

**BRIEF SUBMITTED BY THE PERMIT HOLDER(S)**

# REUBEN, JUNIUS & ROSE, LLP

September 30, 2021

President Darryl Honda  
San Francisco Board of Appeals  
49 South Van Ness Avenue, Suite 1475 (14th Floor)  
San Francisco, CA 94103

**Re: Appeal No.: 21-072**  
**Dunn vs. DBI, PDA**  
**Subject Property: 152 28<sup>th</sup> Avenue**  
**Permit Type: Alteration Permit**  
**Permit No.: 2021/0623/3067**  
**Permit Holder s Brief**

Dear President Honda and Members of the Board:

This office is working with Julia Diao and Patrick Gordon, owners of the property and single-family home located at 152 28<sup>th</sup> Avenue (the Property ), and permit holders of Building Permit Application ( BPA ) No. 2021/0623/3067 (the Permit ; see Exhibit A). The Permit authorizes a one-story, ground-floor infill in the rear under the existing building (not, as incorrectly stated by the appellants brief, under deck ), an expansion of the existing first-floor rear deck, the rearrangement of windows, and an interior remodel (the Project ). (Project drawings attached as Exhibit A.) Ms. Diao and Mr. Gordon are a young couple new to the neighborhood with a baby on the way, and are pursuing the Project to make this their family home. The reprogramming of the rear of the home and the rear yard is intended only to match what their two adjacent neighbors have done, as have almost all of the properties on this block; similar rear pop-out room, similar deck, similar stair, similar windows. (See aerial photo and rear yard photos, Exhibit B.) It is a uniquely uniform pattern and the Project in certain ways is less ambitious than the neighbors.

The adjacent neighbors to the south at 158 28<sup>th</sup> Avenue have filed the subject appeal of the Permit. We urge the Board to deny the appeal. The Project is so minor in scope that no neighborhood notice is required, the proposed work is primarily interior renovations, and the primary objection is that the rear first-floor deck encroaches in the required rear yard, which is plainly wrong under controlling law, and which deck is an expansion of an existing deck, which would not extend as far back as the appellants' own first-floor rear deck.

The Project does not cause any material impacts to the appellants' Property; it simply matches the configuration of appellants' and the neighbors' properties. The neighbors on the other side of the Property at 148 28<sup>th</sup> Avenue have expressed concern about privacy, but as stated above, the Project merely seeks a similar rear pop-out, deck, and windows as at 148 28<sup>th</sup> Avenue. Notwithstanding that, Ms. Diao and Mr. Gordon have offered Project revisions, and as of this filing the parties appear close to an agreement.

Planning and Building staff closely reviewed the Permit and, we submit, properly approved the Permit. Appellants have identified no error in the issuance of the Permit.

**I. SUMMARY OF RESPONSE TO APPEAL**

*A. The Project Drawings Correctly Depict the Existing Conditions at the Property.*

The appellants are incorrect about the legal status of the easement access area at the rear of the Property. This is a private access easement and not an Alley under the Planning Code, which is a term of art for a dedicated public right-of-way. Ms. Diao and Mr. Gordon own the Property subject to the easement, and the proper location of the rear Property line is as shown on the Project drawings.

*B. The Project Provides a Code-Compliant Rear Yard*

Because the rear yard is properly depicted, the Project provides a code-compliant rear yard. The first-floor rear deck is no more than 10 feet high and ends more than three feet short of the required rear yard, and the driveway is being removed from the rear yard.

*C. The Project Does Not Require Section 311 Neighborhood Notice.*

The rear deck does not encroach into the rear yard and is no higher than 10 feet at any point; hence, Section 311 notice is not required. Nor is Section 311 notice required by the interior demolition, which remains less than 20% of the interior walls, or by the rear infill, which is not subject to Section 311 notice per a 1996 Zoning Administrator Interpretation.

*D. The Project Does Not Propose Any Changes to the Front Façade.*

The appellants correctly identify the existing building at the Property as a historic resource under the California Environmental Quality Act (Cal. Pub. Res. Code Secs. 21000 *et seq.*, CEQA ). However, the appellants are incorrect about the front façade. The Project makes no alterations to the front façade; therefore, no impact under CEQA exists and no Historic Resource Evaluation is required.

*E. Ms. Diao and Mr. Gordon Communicated Openly with the Appellants About the Project and Made a Compromise Offer.*

The appellants have mischaracterized the communications between the parties about the Project, and fail to acknowledge the compromise offers made by Ms. Diao and Mr. Gordon in an attempt to be reasonable. Greater detail about the communications between the parties is provided below, and documentation in the form of text messages and emails can be provided.



*F. The Project Has No Impacts on Appellants Property.*

The Project is too minor in scope to have negative impacts on appellants property. The rear deck is being enlarged, but it already exists and appellants are familiar with its use. Appellants have their own rear deck, which extends further back than the proposed deck. The Project proposes new windows facing appellants property, but they are nearly 20 feet away and view the appellants windows at angles that negate any privacy impact. The stairs down to the rear yard from the deck are set back over six feet from the property line (appellants have their own rear stair down to their yard located right at the property line). As stairs down to the yard and over six feet from the property line, we fail to see how they cause a privacy or visual impact.

**II. DETAILED RESPONSES TO APPEAL ARGUMENTS**

*A. The Project Drawings Correctly Depict the Existing Conditions at the Property.*

The appellants argue that the Property is a through-lot, and thus subject to different rear yard rules. This is incorrect and misunderstands the legal effect of the rear access area that runs along the rear property line of the entire block. This area is a private access easement that provides the property owners on the block with vehicular and pedestrian access to the rear of their properties. (See Exhibit C.) An easement by law creates only a nonpossessory right to enter and use land in another's possession and obligates the possessor not to interfere with the uses authorized by the easement. (*Main St. Plaza v. Cartwright & Main, LLC* (2011) 194 Cal.App.4th 1044, 1053.)

This limitation by law prevents the easement access area from having any effect on the location of the rear property line of the Property, or any of the other properties on the block. The

Assessor's Block and Lot Map correctly shows the configuration of the lots on this block. (Exhibit D.) The Plot Plan of the Project drawings (Sheet A0.2, Exhibit A) reflects this and correctly shows the location of the rear property line and the required rear yard line, which is 30% of the depth of the lot in this zoning district (RH-1(D)). The proposed first-floor rear deck is more than three feet short of the 30% line (and does not extend as far back as the appellants' deck, or the deck of the neighbor to the north).

The Property is not a through lot as asserted by appellants. A through lot is defined as a lot having both its front and its rear lot line along Streets, Alleys, or a Street and an Alley. (Plan. Code Sec. 134(f) [capitalization in the original].) The easement access area is not a Street, nor is it an Alley for purposes of the Planning Code. The Code defines an Alley as [a] right-of-way, less than 30 feet in width, permanently dedicated to common and general use by the public. (Plan. Code Sec. 102.) The easement access area is not a right-of-way that has been dedicated to common and general use by the public. The dedication of a right-of-way is a documented act where the dedication is accepted by the City and County of San Francisco and this documentation is recorded in the County Recorder's office. None of that has happened here. This easement access area is a private easement benefitting only the properties on this block.

The appellants provide a Sanborn map to support their argument concerning the rear property line argument, but Sanborn maps on their face state that they are to be used only for historical context. It is common knowledge that Sanborn maps are not surveys nor do they show any measurements or dimensions of individual lots or establish public rights-of-way.

*B. The Project Provides a Code-Compliant Rear Yard*

Because the access easement does not alter the rear property line, the Project provides a code-compliant rear yard. The first-floor deck is more than three feet short of the required rear yard line (and not as deep as the appellants' deck). There are no obstructions in the required rear yard. The parking area under the house will be replaced by the in-fill room, and the driveway is being removed and replaced with landscaping. The landscaping is not required to be shown on the plans.

Sheet A1.1 (basement floor plan) of the Project drawings does not show an inaccurate rear yard dimension. The entire rear yard is not shown on this sheet and is not required to be shown. This allows the floor plan to be shown at a larger scale. The correct and code-complying rear yard is shown on the Plot Plan (Sheet A0.2).

Finally, the Project drawings properly show the adjacent properties and homes on Sheet A0.2, Existing and Proposed Plot Plans. These Plot Plan drawings identify neighboring light wells and any other building features that might be affected and trigger the need for neighborhood notice. No such notice was required.

Elevations of the neighboring houses were not required nor would they serve any purpose. The Project is largely interior except for the ground-floor infill and the expansion of the first-floor deck. Moreover, during review of the Permit, the Planners looked up the Property in the Planning Department GIS system and reviewed the real-life conditions and the site and its context. Regardless of how well the site and context were shown on the plans, the Planner was reviewing the actual conditions in much more detail than could ever be depicted on any plans. They saw the

access easement in the rear and the neighboring properties context and, thus, were easily able to assess any potential impacts to the adjacent buildings and to the neighborhood.

*C. No Planning Code Section 311 Neighborhood Notice Was Required.*

The first-floor rear deck is code-complying because it is within the required rear yard, and therefore does not trigger Section 311 neighborhood notice. The infill at the ground floor is exempt from Section 311 neighborhood notice pursuant to a well-known Zoning Administrator Interpretation from 1996. That Interpretation provides as follows:

4/96: "Fill-ins": The filling in of the open area under a cantilevered room or room built on columns is exempt only if the height of the open area under the room does not exceed one story or 12 feet. The exemption does not apply to space immediately under a deck nor to space under a room known to be illegal.

Here, the infill complies with these requirements because it is a one-story (10 feet) tall infill under a room built on columns, and is not under the deck.

Appellants statement that interior demolition is already nearly 100% on all floors (Appellants Brief at p. 10) is blatantly false. The contractor has removed cracked and damaged plaster and lathe, but has left the wall framing intact. (See photos at Exhibit E for examples from various rooms in the house.) The Planning Code expressly provides that demolition requires the removal of the wall framing (Plan. Code Sec. 311(b)(2)), which has not happened. The actual interior demolition is consistent with the proposed demolition on the Project drawings, which is less than 20%. To provide context, this is a relatively minor amount of interior demolition as 75% is required to trigger Section 311 neighborhood notice.

Finally, the appellants allege that the architect misled the planner about the height of the rear deck, but that is incorrect. The attached survey shows that the deck is at no point higher than ten feet above grade. (Exhibit F.)

*D. The Project Does Not Alter the Front Façade of the Building.*

The appellants correctly identify the existing building at the Property as a historic resource under CEQA. However, the appellants are incorrect about the front façade. The Project makes no alterations of any kind to the front façade, and therefore no impact under CEQA exists, and no Historic Resource Evaluation is required.

A new light well is proposed below grade at the front of the building, and because it is below grade and not visible from the public right-of-way it cannot be an impact under CEQA. This was reviewed by Planning.

The architect originally proposed an above-grade guardrail around the light well. The planner who reviewed the Project drawings wanted to make sure the guardrail was constructed of a historically-appropriate material and construction. Since the Historic Preservation Specialist on duty at that time did not know what a historically-appropriate material and construction would be for the Property, it was determined that the architect would cross out the guardrail on the plans, add a note stating no work to the front facade of the building to the plans, and the architect would follow up with a Historic Preservation Specialist to determine what a historically-appropriate material and construction would be before moving ahead with a guardrail around the light well.

*E. Ms. Diao and Mr. Gordon Communicated Openly with the Appellants About the Project and Made a Compromise Offer.*

Mr. Gordon first discussed the Project with the appellants in late spring 2021, in a conversation in his backyard. On June 6, appellant Mr. Dunn and Mr. Gordon exchanged emails about the Project as the Mr. Gordon and Ms. Diao had moved out for renovations, and on June 10 they exchanged emails again. In the initial conversation in the spring, Ms. Dunn mentioned wanting to discuss the plans for the fence that runs along the property line. At no time during those conversations and emails did the appellants express an interest in seeing the Project plans or consulting on the Project design. Ms. Diao and Mr. Gordon followed a similar timeline informing the neighbor to the north at 148 28th Ave. of the Project.

On August 2, Ms. Dunn reached out to Ms. Diao and Mr. Gordon over text message to express concerns over a notice that she had received about the Permit issuance. Ms. Diao and Mr. Gordon responded promptly and offered on four separate occasions on the 2<sup>nd</sup> and 3<sup>rd</sup>, ahead of the appellants filing their appeal, to meet with both them and the Project architect, either over the phone, zoom, or in person, flexibly around [their] schedule, to review the Project plans. All four offers were either ignored or refused.

On August 3, Ms. Dunn visited Ms. Diao and Mr. Gordon's home, unbeknownst to them, and met with Jared Johnson, the owner of the Project's design build firm, to inspect the house and review the Project plans. Upon being informed of their appeal on the 3<sup>rd</sup>, Mr. Gordon reached out to the appellants multiple times, but did not receive a response. On August 4, Mr. Gordon shared electronic copies of the Project plans that Ms. Dunn had already reviewed with Mr. Johnson. At no time during their subsequent communications until September 15th did the appellants mention

having any difficulty accessing or reviewing the Project plans, at which point they had reviewed them in person, on site, twice, and already had electronic access.

Mr. Gordon's first opportunity to discuss the appellants' concerns with the Project came on August 19, as they refused to meet until then. At that time, and in subsequent emails, the primary concern they raised was about their view. Subsequent to that meeting, the appellants outlined three issues. Ms. Diao and Mr. Gordon offered reasonable compromises to address each issue, but those offers have been rejected. Emails and text messages documenting this detail are available should the Board of Appeals want to review them.

*F. The Project Has No Material Impact on Appellants*

The appellants complain about the impacts of the first-floor deck, but the deck already exists. Ms. Diao and Mr. Gordon already use the deck, so the Project will not change the nature of the impacts on appellants in any way. The deck is being enlarged, but the appellants have a large first-floor rear deck themselves, and it not only extends out further than the proposed deck, but it is also over one foot higher than the proposed deck. (See Survey, Exhibit F)

The Project proposes glass doors that will face appellants' property and open onto the deck, but the doors are set back over 16 feet from the property line, nearly 20 feet from the nearest window on appellants' building, have only angled views of the appellants' windows, and the appellants' home is more than one foot higher than the Project. (See Sheet A0.2, Exhibit A; Survey, Exhibit F.) Additionally, the Project removes over 20 square feet of windows facing the appellants' windows on the first floor in a similar location but even closer to appellants' property. (See Sheet A3.3, Exhibit A.) The Project's windows can hardly be considered to cause privacy impacts on the appellants.

The appellants have expressed concerns about the Project's stairs leading from the deck down to the rear yard, but the stairs are located six feet away from the shared property line with the appellants. And appellants raise this concern even though their own stair to their rear yard is located right on the shared property line.

### III. CONCLUSION

The Project is a modest, primarily internal, renovation of Ms. Diao and Mr. Gordon's home that complies all applicable Planning and Building Codes. The Permit was properly issued. Ms. Diao and Mr. Gordon have done their best to communicate with the appellants about the Project and have made reasonable compromise offers, but those offers have been rejected. Ms. Diao and Mr. Gordon appear close to an agreement with the owners of 148 28<sup>th</sup> Avenue, as described above. For all of these reasons, we urge the Board to deny the appeal and allow the Project to proceed.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP**



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Thomas Tunny

Enclosures

cc: Julie Rosenberg, Board of Appeals Executive Director  
Scott Sanchez, Deputy Zoning Administrator, Planning Department  
Joseph Duffy, Acting Deputy Director, Department of Building Inspection



**LIST OF EXHIBITS**

Exhibit A	Permit and Permit Drawings
Exhibit B	Rear Yard Photos
Exhibit C	Easement
Exhibit D	Assessor s Map
Exhibit E	Interior Photos
Exhibit F	Survey

## **EXHIBIT A**

JUL 20 2021

APPROVED FOR ISSUANCE

APPLICATION NUMBER

OSHA APPROVAL REQ'D   
APPROVAL NUMBER

**SFPUC - Please be advised**

Based on your plans and fixtures count, your existing water meter may be UNDERSIZED. A water meter upgrade is recommended. Please contact SFPUC - New Installations, 525 Golden Gate Ave, 2<sup>nd</sup> Floor, San Francisco, CA 94102, Tel: (415) 551-2900 for more information.

**Capacity Charges**

Water   
Sewer   
Gas   
Electric   
Other

**BUILDING ENLARGEMENT DESCRIPTION**

VERTICAL  
 HORIZONTAL

**APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS**

**CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION**

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

FORM 3  OTHER AGENCIES REVIEW REQUIRED

FORM 8  OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS



DO NOT WRITE ABOVE THIS LINE

DATE FILED <u>6/23/21</u>	FILING FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB <u>157 25th Ave</u>	BLOCK & LOT <u>1331/077</u>
PERMIT NO. <u>1542044</u>	ISSUED <u>6/23/21</u>	(2A) ESTIMATED COST OF JOB <u>350,000</u>	(2B) REVISED COST: BY: <u>[Signature]</u> DATE: <u>7/1/21</u>

**INFORMATION TO BE FURNISHED BY ALL APPLICANTS**

**LEGAL DESCRIPTION OF EXISTING BUILDING**

(4A) TYPE OF CONSTR. <u>VS</u>	(5A) NO. OF STORIES OF OCCUPANCY <u>3</u>	(6A) NO. OF BASEMENTS AND CELLARS <u>1</u>	(7A) PRESENT USE <u>Single Family Residence</u>	(8A) OCCUP. CLASS <u>R-2</u>	(9A) NO. OF DWELLING UNITS <u>1</u>
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**DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION**

(4) TYPE OF CONSTR. <u>VS</u>	(5) NO. OF STORIES OF OCCUPANCY <u>3</u>	(6) NO. OF BASEMENTS AND CELLARS <u>1</u>	(7) PROPOSED USE (LEGAL USE) <u>Single Family Residence</u>	(8) OCCUP. CLASS <u>R-2</u>	(9) NO. OF DWELLING UNITS <u>1</u>
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
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(14) GENERAL CONTRACTOR <u>Dave Thomas Design</u>	ADDRESS <u>1752 Taylor CA 94161</u>	ZIP <u>94116</u>	PHONE <u>415 947 1706</u>	CALIF. LIC. NO. <u>1026273</u>	EXPIRATION DATE <u>11/1/22</u>
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(15) OWNER - LESSEE (CROSS OUT ONE) <u>Owner</u>	ADDRESS <u>157 25th Ave</u>	ZIP <u>94116</u>	STRICT <u>215 3rd 4510</u>	PHONE (FOR CONTACT BY DEPT.) <u>415 398 4510</u>
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(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

(1) IN BASEMENT PARTIAL RECONSTRUCTION OF EXISTING SUBS ADD FRONT WALKWAY IN REAR AND ADD 2 ROOMS 5 1/2 BATHS UNDER EXISTING (2) ON 1FL REARWALL KITCHEN PART REAR WALKWAY FULL BATH REARWALL DECK W/ADJ EXT STAIRS (3) ON 2FL REARWALL BATH & ADD WALKWAY

**ADDITIONAL INFORMATION**

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA <u>250</u> SQ. FT.
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(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
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(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> <u>John Thompson</u>	ADDRESS <u>987 Serrano St SE CA 94102</u>	CALIF. CERTIFICATE NO. <u>C 22505</u>
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(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") <u>Unknown</u>	ADDRESS
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**IMPORTANT NOTICES**

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 10' to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

OWNER                       ARCHITECT  
 LESSEE                         AGENT  
 CONTRACTOR                 ENGINEER

**NOTICE TO APPLICANT**

**HOLD HARMLESS CLAUSE.** The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (I) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

( ) I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

( ) II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:  
Carrier: Statewide Ind  
Policy Number: 1000000000

( ) III. The cost of the work to be done is \$100 or less.

( ) IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.



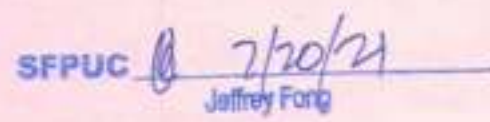
( ) V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

**APPLICANT'S CERTIFICATION**

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.



**CONDITIONS AND STIPULATIONS**

REFER TO:	APPROVED:  Sue Quan, DBI JUL 20 2021 _____ BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  Approved Planning Dept. Kurt Botn _____ DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: _____ _____ BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input checked="" type="checkbox"/>	APPROVED:  Jeff Lai, DBI JUL 20 2021 _____ MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  Sue Quan, DBI JUL 20 2021 _____ CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: _____ _____ BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: _____ _____ DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  SFPUC Jeffrey Fong _____ REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: _____ _____ HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

\_\_\_\_\_  
OWNER'S AUTHORIZED AGENT



### SYMBOLS

EXTERIOR ELEVATION NO. → 3  
 SHEET NO. → A3.01  
 AREA REFERENCE → [ ]  
 DRAWING NUMBER → 4  
 SHEET NUMBER → A4.01  
 BUILDING SECTION NO. → 3  
 SHEET NO. → A3.21  
 DETAIL NUMBER → 2  
 SHEET NUMBER → A8.02  
 GRID TAG → [ ]  
 WORK POINT → +16'-0" 2ND FL. LEVEL  
 DOOR TAG → A  
 WINDOW TAG → B  
 SHEET NOTE → 9  
 WALL TYPE → A1  
 AREA OF REVISION → [ ]  
 REVISION NO. → 2

### GENERAL NOTES

- THE INTENT OF THESE DRAWINGS (WHICH ARE PART OF THE CONTRACT DOCUMENTS) IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. INCLUDE ANYTHING REASONABLY IMPLIED OR INTENDED.
- THE CONSTRUCTION AND SERVICES REQUIRED BY THE CONTRACT DOCUMENTS, WHETHER COMPLETED OR PARTIALLY COMPLETED, INCLUDES LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED OR TO BE PROVIDED BY THE CONTRACTOR TO FULFILL THE CONTRACTOR'S OBLIGATIONS. THIS MAY CONSTITUTE THE WHOLE OR PART OF THE PROJECT.
- PROMPTLY REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DETAILS AND NOTES ARE TYPICAL. SIMILAR DETAILS AND NOTES APPLY IN SIMILAR CONDITIONS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.
- PLAN DIMENSIONS ARE TO FACE OF CONCRETE, EDGE OF SLAB, FACE OF STUD, CENTERLINE OF GRID, CENTER OF DOOR, CENTER OF WINDOW AND CENTER OF PLUMBING FIXTURE, UNLESS OTHERWISE NOTED.
- DOORS AND WINDOWS ARE DIMENSIONED TO CENTER LINES, UNLESS OTHERWISE NOTED. WHERE LOCATIONS ARE NOT DIMENSIONED, CENTER DOOR AND WINDOWS IN THE WALL, OR PLACE 8 INCHES FROM THE FACE OF FRAME TO THE FACE OF FINISH AT ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED.
- CHECK DIMENSIONS NOTED VIF PRIOR TO CONSTRUCTION. REPORT ANY VARIANCES TO THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- INSTALL ALL WORK TRUE, PLUMB, SQUARE, LEVEL, AND IN PROPER ALIGNMENT.
- VERIFY CLEARANCES FOR ITEMS INCLUDING BUT NOT LIMITED TO FLUES, VENTS, CHASES, SOFFITS AND FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OR INSTALLATION OF SUCH ITEMS OF WORK.
- THESE STRUCTURES WILL HAVE ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS INSTALLED IN ACCORDANCE WITH THE 2019 CBC, MODIFIED TO LOCAL STANDARDS, TO BE FILED UNDER SEPARATE PERMITS.

# Residential Remodel

## 152 28th Ave. San Francisco CA 94121

### Building Permit Submittal

#### June 23, 2021

PROJECT DIRECTORY	APPLICABLE CODES AND REGULATIONS
<b>OWNER(S):</b> Julia Diao & Patrick Gordon 152 28th Ave. San Francisco, CA 94121 415.812.8750 215.307.6510 diao.julia@gmail.com gordon.patrick.a@gmail.com	1. CALIFORNIA CODE OF REGULATIONS, TITLE 24, PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION:  PART 2, "CALIFORNIA BUILDING CODE" (2019) PART 3, "CALIFORNIA ELECTRICAL CODE" (2019) PART 4, "CALIFORNIA MECHANICAL CODE" (2019) PART 5, "CALIFORNIA PLUMBING CODE" (2019) PART 6, "CALIFORNIA ENERGY CODE" (2019) PART 9, "CALIFORNIA FIRE CODE" (2019) PART 10, "CALIFORNIA EXISTING BUILDING CODE" (2019) PART 11, "CALIFORNIA GREEN BUILDING STANDARDS CODE" (2019)
<b>STRUCTURAL ENGINEER:</b> Townsend Brown 6103 Dover Street Oakland, CA 94609 510.520.7175 townsend@tbbuilds.com	
<b>CONTRACTOR:</b> Outerlands Design, Inc. P.O. Box 1752 Truckee, CA 96160 (415) 987-4302 California Contractor Class B License # 1026243, Exp. 4/30/2021 Worker's Comp. Insurance: Policy #: 57 WEC KU7990 Carrier: Hartford Insurance	2. SAN FRANCISCO AMENDMENTS TO THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION.

ARCHITECTURAL ABBREVIATIONS		CALCULATIONS	
& AND ANGLE @ AT C CENTERLINE D DIAMETER # NUMBER OR POUND L PERPENDICULAR R PROPERTY LINE  A AIR CONDITIONING A.D. AREA DRAIN ADD. ADDITIONAL ADJ. ADJACENT A.F.F. ABOVE FINISHED FLOOR APPROX. APPROXIMATE ARCH. ARCHITECTURAL ASPH. ASPHALT  B BOARD BITUM. BITUMINOUS BLDG. BUILDING BLKG. BLOCKING BM. BEAM B.O. BOTTOM OF BOT. BOTTOM B.P. BUILDING PAPER BR. BEDROOM BTWN. BETWEEN B.U.R. BUILT UP ROOFING  C CABINET CEM. CEMENT CER. CERAMIC CLG. CEILING CLKG. CAULKING CLO. CLOSET CLR. CLEAR COL. COLUMN CONC. CONCRETE CTR. CENTER  D DRYER D.D. DECK DRAIN DET. DETAIL DIA. DIAMETER DIM. DIMENSION DN. DOWN D.O. DOOR OPENING DR. DOOR D.S. DOWNSPOUT DW. DISHWASHER DWG. DRAWING	E EAST (E) EXISTING EA. EACH EL. ELEVATION E.R. ELECTRIC RANGE ELEC. ELECTRICAL E.P. ELECTRICAL PANEL EQ. EQUAL EXT. EXTERIOR  F FIRE ALARM F.A.U. FORCED AIR UNIT F.D. FLOOR DRAIN FDN. FOUNDATION FIN. FINISH FL. FLOOR FLASH. FLASHING F.O. FACE OF F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS FT. FOOT OR FEET FTG. FOOTING FURR. FURRING FUT. FUTURE FZ. FREEZER  G GAUGE GALV. GALVANIZED G.B. GRAB BAR GL. GLASS GND. GROUND G.S.M. GALVANIZED SHEET METAL G.R. GAS RANGE GYP. GYPSUM  H WATER H.O. HOSE BIB HDWD. HARDWOOD HDWE. HARDWARE H.P. HIGH POINT HT. HEIGHT H.W.H. HOT WATER HEATER  I INSIDE DIAMETER I.D. INSULATION INSUL. INTERIOR  K KITCHEN  L LAVATORY LT. LIGHT	M MAX. MAXIMUM M.C. MEDICINE CABINET MECH. MECHANICAL MEMB. MEMBRANE MTL. METAL MFR. MANUFACTURER MIN. MINIMUM  N NORTH (N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE  O ON CENTER O.C. OUTER DIAMETER OFF. OFFICE OPNG. OPENING OPP. OPPOSITE O.S. OVERFLOW SCUPPER  P PLATE PLAS. PLASTER PLYWD. PLYWOOD PR. PAIR PRGST. PRECAST PT. PRESSURE TREATED PTD. PAINTED  R REFRIGERATOR R. RISERS R.A. RETURN AIR RAD. RADIUS R.D. ROOF DRAIN REF. REFERENCE REG. REGISTER REINF. REINFORCED REQ. REQUIRED REV. REVERSED RM. ROOM R.O. ROUGH OPENING RWD. REDWOOD R.W.L. RAIN WATER LEADER  S SOUTH S.A. SUPPLY AIR S.A.S.M. SELF ADHESIVE SHEET MEMBRANE S.C. SOLID CORE SCHD. SCHEDULE S.C.R. SHOWER CURTAIN ROD SECT. SECTION S.E.D. SEE ELECTRICAL DRAWINGS S.F. SQUARE FEET	SHWR. SHOWER SHT. SHEET SIM. SIMILAR SLID. SLIDING S.M.D. SEE MECH. DRAWINGS SPEC. SPECIFICATION SQ. SQUARE S.S. STAINLESS STEEL S.S.D. SEE STRUCTURAL DRAWINGS STL. STEEL STOR. STORAGE STRUCT. STRUCTURE SUSP. SUSPENDED SYM. SYMMETRICAL  T TREADS T&G TONGUE AND GROOVE T.B. TOWEL BAR TEL. TELEPHONE TEMP. TEMPERED THK. THICK T.O. TOP OF T.P. TOP OF PAVEMENT T.P.D. TOILET PAPER DISPENSER T.O.PL. TOP OF PLATE TV. TELEVISION T.O.W. TOP OF WALL TYP. TYPICAL  U UNFINISHED UNF. UNLESS OTHERWISE NOTED U.O.N.  V VAPOR BARRIER V.B. VERTICAL VERT. VERIFY IN FIELD  W WEST W.D. WASHER AND DRYER W/ WITH W/O WITHOUT W.C. WATER CLOSET WD. WOOD WP. WATERPROOF W.R. WATER RESISTANT W.SCT. WAINSCOT WT. WEIGHT
<b>HABITABLE SPACE</b> Existing Habitable Space: Basement Rec Room = 441.9 SF FL1 Living Room = 337.0 SF FL1 Kitchen = 191.0 SF FL1 Dining Room = 190.2 SF FL1 Office = 83.9 SF FL1 Sitting Room = 96.7 SF FL2 Bedroom 1 = 316.3 SF FL2 Bedroom 2 = 139.6 SF FL2 Bedroom 3 = 157.5 SF FL2 Dressing Room = 81.6 SF TOTAL = 2,035.7 SF  Proposed Habitable Space: Basement Family Room = 292.0 SF Basement Office = 111.1 SF Basement Bedroom 4 = 124.5 SF Basement Bedroom 5 = 107.6 SF FL1 Living Room = 337.0 SF FL1 Kitchen = 205.4 SF FL1 Dining Room = 190.2 SF FL1 Sitting Room = 119.8 SF FL1 Breakfast Nook = 71.0 SF FL2 Bedroom 1 = 271.0 SF FL2 Bedroom 2 = 91.6 SF FL2 Bedroom 3 = 157.5 SF FL2 Dressing Room = 81.6 SF TOTAL = 2,160.3 SF  <b>Proposed New Habitable Space:</b> 2,160.3 SF - 2,035.7 SF = 124.6 SF		<b>EXCAVATION</b> Proposed Lightwell: Area = 70.6 SF x Depth = 4.25 FT. Total Volume = 300.1 CU. FT.  Proposed Basement: Area = 1,308.2 SF x Add. Depth = 0.375 FT. Total Volume = 490.6 CU. FT.  <b>Volume Needed to Excavate:</b> 300.1 + 490.6 = 790.7 CU. FT. = 29.3 CU. YD.	

### SHEET INDEX

30 SHEETS TOTAL

Project Information	
A0.1	Overview
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A0.5	Title 24 Energy Forms
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Plans	
A1.1	Basement
A1.2	First Floor
A1.3	Second Floor
A1.4	Roof

Schedules	
A2.1	Doors & Windows

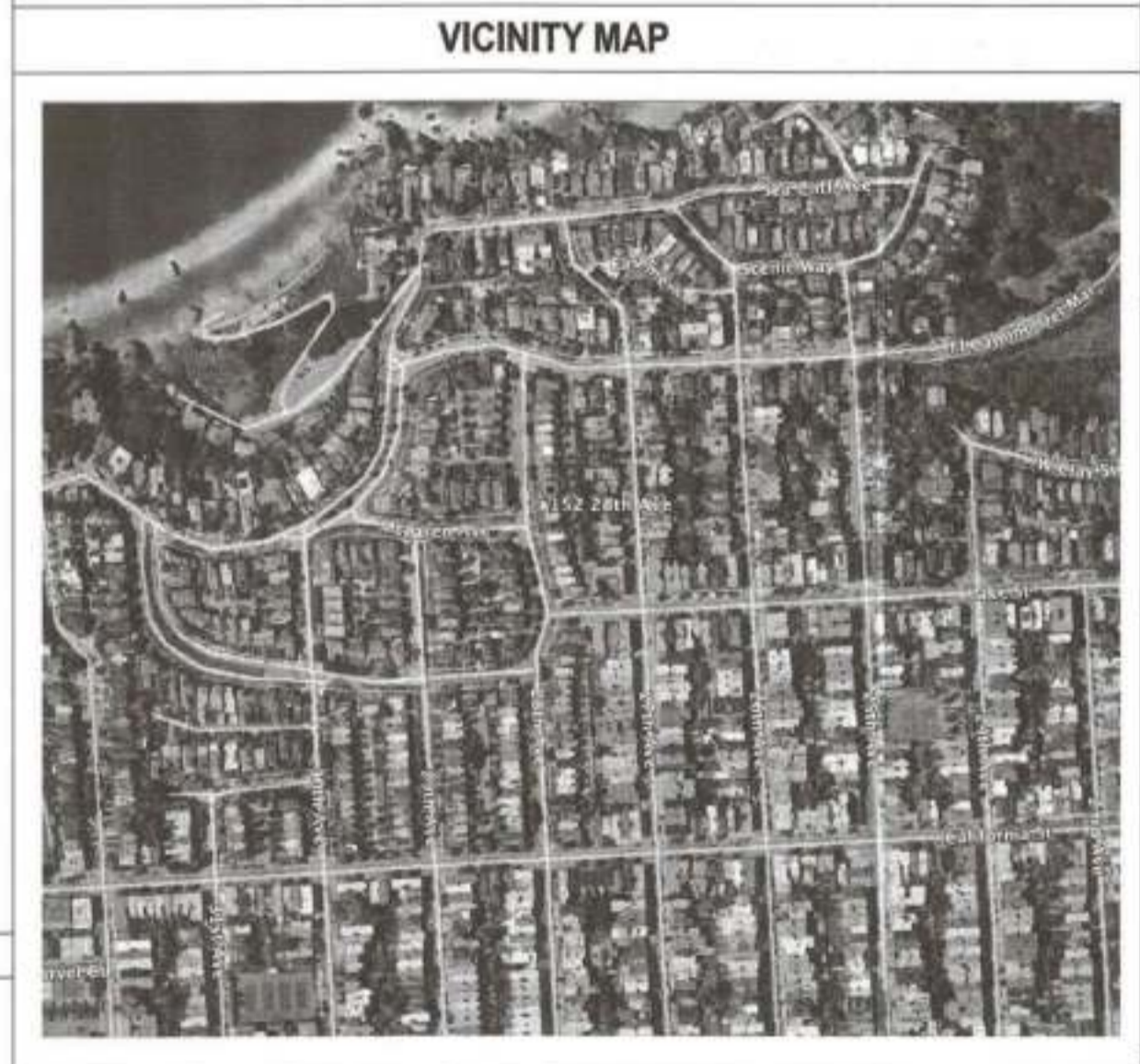
Elevations	
A3.1	East & West Elevations
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A3.3	South Elevations

Sections	
A4.1	Existing & Proposed Conditions

Reflected Ceiling Plans	
A6.1	Basement & First Floor
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Details	
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Structural	
S0.1	General Notes
S0.1B	SF Forms and Letter
S0.2	Typical Concrete Details
S0.3	Typical Framing Details
S0.4	Typical Shear Wall Details
S0.5	Typical Holdown and Strap Details
S2.1	Foundation and Framing Plans
S2.2	Framing Plans
S4.1	Building Section
S8.1	Concrete and Framing Details
S8.2	Concrete and Framing Details
S8.3	Concrete and Framing Details



### BUILDING DESCRIPTION

EXISTING	PROPOSED
Construction Type: VB	Construction Type: VB
Stories of Occupancy: 2	Stories of Occupancy: 2
Basements: 1	Basements: 1
Height: 24'-6"±	Height: 24'-6"±
Present Use: Residential R-3	Present Use: Residential R-3
Dwelling Units: 1	Dwelling Units: 1
Sprinklers: None	Sprinklers: None

### PROJECT DESCRIPTION

AN EXISTING SINGLE FAMILY RESIDENCE WITH THE FOLLOWING SCOPE OF WORK: (1) IN THE BASEMENT, PARTIALLY REPLACING FOUNDATION AND SLAB, ADDING A FRONT LIGHTWELL, INFILLING UNDER ROOM, AND ADDING TWO BEDROOMS, ONE AND A HALF BATHS, AN OFFICE, AND VARIOUS STORAGE/UTILITY ROOMS, (2) ON THE FIRST FLOOR, REMODELING THE KITCHEN, REPLACING A FULL BATH WITH A HALF BATH, EXPANDING THE DECK WITH NEW STAIRS, AND (3) ON THE SECOND FLOOR, REMODELING A BATH AND ADDING A HALLWAY.

981 Shotwell St.,  
 San Francisco, CA 94110  
 outerlandsdesign.com

Contractor:  
 Outerlands Design Inc.  
 CA Lic. #1026243 exp. 4/30/21  
 PO Box 1752, Truckee, CA 96161  
 (415) 987-4302

Design Contact:  
 Will Henderson, Architect C-33505  
 will@outerlandsdesign.com  
 (415) 420-0131

**APPROVED**  
 Dept. of Building Insp.  
 San Francisco  
 JUL 20 2021  
 PATRICK A. GORDON  
 INTERIM DIRECTOR  
 BUILDING INSPECTION

**Residential Remodel**  
**152 28th Ave.**  
**San Francisco, CA 94121**

**Property Owner**  
 Julia Diao & Patrick Gordon  
 152 28th Ave.  
 San Francisco, CA 94121  
 415.812.8750 215.307.6510  
 diao.julia@gmail.com  
 gordon.patrick.a@gmail.com

**Parcel**  
 APN: 1331/027  
 Zoning: RH-1(D)  
 Height & Bulk: 40-X  
 Area: 3,789 S.F.

**Building Information**  
 Occupancy: R-3  
 (E) Residential: 3,012.5  
 (E) Total: 3,614.1  
 Net (N) Residential: 674.7  
 Total Net (N): 119.3  
 (N) Total GSF: 3,733.4

Issued:  
 Bldg. Permit 06/23/2021

Sue Quan, DBI  
 JUL 20 2021

**Project Information**  
**Overview**  
 Printed: 7/19/21  
**A0.1**  
 SHEET 1 of 30

2021-06-23-3067

RECEIVED  
 JUL 20 2021  
 DEPT. OF BUILDING INSPECTION  
 THIS PLAN MEETS THE QUALITY  
 STANDARD FOR APPROVAL

Jeff Lee, DBI  
 JUL 20 2021

Approved Planning Dept. Kurt Both

INTERIOR WALL DAMO LESS THAN 20%.  
 WDH 7/20/21

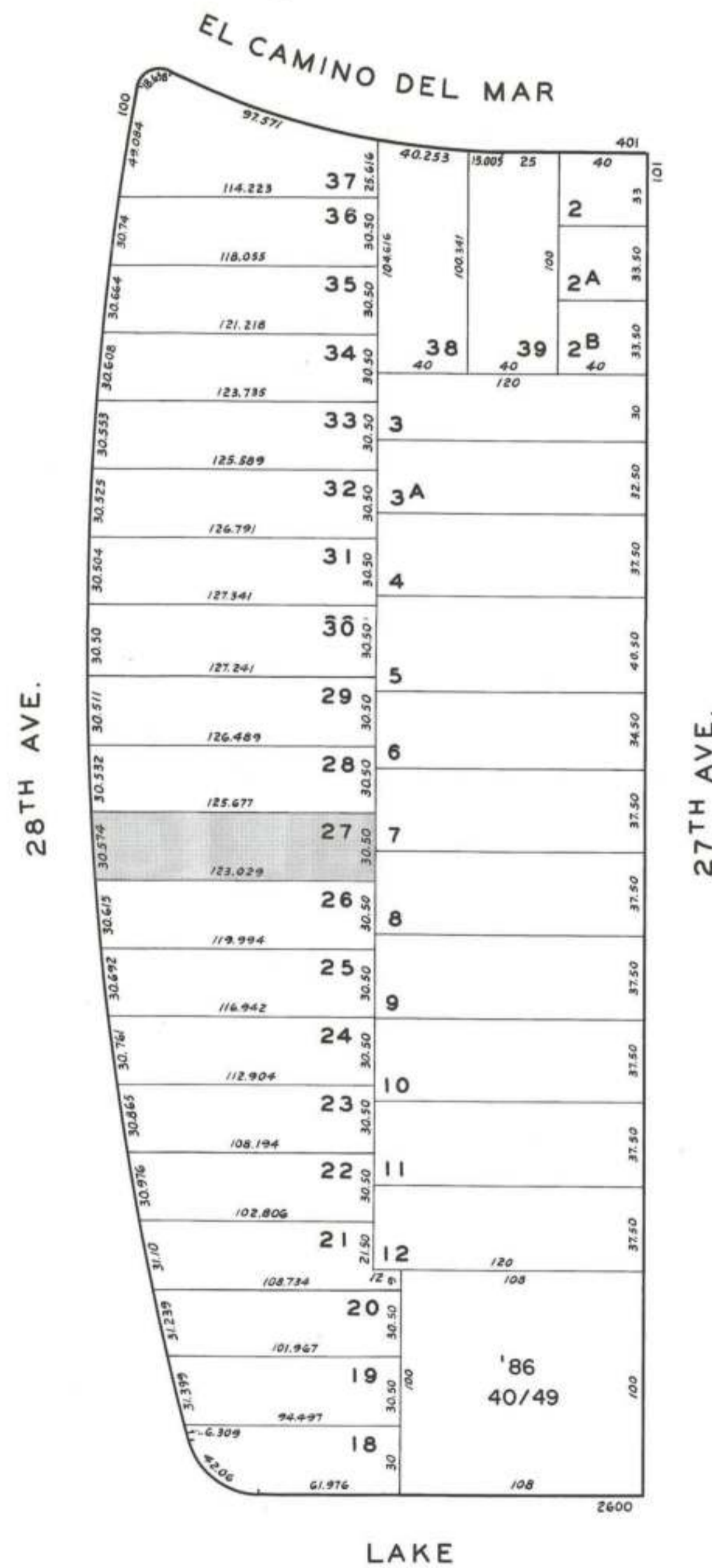


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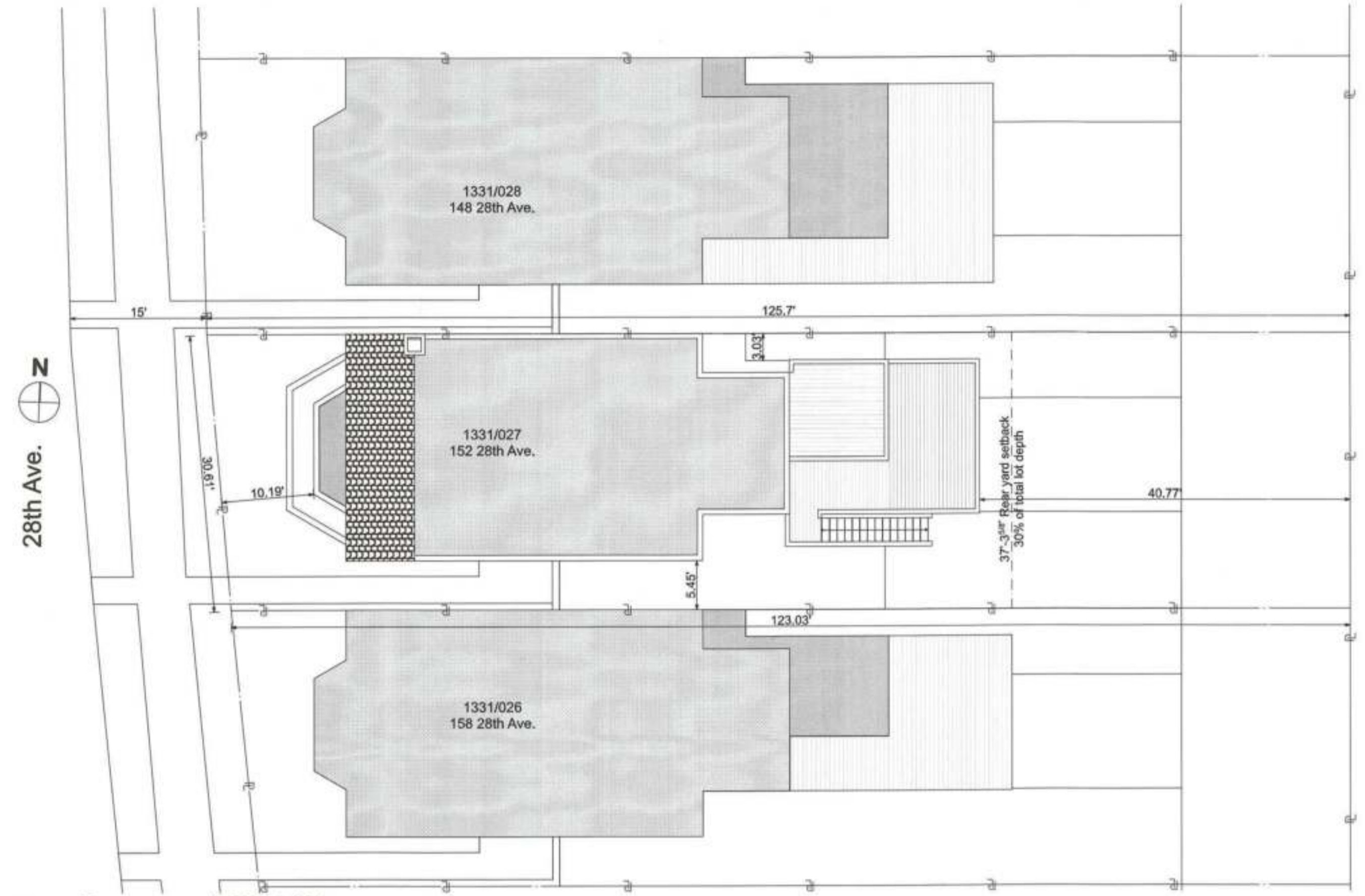
**LOTS MERGED**  
 LOT 1 INTO BLK. 1307-1924  
 LOTS 13 1/4 " " " " " "  
 LOT 16 " " " " " "  
 LOT 17 " " " " " " 1324-1924



**1331**  
 RICHMOND BLK. 45  
 REVISED '86



3  
A0.2 Assessor Block 1331



2  
A0.2 Proposed Plot Plan  
 SCALE: 3/32" = 1'-0"



1  
A0.2 Existing Plot Plan  
 SCALE: 3/32" = 1'-0"



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 (415) 420-0131

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**APPROVED**  
 Dept. of Building Insp.  
 - San Francisco -  
 JUL 20 2021

Patrick Gordon  
 INTERIM SUPERVISOR  
 DEPT. OF BUILDING INSPECTION



Issued:  
 Bldg. Permit 06/23/2021

Sue Quan, DBI  
 JUL 20 2021

**Project Information**

**Site Information**

Printed: 7/19/21

**A0.2**

**RECEIVED**  
 JUL 20 2021  
 DEPT. OF BUILDING INSPECTION  
 THIS PLAN MEETS THE QUALITY  
 STANDARDS FOR MARKING  
 ACCEPTED

Approved Planning Dept. Kurt Boln



# GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

Form version: March 11, 2020 (For permit applications January 2020 - December 2022)

INSTRUCTIONS:			OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	VERIFICATION
1. Fill out the project information in the Verification box at the right. 2. Submittal must be a minimum of 11" x 17". 3. This form is for permit applications submitted January 2020 through December 2022.			adds any amount of conditioned area, volume, or size	Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion
TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT		
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	if applicable
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	•
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	•
	MOISTURE CONTENT	CALGreen 4.505.3	Wall + floor <19% moisture content before enclosure.	•
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	•
MATERIAL EMISSIONS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	•
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec.12A10	Meet flush/flow requirements for: toilets (1.28 gpf); urinals (0.125 gpf wall, 0.5 gpf floor); showerheads (1.8 gpm); lavatories (1.2 gpm private, 0.5 gpm public/common); kitchen faucets (1.8 gpm); wash fountains (1.8 gpm); metering faucets (0.2 gpc); food waste disposers (1 gpm/8 gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10.	•
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.	•
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.	•
PARKING	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.	if applicable
RESOURCE RECOVERY	RECYCLING BY OCCUPANTS	SF Building Code 106A.3.3, CalGreen 5.410.1, AB-088	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials.	•
	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	Environment Code ch. 14 SFGBC 4.103.2.3, CalGreen 4.408.2, 4.408.5	Construction Discards Management - 100% of mixed debris must be taken by a Registered Transporter to a Registered facility and processed for recycling. Demonstrate ≥65% recovery. See www.dbi.org for details.	•
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained in best practices.	•
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	•
GOOD NEIGHBOR	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•
	TOBACCO SMOKE CONTROL	Health Code art.19F	Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if project extends outside envelope
	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope
INDOOR AIR QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent HVAC ducts/equipment stored onsite before installation.	•

**VERIFICATION**

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion

152 28th Ave. Residential Remodel

PROJECT NAME  
1331/027

BLOCK/LOT  
152 28th Ave. San Francisco CA 94121

ADDRESS  
R-3

PRIMARY OCCUPANCY  
3,733.4 S.F.

