROOM, 100 SQFT BATH ROOM AND 200 SQFT KITCHEN.	issued	7/31/2018	\$8,000

DBI raised the permit cost from \$8,000 to \$157,000.

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 JUL 13 2021

Capacity Charges
 Water: 18
 Wastewater: 30
 TOTAL: 48
 07/07/2021

APPROVED FOR ASSURANCE

BLDG FORM 318
 APPLICATION NUMBER: 2019-1107-67
 APPROVAL NUMBER: []

APPROVAL REQUIRED []

APPLICATION FOR BUILDING PERMIT
 ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 OTHER AGENCIES REVIEW REQUIRED
 FORM 8 OVER-THE-COUNTER ISSUANCE

NUMBER OF PLAN SETS: 2
 DO NOT WRITE ABOVE THIS LINE

DATE FILED: MAY 1 2021	FOUR PER RECEIPT NO: 2001376	CONTRACT ADDRESS OF JOB: 1550-1552 Lake St	BLDG #/JOB: RA2/012
PERMIT NO: 2019-1107-67	ISSUE DATE: 7/15/21	PERMITTED COST: \$3000	PERMITTED FEE: \$157,000

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(1) TYPE OF CONSTR: 5	(2) NO. OF STORIES OF OCCUPANCY: 3	(3) NO. OF BATHROOMS AND CELLARS: 2	(4) PRESENT USE: 2 Unit	(5) BLDG CLASS: R3	(6) NO. OF UNITS: 2
-----------------------	------------------------------------	-------------------------------------	-------------------------	--------------------	---------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(1) TYPE OF CONSTR: 5	(2) NO. OF STORIES OF OCCUPANCY: 3	(3) NO. OF BATHROOMS AND CELLARS: 2	(4) PROPOSED USE (LEGAL USE): 2 Unit	(5) BLDG CLASS: R3	(6) NO. OF UNITS: 2
-----------------------	------------------------------------	-------------------------------------	--------------------------------------	--------------------	---------------------

(7) WILL STREET SPACE BE USED FOR OTHER PURPOSES? YES NO

(8) WILL ELECTRICAL WORK TO BE PERFORMED? YES NO

(9) WILL PLUMBING WORK TO BE PERFORMED? YES NO

(10) SPECIAL CONTRACTOR: TBD

(11) OWNER - LESSOR (CROSS OUT ONE): Fai Hong ADDRESS: 1552 Lake St

(12) WORK TO BE PERFORMED UNDER THIS APPLICATION (CHECK ONE IF NOT APPLICABLE):
 Comply with NDI #2019-0498, install accessibility features on 2nd floor and 3rd floor, finish roof framing, install stairway to 4th floor @ Calacatta bathroom on 4th floor, Add W.C. From RA @ Reconfigure M. Bathroom & Closet, Add CE and Dryer RA on 2nd floor, Remove Porch Skylight on Roof Plan.
 REF: RA # 2019-0730

ADDITIONAL INFORMATION

(13) DOES THIS ALTERNATE OPERATE ADDITIONAL WORK OR OTHER TO EXISTING? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(14) IF (13) IS YES, STATE NEW PERMIT OR GENERAL LAW OF PROJECT: 012345	(15) DOES THIS ALTERATION CHANGE BACK OR ADD EXTENSION TO EXISTING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(16) IF (15) IS YES, STATE HOW CHANGED: FLOOR AREA
(17) WILL GENERAL OVER-SUBMITTAL SPACE BE PROVIDED OR ALLEGED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) WILL REQUIRE EXISTING RECORDS? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(19) IS ANY EXISTING BLDG OR LOT OF YES, SHOW IN PLAN? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(21) ARCHITECT OR ENGINEER (OR CONTRACTOR): Peter Chan ADDRESS: 3624 Grand #203 SE CA 94116

(22) CONTRACTOR LICENSE NO. OR NAME AND LICENSE INFORMATION IF ANY. IF NONE IS NO KNOWN CONTRACTOR LICENSE, ENTER "UNKNOWN"

IMPORTANT NOTICES

No change shall be made to the structure or use without first obtaining a Building Permit. Alterations shall comply with the San Francisco Building Code and San Francisco Building Dept.

No portion of building or structure or existing load during construction is to be more than 50% of any one existing load. See San Francisco Building Code, Section 101.0, Existing Load Code.

Permit to Use Provisions Building Code. The building permit shall be correct on the job. The owner is responsible for approved plans and copies for building dept at building site.

Draws three or more drawings, owner paying this application fee equivalent to fee. If actual plans are not the same as shown, permit drawings showing general grade lines, site and file, and complete details of building work and attachments must be submitted to file department for approval.

ANY REGULATIONS SPECIFIED BY THE CITY OR COUNTY SHALL BE APPLICABLE.

BEFORE NOT TO BE OCCUPYED UNTIL APPROVED BY FINAL INSPECTION IS PROVIDED ON THE BUILDING OR PERMIT BY INSPECTOR GENERAL, WHEN PROVIDED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL SERVICE OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE PERIOD AND PROVISIONS MUST BE OBTAINED. SERVICES PROVIDED AND REQUIRED IF APPLICABLE IS "YES" TO ANY OF ABOVE CATEGORIES (14) (17) (18) (19) (20) OR (21).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

IN ADDITION, ALL BUILDING MATERIALS MUST BE A MINIMUM OF TWO DAYS BEFORE USE FROM ALL SOURCES WITH A RECEIPT.

OWNER APPROVALS ONLY:
 OWNER ARCHITECT
 ENGINEER CONTRACTOR SIGNATURE

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED BY THIS APPLICATION, ALL THE PROVISIONS OF THE PERMITS AND ALL LAWS AND ORDINANCES THEREOF SHALL BE COMPLIED WITH.

NOV 05/21

NOTICE TO APPLICANT

FIELD INSPECTOR CLASS. The provisions of subsection (a) of the permit, approved by authority and not having the City and County of San Francisco form and applied any use of such, consistent and uniform for design, including any questions under this permit, regardless of jurisdiction of the City and County of San Francisco, and to receive the address of the City and County of San Francisco signed of each person, domestic or alien.

In accordance with the provisions of Section 1000 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (1) or (2) described below, or shall include items (3), (4), or (5), whichever is applicable. If however item (5) is checked, item (4) shall be checked as well. Mark for appropriate method of compliance below.

1. Verify either under penalty of perjury one of the following descriptions:


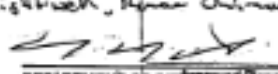




- I have and will maintain a certificate of insurance to well insure the worker's compensation, as provided by Section 1000 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by Section 1000 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance number is: _____
- The cost of the work to be done is \$100 or less.
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner as an employee subject to the worker's compensation laws of California. I further acknowledge that I understand that if the cost of the work is more than \$100, I should become subject to the worker's compensation provisions of the Labor Code of California and that to comply therewith with the provisions of Section 1000 of the Labor Code, that the permit fee shall apply for which the permit is issued.

I certify on the cover for this permit for the work for which this permit is issued, I shall not employ any person in any manner as an employee subject to the worker's compensation laws of California. I further acknowledge that I understand that if the cost of the work is more than \$100, I should become subject to the worker's compensation provisions of the Labor Code of California and that to comply therewith with the provisions of Section 1000 of the Labor Code, that the permit fee shall apply for which the permit is issued.

Signature of Applicant: Peter Chan 4.05.19

OFFICE COPY

Planning department requirement to retain more than 25% of existing walls.

CONDITIONS AND STIPULATIONS		DATE: NOV. 07 2019
REFER TO:	APPROVED:  James Lo, DBI NOV 07 2019 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	REASON: S. HAJNAL OK TO PROCEED
<input type="checkbox"/>	APPROVED:  Cumulative retaining more than 25% existing walls. Bulk units, needs new 702-1-Cor, Party P... S.S. 2-1 1-14-21 DEPARTMENT OF CITY PLANNING & DEVELOPMENT	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: _____ BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:  Peter Lo, DBI JUN 07 2021 MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:  James Lo, DBI NOV 07 2019 CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: NO ALTERATION TO OR RE CONSTRUCTION OF CITY RIGHT-OF-WAY & NO UTILITIES "MARKED" By  6/11/21 SFPWBSM BUREAU OF ENGINEERING	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: _____ DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input checked="" type="checkbox"/>	APPROVED:  SFPUC Gravel Invision 07/07/2021 SFPUC - DEVELOPMENT AGENCY	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: _____ HOUSING INSPECTION DIVISION	NOTIFIED MR. _____ DATE: _____ REASON: _____

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

REUBEN, JUNIUS & ROSE, LLP

September 16, 2021

President Darryl Honda
San Francisco Board of Appeals
49 South Van Ness Avenue, Suite 1475 (14th Floor)
San Francisco, CA 94103

**Re: Appeal No.: 21-068
Dratler vs. DBI, PDA
Subject Property: 1550-1552 Lake Street
Permit Type: Alteration Permit
Permit No.: 2019/1107/6710
Permit Holder's Brief**

Dear President Honda and Members of the Board:

This office is working with Hang Chan who, along with his father Fu Chan, owns the property located at 1550-1552 Lake Street (the “Property”). Fu Chan is holder of the permit (“Permit Holder”) at issue in this appeal, Building Permit Application (“BPA”) No. 2019/1107/6710 (the “Permit”; see Exhibit A). The Permit authorizes a renovation of the two dwelling units at the Property (the “Project”). Hang Chan intends to live in one unit and rent the second unit.

Brief Background

The appellant calls the Chans “amateurish” (Appellant’s Brief at p. 2). Another perspective of the Chans would be of hard-working Chinese immigrants (Fu was born in Guangzhou and speaks little English; Hang was born in Hong Kong) taking on a small development project in a very complicated regulatory environment, learning as they go, with access to little capital other than their own ingenuity and perseverance. Theirs is like many immigrant stories well-known to this community. Even hiring an attorney for this appeal was a big stretch.

San Francisco Office
One Bush Street, Suite 600, San Francisco, CA 94104
tel: 415-567-9000 | fax: 415-399-9480

Oakland Office
492 9th Street, Suite 200, Oakland, CA 94607
tel: 510-527-5589

www.reubenlaw.com

The Project's permit history is part of what appellant considers "amateurish". Yes, there are four relevant permits, but each has a rationale and justification. The first permit, BPA No. 201806212534, sought only to renovate the kitchen and bathroom on the second floor because Mr. Chan hoped to start work on the renovation project while living in the other unit. One person's "amateurish" is another's hustle.

The appellant seeks to paint Hang Chan as a bad actor by claiming Mr. Chan "understat[ed] the project cost by 95%" on the Project's building permit (Appellant's Brief at p. 3.). But the appellant is wrong about that building permit and Mr. Chan. The \$8,000 project cost was not for the entire Project but rather a building permit that sought only to replace the dry wall in three rooms (BPA No. 201807316048). This was a reasonable cost for the proposed work and the permit was issued properly.

We acknowledge that Mr. Chan has made some mistakes in the construction of the Project and in the permitting process. But we submit that these mistakes were reasonable and minor in nature and Mr. Chan has been very responsive in addressing any concerns City staff has raised. Many of the mistakes were made by Mr. Chan's contractor, who Mr. Chan has since replaced. In gaining approval of the Permit, Mr. Chan comprehensively addressed and resolved any and all potential and/or actual code violations in coordination with City staff.

The Permit Achieves Exactly What the Appellant Seeks in his Appeal

Nothing in the appellant's brief raises any concern that the Permit was not properly issued. In fact, the Permit achieves exactly what the appellant claims is his objective in his appeal. The Permit: (1) legalizes any work that was done without a permit; and (2) organizes in one

comprehensive permit said legalization work and all previously approved but not yet performed work from earlier permits.

For example, the appellant complains that the work affecting the kitchens and windows should be made part of a new comprehensive permit. (Appellant's Brief at pp. 7-8.) But that work was approved by BPA No. 201901251296, which is incorporated by the Permit.

Some of the appellant's "concerns" are outright fabrications. He states that he filed a complaint in April 2019 because he was concerned about the safety of the prior tenants living there (Appellant's Brief at p. 5). But they moved out in November 2018.

In some cases, the Appellant argues that a new permit is required because Planning review is required, but Planning reviewed the Permit. (See Exhibit B, Permit Tracking System Summary.) The Appellant complains about sewer and plumbing work, but that work was permitted and inspected.

The appellant complains about the amount of demolition, but Planning Department staff has reviewed the demolition carefully and determined that it falls within code limits.

Again, the appellant simply does not show in any way how the Permit was not properly issued.

Conclusion

The appellant states that he "would like the renovation work on this project to proceed quickly, safely and to be fully building and planning code compliant. It is a shame that an elegant corner duplex on what is now a pedestrian street, has been reduced to its current blighted condition." (Appellant's Brief at p. 1.) We will take him at his word. The Chans are in total agreement and would like nothing more than to complete their Project and restore the Property's

former grandeur. The Permit is fully Building Code and Planning Code compliant and would allow what both parties and City staff desire. As such, we urge the Board to deny the appeal and allow the Project to proceed.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Thomas Tunny

Enclosures

cc: Julie Rosenberg, Board of Appeals Executive Director
Scott Sanchez, Acting Deputy Zoning Administrator
Joseph Duffy, Acting Chief Building Inspector

EXHIBIT A

APPROVED
Dept. of Building Insp.
- San Francisco -

JUL 13 2021



Capacity Charges
Water: \$0
Wastewater: \$0
GI 07/07/21

BUILDING ENLARGEMENT
DESCRIPTION
 VERTICAL
 HORIZONTAL

APPROVED FOR ISSUANCE

BLDG. 3/8
FORM

APPLICATION NUMBER

OSHA APPROVAL REQ'D
APPROVAL NUMBER

**APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS**

**CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION**
APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER-THE-COUNTER ISSUANCE

NUMBER OF PLAN SETS

▼ DO NOT WRITE ABOVE THIS LINE ▼

DATE FILED JAN 13 2020 11.05.19	FILING FEE RECEIPT NO. 2001376	(1) STREET ADDRESS OF JOB 1550-1557 Lake St	BLOCK & LOT 1342/012
PERMIT NO. 07312	ISSUED 7/13/21	(2A) ESTIMATED COST OF JOB \$8000	(2B) REVISED COST: BY: \$157,000. To DATE: 6/7/21

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4) TYPE OF CONSTR.	(5A) NO. OF STORIES OF OCCUPANCY: 3	(6A) NO. OF BASEMENTS AND CELLARS:	(7A) PRESENT USE: 2 unit	(8A) OCCUP. CLASS: R3	(9A) NO. OF DWELLING UNITS: 2
---------------------	-------------------------------------	------------------------------------	--------------------------	-----------------------	-------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR.	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS:	(7) PROPOSED USE (LEGAL USE): 2 unit	(8) OCCUP. CLASS: R3	(9) NO. OF DWELLING UNITS: 2
---------------------	------------------------------------	-----------------------------------	--------------------------------------	----------------------	------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------

14) GENERAL CONTRACTOR TBD	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
-------------------------------	---------	-----	-------	-----------------	-----------------

15) OWNER - LESSEE (CROSS OUT ONE) Fu Hong	ADDRESS 1552 Lake St	ZIP	BTRC#	PHONE (FOR CONTACT BY DEPT.)
-----------------------------------------------	-------------------------	-----	-------	------------------------------

16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
Comply with NOI # 2019-84482 w/ all existing kitchen Area @ 2nd floor & 3rd floor. Reuse roof trussing only @ stairway to 4th floor. Replicate bathroom on 1st floor. Add (N) from Bill's Bathroom to M. Bathroom & Closet. Add new 2nd floor RM on 2nd floor. Reuse proposed skylight on roof plan.
RAE PA# 2019-0730-7352

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> Peter Chau	ADDRESS 3626 Geary Blvd #202 SE CA 94118	CALIF. CERTIFICATE NO.	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")	ADDRESS		

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.
Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.
Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.
ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

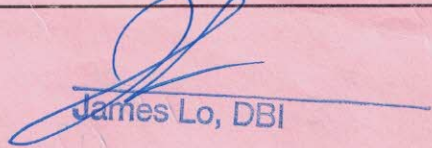
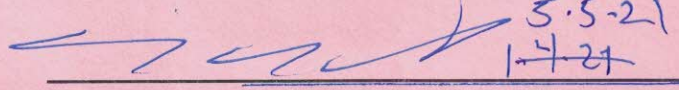
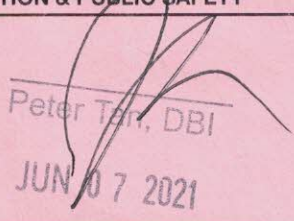
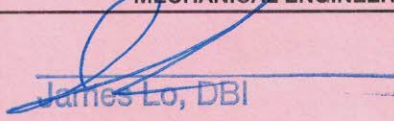
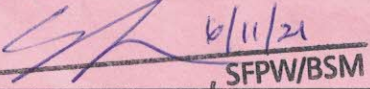
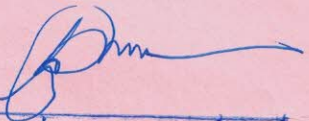
NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:
() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

CONDITIONS AND STIPULATIONS

REFER TO: <input type="checkbox"/>	APPROVED:  James Lo, DBI JUN 07 2021 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: NOV 07 2021 REASON: S. HAJNAL OK TO PROCESS NOTIFIED MR.
<input type="checkbox"/>	APPROVED: Revise interior layout cumulatively retaining more than 25% exist interior walls. Bath units Access rear park 1-car parking for each unit. in full light well, Remove chimney.  DEPARTMENT OF CITY PLANNING Approved Planning Dept. Moses Corrette	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED: BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  Peter Torr, DBI JUN 07 2021 MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  James Lo, DBI JUN 07 2021 CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED: NO ALTERATION TO OR RECONSTRUCTION OF CITY RIGHT-OF-WAY UNDER THIS PERMIT By  6/11/21 SFPW/BSM BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED: DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR.
<input checked="" type="checkbox"/>	APPROVED:  SFPUC Corina Johnson 07/07/2021 REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____



London N. Breed, Mayor
Patrick O'Riordan, Interim Director

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 628-652-3407. If there are any field problems regarding special inspection, please call your District Building Inspector or 628-652-3400 Ext 1.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.6. The building permit will not be finalized without compliance with the structural observation requirements.

Special Inspection Services Contact Information

1. Telephone: (628) 652-3407
2. Email: dbi.specialinspections@sfgov.org
3. In person: 49 South Van Ness Ave – Suite 400

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
49 South Van Ness Ave – Suite 400 – San Francisco CA 94103
Office (628) 652-3407 – www.sfdbi.org

Updated 10/05/2020

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS 1550 - 1552 Lake St APPLICATION NO. 2019 11076710 ADDENDUM NO. _____

OWNER NAME _____ OWNER PHONE NO. (____) _____

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.6. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and high-rise projects, and for projects utilizing new processes or materials.

In accordance with Chapter 17 (SFBC), Special Inspection and/or testing is required for the following work:

- | | | |
|------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------|
| 1. <input type="checkbox"/> Concrete (Placement & sampling) | 6. <input type="checkbox"/> High-strength bolting | 18. Bolts Installed in existing concrete or masonry: |
| 2. <input checked="" type="checkbox"/> Bolts installed in concrete | 7. <input type="checkbox"/> Structural masonry | <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry |
| 3. <input type="checkbox"/> Special moment - Resisting concrete frame | 8. <input type="checkbox"/> Reinforced gypsum concrete | <input type="checkbox"/> Pull/torque tests per SFEBC Sec. 507C & 515C |
| 4. <input checked="" type="checkbox"/> Reinforcing steel and resisting tendon | 9. <input type="checkbox"/> Insulating concrete fill | 19. <input type="checkbox"/> Shear walls and floor systems used as shear diagrams |
| 5. Structural welding: | 10. <input type="checkbox"/> Sprayed-on fireproofing | 20. <input type="checkbox"/> Holddowns |
| A. Periodic visual inspection | 11. <input type="checkbox"/> Piling, drilled piers and caissons | 21. Special cases: |
| <input type="checkbox"/> Single pass fillet welds 5/16" or smaller | 12. <input type="checkbox"/> Shotcrete | <input type="checkbox"/> Shoring |
| <input type="checkbox"/> Steel deck | 13. <input type="checkbox"/> Special grading, excavation and filling (Geo. Engineered) | <input type="checkbox"/> Underpinning: <input type="checkbox"/> Not affecting adjacent property |
| <input type="checkbox"/> Welded studs | 14. <input type="checkbox"/> Smoke-control system | <input type="checkbox"/> Affecting adjacent property: PA _____ |
| <input type="checkbox"/> Cold formed studs and joists | 15. <input type="checkbox"/> Demolition | <input type="checkbox"/> Others _____ |
| <input type="checkbox"/> Stair and railing systems | 16. <input type="checkbox"/> Exterior Facing | 22. <input type="checkbox"/> Crane safety (Apply to the operation of tower cranes on high-rise building) (Section 1705.22) |
| <input type="checkbox"/> Reinforcing steel | 17. Retrofit of unreinforced masonry buildings: | 23. <input type="checkbox"/> Others: "As recommended by professional of record" _____ |
| B. Continuous visual inspection and NDT (Section 1704) | <input type="checkbox"/> Testing of mortar quality and shear tests | |
| <input type="checkbox"/> All other welding (NDT exception: Fillet weld) | <input type="checkbox"/> Inspection of repointing operations | |
| <input type="checkbox"/> Reinforcing steel; and <input type="checkbox"/> NDT required | <input type="checkbox"/> Installation inspection of new shear bolts | |
| <input type="checkbox"/> Moment-resisting frames | <input type="checkbox"/> Pre-installation inspection for embedded | |
| <input type="checkbox"/> Others _____ | <input type="checkbox"/> Pull/torque tests per SFBC Sec.1607C & 1615C | |
| 24. Structural observation per Sec. 1704.6 (SFBC) for the following: | <input checked="" type="checkbox"/> Foundations | <input type="checkbox"/> Steel framing |
| <input type="checkbox"/> Concrete construction | <input type="checkbox"/> Masonry construction | <input checked="" type="checkbox"/> Wood framing |
| <input type="checkbox"/> Other: _____ | | |
| 25. Certification is required for: <input type="checkbox"/> Glu-lam components | | |
| 26. <input type="checkbox"/> Firestops in high-rise building | | |

Prepared by: Raymond Sitia Phone: (415) 702.6889
Engineer/Architect of Record

Required information:
FAX: (____) _____ Email _____

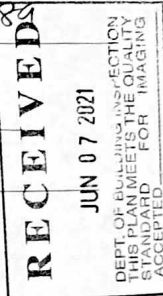
Review by: James Lo Phone: (628) 652-3798
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports.)

DATE _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO: Special Inspection Services (628) 652-3407; or, dbi.specialinspections@sfgov.org

Updated 10/05/2020



CHAN'S RESIDENCY

COMPLY WITH NOV#20198442

1550-1552 LAKE STREET

SAN FRANCISCO, CALIFORNIA

BLOCK/LOT: 1342/012



GENERAL NOTES

1. MINIMUM CEILING HEIGHT IS 7'-0" CLEAR FROM FINISH FLOOR TO THE FRESH AIR INTAKE.
2. INSULATION IS REQUIRED TO BE INSTALLED IN ALL WALLS, HABITABLE SPACE AND NON-HABITABLE SPACE OF TYPE OR EXTENSION GARAGES, CHAWN SPACES AND ATTIC. TYPE OR EXTENSION GARAGES CHAWN SPACES AND ATTIC, TYPE OR EXTENSION GARAGES SHALL BE 2" INSULATION. CHAWN SPACES AND ATTIC SHALL BE 2" INSULATION.
3. A. INSULATED 1 1/2" WALL IS REQUIRED BETWEEN THE GARAGE AND THE BATH. THE GARAGE SIDE SHEATHING SHALL BE MASONRY BY TYPE.
4. DOOR OPENING TO GARAGES MUST BE A MINIMUM OF 1'-0" SOLID CORE. SELLS TO BE INSTALLED AT THE TOP OF THE DOOR. EXTERIOR DOORS SHALL BE 1 3/4" MINIMUM. EXTERIOR DOORS SHALL BE 1 3/4" MINIMUM. EXTERIOR DOORS SHALL BE 1 3/4" MINIMUM.
5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW WITH A NET CLEAR HEIGHT OF 20" ABOVE THE FINISHED FLOOR. THE WINDOW SHALL BE 20" ABOVE THE FINISHED FLOOR. THE WINDOW SHALL BE 20" ABOVE THE FINISHED FLOOR.
6. EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE 20" ABOVE THE FINISHED FLOOR. THE WINDOW SHALL BE 20" ABOVE THE FINISHED FLOOR.
7. WINDOW WITH THE TUB/SHOWER ENCLOSURE AND THE DRAIN/PALETT SHALL BE SATETY GLAZING.
8. MATERIAL APPROVED FOR USE WITH THE TUB OR SHOWER ENCLOSURE SHALL BE 1/2" MINIMUM. EXTERIOR WALLS SHALL BE 1/2" MINIMUM. EXTERIOR WALLS SHALL BE 1/2" MINIMUM.
9. CORROSION RESISTANT FASTENERS, NO OXIDIZING PRODUCTS ENCLOSURES MAY BE INSTALLED OVER MOISTURE RESISTANT CLADDING.
10. SMOKE DETECTORS SHALL BE REQUIRED IN ALL AREAS LEADING INTO THE BEARING AND OVER EVERY FLOOR.
11. PROVIDE SUMP, STAIRING, TO FRAMING FOR WATER HEATER AND FURNACE. HABITABLE SPACES SHALL BE PROVIDED WITH MAINTENANCE PASSIVE SPACE-HEATING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF SET-POINT +1.0°F ABOVE THE FLOOR ON A DESIGN HEATING DAY.
12. ALL HARDWARE AND FASTENERS EXPOSED TO WEATHER OR IN CONTACT WITH PRESURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

PROPERTY INFORMATION

ADDRESS: 1550-1552 LAKE STREET, SAN FRANCISCO, CA 94118
BLOCK/LOT: 1342/012
ZONING: R-1
OCCUPANCY: R-1
CONSTRUCTION TYPE: 4.5
NUMBER OF UNITS: 2 UNIT
PARCEL AREA: 2,106.50 SQ. FT.
EXISTING BUILDING AREA: 2,850.50 SQ. FT.
EXISTING FINISH SPACES (GARAGE): 0

APPLICABLE CODE

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA RESTROOMS AND GENERAL CODE
2019 CALIFORNIA GREEN BUILDING STANDARD CODE
2019 CALIFORNIA ENERGY CODE

SCOPE OF WORK

1. COMPLY WITH NOTICE OF VIOLATION #20198442 FILE FOR REVISION TO PERMIT #2019051086 TO CALL EXISTING LIGHT-WELL AREA @ 2ND AND 3RD FLOOR.
2. RELOCATE BATHROOM ON 1ST FLOOR AND ADD 900 CFM A/C.
3. RECONFIGURE MASTER BATHROOM AND CLOSET, AND ADD 1 TON REFRIGERATOR ON 2ND FLOOR.
4. RELOCATE MASTER BEDROOM @ 3RD FLOOR.
5. REMOVE 1 1/2" RATED SKYLIGHT ON ROOF PLAN.
6. REMOVE EXTERIOR CHIMNEY ROOF BETWEEN GROUNDLINE AND 2ND FLOOR.
7. REMOVE EXTERIOR CHIMNEY ROOF BETWEEN GROUNDLINE AND 2ND FLOOR.

WALL LEGEND

[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	EXISTING NON-BEARING WALL TO BE REMOVED
[Symbol]	NEW PARTITION WALL
[Symbol]	WALL TO BE LEGALIZE
[Symbol]	NEW WALL BEARING WALL
[Symbol]	NEW CONCRETE WALL
[Symbol]	1 HR. RATED WALL
[Symbol]	2 HR. RATED WALL
[Symbol]	WALL WITH R13 INSULATION
[Symbol]	KEY NOTES

OTHER LEGEND

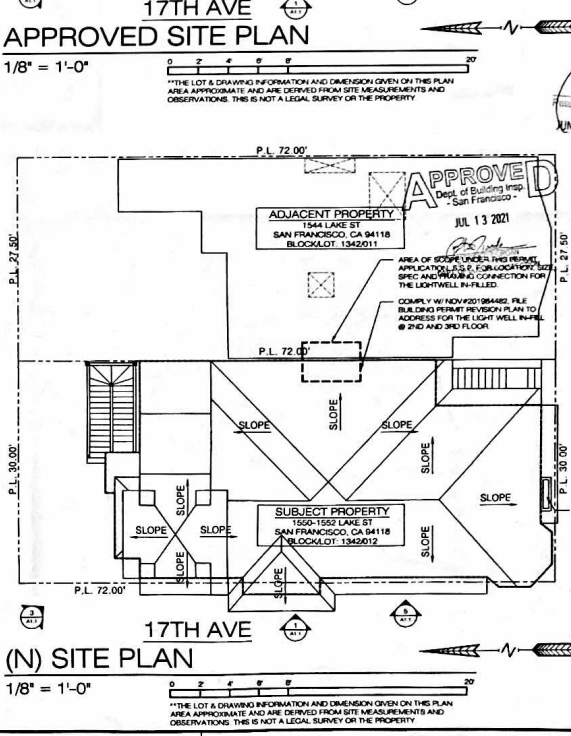
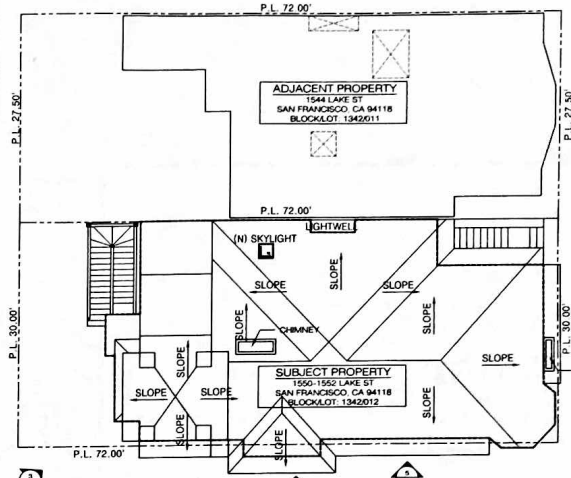
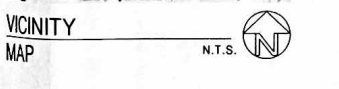
[Symbol]	ARC-FAULT INTERRUPTER DUPLEX OUTLET
[Symbol]	GROUND FAULT INTERRUPTED DUPLEX OUTLET
[Symbol]	GROUND FAULT INTERRUPTED DUPLEX OUTLET - WEATHER PROOF (TAMPER RESISTANT) WITH WEATHER-USE COVER
[Symbol]	EXHAUST FAN - 50 CFM MIN. - VENTED TO OUTSIDE
[Symbol]	EXHAUST FAN - 50 CFM MIN. - VENTED TO OUTSIDE VAPOR PROOF LEAK & GFI AT SHOWERS
[Symbol]	EXHAUST FAN LIGHT COMBO - VENT TO OUTSIDE AIR
[Symbol]	WALL MOUNTED FLUORESCENT LIGHT FIXTURE
[Symbol]	SURFACE MOUNTED FLUORESCENT CEILING LIGHT FIXTURE
[Symbol]	SURFACE MOUNTED INCANDESCENT CEILING LIGHT FIXTURE
[Symbol]	LAVATORY FAUCETS
[Symbol]	SUSPENDED INCANDESCENT LIGHT FIXTURE
[Symbol]	RECESSED INCANDESCENT LIGHT FIXTURE
[Symbol]	RECESSED FLUORESCENT LIGHT FIXTURE
[Symbol]	HIGH EFFICACY RECESSED LED LIGHT FIXTURE
[Symbol]	UNDER CABINET FLUORESCENT LIGHT FIXTURE
[Symbol]	THE SURFACE MOUNTED FLUORESCENT LIGHT
[Symbol]	PHOTO-MOTION CONTROLLED LIGHT FIXTURE
[Symbol]	SINGLE SWITCH
[Symbol]	3-WAY SWITCH
[Symbol]	DIMMER SWITCH WITH DIMMER CONTROL
[Symbol]	OCCUPANCY SENSOR SWITCH (MANUAL "ON" - AUTO "OFF")
[Symbol]	MOTION SENSOR SWITCH
[Symbol]	MOISTURE SENSITIVE SWITCH
[Symbol]	BATTERY OPERATED SMOKE DETECTOR
[Symbol]	SMOKE DETECTOR, AC
[Symbol]	BATTERY OPERATED CARBON MONOXIDE ALARM
[Symbol]	CARBON MONOXIDE ALARM, AC
[Symbol]	EXISTING DUCT
[Symbol]	PROPOSED NEW DUCT
[Symbol]	POINT-OF-CONNECTION
[Symbol]	UP TO NEXT LEVEL
[Symbol]	DOWN TO NEXT LEVEL
[Symbol]	WATER HEATER
[Symbol]	SKYLIGHT

ABBREVIATIONS:

ANV	ANV	ANV	ANV	ANV
ARV	ARV	ARV	ARV	ARV
BFD	BFD	BFD	BFD	BFD
BSL	BSL	BSL	BSL	BSL
BSM	BSM	BSM	BSM	BSM
BSN	BSN	BSN	BSN	BSN
BSO	BSO	BSO	BSO	BSO
BSR	BSR	BSR	BSR	BSR
BSW	BSW	BSW	BSW	BSW
BSX	BSX	BSX	BSX	BSX
BSY	BSY	BSY	BSY	BSY
BSZ	BSZ	BSZ	BSZ	BSZ
BSA	BSA	BSA	BSA	BSA
BSB	BSB	BSB	BSB	BSB
BSC	BSC	BSC	BSC	BSC
BSD	BSD	BSD	BSD	BSD
BSE	BSE	BSE	BSE	BSE
BSF	BSF	BSF	BSF	BSF
BSS	BSS	BSS	BSS	BSS
BST	BST	BST	BST	BST
BSU	BSU	BSU	BSU	BSU
BSV	BSV	BSV	BSV	BSV
BSW	BSW	BSW	BSW	BSW
BSX	BSX	BSX	BSX	BSX
BSY	BSY	BSY	BSY	BSY
BSZ	BSZ	BSZ	BSZ	BSZ

GREEN BUILDING STANDARDS CODE - RESIDENTIAL

1. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
2. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
3. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
4. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
5. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
6. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
7. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
8. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
9. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
10. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.



APPLICANT: FU CHAN AND HANG CHAN
1550-1552 LAKE STREET, SAN FRANCISCO, CA 94118
25
SHEET TITLE: GENERAL NOTE, COVER SHEET, LEGEND, VICINITY MAP AND SITE PLAN
JOB ADDRESS: 1550-1552 LAKE STREET SAN FRANCISCO, CA 94118
BLOCK/LOT: 1342/012

NO	REVISIONS/SUBMISSIONS
1	08/18/2020
2	10/04/2020
3	02/23/2021
4	04/13/2021

DESIGNED BY	PETER CHOW	PROJECT NO.	191004
DRAWN BY	PETER CHOW	DATE	08/18/2020
CHECKED BY	PETER CHOW	DATE	08/18/2020
SCALE	A3 - SMOOD	CHECKED	CC
FILE NO.		REVIEWED	
DATE		DATE	
DRAWN BY	PETER CHOW	COMPILED	
CHECKED BY	PETER CHOW	DATE	
SCALE	A3 - SMOOD	CHECKED	CC
FILE NO.		REVIEWED	
DATE		DATE	
DRAWN BY	PETER CHOW	COMPILED	
CHECKED BY	PETER CHOW	DATE	
SCALE	A3 - SMOOD	CHECKED	CC
FILE NO.		REVIEWED	
DATE		DATE	

RECEIVED
MAY 05 2021
DEPT. OF PUBLIC WORKS
1550-1552 LAKE STREET, SAN FRANCISCO, CA 94118



2019-11-07-6710

MECHANICAL

1. BACK-DRAFT DAMPERS ARE REQUIRED ON VENTILATION SYSTEMS EXHAUSTING TO EXTERIOR.
2. EXTERIOR DUCTING SHALL BE HORIZONTAL AND VERTICAL LENGTH OF 14 FEET. VERTICAL LENGTH SHALL BE LIMITED TO 14 FEET. VERTICAL LENGTH SHALL BE LIMITED TO 14 FEET.
3. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE.
4. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE.
5. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE.
6. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE.
7. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE.
8. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE.
9. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE.
10. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE. MECHANICAL VENTILATION SHALL BE PROVIDED FOR EVERY HABITABLE SPACE.

GREEN BUILDING STANDARDS CODE - RESIDENTIAL

1. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
2. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
3. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
4. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
5. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
6. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
7. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
8. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
9. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
10. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.

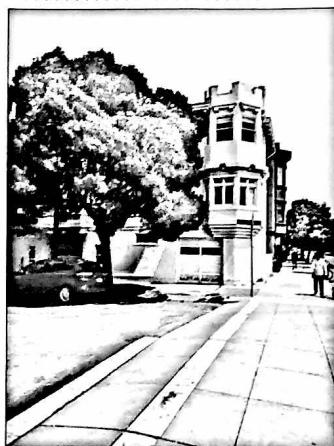
Capacity Changes
Date: 10/10/20
By: Peter Chow
Approved: Peter Chow, Robert Gomez
Date: 10/10/20

RECEIVED
 JUN 07 2021
 DEPT. OF BUILDING INSPECTION
 THIS RECEIPT ASSURES THE QUALITY
 STANDARD FOR DRAWINGS
 ACCORDING TO

JOB ADDRESS:
 1550-1552 LAKE STREET
 SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012

pic@sfgov.org
Preservation Dept
of consistent
windows markers
 James Lo, DEB
 JUN 07 2021



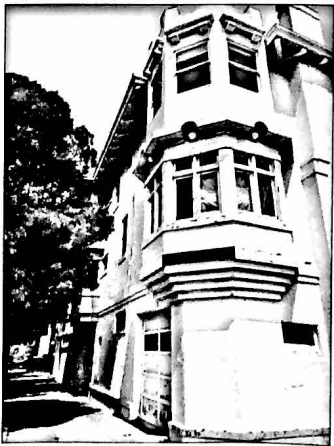
1 EXTERIOR SIDE PHOTOGRAPH (WEST)
 NTS 1550-1552 LAKE ST



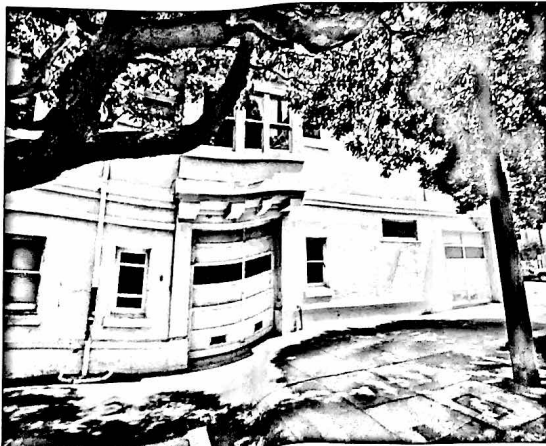
2 EXTERIOR FRONT PHOTOGRAPH (SOUTH)
 NTS 1550-1552 LAKE ST



3 EXTERIOR REAR PHOTOGRAPH (NORTH)
 NTS 1550-1552 LAKE ST



4 EXTERIOR FRONT PHOTOGRAPH (SOUTH)
 NTS 1550-1552 LAKE ST



5 EXTERIOR SIDE PHOTOGRAPH (WEST)
 NTS 1550-1552 LAKE ST



6 EXTERIOR FRONT PHOTOGRAPH (SOUTH)
 NTG 1550-1552 LAKE ST

APPROVED
 Dept of Building Inspection



NO.	REVISIONS/SUBMISSIONS
▲	08/18/2020
▲	10/04/2020
▲	02/23/2021
▲	04/13/2021

APPROVED BY	PROJECT NO.
PETER CHOW	191004
DATE	10/10/2019
CHECKED	
FILE	
REVIEWED	
CONTRACT	

LEGEND	
	UNIT 1552 LAKE STREET
	UNIT 1550 LAKE STREET

UNIT #	1550-1552 LAKE STREET		1552 LAKE STREET	
	EXISTING	PROPOSED	EXISTING	PROPOSED
TOTAL BEDROOMS	7	4	3	2
1ST FLOOR SQUARE FOOTAGE	1004 S.F.	699 S.F.	505 S.F.	812 S.F.
2ND FLOOR SQUARE FOOTAGE	60 S.F.	75 S.F.	1362 S.F.	1362 S.F.
3RD FLOOR SQUARE FOOTAGE	1575 S.F.	211 S.F.	-	-
4TH FLOOR SQUARE FOOTAGE	211 S.F.	2576 S.F.	1867 S.F.	2174 S.F.
TOTAL	2852 S.F.	3576 S.F.	2734 S.F.	2748 S.F.

NOTE:
THE SQUARE FOOTAGE SHOWN ABOVE IS CALCULATED BASED ON THE HATCH AREAS SHOWN BELOW SHOWN FOR EACH UNIT AND FLOOR, WHICH INCLUDES ALL STORAGE, GARAGE, CLOSET, ETC. AREAS.



APPLICANT:
FU CHAN AND HANG CHAN

1550-1552 LAKE STREET,
SAN FRANCISCO, CA 94118

SHEET TITLE
UNIT DIAGRAM

JOB ADDRESS:
1550-1552 LAKE STREET
SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012

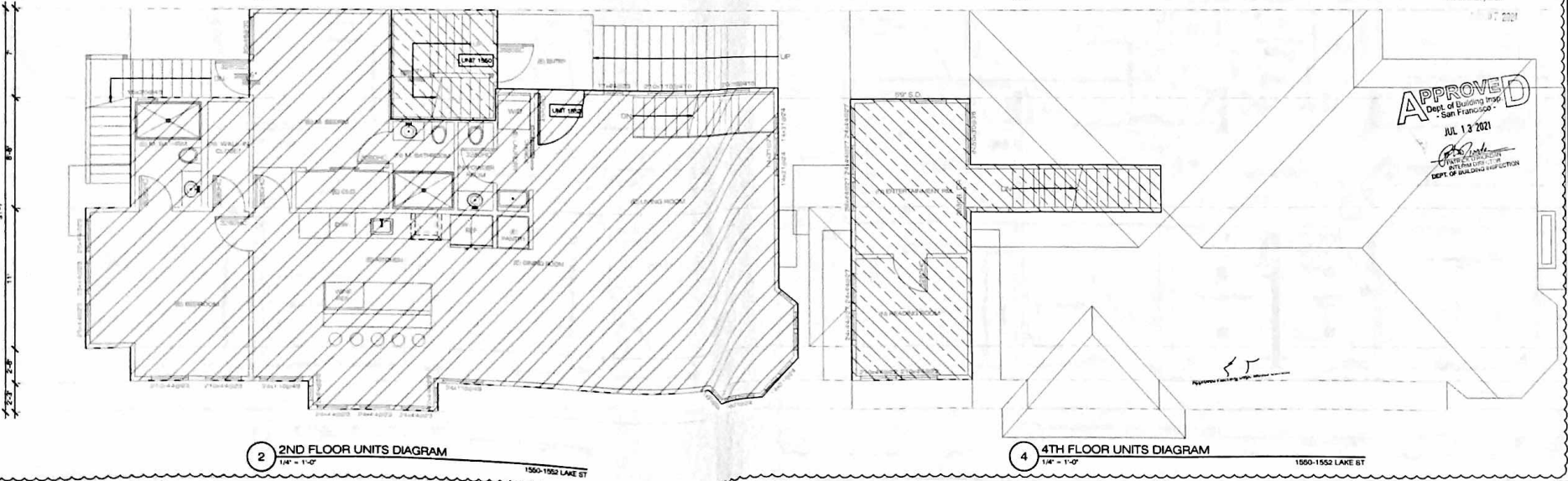
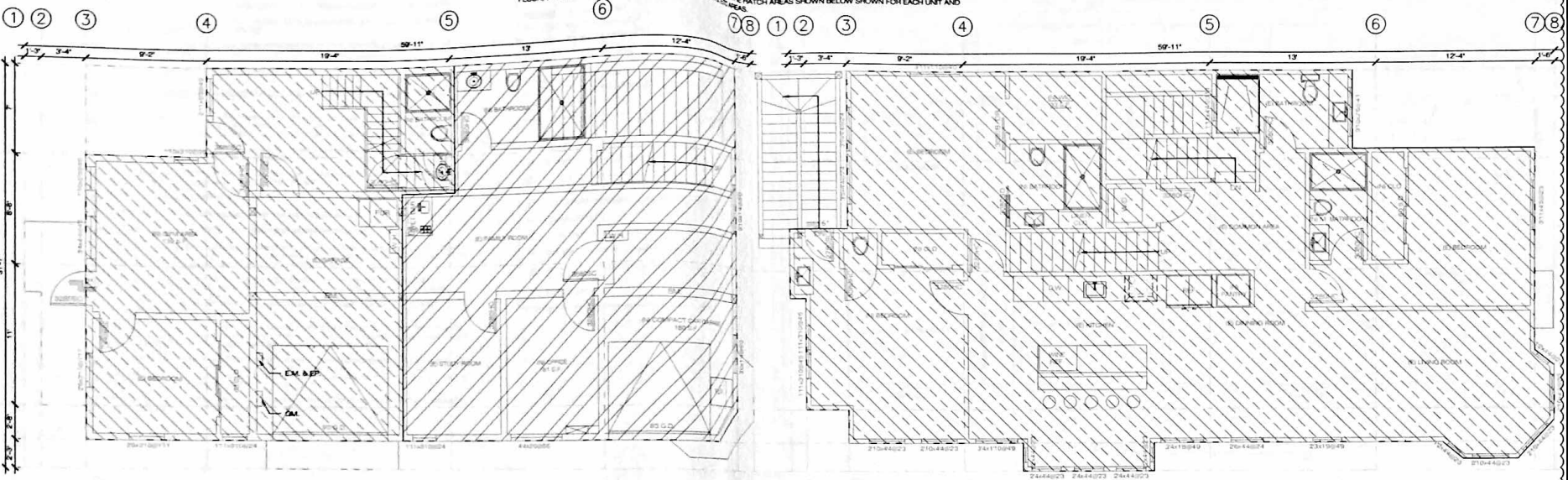
RECEIVED
MAY 05 2021
DEPT OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR IMAGINGS
ACCEPTED



APPROVED
JUL 13 2021
James Lo, DEB
DEPT. OF BUILDING INSPECTION
SAN FRANCISCO

NO	REVISIONS/SUBMISSIONS
△	08/18/2020
△	10/04/2020
△	02/23/2021
△	04/13/2021

DESIGNED BY PETER CHOW	PROJECT NO. 191004
DRAWN BY PETER CHOW	DATE 10/10/2019
CHECKED BY C.C.	CHECKED BY C.C.
FILED BY C.C.	REVIEWED BY C.C.
NEW SHEET	COMPLAINT



A1.2
OF SHEETS



NO.	REVISIONS/SUBMISSIONS	DATE
1	08/18/2020	
2	10/04/2020	
3	02/23/2021	
4	04/13/2021	
5	05/27/2021	

WORK & KEY NOTES

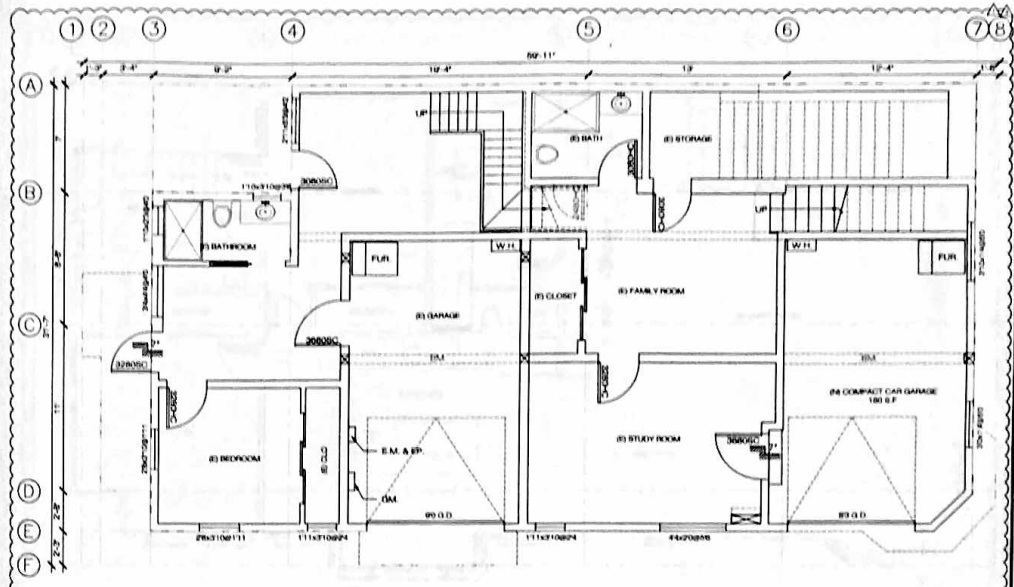
- THE SHOWER AND TUB/SHOWER WALLS TO BE SMOOTH, HARD, NON-ABSORBENT SURFACE (E.G. CERAMIC, TILE, GLOSS FINISH, MOISTURE RESISTANT LINEN/PAINTMENT (E.G. CEMENT BOARD, FIBER CEMENT OR GLASS MAT OVER A MOISTURE BARRIER) AND WITH CORROSION RESISTANT FASTENERS, AND OPTIMUM PROTECTIVE FINISH).
- FOR EFFICIENT INSTALLATION OF SCHEDULE ONE PRESS ENCLOSURES MAY BE INSTALLED OVER MOISTURE RESISTANT GYPSUM BOARD.
- A 30" BIE TO SIDE CURB AND A MIN. 24" IN FRONT OF THE TOILET. NEW TOILET MUST BE WATER CONSERVING 1.28 GAL.
- CONTROL VALVES AND SHOWER BATH HEADS SHALL BE LOCATED ON SIDEWALL OF SHOWER COMPARTMENTS.
- NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM.
- BATHROOM VENTILATION FAN WITH MINIMUM 50 CFM AND MAXIMUM AT 1 SOURCE INCLUDING BATHS. BATH FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM. THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING.
- LIGHTING IN BATHROOMS MUST HAVE MINIMUM OF ONE HIGH EFFICACY LIGHT FIXTURE AND MUST BE CONTROLLED BY A OCCUPANCY SENSOR SWITCH.
- PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE REQUIRED FOR SHOWER AND SHOWER TUB COMBINATIONAL. MAXIMUM MIXING WATER TEMP. OF 120°.
- MAXIMUM DROP OF 7/8" AT DOOR THRESHOLD.
- MINIMUM 1/2" TYPE-X GYPSUM BOARD UNDER THE INTERIOR STAIRWAY.
- ALL ELECTRICAL RECEPTACLES IN GARAGE SHALL BE GFCI PROTECTED.
- DOOR LATCHED 40 AMPERE FIRE RESISTIVE DOOR AND FRAME ASSEMBLY WITH A 1 1/8" BOLD CLOSURE. SELF-LATCHING DEVICE. ONE HALF OF THE COMMON WALL BETWEEN THE PENTYER AND THE GARAGE SHALL BE OPEN AND UNOBSTRUCTED (ENR 715.4 & TABLE 715.4).
- STAIRWAYS SHALL HAVE A MINIMUM 80" HEADWAY MEASURED FROM THE TREAD NOSE TO A MAXIMUM RISE OF 7'-0" AND MINIMUM 8" TREAD WIDTH. THE CLEAR SPACE AT OPENING SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE AND TRANSPARENT OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE. PROVIDE A MINIMUM 30" RAMP LANDING AT TOP AND BOTTOM OF STAIRWAY.
- CHIMNEY HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF ALL STAIRS WITH FOUR OR MORE TREADS. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".
- MINIMUM 42" HIGH GUARDRAIL AT OPEN RISED WALKING SURFACES GREATER THAN 30" ABOVE THE FLOOR OR GRADE BELOW TO ANY POINT WITHIN 30" HORIZONTAL. GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT WHICH ALLOW THE PASSAGE OF A SPHERE 4" IN DIAMETER.
- PROVIDE MINIMUM WINDOW AREA OF 8% OF THE FLOOR AREA FOR NATURAL LIGHT AND MINIMUM WINDOW OPENING AREA OF 4% OF THE FLOOR AREA FOR VENTILATION.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING NON-BEARING WALL TO BE REMOVED
- NEW PARTITION WALL
- WALL TO BE LEGALIZE
- NEW WALL BEARING WALL
- NEW CONCRETE WALL
- 1 HR. RATED WALL
- 2 HR. RATED WALL
- WALL WITH R15 INSULATION
- KEY NOTE