GROSS BUILDING AREA  
674.7 S.F.

INCREASE IN CONDITIONED FLOOR AREA

I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

LICENSED PROFESSIONAL (sign & date)  
May be signed by applicant when <1,000 sq. ft. is added.

**APPROVED**  
Dept. of Building Insp.  
San Francisco  
JUL 20 2021

**AFIX STAMP BELOW:**

GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #)

FIRM

I am a LEED Accredited Professional

I am a GreenPoint Rater

I am an ICC Certified CALGreen Inspector

GREEN BUILDING COMPLIANCE PROFESSIONAL (sign & date)

Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.

**FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY**

Each fixture must not exceed CALGreen 4.303 maximum flow rates:

FIXTURE TYPE	MAXIMUM FLOW RATE
Showerheads <sup>2</sup>	1.8 gpm @ 80 psi
Lavatory Faucets; residential	1.2 gpm @ 60 psi
Kitchen Faucets	1.8 gpm @ 60 psi default
Wash Fountains	1.8 gpm / 20 (rim space (inches) @ 60 psi)
Metering Faucets	.20 gallons per cycle
Tank-type water closets	1.28 gallons / flush <sup>1</sup> and EPA WaterSense Certified
Flushometer valve water closets	1.28 gallons / flush <sup>1</sup>
Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush

**NOTES:**

- For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification - 1.28 gal (4.8L)
- The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1)

**Water Efficiency of Existing Non-Compliant Fixtures**

All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDDBI.org.

NON-COMPLIANT PLUMBING FIXTURES INCLUDE:

- Any toilet manufactured to use more than 1.6 gallons/flush
- Any urinal manufactured to use more than 1 gallon/flush
- Any showerhead manufactured to have a flow capacity of more than 2.5 gpm
- Any interior faucet that emits more than 2.2 gpm

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.



Jeff Lai, DBI  
JUL 20 2021



Contractor:  
Outerlands Design Inc.  
CA Lic. #1026243 exp. 4/30/21  
PO Box 1752, Truckee, CA 96161  
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Design Contact:  
Will Henderson, Architect C-33505  
will@outerlandsdesign.com  
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## Residential Remodel

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San Francisco, CA 94121

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Issued:  
Bldg. Permit 06/23/2021

## Project Information

GS-5:  
Residential Additions and Alterations  
Printed: 7/19/21

**A0.3**







Tuesday, June 22, 2021 @ 2:23 PM

City and County of San Francisco  
Department of Building Inspection



London N. Breed, Mayor  
Tom C. Hui, S.E., C.B.O., Director

**NOTICE**

Attachment RB

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY/GREEN INSPECTION REQUIREMENTS (BUILDING)**

Please note that Certificates of Installation and/or Acceptance and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required in addition to the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" and green building "Attachment E" must be completed and signed by the responsible person in charge. The permit will not be finalized without compliance with the energy inspection requirements.

**Energy Inspection Services Contact Information**

- 1. Telephone: (415) 558-6132
- 2. Fax: (415) 558-6474
- 3. Email: [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org)
- 4. In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation, Acceptance, and Verification certificates can be found on the California Energy Commission website at <https://www.energy.ca.gov/programs-and-topics/programs/building-energy-efficiency-standards/2019-building-energy-efficiency>

Information Sheet M-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates and Green Building Attachment E. M-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

Energy Inspection Services  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6132 - FAX (415) 558-6474 - [www.sfgov.org/dbi](http://www.sfgov.org/dbi) (website) Revised 1/23/2020

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY/GREEN INSPECTION (BUILDING)**  
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

Attachment RB

JOB ADDRESS 152 28th Ave. APPLICATION NO. \_\_\_\_\_ ADDENDUM NO. \_\_\_\_\_  
ENGINEER/ARCHITECT NAME Will Henderson PHONE NO. (415) 420-0131

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater. Green Building Attachment E shall be completed as per Administrative Bulletin 093 (AB-093).

In accordance with the requirements of the 2019 California Energy Code, 2019 SFGBC and AB-093, the following documentation is required for the building elements in this project:

- 1. Installation
Addition and Alteration
CF2R-ADD-10-E Non HERS - Prescriptive Additions Simple (B83)
CF2R-ALT-05-E Non HERS - Prescriptive Alterations Simple (B84)
Envelope
CF2R-ENV-01-E Non HERS - Fenestration Installation (B81)
CF2R-ENV-03-E Non HERS - Insulation Installation (B83)
CF2R-ENV-04-E Non HERS - Roofing/Radiant Barrier (B84)
CF2R-ENV-05-H HERS - Building Envelope Air Leakage Test (B85)
CF2R-ENV-21-H HERS - Quality Insulation Installation (QI) - Framing Stage (B86)
CF2R-ENV-22-H HERS - Quality Insulation Installation (QI) - Insulation Stage (B87)
Solar Ready
CF2R-SRA-01-E - Solar Ready Buildings - New Constructions (B88)
CF2R-SRA-02-E - Minimum Solar Zone Area Worksheet - New Constructions (B89)

- 2. Verification
Existing Conditions
CF3R-EXC-20-H HERS - HERS Verification of Existing Conditions for Residential Alterations (V847)
Envelope
CF3R-ENV-20-H HERS - Building Envelope Air Leakage Test (V848)
CF3R-ENV-21-H HERS - Quality Insulation Installation (QI) - Framing Stage (V849)
CF3R-ENV-22-H HERS - Quality Insulation Installation (QI) - Insulation Stage (V850)
Mechanical
CF3R-MCH-20-H HERS - Dust Leakage Test (V849)
CF3R-MCH-21-H HERS - Dust Location (V812)
CF3R-MCH-22-H HERS - Space Conditioning System Fan Efficacy (V850)
CF3R-MCH-23-H HERS - Space Conditioning System Airflow Rate (V851)
CF3R-MCH-24-H HERS - Building Envelope Air Leakage Worksheet (V852)
CF3R-MCH-25-H HERS - Refrigerant Charge Verification (V853)
CF3R-MCH-26-H HERS - Verified EER or SEER (V821)
CF3R-MCH-27-H HERS - IAQ (V854)
CF3R-MCH-28-H HERS - Return Duct Design and Air Filter Grille Device Sizing According to Tables 150.D-B or C (V824)
CF3R-MCH-29-H HERS - Duct Surface Area Reduction; R-Value; Buried Ducts Compliance Credit (V827)
CF3R-MCH-30-H HERS - Ventilation Cooling Compliance Credit (V860)
CF3R-MCH-31-H HERS - Whole house fan (V808)
CF3R-MCH-32-H HERS - Local Mechanical Exhaust (V859)

3. Green Building (For New Construction and Major Alterations)
Green Building Attachment E (B8C1)
CF3R-MCH-32-H HERS - Local Mechanical Exhaust (V859)

Required information:
Prepared by: [Signature] Date: 6/22/21
Engineer/Architect of Record Signature
Fax: will@outerlandsdesign.com
Email: will@outerlandsdesign.com
Review by: [Signature] Phone: (415) 558-
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)
DATE: \_\_\_\_\_
DBI Building Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org); or FAX (415) 558-6474
Revised 1/23/2020

City and County of San Francisco  
Department of Building Inspection



London N. Breed, Mayor  
Tom C. Hui, S.E., C.B.O., Director

**NOTICE**

Attachment RE

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION REQUIREMENTS (ELECTRICAL)**

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For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Building Inspector or 415-558-6570.

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Installation, Acceptance, and Verification certificates can be found on the California Energy Commission website at <https://www.energy.ca.gov/programs-and-topics/programs/building-energy-efficiency-standards/2019-building-energy-efficiency>

Information Sheet M-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. M-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

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City and County of San Francisco  
Department of Building Inspection



London N. Breed, Mayor  
Tom C. Hui, S.E., C.B.O., Director

**NOTICE**

Attachment RP

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION REQUIREMENTS (PLUMBING)**

Please note that Certificates of Installation and/or Acceptance and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required in addition to the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. The permit will not be finalized without compliance with the energy inspection requirements.

**Energy Inspection Services Contact Information**

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- 2. Fax: (415) 558-6474
- 3. Email: [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org)
- 4. In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation, Acceptance, and Verification certificates can be found on the California Energy Commission website at <https://www.energy.ca.gov/programs-and-topics/programs/building-energy-efficiency-standards/2019-building-energy-efficiency>

Information Sheet M-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. M-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

Energy Inspection Services  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6132 - FAX (415) 558-6474 - [www.sfgov.org/dbi](http://www.sfgov.org/dbi) (website) Revised 1/23/2020

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (PLUMBING)**  
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

Attachment RP

JOB ADDRESS 152 28th Ave. APPLICATION NO. \_\_\_\_\_ ADDENDUM NO. \_\_\_\_\_  
ENGINEER/ARCHITECT NAME Will Henderson PHONE NO. (415) 420-0131

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2019 California Energy Code, the following documentation is required for the plumbing work in this project:

- 1. Installation
Plumbing
CF2R-PLB-01-E DHW Non-HERS - Multifamily Central Hot Water System Distribution (IP6)
CF2R-PLB-02-E DHW Non-HERS - Single Dwelling Unit Hot Water System Distribution (IP6)
CF2R-PLB-03-E DHW Non-HERS - Pool and Spa Heating System (IP7)
CF2R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (IP9)
CF2R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (IP8)
Solar
CF2R-STH-01-E Solar Water Heating System (SP1)
Mechanical
CF2R-MCH-04-E Non HERS - Evaporative coolers (BP2)

2. Verification
CF3R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (VP2)
CF3R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (VP3)

Required information:
Prepared by: [Signature] Date: 6/22/21
Engineer/Architect of Record Signature
Fax: will@outerlandsdesign.com
Email: will@outerlandsdesign.com
Review by: [Signature] Phone: (415) 558-
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)
DATE: \_\_\_\_\_
DBI Plumbing Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org); or FAX (415) 558-6474
Revised 1/23/2020

Attachment RE

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (ELECTRICAL)**  
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 152 28th Ave. APPLICATION NO. \_\_\_\_\_ ADDENDUM NO. \_\_\_\_\_  
ENGINEER/ARCHITECT NAME Will Henderson PHONE NO. (415) 420-0131

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2019 California Energy Code, the following documentation is required for the electrical elements in this project:

- 1. Installation
Electrical
CF2R-LTG-01-E Lighting - Single Family Dwellings (E1)
CF2R-LTG-02-E Lighting - Multi-Family Dwellings (E2)
Solar
CF2R-PVS-01-E Photovoltaic Systems (E18)
CF2R-PVS-02-E Battery Storage Systems (E19)

Required information:
Prepared by: [Signature] Date: 6/22/21
Engineer/Architect of Record Signature
Fax: will@outerlandsdesign.com
Email: will@outerlandsdesign.com
Review by: [Signature] Phone: (415) 558-
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)
DATE: \_\_\_\_\_
DBI Electrical Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org); or FAX (415) 558-6474
Revised 1/23/2020

Jeff Lai, DBI  
JUL 2 0 2021



981 Shotwell St.,  
San Francisco, CA 94110  
outerlandsdesign.com

Contractor:  
Outerlands Design Inc.  
CA Lic. #1026243 exp. 4/30/21  
PO Box 1752, Truckee, CA 96161  
(415) 957-4302  
Design Contact:  
Will Henderson, Architect C-33505  
will@outerlandsdesign.com  
(415) 420-0131

**Residential Remodel**

**152 28th Ave.**  
San Francisco, CA 94121

Property Owner  
Julia Diao & Patrick Gordon  
152 28th Ave.  
San Francisco, CA 94121  
415.812.8750 215.307.6510  
diao.julia@gmail.com  
gordon.patrick.a@gmail.com

Parcel  
APN: 1331/027  
Zoning: RH-1(D)  
Height & Bulk: 40-X  
Area: 3,789 S.F.

Building Information  
Occupancy: R-3  
(E) Residential: 3,012.5  
(E) Total: 3,614.1  
Net (N) Residential: 785.2  
Total Net (N): 183.6  
(N) Total GSF: 3,797.7



Issued:  
Bldg. Permit 06/23/2021

Project Information

Title 24 Energy Forms

Printed: 6/22/21

A0.5

RECEIVED  
JUL 23 2021  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY STANDARD FOR DIGITIZING ACCEPTED

APPROVED  
Dept. of Building Insp.  
- San Francisco -  
JUL 2 0 2021

[Signature]  
PATRICIA MORGAN  
INTERIM DIRECTOR  
DEPT. OF BUILDING INSPECTION

Sue Cuan, DBI  
JUL 2 0 2021

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STATE OF CALIFORNIA  
**Prescriptive Residential Additions That Do Not Require HERS Field Verification**  
 CEC-CF1R-ADD-02-E (Revised 01/20)

CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE  
 CF1R-ADD-02-E  
 Prescriptive Residential Additions That Do Not Require HERS Field Verification  
 Page 1 of 7

Project Name: 152 28th Ave. RESIDENTIAL REMODEL  
 Date Prepared: 6/16/2021

This compliance document is only applicable to additions less than or equal to 1,000 ft<sup>2</sup> and do not require HERS field verification for compliance. When HERS verification is required, a CF1R-ADD-01 shall first be registered with a HERS Provider Data Registry.

Alterations to Space Conditioning Systems that are exempt from HERS verification requirements may use the CF1R-ADD-02 and CF2R-ADD-02 Compliance Documents. Possible exemptions from duct leakage testing include: less than 40 ft of ducts were added or replaced; or the existing duct system was insulated with asbestos; or the existing duct system was previously tested and passed by a HERS Rater. If space conditioning systems are altered and are not exempt from HERS verification, then a CF1R-ADD-01 and a CF1R-ALT-02 must be completed and registered with a HERS Provider Data Registry.

Additions or alterations that utilize closed Cell Spray Polyurethane Foam (ccSPF) with a density of 1.5 to less than 2.5 pounds per cubic foot having an R-value greater than 5.8 per inch, or Open Cell Spray Polyurethane Foam (ocSPF) with a density of 0.4 to less than 1.5 pounds per cubic foot having an R-value of 3.6 per inch, shall complete and register a CF1R-ADD-02 with a HERS Provider Data Registry.

If more than one person has responsibility for installation of the items on this certificate, each person shall prepare and sign a certificate applicable to the portion of construction for which they are responsible. Alternatively, the person with chief responsibility for construction shall prepare and sign this certificate for the entire construction. All applicable Mandatory Measures shall be met. Temporary labels shall not be removed before verification by the building inspector.

**A. General Information** (please complete entire table)

01	Project Name:	152 28th Ave. RESIDENTIAL REMODEL	02	Date Prepared:	6/16/2021
03	Project Location:	152 28th Avenue	04	Building Front Orientation (deg):	270
05	CA City:	San Francisco	06	Number of Dwelling Units with Additions:	1
07	Zip Code:	94121	08	Fuel Type:	Natural Gas
09	Climate Zone:	3	10	Total Conditioned Floor Area (ft <sup>2</sup> ) (Addition):	675
11	Building Type:	Single family	12	Slab Area (ft <sup>2</sup> ):	1,308
13	Project Scope:	> 400 ft <sup>2</sup> to ≤ 700 ft <sup>2</sup>	14	Exceptions to Fenestration U-factor and SHGC 150.1(c)(3A):	NA
15	Roof Type:	<input checked="" type="checkbox"/> Framed <input type="checkbox"/> Non-framed <input type="checkbox"/> Mass Walls <input type="checkbox"/> None			
16	Roof/Ceiling Insulation:	<input type="checkbox"/> Option B - Below deck insulation <input type="checkbox"/> Option C - Ducts & Air handler in conditioned space			
17	Windows being installed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	18	Doors (if being installed)?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
19	New water heater being installed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
20	Are lighting requirements applicable?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

Notes: Include mandatory measures?  Yes  No

CA Building Energy Efficiency Standards - 2019 Residential Compliance January 2020

STATE OF CALIFORNIA  
**Prescriptive Residential Additions That Do Not Require HERS Field Verification**  
 CEC-CF1R-ADD-02-E (Revised 01/20)

CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE  
 CF1R-ADD-02-E  
 Prescriptive Residential Additions That Do Not Require HERS Field Verification  
 Page 2 of 7

Project Name: 152 28th Ave. RESIDENTIAL REMODEL  
 Date Prepared: 6/16/2021

**B. Opaque Surface Details - Framed (Section 150.2(a) and 150.1(c)(1))**

Tag/ID	Assembly Type	Frame Type	Frame Depth (in)	Frame Spacing (in)	Proposed			Required		Comments
					Cavity R-value	Continuous Insulation R-value	U-factor	Table	Cell	
NORTH WALL	Wall	Wood	2x6	16 inch OC	21	N/A	0.069	4.3.1	A7	0.071
EAST WALL	Wall	Wood	2x6	16 inch OC	21	N/A	0.069	4.3.1	A7	0.071
SOUTH WALL	Wall	Wood	2x6	16 inch OC	21	N/A	0.069	4.3.1	A7	0.071

**E. Slab Insulation (Table 150.1-A or Table 150.1-B)**

Floor Type	Proposed		Required		Comments
	Insulation R-value	Insulation U-factor	Insulation R-value	Insulation U-factor	
Slab-on-grade	5	N/A	5	N/A	R-5, 16" depth

Note: Heated slab floors require mandatory slab insulation (see Table 150.1-B-A).

CA Building Energy Efficiency Standards - 2019 Residential Compliance January 2020

STATE OF CALIFORNIA  
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 CEC-CF1R-ADD-02-E (Revised 01/20)

CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE  
 CF1R-ADD-02-E  
 Prescriptive Residential Additions That Do Not Require HERS Field Verification  
 Page 3 of 7

Project Name: 152 28th Ave. RESIDENTIAL REMODEL  
 Date Prepared: 6/16/2021

**F. Radiant Barrier (Section 150.1(c)(2))**

01		02	
Radiant Barrier installed below the roof deck and on all gable end walls		Comments	
Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>		

Notes:

- Radiant barriers shall meet specific eligibility and installation criteria to receive credit for compliance with the Building Energy Efficiency Standards for low-rise residential buildings. Refer to RA4.2.1.
- The emittance of the radiant barrier shall be less than or equal to 0.05 as tested in accordance with ASTM C1371 or ASTM E408.
- For Prescriptive Compliance the attic shall be ventilated to provide a minimum free ventilation area of not less than one square foot of vent area for each 300 ft<sup>2</sup> of attic floor area with a minimum of 40 percent upper vents. Ridge vents or gable end vents are recommended to achieve the best performance. The material should be cut to allow for full airflow to the vents.

**H. Fenestration/Glazing Allowed Areas and Efficiencies (Section 150.2(a)(1))**

Addition Type (ft <sup>2</sup> )	02		03		04		05		06		07		08		09		Comments
	Maximum Calculated based on Allowed %	Maximum Calculated Allowed ft <sup>2</sup>	Maximum Allowed Fenestration Area for All Orientations (ft <sup>2</sup> )	Maximum Allowed West-Facing Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )	Maximum Allowed Fenestration Area Only (ft <sup>2</sup> )		
>400 to ≤700 ft <sup>2</sup>	168.75	120	NA	NA	0.30	0.30	NA	NA	0.33	0.33	0.33	0.33	0.33	0.33	0.33	0.33	

CA Building Energy Efficiency Standards - 2019 Residential Compliance January 2020

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 Prescriptive Residential Additions That Do Not Require HERS Field Verification  
 Page 4 of 7

Project Name: 152 28th Ave. RESIDENTIAL REMODEL  
 Date Prepared: 6/16/2021

**I. Fenestration Proposed Areas and Efficiencies**

Note: If meeting Exception 1 to 150.1(c)(3A), installing ≤ 3ft<sup>2</sup> glass in door or ≤ 3ft<sup>2</sup> tubular skylight, it is not required to meet the minimum U-factor (0.30) & SHGC requirements (0.23). If meeting Exception 2 to 150.1(c)(3A), installing ≤ 16 ft<sup>2</sup> of new skylights, it is assumed to meet the minimum required U-factor (0.30) & SHGC (0.30). Doors with greater than or equal to 25 percent glazing area are considered glazed doors and are treated as fenestration products.

Tag/ID	Fenestration Type	Frame Type	Dynamic Glazing	Orientation (N,S,W,E)	Number of Panes	Proposed Fenestration Area (ft <sup>2</sup> )	Proposed West Facing Fenestration Area (ft <sup>2</sup> )	Proposed U-factor	Proposed SHGC	Proposed SHGC Source	Exterior Shading Device	Combined SHGC from CF1R-ENV-03
01	Operable Window	Non-metal	n/a	West	2	12	12	0.30	NFRC	0.33	NFRC	n/a
02	Operable Window	Non-metal	n/a	West	4	31.5	31.5	0.30	NFRC	0.33	NFRC	n/a
03	Operable Window	Non-metal	n/a	West	2	12	12	0.30	NFRC	0.33	NFRC	n/a
04	Operable Window	Non-metal	n/a	South	2	15	0	0.30	NFRC	0.33	NFRC	n/a
05	Operable Window	Non-metal	n/a	South	2	15	0	0.30	NFRC	0.33	NFRC	n/a
12	Glass in Door	Non-metal	n/a	North	1	10.1	0	0.29	NFRC	0.45	NFRC	n/a
16	Glass in Door	Non-metal	n/a	South	1	10.1	0	0.29	NFRC	0.45	NFRC	n/a

15 Total Proposed Fenestration Area: 105.7  
 16 Maximum Allowed Fenestration Area: 168.75  
 17 Compliance Statement: Total Proposed Fenestration Area ≤ Maximum Allowed Fenestration Area  Yes  No  
 18 Total Proposed West-Facing Fenestration Area: 55.5  
 19 Maximum Allowed West-Facing Fenestration Area: NA  
 20 Compliance Statement: Total Proposed West-Facing Fenestration Area ≤ Maximum Allowed West-Facing Fenestration Area  Yes  No  
 21 Proposed Fenestration U-factor (Windows): 0.30  
 22 Required Fenestration U-factor (Windows): 0.30

CA Building Energy Efficiency Standards - 2019 Residential Compliance January 2020

STATE OF CALIFORNIA  
**Prescriptive Residential Additions That Do Not Require HERS Field Verification**  
 CEC-CF1R-ADD-02-E (Revised 01/20)

CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE  
 CF1R-ADD-02-E  
 Prescriptive Residential Additions That Do Not Require HERS Field Verification  
 Page 5 of 7

Project Name: 152 28th Ave. RESIDENTIAL REMODEL  
 Date Prepared: 6/16/2021

23 Compliance Statement: Proposed Fenestration U-factor ≤ Required Fenestration U-factor  Yes  No  
 24 Proposed Fenestration SHGC (Windows): NA  
 25 Required Fenestration SHGC (Windows): NA  
 26 Compliance Statement: Proposed Fenestration SHGC ≤ Required Fenestration SHGC  Yes  No  
 27 Proposed Fenestration U-factor (Skylights): n/a  
 28 Required Fenestration U-factor (Skylights): 0.30  
 29 Compliance Statement: Proposed Fenestration U-factor ≤ Required Fenestration U-factor  Yes  No  
 30 Proposed Fenestration SHGC (Skylights): n/a  
 31 Required Fenestration SHGC (Skylights): 0.23  
 32 Compliance Statement: Proposed Fenestration SHGC ≤ Required Fenestration SHGC  Yes  No

**K. Space Conditioning (SC) Systems - Heating/Cooling (Section 150.2(b))**

Alterations to Space Conditioning Systems shall be exempt from HERS verification requirements as prerequisite for use of the CF1R-ADD-02 and CF2R-ADD-02 Compliance Documents. If new space conditioning systems are installed or existing systems are altered and are not exempt from HERS verification, then a CF1R-ADD-01 and a CF1R-ALT-02 shall be completed and registered with a HERS Provider Data Registry. In each row below for each dwelling unit in the building, check the box that indicates the exemption from HERS verification compliance:

a: space conditioning system was not altered;  
 b: less than 40 ft of ducts were added or replaced;  
 c: (exempt from duct leakage testing) if the existing duct system was insulated with asbestos;  
 d: (exempt from duct leakage testing) if the existing duct system was previously tested and passed by a HERS Rater.

01	02	03	04
Dwelling Unit Name	SC System Identification or Name	SC System Location or Area Served	Exemption from HERS Verification
1	DHW1	whole house	a. <input type="checkbox"/> b. <input checked="" type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/>

CA Building Energy Efficiency Standards - 2019 Residential Compliance January 2020

STATE OF CALIFORNIA  
**Prescriptive Residential Additions That Do Not Require HERS Field Verification**  
 CEC-CF1R-ADD-02-E (Revised 01/20)

CALIFORNIA ENERGY COMMISSION  
 CERTIFICATE OF COMPLIANCE  
 CF1R-ADD-02-E  
 Prescriptive Residential Additions That Do Not Require HERS Field Verification  
 Page 6 of 7

Project Name: 152 28th Ave. RESIDENTIAL REMODEL  
 Date Prepared: 6/16/2021

**L. Water Heating System (Section 150.2(a)(1D))**

List water heaters and boilers for both domestic hot water (DHW) heaters and hydronic space heating.  
 Electric water heaters can only be used if gas is not connected to the building. For recirculation systems, only demand recirculation system with manual control pumps can be used.

Dwelling Unit Name	Water Heating System ID or Name	Water Heating System Location or Area Served	Water Heating System Type	Water Heater Type	# of Water Heaters in System	Water Heater Storage Volume (gal)	Fuel Type	Rated Input Type	Rated Input Value	Heating Efficiency Type	Heating Efficiency Value	Standby Loss (%)	Exterior Insulation R-value	Back-Up Solar Savings Fraction
1	DHW1	WHOLE HOUSE	Combined Hydronic	Small instantaneous	1	0	Gas	Btu/h	120,000	Energy Factor	0.95	n/a	n/a	n/a

APPROVED  
 Dept. of Building Insp. - San Francisco  
 JUL 2 0 2021  
 SUE QUAN, DBI  
 JUL 2 0 2021  
 RECEIVED  
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CA Building Energy Efficiency Standards - 2019 Residential Compliance January 2020

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 Page 7 of 7

Project Name: 152 28th Ave. RESIDENTIAL REMODEL  
 Date Prepared: 6/16/2021

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Will Henderson  
 Signature: [Signature]  
 Signature Date: 7/16/2021

Company: Outerlands Design + Build  
 Address: 981 Shotwell St.  
 City/State/Zip: San Francisco, CA 94110  
 Phone: 415-420-0131

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- That the energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Will Henderson  
 Signature: [Signature]  
 Signature Date: 7/16/2021

Company: Outerlands Design + Build  
 Address: 981 Shotwell St.  
 City/State/Zip: San Francisco, CA 94110  
 Phone: 415-420-0131

CA Building Energy Efficiency Standards - 2019 Residential Compliance January 2020

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 will@outerlandsdesign.com  
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**Residential Remodel**

**152 28th Ave.**  
 San Francisco, CA 94121

**Property Owner**  
 Julia Diao & Patrick Gordon  
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 415.812.8750 215.307.6510  
 diao.julia@gmail.com  
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**Parcel**  
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 Height & Bulk: 40-X  
 Area: 3,789 S.F.

**Building Information**  
 Occupancy: R-3  
 (E) Residential: 3,012.5  
 (E) Total: 3,614.1  
 Net (N) Residential: 674.7  
 Total Net (N): 119.3  
 (N) Total GSF: 3,733.4

**Issued:**  
 Bldg. Permit 06/23/2021

**Project Information**

**Title 24 Certificate of Compliance**

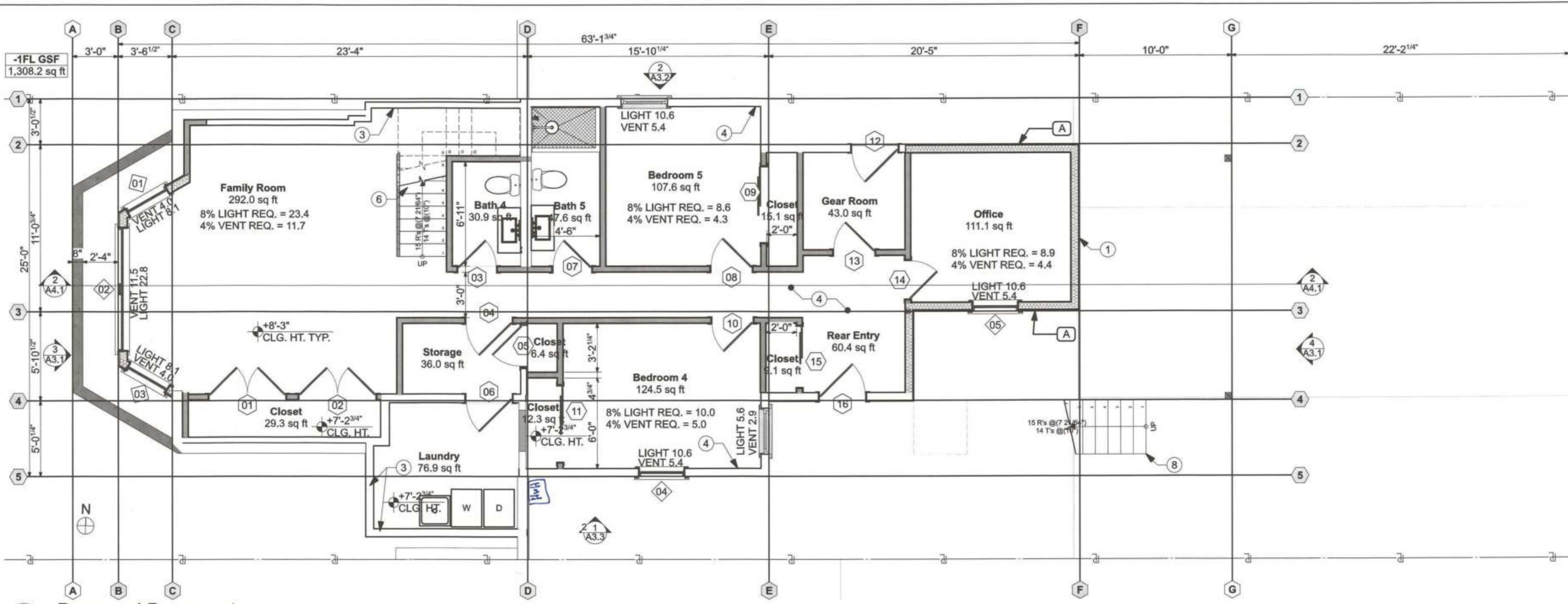
Printed: 7/19/21

**A0.6**

SHEET 6 of 30

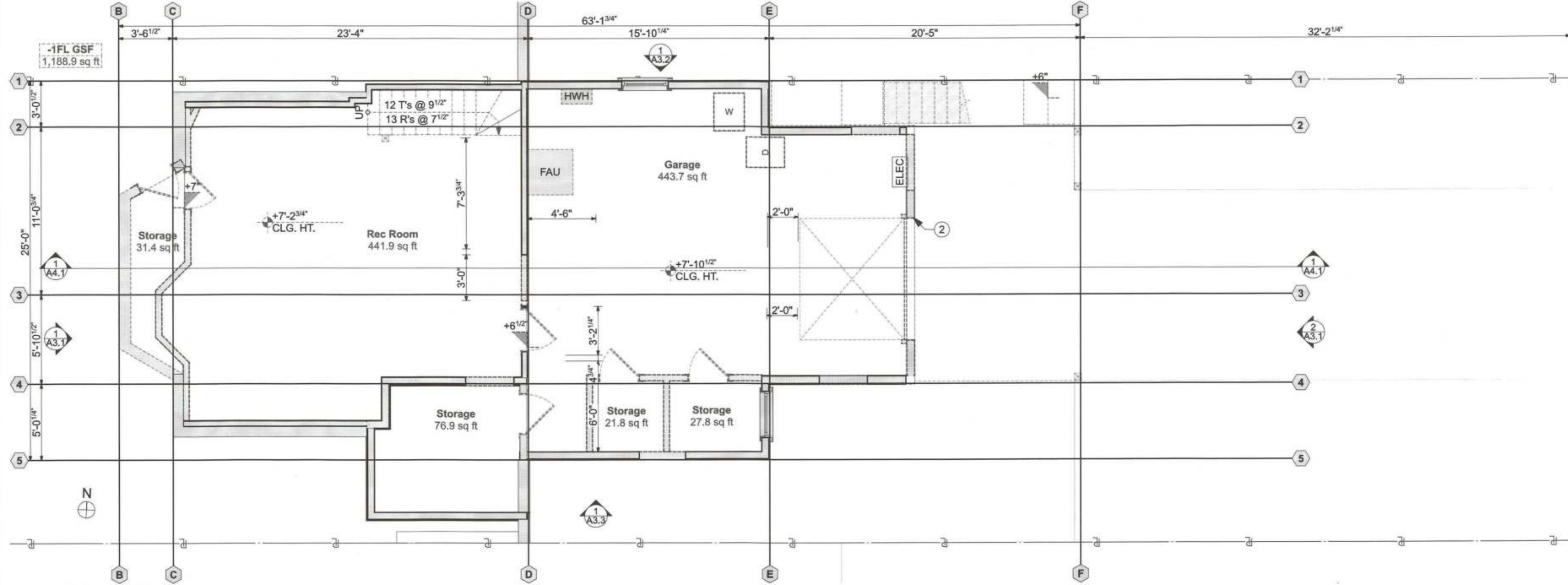
Jeff Lai, DBI  
 JUL 2 0 2021





**2 Proposed Basement**

A1.1 SCALE: 1/4" = 1'-0"



**1 Existing Basement**

A1.1 SCALE: 1/4" = 1'-0"

**SHEET NOTES**

- 1 ALL NEW EXTERIOR COLORS, MATERIALS, AND FINISHES SHALL MATCH EXISTING STRUCTURE, TYP.
- 2 ON EXISTING PLANS, ALL BUILDING ELEMENTS TO BE DEMOLISHED SHOWN DASHED, TYP.
- 3 ANY REQUIRED RATED WALLS "OPENED" DURING CONSTRUCTION WILL HAVE ITS RATING MAINTAINED WHEN THE WALL IS "CLOSED".
- 4 ADD 5/8" TYPE "X" GYP. BD., AS NEEDED, FOR 1-HR RATED CEILING AND WALLS THROUGHOUT FORMER GARAGE, TYP.
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- 7 FOR TYPICAL DECK GUARDRAIL INFORMATION, SEE: 7 A8.1
- 8 FOR TYPICAL EXTERIOR STAIR INFORMATION, SEE: 8 A8.1

**WALL TYPES**

1. FOR STRUCTURAL INFORMATION, SEE STRUCTURAL DRAWINGS.
2. INT. WALLS ARE WALL TYPE D U.O.N.

**TYPE**

- A EXT. 1-HR RATED 2x WALL, SEE 1 A8.1
- F EXT. 1-HR RATED 2x4 WALL, SEE 3 A8.1



**PLUMBING NOTES**

1. NO LANDSCAPE IRRIGATION INCLUDED IN SCOPE OF WORK.

Sue Quan, DBI  
JUL 20 2021



Jeff Lai, DBI  
JUL 20 2021

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Design+Build

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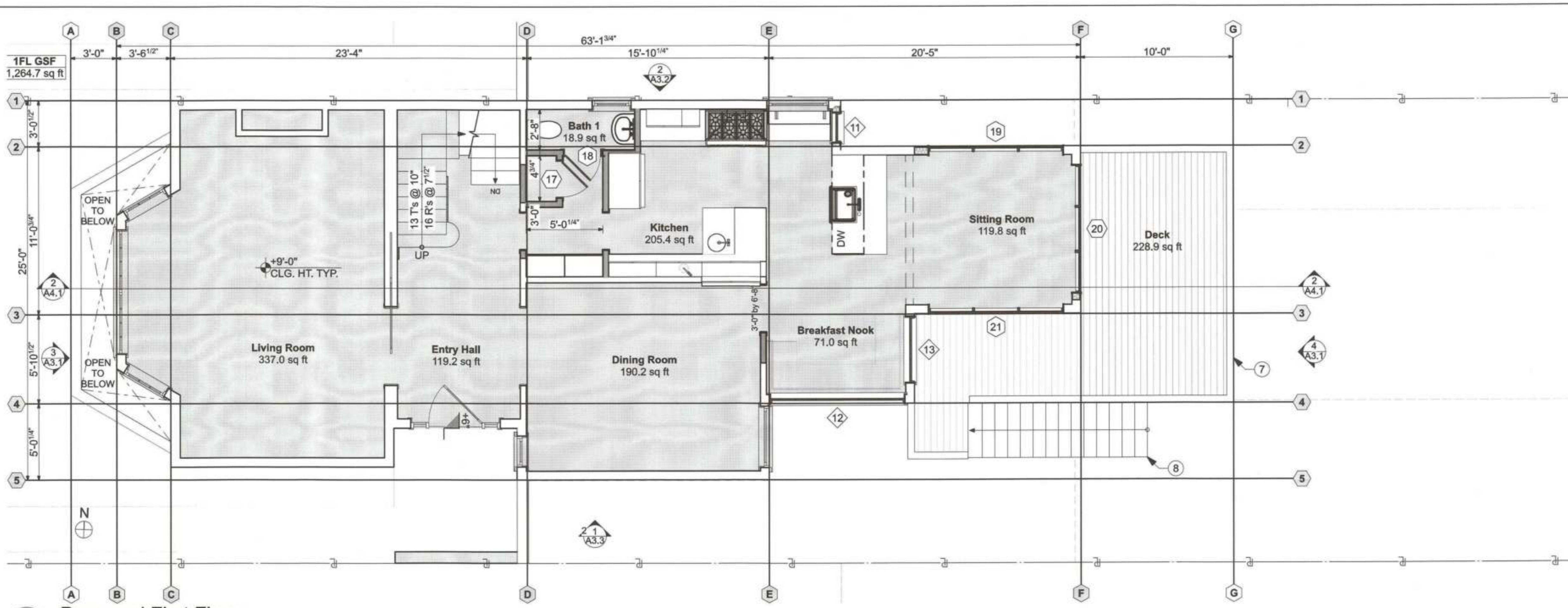
**Issued:**  
Bldg. Permit 06/23/2021

Plans  
Basement

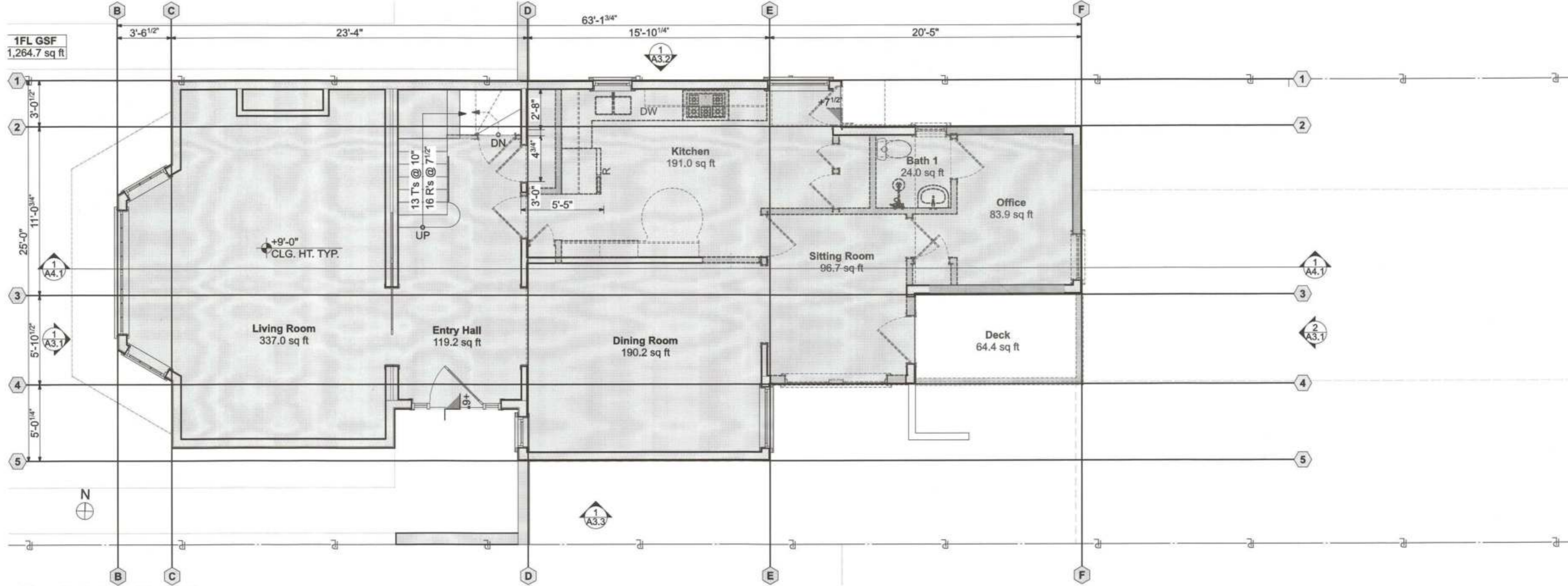
Printed: 7/19/21

**A1.1**





**2 Proposed First Floor**  
SCALE: 1/4" = 1'-0"



**1 Existing First Floor**  
SCALE: 1/4" = 1'-0"

- SHEET NOTES**
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  - FOR TYPICAL DECK GUARDRAIL INFORMATION, SEE: **7 AB.1**
  - FOR TYPICAL EXTERIOR STAIR INFORMATION, SEE: **9 AB.1**

- WALL TYPES**
- FOR STRUCTURAL INFORMATION, SEE STRUCTURAL DRAWINGS.
  - INT. WALLS ARE WALL TYPE **D** U.O.N.
- TYPE**
- A** EXT. 1-HR RATED 2x WALL, SEE **1 AB.1**
  - F** EXT. 1-HR RATED 2x4 WALL, SEE **3 AB.1**

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**Issued:**  
Bldg. Permit 06/23/2021



- PLUMBING NOTES**
- NO LANDSCAPE IRRIGATION INCLUDED IN SCOPE OF WORK.



Jeff Lai, DBI  
JUL 20 2021

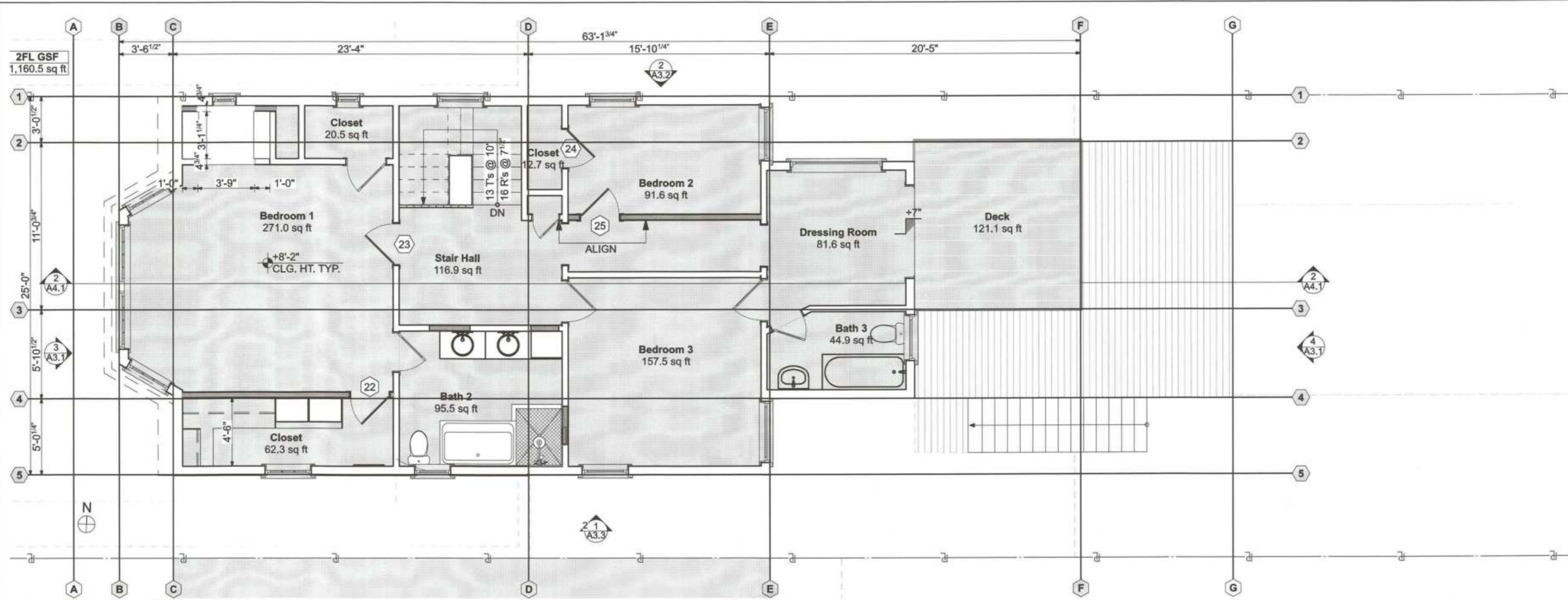
Plans

First Floor

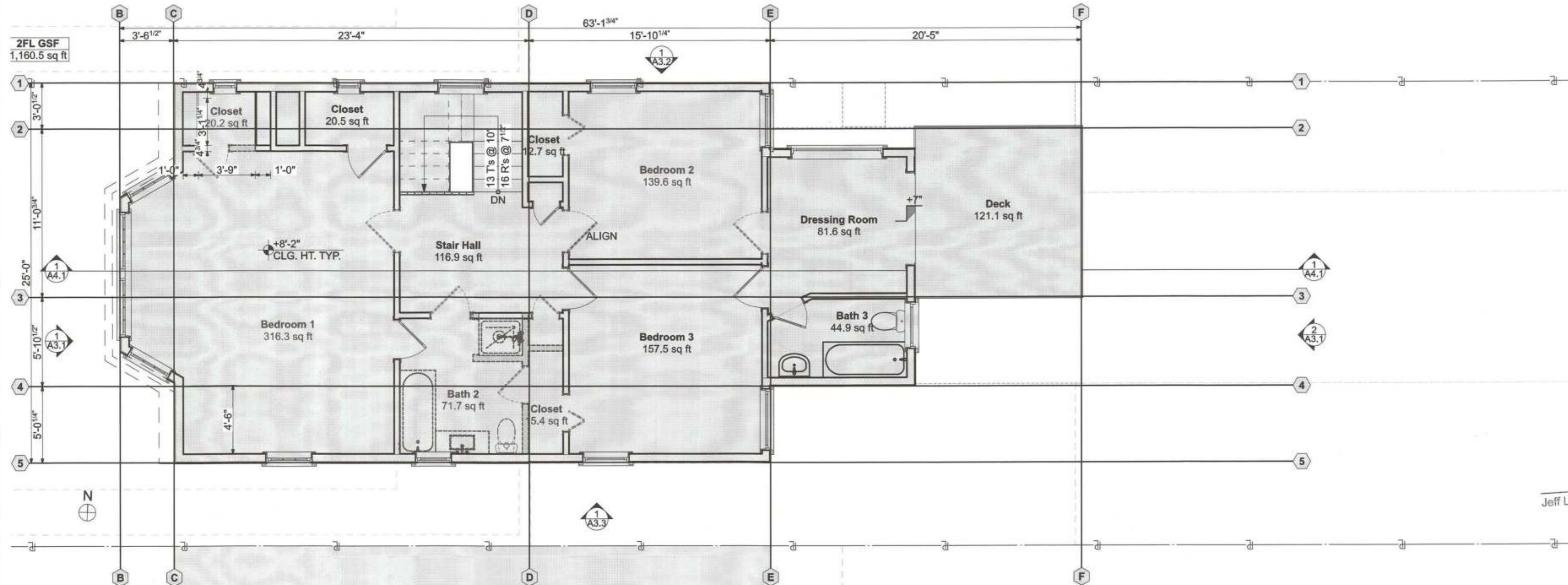
Printed: 7/19/21

**A1.2**





2 Proposed Second Floor  
A1.3 SCALE: 1/4" = 1'-0"



1 Existing Second Floor  
A1.3 SCALE: 1/4" = 1'-0"

- SHEET NOTES**
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**Residential Remodel**

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Total Net (N): 119.3  
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Issued:  
Bldg. Permit 06/23/2021



- PLUMBING NOTES**
- NO LANDSCAPE IRRIGATION INCLUDED IN SCOPE OF WORK.