OTHER LEGEND

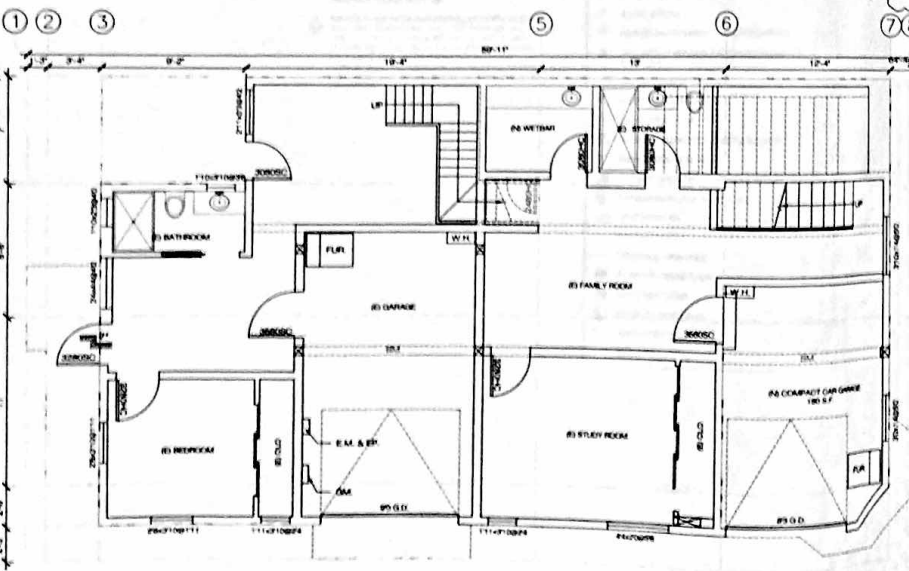
- ARC-FAULT INTERRUPTER DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- EXHAUST FAN LIGHT COMBO - VENT TO OUTSIDE AIR
- HIGH EFFICACY RECESSED LED LIGHT FIXTURE
- SINGLE SWITCH
- 3-WAY SWITCH
- SWITCH WITH DIMMER CONTROL
- OCCUPANCY SENSOR SWITCH (MANUAL ON, AUTO OFF)
- MOISTURE SATE SWITCH



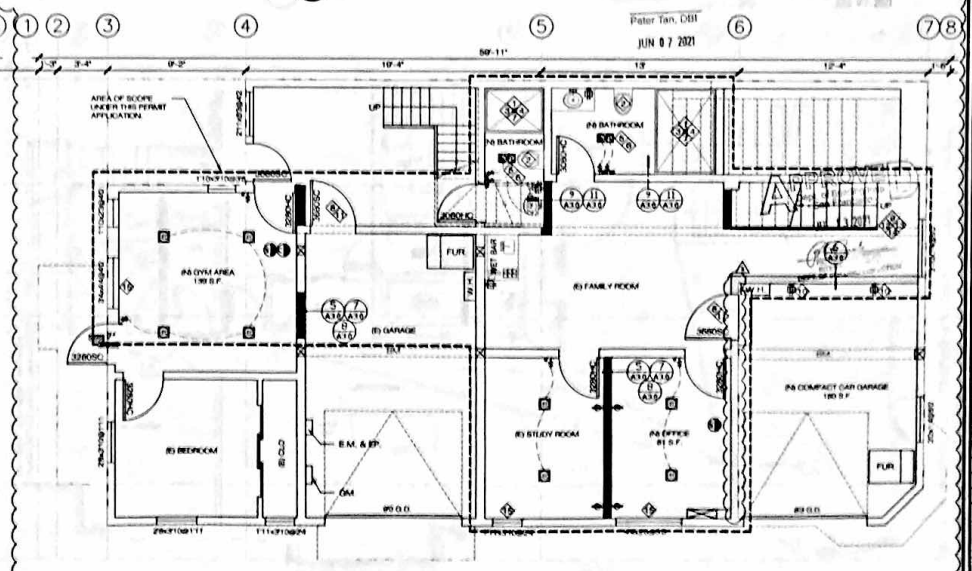
1 APPROVED 1ST FLOOR PLAN BPA#201901261296
 1/4" = 1'-0" 1550-1552 LAKE ST

James Lo, DBI

Peter Tan, DBI
 JUN 07 2021



2 AS-BUILT 1ST FLOOR PLAN
 1/4" = 1'-0" 1550-1552 LAKE ST



3 PROPOSED 1ST FLOOR PLAN
 1/4" = 1'-0" 1550-1552 LAKE ST



NO.	REVISIONS/SUBMISSIONS
▲	08/18/2020
▲	10/04/2020
▲	02/23/2021
▲	04/13/2021

OWNER:	PROJECT NO.:
INTER CHOW	181004
DATE:	SCALE:
PETER CHOW	1/2" = 1'-0" / 2018
SCALE:	CHECKED:
1/2" = 1'-0"	C.C.
DATE:	DATE:
FULL:	DATE:
DATE:	DATE:
DATE:	DATE:
DATE:	DATE:

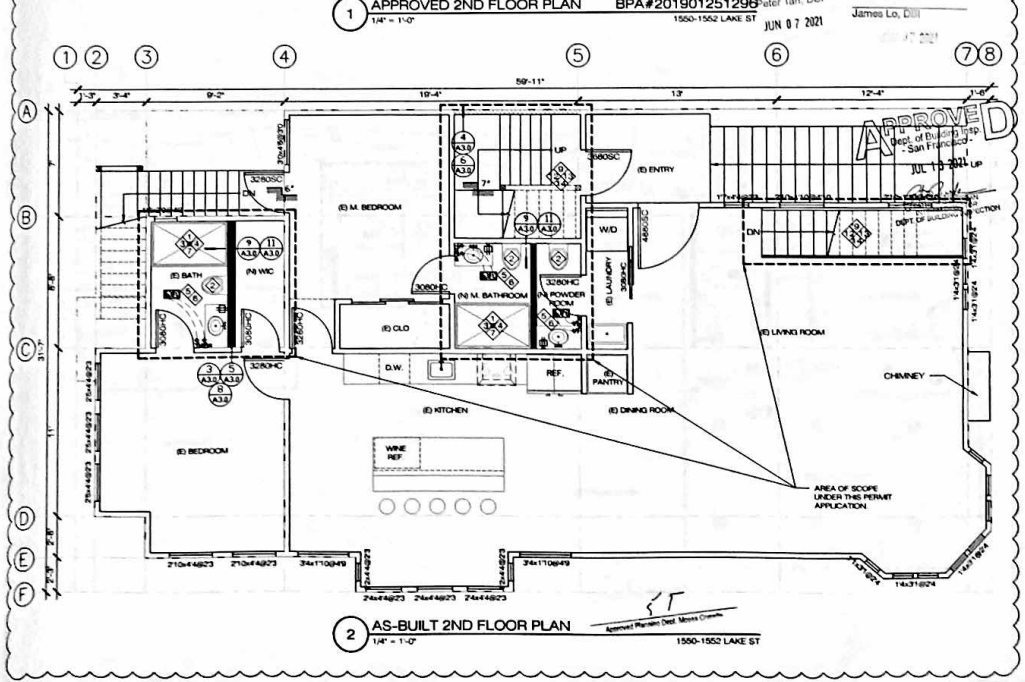
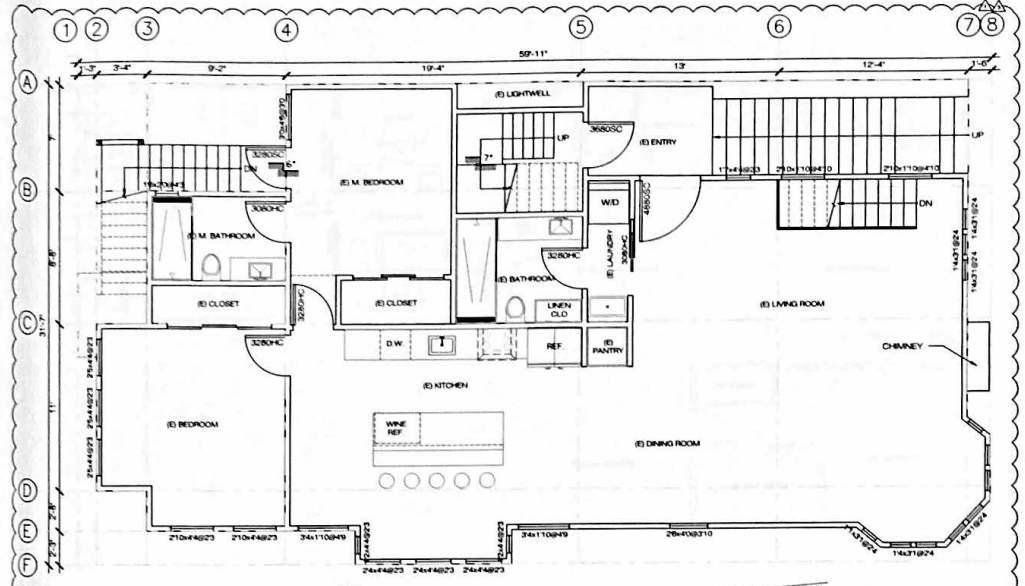
- WORK & KEY NOTES**
- THE SHOWER AND TUB-SHOWER WALLS TO BE SMOOTH FINED NON-ABSORBENT SURFACE (E.G. CERAMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT BOARD, FIBER CEMENT OR GLASS MAT OVER A MOISTURE BARRIER) AND WITH CORROSION-RESISTANT FASTENERS. NO GYPSUM PRODUCTS. EXCEPTION: INSTALLATION OF MOLDED ONE-PIECE ENCLOSURES MAY BE INSTALLED OVER MOISTURE RESISTANT GYPSUM BOARD.
 - A 3/8" SIDE TO SIDE CLR. AND A MIN. 24" IN FRONT OF THE TOILET. NEW TOILET MUST BE WATER CONSERVING 1.28 GAL.
 - CONTROL VALVES AND SHOWER STALL HEADS SHALL BE LOCATED ON SIDEWALL OF SHOWER COMPARTMENTS.
 - NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM.
 - BATHROOM VENTILATION FAN WITH MINIMUM 50 CFM AND MAXIMUM 1" STATIC SOUND RATING. BATH FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM. THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING.
 - LIGHTING IN BATHROOMS MUST HAVE MINIMUM OF ONE HIGH EFFICACY LIGHT FIXTURE AND MUST BE CONTROLLED BY AN OCCUPANCY SENSOR SWITCH.
 - PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVE REQUIRED FOR SHOWER AND SHOWER TUB COMBINATIONS. MAXIMUM MIXING WATER TEMP. OF 120°F.
 - MINIMUM 1/2" TYPE-X GYPSUM BOARD UNDER THE EXTERIOR STAIRWAY.
 - STAIRWAYS SHALL HAVE A MINIMUM 8" HEADWAY MEASURED FROM THE TREAD NOSING, A MAXIMUM RISE OF 7-3/4" AND MINIMUM 12" TREAD WIDTH. THE CLEAR SPACE AT OPEN RISERS SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE AND TRIANGULAR OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE. PROVIDE A MINIMUM 30" OF LANDING AT TOP AND BOTTOM OF STAIRWAY.
 - GRIPABLE HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF ALL STAIRS WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE FLOORING PLANE ALLOWING THE TREAD NOSING SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".
 - MINIMUM 42" HIGH GUARDRAIL AT OPEN-ENDED WALKING SURFACES GREATER THAN 30" ABOVE THE FLOOR OR GRADE BELOW TO ANY POINT WITHIN 36" HORIZONTALLY. GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT WHICH ALLOW THE PASSAGE OF A SPHERE 4" IN DIAMETER.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING NON-BEARING WALL TO BE REMOVED
- NEW PARTITION WALL
- WALL TO BE LEGALIZE
- NEW WALL BEARING WALL
- NEW CONCRETE WALL
- 1 HR. RATED WALL
- 2 HR. RATED WALL
- WALL WITH R13 INSULATION
- KEY NOTES

OTHER LEGEND

- ARC-FALL INTERRUPTER DUPLEX OUTLET
- GROUND-FALL INTERRUPTED DUPLEX OUTLET
- GROUND-FALL INTERRUPTED DUPLEX OUTLET - WEATHER PROOF (TAMPER RESISTANT) W/ ALL WEATHER-USE COVER
- EXHAUST FAN - 50 CFM MIN. - VENTED TO OUTSIDE
- EXHAUST FAN - 50 CFM MIN. - VENTED TO OUTSIDE VAPOR PROOF LENSE & GFI AT SHOWERS
- EXHAUST FAN LIGHT COMBO - VENT TO OUTSIDE AIR
- WALL MOUNTED FLUORESCENT LIGHT FIXTURE
- SURFACE MOUNTED FLUORESCENT CEILING LIGHT FIXTURE
- SURFACE MOUNTED INCANDESCENT CEILING LIGHT FIXTURE
- SUSPENDED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- HIGH EFFICACY RECESSED LED LIGHT FIXTURE
- UNDER CABINET FLUORESCENT LIGHT FIXTURE
- 1W SURFACE MOUNTED FLUORESCENT LIGHT
- PHOTO-MOTION CONTROLLED LIGHT FIXTURE
- SINGLE SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH WITH DIMMER CONTROL
- OCCUPANCY SENSOR SWITCH (MANUAL 'ON' - AUTO 'OFF')
- MOTION SENSOR SWITCH
- MOISTURESTATE SWITCH
- GAS SUPPLY VALVE
- BATTERY OPERATED SMOKE DETECTOR
- SMOKE DETECTOR, AC
- BATTERY OPERATED CARBON MONOXIDE ALARM
- CARBON MONOXIDE ALARM, AC
- HEAT REGISTER
- EXISTING DUCT
- PROPOSED NEW DUCT
- POINT-OF-CONNECTION
- UP TO NEXT LEVEL
- DOWN TO NEXT LEVEL
- WATER HEATER
- SKYLIGHT



FLOOR PLAN

JOB ADDRESS:
 1550-1552 LAKE STREET
 SAN FRANCISCO, CA 94118

BLOCK/LOTS: 1342/012

RECEIVED

MAY 15 2021
 DEPT. OF BUILDING INSPECTION
 100 CALIFORNIA STREET, 5TH FLOOR
 SAN FRANCISCO, CA 94102



NO.	REVISIONS/DESCRIPTIONS
1	ISSUE FOR PERMITS
2	ISSUE FOR PERMITS
3	ISSUE FOR PERMITS
4	ISSUE FOR PERMITS
5	ISSUE FOR PERMITS
6	ISSUE FOR PERMITS
7	ISSUE FOR PERMITS
8	ISSUE FOR PERMITS
9	ISSUE FOR PERMITS
10	ISSUE FOR PERMITS
11	ISSUE FOR PERMITS
12	ISSUE FOR PERMITS
13	ISSUE FOR PERMITS
14	ISSUE FOR PERMITS
15	ISSUE FOR PERMITS
16	ISSUE FOR PERMITS
17	ISSUE FOR PERMITS
18	ISSUE FOR PERMITS
19	ISSUE FOR PERMITS
20	ISSUE FOR PERMITS

A2.2

WORK & KEY NOTES

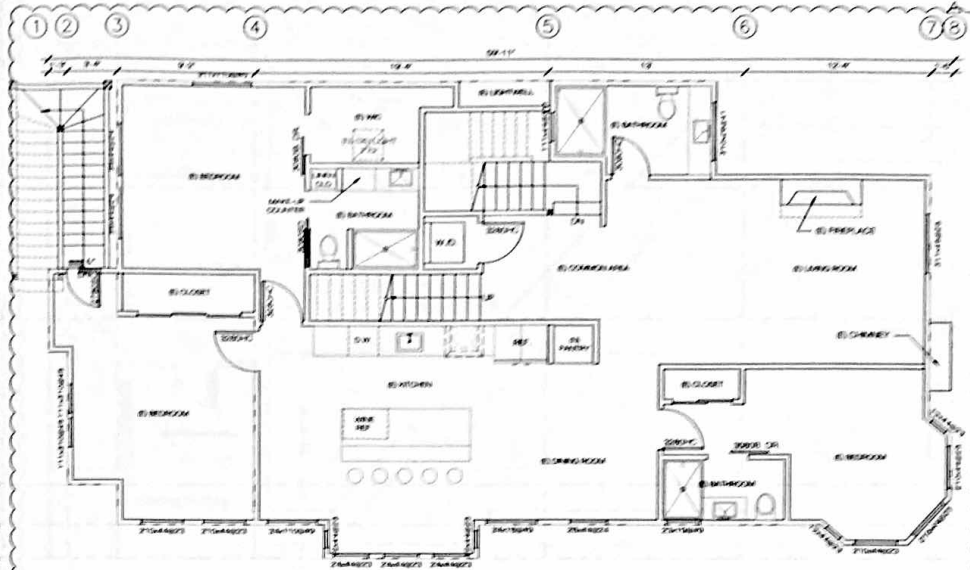
- THE SHOWN AREA TO REMAIN WALLS TO BE DEMOLISHED SHALL BE INDICATED BY A DASHED LINE. THE NEW WALLS SHALL BE CONCRETE WITH A MINIMUM 1/2" THICKNESS. THE EXISTING WALLS SHALL BE CONCRETE WITH A MINIMUM 1/2" THICKNESS. THE NEW WALLS SHALL BE CONCRETE WITH A MINIMUM 1/2" THICKNESS. THE EXISTING WALLS SHALL BE CONCRETE WITH A MINIMUM 1/2" THICKNESS.
- A 30 DEG TO 300 DEG AND A MIN 24" IN FRONT OF THE TOILET NEW TOILET MUST BE WATER COMPARTMENT 1/2" OR G/L.
- CONTROL VALVES AND SHOWER STALL HEADS SHALL BE LOCATED ON SIDEWALL OF SHOWER COMPARTMENTS.
- NO PLASTIC OR LAMINATE ARE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM.
- BATHROOM VENTILATION FAN WITH MINIMUM 80 CFM AND MAXIMUM 1/2" O.D. BATHROOM BATH FANS SHALL BE INSTALLED SEPARATELY FROM BATH LIGHTING SYSTEM. THE FAN SHALL BE 3 FEET AWAY FROM THE EXHAUST LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING.
- LIGHTING IN BATHROOMS MUST HAVE MINIMUM OF ONE HIGH EFFICIENCY LIGHT FIXTURE AND MUST BE CONTROLLED BY A OCCUPANCY SENSOR SWITCH.
- PRELUMEN BALANCED OR THERMOSTATIC MIXING VALVE REQUIRED FOR SHOWER AND SHOWER TUB COMPARTMENTS. MAXIMUM MIXING WATER TEMP OF 120F.
- PROVIDE MINIMUM WINDOW AREA OR INL OF THE FLOOR AREA FOR NATURAL LIGHT AND MINIMUM WINDOW OPENING AREA OF 1/6 OF THE FLOOR AREA FOR VENTILATION.

WALL LEGEND

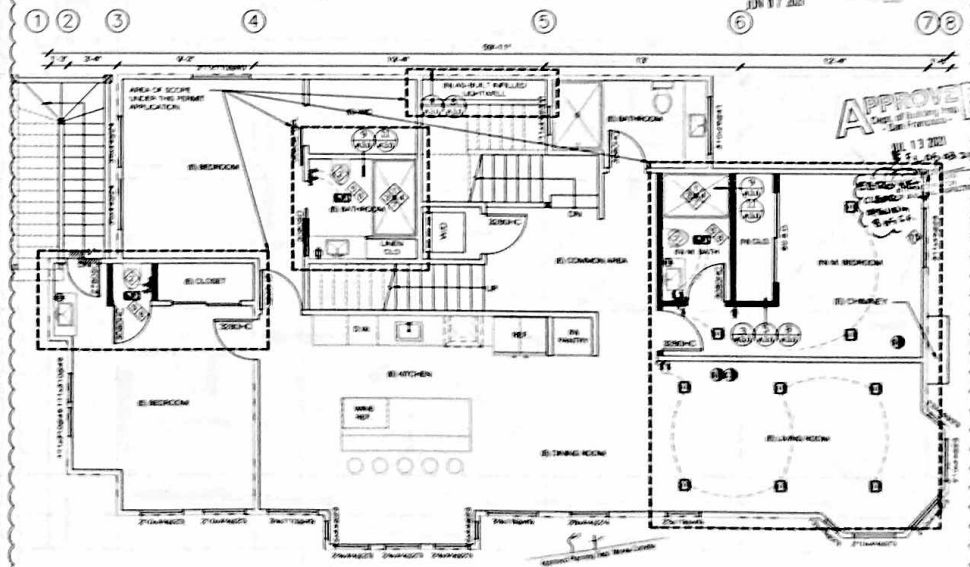
- EXISTING WALL TO REMAIN
- EXISTING NON-BEARING WALL TO BE REMOVED
- NEW PARTITION WALL
- WALL TO BE LEGALIZE
- NEW WALL BEARING WALL
- NEW CONCRETE WALL
- 1/2" UNFATED WALL
- 1/2" UNFATED WALL
- WALL WITH INSULATION
- KEY NOTES

OTHER LEGEND

- APPROXIMATE WATER DRAINAGE OUTLET
- GROUND FAULT INTERRUPTED DRYER OUTLET
- GROUND FAULT INTERRUPTED DRYER OUTLET - WEATHER PROOF CHAMBER REQUIRED AND ALL WEATHER-USE COVER
- EXHAUST FAN - ROOM ONLY - VENTED TO OUTSIDE
- EXHAUST FAN - ROOM ONLY - VENTED TO OUTSIDE
- EXHAUST FAN - ROOM ONLY - VENTED TO OUTSIDE
- WALL MOUNTED FLUORESCENT LIGHT FIXTURE
- SURFACE MOUNTED FLUORESCENT CEILING LIGHT FIXTURE
- SURFACE MOUNTED INCANDESCENT CEILING LIGHT FIXTURE
- SUSPENDED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- HIGH EFFICIENCY RECESSED LED LIGHT FIXTURE
- UNDER CABINET FLUORESCENT LIGHT FIXTURE
- PHOTO-EYE CONTROLLED LIGHT FIXTURE
- SINGLE SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH WITH DIMMER CONTROL
- OCCUPANCY SENSOR SWITCH MANUAL "ON" - AUTO "OFF"
- MOTION SENSOR SWITCH
- MOISTURE SENSITIVE SWITCH
- GAS SUPPLY VALVE
- BATTERY OPERATED SMOKE DETECTOR
- SMOKE DETECTOR AC
- BATTERY OPERATED CARBON MONOXIDE ALARM
- CARBON MONOXIDE ALARM AC
- HEAT RESISTOR
- EXISTING DUCT
- PROPOSED NEW DUCT
- POINT-OF-CONNECTION
- UP TO NEXT LEVEL
- DOWN TO NEXT LEVEL
- WATER HEATER
- DAYLIGHT



1 APPROVED 3RD FLOOR PLAN BPA#201901251296
 1550-1552 LAKE ST
 JUN 17 2021



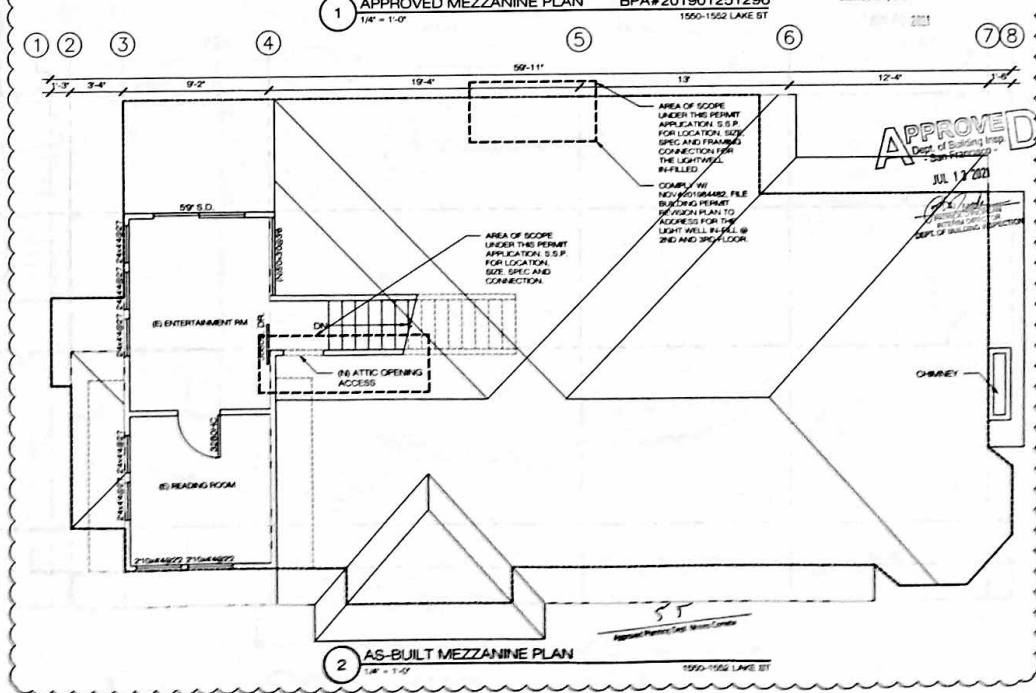
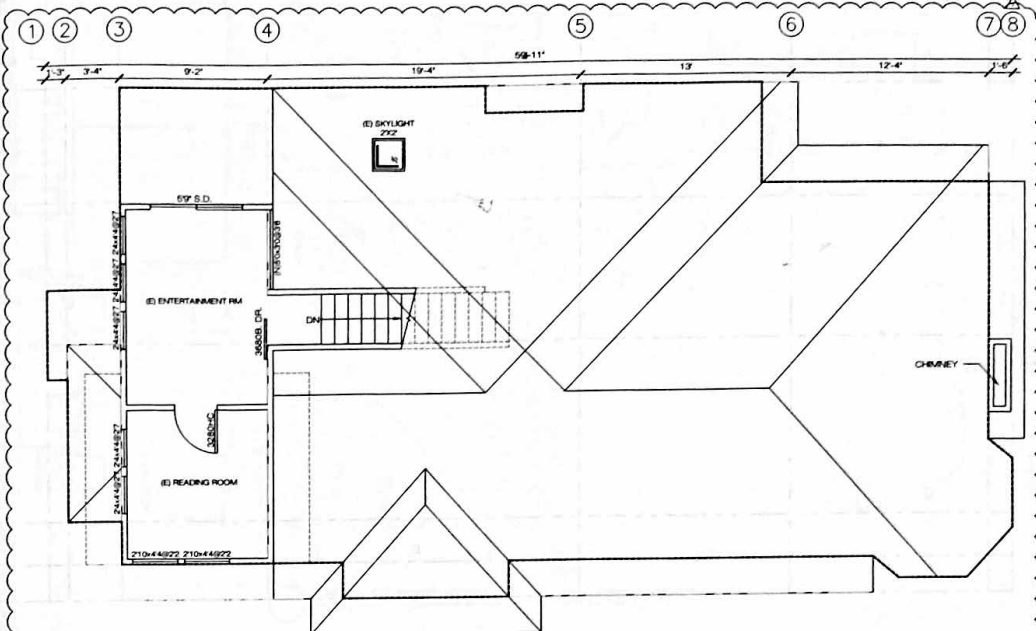
2 AS-BUILT 3RD FLOOR PLAN
 1550-1552 LAKE ST

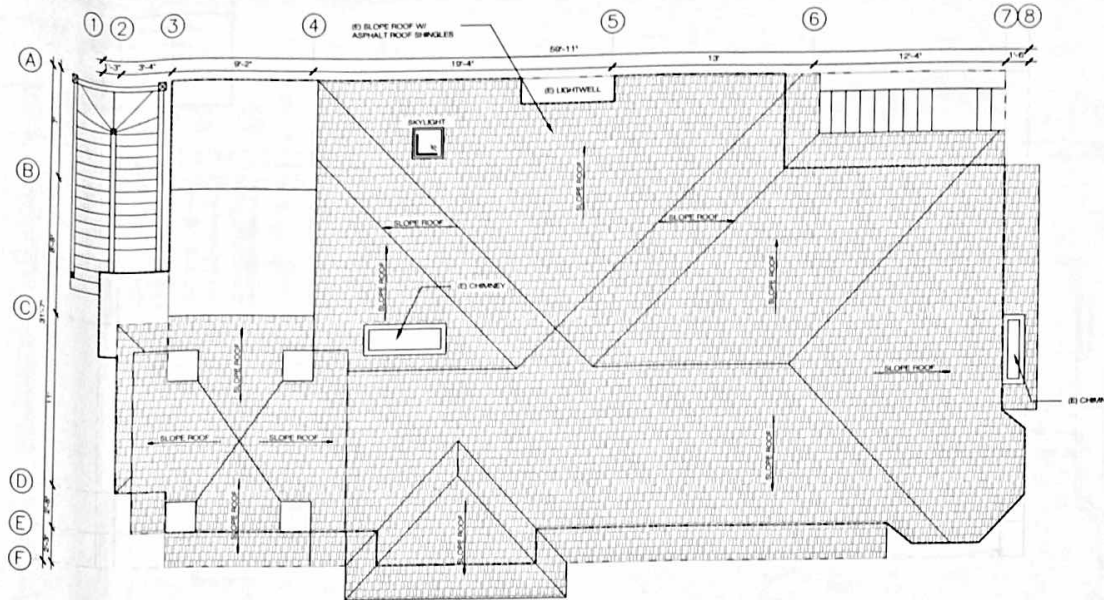


1	08/18/2020
2	10/04/2020
3	03/23/2021
4	04/13/2021

NO. DATED	PROJECT NO.
NO. 18/2020	151024
NO. 19/2020	151024
NO. 20/2020	151024
NO. 21/2020	151024
NO. 22/2020	151024
NO. 23/2020	151024
NO. 24/2020	151024
NO. 25/2020	151024
NO. 26/2020	151024
NO. 27/2020	151024
NO. 28/2020	151024
NO. 29/2020	151024
NO. 30/2020	151024
NO. 31/2020	151024
NO. 32/2020	151024
NO. 33/2020	151024
NO. 34/2020	151024
NO. 35/2020	151024
NO. 36/2020	151024
NO. 37/2020	151024
NO. 38/2020	151024
NO. 39/2020	151024
NO. 40/2020	151024
NO. 41/2020	151024
NO. 42/2020	151024
NO. 43/2020	151024
NO. 44/2020	151024
NO. 45/2020	151024
NO. 46/2020	151024
NO. 47/2020	151024
NO. 48/2020	151024
NO. 49/2020	151024
NO. 50/2020	151024
NO. 51/2020	151024
NO. 52/2020	151024
NO. 53/2020	151024
NO. 54/2020	151024
NO. 55/2020	151024
NO. 56/2020	151024
NO. 57/2020	151024
NO. 58/2020	151024
NO. 59/2020	151024
NO. 60/2020	151024
NO. 61/2020	151024
NO. 62/2020	151024
NO. 63/2020	151024
NO. 64/2020	151024
NO. 65/2020	151024
NO. 66/2020	151024
NO. 67/2020	151024
NO. 68/2020	151024
NO. 69/2020	151024
NO. 70/2020	151024
NO. 71/2020	151024
NO. 72/2020	151024
NO. 73/2020	151024
NO. 74/2020	151024
NO. 75/2020	151024
NO. 76/2020	151024
NO. 77/2020	151024
NO. 78/2020	151024
NO. 79/2020	151024
NO. 80/2020	151024
NO. 81/2020	151024
NO. 82/2020	151024
NO. 83/2020	151024
NO. 84/2020	151024
NO. 85/2020	151024
NO. 86/2020	151024
NO. 87/2020	151024
NO. 88/2020	151024
NO. 89/2020	151024
NO. 90/2020	151024
NO. 91/2020	151024
NO. 92/2020	151024
NO. 93/2020	151024
NO. 94/2020	151024
NO. 95/2020	151024
NO. 96/2020	151024
NO. 97/2020	151024
NO. 98/2020	151024
NO. 99/2020	151024
NO. 100/2020	151024

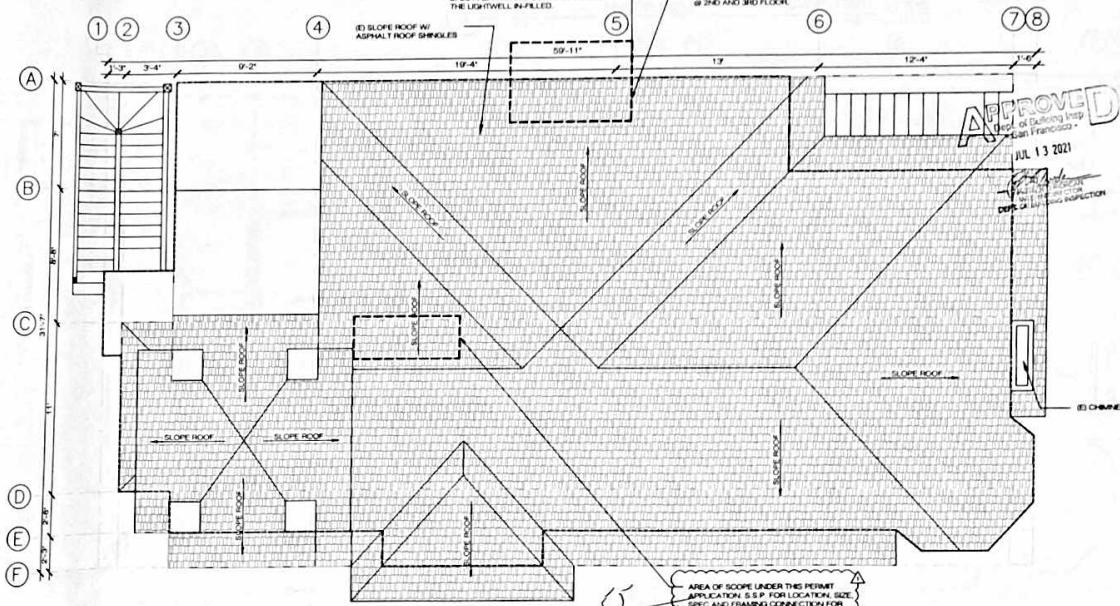
- WALL LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING NON-BEARING WALL TO BE REMOVED
 - NEW PARTITION WALL
 - WALL TO BE LEGALIZE
 - NEW WALL BEARING WALL
 - NEW CONCRETE WALL
 - 1 HR. RATED WALL
 - 2 HR. RATED WALL
 - WALL WITH R13 INSULATION
 - KEY NOTES
- OTHER LEGEND**
- APC-FAULT INTERRUPTER DUPLEX OUTLET
 - GROUND FAULT INTERRUPTED DUPLEX OUTLET
 - WEATHER PROOF (WATER RESISTANT) WALL WEATHER-USE COVER
 - EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE
 - EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE VAPOR PROOF LENSE & GFI AT SHOWERS
 - EXHAUST FAN LIGHT COMBO - VENT TO OUTSIDE AIR
 - WALL MOUNTED FLUORESCENT LIGHT FIXTURE
 - SURFACE MOUNTED FLUORESCENT CEILING LIGHT FIXTURE
 - SURFACE MOUNTED INCANDESCENT CEILING LIGHT FIXTURE
 - SUSPENDED INCANDESCENT LIGHT FIXTURE
 - RECESSED INCANDESCENT LIGHT FIXTURE
 - RECESSED FLUORESCENT LIGHT FIXTURE
 - HIGH EFFICACY RECESSED LED LIGHT FIXTURE
 - UNDER CABINET FLUORESCENT LIGHT FIXTURE
 - 1/4" SURFACE MOUNTED FLUORESCENT LIGHT
 - PHOTO-MOTION CONTROLLED LIGHT FIXTURE
 - SINGLE SWITCH
 - 3-WAY SWITCH
 - DRAWER SWITCH WITH DRAWER CONTROL
 - OCCUPANCY SENSOR SWITCH (MANUAL ON - AUTO OFF)
 - MOTION SENSOR SWITCH
 - MOISTURE/STATE SWITCH
 - GAS SUPPLY VALVE
 - BATTERY OPERATED SMOKE DETECTOR
 - SMOKE DETECTOR, AC
 - BATTERY OPERATED CARBON MONOXIDE ALARM
 - CARBON MONOXIDE ALARM, AC
 - HEAT REGISTER
 - EXISTING DUCT
 - PROPOSED NEW DUCT
 - POINT-OF-CONNECTION
 - UP TO NEXT LEVEL
 - DOWN TO NEXT LEVEL
 - WATER HEATER
 - SKYLIGHT





1 APPROVED ROOF PLAN BPA#201901251296
1/4" = 1'-0" 1550-1552 LAKE ST

James Lo, DRI
JUL 07 2021



2 PROPOSED ROOF PLAN
1/4" = 1'-0" 1550-1552 LAKE ST



APPLICANT:
FU CHAN AND HANG CHAN
1550-1552 LAKE STREET,
SAN FRANCISCO, CA 94118

SHEET TITLE:
ROOF PLAN

JOB ADDRESS:
1550-1552 LAKE STREET
SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012

RECEIVED
MAY 05 2021
DEPT OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR REVIEW AND
ACCEPTANCE

APPROVED
JUL 13 2021
DEPT OF BUILDING INSPECTION



NO	REVISIONS/SUBMISSIONS
1	08/18/2020
2	10/04/2020
3	02/23/2021
4	04/13/2021

DESIGNED BY	PROJECT NO.
FTY TR CHOW	191004
DRAWN BY	DATE
FTY TR CHOW	10/10/2019
SCALE	CHECKED
AS SHOWN	C.C.
FILE	REVIEWED
NEW	C.C.
2-D	CONSULTANT
SHEET	

A2.4
OF SHEETS

APPROVED RESIDENTIAL DEMOLITION CALCULATION (1550-1552 LAKE STREET) BPA#201901251296

LINEAL MEASUREMENT			
LINEAR ELEMENTS	EXISTING	REMOVING	PERCENT REMOVING
UPPER LEVEL	18'-11" LF	22'-11" LF	75.70%
3RD LEVEL	199'-11" LF	51'-0" LF	25.59%
2ND LEVEL	95'-9" LF	22'-7" LF	23.59%
BASMENT LEVEL	140'-7" LF	36'-5" LF	24.56%



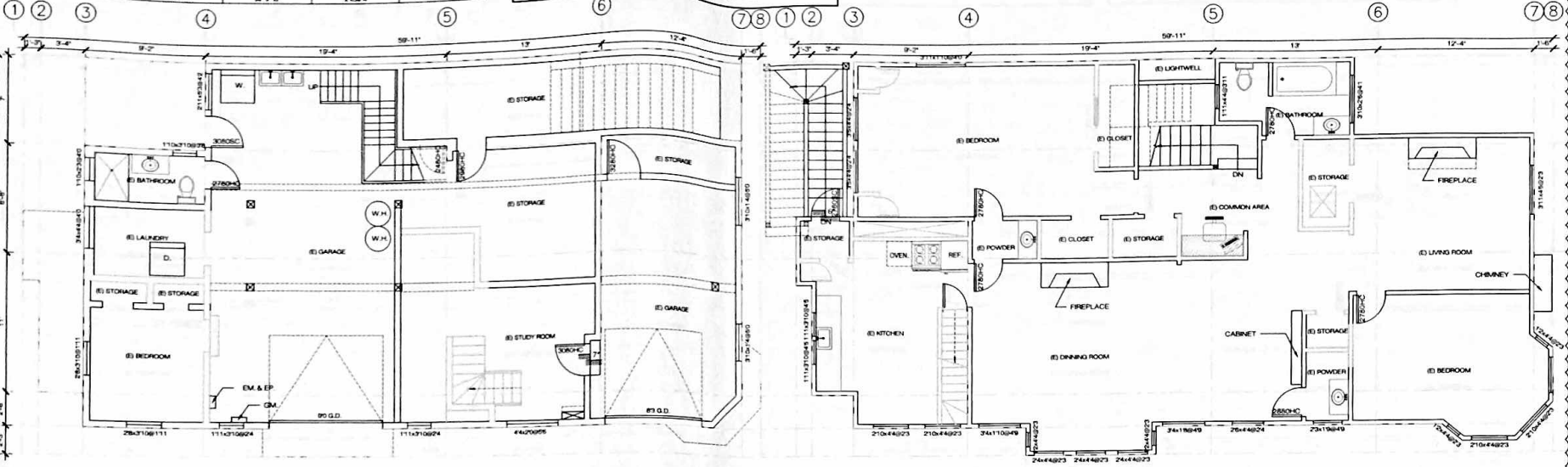
APPLICANT:
FU CHAN AND HANG CHAN

1550-1552 LAKE STREET,
SAN FRANCISCO, CA 94118

SHEET TITLE:
DEMO PLAN

JOB ADDRESS:
1550-1552 LAKE STREET
SAN FRANCISCO, CA 94118

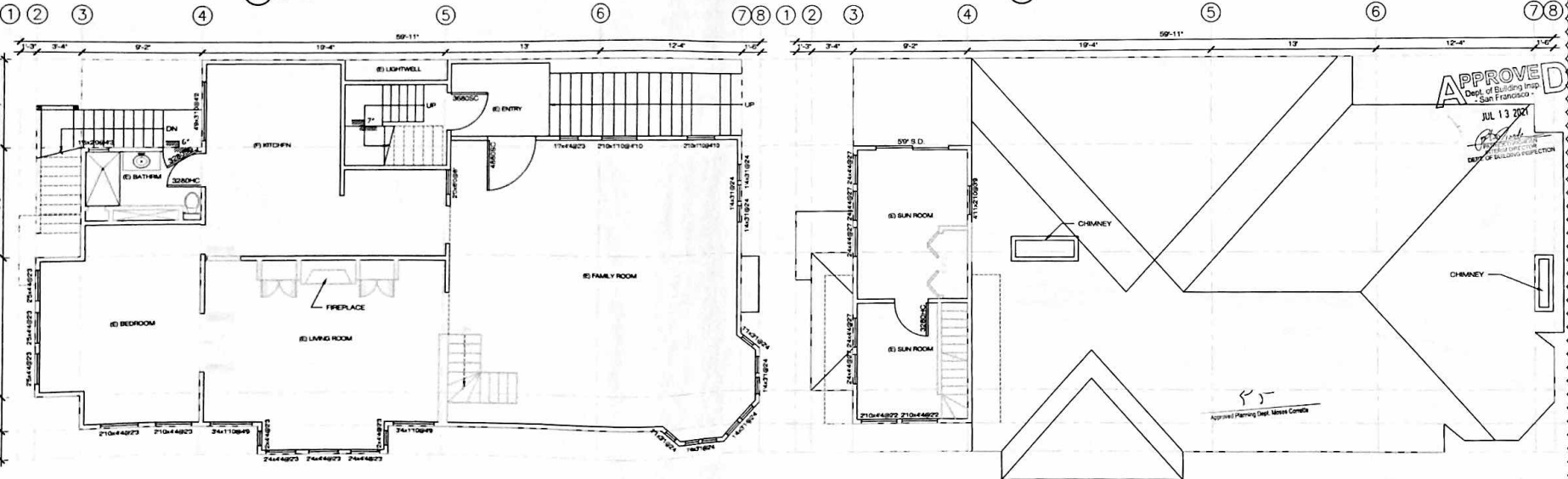
BLOCK/LOT: 1342/012



1 APPROVED 1ST FLOOR DEMO CAL MAP BPA#201901251296
1/4" = 1'-0"
1550-1552 LAKE ST

3 APPROVED 3RD FLOOR DEMO CAL MAP BPA#201901251296
1/4" = 1'-0"
1550-1552 LAKE ST

James Lo, DLI
JUL 13 2021



2 APPROVED 2ND FLOOR DEMO CAL MAP BPA#201901251296
1/4" = 1'-0"
1550-1552 LAKE ST

4 APPROVED 4TH FLOOR DEMO CAL MAP BPA#201901251296
1/4" = 1'-0"
1550-1552 LAKE ST



NO.	REVISIONS/SUBMISSIONS
▲	08/18/2020
▲	10/04/2020
▲	02/23/2021
▲	04/13/2021

DESIGNED BY	PROJECT NO.
W. T. CHOW	191104
DRAWN BY	DATE
W. T. CHOW	10/10/2019
SCALE	CHECKED
A.S. CHOW	C.C.
FILE	REVIEWED
	C.C.
NEW	OPERATOR
2-L	
POST	

A2.5
OF SHEETS

RESIDENTIAL DEMOLITION CALCULATION (1550-1552 LAKE STREET)

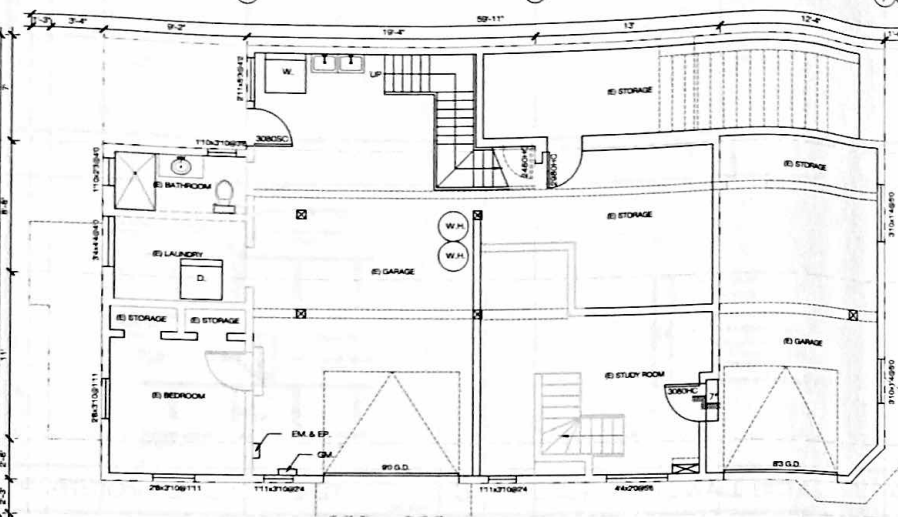
LINEAR ELEMENTS	EXISTING		LINEAL MEASUREMENT		PERCENT REMOVAL UNDER THIS PERMIT		TOTAL EXISTING PERMITS		TOTAL PERCENT REMOVAL UNDER THIS PERMIT	
	EXISTING	REMOVAL UNDER THIS PERMIT	REMOVAL UNDER THIS PERMIT	REMOVAL UNDER PERMIT (BA201901251296)	REMOVAL UNDER THIS PERMIT	REMOVAL UNDER PERMIT (BA201901251296)	12" LF	84" LF	65.0%	65.0%
UPPER LEVEL	36'-1" LF	42'-0" LF	0%	12'-1" LF	75.7%	22'-7" LF	12'-1" LF	84" LF	65.0%	65.0%
2ND LEVEL	199'-1" LF	32'-0" LF	16.0%	52'-0" LF	25.5%	22'-7" LF	37'-5" LF	37'-5" LF	25.5%	25.5%
BASEMENT LEVEL	95'-0" LF	14'-10" LF	15.4%	22'-7" LF	24.5%	36'-5" LF	81'-0" LF	81'-0" LF	24.5%	24.5%
CUMULATIVE TOTAL	140'-2" LF	25'-3" LF	17.8%	36'-5" LF	26.5%	122'-1" LF	195'-0" LF	195'-0" LF	26.5%	26.5%