Jeff Lai, DBI  
JUL 20 2021



Sue Quan, DBI  
JUL 20 2021

Plans

Second Floor

Printed: 7/19/21

**A1.3**

Approved Planning Dept. Kurt Boen





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Issued:  
Bldg. Permit 06/23/2021

Plans

Roof

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# A1.4

SHEET 10 of 30

### SHEET NOTES

- ALL NEW EXTERIOR COLORS, MATERIALS, AND FINISHES SHALL MATCH EXISTING STRUCTURE, TYP.
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### PROPOSED WALL TYPES

- INT. 1-HR RATED 2x4 WD. STUD WALL W/ (1) 5/8" TYPE "X" GYP. BD. EA. SIDE
- TYP. INT. 2x4 WD. STUD WALL W/ (1) 5/8" TYPE "X" GYP. BD. EA. SIDE

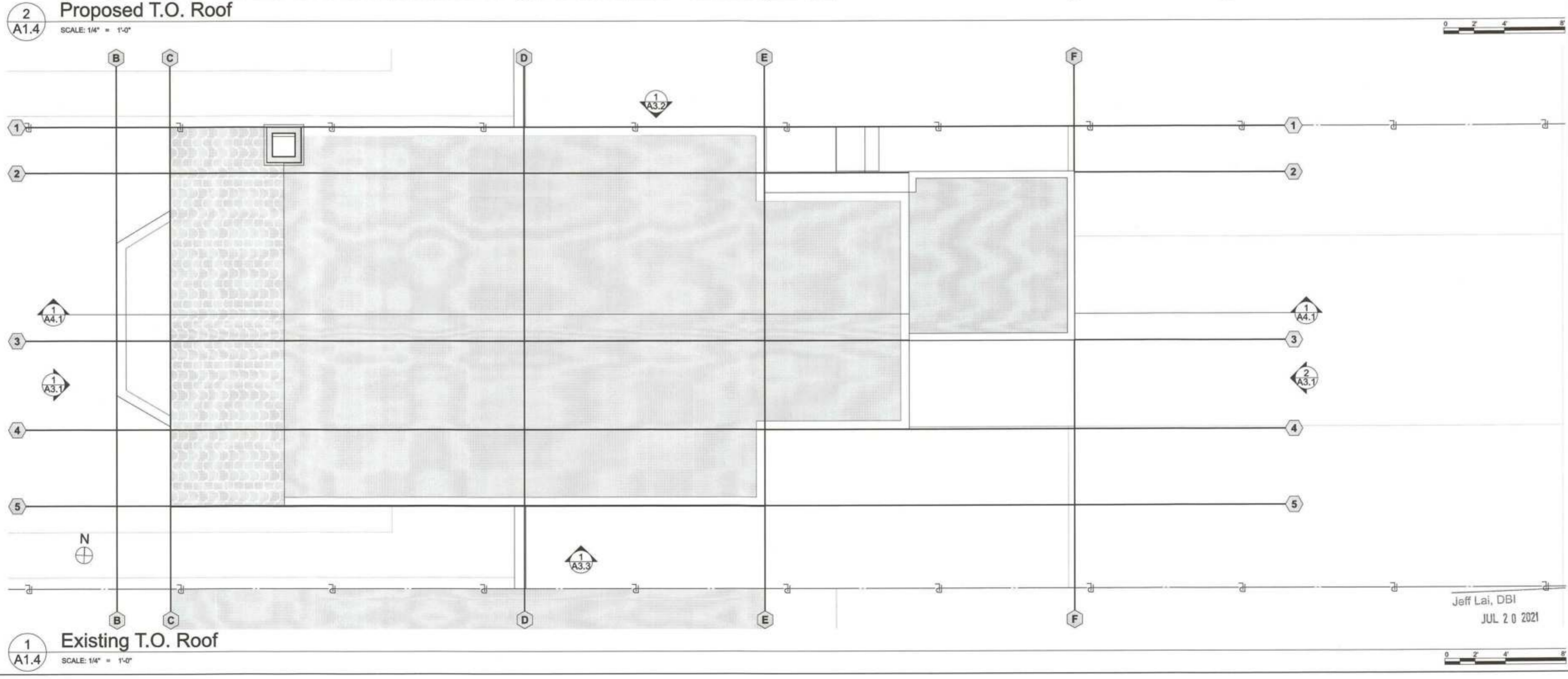
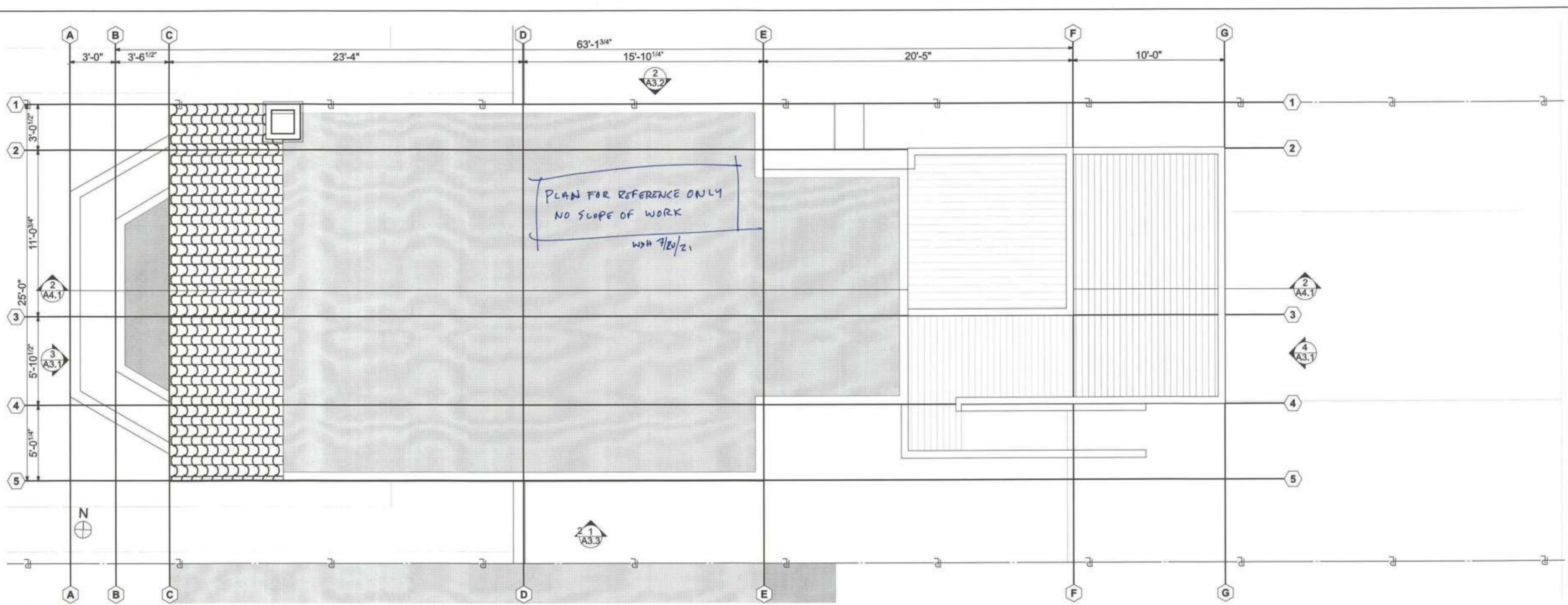


### PLUMBING NOTES

- NO LANDSCAPE IRRIGATION INCLUDED IN SCOPE OF WORK.
- NEW PLUMBING FIXTURES WITHIN RESIDENCE SHALL COMPLY WITH 2016 CAL GREEN FLOW/FLUSH RATES PER 2016 CAL GREEN SECTION 4.303, SEE INDOOR WATER EFFICIENCY TABLE ON SHEET A0.5.
- EXISTING PLUMBING FIXTURES WITHIN RESIDENCE SHALL COMPLY WITH CITY COMMERCIAL WATER CONSERVATION PROGRAM, SEE WATER EFFICIENCY OF EXISTING NON-COMPLIANT FIXTURES ON SHEET A0.5 TO DETERMINE IF EXISTING FIXTURES MUST BE REPLACED AS A NEW FIXTURE. NOTE NEW FIXTURES MUST COMPLY WITH 2016 CAL GREEN FLOW-FLUSH RATES.

Sue Quan, DBI  
JUL 20 2021

Approved Planning Dept. Kurt Botn







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- San Francisco -  
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DEPT. OF BUILDING INSPECTION



### Schedules

### Doors & Windows

Printed: 7/19/21

# A2.1

### DOOR SCHEDULE NOTES

- NOTED DOOR DIMENSIONS ARE LEAF SIZE, FOR ROUGH OPENING, V.I.F.
- PROVIDE TEMPERED GLASS FOR ALL GLAZED DOORS, CONTRACTOR TO REMOVE TEMPERED GLAZING LABEL IF APPROVED BY LOCAL BUILDING OFFICIAL
- ALL EXTERIOR DOORS SHALL HAVE INSULATED GLASS AND MINIMUM U-FACTOR AND SHGC VALUES AS SHOWN.

### DOOR SCHEDULE SPECIFICATIONS

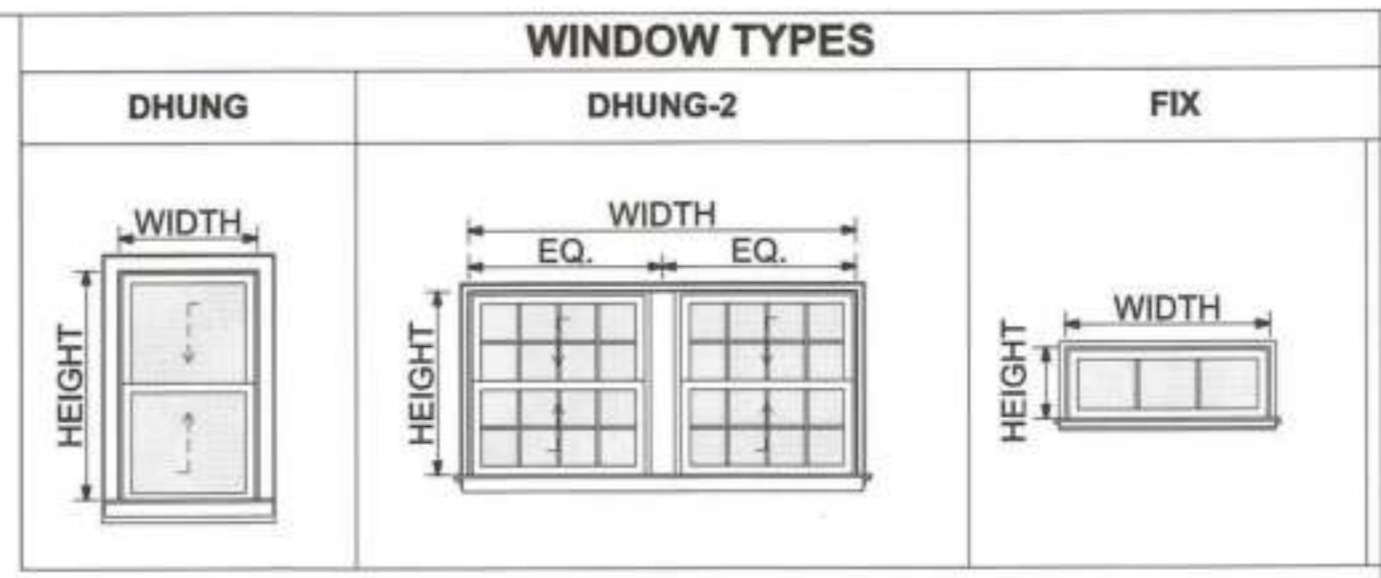
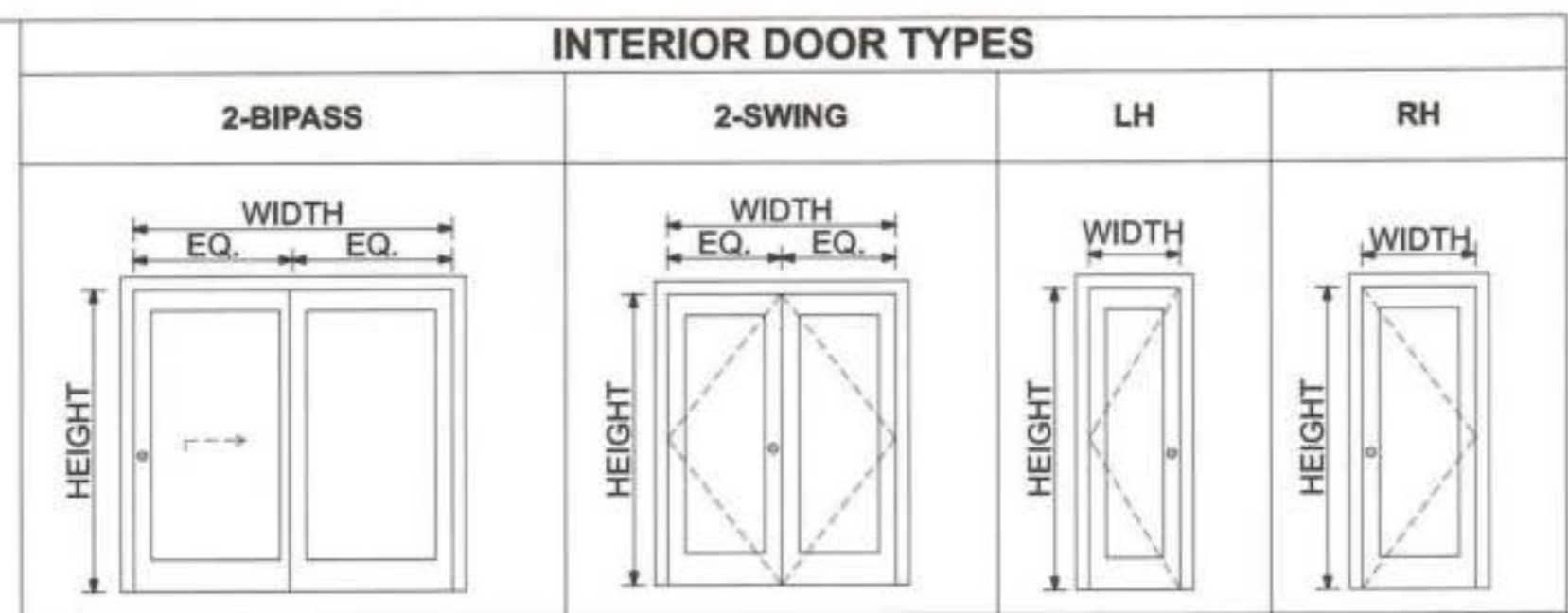
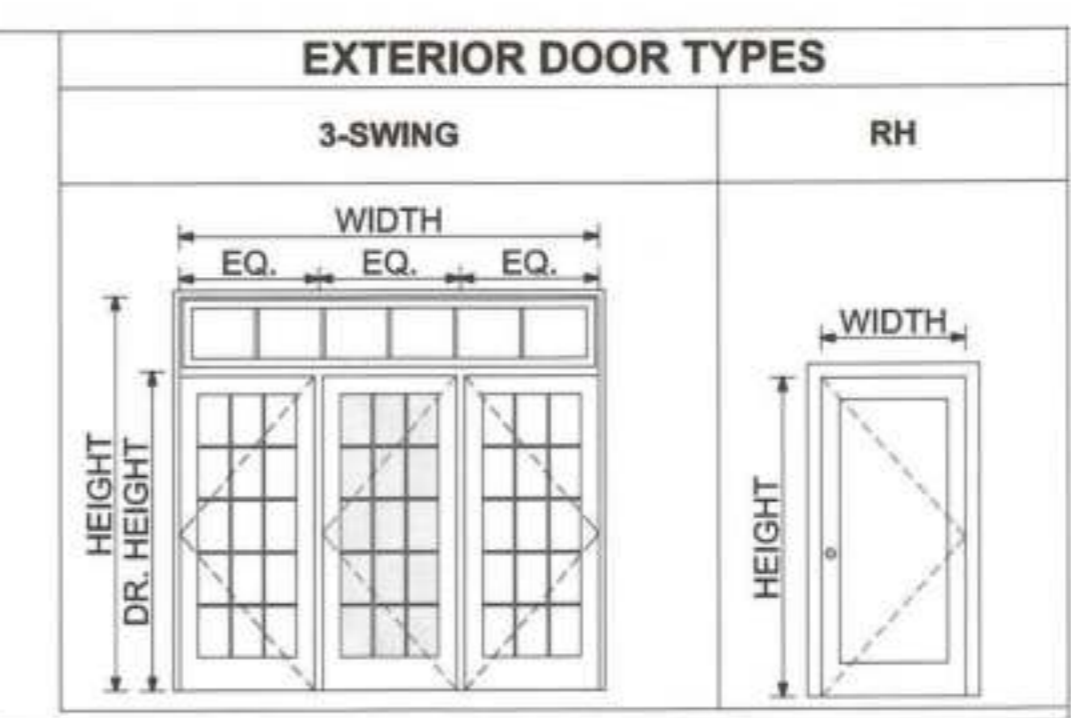
- 20 MIN.:** DOOR ASSEMBLY REQUIRED TO HAVE A MIN. 20 MIN. FIRE PROTECTION RATING W/ AUTOMATIC CLOSER.
- EGRESS:** DOOR SHALL BE SIDE-HINGED, & THE DOOR OPENING SHALL PROVIDE 32" MIN. CLEAR WIDTH (WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES) & 78" MIN. CLEAR HEIGHT (MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP).
- EXT.:** DOOR SHALL BE GASKETED OR WEATHERSTRIPPED AND JOINTS AROUND FRAME SHALL BE CAULKED TO LIMIT AIR INFILTRATION/EXFILTRATION.
- HISTORIC:** WOOD DOOR TO MATCH (E) ORIGINAL DOORS IN-KIND AND DETAIL.
- SCREEN:** PROVIDE SCREEN DOOR IN ADDITION TO EXTERIOR DOOR.
- TEMPERED:** PROVIDE TEMPERED GLASS FOR WINDOW, CONTRACTOR TO REMOVE TEMPERED GLAZING LABEL IF APPROVED BY LOCAL BUILDING OFFICIAL.
- VENTED:** PROVIDE MIN. 200 SQ. IN. FOR DIRECT EXT. VENTILATION OPENINGS.
- DRYER:** PROVIDE MIN. 100 SQ. IN. MAKE-UP AIR OPENING PER CMC 504.4.1.

### WINDOW & SKYLIGHT SCHEDULE NOTES

- NOTED SKYLIGHT AND WINDOW DIMENSION ARE FRAME SIZE, FOR ROUGH OPENING, V.I.F.
- ALL SKYLIGHTS AND WINDOWS SHALL HAVE INSULATED GLASS AND MINIMUM U-FACTOR AND SHGC VALUES AS SHOWN.
- PROVIDE TEMPERED GLASS FOR ALL SKYLIGHTS, CONTRACTOR TO REMOVE TEMPERED GLAZING LABEL IF APPROVED BY LOCAL BUILDING OFFICIAL

### WINDOW SCHEDULE SPECIFICATIONS

- 45 MIN.:** WINDOW ASSEMBLY REQUIRED TO HAVE A MIN. 45 MIN. FIRE PROTECTION RATING
- EGRESS:** WINDOW W/ MIN. 5.7 S.F. NET CLEAR OPENABLE AREA, NET CLEAR OPENABLE 24" MIN. HEIGHT & 20" MIN. WIDTH, & FINISHED SILL HEIGHT SHALL BE MAX. 44" ABV. FINISHED FLOOR.
- FROSTED:** PROVIDE FROSTED OR NON-TRANSLUCENT GLASS FOR WINDOW.
- HISTORIC:** WOOD WINDOW TO MATCH (E) ORIGINAL WINDOWS IN-KIND & DETAIL, INCL. OGEE LUGS.
- SCREEN:** PROVIDE SCREEN FOR WINDOW.
- TEMPERED:** PROVIDE TEMPERED GLASS FOR WINDOW, CONTRACTOR TO REMOVE TEMPERED GLAZING LABEL IF APPROVED BY LOCAL BUILDING OFFICIAL.



### EXTERIOR DOOR SCHEDULE

ID	Floor	Location	RO W.	RO H.	DR. W.	DR. H.	J. W.	J. FIN.	Type	HDWE	HDWE FIN.	SHGC	U-value	SPECIFICATIONS	Notes
12	Basement	Gear Room	36.00"	81.25"	3'-0"	6'-8"	4.50"		RH	LOCK		0.45	0.29		EXT.
16	Basement	Rear Entry	38.00"	81.25"	3'-0"	6'-8"	4.50"		RH	LOCK		0.45	0.29		EXT.
20	First Floor	Sitting Room	35.50"	80.00"	2'-11 1/2"	6'-8"	4.50"		3-SWING	LOCK		0.45	0.29		
21	First Floor	Sitting Room	35.50"	80.00"	2'-11 1/2"	6'-8"	4.50"		3-SWING	LOCK		0.45	0.29		

## 3 Exterior Door Schedule

### INTERIOR DOOR SCHEDULE

ID	Floor	Location	R.O. W.	Leaf W.	Jamb W.	Swing	HDWE	Type	FIN.	SPECIFICATIONS	Notes
01	Basement	Family Room Closet	62.00"	78.25"	5'-0"	6'-8"	4.50"	2-SWING	privacy		
02	Basement	Family Room Closet	62.00"	78.25"	5'-0"	6'-8"	4.50"	2-SWING	privacy		
03	Basement	Bath 4	32.00"	81.25"	2'-6"	6'-8"	4.50"	RH	privacy		
04	Basement	Storage	38.00"	81.25"	3'-0"	6'-8"	4.50"	RH	privacy		
05	Basement	Linon Closet	34.00"	81.25"	2'-6"	6'-8"	4.50"	LH	privacy		
06	Basement	Laundry	38.00"	81.25"	3'-0"	6'-8"	4.50"	RH	LOCK	DRYER	
07	Basement	Bath 5	32.00"	81.25"	2'-6"	6'-8"	4.50"	LH	privacy		
08	Basement	Bedroom 5	34.00"	81.25"	2'-6"	6'-8"	4.50"	LH	privacy		
09	Basement	Bedroom 5 Closet	62.00"	81.25"	5'-0"	6'-8"	0.00"	2-BIPASS	privacy		
10	Basement	Bedroom 4	34.00"	81.25"	2'-6"	6'-8"	4.50"	RH	privacy		
11	Basement	Bedroom 4 Closet	62.00"	81.25"	5'-0"	6'-8"	0.00"	2-BIPASS	privacy		
13	Basement	Gear Room	34.00"	81.25"	2'-6"	6'-8"	4.50"	LH	privacy		
14	Basement	Office	32.00"	81.25"	2'-6"	6'-8"	4.50"	LH	privacy		
15	Basement	Rear Entry Closet	50.00"	81.25"	4'-0"	6'-8"	0.00"	2-BIPASS	privacy		
17	First Floor	Coat Closet	30.00"	81.25"	2'-4"	6'-8"	4.50"	RH	privacy		
18	First Floor	Bath 1	30.00"	81.25"	2'-4"	6'-8"	4.50"	LH	privacy		
22	Second Floor	Bedroom 1 Closet	32.00"	81.25"	2'-6"	6'-8"	4.50"	RH	privacy		
23	Second Floor	Bedroom 1	34.00"	81.25"	2'-6"	6'-8"	4.50"	RH	privacy		
24	Second Floor	Bedroom 2 Closet	32.00"	81.25"	2'-6"	6'-8"	4.50"	RH	privacy		
25	Second Floor	Bedroom 3	32.00"	81.25"	2'-6"	6'-8"	4.50"	RH	privacy		

## 2 Interior Door Schedule

### WINDOW SCHEDULE

ID	Floor	Location	RO W.	RO H.	W.	H.	Sill H.	J. W.	J. FIN.	Type	HDWE	FIN.	SHGC	U-value	SPECIFICATIONS	Notes
01	Basement	Family Room	36.50"	48.25"	3'-0"	4'-0"	3'-0"	4.00"		DHUNG			0.21	0.31		HISTORIC
02	Basement	Family Room	36.50"	48.25"	8'-2"	4'-0"	3'-0"	4.00"		DHUNG-2			0.21	0.31		HISTORIC
03	Basement	Family Room	36.50"	48.25"	3'-0"	4'-0"	3'-0"	4.00"		DHUNG			0.21	0.31		HISTORIC
04	Basement	Bedroom 4	36.50"	60.25"	3'-0"	5'-0"	1'-8"	4.00"		DHUNG			0.21	0.31		EGRESS
05	Basement	Office	36.50"	60.25"	3'-0"	5'-0"	1'-8"	4.00"		DHUNG			0.21	0.31		
11	First Floor	Kitchen	24.50"	41.25"	2'-0"	3'-5"	4'-7 1/2"	4.00"		DHUNG			0.21	0.31		
12	First Floor	Breakfast Nook	106.50"	20.25"	8'-10"	1'-8"	6'-7 1/2"	4.00"		FIX			0.21	0.31		
13	First Floor	Breakfast Nook	53.00"	20.25"	4'-...	1'-8"	6'-7 1/2"	4.00"		FIX			0.21	0.31		

## 1 Window Schedule

Sue Quan, DBI

JUL 20 2021





981 Shotwell St.,  
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(415) 957-4302

Design Contact:  
Will Henderson, Architect C-33505  
will@outerlandsdesign.com  
(415) 420-0131

**Residential Remodel**

**152 28th Ave.**  
San Francisco, CA 94121

**Property Owner**  
Julia Diao & Patrick Gordon  
152 28th Ave.  
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415.812.8750 215.307.6510  
diao.julia@gmail.com  
gordon.patrick.a@gmail.com

**Parcel**  
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Height & Bulk: 40-X  
Area: 3,789 S.F.

**Building Information**  
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(E) Total: 3,614.1  
Net (N) Residential: 674.7  
Total Net (N): 119.3  
(N) Total GSF: 3,733.4



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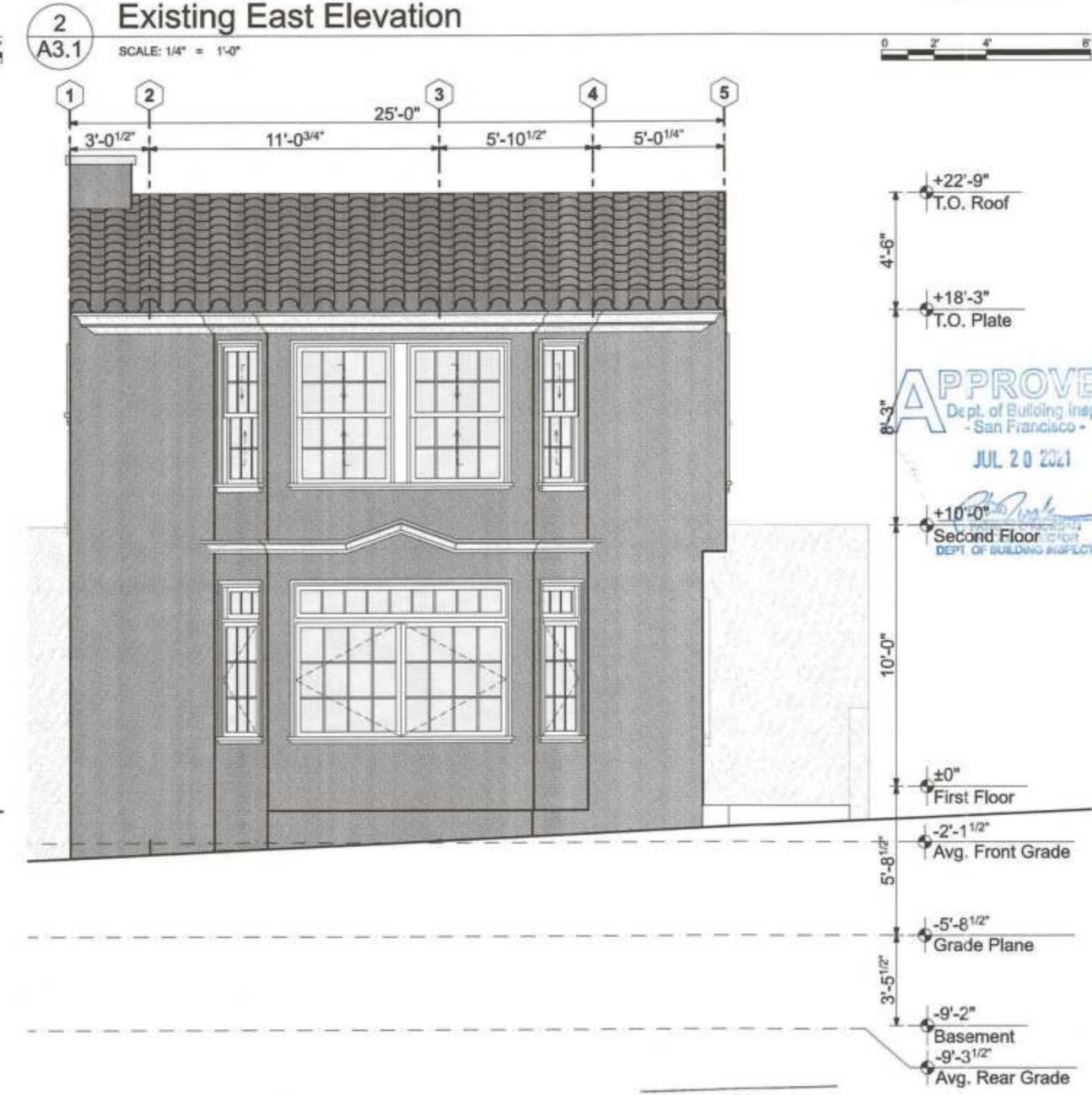
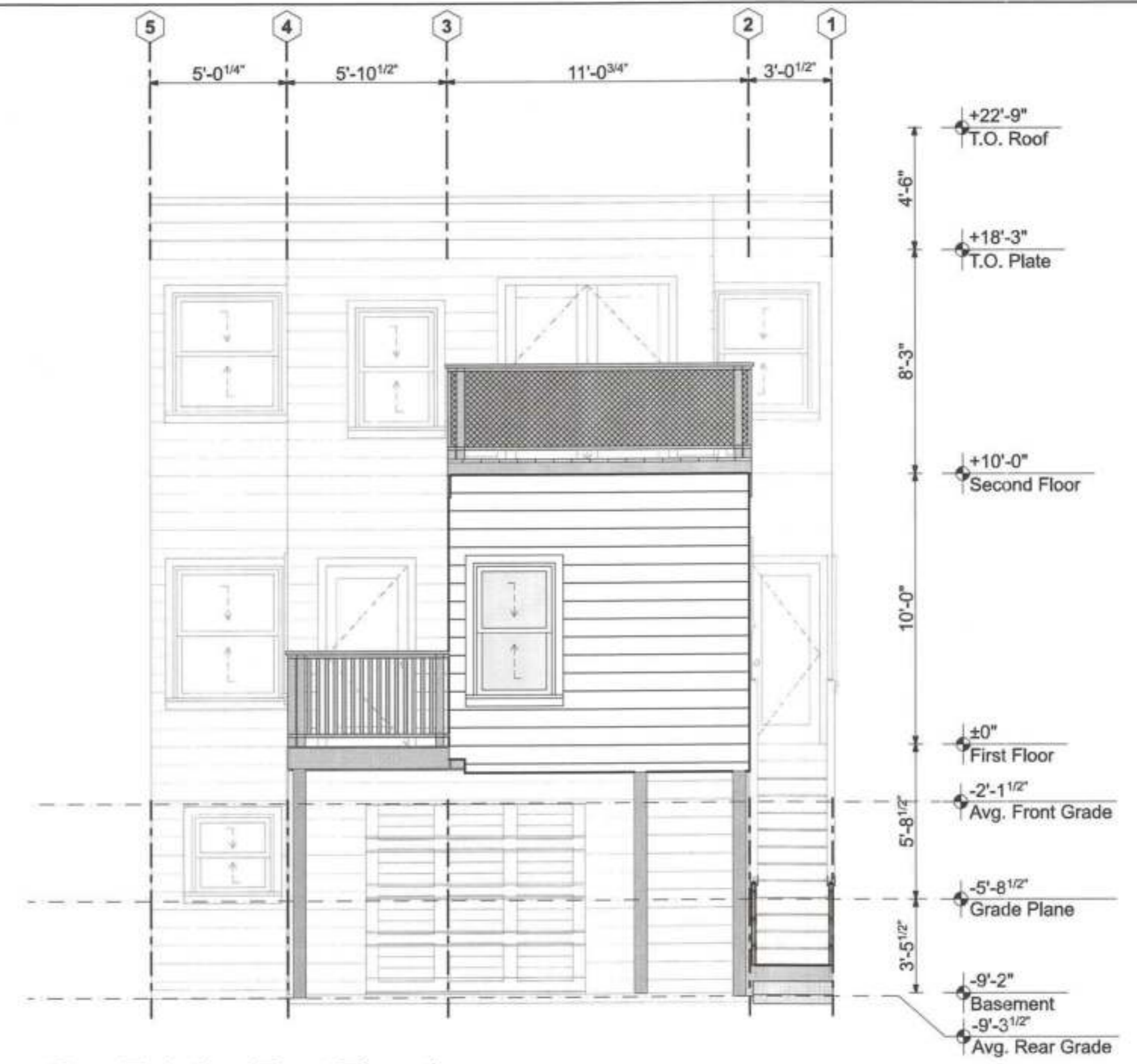
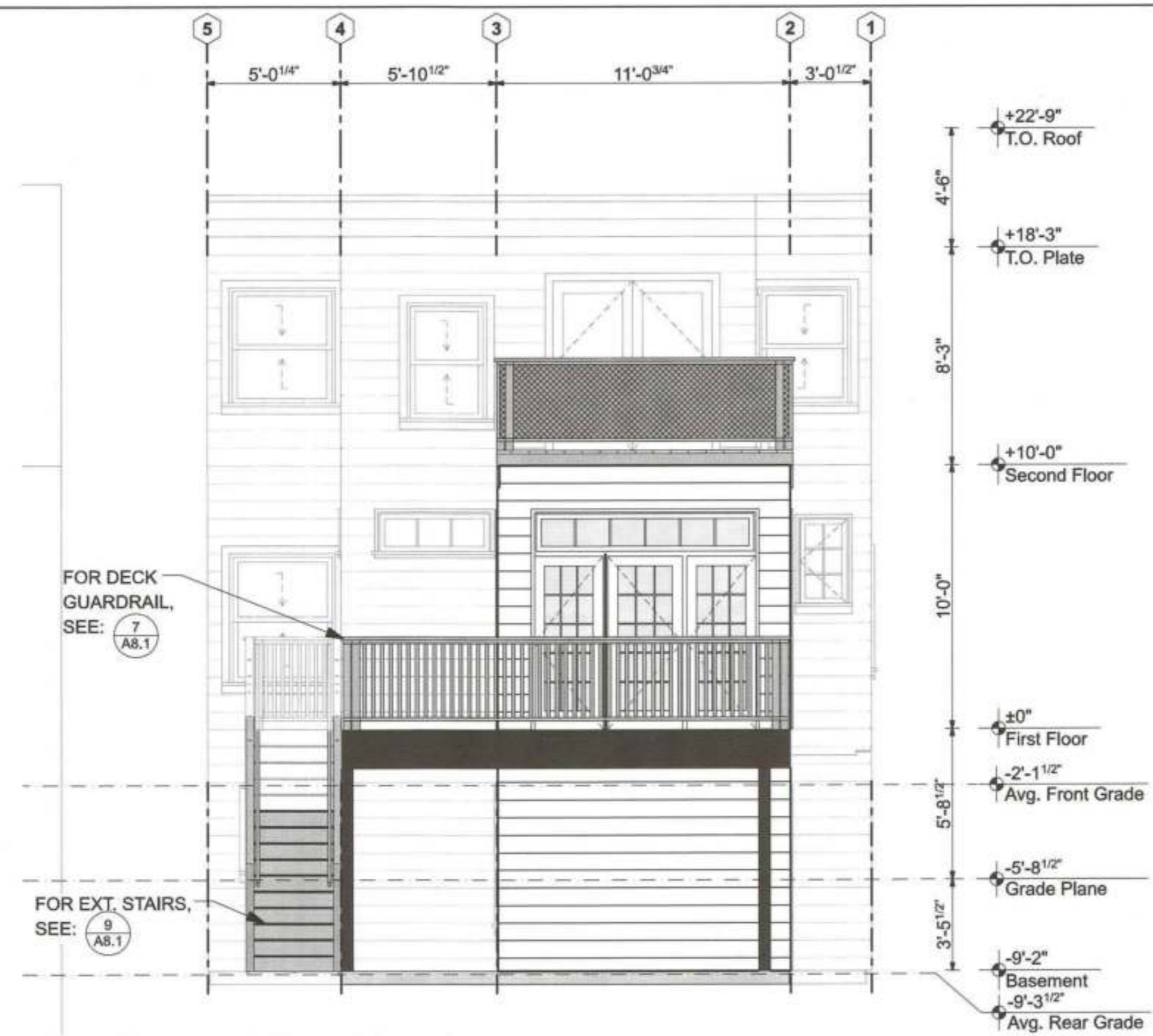
Elevations

East & West Elevations

Printed: 7/19/21

**A3.1**

SHEET 12 of 30

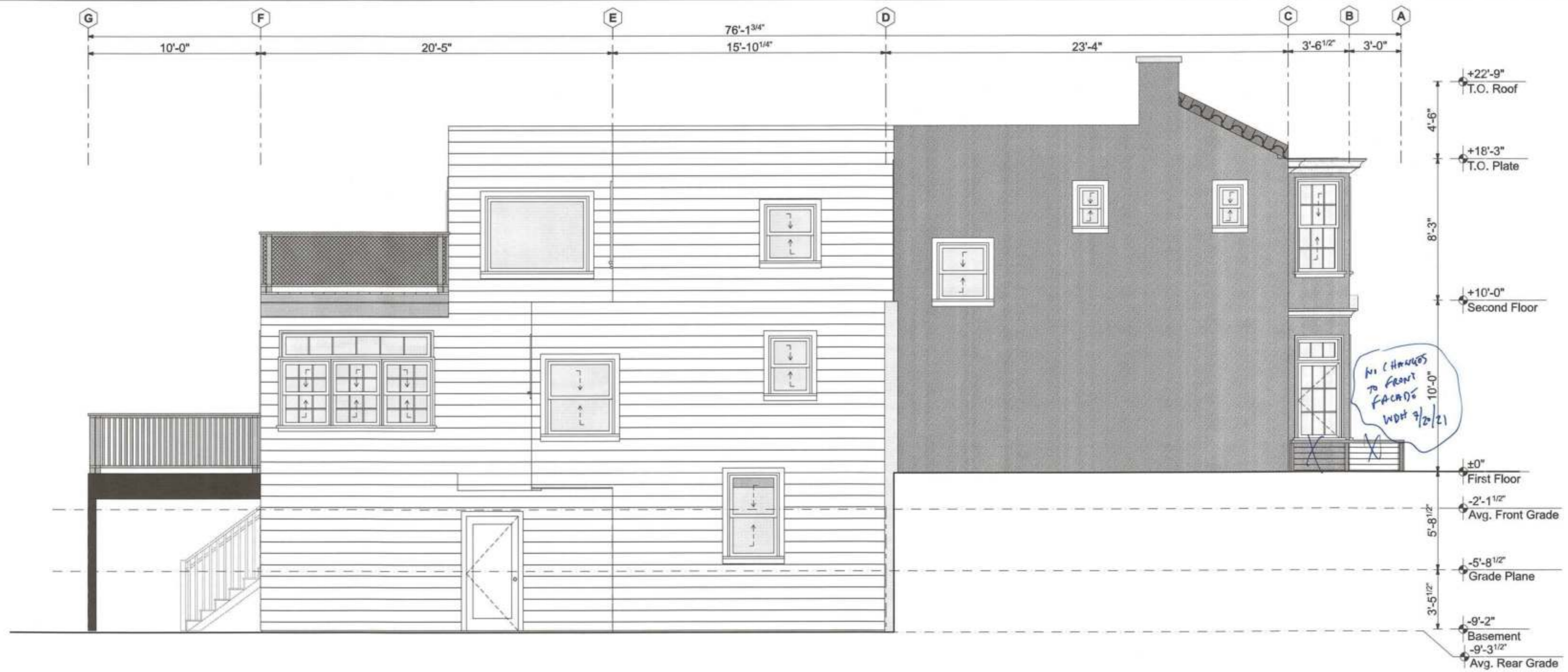


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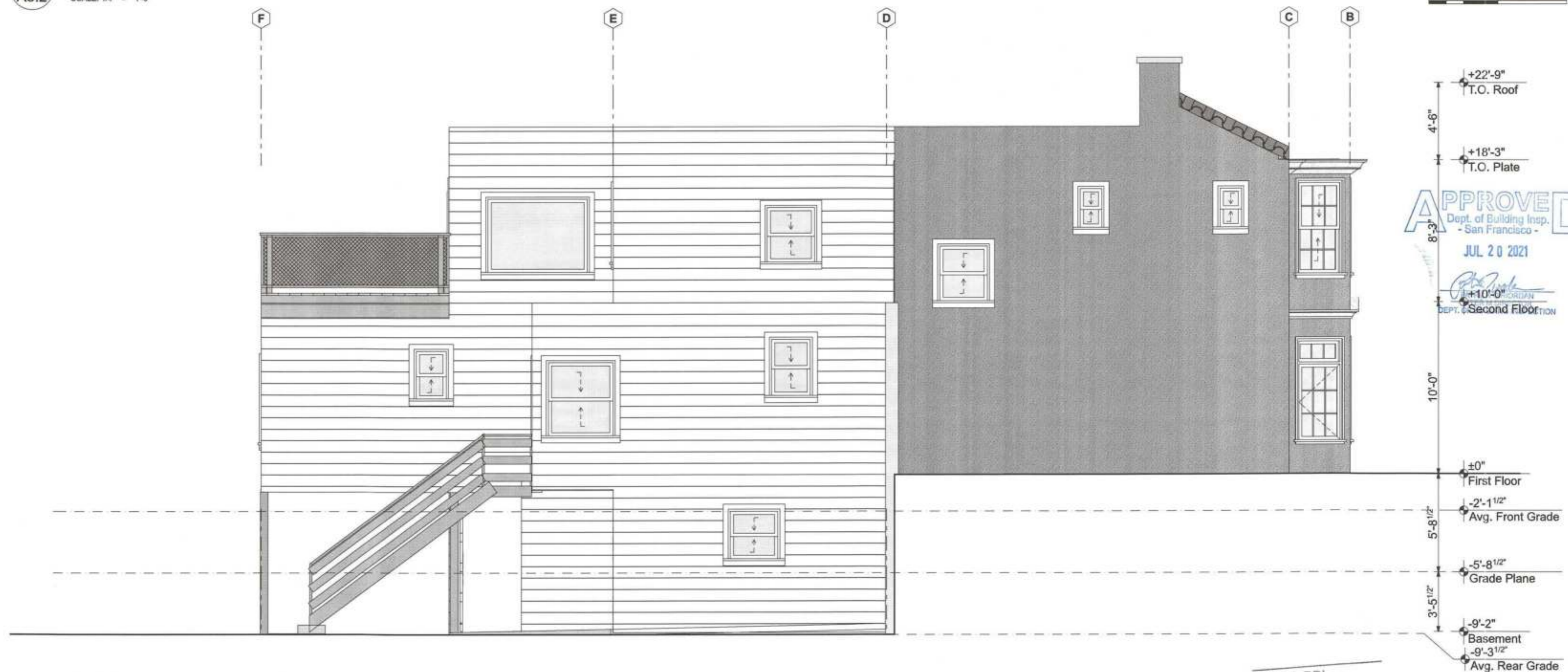
Steve Guan, DBI  
JUL 20 2021

Approved Planning Dept. Kurt Botn





2 Proposed North Elevation  
 A3.2 SCALE: 1/4" = 1'-0"



1 Existing North Elevation  
 A3.2 SCALE: 1/4" = 1'-0"

Jeff Lai, DBI  
 JUL 20 2021



APPROVED  
 Dept. of Building Insp.  
 - San Francisco -  
 JUL 20 2021

RECEIVED  
 JUL 20 2021  
 DEPT. OF BUILDING INSPECTION  
 THIS PLAN MEETS THE QUALITY  
 STANDARDS FOR MARKING  
 ACCEPTED

**OUTERLANDS**  
 Design+Build  
 981 Shotwell St.,  
 San Francisco, CA 94110  
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Elevations

North Elevations

Printed: 7/19/21

**A3.2**

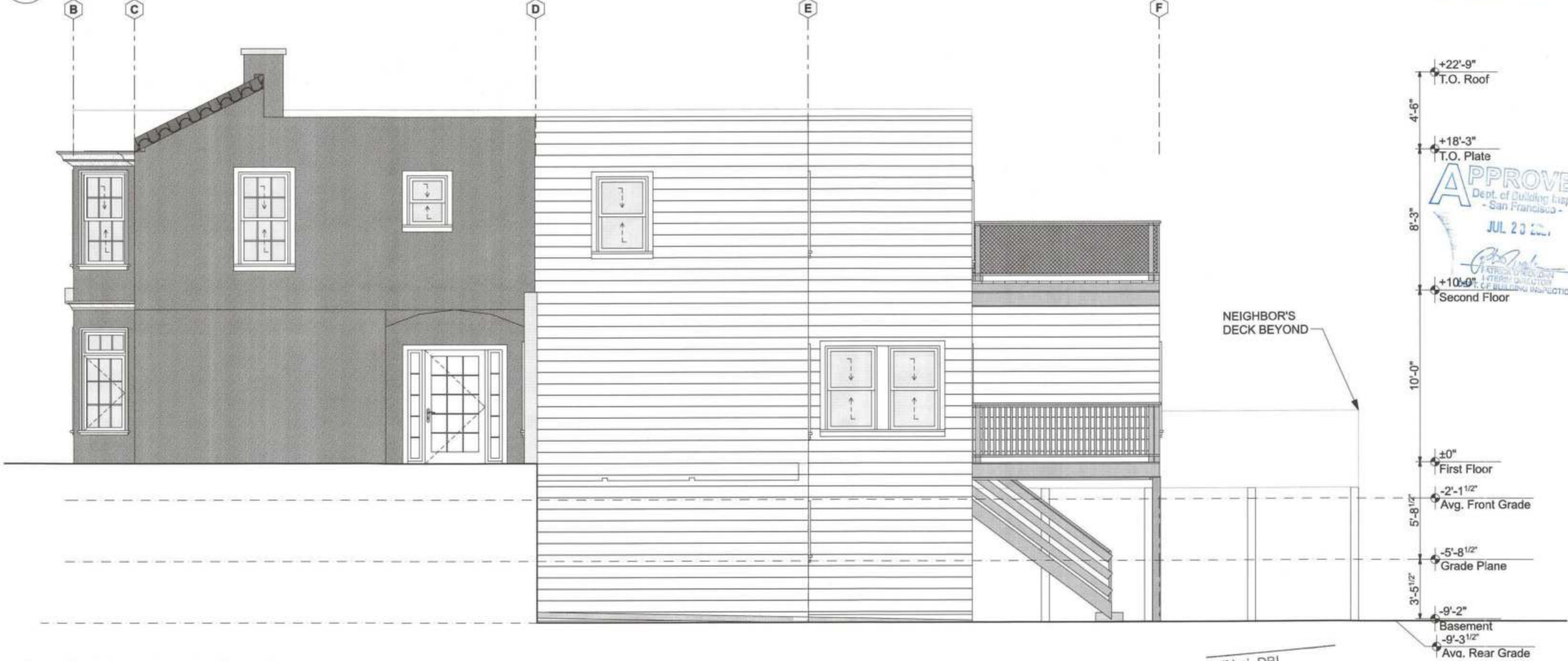
Sue Quan, DBI  
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2 Proposed South Elevation