WALL LEGEND

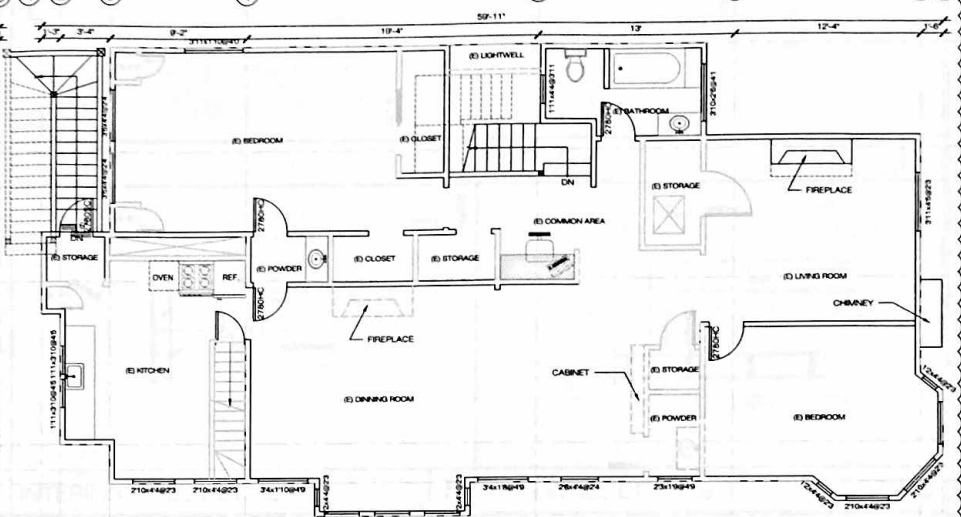
- [Symbol] EXISTING WALL TO REMAIN
- [Symbol] EXISTING NON-BEARING WALL TO BE REMOVED
- [Symbol] NEW PARTITION WALL
- [Symbol] WALL TO BE LEGALIZE
- [Symbol] NEW WALL BEARING WALL
- [Symbol] NEW CONCRETE WALL
- [Symbol] 1 HR. RATED WALL
- [Symbol] 2 HR. RATED WALL
- [Symbol] WALL WITH R13 INSULATION
- [Symbol] KEY NOTES

SHEET LEGEND

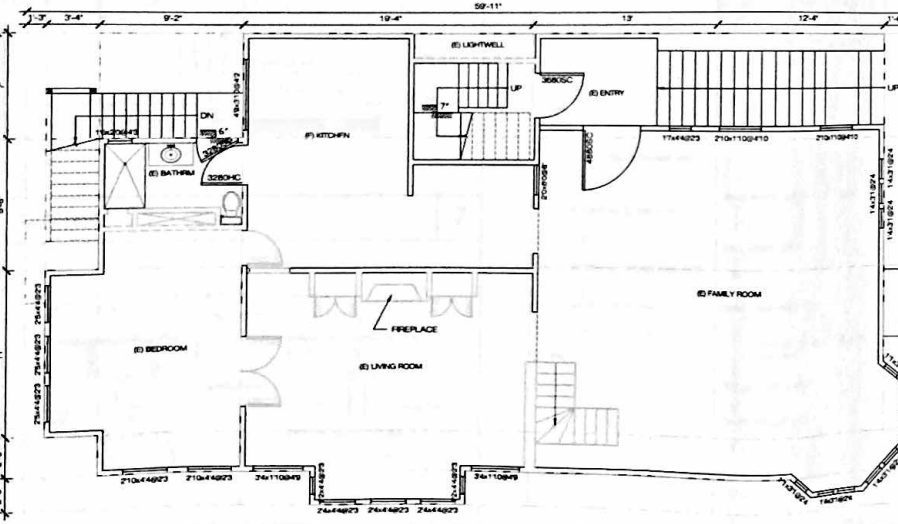
- [Symbol] WALLS REMOVED UNDER PREVIOUS PERMIT (BA201901251296)
- [Symbol] WALLS REMOVED UNDER THIS PERMIT



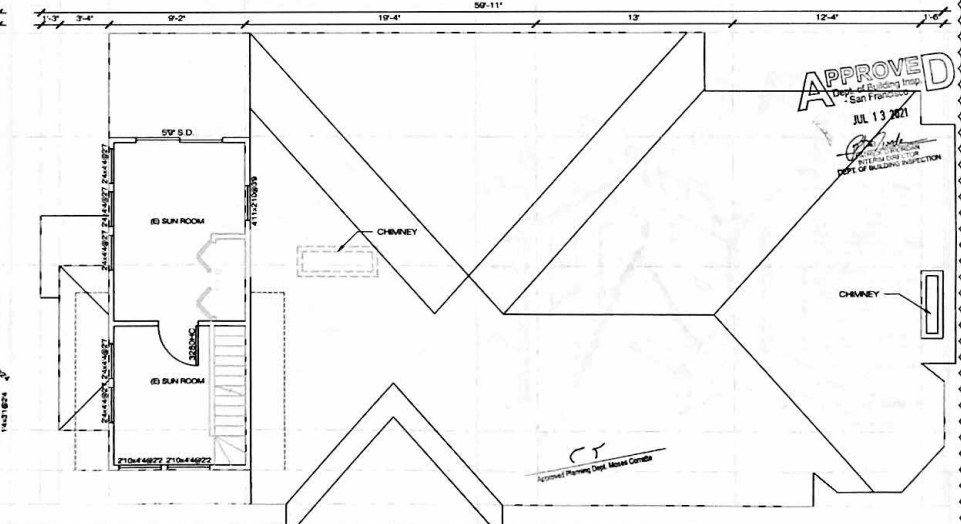
1 1ST FLOOR DEMO CAL MAP
1/4" = 1'-0"



3 3RD FLOOR DEMO CAL MAP
1/4" = 1'-0"



2 2ND FLOOR DEMO CAL MAP
1/4" = 1'-0"



4 4TH FLOOR DEMO CAL MAP
1/4" = 1'-0"



APPLICANT
FU CHAN AND HANG CHAN

1550-1552 LAKE STREET,
SAN FRANCISCO, CA 94118

SHEET TITLE
DEMO PLAN

JOB ADDRESS:
1550-1552 LAKE STREET
SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012

RECEIVED
MAY 03 2021
DEPT. OF BUILDING INSPECTION
STANDARD FOR MARKING
ACCEPTED



NO. REVISIONS/SUBMISSIONS

△	08/18/2020
△	10/04/2020
△	02/23/2021
△	04/13/2021

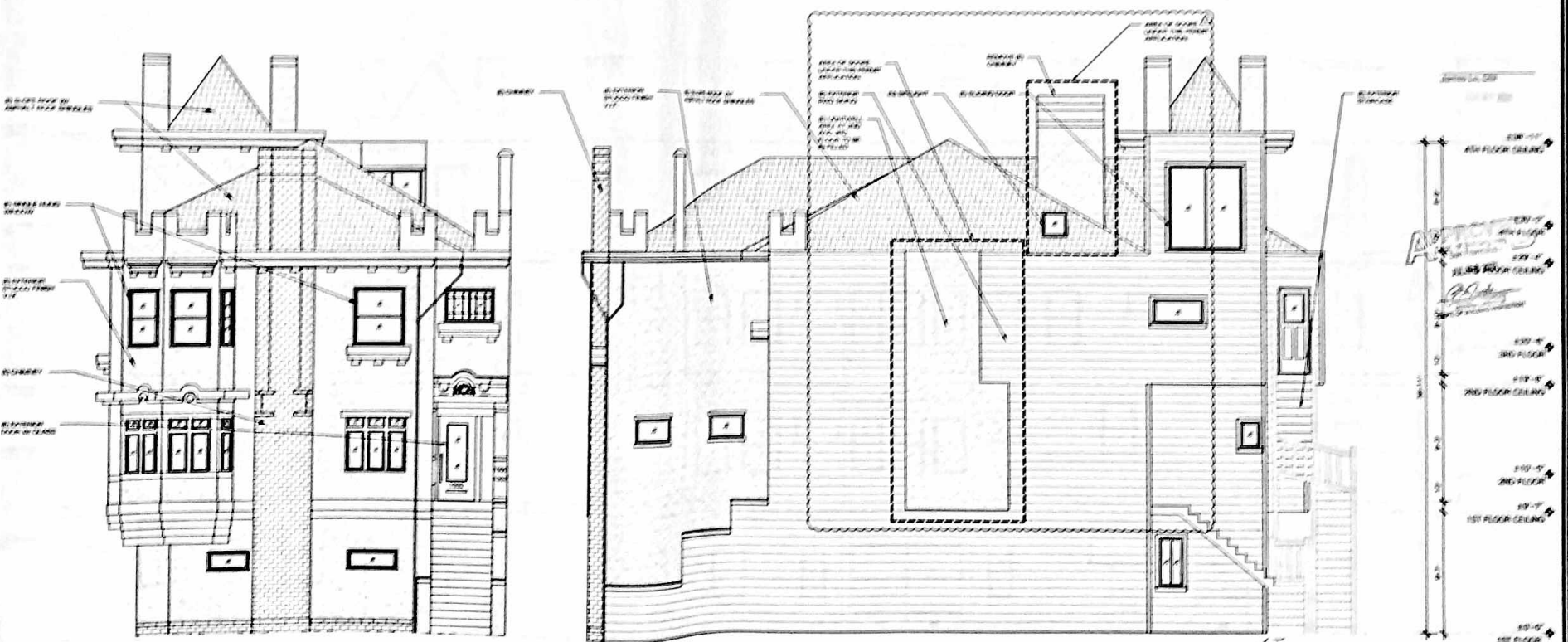
DESIGNED BY PETER CHAN	PROJECT NO. 191004
DRAWN BY PETER CHAN	DATE 10/10/2019
CHECKED BY A.S. SHOWN	CHECKED BY C.C.
FILED BY PETER CHAN	RECEIVED BY C.C.
DATE 7-0	CONSULTANT

A2.6
OF SHEETS



NO.	REVISIONS/DESCRIPTION	DATE
1	SK/12/2015	
2	SK/04/2016	
3	SK/22/2017	
4	SK/11/2018	

DATE	BY	CHECKED BY
12/17/2014	SK	SK
03/14/2016	SK	SK
02/22/2017	SK	SK
08/11/2018	SK	SK



1 APPROVED FRONT ELEVATION BPA#201901251296
 1/8" = 1'-0"
 1550-1552 LAKE ST

2 APPROVED SIDE ELEVATION (EAST) BPA#201901251296
 1/8" = 1'-0"
 1550-1552 LAKE ST

APPLICANT
FU CHAN AND HANG CHAN
 1550-1552 LAKE STREET,
 SAN FRANCISCO, CA 94118

SHEET TITLE
ELEVATION

JOB ADDRESS:
 1550-1552 LAKE STREET
 SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012

RECEIVED
 MAY 05 2021
 DEPT OF BUILDING SUBJECTS
 TWO PLAN SHEETS THE QUALITY
 STANDARDS FOR REVISIONS
 ACCEPTED FOR REVISION



NO	REVISIONS/SUBMISSIONS
△	08/18/2020
△	10/04/2020
△	02/23/2021
△	04/13/2021

DESIGNED BY	PROJECT NO.
PETER CHOW	181004
DATE	
10/04/2020	
CHECKED BY	PROJECT NO.
PETER CHOW	181004
DATE	
10/04/2020	
SCALE	CHECKED BY
AS SHOWN	PETER CHOW
DATE	DATE
10/04/2020	10/04/2020
SCALE	C.C.
AS SHOWN	C.C.
DATE	C.C.
10/04/2020	C.C.
SCALE	CONSULTANT
AS SHOWN	
DATE	
10/04/2020	

A4.1
 OF SHEETS



1 APPROVED REAR ELEVATION BPA#201901251296
 1/4" = 1'-0" 1550-1552 LAKE ST

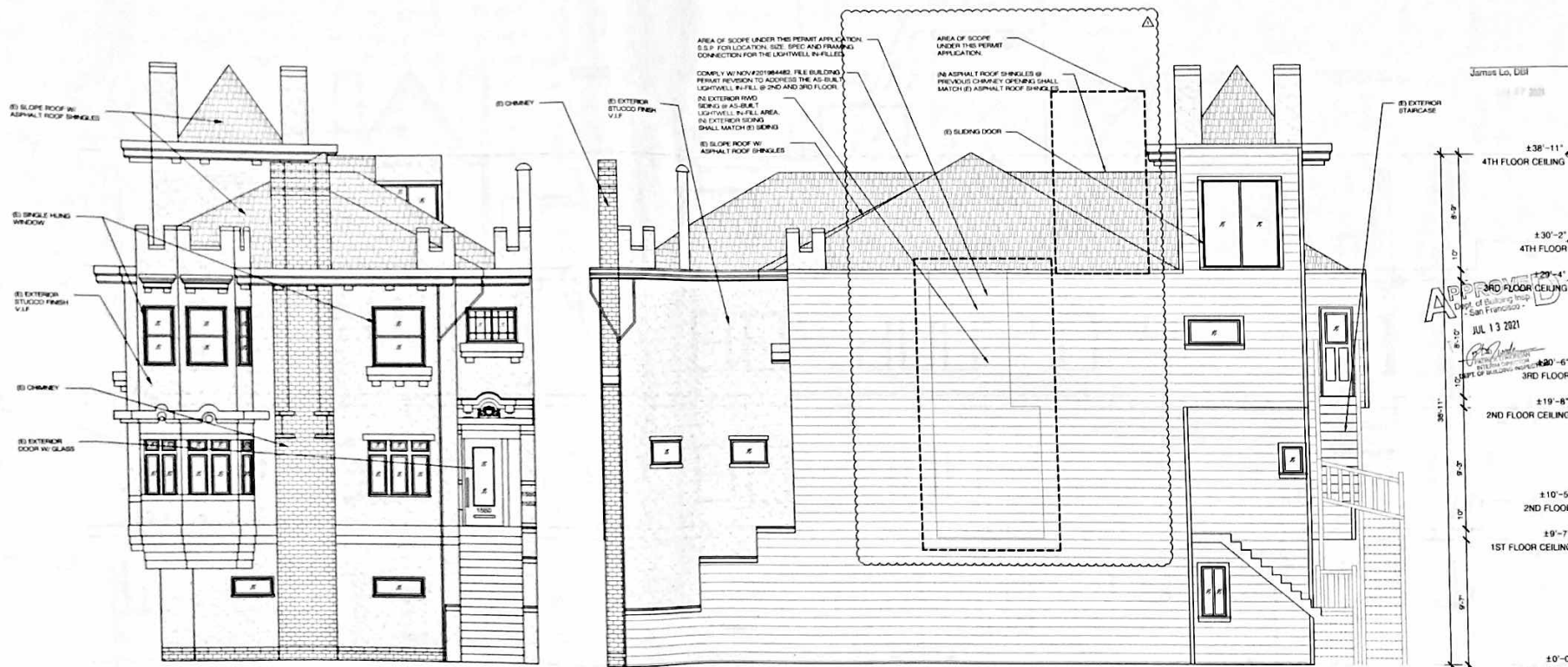
2 APPROVED SIDE ELEVATION (WEST) BPA#201901251296
 1/4" = 1'-0" 1550-1552 LAKE ST

Approved Planning Dept. Manual Contents



1	08/18/2020
2	10/04/2020
3	02/23/2021
4	04/13/2021

DESIGNED BY	PROJECT NO.
PETER CHOW	191004
DRAWN BY	DATE
PETER CHOW	10/10/2019
CHECKED BY	CHECKED BY
ASL SHOWN	C.C.
FILED	REVIEWED
FILED	REVIEWED
FILED	REVIEWED
FILED	REVIEWED
FILED	REVIEWED



1 PROPOSED FRONT ELEVATION (NORTH)
 1/4" = 1'-0"
 1550-1552 LAKE ST

2 PROPOSED SIDE ELEVATION (EAST)
 1/4" = 1'-0"
 1550-1552 LAKE ST

Approved Planning Dept. Marko Compton

603 San Francisco Green Building Ordinance Final Form for Residential Alteration + Addition Projects



APPLICANT:
FU CHAN AND HANG CHAN
1550-1552 LAKE STREET,
SAN FRANCISCO, CA 94118

SHEET TITLE:
ELEVATION

JAMES LO, DEL
18.7.2021
JOB ADDRESS:
1550-1552 LAKE STREET
SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012



NO.	REVISIONS/SUBMISSIONS
△	06/18/2020
△	10/04/2020
△	02/23/2021
△	04/13/2021

ISSUED BY	PROJECT NO.
IN-TER CHAN	19P004
SAK	10/04/2020
IN-TER CHAN	10/10/2019
CHEN	DRAWN
AL SHOHAN	CHECKED
ALL	REVIEWED
CSO	CONSULTANT
SHEET	

A4.3
SHEETS



1 PROPOSED REAR ELEVATION (SOUTH)
1/4" = 1'-0"
1550-1552 LAKE ST

2 PROPOSED SIDE ELEVATION (WEST)
1/4" = 1'-0"
1550-1552 LAKE ST

James Lo, Del
18.7.2021

GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

Form version: March 11, 2020 (for permit applications January 2020 - December 2021)



- INSTRUCTIONS:**
- Fill out the project information in the Verification box at the right.
 - Submittal must be a minimum of 11" x 17".
 - This form is for permit applications submitted January 2020 through December 2021.

	TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT	OTHER RESIDENTIAL ALTERATIONS + ADDITIONS
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	if applicable
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	.
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	.
	CAPILLARY BREAK SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	.
	MOISTURE CONTENT	CALGreen 4.505.3	Wall + floor <19% moisture content before enclosure.	.
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	.
MATERIAL EMISSIONS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-4 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	.
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec. 12A.10	Meet flush/flow requirements for: toilets (1.28 gpf), urinals (0.125 gpf wall, 0.5 gpf floor), showerheads (1.8 gpm), lavatories (1.2 gpm private, 0.5 gpm public/common), kitchen faucets (1.8 gpm), wash fountains (1.8 gpm); metering faucets (0.2 gpc); food waste disposers (1 gpm/gallon). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec. 12A.10.	.
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	If modified landscape area is ≥1,000 sq. ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≥2,500 sq. ft. of landscape area.	.
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.	.
PARKING	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.	if applicable
RESOURCE RECOVERY	RECYCLING BY OCCUPANTS	SF Building Code 106A.3.3, CALGreen 5.410.1, AB-688	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials.	.
	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	Environment Code ch. 14, SFGBC 4.103.2.3, CALGreen 4.408.2, 4.408.5	Construction Discards Management - 100% of mixed debris must be taken by a Registered Transporter to a Registered facility and processed for recycling. Demonstrate ≥65% recovery. See www.dta.org for details.	.
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained in best practices.	.
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	.
GOOD NEIGHBOR	BIRD-SAFE BUILDINGS	Planning Code sec. 139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	.
	TOBACCO SMOKE CONTROL	Health Code art.19F	Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	.
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq. ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq. ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if project extends outside envelope
	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope
INDOOR AIR QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent HVAC duct/equipment stored onsite before installation.	.

VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.

Chan's Residency

PROJECT NAME: Chan's Residency

BLOCKLOT: 1342 / 012

ADDRESS: 1550-1552 Lake Street

PRIMARY OCCUPANCY: R-3

GROSS BUILDING AREA: 2,852 sq. ft.

INCREASE IN CONDITIONED FLOOR AREA: 2,852 sq. ft.

I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

PETER CHOW
LICENSED PROFESSIONAL (sign & date)
May be signed by applicant when <1,000 sq. ft. is added.

AFFIX STAMP BELOW:

Projects that increase total conditioned floor area by ≥1,000 sq. ft.: Green Building Compliance Professional of Record will verify compliance.

JUL 13 2021

GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #)

FIRM:

I am a LEED Accredited Professional

I am a GreenPoint Rater

I am an ICC Certified CALGreen Inspector

GREEN BUILDING COMPLIANCE PROFESSIONAL (sign & date)

Signature by a professional holding at least one of the above certifications is required if the Licensed Professional does not hold a certification for green design and/or inspection. This section may be completed by another party who will verify applicable green building requirements are met.

FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY

Each fixture must not exceed CALGreen 4.303 maximum flow rates:

FIXTURE TYPE	MAXIMUM FLOW RATE
Showerheads	1.8 gpm @ 80 psi
Lavatory Faucets	1.2 gpm @ 80 psi
Kitchen Faucets	1.8 gpm @ 80 psi default
Wash Faucets	1.8 gpm / 25 psi (max) @ 80 psi
Metering Faucets	20 gallons per cycle
Tank-type water closets	1.28 gallons / flush and EPA WaterSense Certified
Flushometer valve water closets	1.28 gallons / flush
Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush

Water Efficiency of Existing Non-Compliant Fixtures

All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program brochure, available at SFPUC.org.

NON-COMPLIANT PLUMBING FIXTURES INCLUDE:

- Any toilet manufactured to use more than 1.6 gallons/flush
- Any urinal manufactured to use more than 1 gallon/flush
- Any showerhead manufactured to have a flow capacity of more than 2.5 gpm
- Any water faucet that emits more than 2.2 gpm

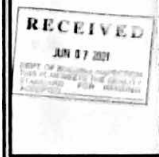
Exceptions to this requirement are limited to situations where replacement of fixtures would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

NOTES:

- For dual flush toilets, effective flush volume is defined as the compressed, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High-Efficiency Toilet Specification - 1.28 gal (4.8L).
- The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1).

APPLICANT: FU CHAN AND HANG CHAN
1550-1552 LAKE STREET, SAN FRANCISCO, CA 94118

SHEET TITLE: GS-5



JOB ADDRESS: 1550-1552 LAKE STREET, SAN FRANCISCO, CA 94118

BLOCKLOT: 1342/012

JUN 17 2021



DATE: 06/18/2020
DATE: 10/29/2020
DATE: 09/13/2021
DATE: 06/17/2021

DATE: 06/17/2021

GS5



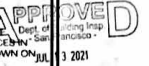
APPLICATOR: FU CHAN AND HANG CHAN

1552-1552 LAKE STREET, SAN FRANCISCO, CA 94118

STRUCTURAL NOTE

JOB ADDRESS: 1552-1552 LAKE STREET SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012



James Lo, DSI



Table with columns: NO, REVISIONS/SUBMISSIONS, DATE

Table with columns: DATE, TIME, NAME, TITLE, FILE, SHEET

S1.0

CONCRETE MASONRY UNIT (CMU)

- 1. CONCRETE BLOCK SHALL BE HOLLOW, LOAD-BEARING CONCRETE MASONRY UNITS CONFORMING TO ASTM C90, GRADE N-1. MORTAR SHALL BE TYPE S. GROUT SHALL FOLLOW CONCRETE REQUIREMENTS, EXCEPT FOR SLUMP REQUIREMENT.
2. REQUIRED DESIGN STRENGTH fm = 2500 PSI. PROVIDE CONCRETE MASONRY UNITS AND GOUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND TYPE S MORTAR PER TMS402.11/1133 REQUIREMENTS. AT CONTRACTOR'S OPTION, STRENGTH MAY BE ESTABLISHED BY PRISM TEST PER TMS401.1-1/13.
3. USE OPEN END UNITS, BOND BEAM UNITS AT HORIZONTAL REINFORCING UNITS SHALL BE PLACED IN RUNNING BOND PATTERN, UNLESS OTHERWISE NOTED.
4. REINFORCING BARS IN MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ASTM A618, GRADE 60. LAP SPICES IN HORIZONTAL REINFORCING SHALL BE 40 DIAMETERS OR 2' MINIMUM TYPICAL, UNLESS OTHERWISE NOTED ON PLAN. VERTICAL REINFORCING TO BE ONE PIECE, NO SPLICE, UNLESS OTHERWISE NOTED ON PLANS.
5. LOW LIFT CONSTRUCTION, MAXIMUM GROUT POUR HEIGHT IS 4 FEET.
6. ALL CELLS IN CONCRETE BLOCKS SHALL BE FILLED SOLID WITH GROUT, EXCEPT AS NOTED IN THE DRAWINGS OR SPECIFICATION.
7. CELLS SHALL BE IN VERTICAL ALIGNMENT. DOWELS SHALL BE SET TO ALIGN WITH CORES CONTAINING REINFORCING STEEL.
8. ALL ISOLATED BOLTS EMBEDDED IN MASONRY SHALL BE GROUTED SOLIDLY IN PLACE WITH NOT LESS THAN 2" OF GROUT SURROUNDING THE BOLT.
9. REFER TO ARCHITECTURAL DRAWINGS FOR SURFACE AND HEIGHT OF UNITS, LAYING PATTERN AND JOINT TYPE.
10. CONTINUOUS SPECIAL INSPECTION AND TESTING IS REQUIRED FOR ALL MASONRY WORK (WHERE APPLICABLE).
11. PLACE THE VERTICAL REINFORCING IN THE CENTER OF WALL UNLESS OTHERWISE NOTED ON DRAWING.