1 Existing South Elevation



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Elevations

South Elevations

Printed: 7/19/21

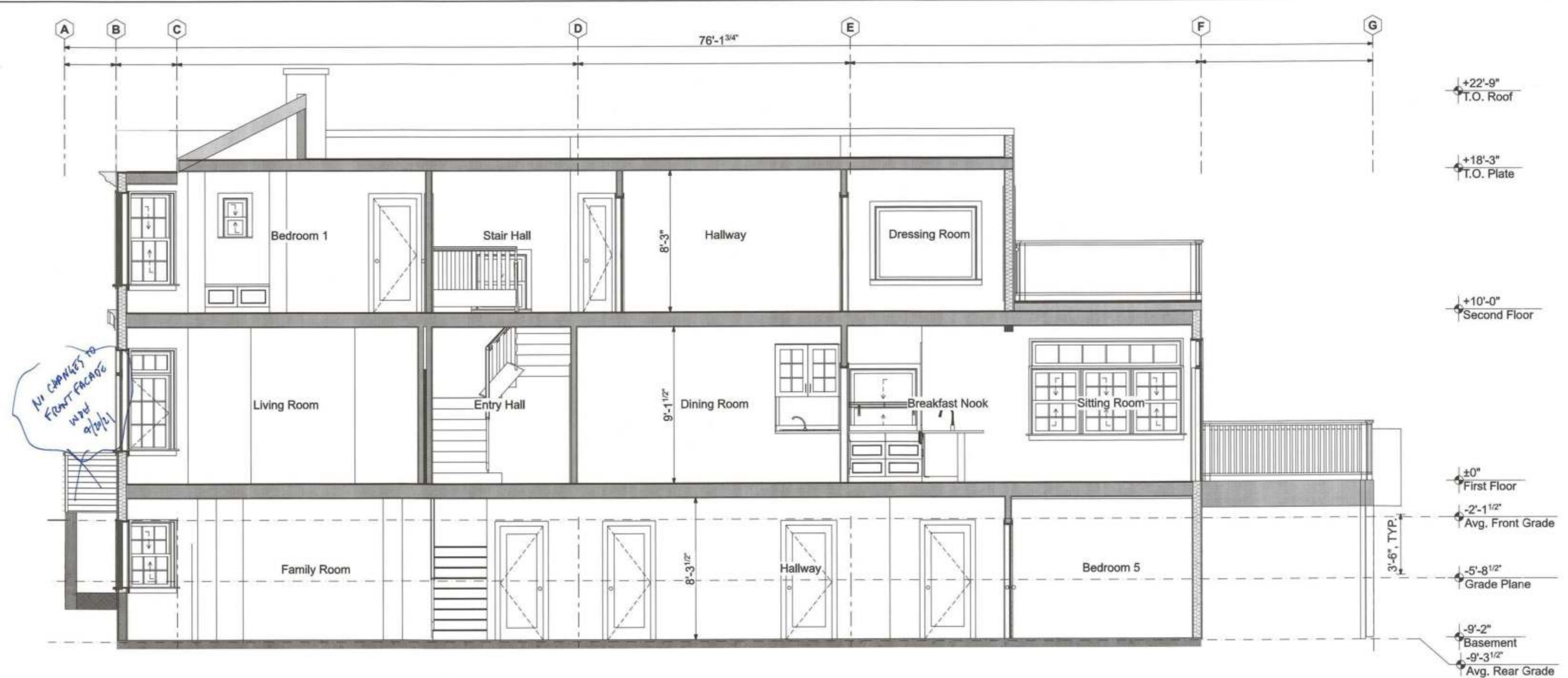
**A3.3**

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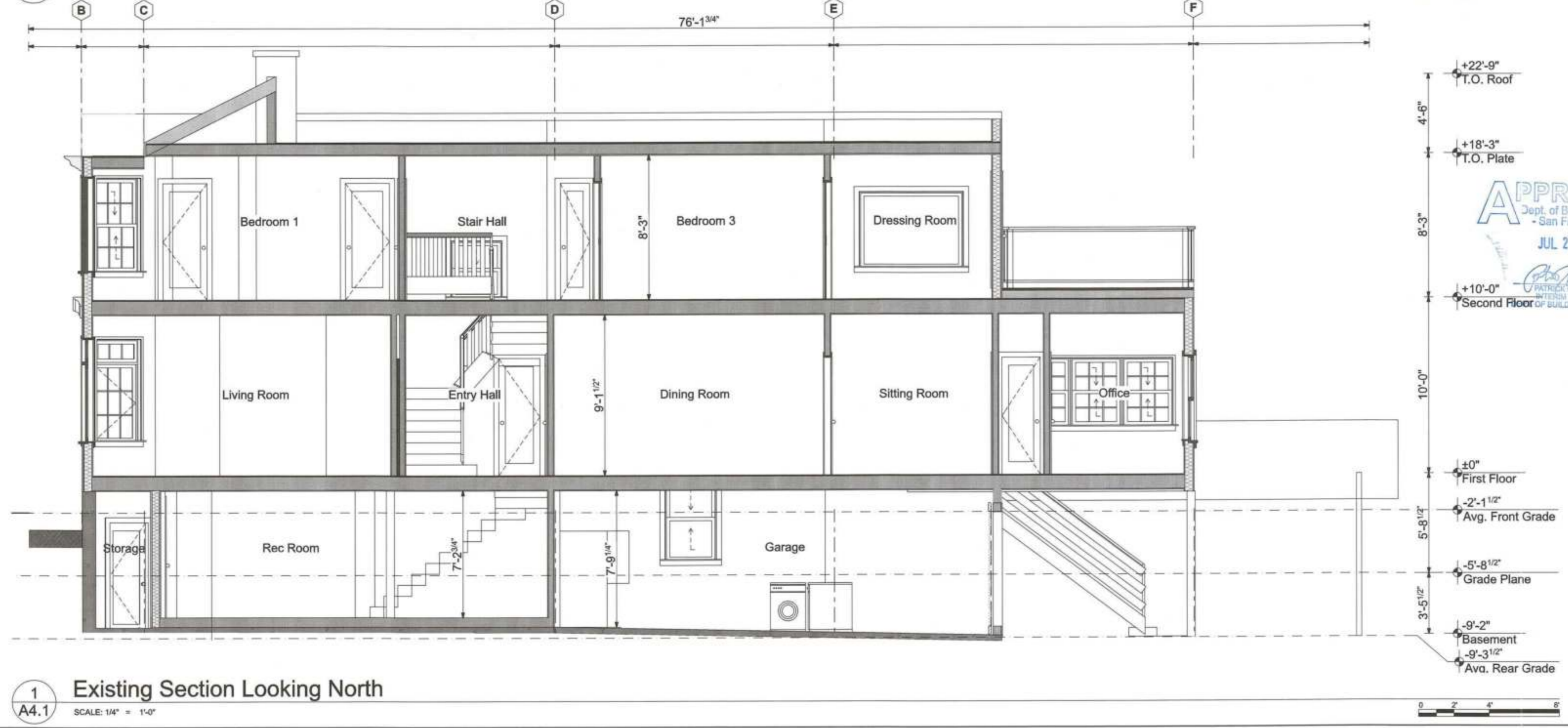
Sue Quan, DBI  
JUL 20 2021

Approved Planning Dept. Kurt Bot





2 Proposed Section Looking North  
A4.1 SCALE: 1/4" = 1'-0"



1 Existing Section Looking North  
A4.1 SCALE: 1/4" = 1'-0"



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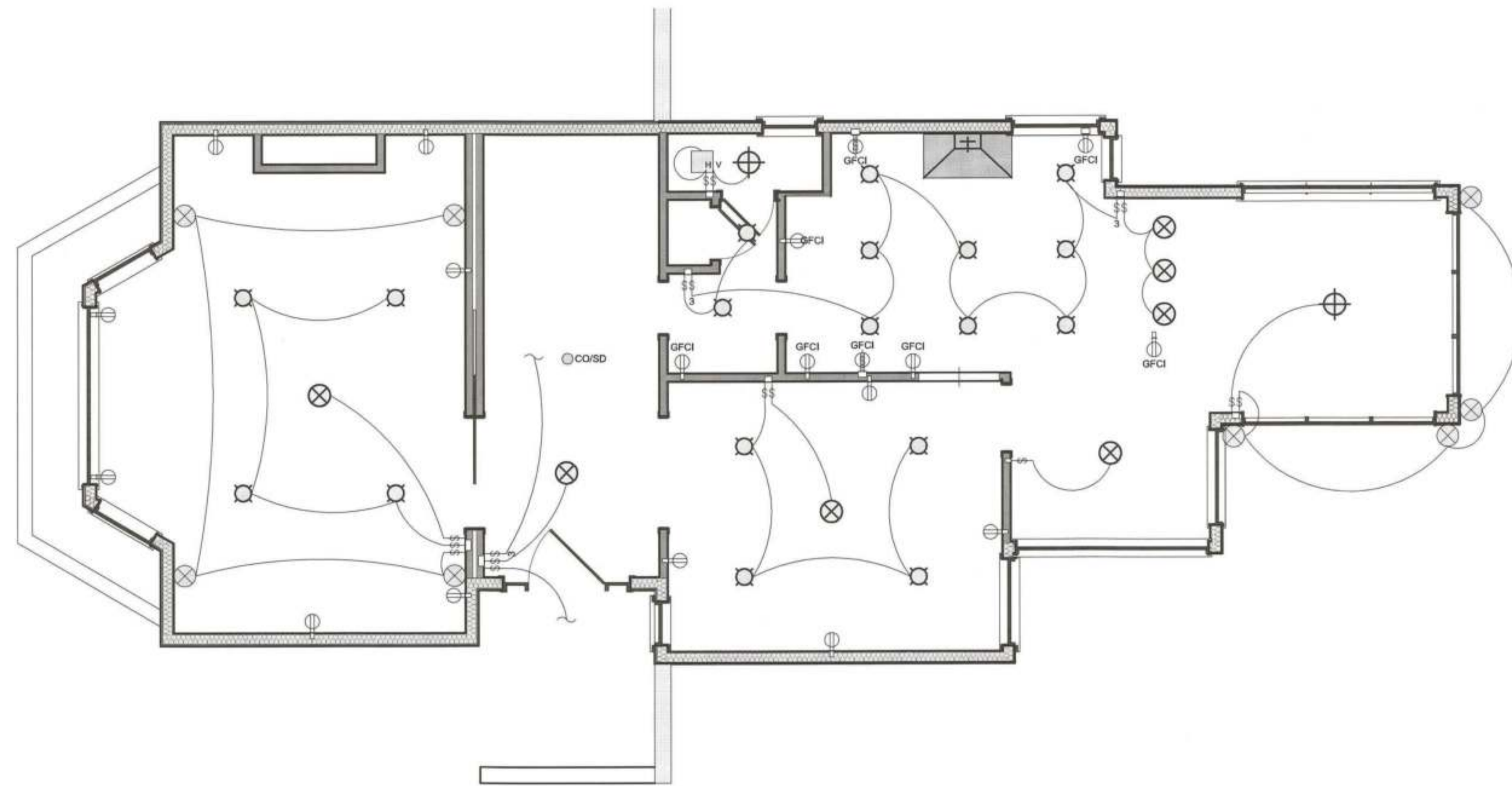
Sections

Existing & Proposed Conditions

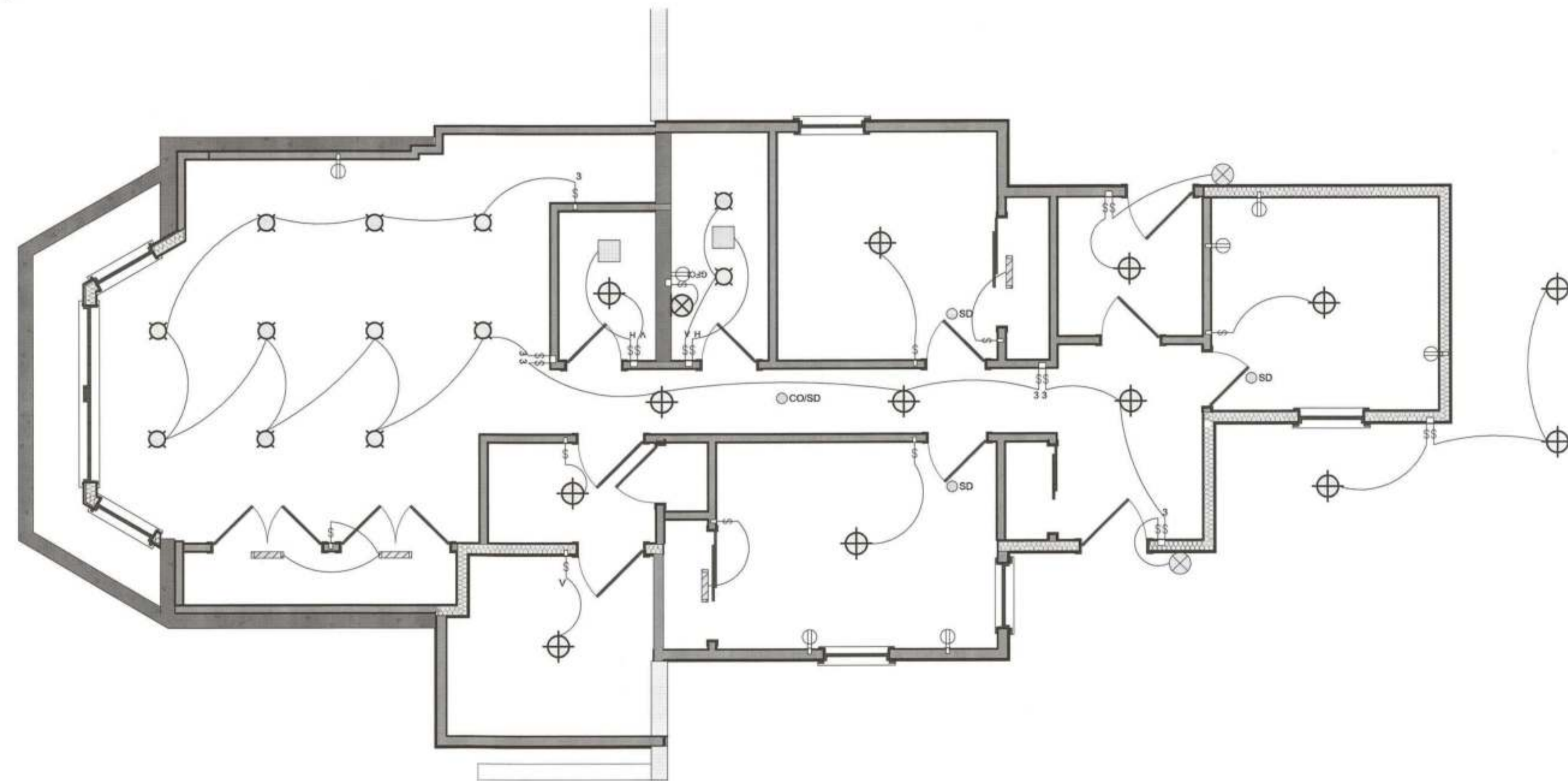
Printed: 7/19/21

**A4.1**





2 RCP First Floor  
A6.1 SCALE: 1/4" = 1'-0"



1 RCP Basement  
A6.1 SCALE: 1/4" = 1'-0"

Jeff Lai, DBI  
JUL 2 0 2021

**LEGEND**

**RECEPTACLES**

- CO WALL-MOUNTED DUPLEX COAXIAL RECEPTACLE
- CAT WALL-MOUNTED DUPLEX CAT-6 RECEPTACLE
- WALL-MOUNTED DUPLEX ELECTRICAL RECEPTACLE
- WALL-MOUNTED GFCI DUPLEX ELECTRICAL RECEPTACLE
- WALL-MOUNTED 240V ELECTRICAL RECEPTACLE

**CONTROLS**

- WALLBOX LIGHT SWITCH
- WALLBOX SWITCH WITH VACANCY SENSOR
- WALLBOX SWITCH WITH HUMIDISTAT SENSOR
- WALLBOX SWITCH WITH DIMMER
- 3-WAY WALLBOX LIGHT SWITCH
- 4-WAY WALLBOX LIGHT SWITCH
- WALLBOX LIGHT SWITCH FOR UNDER-CABINET LIGHTING

**LUMINAIRES**

ALL NEW LUMINAIRES INSTALLED MUST BE HIGH EFFICACY IN ACCORDANCE W/ TABLE 150.0-A TITLE 24 CBC 2019.

- WALL-MOUNTED LUMINAIRE
- WALL-MOUNTED LUMINAIRE
- CEILING-MOUNTED FLUSH/ SEMI-FLUSH LUMINAIRE
- CEILING-MOUNTED PENDANT OR FAN LUMINAIRE
- CEILING-RECESSED LUMINAIRE
- CEILING-MOUNTED TRACK LIGHTING

**VENTILATION**

EXHAUST SHALL TERMINATE MIN. 3' AWAY FROM  $\phi$  & OPENINGS.

- ENERGY STAR LABELED BATHROOM EXHAUST FAN W/ HUMIDISTAT CONTROLLER PER CAL GREEN CODE SECTION 4.506.1
- HOOD W/ EXHAUST FAN DUCTED TO EXT.

**SENSORS**

- SMOKE DETECTOR (HOT WIRED W/ BATTERY BACKUP)
- CARBON MONOXIDE DETECTOR & SMOKE DETECTOR (HOT WIRED W/ BATTERY BACKUP)

**ELECTRICAL NOTES**

1. INSTALL NON-GFCI ELECTRICAL OUTLETS 12" A.F.F. TO CENTERLINE OF COVER PLATE, U.O.N.
2. INSTALL GFCI ELECTRICAL OUTLETS 42" A.F.F. TO CENTERLINE OF COVER PLATE, U.O.N.
3. INSTALL SWITCHES AND DIMMERS 48" A.F.F. TO CENTERLINE OF PLATE, U.O.N.
4. INSTALL ADJACENT OUTLETS, DIMMERS, AND SWITCHES INTO SINGLE PLATE AT 42" A.F.F. TO CENTERLINE OF COVER PLATE, U.O.N.



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Reflected Ceiling Plans

Basement & First Floor

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**A6.1**





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Bldg. Permit 06/23/2021

RECEIVED

JUL 20 2021

DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR MARKING  
ACCEPTED

Reflected  
Ceiling Plans

Second Floor

Printed: 7/19/21

# A6.2

SHEET 17 of 30

#### LEGEND

##### RECEPTACLES

- CO WALL-MOUNTED DUPLEX COAXIAL RECEPTACLE
- CAT WALL-MOUNTED DUPLEX CAT-6 RECEPTACLE
- WALL-MOUNTED DUPLEX ELECTRICAL RECEPTACLE
- GFCI WALL-MOUNTED GFCI DUPLEX ELECTRICAL RECEPTACLE
- 240 WALL-MOUNTED 240V ELECTRICAL RECEPTACLE

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- WALLBOX SWITCH WITH VACANCY SENSOR
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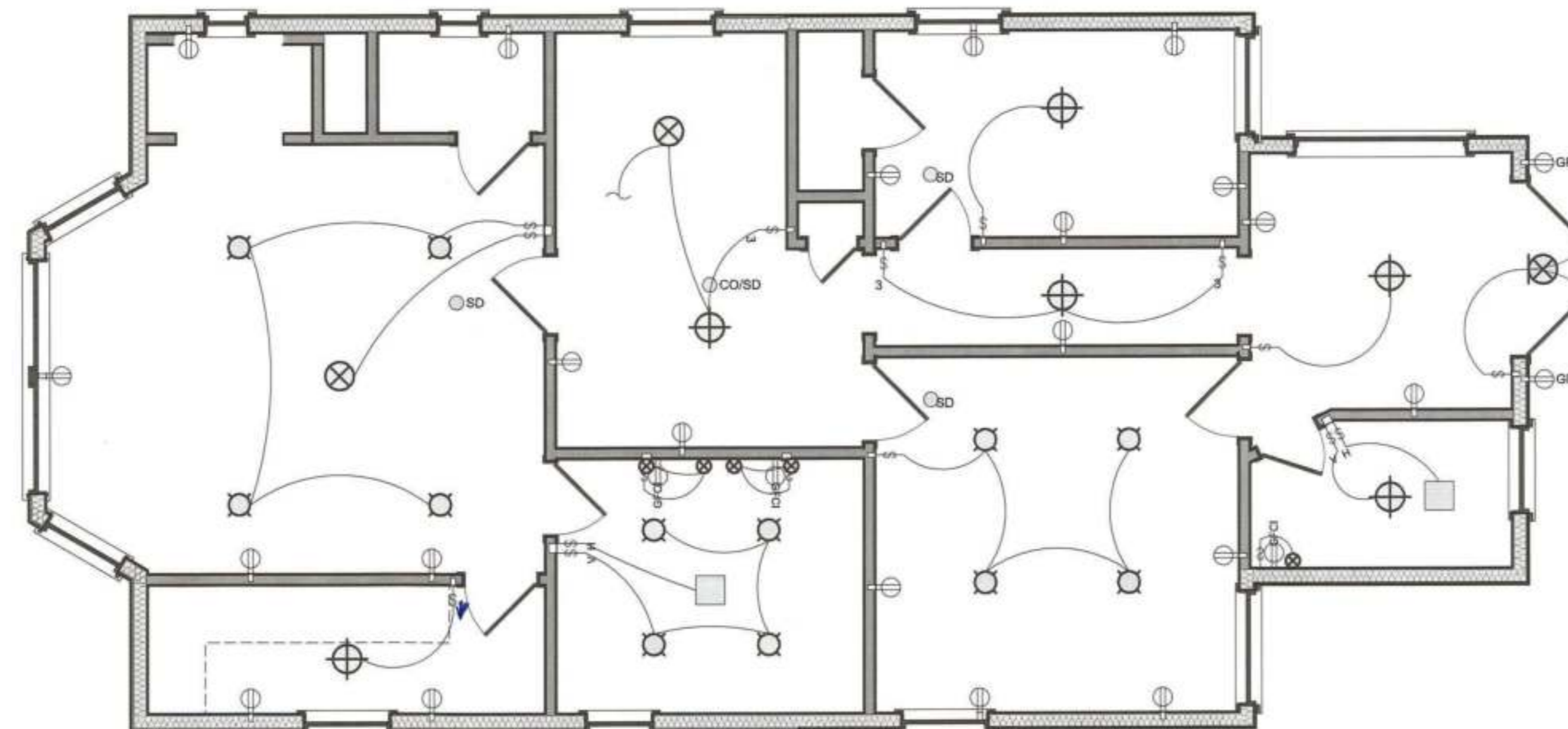
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J..if Lai, DBI  
JUL 20 2021

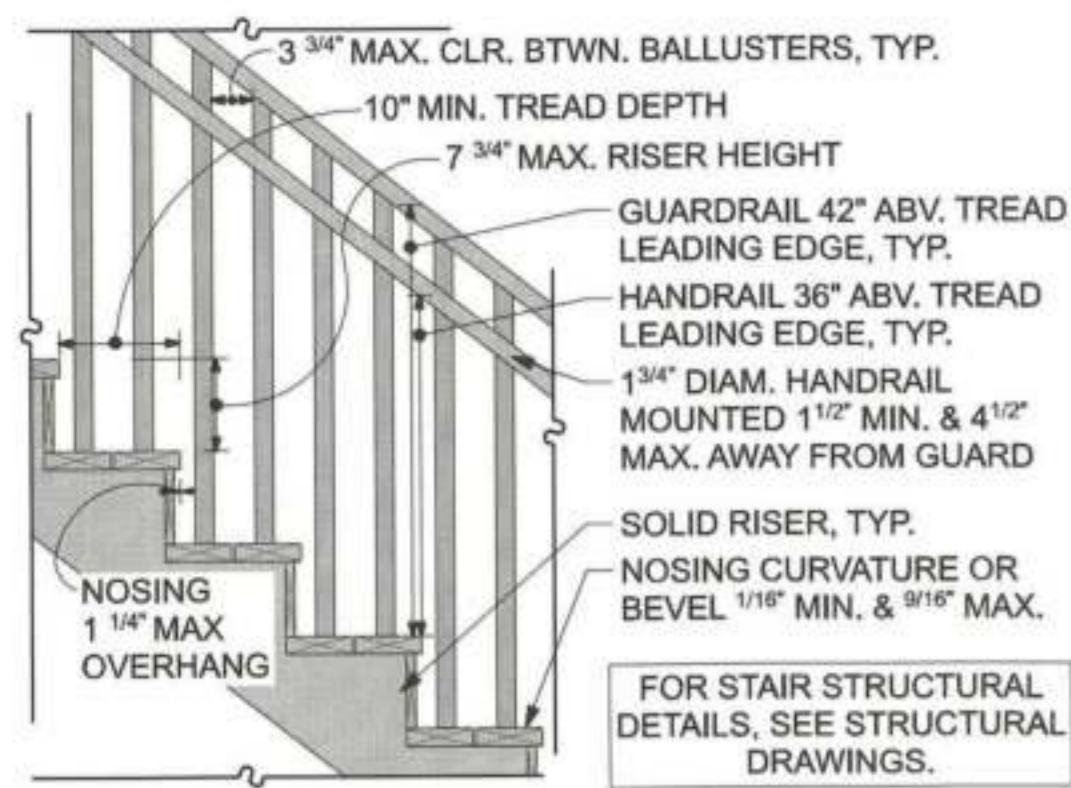
1 RCP Second Floor  
A6.2 SCALE: 1/4" = 1'-0"



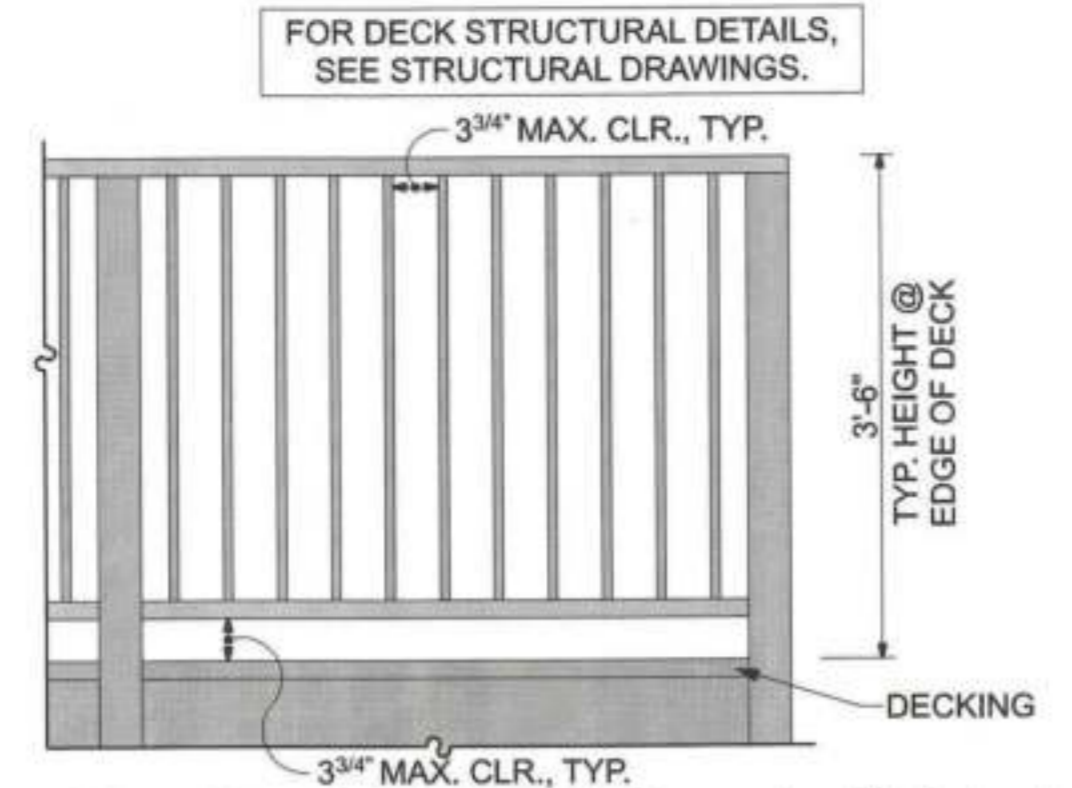
Sue Quan, DBI  
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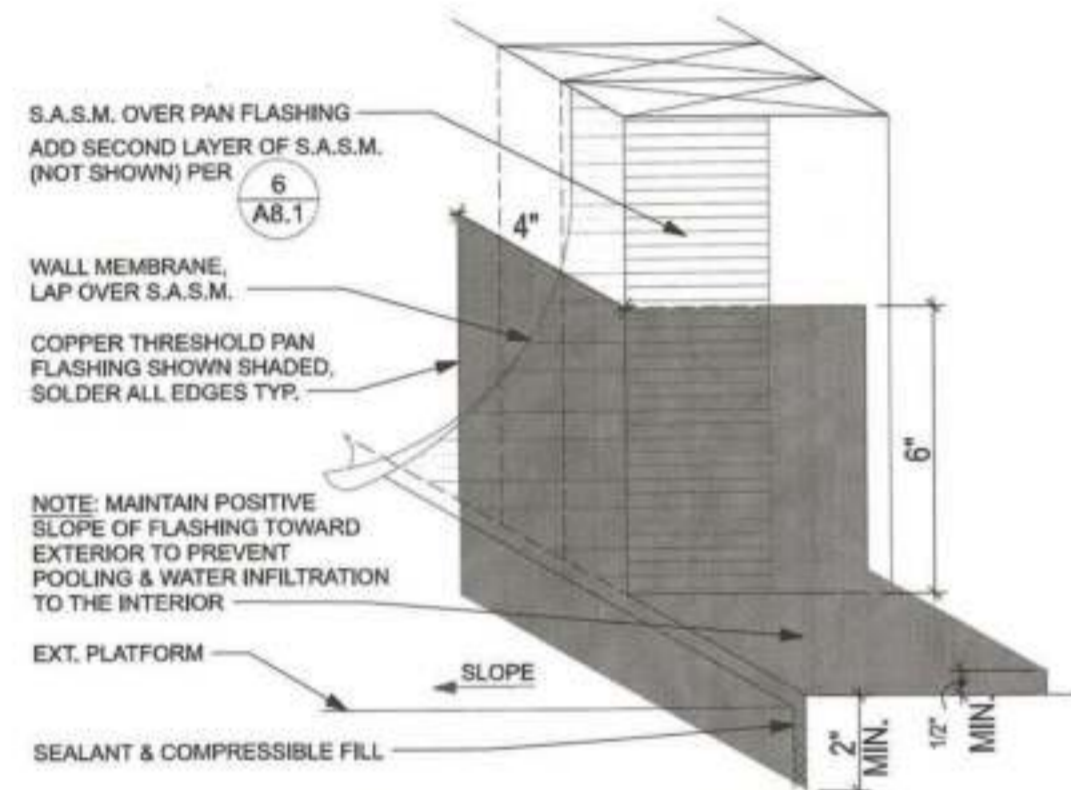
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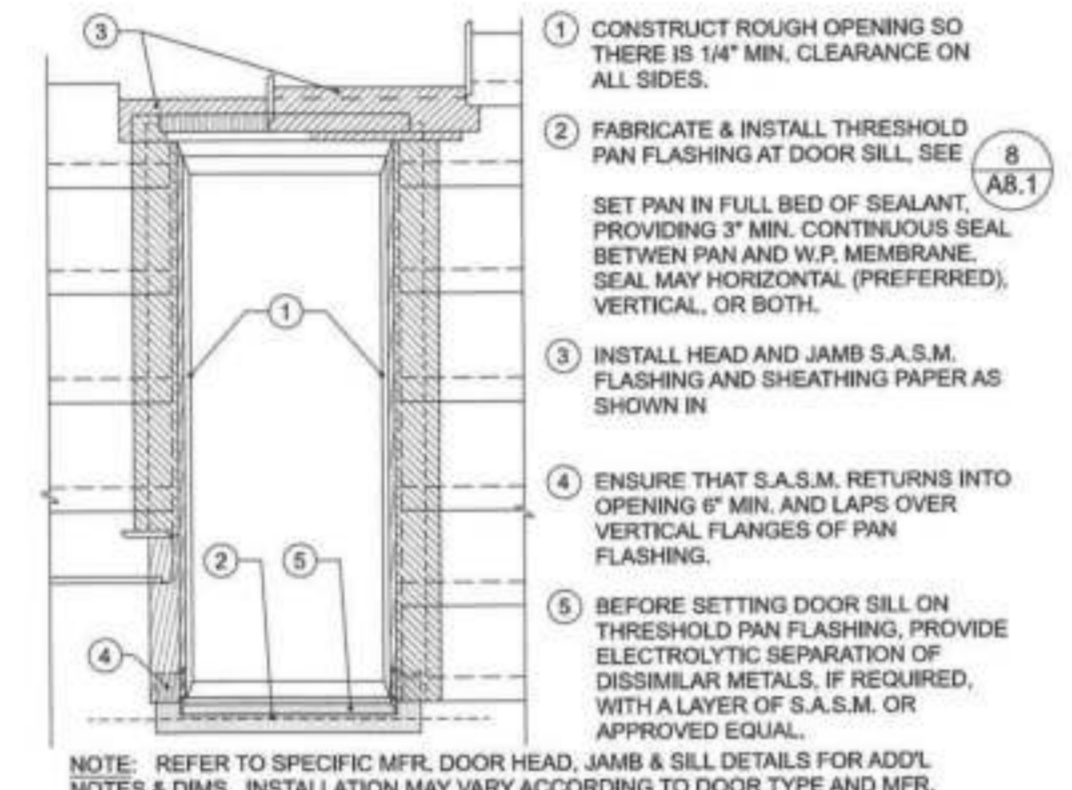
**9** Typ. Exterior Stair Detail  
A8.1 SCALE: 3/4" = 1'-0"



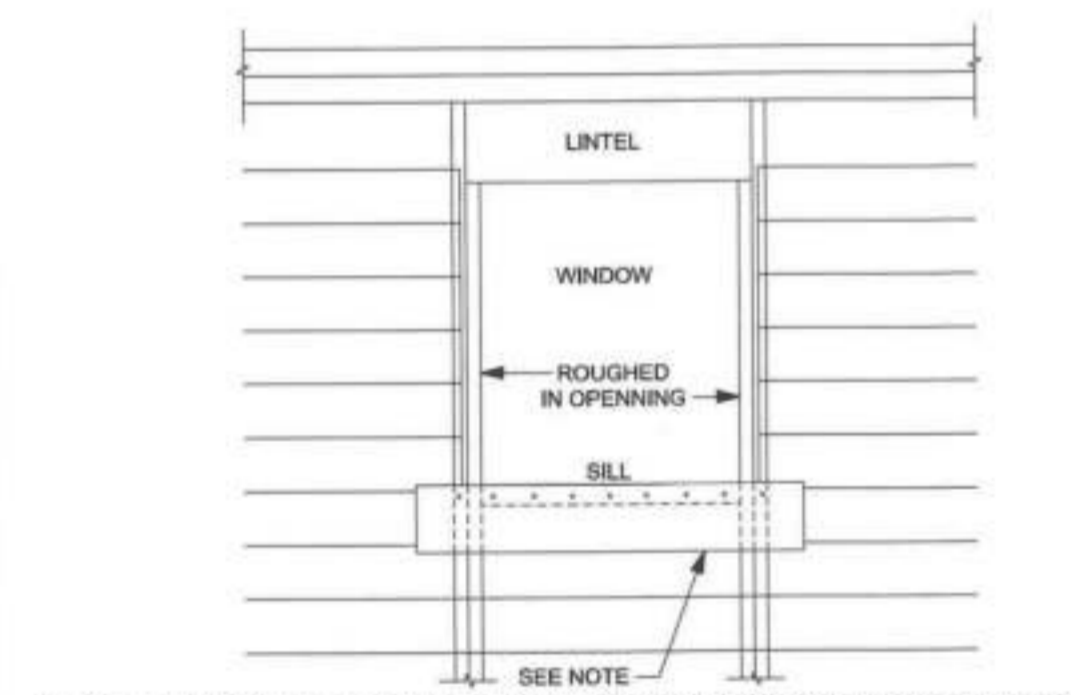
**7** Typ. Ext. Deck Guardrail Detail  
A8.1 SCALE: 3/4" = 1'-0"



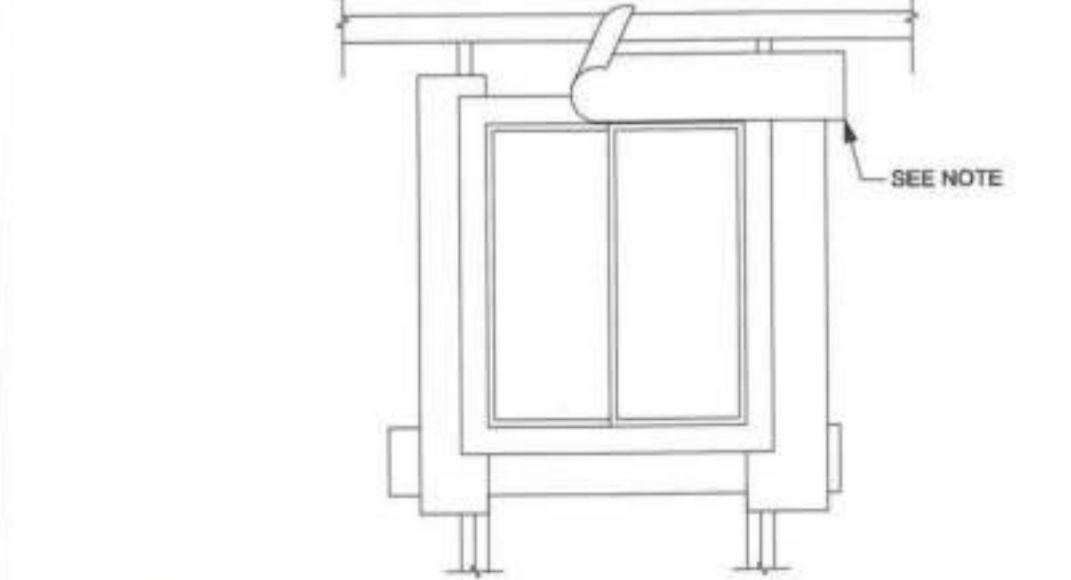
**8** TYP. THRESHOLD PAN  
A8.1 SCALE: 3" = 1'-0"



**6** TYP. EXT. DOOR FLASHING  
A8.1 SCALE: 1 1/2" = 1'-0"



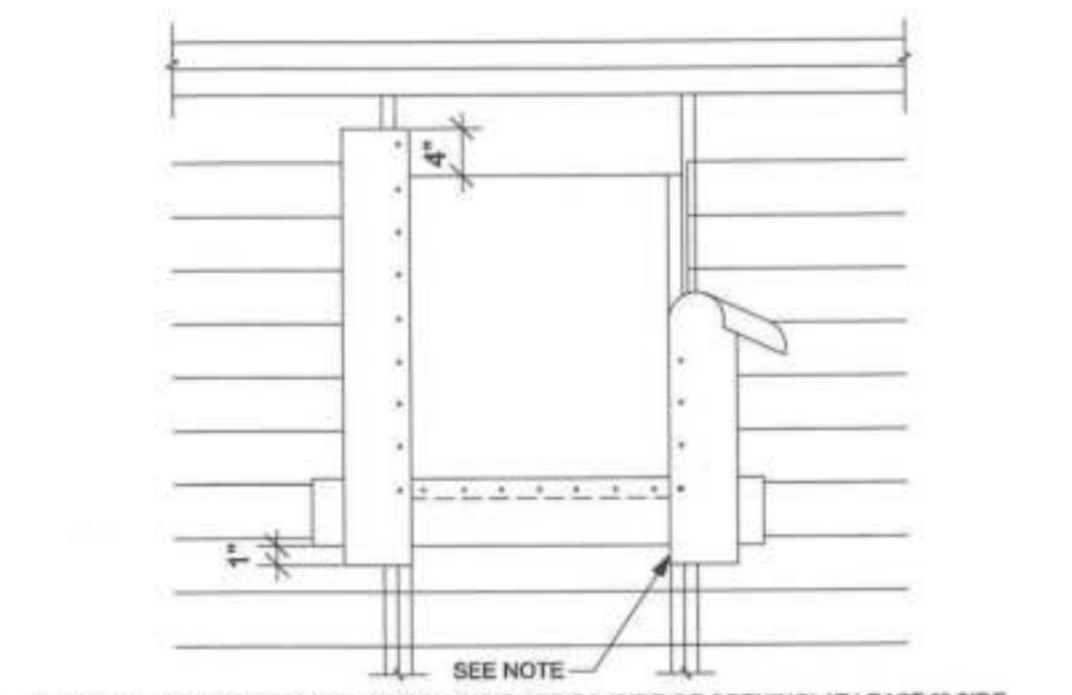
ATTACH A RILL STRIP OF BITHUTANE AT LEAST 9" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS RILL STRIP AT LEAST 18" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH BITHUTANE WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.



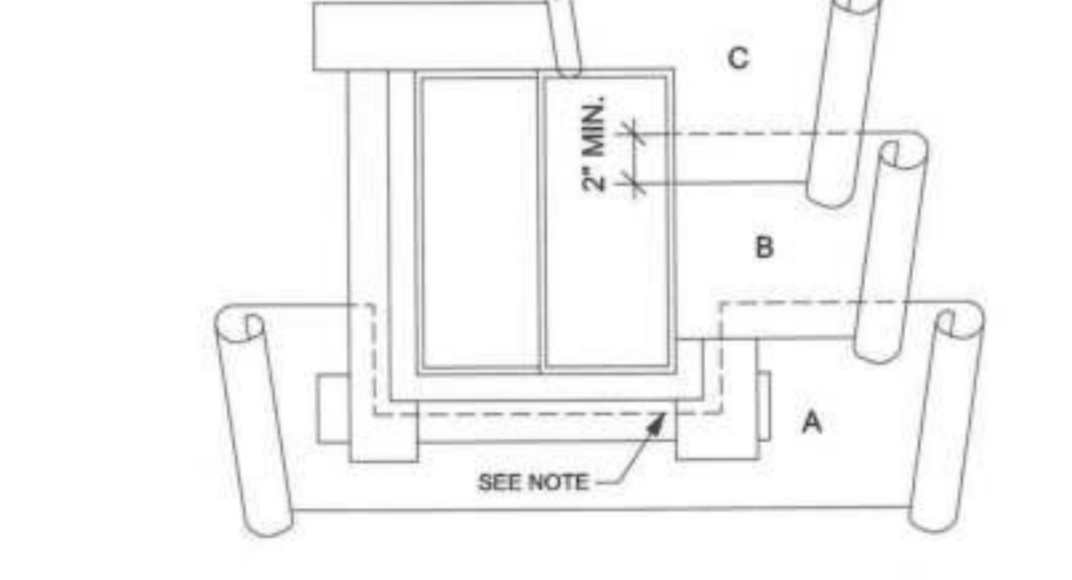
APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW, THEN PLACE THE WINDOW INTO THE ROUGH OPENING, WITH FLANGES OVER THE INSTALLED FLASHING BITHUTANE STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF BITHUTANE AT LEAST 9" WIDE.

NOTES: INTERNATIONAL BUILDING CODE, CALLS FOR FLASHING TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. SINCE IBC DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE BITHUTANE WHENEVER POSSIBLE FOR FLASHING MATERIAL. CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.

**5** Typ. Window Flashing  
A8.1 SCALE: 3" = 1'-0"



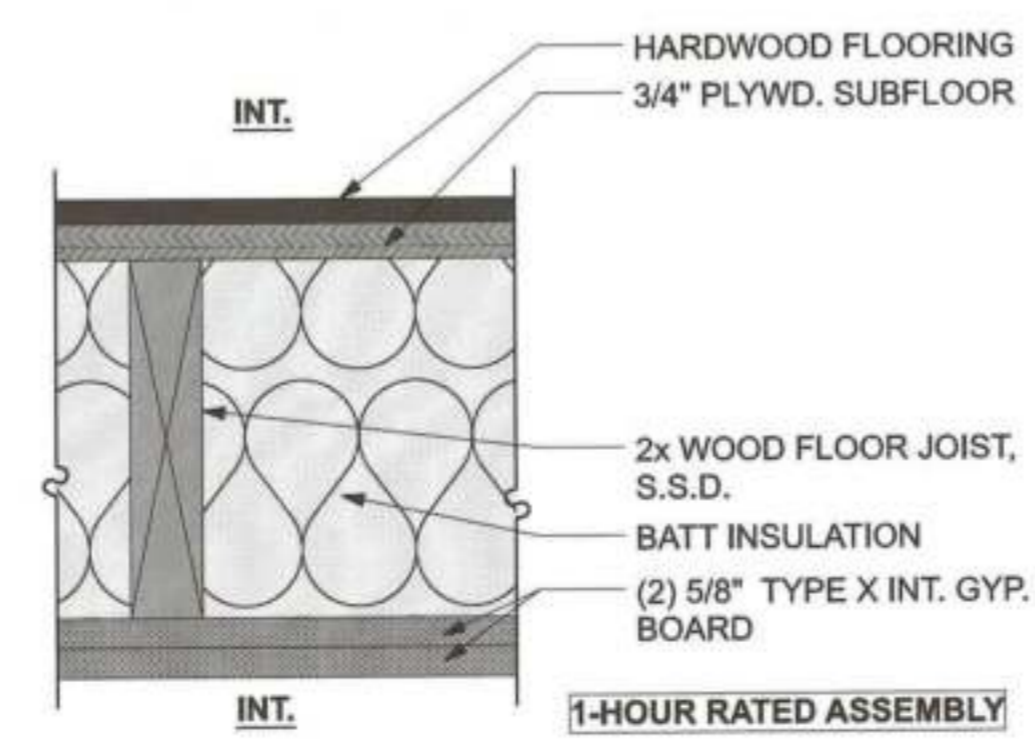
AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST 9" SIDE WITH INSIDE EDGE OF BITHUTANE EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 4" ABOVE THE LOWER EDGE OF THE LINTEL (TOP OF WINDOW OPENING).



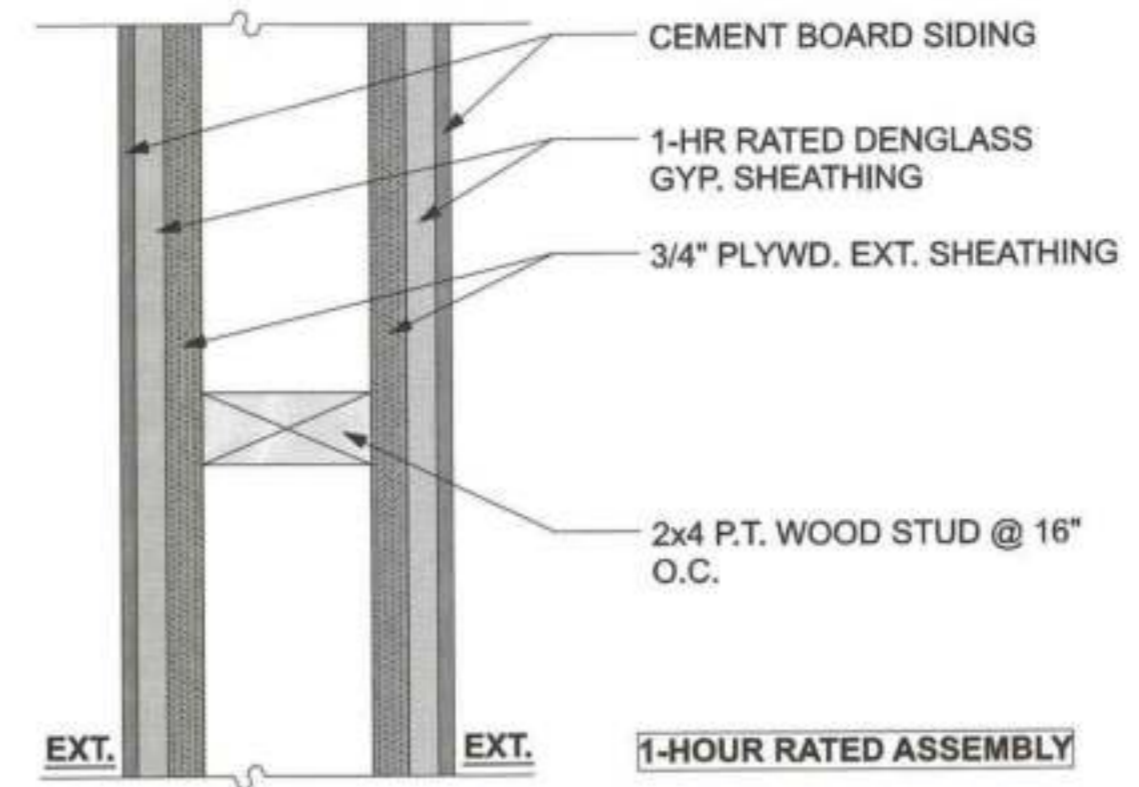
STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER-RESISTANT MEMBRANE UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT MEMBRANE THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. (SHOWN IN DIAGRAM AS SHORT DASHED LINES). INSTALL SUCCEEDING COURSES OF WATER-RESISTANT MEMBRANE (B, C, ETC.) OVER JAMB AND HEAD FLANGES IN SHINGLE-BOARD FASHION.

LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER OR BITHUTANE BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER WIRE BACKING.

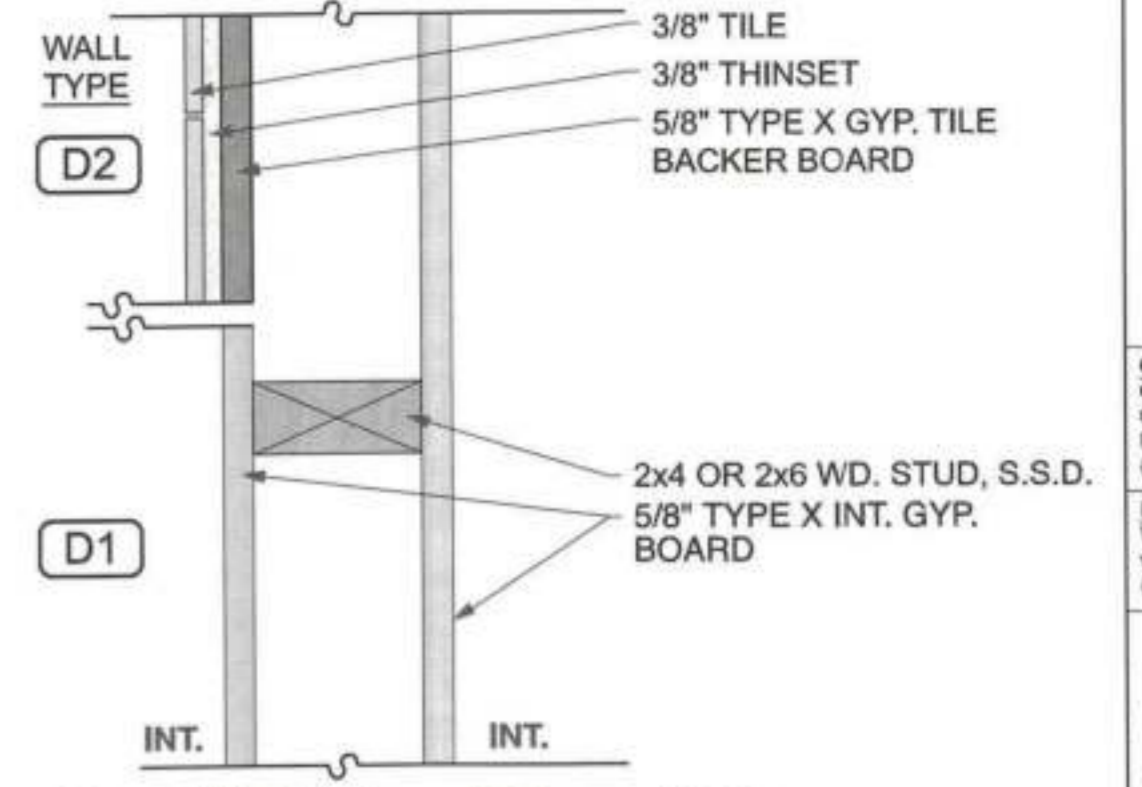
**5** Typ. Window Flashing  
A8.1 SCALE: 3" = 1'-0"



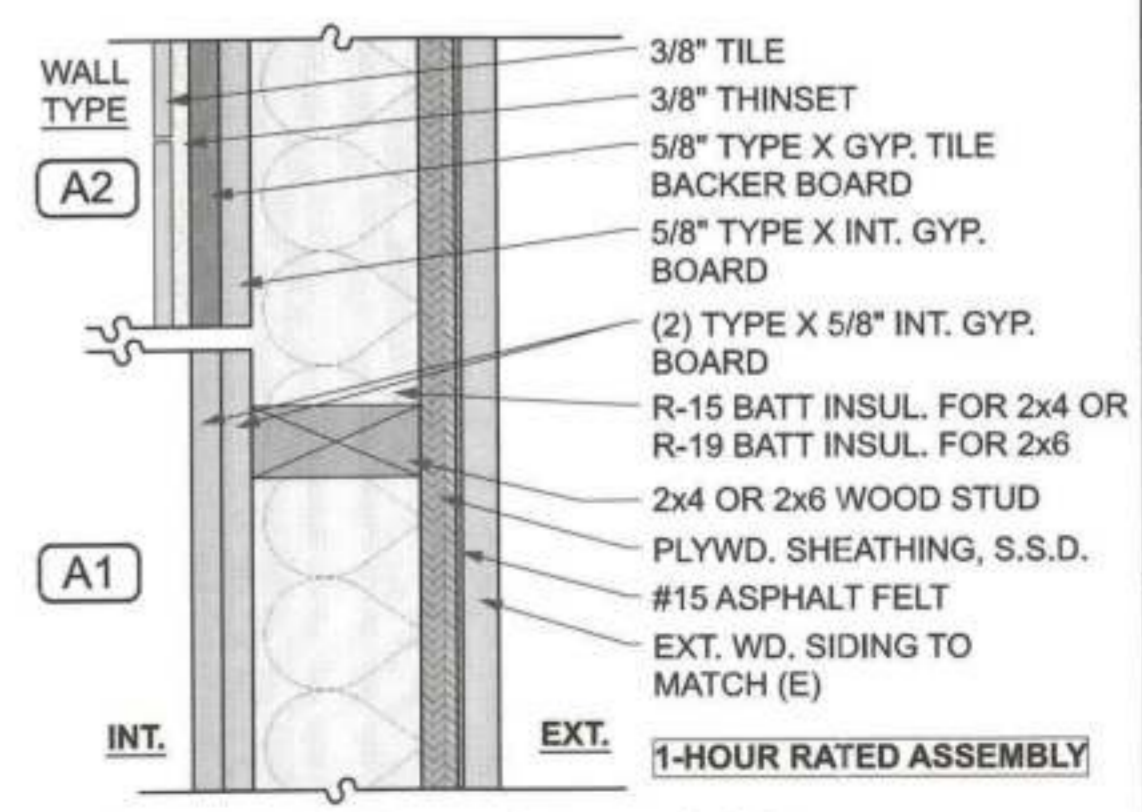
**4** Floor Type A  
A8.1 SCALE: 3" = 1'-0"



**3** Wall Type F  
A8.1 SCALE: 3" = 1'-0"



**2** Wall Type D1 and D2  
A8.1 SCALE: 3" = 1'-0"



**1** Wall Type A1 and A2  
A8.1 SCALE: 3" = 1'-0"

**OUTERLANDS**  
Design+Build  
981 Shotwell St.,  
San Francisco, CA 94110  
outerlandsdesign.com

Contractor:  
Outerlands Design Inc.  
CA Lic. #1026243 exp. 4/30/21  
PO Box 1752, Truckee, CA 96161  
(415) 987-4352  
Design Contact:  
Will Henderson, Architect C-33505  
will@outerlandsdesign.com  
(415) 420-0131

**Residential Remodel**

**152 28th Ave.**  
San Francisco, CA 94121

**Property Owner**  
Julia Diao & Patrick Gordon  
152 28th Ave.  
San Francisco, CA 94121  
415.812.8750 215.307.6510  
diao.julia@gmail.com  
gordon.patrick.a@gmail.com

**Parcel**  
APN: 1331/027  
Zoning: RH-1(D)  
Height & Bulk: 40-X  
Area: 3,789 S.F.

**Building Information**  
Occupancy: R-3  
(E) Residential: 3,012.5  
(E) Total: 3,614.1  
Net (N) Residential: 785.2  
Total Net (N): 183.6  
(N) Total GSF: 3,797.7



Issued:  
Bldg. Permit 06/23/2021



WILL HENDERSON  
REGISTERED ARCHITECT  
DEPT. OF BUILDING INSPECTION



Details

Details

Printed: 6/22/21

**A8.1**

SHEET 18 of 30

Sue Quan, DBI  
JUL 20 2021



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## COORDINATION

CONTRACTOR SHALL COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AS TO LAYOUT, DETAILS, DIMENSIONS AND ELEVATIONS. ALL QUESTIONS, DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT FOR ADJUSTMENT BEFORE PROCEEDING WITH WORK.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES, INCLUDING TEMPORARY SHORES AND BRACING TO RIGIDLY AND SAFELY SUPPORT STRUCTURAL ELEMENTS, EARTH OR NEIGHBORING STRUCTURES DURING CONSTRUCTION. ALL DESIGN AND DETAILING FOR TEMPORARY SHORING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CALIFORNIA BUILDING CODE.

DO NOT USE SCALED DIMENSIONS, USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, SEE ARCHITECTURAL DRAWINGS OR CONTACT ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT. NOTES AND DETAILS ON THE FRAMING PLANS AND DETAILS TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS. QUESTIONS OF IDENTIFICATION OF APPLICABLE DETAIL OR STRUCTURAL MEMBER SHALL BE BROUGHT TO THE ARCHITECT OR ENGINEER FOR RESOLUTION BEFORE PROCEEDING WITH WORK.

ALL ASTM DESIGNATIONS SHALL BE AS AMENDED TO DATE UNLESS NOTED OTHERWISE.

SEE DRAWINGS OTHER THAN STRUCTURAL PLANS FOR WATERPROOFING, FIREPROOFING, FLOOR FINISH, DEPRESSIONS IN FLOOR SLABS, OPENINGS IN WALLS/FLOORS TO ACCOMMODATE ARCHITECTURAL OR MECHANICAL FEATURES.

**EXISTING CONDITIONS**  
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETERMINE ALL EXISTING CONDITIONS THAT MAY AFFECT ITS WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER UPON DISCOVERY OF ANY DISCREPANCIES, AMBIGUITIES OR ERRORS AND DISCOVERY OF EXISTING CONDITIONS NOT NOTED ON DRAWINGS, INCLUDING THOSE WHICH MAY BE HAZARDOUS TO HUMAN HEALTH SUCH AS DECAYED OR BROKEN FRAMING MEMBERS. SOME VARIATIONS IN EXISTING CONDITIONS ARE TO BE ANTICIPATED.

**CUTTING AND PATCHING**  
DO NOT CUT EXISTING OR NEW STRUCTURAL ELEMENTS EXCEPT AS SHOWN ON THE DRAWINGS UNLESS APPROVED BY THE ENGINEER. EXECUTE CUTTING BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK AND PROTECT EXISTING FINISHES.

NO OPENINGS, CHASES, NOTCHES, ETC. SHALL BE PLACED IN COLUMNS, JOISTS, BEAMS, BEARING WALLS, AND SHEAR WALLS UNLESS SPECIFICALLY NOTED ON IN FRAMING PLANS OR IN CONFORMANCE WITH TYPICAL OPENING DETAILS. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER WHEN DRAWINGS BY OTHERS SHOW SUCH OPENINGS.

RESTORE WORK WHICH HAS BEEN CUT, REMOVED OR DAMAGED BY ADJACENT WORK. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.

## CODE

DESIGN IS BASED ON THE CALIFORNIA BUILDING CODE, 2019 EDITION, WITH SAN FRANCISCO AMENDMENTS. ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE.

## LOADS

LIVE LOAD LOCATION	UNIFORM	CONCENTRATED
ROOF LIVE	20 PSF	-
FLOOR LIVE	40 PSF	-
ROOF DECK LIVE	60 PSF	-

SEISMIC DESIGN PARAMETERS	
IMPORTANCE FACTOR, $I_a$	1.0
SITE CLASS	D
ONE SECOND ACCELERATION, $S_1$	0.610g
SHORT PERIOD ACCELERATION, $S_s$	1.01g
SEISMIC DESIGN CATEGORY	D
DESIGN BASE SHEAR, V	10.6k (ASD)
Cs	0.164
R	6.5

LIGHT FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANEL RATED FOR SHEAR RESISTANCE EQUIVALENT LATERAL FORCE

WIND DESIGN PARAMETERS	
BASIC WIND SPEED, $V_{10}$	110 MPH
RISK CATEGORY	II
EXPOSURE	B (URBAN, CLOSELY SPACED CONSTRUCTION)
VELOCITY PRESSURE, $q_h$	17.31 PSF

## FOUNDATIONS

FOUNDATION PARAMETER	ALLOWABLE SOIL PRESSURE	LOAD COMBINATION, ASD
SPREAD FOOTINGS	1800 PSF BEARING 2400 PSF BEARING	DEAD + LIVE DEAD + LIVE + SEISMIC

COEFFICIENT OF FRICTION	0.3	(1.5 SAFETY FACTOR INCLUDED)
PASSIVE PRESSURE	250 PCF	(1.5 SAFETY FACTOR INCLUDED)
ACTIVE PRESSURE (CANTILEVER)	40 PCF + 100 PSF UNIFORM (LEVEL BACKFILL)	
ACTIVE PRESSURE (CANTILEVER)	55 PCF + 100 PSF UNIFORM (2:1 MAX. SLOPE BACKFILL)	

FOUNDATION DESIGN IS BASED ON REPORT BY ATLAS AND IS ENTITLED "GEOTECHNICAL STUDY RESIDENTIAL FOUNDATION REPLACEMENT AND REMODEL, ADDRESS 152 28TH AVENUE, DATED JUNE 9, 2021, JOB NUMBER 11-59160-A 3/15/01.00. GEOTECHNICAL ENGINEER SHALL REVIEW THE STRUCTURAL PLANS AND PROVIDE A LETTER STATING THAT THE PLANS CONFORM TO THE RECOMMENDATIONS IN THEIR REPORT PRIOR TO THE ISSUING OF A BUILDING PERMIT.

FOR GEOTECHNICAL INSPECTIONS CONTACT JOEL BALDWIN AT (650) 557-0262 OR EMAIL AT JOEL.BALDWIN@ONEATLAS.COM. CONTACT STRUCTURAL ENGINEER IF NATIVE SOIL APPEARS TO HAVE UNCONSOLIDATED, LOOSE, EXPANSIVE OR ORGANIC MATERIAL.

SPREAD FOOTINGS BEAR ON UNDISTURBED SOIL, ENGINEERED FILL, OR ROCK. INSTALLATION OF THE FOUNDATION FOOTINGS WITH RESPECT TO THE DEPTH BELOW FINISHED OR NATURAL GRADE SHALL BE AT A MINIMUM ACCORDING TO THE FOUNDATION DETAILS ON THESE PLANS. FIELD DISCOVERED CONDITIONS MAY NECESSITATE DEEPER FOUNDATIONS. EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAR LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL WATER, SOIL, AND OTHER DEBRIS SHALL BE REMOVED FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING OF CONCRETE. ALL BACKFILL WITH ENGINEERED FILLS SHALL BE COMPACTED TO 90% RELATIVE DENSITY WITH 6" MAX LIFTS.

## CONCRETE

CONCRETE SHALL BE NORMAL WEIGHT AND SHALL BE REINFORCED UNLESS OTHERWISE NOTED. DETAILS AND WORKMANSHIP SHALL CONFORM TO THE LATEST ACI STANDARDS.

ALL CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH ( $F'_c$ ) OF 2500 PSI AT 28 DAYS UNLESS NOTED OTHERWISE. ALL CONCRETE SHALL HAVE A MAXIMUM WATER-CEMENT RATIO OF 0.45 FOR FOUNDATIONS AND 0.45 FOR SLABS, 4" SLUMP. CEMENT SHALL CONFORM TO ASTM C150, TYPE II (OR ENGINEERED MAXIMUM DESIGN TO STRENGTH). REPLACE A MINIMUM OF 25% AND A MAXIMUM OF 50% OF CEMENT CONTENT WITH FLYASH CONFORMING TO ASTM C618, CLASS C OR F, OR GROUND GRANULATED BLAST FURNACE SLAG CONFORMING TO ASTM C989, CLASS 100 OR 120.

THE SURFACE OF ALL CONSTRUCTION JOINTS SHALL BE CLEANED AND ROUGHENED BY REMOVING THE ENTIRE SURFACE AND EXPOSING CLEAN AGGREGATE SOLIDLY EMBEDDED IN MORTAR MIX.

EPOXY ADHESIVE WILL BE USED AT ALL LOCATIONS WHERE EITHER THREADED STEEL ROD OR REBAR IS BEING EMBEDDED INTO EXISTING HARDENED CONCRETE OR MASONRY, U.O.N.

## REINFORCING STEEL

REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60. REINFORCING SHALL HAVE A MINIMUM LAP SPLICE IN CONFORMANCE WITH SPECIFICATIONS SHOWN ON DETAIL 2/50.2, STAGGER SPLICES WHENEVER POSSIBLE.

VERTICAL WALL REINFORCING BARS SHALL EITHER EXTEND INTO FOOTINGS OR LAP SPLICED WITH FOOTING DOVELLS OF THE SAME SIZE BARS. IN SLAB AND BEAMS LOCATE TOP BAR SPLICES MIDWAY BETWEEN SUPPORTS, BOTTOM BAR SPLICES AT SUPPORTS. SPLICE LOCATIONS SHALL BE SUBMITTED FOR REVIEW. UNLESS OTHERWISE NOTED, THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT.

LOCATION EXPOSURE	MINIMUM COVER
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	5"
CONCRETE EXPOSED TO EARTH OR WEATHER	2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLABS AND WALLS, BEAMS AND COLUMNS	1" / 1 1/2"

ALL BARS SHALL BE FREE OF LOOSE AND FLAKY RUST AND SCALE, GREASE, OR OTHER MATERIALS WHICH MIGHT AFFECT OR IMPAIR BOND.

## CONCRETE ANCHORS

INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALTERNATES MAY BE SUBMITTED FOR CONSIDERATION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

UNLESS NOTED OTHERWISE, BOLTS, ANCHOR RODS OR THREADED RODS SHALL BE AS SPECIFIED IN STRUCTURAL STEEL. REINFORCING BARS SHALL BE A-615, GRADE 60.

LOW VELOCITY POWER DRIVEN FASTENERS IN CONCRETE SHALL BE SIMPSON FOPK (D145) OR EMBEDDED 1" ANG CONFORMING TO ICC-ES REPORT ESR-2158.

EXPANSION ANCHORS IN CONCRETE SHALL BE HILTI Kwik Bolt TZ CONFORMING TO ICC-ES REPORT ESR-1917 OR SIMPSON STRONG-TIE STRONG-BOLT 2 WEDGE ANCHOR CONFORMING TO ICC-ES REPORT ESR-3057.

SCREEN ANCHORS IN CONCRETE SHALL BE HILTI KH-EZ CONFORMING TO ICC-ES REPORT ESR-3027 OR SIMPSON STRONG-TIE TITEN HD SCREEN ANCHORS CONFORMING TO ICC-ES REPORT ESR-2115.

## ADHESIVE ANCHORS (DOWELS OR BOLTS) IN CONCRETE

SIMPSON STRONG-TIE SET-3G ADHESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ESR-4057 OR HILTI HIT-RE-500 VS CONFORMING TO ICC-ES REPORT ESR-3314.

INSTALLATION REQUIREMENTS: INSTALL ADHESIVE AND ANCHORS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL HAVE MANUFACTURER'S PRODUCT INSTALLATION LITERATURE AND PRODUCT EVALUATION REPORT ON SITE FOR REFERENCE DURING INSTALLATION.

- ANCHORS SHALL BE INSTALLED IN CONCRETE THAT HAS A MINIMUM AGE OF 21 DAYS PER ACI D5.5.2.
- HOLE PREPARATION: HOLES SHALL BE DRILLED, BLOWN OUT, AND BRUSHED PER MANUFACTURER'S SPECIFICATIONS.
- GARTRIDGE PREPARATION: EPOXY ADHESIVE SHALL BE MIXED AND DISPENSED PER MANUFACTURER'S SPECIFICATIONS.

VISUAL PERIODIC SPECIAL INSPECTION IS REQUIRED DURING INSTALLATION, AND SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ICC-ES REPORT. THE SPECIAL INSPECTOR MUST BE ON THE JOB SITE TO VERIFY THE INITIAL INSTALLATIONS OF EACH TYPE AND SIZE OF ANCHOR BY CONSTRUCTION PERSONNEL. SUBSEQUENT INSTALLATIONS OF THE SAME TYPE AND SIZE BY THE SAME CONSTRUCTION PERSONNEL ARE PERMITTED TO BE PERFORMED IN THE ABSENCE OF THE SPECIAL INSPECTOR.

-ANY CHANGE IN THE PRODUCT OR PERSONNEL MUST REQUIRE AN INITIAL INSPECTION. FOR ONGOING INSTALLATION OVER AN EXTENDED PERIOD, THE SPECIAL INSPECTOR MUST MAKE REGULAR INSPECTIONS AT INTERVALS DETERMINED BY THE ENGINEER OF RECORD.

-IF THE CONTRACTOR FAILS TO ENSURE VISUAL PERIODIC SPECIAL INSPECTION IS ADEQUATELY PERFORMED, CONTACT THE ENGINEER FOR PROOF LOADING REQUIREMENTS.

## ROUGH CARPENTRY

STRUCTURAL LUMBER SHALL CONFORM TO THE FOLLOWING INCLIB MINIMUM GRADES, CHAPTER 23 OF THE CBC AND SHALL BE DOUGLAS FIR, UNLESS OTHERWISE NOTED.

TYPE	GRADE	HANGER
JOISTS (2'-4", 5" AND WIDER)	NO. 2	"IUS" SERIES
HEADERS (4" THICK, 5" AND WIDER)	NO. 2	SEE DETAIL 1/50.5
BEAMS (6" THICK, 10" AND WIDER)	NO. 1	"IU" SERIES
POSTS	NO. 1	
STUDS (2X, 3X)	STUD	
TOP AND BOTTOM PLATES	STUD	
MUD BILLS (3X)	NO. 1, PRESSURE TREATED (DO NOT USE HEM-FIR)	

MOISTURE CONTENT SHALL MEET THE FOLLOWING LIMITS: "DRY" FOR VERTICAL FRAMING (19% MAXIMUM). FINISHES SHALL NOT BE INSTALLED OVER DIMENSIONAL LUMBER FRAMING UNTIL MOISTURE CONTENT IS BELOW 12% MAXIMUM.

**FASTENERS AND CONNECTORS NOTES:**  
METAL FRAMING ANCHORS SHALL BE MANUFACTURED BY SIMPSON COMPANY OR EQUAL. NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR APPROVAL.

FOR SCHEDULE OF MINIMUM NAILING SEE CALIFORNIA BUILDING CODE TABLE 2304.11, SHOWN ON DETAIL 9/50.5. NAILING SHALL BE WITH COMMON WIRE NAILS UNLESS NOTED OTHERWISE. ALL NAILS CONNECTING PRE-MANUFACTURED METAL ITEMS (CONNECTORS, HANGERS, STRAPS, ETC.) TO TIMBER SHALL CONFORM TO THE MANUFACTURER'S CATALOG AND APPLICABLE ICC REPORTS. BOLTS AND LAG SCREWS BEARING ON WOOD SHALL HAVE WASHERS. BOLTS IN CONNECTIONS SHALL BE TIGHTENED JUST PRIOR TO CLOSING OF THE WALL AND/OR FLOOR.

**EXPOSURE TO WEATHER OR CONCRETE NOTES:**  
FRAMING MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE BUT NOT IN CONTACT WITH THE GROUND SHALL BE PRESSURE TREATED IN ACCORDANCE WITH ANPPA STANDARD U1 & T1, USE CATEGORY U0.3B. FIELD CUTS AND HOLES SHALL BE FIELD TREATED IN ACCORDANCE WITH THE ANPPA M-4. FASTENERS EXPOSED TO WEATHER OR PENETRATING PRESSURE TREATED LUMBER SHALL BE HOT DIP ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING HEIGHTS FOR ZINC-COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153.

EXTERIOR SILLS OR PLATES SHALL BE BOLTED TO CONCRETE WITH 5/8" DIAMETER BOLTS WITH 3/8X1/4" WASHERS, EMBEDDED 1" MINIMUM AT 4'-0" MAXIMUM ON CENTER U.O.N. INTERIOR SILLS OR PLATES SHALL BE CONNECTED TO CONCRETE WITH DDPFVL-300 GALVANIZED #12" O.C., U.O.N.

**TYPICAL FRAMING NOTES:**  
PROVIDE MULTIPLE STUDS FOR SOLID BEARING AT THE ENDS OF MISCELLANEOUS BEAMS OR GIRDER TRUSSES WHERE POSTS ARE NOT SHOWN. PROVIDE DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITIONS.

ALL STUD WALLS SHALL HAVE FIRE BLOCKING AT 10'-0" O.C. MAXIMUM. PROVIDE SOLID BLOCK AT BEARING WALLS UNDER PERPENDICULAR PARTITIONS AND ELSEWHERE AS REQUIRED PER NDS SECTION 4.4.1. PROVIDE FULL DEPTH BLOCKING AT ENDS AND AT 8'-0" O.C. MAXIMUM SPACING.

ALL FLOOR JOISTS SHALL HAVE FULL DEPTH SOLID BLOCKING AT A MAXIMUM OF 8'-0" O.C. FOR 2X10 MEMBERS AND LARGER (CONTACT METAL BRIDGING OR EQUAL MAY BE USED) WHERE SHEATHING OR GYPSUM BOARD IS NOT APPLIED TO TOP AND BOTTOM OF JOISTS FOR ENTIRE LENGTH PER NDS SECTION 4.4.1.

## ENGINEERED LUMBER

ALL PARALLAM (PSL), MICROLAM (LVL), AND TIMBERSTRAND (LSL) MEMBER CALLOUTS REFER TO PRODUCTS OF HEYERHAUSER AND SHALL CONFORM TO ICC-ES REPORT ESR-1587. CUTTING, NOTCHING OR DRILLING OF MEMBERS MAY BE DONE ONLY WITH THE APPROVAL OF THE STRUCTURAL ENGINEER AND IN ACCORDANCE WITH THE DETAILS PROVIDED BY THE MANUFACTURER. GRADE SHALL BE AS FOLLOWS:

TYPE (CALLOUT)	ELASTIC MODULUS, E	F <sub>v</sub> /F <sub>v</sub> (PSI)	HANGER TYPE
2.0E PARALLAM (PSL)	2,000,000 PSI	2,900/240	"HUS" SERIES
1.8E MICROLAM (LVL)	1,900,000 PSI	2,600/285	"HU" SERIES
1.85E TIMBERSTRAND (LSL)	1,850,000 PSI	2,325/310	"IUS" SERIES
TJI JOISTS (TJI)	ESR REPORT-1155		

## SHEATHING

ALL SHEATHING TO BE PLYWOOD STAMPED BY THE AMERICAN PLYWOOD ASSOCIATION (APA) AND SHALL CONFORM TO THE U.S. PRODUCT STANDARD (PS 1) WITH EXTERIOR GLUE. SEE PLANS FOR THICKNESS AND NAILING PATTERN AT FLOOR AND ROOF SHEATHING. (MINIMUM SHEET SIZE 24'). PLYWOOD SHALL BE DOUGLAS FIR AND AS FOLLOWS:

SHEATHING LOCATION	APA RATED	EXPOSURE
ROOF	24/O	EXPOSURE I*
FLOOR	48/24, T&G	EXPOSURE I**
ROOF DECK	48/24, T&G	EXPOSURE I**
FRONT ENTRY DECK W/ TOPPING	STURD-I-FLOOR 48 OG, T&G	EXPOSURE I**
WALL	STRUCTURAL-1 32/16	EXPOSURE I

\*PROVIDE FLY CLIPS BETWEEN JOISTS WHERE EDGES ARE NOT BLOCKED.  
\*\*CONTRACTOR MAY OMIT T&G WHERE EDGES ARE BLOCKED.

**FLOOR AND ROOF SHEATHING NOTES:** SEE DETAIL 2/50.5  
PLYWOOD SHEETS ON FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS AND EDGES SHALL HAVE A STAGGERED LAYOUT. PROVIDE 1/8" SPACING AT PANEL ENDS AND EDGES. NAIL SHEET EDGES 10@8", INTERMEDIATE JOISTS 10@12".

FLOOR SHEATHING SHALL BE GLUED TO JOISTS WITH A CONTINUOUS BEAD OF CONSTRUCTION GRADE ADHESIVE (ASTM D 3498) AND NAIL WITHIN 10 MINUTES OF GLUING.

**SHEAR WALL SHEATHING NOTES:** SEE TYPICAL DETAILS ON S0.4  
PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL PANEL EDGES. PROVIDE 2x (OR 4x) MEMBERS (OR DOUBLE 2x TOP PLATE) AT ALL SHEATHING EDGES FOR SHEAR WALL, WHERE NAILING IS EQUAL OR LESS THAN 4' O.C. SHEATHING SHALL ABUT ALONG THE CENTERLINE OF FRAMING MEMBERS WITH NAILING NOT LESS THAN 3/8" FROM EDGE OF SHEETS.

SHEAR WALLS SHALL RUN AND BE CONNECTED TO UNDERSIDE OF ROOF OR FLOOR SHEATHING WITH APPROVED BLOCKING AS REQUIRED AND SHALL CONNECT WITH FLOOR OR FOUNDATION BELOW.

WHERE SHEAR WALL CONNECTIONS ARE NOT SPECIFICALLY DETAILED ON THESE DRAWINGS, CONNECTION DETAILS SHALL BE PER TYPICAL DETAILS AND SHEAR WALL SCHEDULE.

ALL EXTERIOR WALLS NOT NOTED AS SHEAR WALLS SHALL BE SHEATHED WITH SHEATHING AND CONSTRUCTED AS A TYPE-6 SHEAR WALL, INCLUDING ABOVE AND BELOW ALL WALL OPENINGS, AND GABLED WALLS.

## STRUCTURAL AND MISCELLANEOUS STEEL

STEEL TYPE	ASTM DESIGNATION	F <sub>y</sub> MIN YIELD
WIDE FLANGE SHAPES	A992	50 KSI
CONNECTION PLATE FOR WIDE FLANGE MEMBERS	A36	36 KSI
MISCELLANEOUS CHANNELS, ANGLES, AND PLATE	A36	36 KSI
RECTANGULAR AND ROUND HSS SECTIONS	A500, GR. B	46 KSI/42 KSI
STEEL PIPE	A53 TYPE E, GR. B	35 KSI
ELECTRODES -WELD	E70XX	70 KSI
ANCHOR BOLTS	F1554	56 KSI
THREADED ROD	A56	36 KSI
HIGH STRENGTH BOLTS	A324-X, U.O.N.	F <sub>u</sub> = 120 KSI
MACHINE BOLTS	A307	60 KSI
WELDED STUDS	A108	60 KSI

STEEL NOT RECEIVING FIREPROOFING OR STEEL EXPOSED TO WEATHER SHALL HAVE ONE COAT OF SHOP PRIMER. STEEL EXPOSED TO WEATHER SHALL BE HOT DIP GALVANIZED OR OTHER APPROVED PROTECTIVE COATING.

DETAILS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST AISC STANDARD SPECIFICATIONS. WELDING SHALL BE IN ACCORDANCE WITH THE LATEST AWS STANDARDS AND SHALL BE PERFORMED BY CERTIFIED WELDERS. ALL WELDS NOT SPECIFIED SHALL BE CONTINUOUS FILLET WELDS, USING NOT LESS THAN THE MINIMUM SIZES BASED ON THICKNESS OF THICKER PART JOINED PER AISC/AWS, AND IN NO CASE LESS THAN 1/4" UNLESS NOTED OTHERWISE.

ALL SHOP AND FIELD WELDING SHALL BE INSPECTED BY AN APPROVED TESTING LABORATORY. ALL SHOP AND FIELD WELDING SHALL BE INSPECTED BY AN APPROVED TESTING LABORATORY. SPECIAL INSPECTION REQUIREMENTS OF CHAPTER 17, 2019 CBC, APPLY TO ALL WELDING, U.O.N.

THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL DISTORTION OF THE STEEL, DURING AND AFTER ALL FIELD AND SHOP WELDING, AND TO ENSURE THAT ALL STEEL REMAINS STRAIGHT AND OR PLUMB, DURING AND AFTER WELDING OPERATIONS. THIS INCLUDES, BUT NOT LIMITED TO: PRE-SETTING, TRIAL ERECTION, USING FEWER WELD PASSES, BACKSTEP WELDING, PROPER WELDING SEQUENCE AND CLAMPING. ALL CORRECTIONS NECESSARY DUE TO DISTORTION OF THE STEEL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.

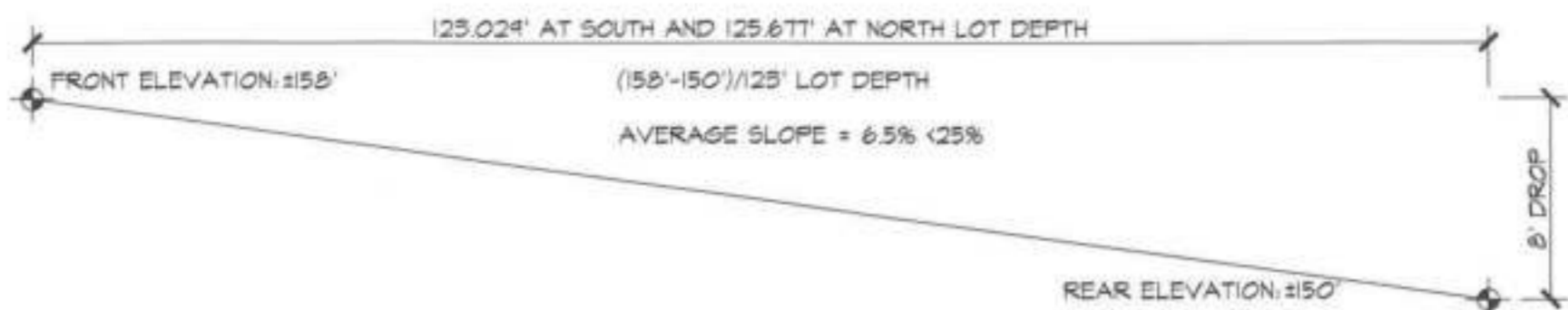
SHEET LIST		
S0.1	GENERAL NOTES	
S0.1B	SAN FRANCISCO FORMS AND SOIL LETTER	
S0.2	TYPICAL CONCRETE DETAILS	SCALE AS NOTED
S0.3	TYPICAL FRAMING DETAILS	SCALE AS NOTED
S0.4	TYPICAL SHEAR WALL DETAILS	SCALE AS NOTED
S0.5	TYPICAL HOLDOWN AND STRAP DETAILS	SCALE AS NOTED
S2.1	FOUNDATION AND FRAMING PLANS	1/4" = 1'-0"
S2.2	FRAMING PLANS	1/4" = 1'-0"
S4.1	BUILDING SECTION	3/8" = 1'-0"
S6.1	CONCRETE AND FRAMING DETAILS	SCALE AS NOTED
S6.2	CONCRETE AND FRAMING DETAILS	SCALE AS NOTED
S6.3	CONCRETE AND FRAMING DETAILS	SCALE AS NOTED

MATERIAL LEGEND - PLANS		
STRUCTURAL ELEMENT	NEW (N)	EXISTING (E)
FOUNDATIONS/FOOTING		
GRADE BEAMS		
WOOD STUD WALL		
WOOD JOIST		
BEAM (WOOD OR STEEL)		
WOOD POST COLUMN		

MATERIAL LEGEND - DETAILS		
STRUCTURAL ELEMENT	NEW (N)	EXISTING (E)
TIMBER & LUMBER SECTION		
PLYWOOD SECTION		
CONCRETE SECTION		
STEEL SECTION		

ABBREVIATIONS			
FT	FOOT	AB	ANCHOR BOLT
FTG	FOOTING	ABV	ABOVE
GA, gp	GAGE	ADH	ADHESIVE
GALV	GALVANIZED	ALT	ALTERNATE
HDR	HEADER	ARCH	ARCHITECTURAL
HORIZ	HORIZONTAL	@	AT ON CENTER
INT	INTERIOR	BLW	BELOW
MAX	MAXIMUM	BLDG	BUILDING
MECH	MECHANICAL	BLK	BLOCK
MIN	MINIMUM	BLKS	BLOCKING
NA	NOT APPLICABLE	BM	BEAM
NO, #	NUMBER	B.O.	BOTTOM OF
N.T.S.	NOT TO SCALE	BOTT	BOTTOM
O.C.	ON CENTER	BTW	BETWEEN
OPP	OPPOSITE	CL, e	CENTERLINE
OPNS	OPENING	CLR	CLEAR
PERP	PERPENDICULAR	COL	COLUMN
PL, e	PLATE	CONC	CONCRETE
PLWD	PLYWOOD	CONN	CONNECTION
PSL	PARALLEL STRAND LUMBER	CONT	CONTINUOUS
PT	PRESSURE TREATED	CTR	CENTER
REF	REFERENCE	DBL	DOUBLE
REINF	REINFORCING	DET	DETAIL
REQD	REQUIRED	DF	DOUGLAS FIR
S.A.D.	SEE ARCHITECTURAL DRAWINGS	DIA	DIAMETER
SCHED	SCHEDULE	DIAG	DIAGONAL
SHTG	SHEATHING	DIM	DIMENSION
SIM	SIMILAR	DWS	DRAWING
SPEC	SPECIFICATIONS	(E)	EXISTING
SQ	SQUARE	EA	EACH
STD	STANDARD	EF	EACH FACE
T & B	TOP AND BOTTOM	ELEV, EL	ELEVATION
T & G	TONGUE AND GROOVE	EN	EDGE NAIL
TN	TOE NAIL	EN	EACH WAY
T.O.	TOP OF	EXT	EXTERIOR
TYP	TYPICAL	FNDN	FOUNDATION
U.O.N.	UNLESS OTHERWISE NOTED	FIN FLR	FINISHED FLOOR
VERT	VERTICAL	FLR	FLOOR
W'	WITH	F.O.	FACE OF





**ATLAS**

June 15, 2021

Julia Diao and Patrick Gordon  
152 28<sup>th</sup> Avenue  
San Francisco, California 94121

**Subject:** *Geotechnical Structural Plan Review Residential Foundation Replacement & Remodel*  
152 28<sup>th</sup> Avenue  
San Francisco, California  
Atlas Project No. 91-59100-B (3173)

**Reference:** 1) *Geotechnical Study, Residential Foundation Replacement & Remodel, 152 28<sup>th</sup> Avenue, San Francisco, California, prepared by Atlas Technical Consultants LLC, dated June 3, 2021.*

Dear Ms. Diao and Mr. Gordon,

As required by City and County of San Francisco plan check review, Atlas Technical Consultants LLC (Atlas) reviewed the geotechnical aspects of the project structural plans for your proposed project located at 152 28<sup>th</sup> Avenue in San Francisco, California. We previously prepared and submitted a geotechnical study for this project (Reference 1). We reviewed the geotechnical aspects of the following project documents prepared and provided for the subject project:

- **Structural Plans:** Residential Remodel, 152 28<sup>th</sup> Avenue (11 sheets), prepared by Outerlands Design + Build, dated June 13, 2021.

Based on our review, the geotechnical aspects of the above-referenced plans were found to be in substantial conformance with the recommendations presented in our Geotechnical Study report prepared for the project. However, we have the following comment that may or may not need to be addressed:

This letter has been prepared in accordance with generally accepted, local and current geotechnical engineering practices. No warranty, either express or implied, is made. We trust that this provides the necessary information at this time.

2001 Crow Canyon Road, Suite 210, San Ramon, CA 94583  
925.314.7100 (Main), 650.557.0202 (D) | [atlas.com](http://atlas.com)

We greatly appreciate the continuing opportunity to be of service to you and to be involved in this project. If you should have any questions regarding this letter, please contact Mr. Lim at [alex\\_lim@oneatlas.com](mailto:alex_lim@oneatlas.com).

Sincerely,

**ATLAS TECHNICAL CONSULTANTS LLC**

Alex Lim, P.E., Q.S.P.  
Project Engineer

Joel E. Baldwin, II, P.G., C.E.G.  
Principal Engineering Geologist

Distribution:  file to addressee  
 file to Jared Johnson  
 file to Townsend Brown

City and County of San Francisco  
Department of Building Inspection

London Breed, Mayor  
Patrick O'Riordan, Interim Director

**Attachment A**

**SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST**  
A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

JOB ADDRESS 152 28TH AVENUE APPLICATION NO. \_\_\_\_\_ ADDENDUM NO. \_\_\_\_\_  
OWNER NAME JULIA DIAO & PATRICK GORDON OWNER PHONE NO. ( ) \_\_\_\_\_

1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION	
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000.	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA
	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA
	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	SHORING CONCRETE FOURS IN SEQUENCED SECTIONS
2: AVERAGE SLOPE OF PROPERTY		UNDERPINNING	
PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	GRADING, INCLUDING EXCAVATION OR FILL, OF OVER 50 CUBIC YARDS OF EARTH MATERIAL
(APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY.
	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	RETAINING WALL:
	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	OTHERS:

**SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES**

Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

Prepared by: D. TOWNSEND BROWN, C.E.  
Engineer/Architect of Record

(510) 520 - 7175 Telephone TOWNSEND@TBUILDS.COM Email  
 6/12/2021 Date

INFORMATION SHEET S-19 ATTACHMENT A Slope Protection Checklist

**FOR DBI USE ONLY**

**ASSIGNMENT OF REVIEW TIER**

**EXEMPTED: Reports per Section E and Third Party Peer Review Not Required**

If the box in Section 1 "Property Location" **AND** the box in Section 2 "Average Slope of Property" are marked "No" **OR** if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

**TIER I: Reports per Section E Required but Third Party Peer Review Not Required**

If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

**TIER II: Reports per Section E and Third Party Peer Review Required**

If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property lies in the vicinity of mapped landslides, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

**TIER III: Structural Advisory Committee (SAC) Review**

If the box in Section 1 "Property Location" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBC Section 105A.6.

Tier assigned by \_\_\_\_\_ Phone: (628) \_\_\_\_\_  
DBI Plan Review Engineer

Comment:

City and County of San Francisco  
Department of Building Inspection

Edwin M. Lee, Mayor  
Tom C. Hui, S.E., C.B.O., Director

**NOTICE**

**SPECIAL INSPECTION REQUIREMENTS**

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required *in addition* to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or **415-558-6132**. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

**STRUCTURAL OBSERVATION REQUIREMENTS**

Structural observation shall be provided as required per Section 1704.5. **The building permit will not be finalized without compliance with the structural observation requirements.**

**Special Inspection Services Contact Information**

- Telephone: (415) 558-6132
- Fax: (415) 558-6474
- Email: [dbi\\_specialinspections@sfgov.org](mailto:dbi_specialinspections@sfgov.org)
- In person: 3<sup>rd</sup> floor at 1660 Mission Street

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

**Special Inspection Services**  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6132 - FAX (415) 558-6474 - [www.sfdbi.org](http://www.sfdbi.org)

**SPECIAL INSPECTION AND STRUCTURAL OBSERVATION**  
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS 152 28TH AVENUE APPLICATION NO. \_\_\_\_\_ ADDENDUM NO. \_\_\_\_\_  
OWNER NAME JULIA DIAO & PATRICK GORDON OWNER PHONE NO. ( ) \_\_\_\_\_

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspection shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.5. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1701; 1703; 1704; 1705, Special Inspection and/or testing is required for the following work:

<p><b>PLACEMENT ONLY</b></p> <p>1. <input checked="" type="checkbox"/> Concrete (Placement &amp; setting)</p> <p>2. <input checked="" type="checkbox"/> Bolts installed in concrete</p> <p>3. <input checked="" type="checkbox"/> Special moment-resisting concrete frame</p> <p>4. <input checked="" type="checkbox"/> Reinforcing steel and prestressing tendons</p> <p>5. <b>Structural welding:</b></p> <p>A. <b>Periodic visual inspection</b> (Section 1704)</p> <p><input checked="" type="checkbox"/> Single pass fillet welds 5/16" or smaller</p> <p><input checked="" type="checkbox"/> Steel deck</p> <p><input checked="" type="checkbox"/> Welded studs</p> <p><input checked="" type="checkbox"/> Cold formed studs and joists</p> <p><input checked="" type="checkbox"/> Chair and railing systems</p> <p><input checked="" type="checkbox"/> Reinforcing steel</p> <p>B. <b>Continuous visual inspection and NDT</b> (Section 1704)</p> <p><input type="checkbox"/> All other welding (NDT exception: Fillet weld)</p> <p><input type="checkbox"/> Reinforcing steel; and <input type="checkbox"/> NDT required</p> <p><input type="checkbox"/> Moment-resisting frames</p> <p><input type="checkbox"/> Others:</p>	<p>6. <input type="checkbox"/> High-strength bolting</p> <p>7. <input type="checkbox"/> Structural masonry</p> <p>8. <input type="checkbox"/> Reinforced gypsum concrete</p> <p>9. <input type="checkbox"/> Insulating concrete fill</p> <p>10. <input type="checkbox"/> Sprayed-on fireproofing</p> <p>11. <input type="checkbox"/> Piling, drilled piers and caissons</p> <p>12. <input type="checkbox"/> Shotcrete</p> <p>13. <input type="checkbox"/> Special grading, excavation and fill (Geo. Engineered)</p> <p>14. <input type="checkbox"/> Smoke-control system</p> <p>15. <input type="checkbox"/> Demolition</p> <p>16. <input type="checkbox"/> Exterior Facing</p> <p>17. <b>Retrofit of unreinforced masonry buildings:</b></p> <p><input type="checkbox"/> Testing of mortar quality and shear tests</p> <p><input type="checkbox"/> Inspection of repointing operations</p> <p><input type="checkbox"/> Pre-installation inspection for embedded bolts</p> <p><input type="checkbox"/> Pull/torque tests per SFBC Sec. 1607C &amp; 1615C</p> <p><input type="checkbox"/> Others:</p>	<p>18. <b>Bolts installed in existing concrete masonry:</b></p> <p><input type="checkbox"/> Concrete</p> <p><input type="checkbox"/> Masonry</p> <p><input type="checkbox"/> Pull/torque tests</p> <p>19. <input type="checkbox"/> Shear walls and floor systems used as shear diaphragms</p> <p>20. <input type="checkbox"/> Hollow masonry units</p> <p>21. <b>Special Cases: BUILDING INSPECTION</b></p> <p><input type="checkbox"/> Shoring</p> <p><input type="checkbox"/> Underpinning</p> <p><input type="checkbox"/> Not affecting adjacent property; PA</p> <p><input type="checkbox"/> Affecting adjacent property; PA</p> <p><input type="checkbox"/> Others</p> <p>22. <b>Crane safety</b> (Apply to the operation of tower cranes on his/her building) (Section 1705.21)</p> <p>23. <input type="checkbox"/> Others: "As recommended by professional of record"</p>
--	---	--

24. **Structural observation per Sec. 1704.5 for the following:**

Concrete construction  Masonry construction  Wood framing  Steel framing  Other:

25. Certification is required for:  dbi-lens components

Prepared by: D. TOWNSEND BROWN, C.E. Phone: ( 510 ) 520 - 7175  
Engineer/Architect of Record

Required information:  
FAX: ( 510 ) 558 - 6167 Email: [TOWNSEND@TBUILDS.COM](mailto:TOWNSEND@TBUILDS.COM)

Review by: \_\_\_\_\_ Phone: (415) 558- \_\_\_\_\_  
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports.)