REINFORCING STEEL

- 1. ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318 LATEST APPROVED EDITION), AND THE ACI DETAILING MANUAL AS MODIFIED BY THE PROJECT DRAWINGS AND SPECIFICATIONS.
2. REINFORCING BARS SHALL CONFORM TO ASTM A-618, GRADE 60, FOR #4 BARS AND LARGER (GRADE 40 FOR #3 AND SMALLER).
3. ALL SPLICES SHALL BE 48 DIA. MINIMUM LAP, STAGGERED UNLESS OTHERWISE NOTED. 1/2" MINIMUM BETWEEN PARALLEL BAR.
4. REINFORCING SHALL BE PLACED IN RELATION TO POSITION SHOWN ON THE DRAWINGS. NO SMOOTHER REINFORCING WILL BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
5. PROVIDE FOUNDATION DOWELS TO MATCH SIZE AND SPACING OF WALL REINFORCEMENT. EXTEND DOWELS 40 DIA. MINIMUM INTO WALL. ANTERIOR WALLS WITH TOP OF STANDING HOOP 3' ABOVE BOTTOM OF FOOTING UNLESS NOTED OTHERWISE.
6. MINIMUM COVER TO REINFORCING: 3" WHERE CONCRETE IS POURED AGAINST EARTH; 2" WHERE EXPOSED TO EARTH BUT PLACED IN FORMS; 2" WHEN EXPOSED TO WEATHER. COVER NOT TO BE LESS THAN 1" WHERE NOT EXPOSED TO EARTH OR WEATHER.
7. THE ANCHORS MUST BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS GIVEN IN THE ICC RESEARCH COMMITTEE RECOMMENDATIONS FOR THE SPECIFIC ANCHOR.

GENERAL NOTES

- 1. TYPICAL NOTES AND DETAILS ARE PROVIDED TO COVER GENERAL CONSTRUCTION CONDITIONS. THE GENERAL CONTRACTOR SHALL FOLLOW THOSE DETAILS AND NOTES PERTAINING TO THE SPECIFIC NATURE OF WORK TO BE PERFORMED.
2. NOTES AND DETAILS ON THESE STRUCTURAL DRAWINGS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. ALL CASE SHOWN IN DIAGRAMMATIC FORM ARE NOT TO BE SCALED (SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS, SLOPES, FINISHES, ETC.). CONSTRUCTION DETAILS NOT SHOWN OR SPECIFICALLY NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS AND SAFETY REQUIREMENTS.
3. DISCREPANCIES - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS (WHERE APPLICABLE) AT THE JOB SITE AS WELL AS THE PROVISIONS OF THE ENTIRE CONSTRUCTION DOCUMENTS AND BRING TO THE ARCHITECTS AND ENGINEERS ATTENTION ANY DISCREPANCY IN THE EVENT OF A DISCREPANCY IN THE STRUCTURAL CONSTRUCTION DOCUMENTS, THE NOTE OR DETAIL UTILIZING THE STRICHER REQUIREMENT SHALL APPLY.
4. EXCAVATION, SHORING, AND BRACING - IT SHALL BE THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORM WORKS, ETC., AS REQUIRED FOR PROTECTION OF LIFE AND PROPERTY, TO SUPPORT ANY CONSTRUCTION LOADS, AND TO MAINTAIN ALL BUILDING COMPONENTS SAFELY IN PLACE PRIOR TO THEIR FINAL ASSEMBLY AND ANCHORAGE INTO THE COMPLETED STRUCTURE.
5. INSPECTIONS - ALL INSPECTION AND TESTING SHALL BE PERFORMED ACCORDING TO BUILDING CODE AND/OR LOCAL BUILDING DEPARTMENT REQUIREMENTS.
6. COORDINATION - REFER TO THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND ALL OTHER PERTINENT DRAWINGS FOR THE SIZE AND LOCATION OF PIPE, DUCT, GUT AND ALL OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.

EPOXY NOTES

- 1. ALL REINFORCING DOWELS OR THREADED ROD DOWELS INDICATED IN THE CONSTRUCTION DOCUMENTS TO BE SET INTO HOLES FILLED WITH EPOXY ADHESIVE SHALL BE COVERED BY THE PROVISIONS OF THIS SECTION AS WELL AS THE SPECIFIC INSTALLATION PROVISIONS REQUIRED BY THE PRODUCT MANUFACTURER AND APPLICABLE ICC-ES EVALUATION REPORT REQUIREMENTS.
2. ACCEPTABLE PRODUCTS ARE AS FOLLOWS:
A. HILTI-HIT-RE500 SD ADHESIVE ANCHOR SYSTEM, ICC ESR-2322
B. SET-XP ADHESIVE HIGH STRENGTH EPOXY, ICC ESR-2506 SIMPSON STRONG-TIE COMPANY, INC.
3. PROVIDE DRILLED HOLES OF DIAMETER AND DEPTH SPECIFIED BY THE PRODUCT MANUFACTURER FOR THE DOWEL SIZE SPECIFIED IN THE CONSTRUCTION DOCUMENTS OR OF DIAMETER AND DEPTH SPECIFIED IN THE CONTRACT DOCUMENTS, WHICHEVER IS GREATER WHEN DEPTH OF EMBEDMENT IS CONSIDERED. THOROUGHLY CLEAN HOLE OF CONCRETE DUST WITH BRUSH AND OIL-FREE COMPRESSED AIR. INJECT ADHESIVE PER MANUFACTURER'S SPECIFICATION.
4. ENCOUNTERING EXISTING REINFORCING DURING DRILLING - CONTRACTOR SHALL ADJUST ANGLE OF HOLE OR RELOCATE HOLE 1'-1" AWAY FROM EXISTING REINFORCING. CONSULT STRUCTURAL ENGINEER WHERE THE AFORESAID CONDITION REMEDY CANNOT BE UTILIZED.
5. INSTALLATION - HOLES FOR GROUDED ANCHORS SHALL BE DRILLED WITH A ROTARY HAMMER OR OTHER SUITABLE METHODS TO ENSURE THAT EXISTING REINFORCING IS NOT DAMAGED. ALL GROUDED MISDRILLED OR UNACCEPTABLE HOLES SHALL BE GROUDED SOLID.
6. THE ANCHORS MUST BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS GIVEN IN THE ICC RESEARCH COMMITTEE RECOMMENDATIONS FOR THE SPECIFIC ANCHOR.

RECORD INSPECTIONS BY ENGINEER ON RECORD

THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE ENGINEER THE FOLLOWING REQUIRED INSPECTIONS. AT LEAST 48 HOURS NOTICE SHALL BE GIVEN PRIOR TO THE TIME OF REQUIRED REVIEW.

CONCRETE REINFORCING STEEL - ALL REINFORCEMENT AND STRUCTURAL EMBEDS TO BE IN PLACE AND INSPECTED PRIOR TO PLACING CONCRETE.

A) CONCRETE B) REINFORCEMENT

ROUGH STRUCTURAL FRAMING AND CONNECTION HARDWARE - ALL FRAMING COMPONENTS SHALL BE IN PLACE WITH SPECIFIED CONNECTION HARDWARE INSTALLED PRIOR TO BEING CONCEALED.

FLOOR, WALL, & ROOF PLYWOOD - PLYWOOD SHEATHING SHALL BE INSTALLED WITH PROPER LAYOUT, BLOCKING, & NAILING AS SPECIFIED PRIOR TO BEING CONCEALED.

SPECIAL INSPECTION BY OTHERS

PROVIDE SPECIAL INSPECTION AND TESTING FOR CONCRETE DESIGN STRENGTH EXCEEDING 2,500 PSI PER PCI 1706.3

CONCRETE NOTES

- 1. CONCRETE STRENGTH - PROVIDE CONCRETE WITH THE FOLLOWING STRENGTHS AT THE LOCATIONS NOTED.
LOCATION STRENGTH (PSI AT 28 DAYS) TYP. UNLESS OTHERWISE NOTED 2500
A. ALL CONCRETE AGGREGATE IS HARD ROCK U.O.N. DESIGN MIX SHALL CONTAIN 5-12 SACKS OF CEMENT, MIN (NOT INCLUDING FLY ASH).
B. WITH AGGREGATE SIZE SHALL BE 3/4".
C. MAX WATER/CEMENT RATIO SHALL BE LESS THAN .50
D. MAX SLUMP SHALL BE 4".
E. PROVIDE 4% AIR ENTRAINMENT ADD MIXTURE.
2. REINFORCING STEEL - ASTM A615 WITH THE FOLLOWING STRENGTHS:
SIZE STRENGTH
#3 AND SMALLER GRADE 40 (fy = 40000 psi)
#4 AND LARGER GRADE 60 (fy = 60000 psi)
3. FABRICATE AND PLACE REINFORCEMENT IN ACCORDANCE WITH ACI PUBLICATION SP-66, ACI DETAILING MANUAL - LATEST EDITION.
4. PLACE CONCRETE IN COMPLIANCE WITH ACI 304. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED.
5. CONCRETE COVER FOR REINFORCEMENT FOR NON-PRESTRESSED, CAST IN PLACE CONCRETE SHALL BE AS FOLLOWS:
CONDITION COVER
CAST AGAINST EARTH EXPOSED TO WEATHER #5 AND SMALLER 1 1/2"
#6 AND LARGER SLAB-ON-GRADE 2"

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL TO BE DETAIL, FABRICATED AND ERECTED IN ACCORDANCE WITH LATEST A I S C SPECIFICATION AND SHALL BE ASTM A36, USE AISC SPECS. ALL WELDS SHALL USE 70XX ELECTRODES. ALL BOLTS CONFORM WITH ASTM A307.
1. SHAPES AND PLATES - ASTM A36; TUBES - ASTM A500, GRADE B.
2. MOMENT FRAMES (BEAM, COLUMNS) - ASTM A992 OR A913 (KSI) MOMENT FRAMES (PLATES), A572, Fy=50 KSI, GRADE 50.
3. METAL STUDS, SEE 51.4. NOTES
4. METAL JOISTS, SOKSI
5. ANCHOR BOLTS - ASTM A307
6. PENETRATION REINFORCING - TO MATCH BM, GRADE.
SHEAR CONNECTOR - ASTM A108
7. BOLT - ASTM A307 FOR WOOD CONNECTION, U.O.N. ASTM A325 FOR STEEL CONNECTION, U.O.N.
8. ALL BRACES - ASTM A572, Fy=50 KSI.
9. ALL COLUMN BASE PLATE, ASTM A36, Fy=36 KSI.
10. ALL MISCELLANEOUS STEEL, ASTM A36, Fy=36 KSI.
11. WELDING ELECTRODES - E-70 FOR FULL PEN WELDS USE CHIPPY V-NOTCH WELD, MIN. 20T @ 90°
12. MATERIAL - STANDARD STRUCTURAL SHAPES, BARS, AND PLATES SHALL BE ASTM A36, GRADES A, B, C, D. SHAPES AT MOMENT FRAMES SHALL BE ASTM A992, HSS/STEEL TUBES SHALL BE ASTM A500, GRADES B, C, D. PIPES SHALL BE ASTM A53, TYPE E, GRADE B OR C OR TYPE S, GRADE B.
13. WELDING - USE E70XX ELECTRODES. PERFORM ALL WELDING IN ACCORDANCE WITH AWS CODE. WELDS SHALL BE MADE ONLY BY OPERATORS CERTIFIED BY AWS IN THE TYPE OF WORK INDICATED.
14. BOLTING - USE ASTM A-307 BOLTS TYPICAL, U.O.N.
15. GALVANIZING - PROVIDE WHERE CALLED FOR IN THE STRUCTURAL, ARCHITECTURAL, AND OTHER DRAWINGS. GALVANIZING SHALL CONFORM TO ASTM A-123 FOR ROLLED, PREPRESSED AND FORMED SHAPES AND PLATES. ASTM A-153 FOR HARDWARE ITEMS, AND ASTM A-380 FOR ASSEMBLED STEEL PRODUCTS.
16. PAINTING - AFTER MATERIAL HAS BEEN PROPERLY CLEANED AND TREATED, APPLY SHOP PRIME COAT OF PAINT TO ALL SURFACES THOSE TO RECEIVE FIELD WELDING. PROVIDE TOUCH-UP AT SITE.
17. FABRICATION - ALL STRUCTURAL AND MISCELLANEOUS STEEL BE SPECIFICATION OF THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDING, LATEST EDITION.
18. SHOP DRAWINGS - PROVIDE SHOP DRAWINGS TO ARCHITECT AND ENGINEER TWO WEEKS IN ADVANCE OF FABRICATION INDICATING ALL FIELD CONDITIONS, SHOW ALL CONNECTIONS, REVIEW BY ENGINEER IS FOR GENERAL CONFORMANCE WITH CONTRACT DOCUMENTS AND DOES NOT ASSUME RESPONSIBILITY FOR THEIR ACCURACY.

TIMBER NOTES

- 1. LUMBER SCHEDULE (UNLESS OTHERWISE NOTED ON FRAMING PLANS)
LOCATION USE SIZE/TYPE SPECIES GRADE*
STUDS/LIGHT FRAMING ANY ANY DF NO.2
JOIST/ RIBBING JOIST ANY ANY DF NO.2
BEAM/POST ANY, U.O.N. DF NO.1
SKILL ANY ANY PTD/ PRES. TRID. NO.2
*SPECIFIED GRADES ARE MINIMUM STANDARD, BETTER GRADE MATERIAL IS TO BE USED AS WARRANTED.
2. MOISTURE CONTENT - ALL SOLID SAWN FRAMING LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF INSTALLATION. U.O.N. PREFABRICATED GLULAM BEAMS OR ENGINEERED LUMBER SHALL BE DRY AND PROPERLY PROTECTED DURING CONSTRUCTION TO MINIMIZE MOISTURE INTRUSION.
3. PLYWOOD SHEATHING - IN COMPLIANCE WITH U.S. PRODUCT STANDARD SPI, LATEST EDITION. INSTALLATION WORKMANSHIP SHALL CONFORM TO MANUFACTURERS INSTRUCTION IN THE UNIT AND TO AMERICAN PLYWOOD ASSOCIATIONS DESIGN/CONSTRUCTION GUIDE 'RESIDENTIAL AND COMMERCIAL'. PROCEDURES. THE MINIMUM INSTALLED SHEET DIMENSION SHALL NOT BE LESS THAN 24". WALLS NOT ACCESSIBLE FOR MAINTENANCE SHALL BE COVERED BY MIN C-C GRADE, 1/2" PRESSURE TREATED PLYWOOD. ALL EXTERIOR PLYWOOD SHALL BE PRESSURE TREATED.
4. ROOF SHALL BE 1/2" CDX 5-PLY APA PLYWOOD WITH NAILING AS SHOWN ON PLAN.
FLOOR SHALL BE 3/4" CDX, PLYWOOD WITH 10d @ 6" OC, EDGE, 10c @ FIELD.
WALL PLYWOOD SHALL BE 1/2" CDX, NAILING AS SHOWN ON PLAN. STAGGERED THE NAILING ALONG THE PLYWOOD JOINT AT THE STUD. PROVIDE 3x STUD AND BLOCKING FOR PLYWOOD EDGE WITH NAILING 4" AND CLOSER.
5. NOTCHING, BORING, AND CUTTING OF WOOD MEMBERS SHALL NOT BE ALLOWED EXCEPT AS PROVIDED FOR IN THE 2010 CALIFORNIA BUILDING CODE OR APPROVED BY THE STRUCTURAL ENGINEER.
6. NAILS - COMMON TYPE WITH SIZE AND SPACING IN COMPLIANCE WITH 2010 CALIFORNIA CODE TABLE 2304.9.1 OR AS SPECIFIED ON THE DRAWINGS, WHICHEVER SPECIFICATION IS STRICTER. NAILS SHALL NOT PENETRATE FACE OF PLYWOOD SHEETS MORE THAN FLUSH WITH THE SURFACE. PLYWOOD SHEETS SHALL BE REPLACED WHERE NAILS HAVE PENETRATED THE FACE OF THE PLYWOOD. NAILS SHALL BE FULL ROUND HEAD NAILS (CLIPPED HEAD NAILS, T-NAILS, ETC. ARE NOT ALLOWED).
7. MACHINE BOLTS - ASTM A307 QUALITY INSTALLED THROUGH HOLES 1/16" LARGER THAN SIZE OF BOLT. USE STANDARD CUT WASHERS UNDER HEAD AND NUT UNLESS OTHERWISE NOTED. COUNTERSINK WHERE SPECIFIED NOT MORE THAN THICKNESS OF HEAD AND WASHER. RETIGHTEN PRIOR TO ENCLOSING.
8. LAG SCREWS - INSTALLATION SAME AS MACHINE BOLTS BUT WITH PILET HOLES 2/3 DIAMETER OF SCREW RUD. LEAD HOLES SHALL BE UTILIZED EQUAL TO LENGTH AND DIAMETER OF SMOOTH PORTION OF SHANK.
9. PRESSURE TREATED TIMBER - ALL METAL FASTENERS, FABRICATED, NAILS, BOLTS, WASHERS, NUTS, ETC. IN CONTACT WITH PRESSURE TREATED TIMBER SHALL BE GALVANIZED (10 OZ OF ZINC/SG. FT. OF SURFACE AREA, MIN) THESE LOCATIONS PERMANENTLY EXPOSED TO WEATHER SHALL HAVE THESE COMPONENTS HOT-DIP GALVANIZED (2 OZ OF ZINC/SG. FT. MIN) OR SHALL BE MANUFACTURED FROM TYPE 316L STAINLESS STEEL.
10. MIN. ANCHOR BOLT & MUSSILL - TYPICAL BOLTS WITH MIN. NOMINAL DIAMETER OF 5/8" BOLTS SHALL BE EPOXIED 5" MINIMUM INTO CONCRETE AND SHALL BE SPACED NOT MORE THAN 4 FT. APART, WITH 2 BOLTS PER MUSSILL. PIECE WITH 1" OR MORE THAN 12 IN. OR LESS THAN 7 BOLT DIAMETERS FROM END. MINIMUM MUSSILL SHALL BE 3/6 P.T.D.F. ANCHOR BOLTS SHALL HAVE A 1/4"x3" SQUARE GALVANIZED (300 MIN.) PLATE WASHER BELOW THE NUT.

2016 CALIFORNIA BUILDING CODE TABLE 2304.9.1 FASTENING SCHEDULE

Table with columns: CONNECTION, FASTENING, LOCATION, CONNECTION, FASTENING, LOCATION. Includes rows for wood to wood, wood to concrete, steel to wood, steel to steel, etc.

Notes regarding fastening schedule, including references to building code sections and specific fastening requirements for various materials and conditions.

APPROVED
 13 2021
 [Signature]



NO.	REVISIONS/DESCRIPTION
1	06/18/2020
2	05/14/2020
3	05/13/2021
4	06/11/2021
5	06/17/2021

DESIGNED BY: FU CHAN
 CHECKED BY: HANG CHAN
 DATE: 06/17/2021
 SCALE: AS SHOWN
 SHEET: S2.0

SHEET NOTE - FRAMING

NOTES:
 FOR WATERPROOFING AND DRAINAGE REQUIREMENTS, SEE ARCHITECTURAL DRAWINGS.
 SEE ARCHITECTURAL DRAWINGS FOR EXACT SIZES AND LOCATION OF OPENINGS IN WALLS AND FLOOR AND ROOF. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR THEIR SPECIFIC REQUIREMENTS PRIOR TO ANY FRAMING.
 DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 CONTRACTOR SHALL PROVIDE ALL NECESSARY AND REQUIRED SHOWING AND SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PERFORMING ANY WORK IN AFFECTED AREAS.
 THE FINISH EXCAVATIONS FOR FOUNDATIONS SHALL BE CLEAN AND TRUE TO THE LINE WITH ALL LODGE MATERIAL REMOVED. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AND SHALL BE CHECKED.
 EACH PANEL SHALL BE IDENTIFIED WITH THE GRID-THEORY/NAME OF THE AMERICAN WOOD PRESERVATION ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF THE U.S. PRODUCT STANDARD #1. DO NOT USE ANY PLYWOOD PIECE WITH LEAST DIMENSION OF LESS THAN 2" O.

CONSTRUCTION NOTES:
 EXTERIOR WALL: 2x4 @ 16" O.C.
 INTERIOR WALL: 2x4 @ 16" O.C.
 FLOOR: 2x4
 CEILING: 2x4
 ROOF: 2x4
 POST: 2x4 @ 16" O.C. OR ALL PSL POSTS SHALL BE PARALLEL PSL 1.8E FC=2400 PSI E=1800 KSI
 2x4 FOR GABLE 1.8E UNFINISHED BEAMS
 2x4 FOR CANTILEVERED BEAMS
 GABLE UNFINISHED BEAMS SHALL BE PERFORMED BY AN APPROVED FABRICATOR SHOP IN ACCORDANCE WITH IRC 1701.7.0 (NO 2x4 @ 3")
 GABLE UNFINISHED BEAM INSPECTION CERTIFICATE SHALL BE SUBMITTED TO THE FIELD INSPECTION PRIOR TO COMPLETION OF THE FINAL INSPECTION IN ACCORDANCE WITH IRC 1704.6.0.
 WALL: P 2x4 OR P PLYWOOD G
 FLOOR SHEATHING: P 2x4 1/2" IN 2x4 GABLE & HALL, 1/2" IN HALL & 3/4" IN ROOM, 1/2" IN FIELD
 ROOF: P 2x4 1/2" IN 2x4 GABLE & HALL, 1/2" IN HALL & 3/4" IN ROOM, 1/2" IN FIELD

DRAWING LEGEND

- STUD WALL BELOW REFERENCE LEVEL
- STUD WALL ABOVE REFERENCE LEVEL
- EXISTING CONCRETE FOOTING
- NEW CONCRETE CONCRETE FOOTING (SEE PLAN FOR SIZE AND LOCATION)
- RETAINING WALL (SEE PLAN FOR SIZE AND LOCATION)
- DEMOTES TOP PLYWOOD LENGTH OF PLYWOOD WALL BELOW REFERENCE LEVEL. SEE SHEAR WALL SCHEDULE FOR DETAIL. U N O
- DEMOTES NEW HEADER (E.P.F.) UNLESS NOTED OTHERWISE
- DEMOTES EXISTING HEADER (E.P.F.) UNLESS NOTED OTHERWISE
- DEMOTES NEW JOIST (E.P.F.) UNLESS NOTED OTHERWISE
- DEMOTES EXISTING JOIST (E.P.F.) UNLESS NOTED OTHERWISE
- DEMOTES NEW BEAM (E.P.F.) UNLESS NOTED OTHERWISE
- DEMOTES EXISTING BEAM (E.P.F.) UNLESS NOTED OTHERWISE
- DEMOTES HOLD HOLLOWAY AT REFERENCE LEVEL
- DEMOTES HOUR HOLLOWAY AT REFERENCE LEVEL
- DEMOTES HOUR HOLLOWAY AT REFERENCE LEVEL
- DEMOTES HOUR HOLLOWAY AT REFERENCE LEVEL
- DEMOTES POST AT REFERENCE LEVEL (S.F.O.)
- DEMOTES POST BELOW REFERENCE LEVEL (S.F.O.)
- DEMOTES METAL POST AT REFERENCE LEVEL (S.F.O.)
- DEMOTES METAL POST BELOW REFERENCE LEVEL (S.F.O.)

CONSTRUCTION NOTE

ALL EXTERIOR TIMBER AND GLULAM BEAMS OTHER THAN REDWOOD SHALL BE PRESURE TREATED.
 ALL NEW LUMBER SHALL BE #1
 ALL PLYWOOD SHALL BE OF AN EXTERIOR GRADE.
 PRESSURE TREATED LUMBER PRODUCTS REQUIRED HOT DIPPED GALVANIZED CORNERS, NAILS, SCREWS, AND BOLTS.
 ALL EXPOSED MEMBERS SHALL BE COATED WITH A ZINC RICH FINISH.
 IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ALL WORK REQUIRED FOR WATERPROOFING AND ASSOCIATED FLASHING, CALKING, SEALING, AND TOLERANCES.
CARPENTRY:
 ALL FRAMING MEMBERS SHALL BE DOUBLE END (E.P.F.)
 ALL WALL MEMBERS IN CONTACT WITH CONCRETE & EXPOSE TO WEATHER SHALL BE PRESURE TREATED (E.P.F.)
FOUNDATIONS:
 BARS SHALL CONFORM TO ASTM A615 GRADE 60 FOR #3 AND GREATER (E.P.F.)
 CONCRETE SHALL BE READY MIXED CONFORMING TO ASTM C94 AND PROVIDE MIN. 2800 PSI STRENGTH @ 28 DAYS
WATERPROOFING:
 ALL WATERPROOFING SHALL BE HOT TOP GALVANIZED 2-MAX OR 37 ANCHOR STEEL FOR ALL PRESURE TREATED LUMBER.
BRACE WALLS OR SHEAR WALLS:
 BRACE WALLS OR SHEAR WALLS AS SHOWN ON PLAN ARE ACCEPTED BY BUILDING DEPARTMENT BASED ON UNFINISHED PREScriptive APPROACH FOR WALLS. GREAT STRENGTH CONNECTIONS FOR PROVIDING ADEQUATE LEVEL EARTHQUAKE FORCE. PER THE DESIGNER'S NOT TO CLASH WITH 2018 CALIFORNIA BUILDING CODE (CBC) PROVISIONS FOR DESIGN EARTHQUAKE FORCES.