DATE \_\_\_\_\_ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO: Special Inspection Services (415) 558-6132, or, [dbi\\_specialinspections@sfgov.org](mailto:dbi_specialinspections@sfgov.org), or FAX (415) 558-6474

884 31st Ave,  
San Francisco, CA 94121  
[outerlandsdesign.com](http://outerlandsdesign.com)

Design Contact:  
Will Henderson, Architect  
[will@outerlandsdesign.com](mailto:will@outerlandsdesign.com)  
(415) 420-0131

**Residential Remodel**

152 28th Ave  
San Francisco, CA 94121

STRUCTURAL ENGINEERING  
6103 DOVER STREET  
OAKLAND, CA 94609  
510.520.7175  
[townsendtbuilds.com](http://townsendtbuilds.com)

Issue: \_\_\_\_\_ Date: \_\_\_\_\_  
Permit: \_\_\_\_\_ 6/18/2021

**San Francisco Forms and Letter**

**Structural**

**S0.1B**

Page | 2

Sue Quan, DBI  
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JUN 23 2021

DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR DIGITIZING  
ACCEPTED

Revised 8-09-18



**Residential Remodel**

152 28th Ave  
San Francisco, CA 94121

**TOWN SEND BROWN**  
CE, LEED AP

STRUCTURAL ENGINEERING  
4500 DIVISadero STREET  
OAKLAND, CA 94609  
510.520.3179  
townsend@tsbllc.com

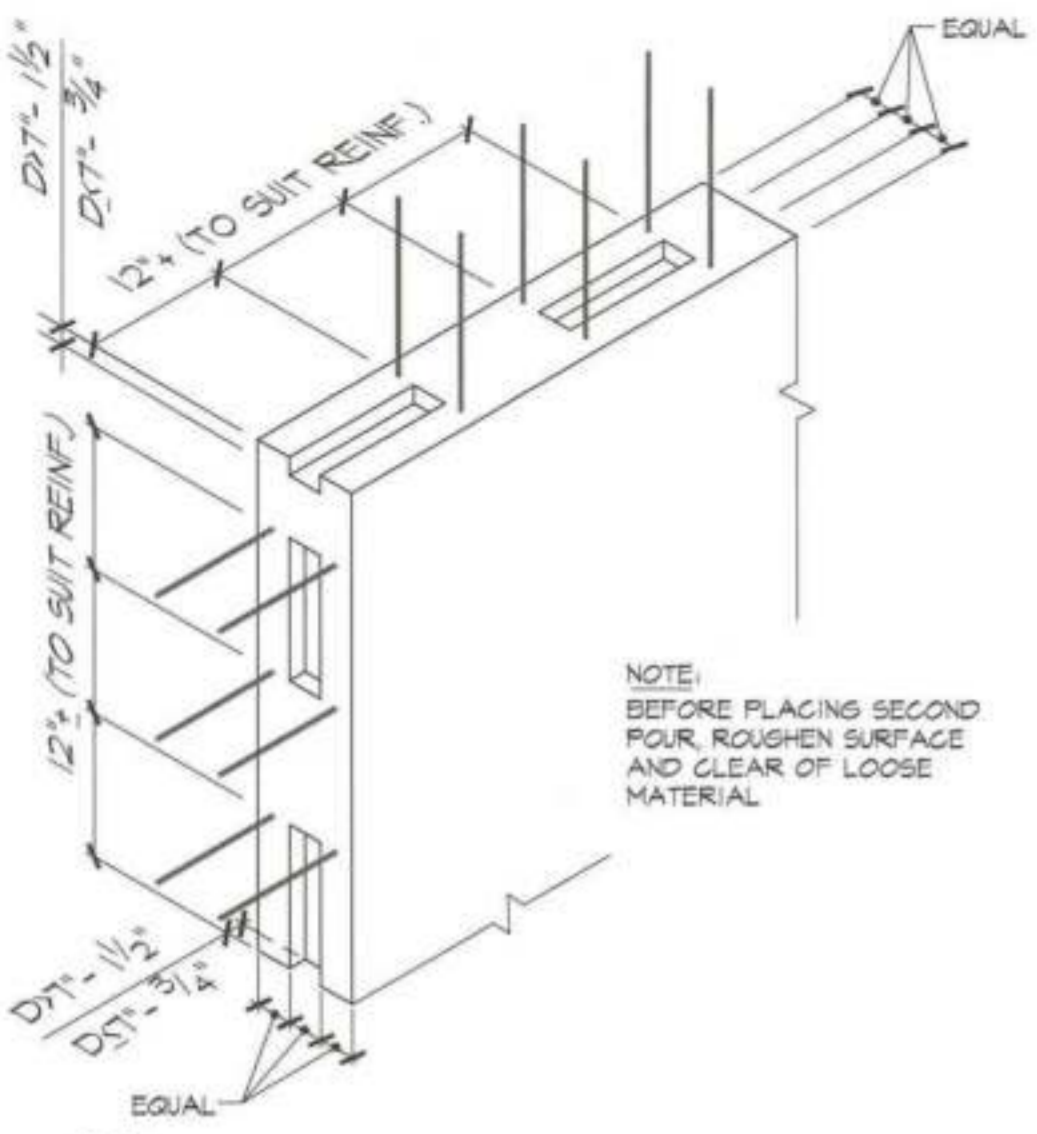


Issue Date: 6/18/2021  
Permit - San Francisco  
JUL 20 2021

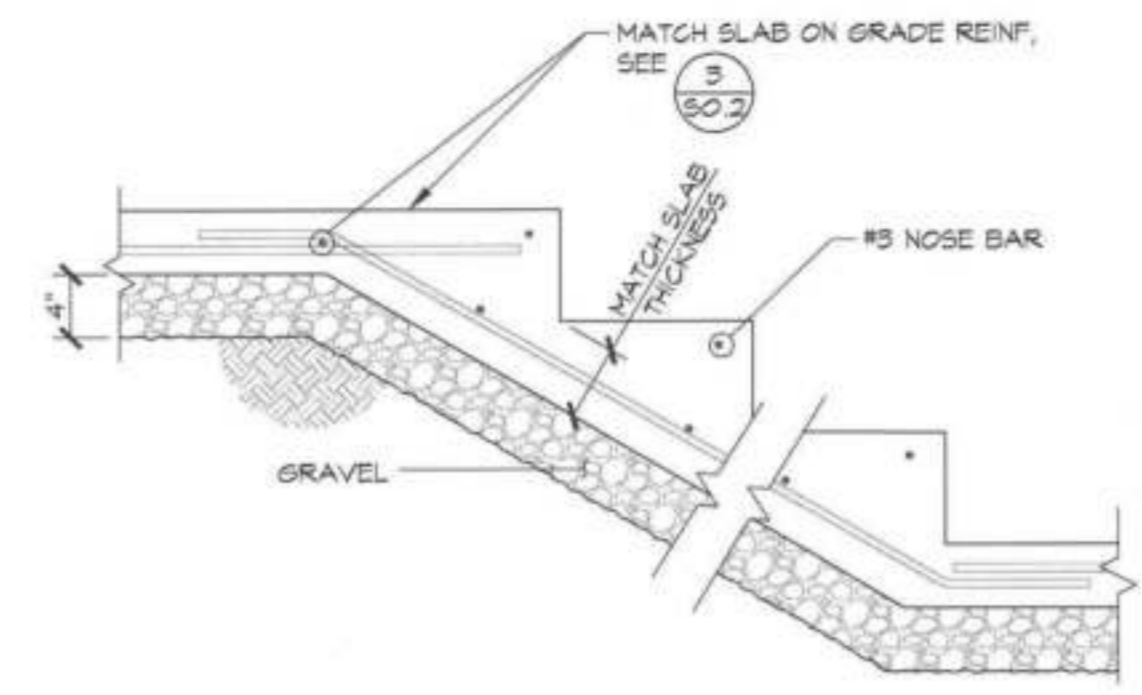
**Typical Concrete Details**

**Structural**

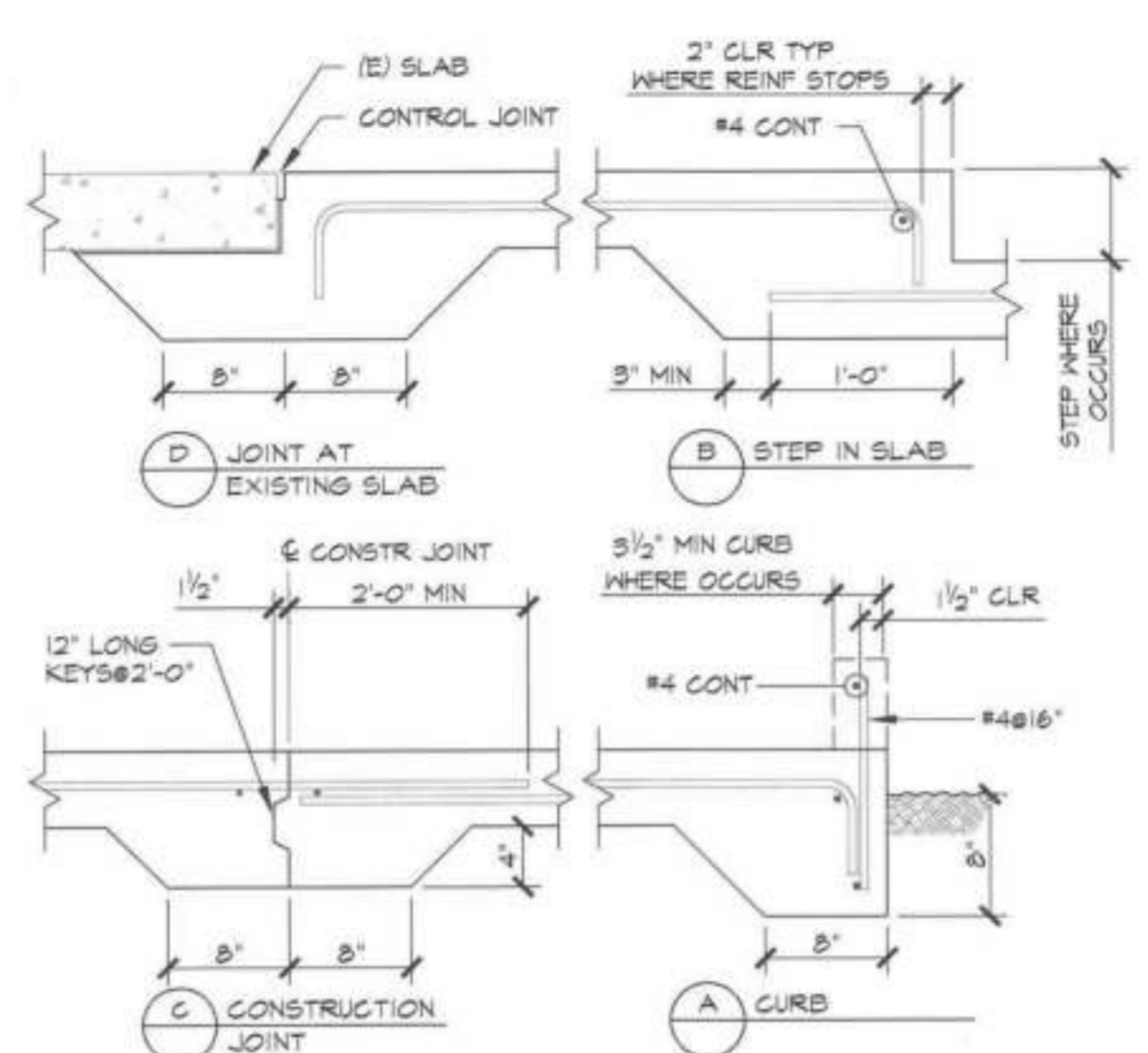
**S0.2**



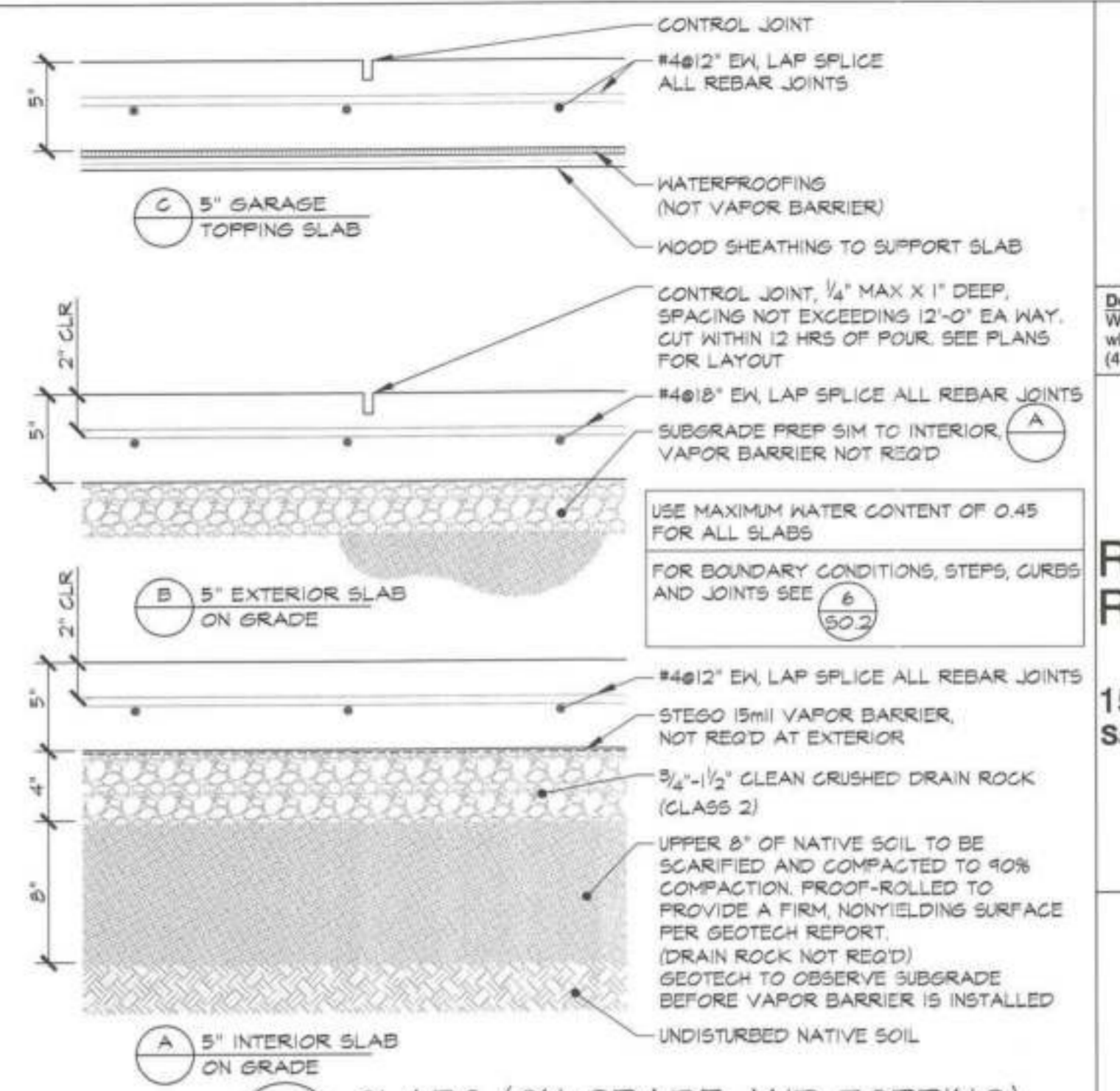
**12**  
**50.2** TYPICAL CONSTRUCTION JOINT IN WALL NTS



**9**  
**50.2** CONCRETE STAIRS ON GRADE EXTERIOR 1/4\"/>



**6**  
**50.2** ALTERNATE SLAB CONDITIONS 1/4\"/>



**3**  
**50.2** SLABS (ON GRADE AND TOPPING) TYPICAL 1/2\"/>

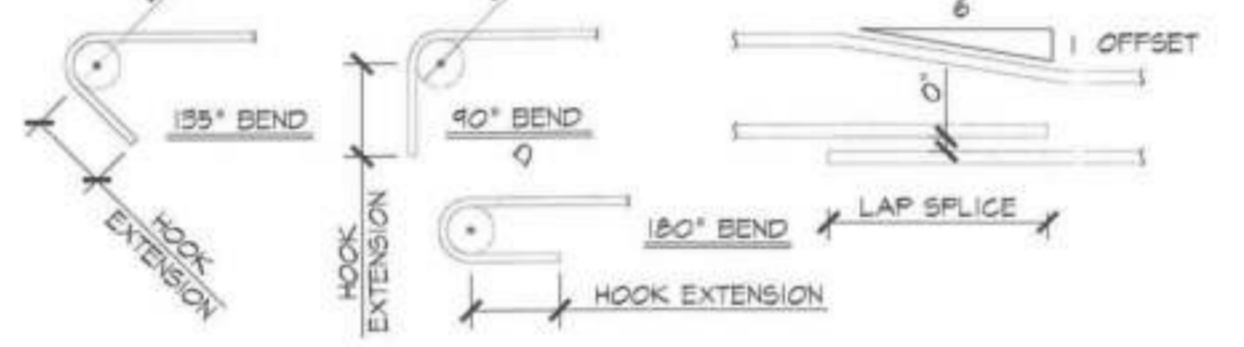
**HOOK EXTENSIONS**

BAR SIZE	STANDARD	180°	90°	135°
#5	40"	180"	40"	135"
#5	45"	25"	2.25'	2.25'
#4	6"	25"	3"	3"
#5	7.5"	25"	3.75'	3.75'

**BAR SPLICES (IN)**

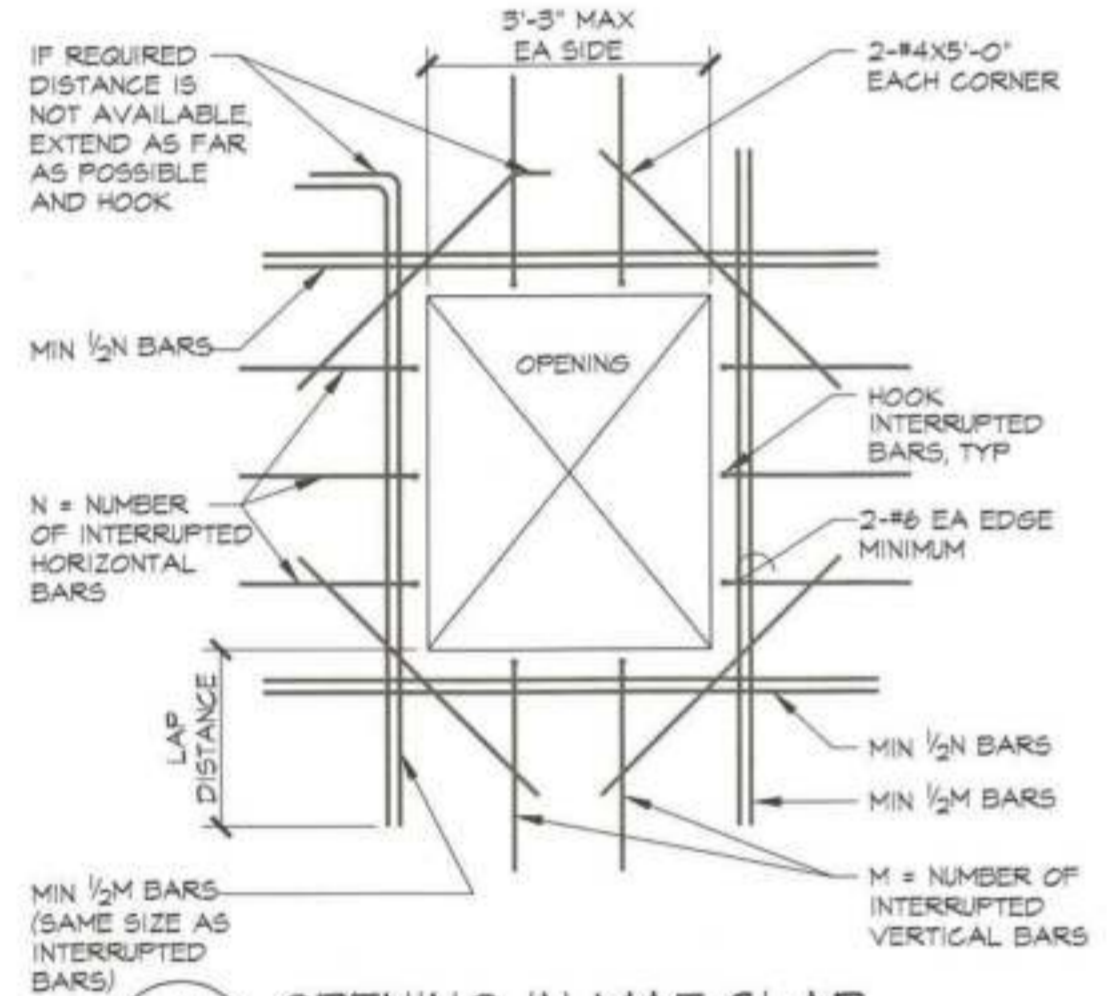
BAR SIZE	TOP BARS	OTHER BARS
#5	30	21
#4	39	28
#5	44	36

$F'c = 2500psi$

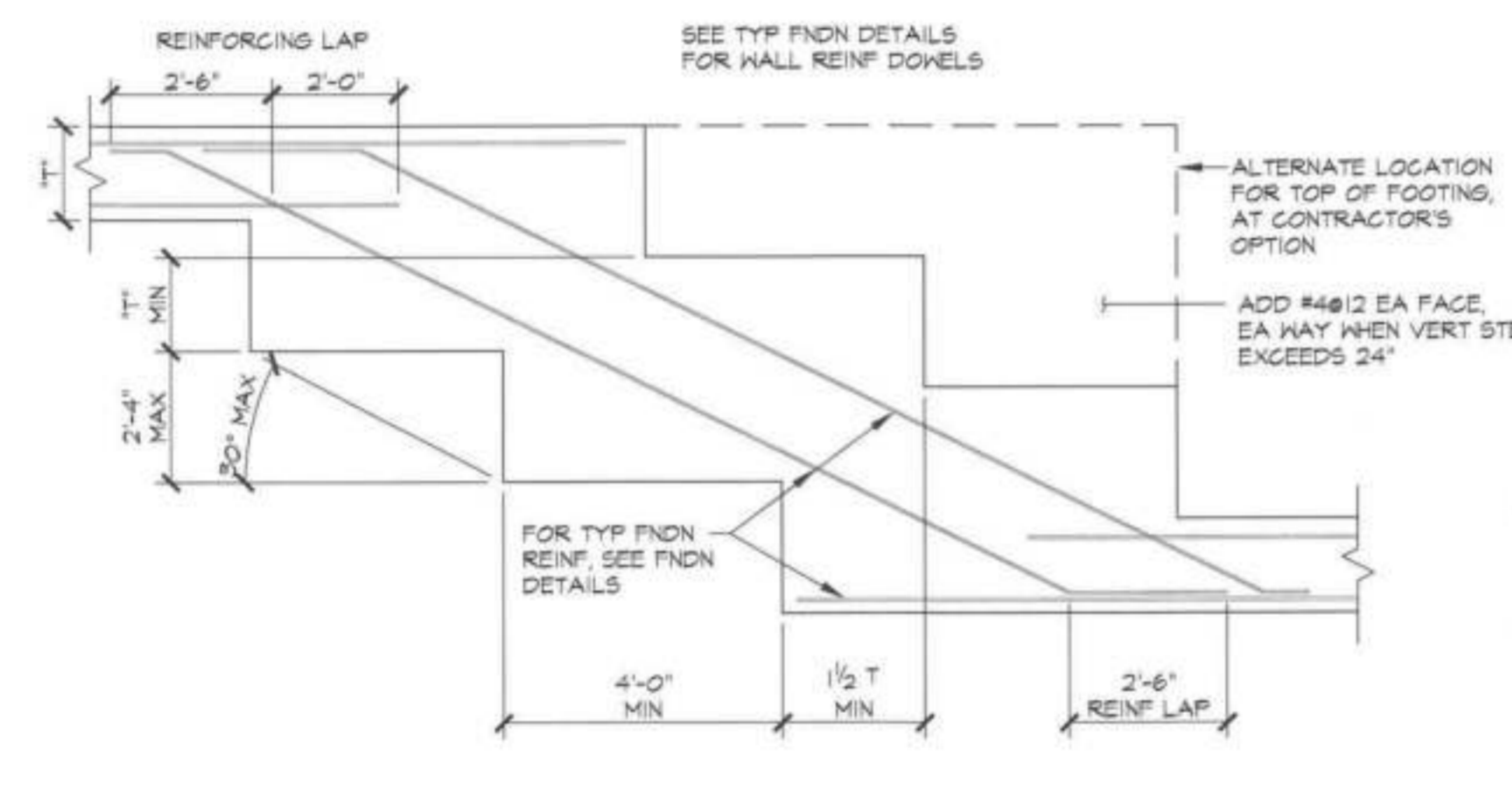


- SPLICES OF REINFORCEMENT SHALL BE STAGGERED, U.O.N. THE SPLICES SHALL ALSO BE STAGGERED WITH RESPECT TO THE OPPOSITE CURTAIN.
- LAP SPLICE LENGTHS ARE BASED ON GR. 60 STEEL AND NORMAL WEIGHT AGGREGATE FOR CONCRETE.
- TOP BARS ARE BARS WITH MORE THAN 12" OF CONCRETE FOUDED BELOW THE BARS.
- STANDARD HOOK BEND SHALL BE D=6 BAR DIAMETERS.
- STIRRUP & TIE BEND DIAMETER

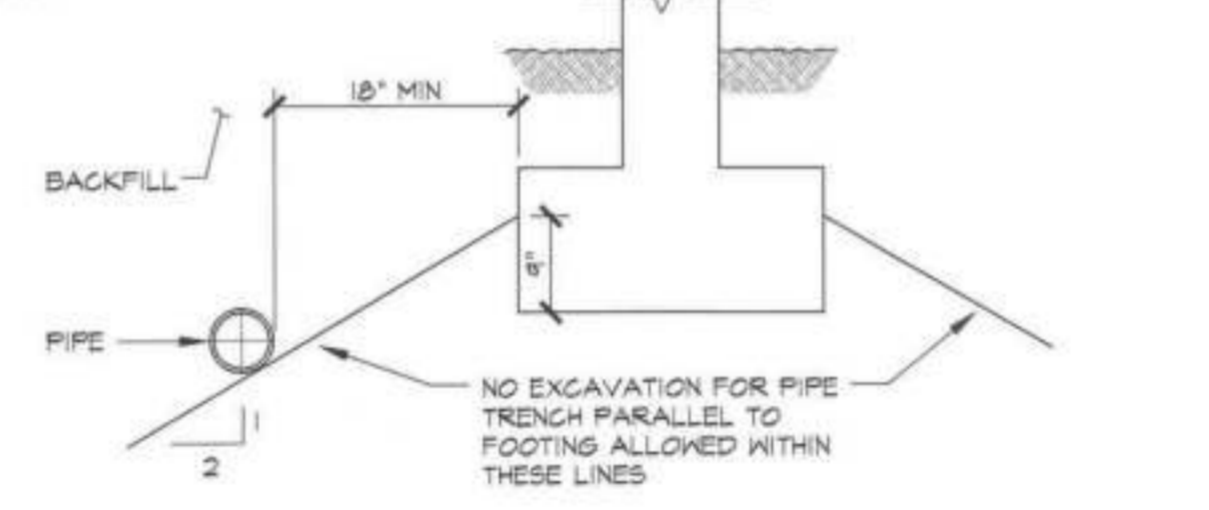
**2**  
**50.2** REINFORCING HOOKS AND LAP SPLICES NTS



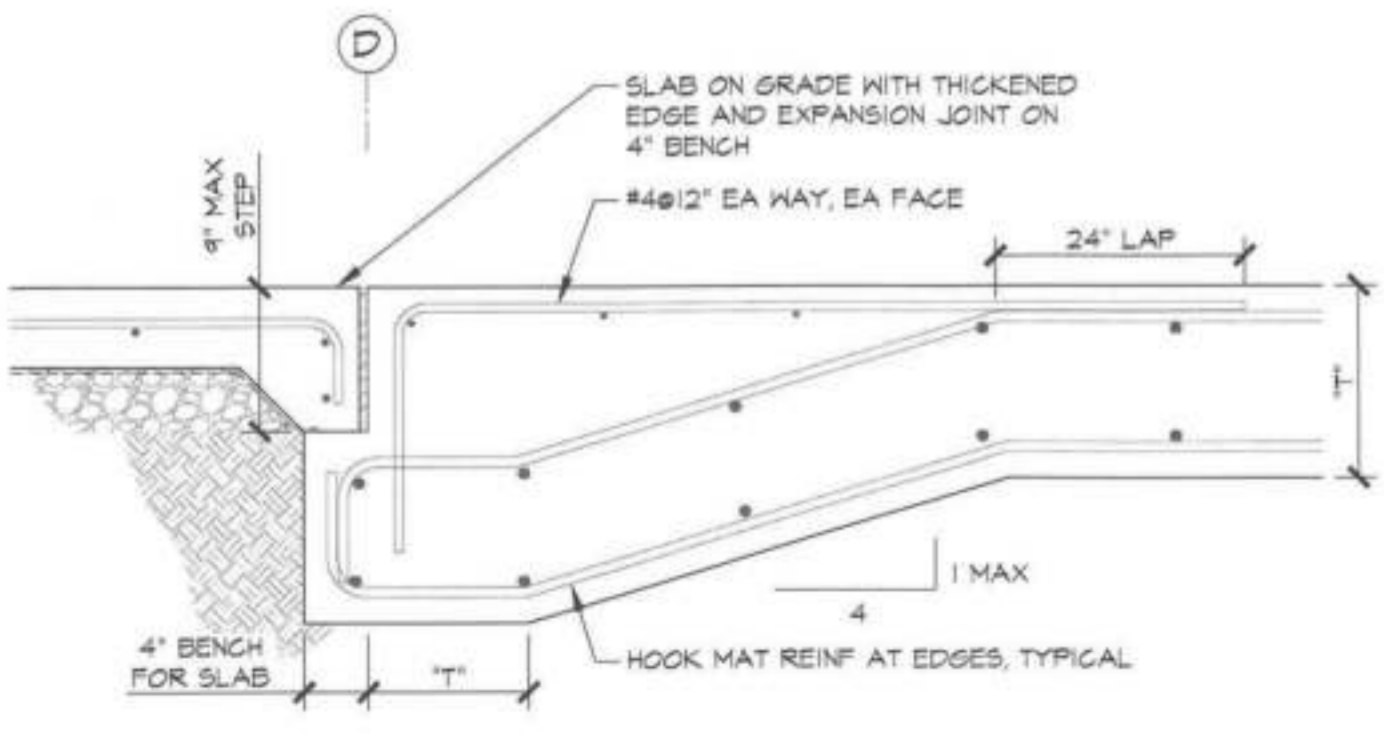
**11**  
**50.2** OPENING IN MAT SLAB W/ TOP & BOTT REINF 3/8\"/>



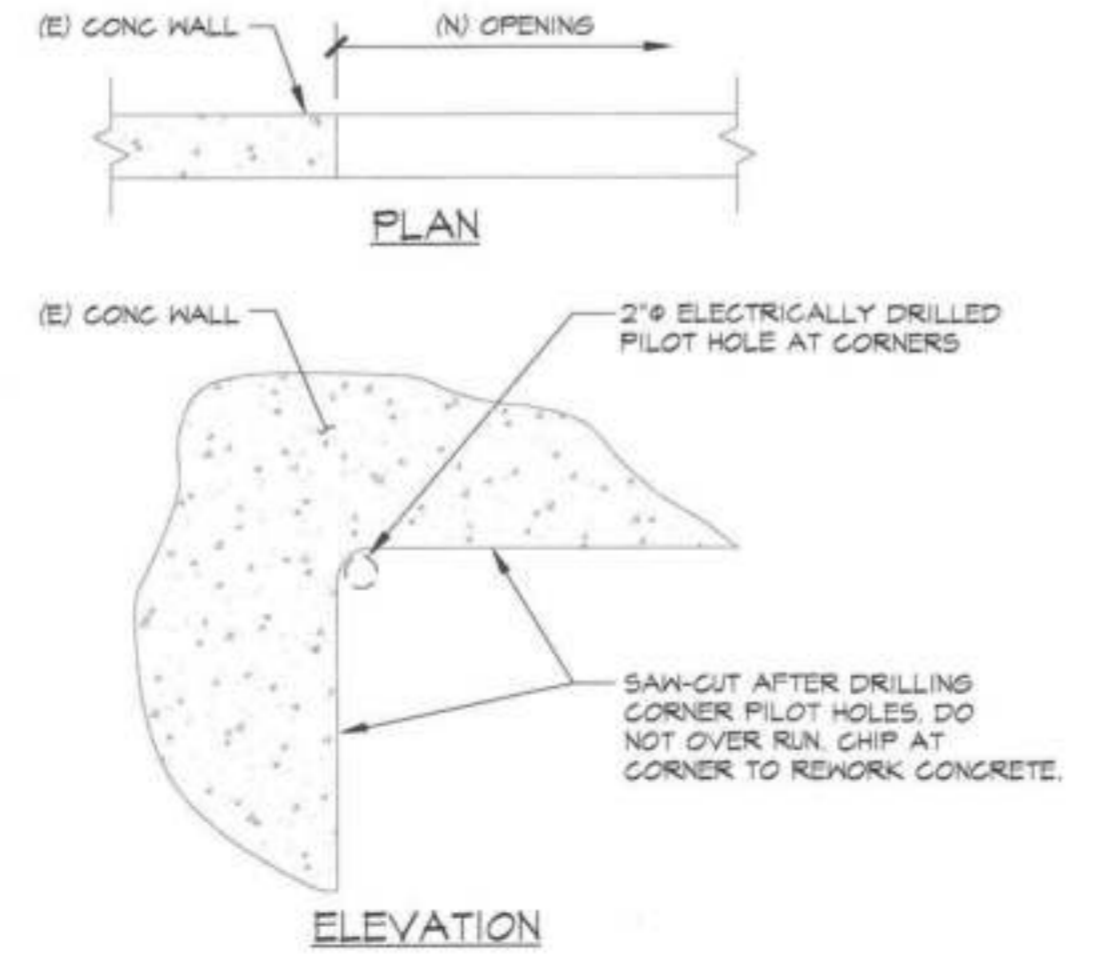
**8**  
**50.2** TYP STEPPED FOOTING OR MAT W/ TOP & BOTT REINF NTS



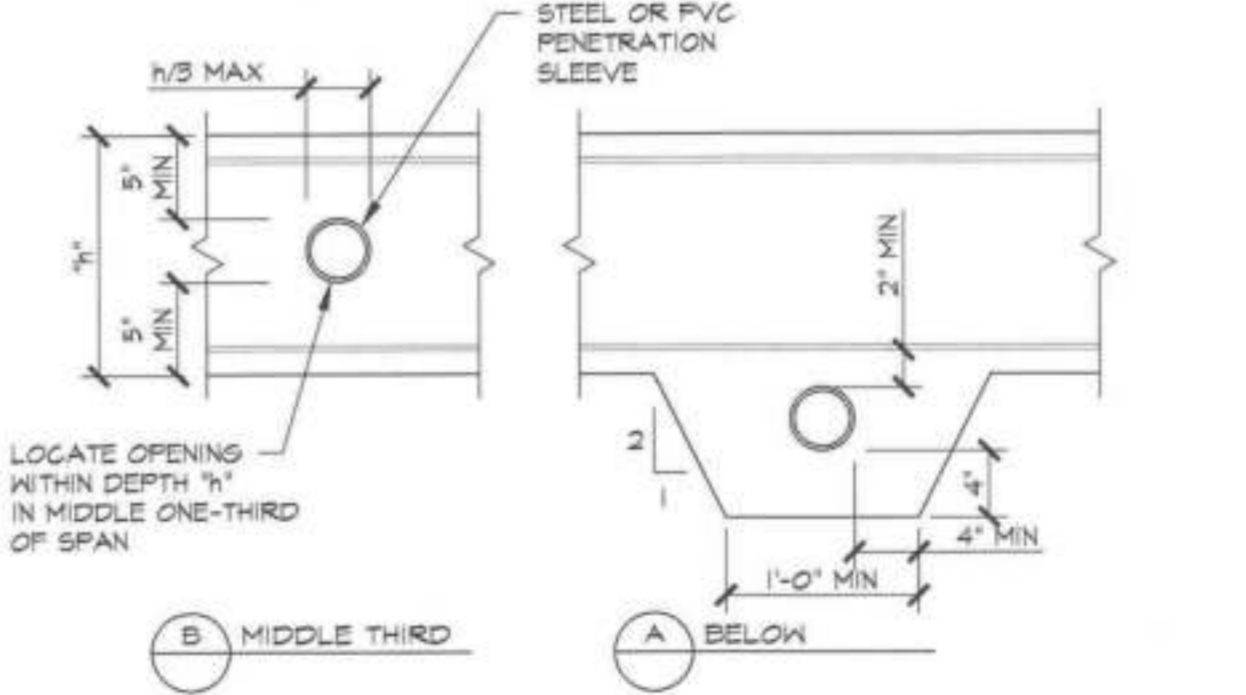
**5**  
**50.2** PIPE PARALLEL TO FOOTING 1/4\"/>



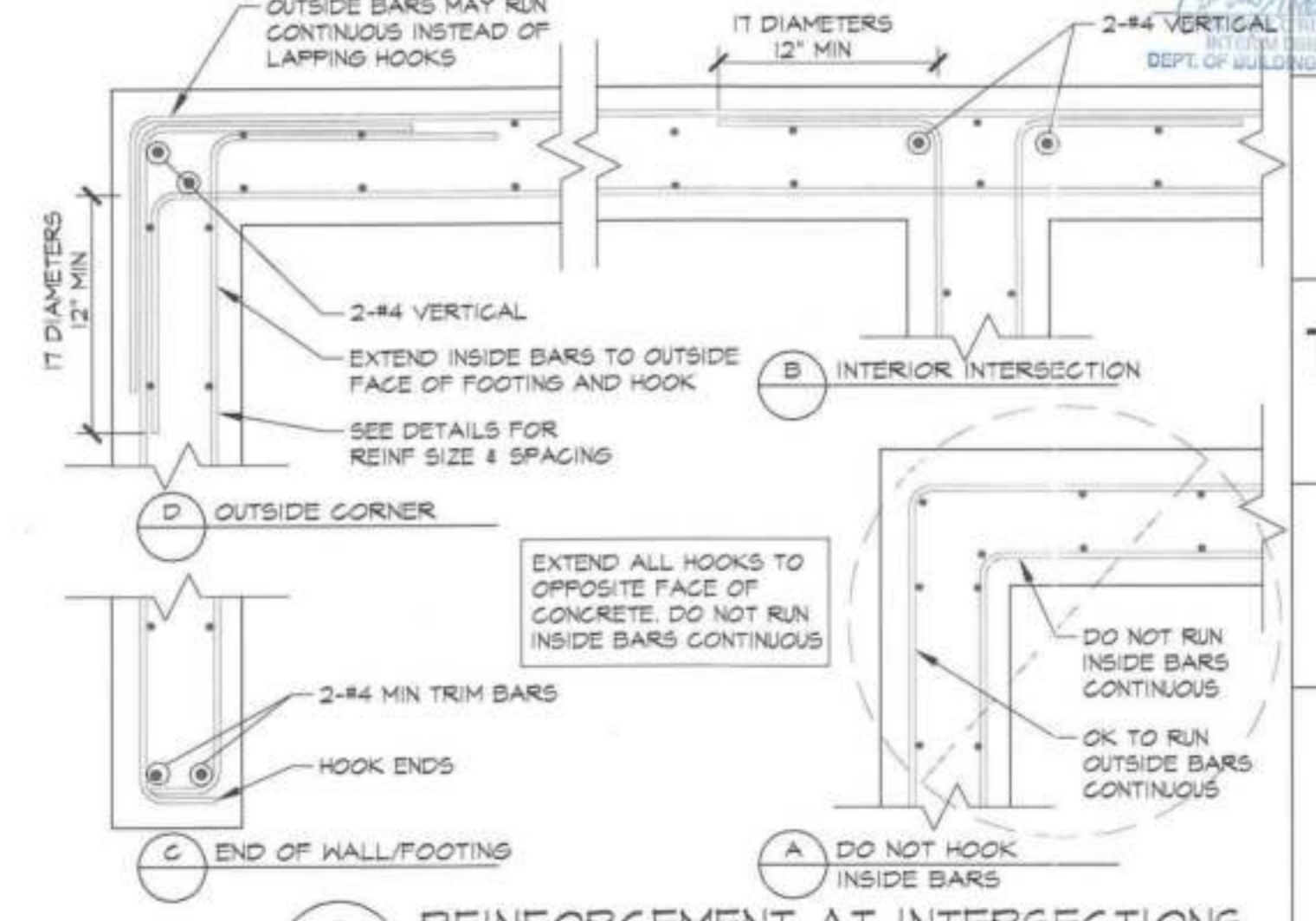
**10**  
**50.2** EDGE OF MAT TO SLAB ON GRADE ALTERNATE DETAIL 1/4\"/>



**7**  
**50.2** TYP NEW OPENING IN EXISTING CONC WALL OR SLAB 1/4\"/>



**4**  
**50.2** PIPE THRU MAT FOUNDATION NTS



**1**  
**50.2** REINFORCEMENT AT INTERSECTIONS FOOTING AND WALLS N.T.S.

**RECEIVED**  
JUN 23 2021  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR DIGITIZING  
ACCEPTED.

Sue Quan, DBI  
JUL 20 2021



**Residential Remodel**

152 28th Ave  
San Francisco, CA 94121

**TOWNSEND BROWN**  
CE, LEED AP

STRUCTURAL ENGINEERING  
6103 DOVER STREET  
DUBLINO, CA 94568  
510.524.7175  
townsend@tbuilds.com



Issue: Permit Date: 6/18/2021

**APPROVED**  
Dept. of Building Inspection  
- San Francisco -  
JUL 20 2021

APPROVED  
DEPT. OF BUILDING INSPECTION

**Typical Framing Details**

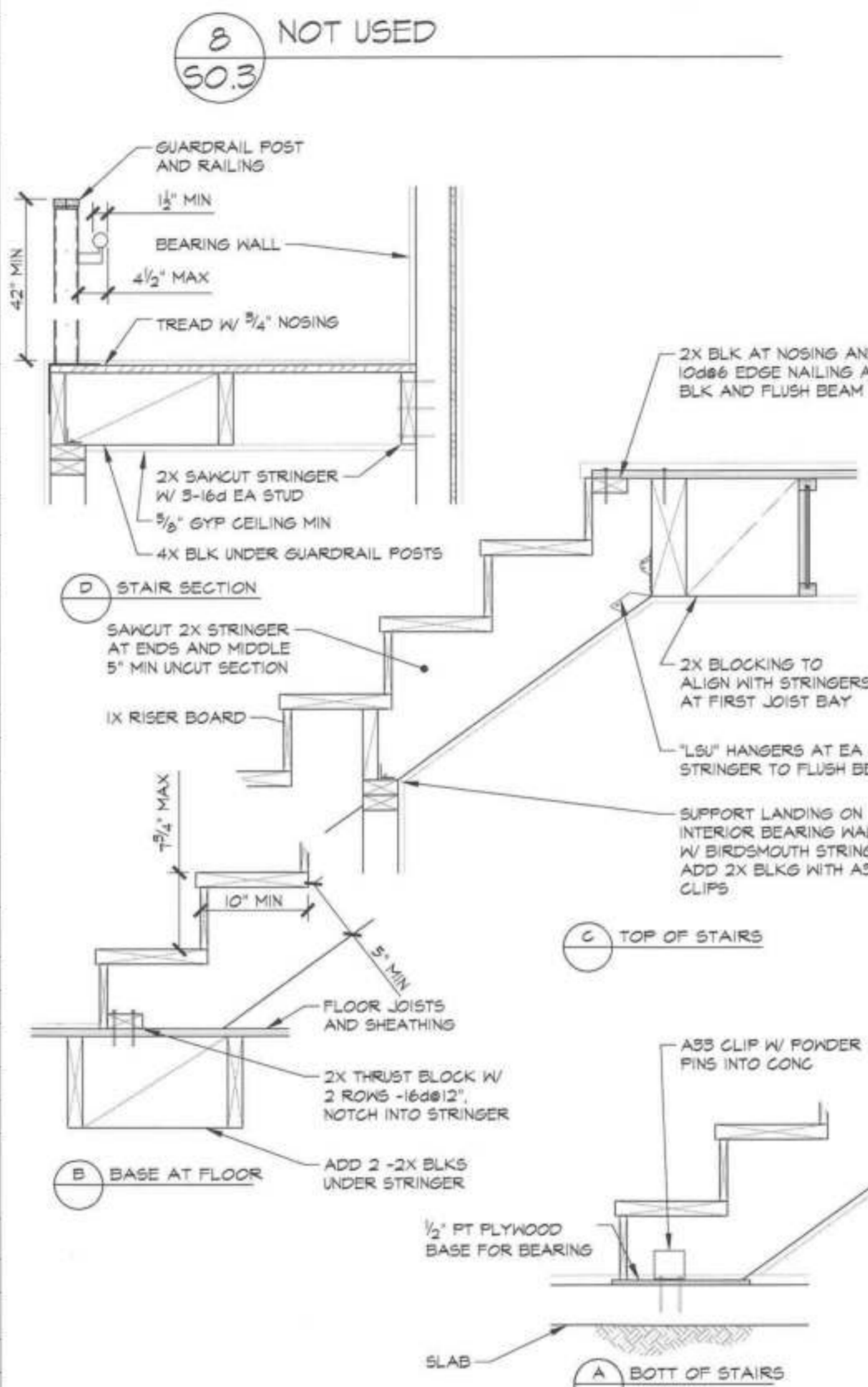
**Structural**

**S0.3**

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS, b, c	SPACING AND LOCATION
<b>ROOF</b>		
1 BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	3-8d COMMON (2 1/2" X 0.131")	TOE NAIL
2 CEILING JOISTS TO TOP PLATE	3-8d COMMON (2 1/2" X 0.131")	PER JOIST, TOE NAIL
3 CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (SEE SECTIONS R802.3.1, R802.3.2 AND TABLE R802.3.1(9))	3-16d COMMON (3 1/2" X 0.162")	FACE NAIL
4 CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTIONS R802.3.1 AND R802.3.2 AND TABLE R802.3.1(9))	TABLE R802.3.1(9)	FACE NAIL
5 COLLAR TIE TO RAFTER, FACE NAIL OR 1/4" X 20 GA. RIDGE STRAP TO RAFTER	3-10d COMMON (3" X 0.148")	FACE NAIL EACH RAFTER
6 RAFTER OR ROOF TRUSS TO PLATE	3-10d COMMON (3" X 0.148")	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE
7 ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MIN 2" RIDGE BEAM	3-10d COMMON (3" X 0.148") 3-16d COMMON (3 1/2" X 0.162")	TOE NAIL END NAIL
<b>WALL</b>		
8 STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162")	24" O.C. FACE NAIL
9 STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162")	16" O.C. FACE NAIL
10 BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d COMMON (3 1/2" X 0.162")	16" O.C. EA EDGE FACE NAIL
11 CONTINUOUS HEADER TO STUD	4-8d COMMON (2 1/2" X 0.131")	TOE NAIL
12 TOP PLATE TO TOP PLATE	16d COMMON (3 1/2" X 0.162")	16" O.C. FACE NAIL
13 DOUBLE TOP PLATE SPLICE (DCS DO, DI, OR D2) AND BRACED WALL LINE SPACING ≥ 25'	12-16d COMMON (3 1/2" X 0.162")	FACE NAIL
14 BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLKG (NOT AT BRACED WALLS)	16d COMMON (3 1/2" X 0.162")	16" O.C. FACE NAIL
15 BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLKG (AT BRACED WALL PANEL)	2-16d COMMON (3 1/2" X 0.162")	2 FACE NAILS @ 16" O.C.
16 TOP OR BOTTOM PLATE TO STUD	4-8d COMMON (2 1/2" X 0.131")	TOE NAIL
17 TOP PLATE, LAPS AT CORNERS AND INTERSECTIONS	2-16d COMMON (3 1/2" X 0.162")	FACE NAIL
18 1" BRACE TO EACH STUD AND PLATE	2-8d COMMON (2 1/2" X 0.131")	FACE NAIL
19 1" X 6" SHEATHING TO EACH BEARING	2-8d COMMON (2 1/2" X 0.131")	FACE NAIL
20 1" X 6" AND WIDER SHEATHING TO EACH BEARING	3-8d COMMON (2 1/2" X 0.131") 3-8d COMMON (2 1/2" X 0.131")	FACE NAIL
<b>FLOOR</b>		
21 JOIST TO SILL, TOP PLATE OR GIRDER	3-8d COMMON (2 1/2" X 0.131")	TOE NAIL
22 RIM JOIST, BAND JOIST OR BLKS TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8d COMMON (2 1/2" X 0.131")	6" O.C. TOE NAIL
23 1" X 6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2 1/2" X 0.131")	FACE NAIL
24 2" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON (3 1/2" X 0.162")	BLIND AND FACE NAIL
25 2" PLANKS (FLANK & BEAM-FLOOR & ROOF)	2-16d COMMON (3 1/2" X 0.162")	FACE NAIL AT SUPPORT
26 BAND OR RIM JOIST TO JOIST	3-16d COMMON (3 1/2" X 0.162")	END NAIL
27 BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	3-10d COMMON (3" X 0.148") 3-10d COMMON (3" X 0.148")	24" O.C. FACE NAIL @ TOP 4 BOTT, STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS AND EA SPLICE
28 LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON (3 1/2" X 0.162")	AT EA JOIST OR RAFTER, FACE NAIL
29 BRIDGING TO JOIST	2-10d COMMON (3" X 0.148")	EA END, TOE NAIL

a. NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETERS OF 0.142 INCH (20D COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.171 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.  
b. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16-INCH ON DIAMETER CROWN WIDTH.  
c. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.  
d. FOUR-FOOT BY 8-FOOT OR 4-FOOT BY 4-FOOT PANELS SHALL BE APPLIED VERTICALLY.  
e. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).  
f. WHERE THE ULTIMATE DESIGN WIND SPEED IS 150 MPH OR LESS, NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6 INCHES ON CENTER, WHERE THE ULTIMATE DESIGN WIND SPEED IS GREATER THAN 150 MPH, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS, AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.  
g. GYPSUM SHEATHING SHALL CONFORM TO ASTM C1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C208.  
h. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.  
i. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

**FASTENING SCHEDULE**  
TABLE R602.3(1)  
1" x 1'-0"

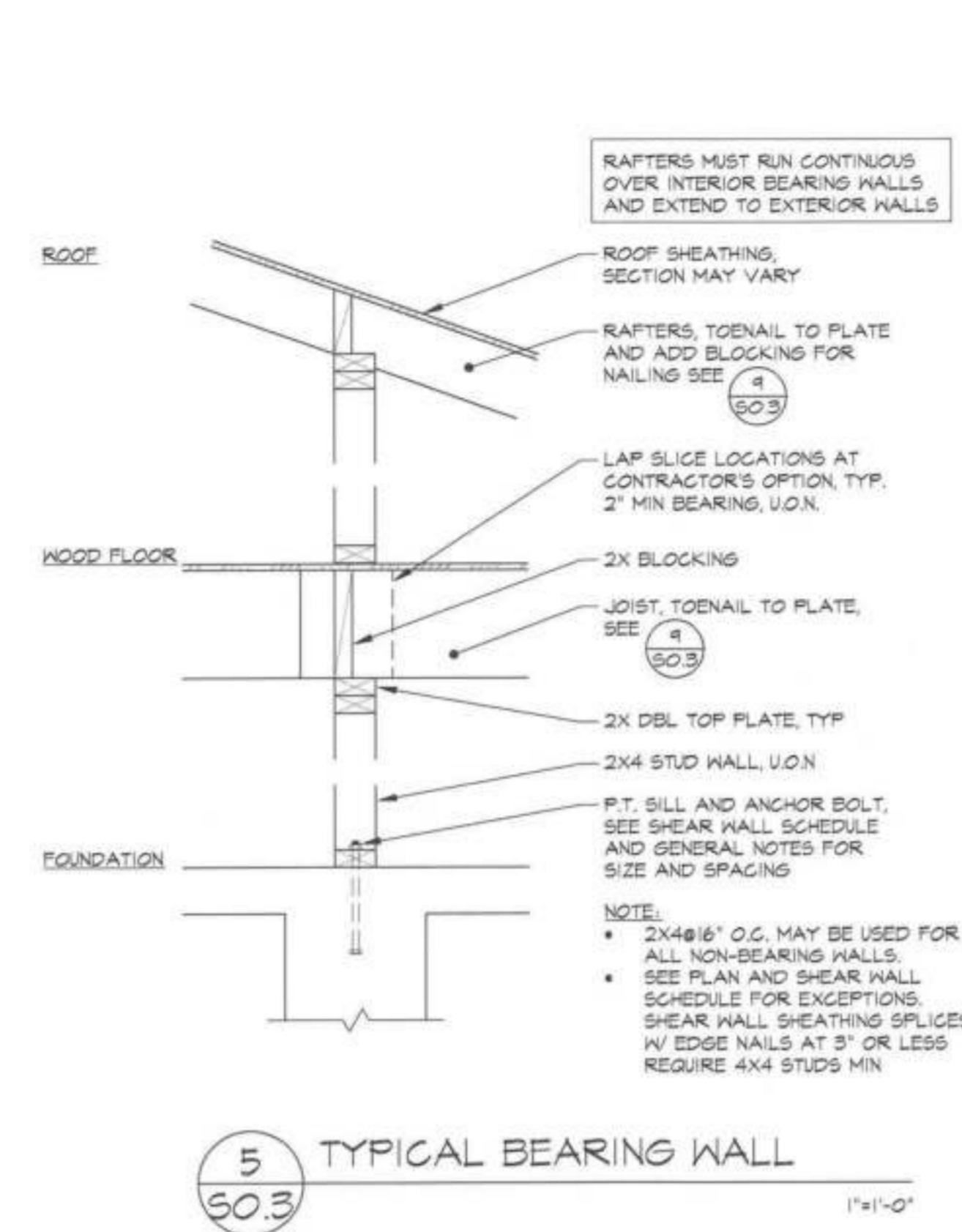


**INTERIOR STAIRS**  
S0.3  
1" x 1'-0"

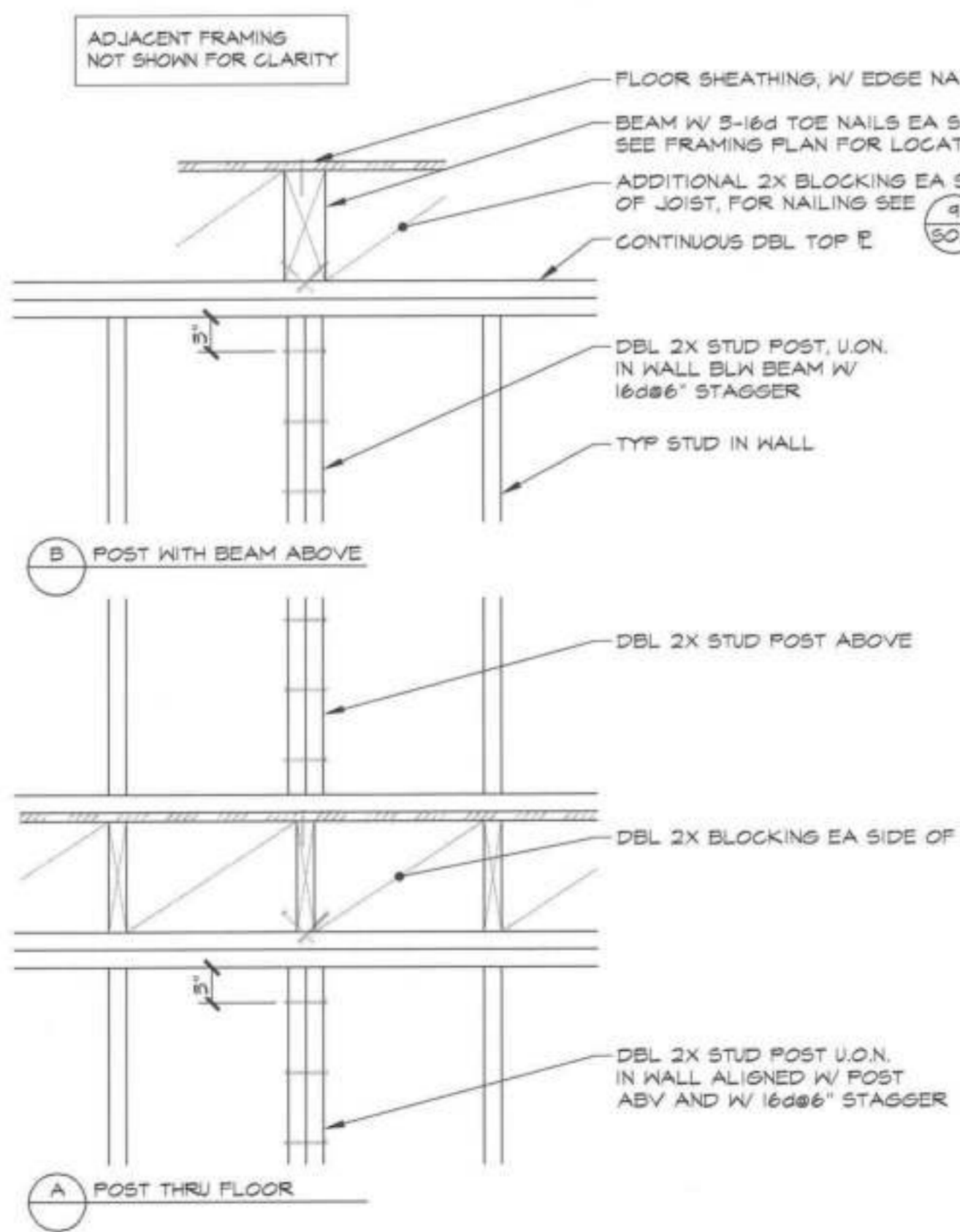
**BEAM FRAMING**  
S0.3  
1 1/2" x 1'-0"

**DBL STUD POST AT BEAM**  
S0.3  
NTS

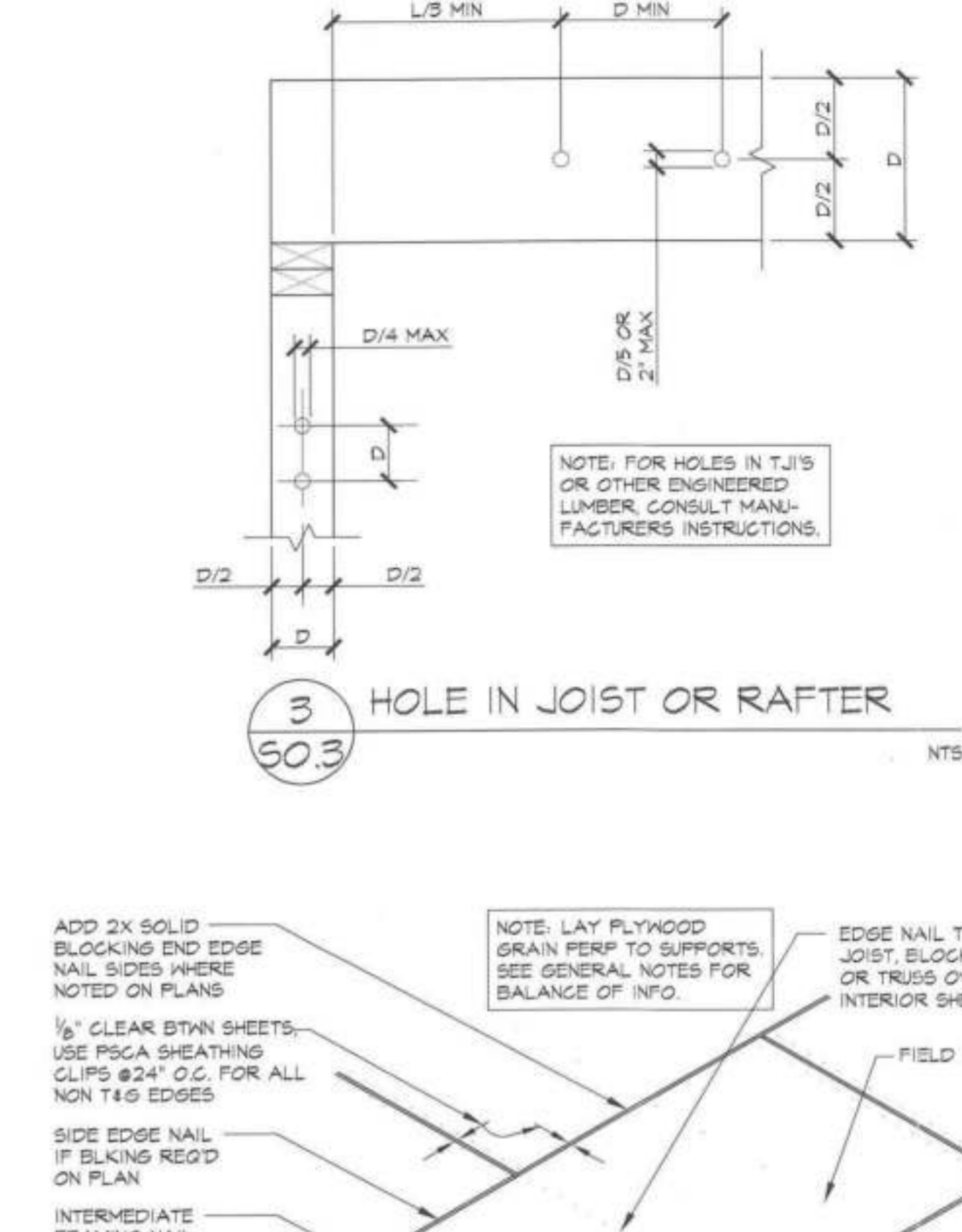
**HEADER FRAMING**  
S0.3  
1" x 1'-0"



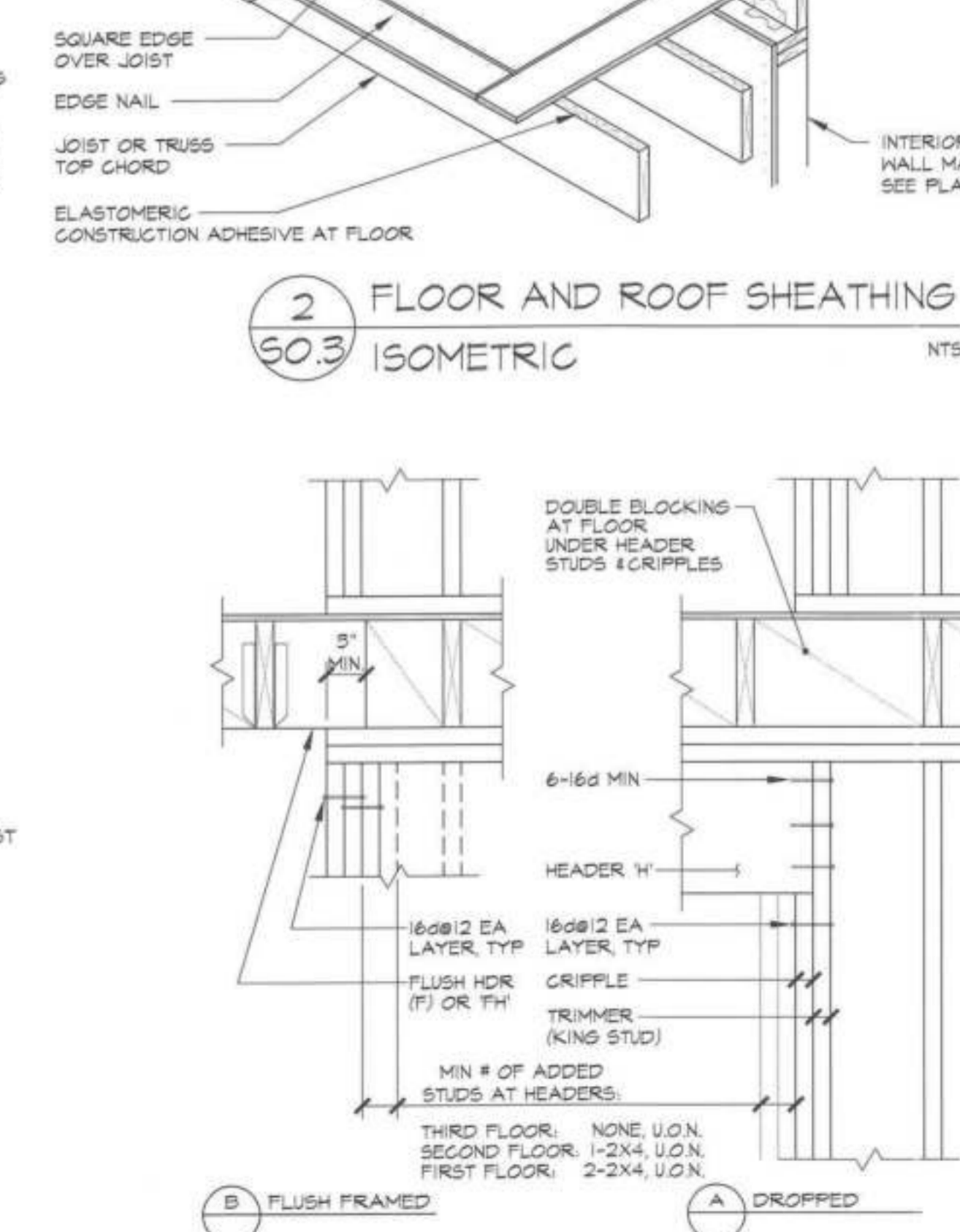
**TYPICAL BEARING WALL**  
S0.3  
1" x 1'-0"



**DBL STUD POST AT BEAM**  
S0.3  
NTS



**HOLE IN JOIST OR RAFTER**  
S0.3  
NTS



**FLOOR AND ROOF SHEATHING**  
S0.3  
ISOMETRIC  
NTS

**HEADER FRAMING**  
S0.3  
TYPICAL  
1" x 1'-0"

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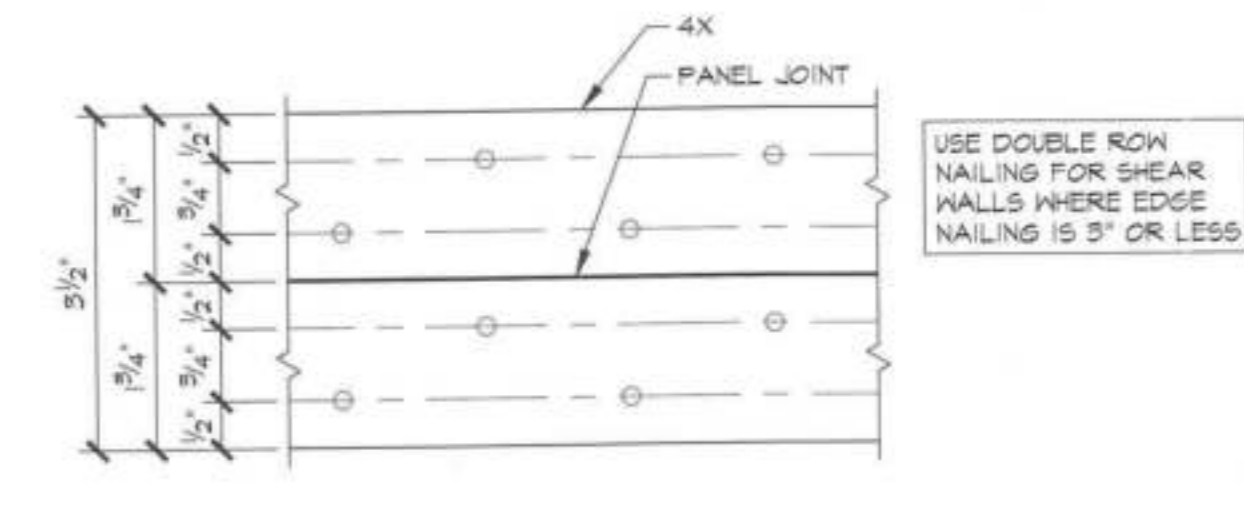
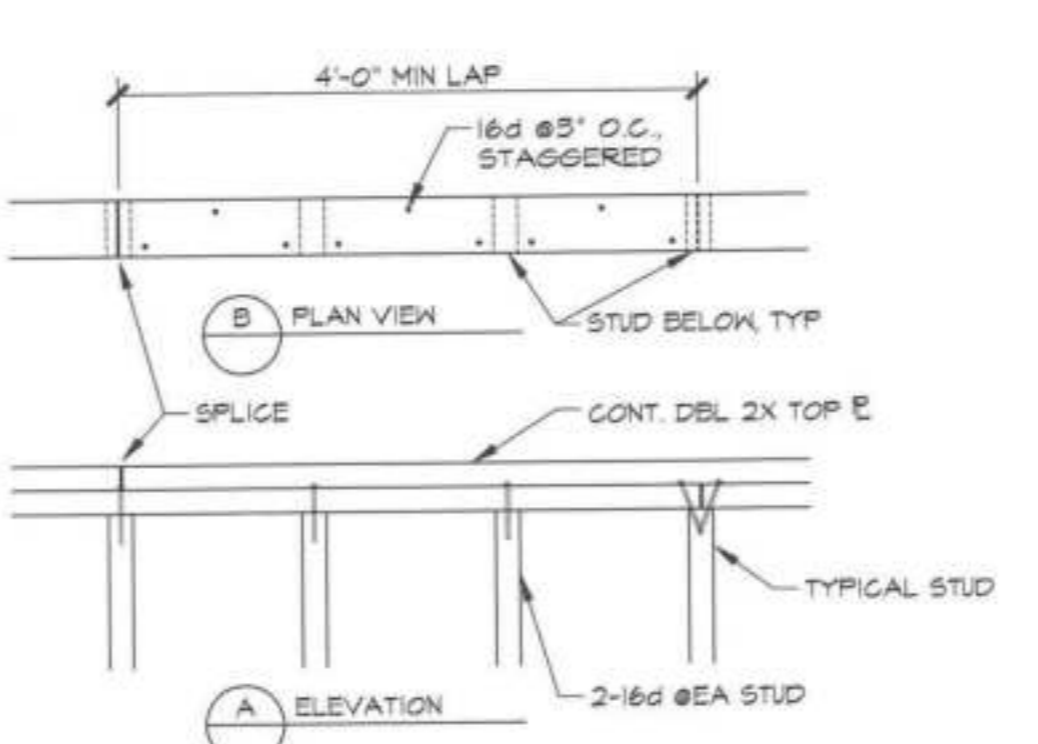
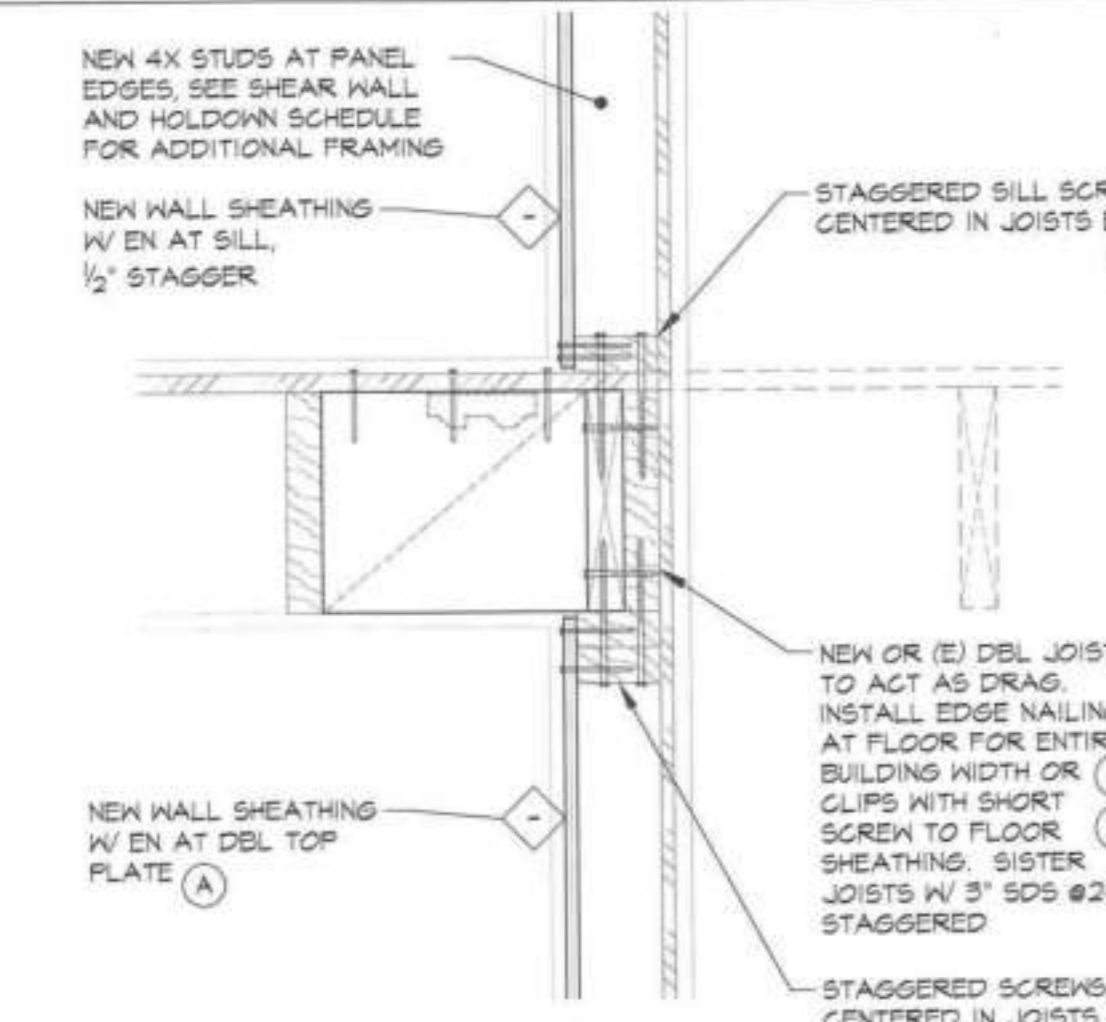
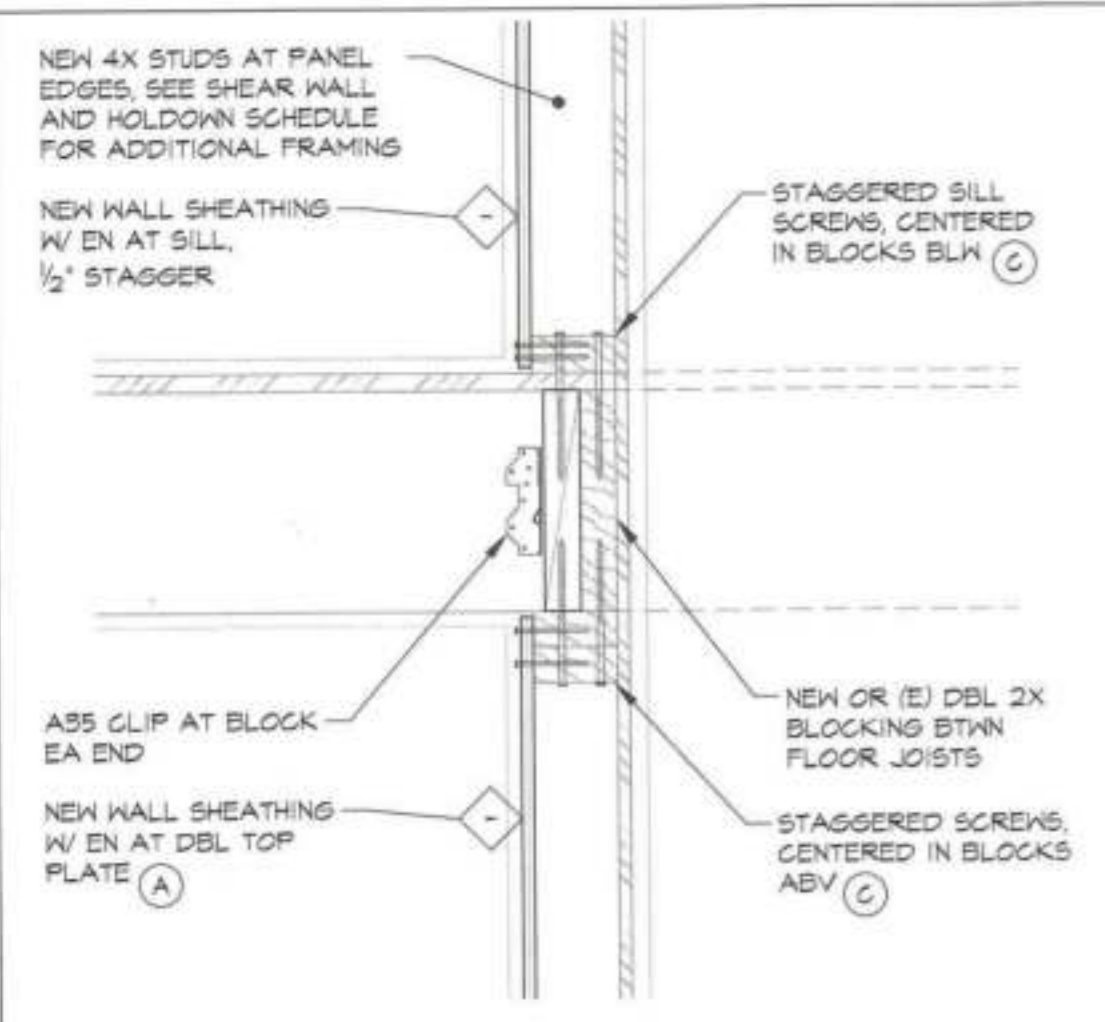
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Dept. of Building Insp.  
- San Francisco -

JUL 20 2021  
PATRICIA W. BROWN  
WYOMING DIRECTOR  
DEPT. OF BUILDING INSPECTION

**Typical Shear Wall Details**

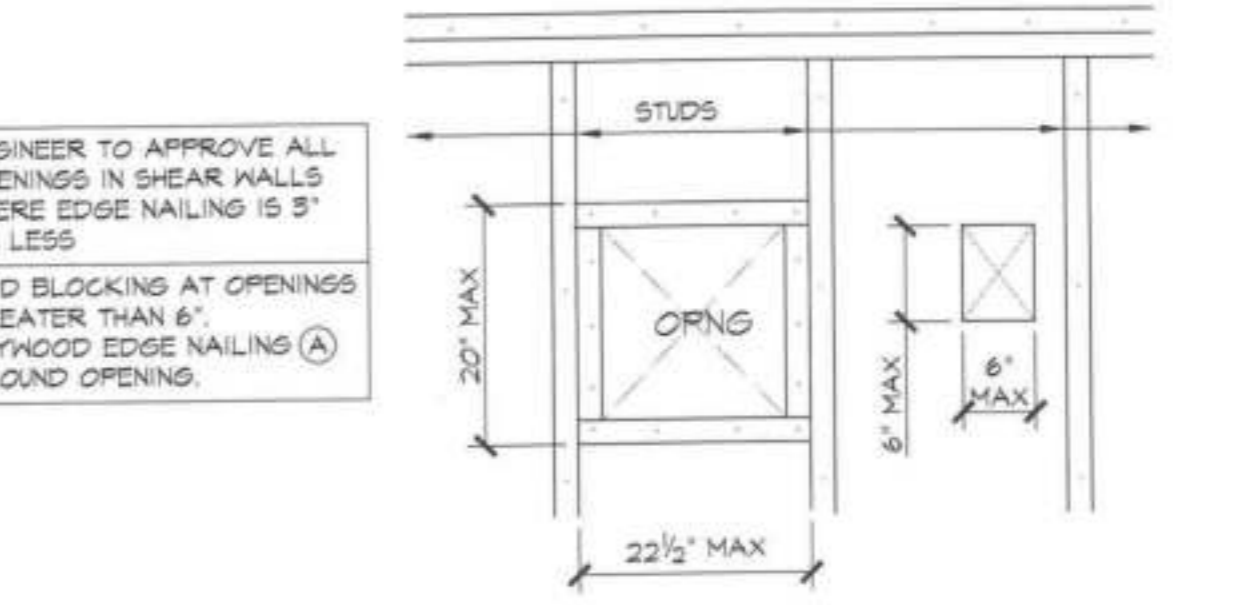
**Structural**

**S0.4**



**3** PANEL JOINT NAILING AT **S0.4** DBL ROW SHEAR WALLS N.T.S.

**5** TYP TOP PLATE SPLICE AT **S0.4** EXT & SHEAR WALLS 1"=1'-0"



**2** SMALL OPENING IN SHEAR WALL **S0.4** TYPICAL N.T.S.

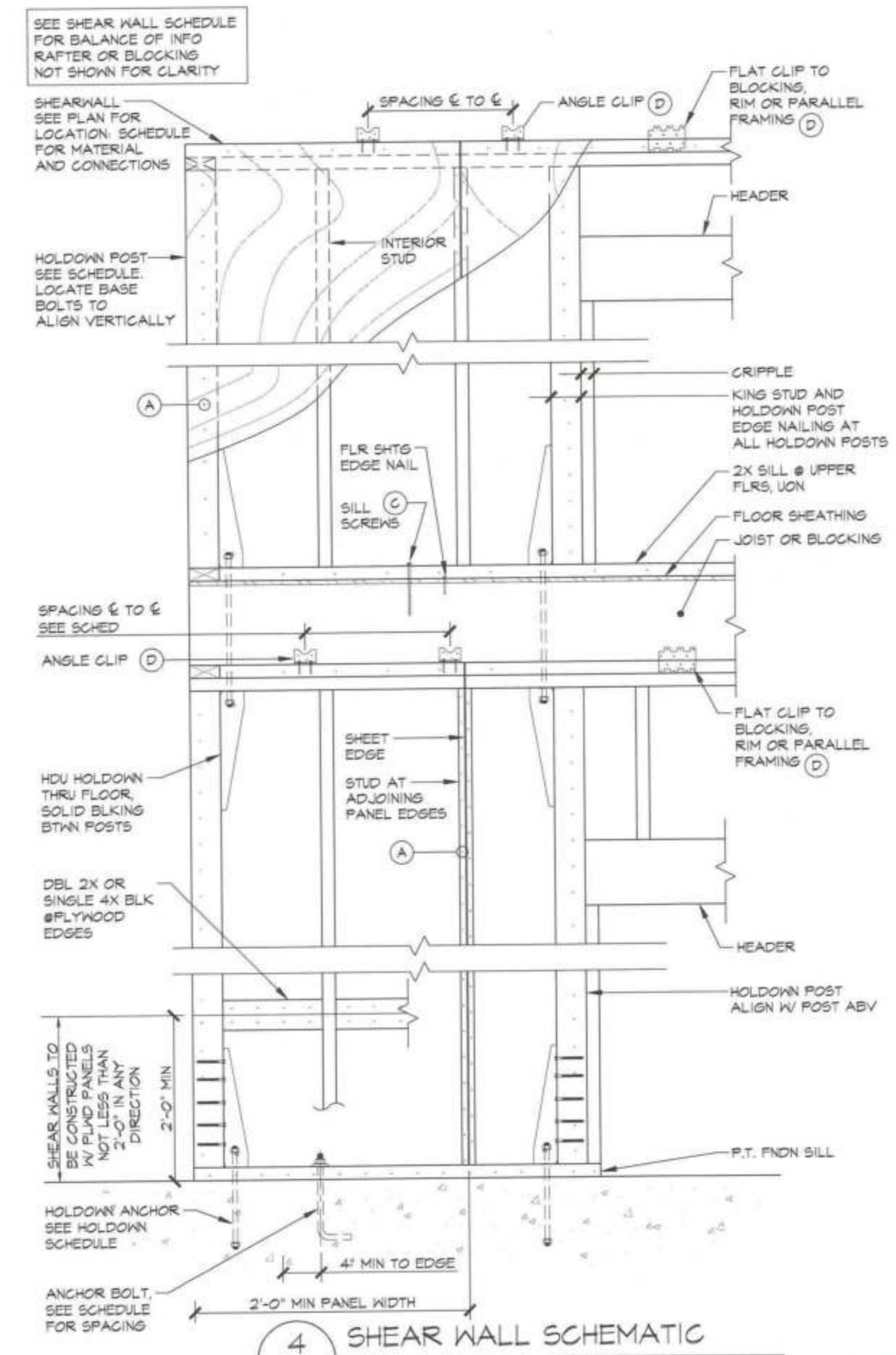
**WOOD SHEAR WALL SCHEDULE - 2019 CBC (ASD)**

SYMBOL	NEW OR EXISTING WALL FRAMING	ASD ALLOW SHEAR (PLF)	MIN STUD ADJOINING PANEL EDGES (6), (9)	FOOTING P.T. SILL (1), (2), (3)	ANCHOR BOLTS	(A) EDGE NAILING (8)	(B) TRANSFER STUD OR BLK (6), (7), (8)	(C) FLOOR SILL	(D) CLIPS (5)
FASTENERS						COMMON OR GALV BOX	1/4"x6" SDS, U.O.N.	1/4"x6" SDS	SEE CATALOG
6	NEW	340	2X	2X	3/8"x32"	10d@6"	16d@4"	6"	A35@6" OR LTP4@6"
6	EXISTING	340	(E) 2X	(E) 2X	3/8"x32" EPOXY	10d@6"	16d@4"	6"	A35@6" OR LTP4@6"
4	NEW	510	2X	2X	3/8"x32"	10d@4"	SD5@6"	6"	A35@12" OR LTP4@12"
4	EXISTING	510	2X	(E) 2X	3/8"x32" EPOXY	10d@4"	SD5@6"	6"	A35@12" OR LTP4@12"
3	NEW	665	4X	3X	3/8"x32"	10d@5"	SD5@6"	6"	A35@6" OR LTP4@6"
3	EXISTING	665	NEW 4X	NEW 2X BLOCKING & (E) SILL	3/8"x32" EPOXY	10d@5"	SD5@6"	6"	A35@6" OR LTP4@6"
2	NEW	870	4X	3X	3/8"x16"	10d@2"	SD5@4"	6"	A35@6" OR LTP4@6"
2	EXISTING	870	NEW 4X	NEW 2X BLOCKING & (E) SILL	3/8"x16" EPOXY	10d@2"	SD5@4"	6"	A35@6" OR LTP4@6"
SS (10)	NEW OR EXISTING	1240	NEW 4X	NEW P.T. 4X	3/4"x@16"	10d@3" EA SIDE	SD5@3" STAGGERED (2 ROWS) OF WALL	6" @ 12" OR 8" @ 12"	HSA@KT 9" OR LTP4@5"
SW	NEW	440# EA	STEEL STRONG-WALL SSW15 - 5TK			SSW15: 1" ANCHOR BOLT W/ 16" EMBED IN FTG. SSW15-2KT CONNECTION KIT AT WOOD FLOOR AND SSW15-KT PORTAL KIT AT TOP OF WALL TO HDR ABV. SEE SIMPSON INSTALLATION INFO FOR DETAILING			

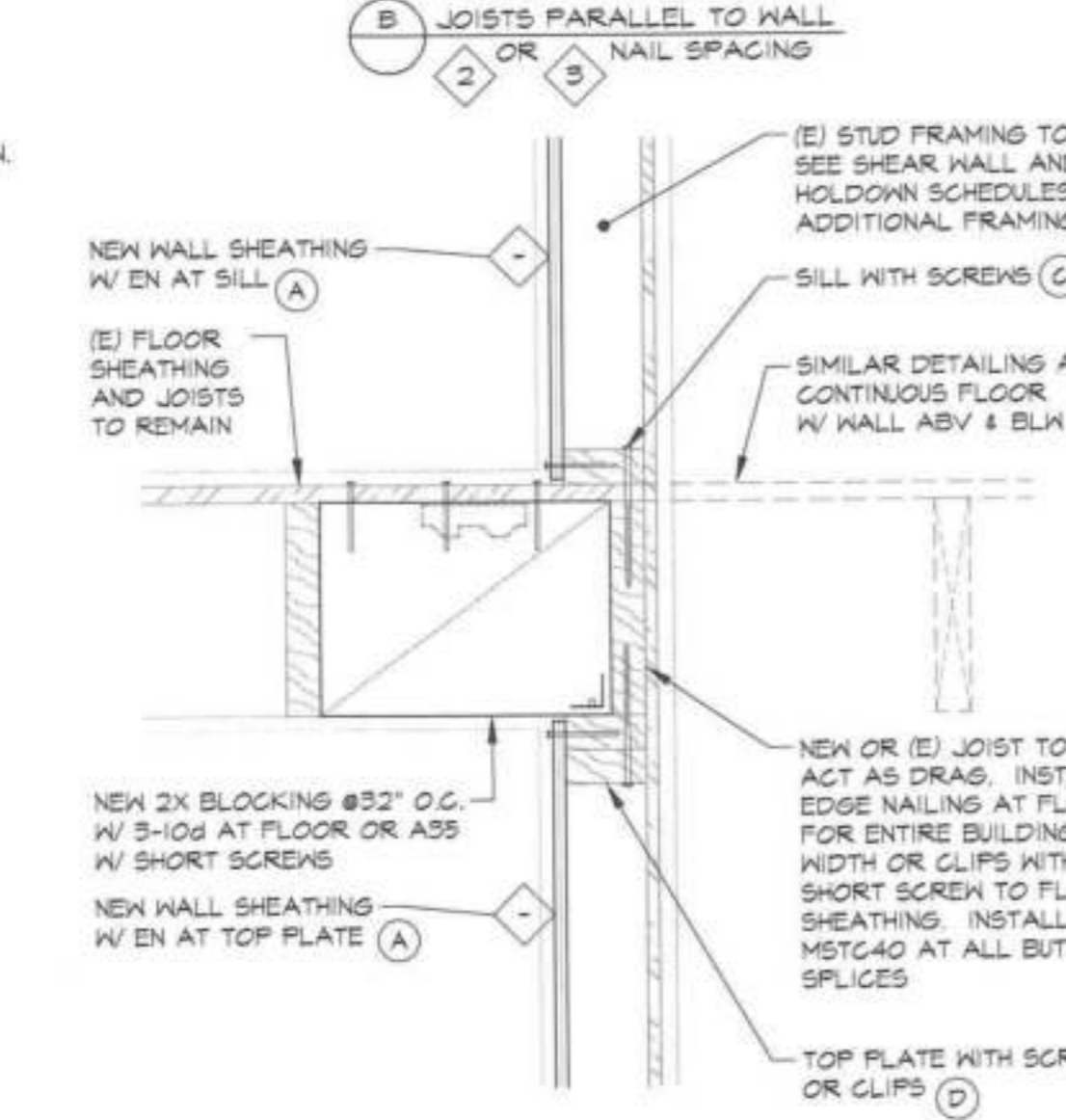
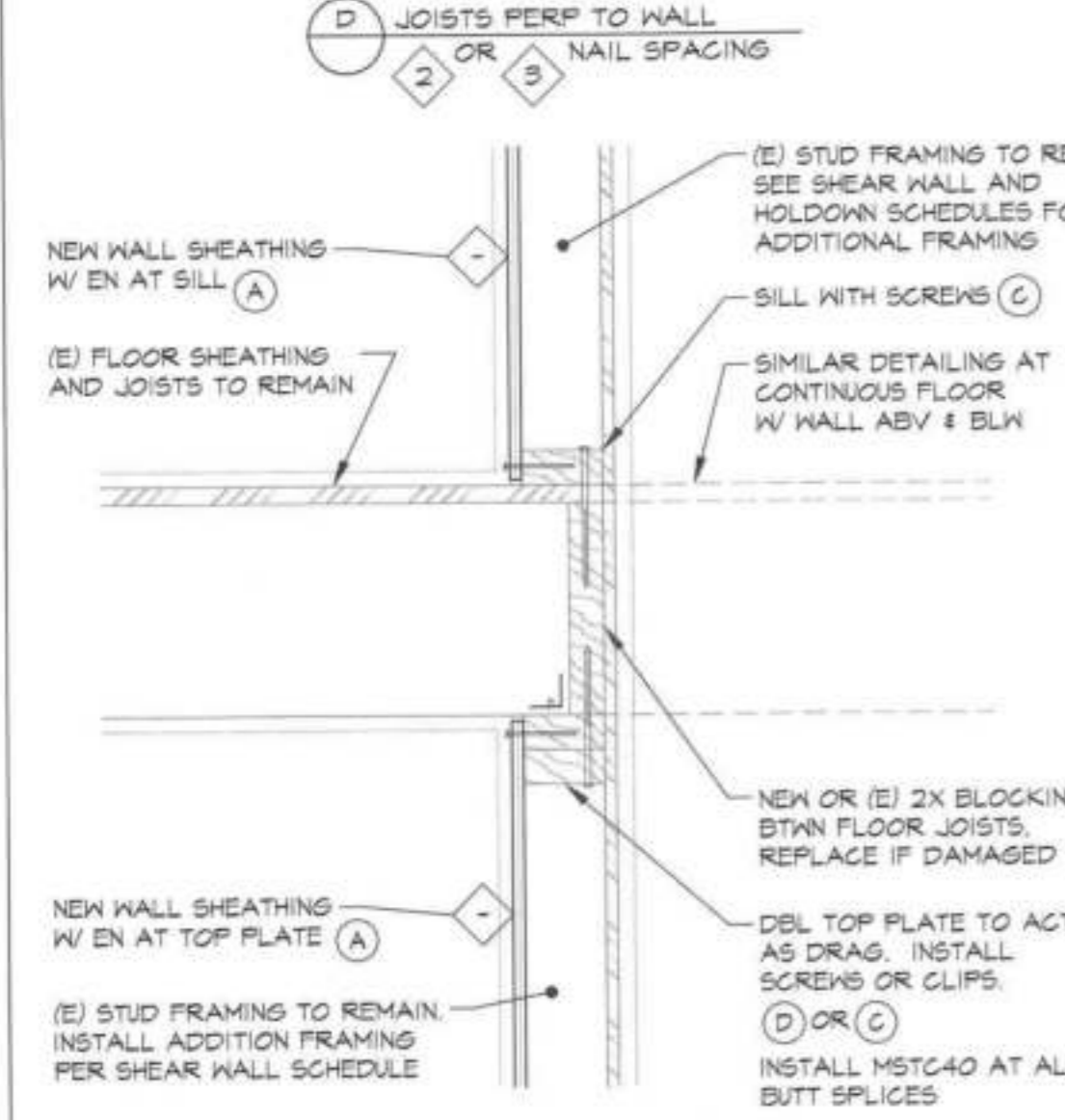
- FOOTNOTES:**
- FOUNDATION SILLS SHALL BE PRESSURE TREATED DF-L
  - ANCHOR BOLTS FOR ALL SHEARWALLS SHALL BE 3/8" Ø, SEE GEN NOTES FOR BALANCE OF INFO.
  - MIN TWO BOLTS PER PIECE OF SILL, PROVIDE 3"X3"X1/4" W WASHER WITH 1/16" Ø HOLE.
  - PROVIDE FLAT DBL 2X OR 4X BLOCKING AT UNSUPPORTED EDGES.
  - SUBSTITUTE L650 WHEN CLIP ANGLE IS GREATER THAN 90 DEGREES.
  - SPACE ROWS 1/2" MIN AND STAGGER ROWS.
  - REPLACE WITH 20d IF 3X TRANSFER STUD.
  - 2-2X STUDS MAY BE SUBSTITUTED FOR 3X STUD AT ADJOINING PANEL EDGES, FOR SINGLE-SIDED SHEAR WALLS ONLY. FASTEN 2-2X STUDS TOGETHER WITH SDS 1/4"X3" SCREWS @6".
  - USE 2 ROW NAILING PATTERN WHERE EDGE NAILING IS 3" OR LESS, SEE **S0.4**

- NAILING NOTES:**
- USE HOT DIPPED GALVANIZED OR STAINLESS STEEL WHEN PENETRATING PRESSURE-TREATED WOOD.
  - DO NOT DRIVE NAILS THROUGH FACE LAYER OF PLYWOOD.
  - DO NOT SPLIT LUMBER. ANY STRUCTURAL LUMBER SPLIT DUE TO NAILING SHALL BE REPLACED, IF REQUIRED.
  - PRE-DRILL NAIL HOLES TO AVOID SPLITTING.