DESIGN DATA

Design conforms to the 2016 California Building Code

Design Use Level
 Roof (non-sloped) 35 PSF
 Residential Floor 45 PSF

Design Flood Level
 Roof (non-sloped) 15 PSF
 Residential Floor 13 PSF

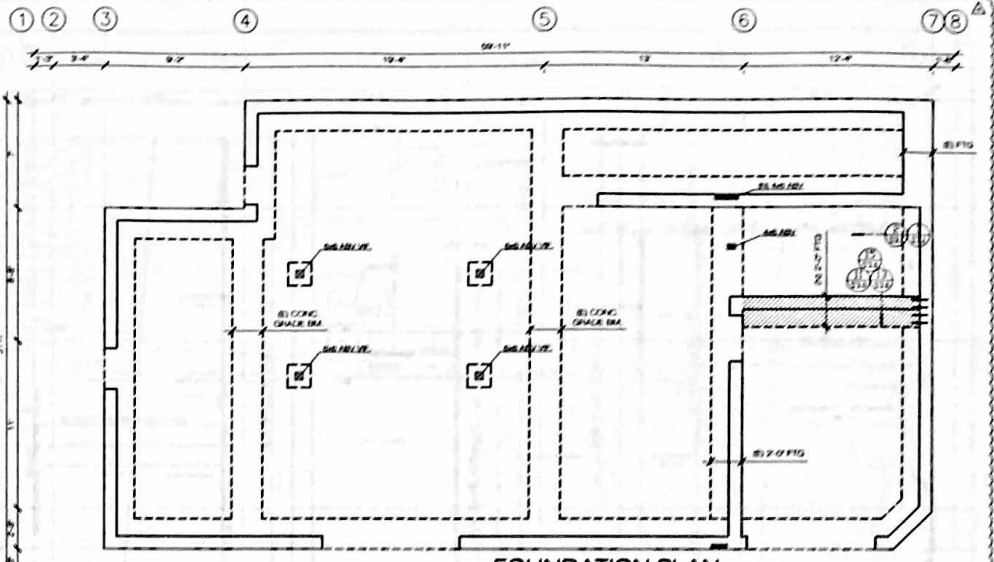
Wind Design Criteria
 Basic Wind Speed 110 MPH
 Exposure B

Seismic Design Criteria
 Latitude = 37.783333N
 Longitude = -122.474444W
 Site Class = I
 S_s = 1.403
 S₁ = 0.776
 S_{0.1} = 1.122
 S_{0.2} = 0.716

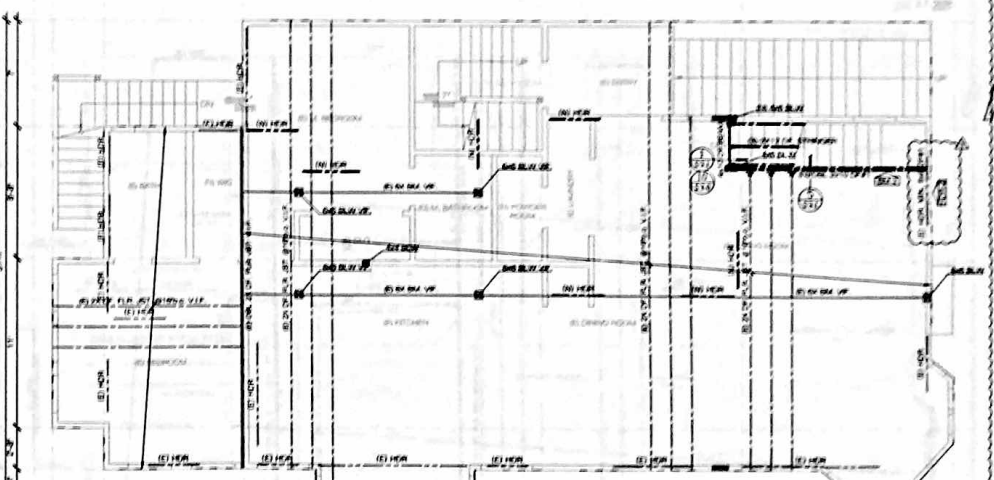
R = 0.5 for attached shear walls
 F = 1.0 for single story
 Design Category = D

SHEET NOTE - FOUNDATION

NOTES:
 FOR WATERPROOFING AND DRAINAGE REQUIREMENTS, SEE ARCHITECTURAL DRAWINGS.
 SEE ARCHITECTURAL DRAWINGS FOR EXACT SIZES AND LOCATION OF OPENINGS IN WALLS AND FLOOR AND ROOF. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR THEIR SPECIFIC REQUIREMENTS PRIOR TO ANY FRAMING.
 DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 CONTRACTOR SHALL PROVIDE ALL NECESSARY AND REQUIRED SHOWING AND SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PERFORMING ANY WORK IN AFFECTED AREAS.
 THE FINISH EXCAVATIONS FOR FOUNDATIONS SHALL BE CLEAN AND TRUE TO THE LINE WITH ALL LODGE MATERIAL REMOVED. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AND SHALL BE CHECKED.



FOUNDATION PLAN



2ND FLOOR FRAMING PLAN

RECEIVED
 JUN 21 2021



NO.	REVISIONS/SUBMISSIONS
1	06/18/2020
2	10/04/2020
3	02/23/2021
4	04/13/2021

REVISED BY	PROJECT NO.
PETER CHOW	191004
DATE	
PETER CHOW	10/10/2019
SCALE	AS SHOWN
FILE	REVISION
DATE	C.C.
BY	CONSULTANT
SHEET	

SHEET NOTE - FRAMING

NOTES
 - FOR WATERPROOFING AND DRAINAGE REQUIREMENTS, SEE ARCHITECTURAL DRAWINGS
 - SEE ARCHITECTURAL DRAWINGS FOR EXACT SIZES AND LOCATION OF OPENINGS IN WALLS AND FLOOR AND ROOF. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR THEIR SPECIFIC REQUIREMENTS PRIOR TO ANY FRAMING.
 - DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY AND REQUIRED SHORING AND SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PERFORMING ANY WORK IN AFFECTED AREAS.
 - THE FINISH EXCAVATIONS FOR FOUNDATIONS SHALL BE CLEAN AND TRUE TO THE LINE WITH ALL LOOSE MATERIAL REMOVED. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AND SHALL BE CHECKED.
 - EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF THE U.S. PRODUCT STANDARD (PS-1). DO NOT USE ANY PLYWOOD PIECE WITH LEAST DIMENSION OF LESS THAN 2'-0".

CONSTRUCTION NOTES:
 - EXTERIOR WALL: 2x6 @ 16" o.c.
 - INTERIOR WALL: 2x4 @ 16" o.c.
 - TOP PLATE: 2x6 @ 16" o.c.
 - EXTERIOR: 2x6 @ 16" o.c.
 - INTERIOR: 2x4 @ 16" o.c.
 - SOLID LAMINATE: 3/4" o.c.
 - EXTERIOR: 3/4" o.c.
 - INTERIOR: 3/4" o.c.
 - POST: 6x6 (U.G.N.) OR ALL PSL POSTS SHALL BE PARALAM PSL-1 BE F₀-2400 PSI E=1800 KSI 2x4-1/4" FOR SIMPLY SUPPORTED BEAMS. 2x4-1/8" FOR CANTILEVERED BEAMS. (GLUE-LAMINATED BEAMS SHALL BE PERFORMED IN AN APPROVED FABRICATOR'S SHOP IN ACCORDANCE WITH CBC 1701.7 CBC 2304.4.3) (GLUE-LAMINATED BEAM INSPECTION CERTIFICATED SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO COMPLETION OF THE FRAME INSPECTION IN ACCORDANCE WITH CBC 1704.6.2)
 - WALL: 2" CDX OR #1 PLYWOOD U.G.N.
 - FLOOR SHEATHING: 2" CDX 1/4" PLYWOOD GLUE & NAIL W/ 10d NAILS @ 6" o.c. EDGE, 10" o.c. FIELD
 - ROOF: 2" CDX 1/4" PLYWOOD GLUE & NAIL W/ 10d NAILS @ 6" o.c. EDGE, 10" o.c. FIELD

DRAWING LEGEND

- STUD WALL BELOW REFERENCE LEVEL
- STUD WALL ABOVE REFERENCE LEVEL
- EXISTING CONTINUE CONCRETE FOOTING
- NEW CONTINUE CONCRETE FOOTING
- SEE PLAN FOR SIZE AND LOCATION
- RETAINING WALL
- SEE PLAN FOR SIZE AND LOCATION
- 1/2" PLYWOOD & LENGTH OF PLYWOOD WALL
- BELOW REFERENCE LEVEL, SEE SHEAR WALL SCHEDULE FOR DETAIL, U.N.O.
- (N)HDR DENOTES NEW HEADER (D.F. #1), UNLESS NOTED OTHERWISE
- (E)HDR DENOTES EXISTING HEADER (V.I.F.), UNLESS NOTED OTHERWISE
- (N)JST DENOTES NEW JOIST (D.F. #1), UNLESS NOTED OTHERWISE
- (E)JST DENOTES EXISTING JOIST (D.F. #1), UNLESS NOTED OTHERWISE
- (N)BM DENOTES NEW BEAM (D.F. #1), UNLESS NOTED OTHERWISE
- (E)BM DENOTES EXISTING BEAM (D.F. #1), UNLESS NOTED OTHERWISE
- DENOTES HOLD DOWN AT REFERENCE LEVEL
- DENOTES HOLD DOWN AT REFERENCE LEVEL
- DENOTES HOLD DOWN AT REFERENCE LEVEL
- DENOTES HOLD DOWN AT REFERENCE LEVEL
- DENOTES POST AT REFERENCE LEVEL (U.N.O.)
- DENOTES POST BELOW REFERENCE LEVEL (U.N.O.)
- DENOTES METAL POST AT REFERENCE LEVEL (U.N.O.)
- DENOTES METAL POST BELOW REFERENCE LEVEL (U.N.O.)

CONSTRUCTION NOTE

ALL EXTERIOR TIMBER AND GLULAM BEAMS OTHER THAN REDWOOD SHALL BE PRESSURE TREATED.
 ALL NEW LUMBER SHALL BE #1
 ALL PLYWOOD SHALL BE OF AN EXTERIOR GRADE.
 PRESSURE TREATED LUMBER PROJECTS REQUIRED HOT DIPPED GALVANIZED CONNECTORS, NAILS, SCREWS, AND BOLTS.
 ALL EXPOSED MEMBERS SHALL BE COATED WITH A ZINC RICH PRIMER.
 IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ALL WORK REQUIRED FOR WATERPROOFING AND ASSOCIATED FLASHING, CAULKING, SEALING, AND TERMINATIONS.
CARRANTRY
 ALL FRAMING MEMBERS SHALL BE DOUGLAS FIR (D.F.)
 ALL WOOD MEMBERS IN CONTACT WITH CONCRETE & EXPOSE TO WEATHER SHALL BE PRESSURE TREATED (P.T.)
FOUNDATION
 BATS SHALL CONFORM TO ASTM A615 GRADE 40 FOR #3 AND GRADE 60 OTHERWISE.
 CONCRETE SHALL BE READY MIXED CONFORMING TO ASTM C94 AND PROVIDE MIN. 2500 PSI STRENGTH @ 28 DAYS.
HARDWARE
 ALL HARDWARE SHOULD BE HOT DIP GALVANIZED, Z-MAX OR STAINLESS STEEL, FOR ALL PRESSURE TREATED LUMBER.
BRACE WALLS OR SHEAR WALLS
 BRACE WALLS OR SHEAR WALLS AS SHOWN ON PLAN ARE ACCEPTED BY BUILDING OFFICIAL BASED ON MODIFIED PRESCRIPTIVE APPROACH FOR WOOD LIGHT-FRAME CONSTRUCTION FOR RESISTING MODERATE LEVEL EARTHQUAKE FORCES ONLY. THE DESIGN DOES NOT COMPLY WITH 2016 CALIFORNIA BUILDING CODE (CBC) PROVISIONS FOR DESIGN EARTHQUAKE FORCES.

DESIGN DATA

Design conforms to the 2016 California Building Code

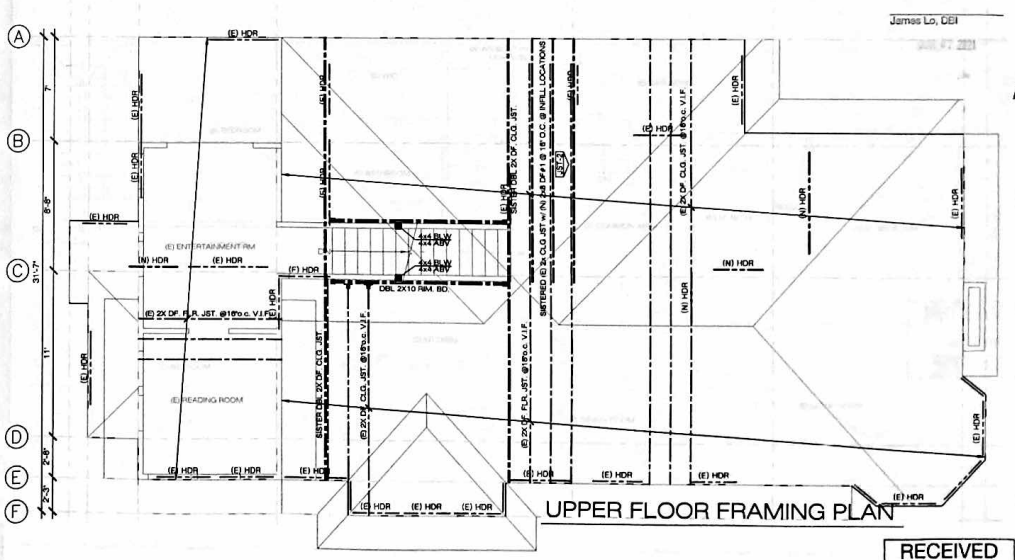
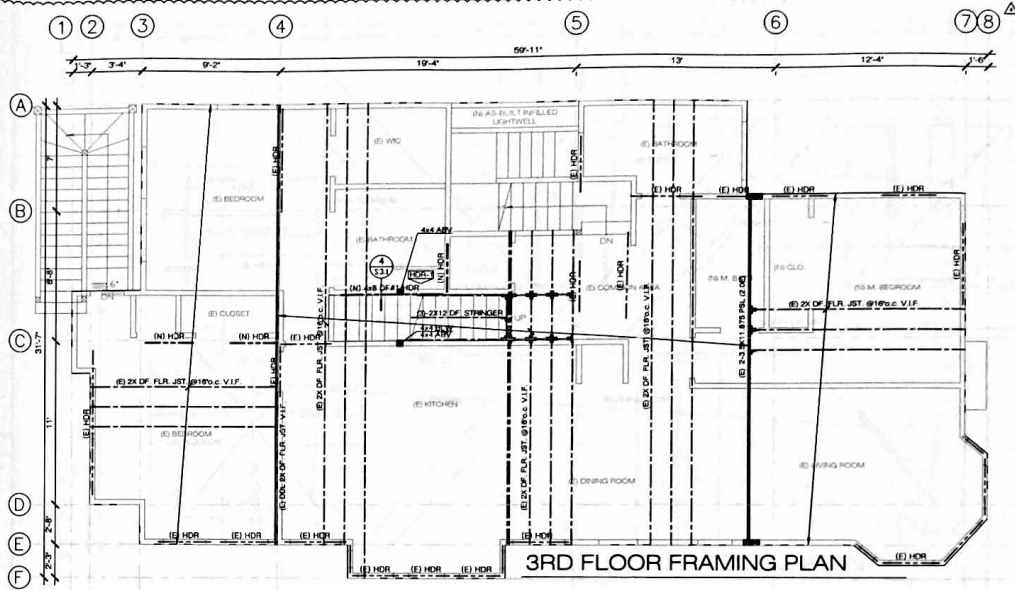
Design Live Load
 Roof (non-sloped) 20 PSF
 Residential Floor 40 PSF

Design Dead Load
 Roof (non-sloped) 15 PSF
 Residential Floor 13 PSF

Wind Design Criteria
 Basic Wind Speed: 110 MPH
 Exposure B

Seismic Design Criteria
 Latitude = 37.782500N
 Longitude = -122.419425W
 Site Class = D
 S_w = 1.683
 S₁ = 0.776
 S_s = 1.172
 S_{0.1} = 0.776

R = 6.5 for plywood shear walls
 F = 1.0 for single story
 Design Category = D



RECEIVED
 JUN 07 2021

SHEET NOTE - FRAMING

- NOTES**
- FOR WATERPROOFING AND DRAINAGE REQUIREMENTS, SEE ARCHITECTURAL DRAWINGS.
 - SEE ARCHITECTURAL DRAWINGS FOR EXACT SIZES AND LOCATION OF OPENINGS IN WALLS AND FLOOR AND ROOF. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR THEIR SPECIFIC REQUIREMENTS PRIOR TO ANY FRAMING.
 - DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY AND REQUIRED SHOWING AND SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PERFORMING ANY WORK IN AFFECTED AREAS.
 - THE FINISH EXCAVATIONS FOR FOUNDATIONS SHALL BE CLEAN AND TRUE TO THE LINE WITH ALL LOOSE MATERIAL REMOVED. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AND SHALL BE CHECKED.
 - EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF THE U.S. PRODUCT STANDARD PS-1. DO NOT USE ANY PLYWOOD PEGS WITH LEAST DIMENSION OF LESS THAN 2'-0".
- CONSTRUCTION NOTES**
- EXTERIOR WALL: 2x6 @ 16" o.c.
 - INTERIOR WALL: 2x4 @ 16" o.c.
 - TOP PLATE:
 - EXTERIOR: 2x6
 - INTERIOR: 2x4
 - SOLE PLATE:
 - EXTERIOR: 3x6
 - INTERIOR: 3x4
 - POST:
 - 6x6 (U.N.) OR ALL PSL POSTS SHALL BE PARALAM PSL 1 RE FC-2400 PSI E-1800 KSI
 - 2x4-V8 FOR CANTILEVERED BEAMS
 - GLUE LAMINATED BEAMS SHALL BE PERFORMED IN AN APPROVED FABRICATORS SHOP IN ACCORDANCE WITH CBC 1701.7. CBC 2304.1.3.
 - GLUE LAMINATED BEAM INSPECTION CERTIFICATED SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO COMPLETION OF THE FRAME INSPECTION IN ACCORDANCE WITH CBC 1704.6.2.
 - WALL: 2" CDX OR # PLYWD U.O.N.
 - FLOOR SHEATHING: 2" CDX TAG PLYWD GLE & NAL W/ 10d NAILS @ 16" o.c. EDGE, 10" o.c. FIELD
 - ROOF: 2" CDX TAG PLYWD GLE & NAL W/ 10d NAILS @ 16" o.c. EDGE, 10" o.c. FIELD

DRAWING LEGEND

- STUD WALL BELOW REFERENCE LEVEL
- STUD WALL ABOVE REFERENCE LEVEL
- EXISTING CONTINUE CONCRETE FOOTING
- NEW CONTINUE CONCRETE FOOTING
- SEE PLAN FOR SIZE AND LOCATION
- RETAINING WALL
- SEE PLAN FOR SIZE AND LOCATION
- 1" PLYWOOD & LENGTH OF PLYWOOD WALL
- BELOW REFERENCE LEVEL. SEE SHEAR WALL SCHEDULE FOR DETAIL. U.N.O.
- INHER
- INHER DENOTES NEW HEADER (D.F. #1), UNLESS NOTED OTHERWISE
- (E) HDR
- (E) HDR DENOTES EXISTING HEADER (V.L.F.), UNLESS NOTED OTHERWISE
- (N) JST
- (N) JST DENOTES NEW JOIST (D.F. #1), UNLESS NOTED OTHERWISE
- (E) JST
- (E) JST DENOTES EXISTING JOIST (D.F. #1), UNLESS NOTED OTHERWISE
- (N) BM
- (N) BM DENOTES NEW BEAM (D.F. #1), UNLESS NOTED OTHERWISE
- (E) BM
- (E) BM DENOTES EXISTING BEAM (D.F. #1), UNLESS NOTED OTHERWISE
- HOLD
- HOLD DENOTES HOLD DOWN AT REFERENCE LEVEL
- HOLD
- HOLD DENOTES HOLD DOWN AT REFERENCE LEVEL
- HOLD
- HOLD DENOTES HOLD DOWN AT REFERENCE LEVEL
- HOLD
- HOLD DENOTES HOLD DOWN AT REFERENCE LEVEL
- POST
- POST DENOTES POST AT REFERENCE LEVEL (U.N.O.)
- POST
- POST DENOTES POST BELOW REFERENCE LEVEL (U.N.O.)
- POST
- POST DENOTES METAL POST AT REFERENCE LEVEL (U.N.O.)
- POST
- POST DENOTES METAL POST BELOW REFERENCE LEVEL (U.N.O.)

CONSTRUCTION NOTE

ALL EXTERIOR TIMBER AND GLULAM BEAMS OTHER THAN REDWOOD SHALL BE PRESSURE TREATED.

ALL NEW LUMBER SHALL BE #1.

ALL PLYWOOD SHALL BE OF AN EXTERIOR GRADE.

PRESSURE TREATED LUMBER PRODUCTS REQUIRED HOT DIPPED GALVANIZED CONNECTORS, NAILS, SCREWS, AND BOLTS.

ALL EXPOSED MEMBERS SHALL BE COATED WITH A ZINC RICH PRIMER.

IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ALL WORK REQUIRED FOR WATERPROOFING AND ASSOCIATED FLASHING, CAULKING, SEALING, AND TERMINATIONS.

CARPENTRY:
ALL FRAMING MEMBERS SHALL BE DOUGLAS FIR (D.F.)
ALL WOOD MEMBERS IN CONTACT WITH CONCRETE & EXPOSE TO WEATHER SHALL BE PRESSURE TREATED (P.T.)

FOUNDATION:
BAR SHALL CONFORM TO ASTM A615 GRADE 40 FOR #3 AND GRADE 60 OTHERWISE.
CONCRETE SHALL BE READY MIXED CONFORMING TO ASTM C94 AND PROVIDE MIN. 2500 PSI STRENGTH @ 28 DAYS.

HARDWARE:
ALL HARDWARE SHOULD BE HOT DIP GALVANIZED, 2.0MM OR STAINLESS STEEL FOR ALL PRESSURE TREATED LUMBER.

BRACE WALLS OR SHEAR WALLS:
BRACE WALLS OR SHEAR WALLS AS SHOWN ON PLAN ARE ACCEPTED BY BUILDING OFFICIAL, BASED ON ACCEPTED PREScriptive APPROACH FOR WOOD LIGHT-FRAME CONSTRUCTION FOR RESISTING MODERATE LEVEL EARTHQUAKE FORCES ONLY. THE DESIGN DOES NOT COMPLY WITH 2016 CALIFORNIA BUILDING CODE (CBC) PROVISIONS FOR DESIGN EARTHQUAKE FORCES.

DESIGN DATA

Design conforms to the 2016 California Building Code

Design Live Load

- Roof (non-sloped) 20 PSF
- Residential Floor 40 PSF

Design Dead Load

- Roof (non-sloped) 15 PSF
- Residential Floor 13 PSF

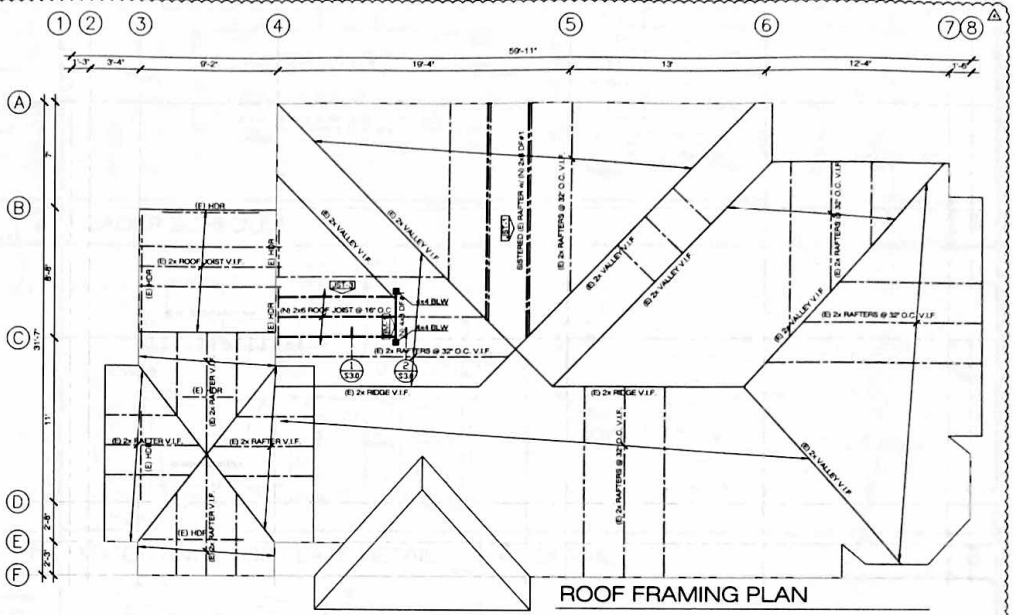
Wind Design Criteria

- Basic Wind Speed: 110 MPH
- Exposure B

Seismic Design Criteria

- Latitude = 37.7833N
- Longitude = -122.4762W
- Site Class = D
- S_s = 1.683
- S₁ = 0.776
- S_{0.1} = 1.122
- S_{0.2} = 0.776

R = 6.5 for plywood shear walls
F = 1.0 for single story
Design Category = D



ROOF FRAMING PLAN

James Lo, DSI

APPROVED

JUN 11 2021

DEPT. OF CONSTRUCTION

RECEIVED

JUN 07 2021



APPLICANT:
FU CHAN AND HANG CHAN

1550-1552 LAKE STREET,
SAN FRANCISCO, CA 94118

SHEET TITLE:
FRAMING PLAN

JOB ADDRESS:
1550-1552 LAKE STREET
SAN FRANCISCO, CA 94118

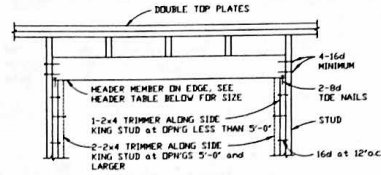
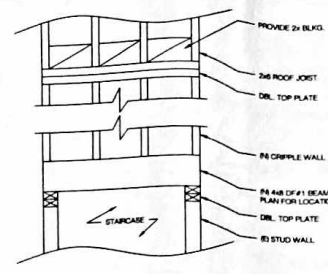
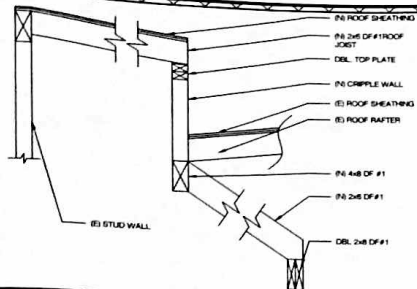
BLOCK/LOT: 1342/012



NO.	REVISIONS/SUBMISSIONS
Δ	08/18/2020
Δ	10/04/2020
Δ	02/23/2021
Δ	04/13/2021

DESIGNED BY	PROJECT NO.
JAMES LO	1550-1552
CHECKED BY	DATE
JAMES LO	10/10/2020
CAL. CHECKED BY	DATE
A.Y. SHAM	02/23/2021
FILED	RECEIVED
NEW	CONSTRUCTION

S2.2



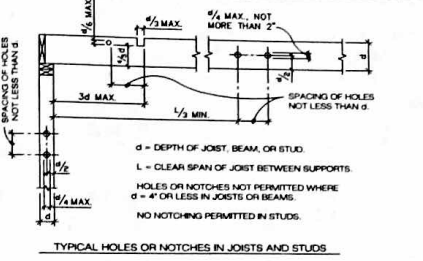
WIDTH OF OPENING	STUD WIDTH SIZE		
	2x4	2x6	2x8
3'-0" MAX.	4x6	6x6	N/A
5'-0" MAX.	4x8	6x8	N/A
8'-0" MAX.	4x10	6x10	N/A
OVER 8'-0"	SEE SPECIFIC DETAILS		

NOTE: MIN. 4x12 MIN. HEADER MAY BE USED IN lieu OF THE HEADERS NOTED IN THE TABLE. OMIT JACK STUDS IF 4x12 IS USED. TOP HEADERS NOTED IN TABLE SHALL BE PROVIDED OVER ALL WINDOWS, DOORS AND OTHER OPENINGS, UNLESS NOTED OTHERWISE AS SHOWN IN WINDOW AND DOOR DETAILS.

FRAMING DETAIL 1 NO SCALE

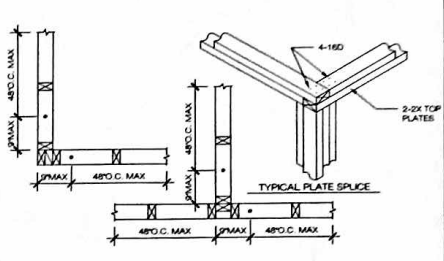
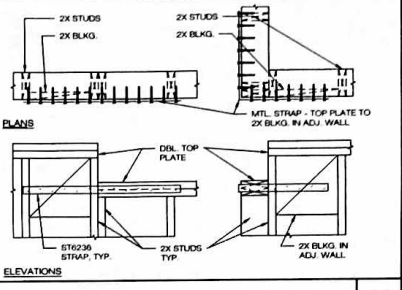
DETAIL 2 NO SCALE

HEADER SCHEDULE 4 NO SCALE



MEMBER SIZE	HANGER TYPE
2x4	L21
2x6	L26
2x8	L28
2x10	L32
4x	NH

NOTES:
1. PROVIDE SKEWED HANGER WHERE REQUIRED.
2. SEE PLAN WHERE NOTED FOR HANGER AT SPECIAL CONDITION.

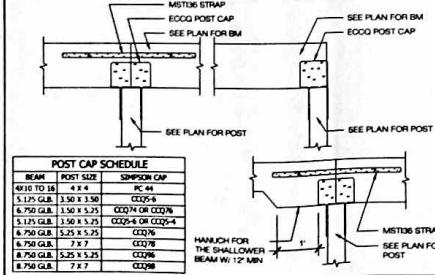
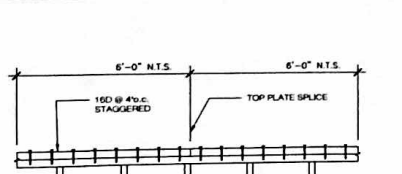


DETAIL 5 NO SCALE

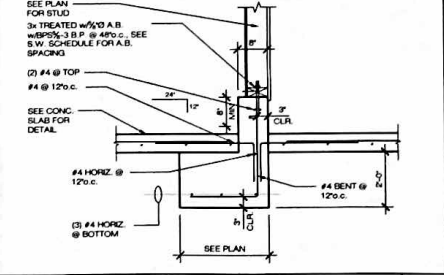
HANGER SCHEDULE 6 NO SCALE

DISCONTINUE TOP PLATE DETAIL 7 NO SCALE

DETAIL 8 NO SCALE



BEAM	POST SIZE	SIMPSON CAP
4#10 TO 18	4 x 4	IC 44
5.175 GLB	3.50 x 3.50	CC24
5.750 GLB	3.50 x 3.75	CC24 OR CC26
5.175 GLB	3.50 x 3.75	CC24 OR CC26
6.750 GLB	5.25 x 5.25	CC26
6.750 GLB	7 x 7	CC26
8.750 GLB	5.25 x 5.25	CC26
8.750 GLB	7 x 7	CC26



RECEIVED
JUN 07 2021
DEPT. OF BUILDING INSPECTION
DIVISION OF BUILDING STANDARDS
400 CALIFORNIA STREET
SAN FRANCISCO, CA 94102

APPROVED
JAMES LO, DCI
JUN 17 2021

TOP PLATE SPLICE 9 NO SCALE

TYP. BEAM SUPPORT SECTION AND CONNECTION 10 NO SCALE

FOOTING DETAIL 11 NO SCALE

STANDARD HOOK DETAILS

1. WHEN SILL IS ON 9" CURB, USE BOLTS IF LONGER THAN TYPICAL.
2. PROVIDE A MINIMUM OF 2 BOLTS FOR SILL AT WALLS LESS THAN 4'-0" IN LENGTH.

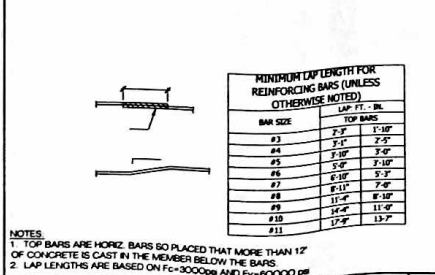
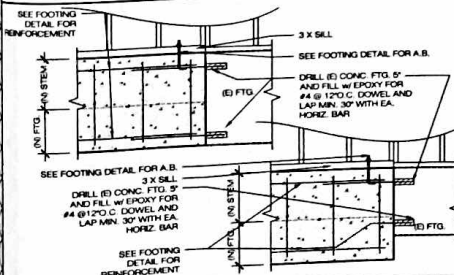
3x PRESSURE TREATED DOUGLAS FIR SILL OCCURS AT ALL SHEAR WALLS @ FOUNDATION LEVEL

FOR SHEAR WALLS, SEE NOTES OR SCHEDULE FOR BOLT SPACING

9" MAX.
4" MIN.
BOLT SPACING AT SILL PLATE

135° Sepsic Hook

Bar Size	B	A or G	A or G Approx.	Bar Size	B	A or G	A or G Approx.
#3	1 1/2"	4"	2 1/2"	#4	2"	4 1/2"	3"
#4	2"	4 1/2"	3"	#5	2 1/2"	4 3/4"	3 1/2"
#5	2 1/2"	4 3/4"	3 1/2"	#6	3"	5"	3 3/4"
#6	3"	5"	3 3/4"	#7	3 1/2"	5 1/2"	4"
#7	3 1/2"	5 1/2"	4"	#8	4"	5 3/4"	4 1/2"
#8	4"	5 3/4"	4 1/2"	#9	4 1/2"	6"	4 3/4"
#9	4 1/2"	6"	4 3/4"	#10	5"	6 1/2"	5"
#10	5"	6 1/2"	5"	#11	5 1/2"	6 3/4"	5 1/2"



DOWEL DETAIL 13 NO SCALE

TYPICAL REBAR SPLICE 14 NO SCALE

ANCHOR BOLT TO SILL DETAIL 15 NO SCALE

HOOK SCHEDULE 16 NO SCALE

INNCON DESIGN
1550-1552 LAKE STREET, SAN FRANCISCO, CA 94118
APPLICANT: FU CHAN AND HANG CHAN
1550-1552 LAKE STREET, SAN FRANCISCO, CA 94118

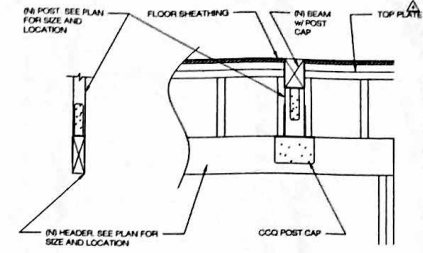
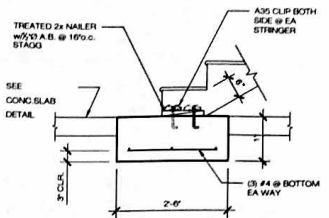
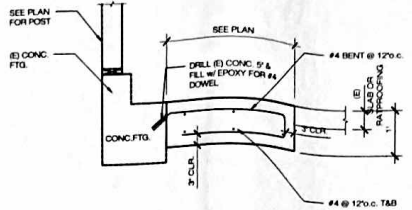
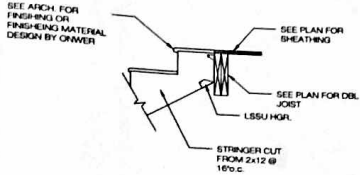
JOB ADDRESS:
1550-1552 LAKE STREET
SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012

NO. REVISIONS/SUBMISSIONS

1	08/18/2020
2	10/04/2020
3	02/23/2021
4	04/13/2021

DESIGNER: PROJECT NO.
DRAWN: YIPCH
CHECKED: BA
SCALE: 1/8" = 1'-0" / 1/4" = 1'-0"
FILE: C:\SHAWN
DATE: 04/13/2021
SHEET: S3.0

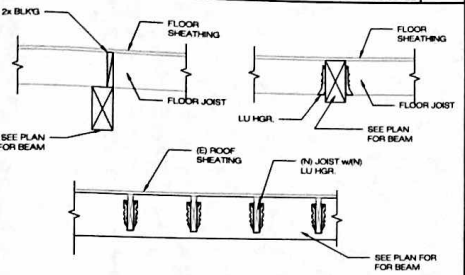


DETAIL 1 NO SCALE

1 STAIR LAND @ END NO SCALE

2 STRINGER @ BOTTOM NO SCALE

3 POST TO HEADER NO SCALE



JOIST TO BEAM DETAIL 5 NO SCALE

6 NO SCALE

7 NO SCALE

8 NO SCALE

James La. Dill
 APPROVED
 RECEIVED
 JUN 07 2021
 DEPT OF PUBLIC WORKS
 SAN FRANCISCO

9 NO SCALE

10 NO SCALE

11 NO SCALE

12 NO SCALE

13 NO SCALE

14 NO SCALE

15 NO SCALE

16 NO SCALE



1000 CALIFORNIA STREET, SUITE 200
 SAN FRANCISCO, CA 94109
 TEL: 415.774.1111
 WWW.INNCONDESIGN.COM

APPLICANT
 FU CHAN AND HANG CHAN
 1550-1552 LAKE STREET,
 SAN FRANCISCO, CA 94118

SHEET TITLE:
 DETAILS

JOB ADDRESS:
 1550-1552 LAKE STREET
 SAN FRANCISCO, CA 94118

BLOCK/LOT: 1342/012



NO	REVISIONS/SUBMISSIONS
1	08/18/2020
2	10/04/2020
3	02/23/2021
4	04/13/2021

PREPARED BY	PROJECT NO
PETER CHOW	191004
PETER CHOW	DATE
SCALE	10/10/2019
AS SHOWN	CHECKED
FILE	REVIEWED
NEW	COMBATIVE
SCALE	DATE

S3.1
 OF SHEETS

EXHIBIT B

Permit Details Report

Report Date: 9/15/2021 5:35:47 PM

Application Number: 201911076710

Form Number: 3

Address(es): 1342 / 012 / 0 1550 LAKE ST
1342 / 012 / 0 1552 LAKE ST

Description: COMPLY WITH NOV #201984482, INFILL (E) LIGHTWELL AREA AT 2ND FL & 3RD FL, REVISE ROOF FRAMING ONLY AT STAIRWAY TO 4TH FL, RELOCATE BATHROOM ON 1ST F, ADD (N) GYM ROOM, RECONFIGURE MASTER BATHROOM & CLOSET, ADD ONE NEW POWDER ROOM ON 2ND FL, REMOVE PROPOSED SKYLIGHT ON ROOF PLAN. REF PA #201901251296

Cost: \$157,000.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
11/7/2019	TRIAGE	
11/7/2019	FILING	
11/7/2019	FILED	
7/13/2021	APPROVED	
7/13/2021	ISSUED	
7/27/2021	SUSPEND	Per BOA Appeal 21-068

Contact Details:

Contractor Details:

License Number: OWN

Name: OWNER OWNER

Company Name: OWNER

Address: OWNER * OWNER CA 00000-0000

Phone:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	BID- INSP	11/7/19	11/7/19			11/7/19	HAJNAL STEVEN	
2	INTAKE	11/7/19	11/7/19			11/7/19	LEI ALVINA	
							TORRES	

3	CPB	1/13/20	1/13/20			1/13/20	SHIRLEY	
4	CP-ZOC	1/13/20	5/4/20	5/6/20	10/28/20	3/29/21	CORRETTE MOSES	5/4/2020 - Permit assigned. Emailed project architect for additional information [current photographs; reference set of original permit; clarification of work (description is vague and plans depict work not listed such as chimney removal)]. 10/22/20 - Need to show open railing on floor plan to keep gf wet bar; more importantly, lightwell infill for both units does not comply with Section 181(c)(3) - NSR needed to declare which is the conforming and which one is the non-conforming plan - plans to Jennifer and customer will submit a PRJ and then, to NW Quad 1/4/21 - Approved revision permit. Complies with interior demo, rooms down, parking, and access to rear yard.
5	BLDG	1/29/21	1/29/21			1/29/21	CHEUNG JIMMY	2/3/21: CUSTOMER WILL CANCEL (PA#201907307352) AND THIS PERMIT IS A REVISION TO PA#2019-0125-1296 1/29/21: NO REVIEW DONE, RETURN TO CUSTOMER. CUSTOMER CANNOT FILE A REVISION TO A PERMIT THAT HAS YET TO BE "ISSUED" (PA#201907307352).
6	BLDG	2/23/21	2/23/21			2/23/21	LO JAMES	OTC PROJECT, ATTACHED COMMENTS TO APPLICATION FORM, ROUTE TO CP-ZOC FOR RESTAMP, WKP999.
7	CP-ZOC	3/25/21	3/29/21			3/29/21	CORRETTE MOSES	Restamped duplicate
8	CP-ZOC	4/9/21	5/5/21			5/5/21	CORRETTE MOSES	5.5.21: Re-approved 2nd duplicate. Permit to DBI-BLDG. 5/4/21: Hard copy revisions and replacement permit received; Delivered to M. Corrette at Planning. (Jennifer) Comments. Plans are from February missing the March drawings I had restamped. Present set conflates pre-project with work approved on permit that has been withdrawn (201997307352) instead of 201901251296, which was approved by planning. Please print revised plans showing cumulative interior demo plans (1) existing as pre-project, (2) approved 201901251296 and proposed plans.
9	BLDG	5/6/21	6/1/21			6/7/21	LO JAMES	FORM 3 PROJECT, APPROVED, ROUTE TO PPC 6/7/21.
10	MECH	4/13/21	4/13/21			4/13/21	TAN (PETER) JIA JIAN	Stapled comments to the pink form Sent plans to BSM
11	MECH	6/7/21	6/7/21			6/7/21	TAN (PETER) JIA JIAN	restamped
12	DPW-BSM	6/7/21	6/11/21			6/11/21	LAM ERIC	6/11/21 BSM ready for sign off. no alt. to PROW. - EL
13	SFPUC	6/14/21	7/7/21			7/7/21	IMSON GRACE	Capacity Charge not applicable. No change in meter size, not enough fixtures added to warrant a larger meter. Route to PPC -

							07/07/2021
14	PPC	7/8/21	7/8/21			7/8/21	LUA NATALIE 7/8/21: To CPB;nl 06/14/21: TO puc;me 6/7/21: To BSM; NL 06/07/21: TO peter tans office for re stamp & review for plans received on 06/07/21;me 5/6/21: To James Lo office (BLDG) to review plans and stamp drawings received on 2/23/21; NL 4/9/21: Received permit application package from permit center. Reviwed the plans and it is missing Planning approval stamp and sign on plans which has received date of 2/23/21; route back to Planning to review and stamp the drawings;EC. 3/25/21: 2 Sets of duplication drawings with permit application from to DCP;EC. 1/13/20: to DCP; am
15	CPB	7/8/21	7/13/21			7/13/21	CHEUNG DEREK 7/13: issued. -dc

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
---------------	-----------	------------------------	-------------------

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			2	BOLTS INSTALLED IN CONCRETE	
0			24E	WOOD FRAMING	
0			24A	FOUNDATIONS	
0			4	REINFORCING STEEL AND PRETRESSING TENDONS	reinforcing steel

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

[Contact SFGov](#) [Accessibility](#) [Policies](#)
City and County of San Francisco © 2021

PUBLIC COMMENT

STEPHANIE PEEK 35-17TH AVENUE SAN FRANCISCO CA 94121

September 17, 2021

Board of Appeals

49 Van Ness Avenue, Suite 1475 (14th Floor)

San Francisco CA 94103

boardofappeals@sfgov.org

Re: Appeal No.: 21-068

Dratler vs. DBI, PDA

Subject Property: 1550-1552 Lake Street

Permit Type: Alteration Permit

Permit No.: 2019/1107/6710

To President Honda and Members of the Board:

The property owners who purchased the duplex at 1550-1552 Lake Street across the street from my house filed a permit to replace the interior dry wall and gutted the interior of the building. In the process of removing the interior lath and plaster, they damaged the exterior stucco. When the exterior stucco fell off the building, a neighbor complained, and the city issued a correction notice to have the exterior stucco repaired. This was two years ago and the

exterior stucco has not been repaired. Lake Street is a pedestrian street and families, runners, and dogs should not have to be exposed to falling stucco.

The owners have gamed the city's approval process by submitting a series of building permits with a very narrow scope of work and understated the cost of work on each permit. The building permit that is under review was submitted with an \$8,000 cost of work which DBI raised to \$157,000. The unethical practice of serial permitting and should not be allowed. Please see the attached document showing that the owners were issued an NoV in 2018; three years later this NoV has not yet been addressed.

So, I ask that you put an end to serial permitting and revoke and replace the existing building permits and with a new master permit that addresses the entire scope of work for the building and compels the property owner to legalize all their illegal work. We neighbors are sick and tired of having an unsightly public safety mess on our block.

Thank you,

Stephanie Peek

cc:

Julie Rosenberg <julie.rosenberg@sfgov.org>

Alec Longaway alec.longaway@sfgov.org;

Welcome to our Permit / Complaint Tracking System!

COMPLAINT DATA SHEET

Complaint Number: **201877062**

Owner/Agent: OWNER DATA
SUPPRESSED

Date Filed:

Owner's Phone: --

Location: 1552 LAKE ST

Contact Name:

Block: 1342

Contact Phone: --

Lot: 012

Complainant: COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By: OHUANG

Division: BID

Complainant's Phone:

Complaint Source: WEB FORM

Assigned to Division: CES

Description:

date last observed: 09-JUL-18; time last observed: 12:00 pm; floor: first floor; exact location: Rear Bldg; building type: Residence/Dwelling WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT; ; additional information: contractor has permit for kitchen and bath remodel and has removed almost all the first floor interior walls. Contrator removed rear exterior wood steps without permit that lead to ground floor. This is a safety issue. Interior demolition likely required contrator to break electrical and plumbing connections without permits.;

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
CES	GUTIERREZ	1154		

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
3/24/2020	William Strom	CES	Per Joe Pena

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
07/11/18	CASE OPENED	BID	Chan	CASE RECEIVED	
07/12/18	OTHER BLDG/HOUSING VIOLATION	BID	Chan	CASE CONTINUED	no access, left wywo notice. will reschedule for inspection.
07/30/18	OTHER BLDG/HOUSING VIOLATION	BID	Chan	FIRST NOV SENT	1st NOV issued. exceeding scope of work, removing walls m.chan
08/02/18	OTHER BLDG/HOUSING VIOLATION	INS	Chan	CASE UPDATE	1st NOV mailed ; TTruong
01/07/20	OTHER BLDG/HOUSING VIOLATION	BID	Chan	CASE CONTINUED	pa#201901251296 to comply with NOV 201877062 BY m.chan
03/10/20	OTHER BLDG/HOUSING VIOLATION	BID	Helminiak	CASE UPDATE	PA #201901251296 was issued on 3/16/19 and last inspection was performed on 9/10/19. Inspections are correct. DRH
03/24/20	OTHER BLDG/HOUSING VIOLATION	INS	Helminiak	CASE UPDATE	final warning letter mailed; WS
03/24/20	OTHER BLDG/HOUSING VIOLATION	CES	Helminiak	CASE UPDATE	Case review, new permit expiration date, but client last approved inspection on 6-21-2019 per Building Insp. History. A FWL to be issued per Chief inspector M.H/J.P
03/24/20	OTHER BLDG/HOUSING VIOLATION	INS	Helminiak	REFERRED TO OTHER DIV	case referred to CES per Joe Pena; WS
03/24/20	OTHER BLDG/HOUSING VIOLATION	BID	Helminiak	FINAL WARNING LETTER SENT	Issued FWL per Chief Inspector M.H/J.P

03/24/20	GENERAL MAINTENANCE	BID	Helminiak	REFERRED TO OTHER DIV	transfer to div CES
03/31/20	GENERAL MAINTENANCE	CES	Gutierrez	CASE RECEIVED	Rcvd Case CES -akw
05/07/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	Active Violation - file in CES
06/02/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	PERMIT RESEARCH	COMPLY WITH COMPLAINT 201877062
06/08/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	Active violation
06/16/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	Start to process case for DH
09/28/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	Review file for DH referral
09/29/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	Review and process
10/06/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	DH date 11/10/20
10/06/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	Process for DH on 11/10/20
10/15/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	DIRECTOR HEARING NOTICE POSTED	Prep & Cert mail DH -akw
10/21/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	DIRECTOR HEARING NOTICE POSTED	Posted Property for DH on 11/10/20.
11/05/20	OTHER BLDG/HOUSING VIOLATION	CES	Hinchion	CASE UPDATE	Per email - best to attend the hearing
11/10/20	OTHER BLDG/HOUSING VIOLATION	CES	Hernandez	DIRECTOR'S HEARING DECISION	Owner present at hearing and per H.O(D.L) an OOA ok to issue for owner to correct the violation within 30 days. MH
11/16/20	OTHER BLDG/HOUSING VIOLATION	CES	Hinchion	ORDER OF ABATEMENT ISSUED	fees assessed
11/19/20	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	Prep & Cert Mail OOA -akw
11/24/20	OTHER BLDG/HOUSING VIOLATION	CES	Hinchion	ORDER OF ABATEMENT POSTED	
07/22/21	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	ASSESSMENTS DUE	Lien letter sent to the owner - hg
07/30/21	OTHER BLDG/HOUSING VIOLATION	CES	Gutierrez	CASE UPDATE	Processed 5 day lien letter payment, mailed receipt to customer-RQ

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

07/30/18