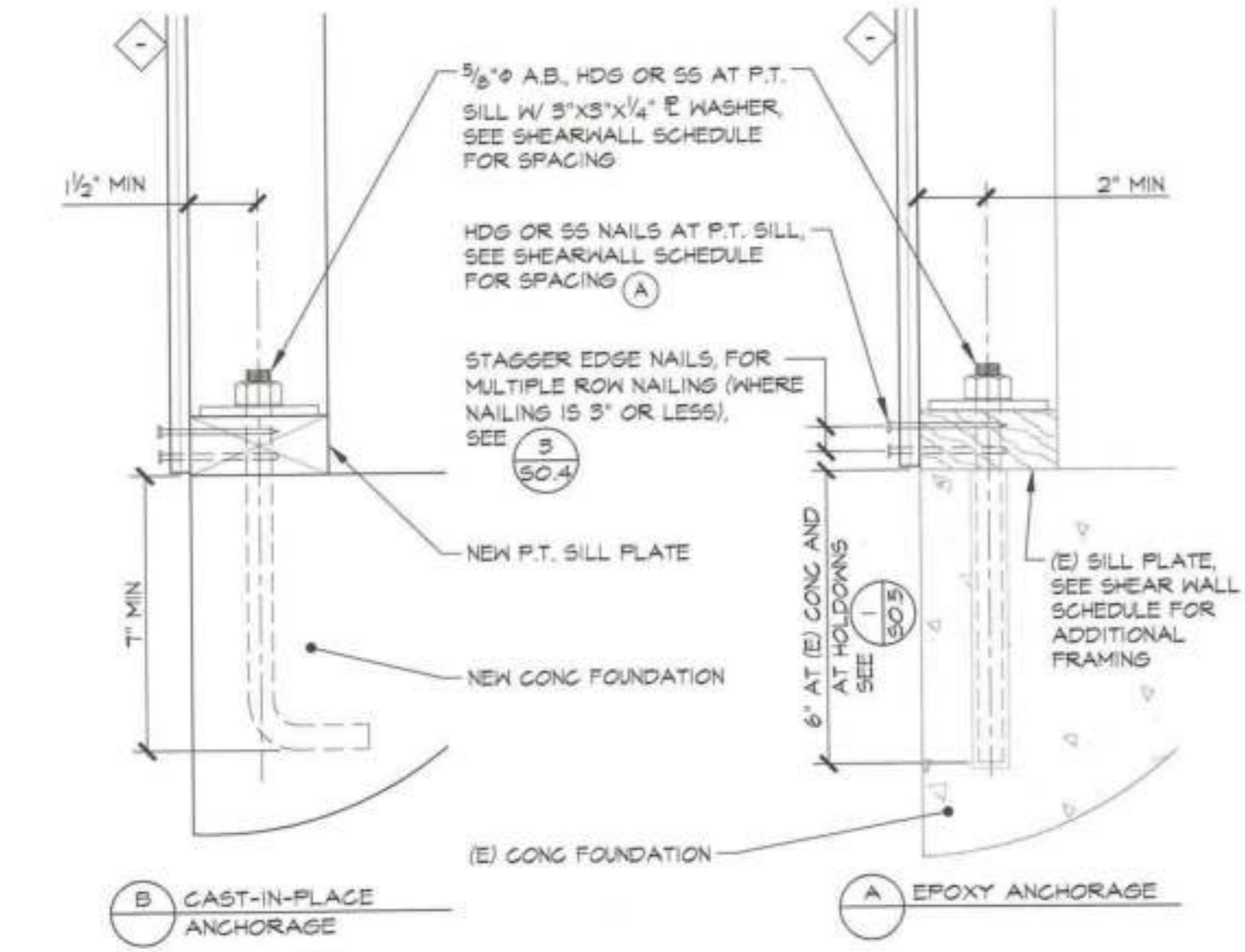
**1** SHEAR WALL SCHEDULE N.T.S.



**4** SHEAR WALL SCHEMATIC 1"=1'-0"



**7** SHEAR WALL THRU WOOD FLOOR 1 1/2" = 1'-0"



**6** SHEAR WALL **S0.4** AT FOUNDATION SILL 3" = 1'-0"

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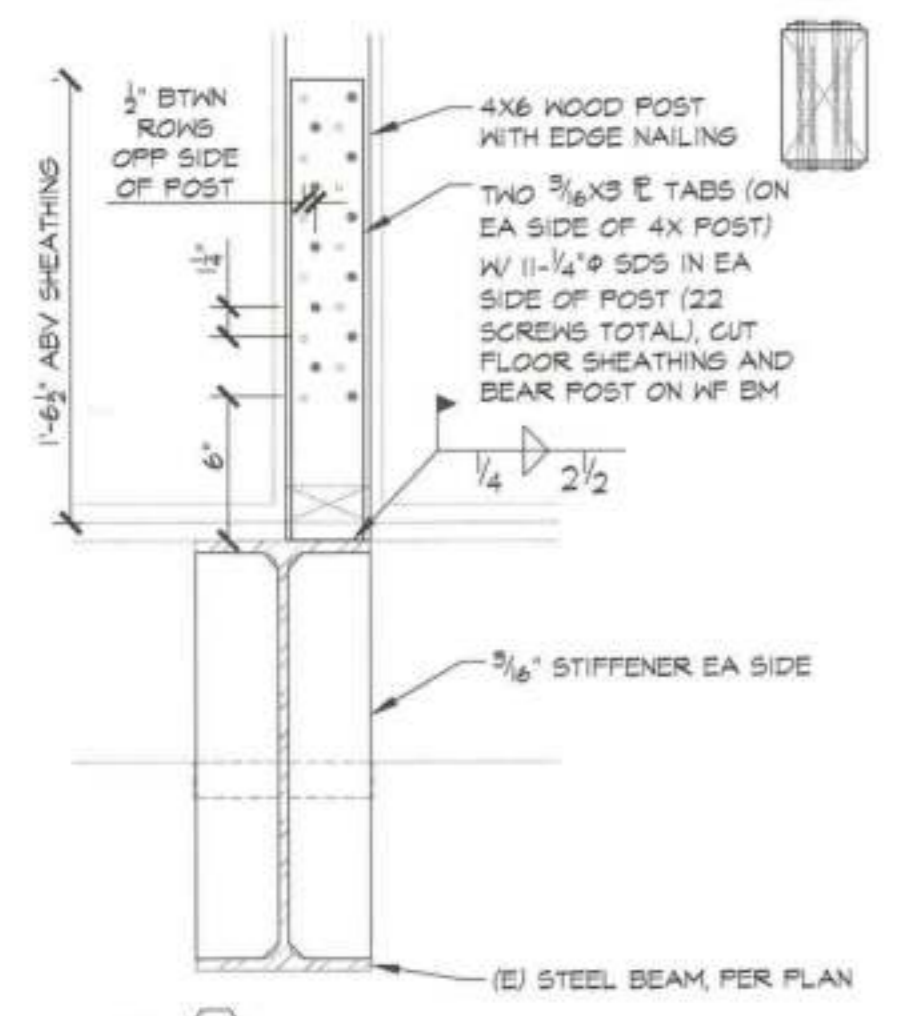
JUL 20 2021

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DEPT. OF BUILDING INSPECTION

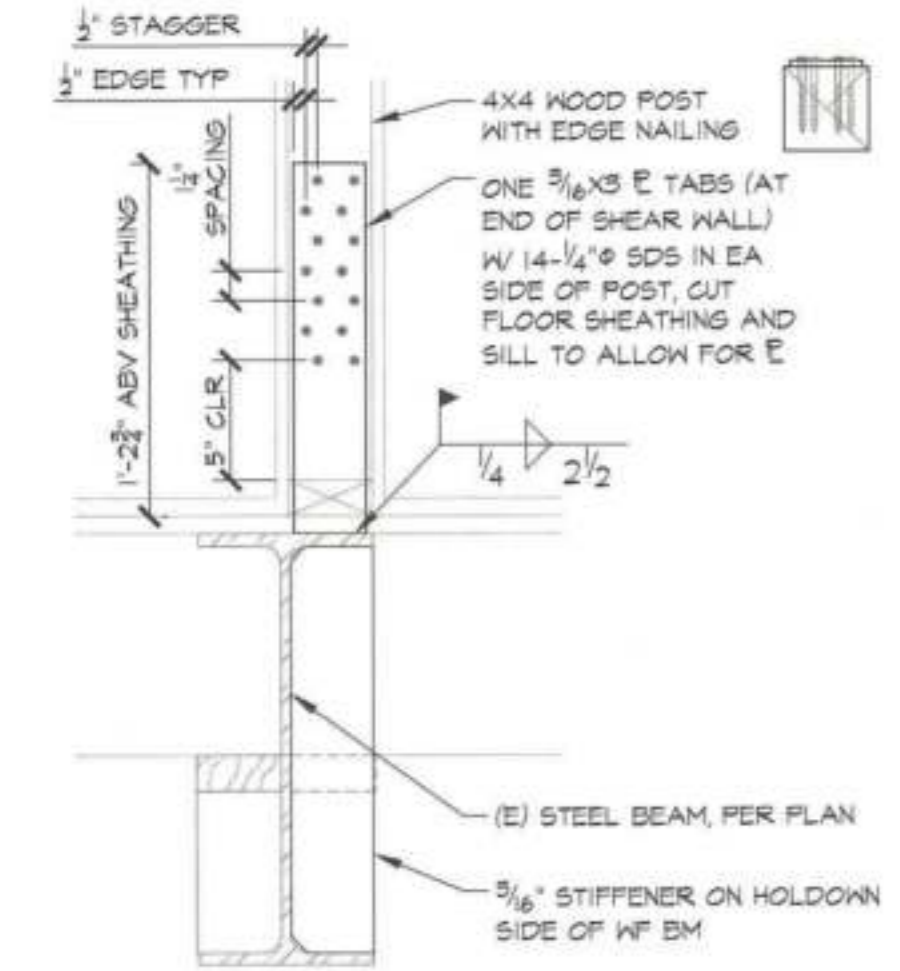
**Typical Holdown and Strap Details**

Structural

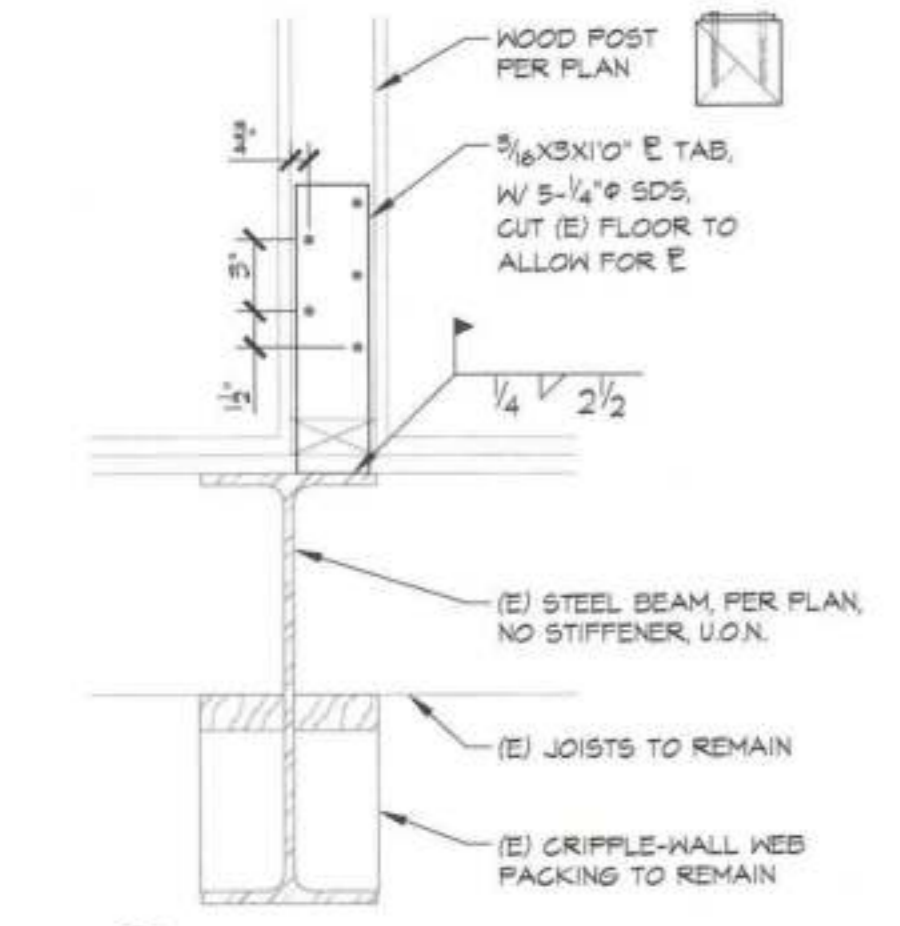
**S0.5**



**B** WOOD POST OR HOLDDOWN OVER (E) STEEL BEAM 1 1/2" = 1'-0"



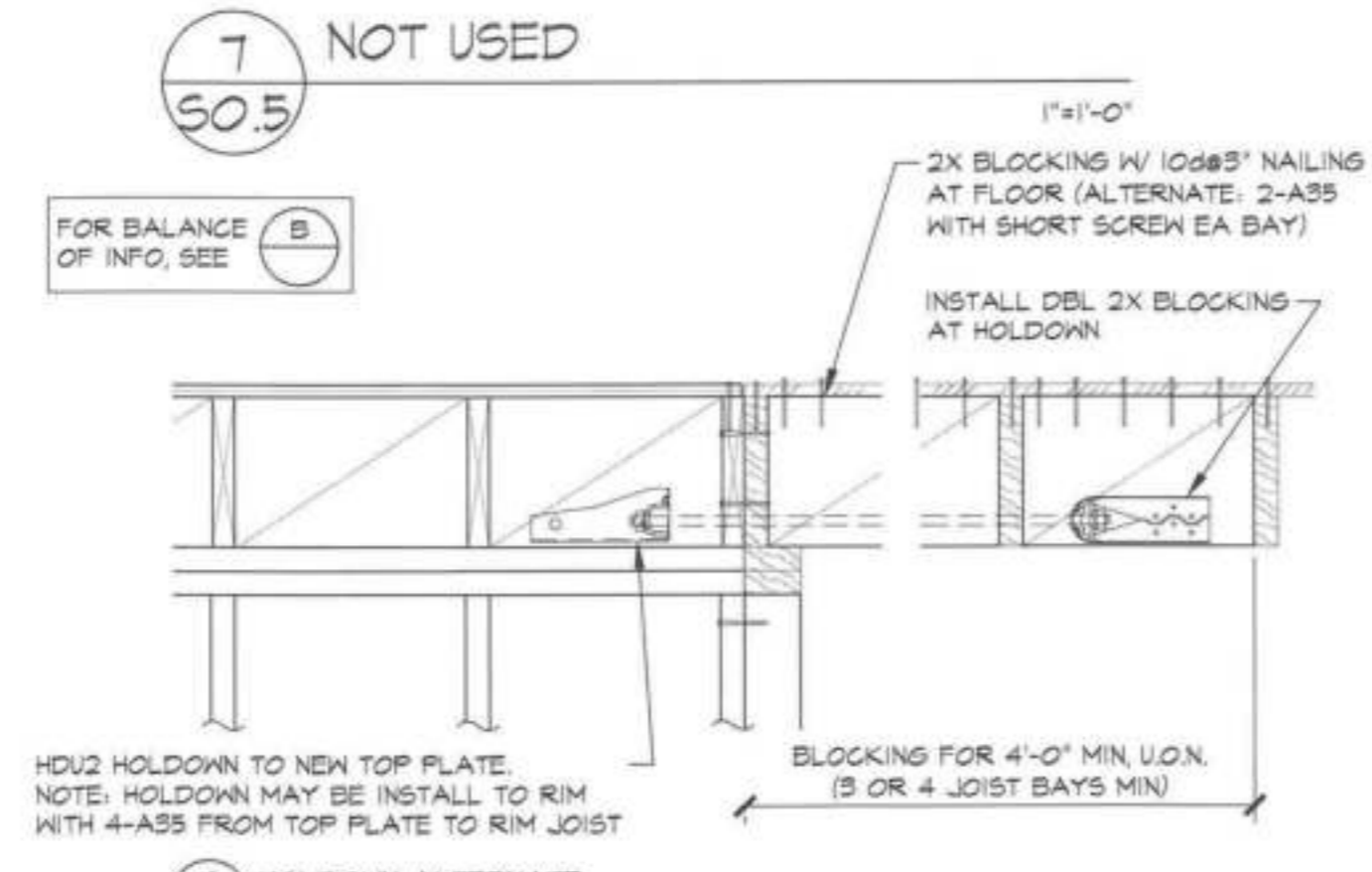
**C** TYPICAL POST FOR GRAVITY FRAMING



**D** TIEBACK AT ADDITION



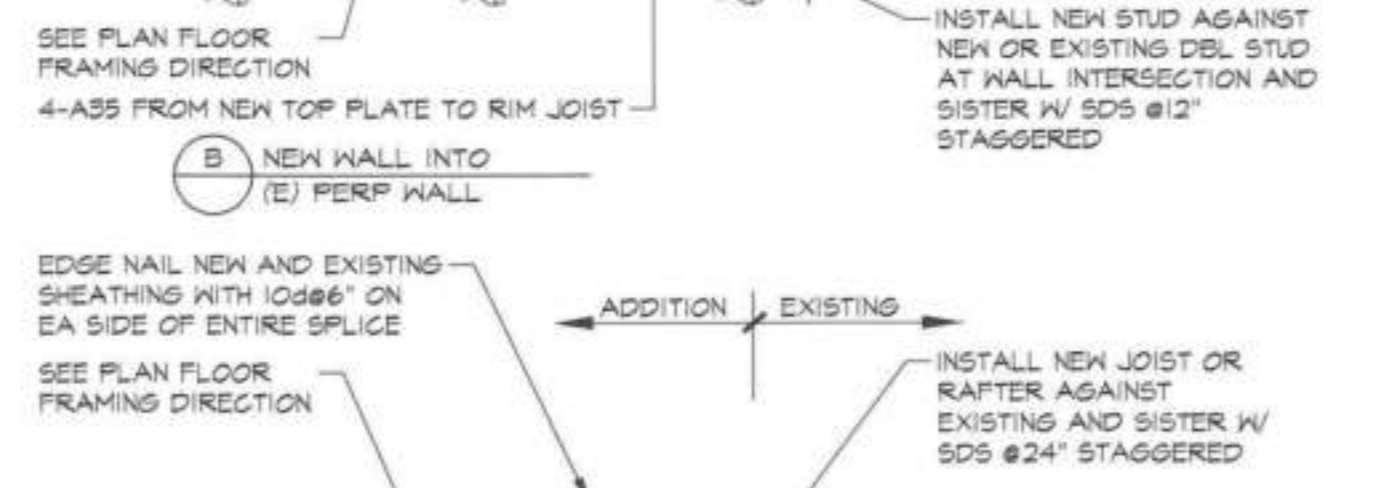
**E** COLLECTOR STRAP



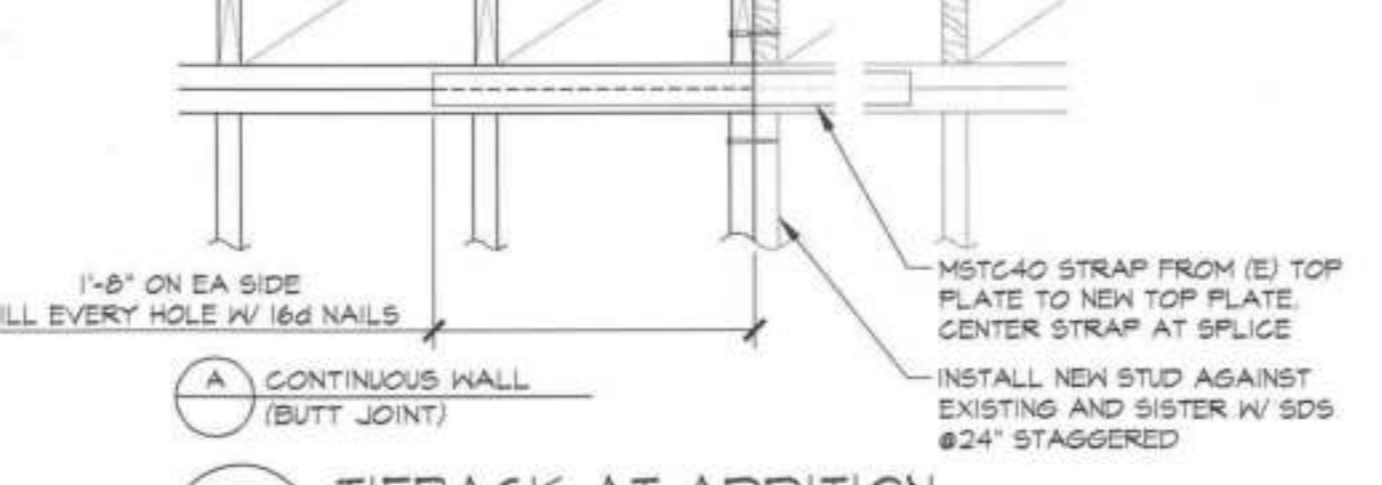
**1** HOLDDOWN SCHEDULE



**2** STRAPS AROUND OPENING



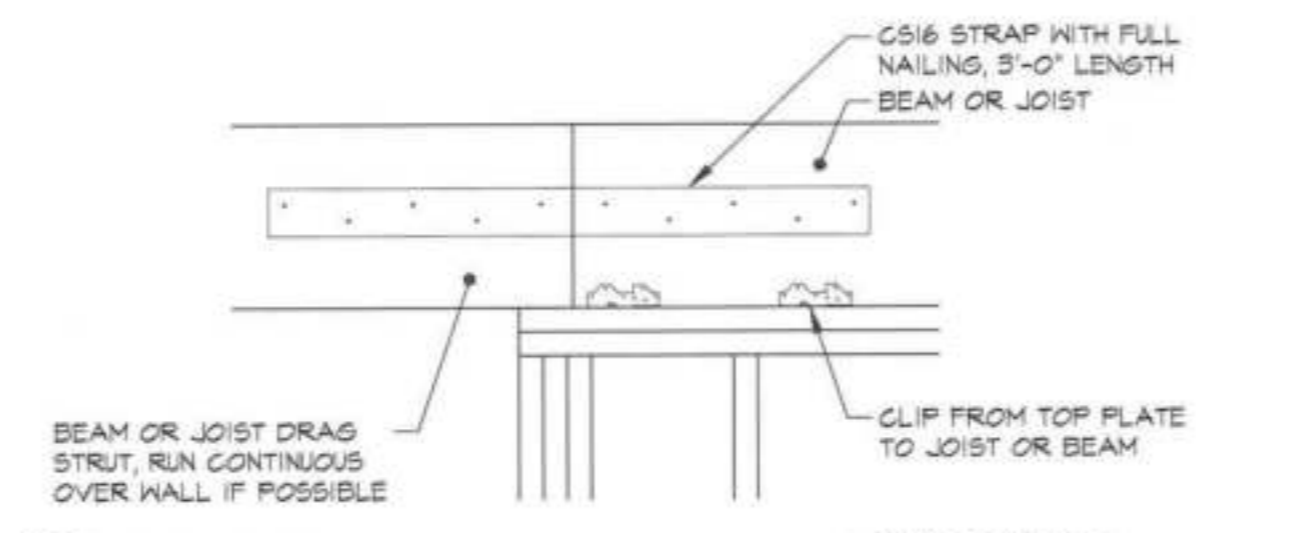
**3** SHARED HOLDDOWN FOR TWO INTERSECTING WALL



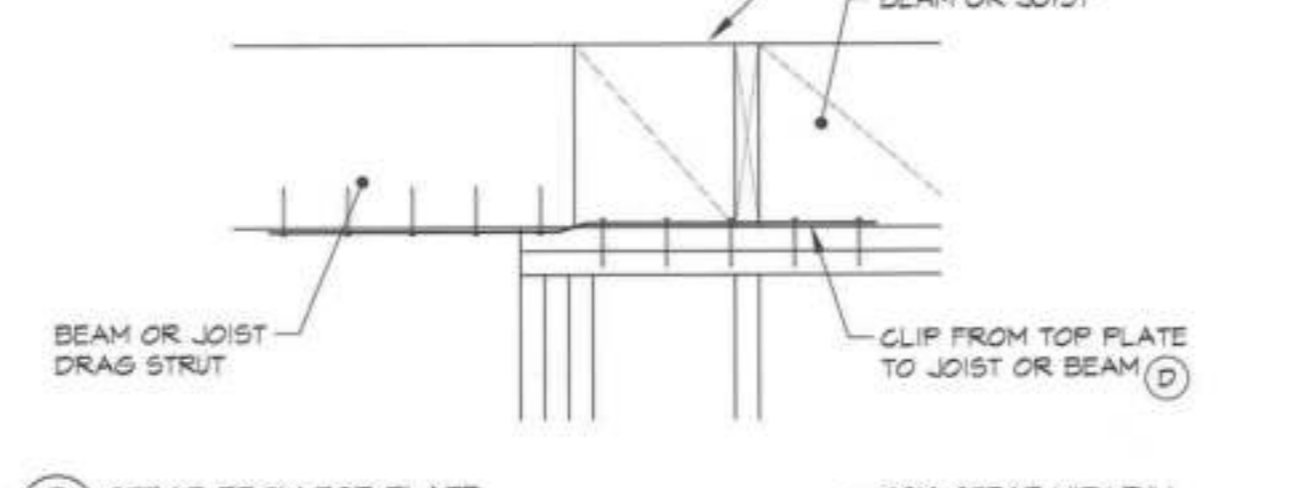
**4** COLLECTOR STRAP



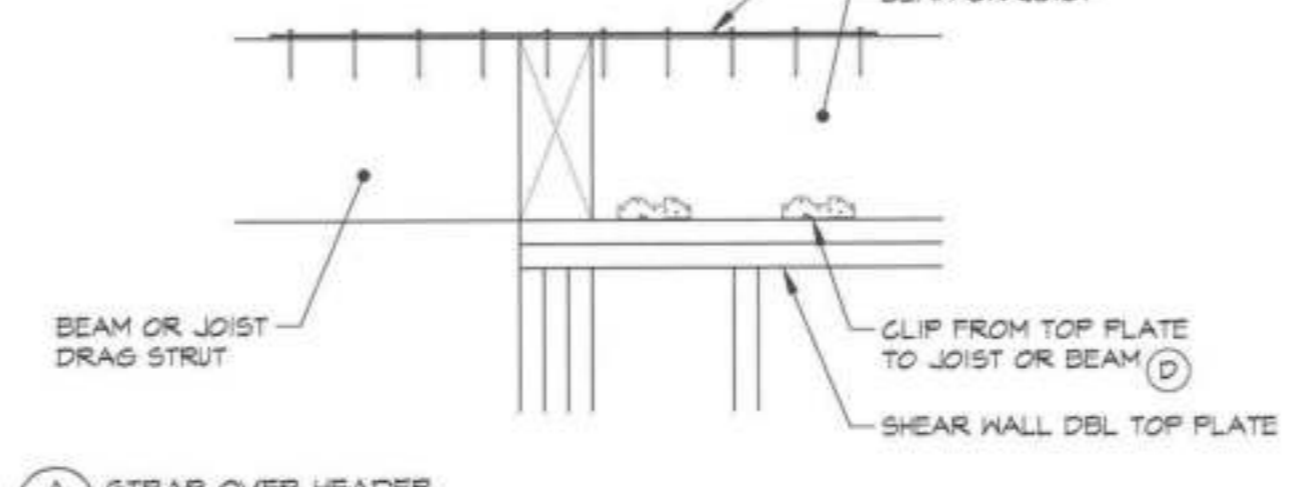
**5** CS16 TIE STRAP AT END OF SHEAR WALL



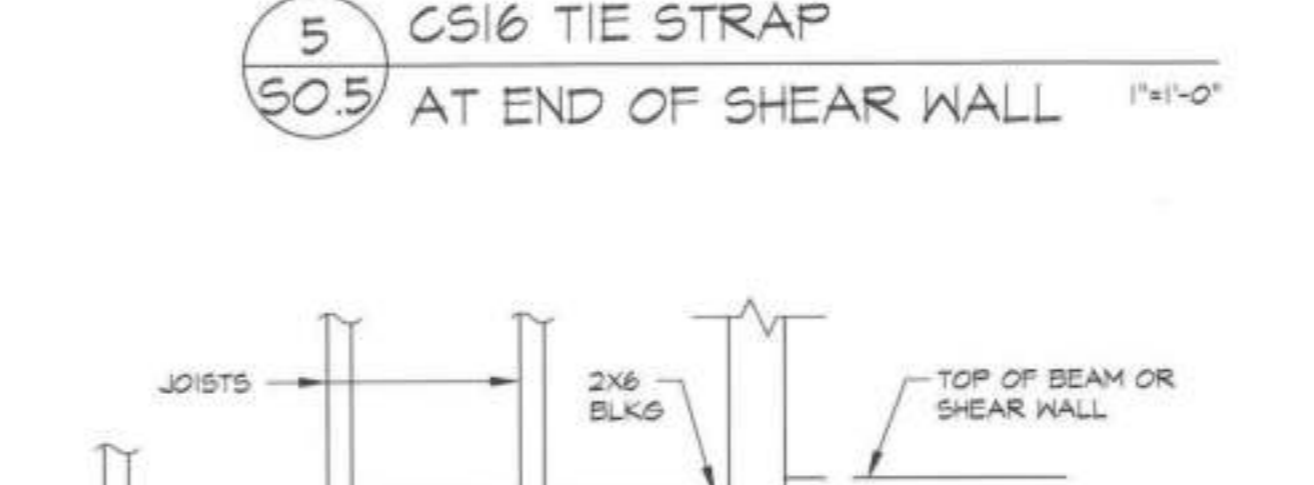
**6** TIEBACK AT ADDITION



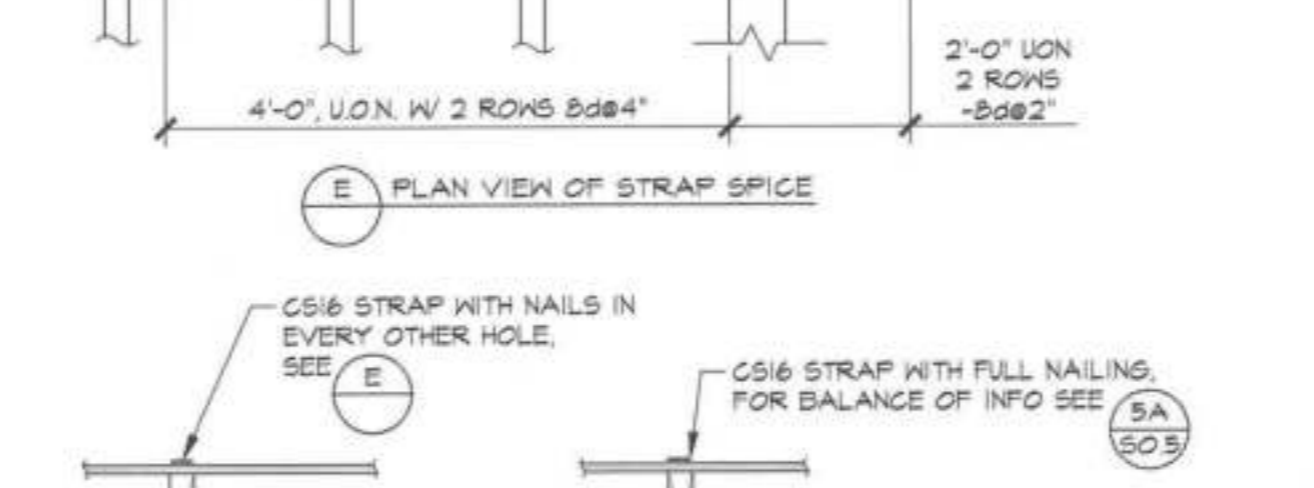
**7** NOT USED



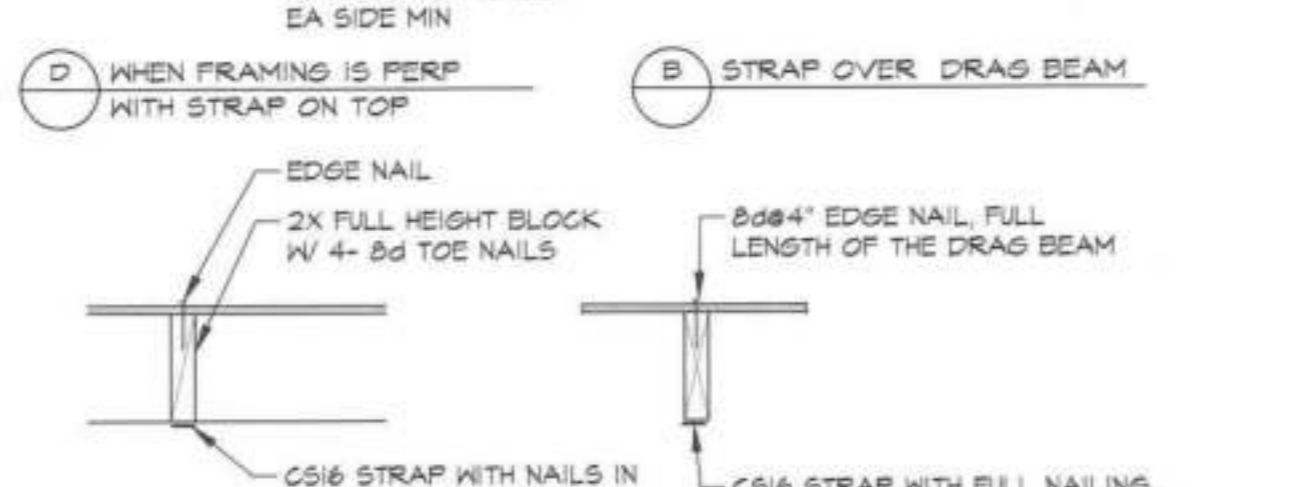
**8** COLLECTOR STRAP



**9** CS16 TIE STRAP



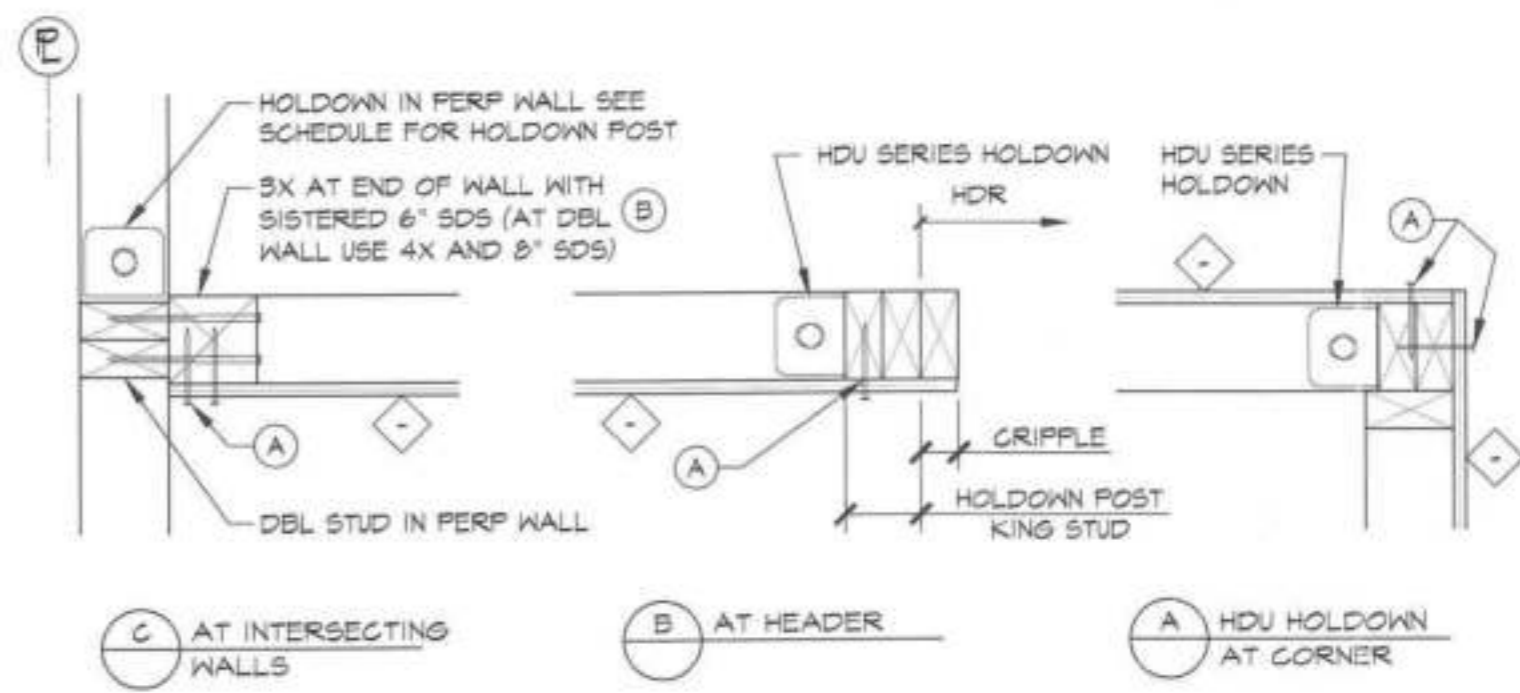
**10** COLLECTOR STRAP



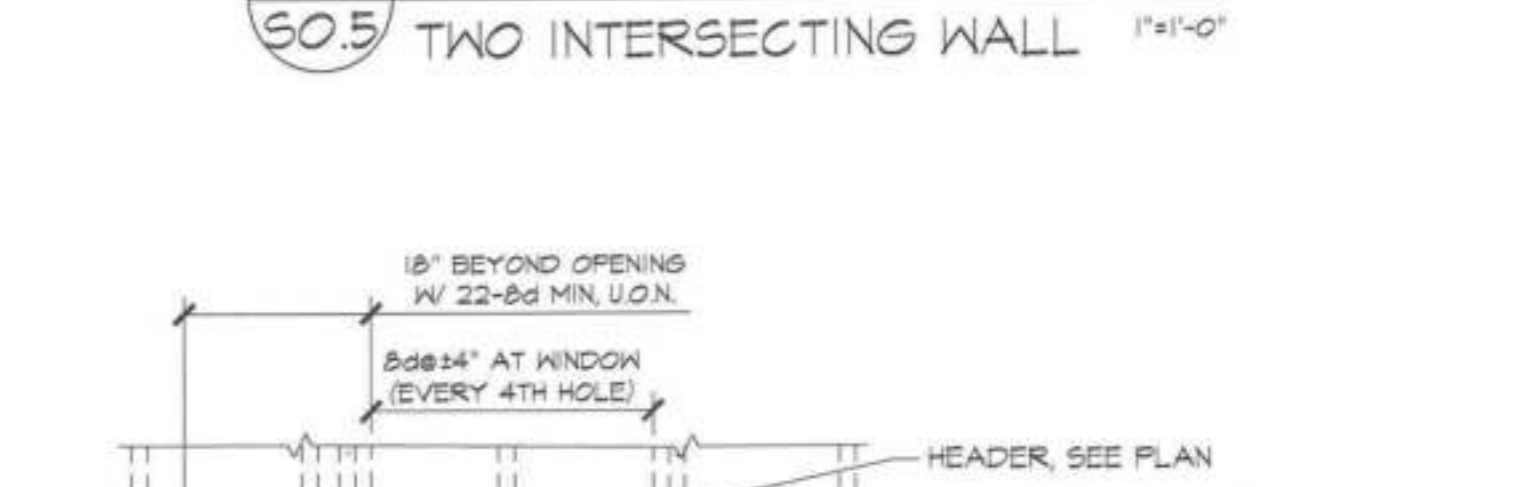
**11** HOLDDOWN SCHEDULE



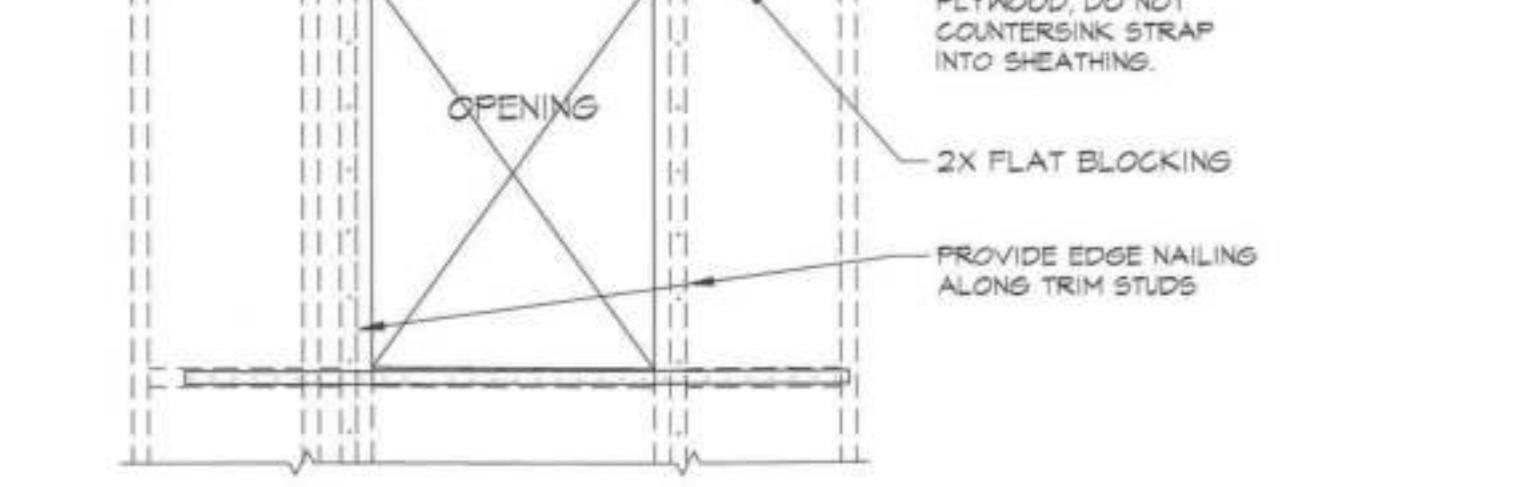
**12** COLLECTOR STRAP



**13** HOLDDOWN SCHEDULE



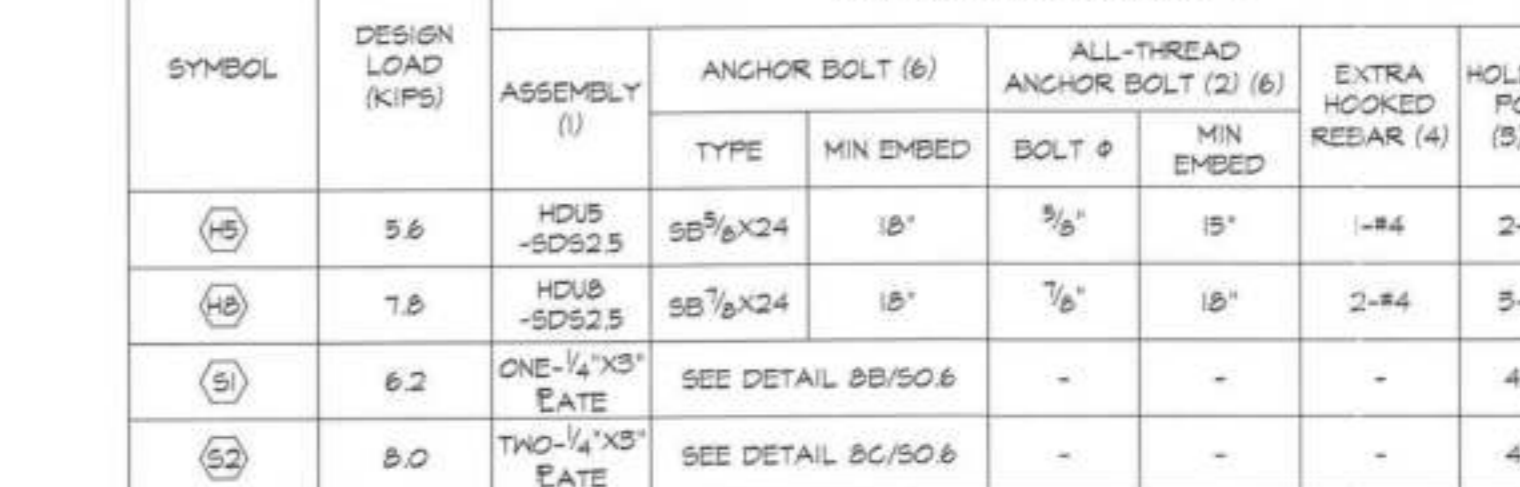
**14** STRAPS AROUND OPENING



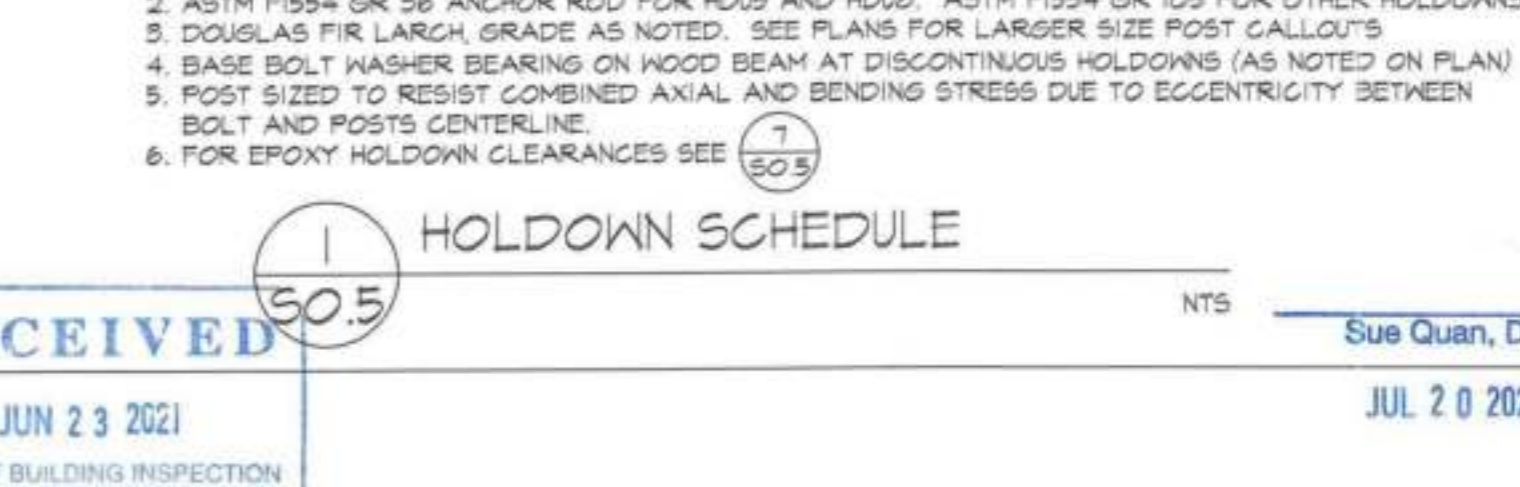
**15** SHARED HOLDDOWN FOR TWO INTERSECTING WALL



**16** COLLECTOR STRAP



**17** CS16 TIE STRAP



**18** COLLECTOR STRAP

SYMBOL	DESIGN LOAD (KIPS)	SIMPSON 5THD/HDU ASSEMBLY						
		ASSEMBLY (1)	ANCHOR BOLT (2)	ALL-THREAD ANCHOR BOLT (2)	EXTRA HOOKED REBAR (4)	HOLDOWN POST (3) (5)		
(H5)	5.6	HDU5-SDS2.5	SB5/8x24	18"	3/8"	15"	1-#4	2-2X
(H8)	7.8	HDU8-SDS2.5	SB7/8x24	18"	7/8"	18"	2-#4	5-2X
(S1)	6.2	ONE-1/4"x3" EATE	SEE DETAIL SB/SO/6	-	-	-	-	4X4
(S2)	8.0	TWO-1/4"x3" EATE	SEE DETAIL SB/SO/6	-	-	-	-	4X6

**HOLDOWN NOTES:**  
1. SIMPSON CO. OR APPROVED EQUIVALENT  
2. ASTM F1554 GR 36 ANCHOR ROD FOR HDU5 AND HDU8. ASTM F1554 GR 105 FOR OTHER HOLDOWNS.  
3. DOUGLAS FIR LARCH, GRADE AS NOTED. SEE PLANS FOR LARGER SIZE POST CALLOUTS  
4. BASE BOLT WASHER BEARING ON WOOD BEAM AT DISCONTINUOUS HOLDOWNS (AS NOTED ON PLAN)  
5. POST SIZED TO RESIST COMBINED AXIAL AND BENDING STRESS DUE TO ECCENTRICITY BETWEEN BOLT AND POSTS CENTERLINE.  
6. FOR EPOXY HOLDOWN CLEARANCES SEE (S0.5)



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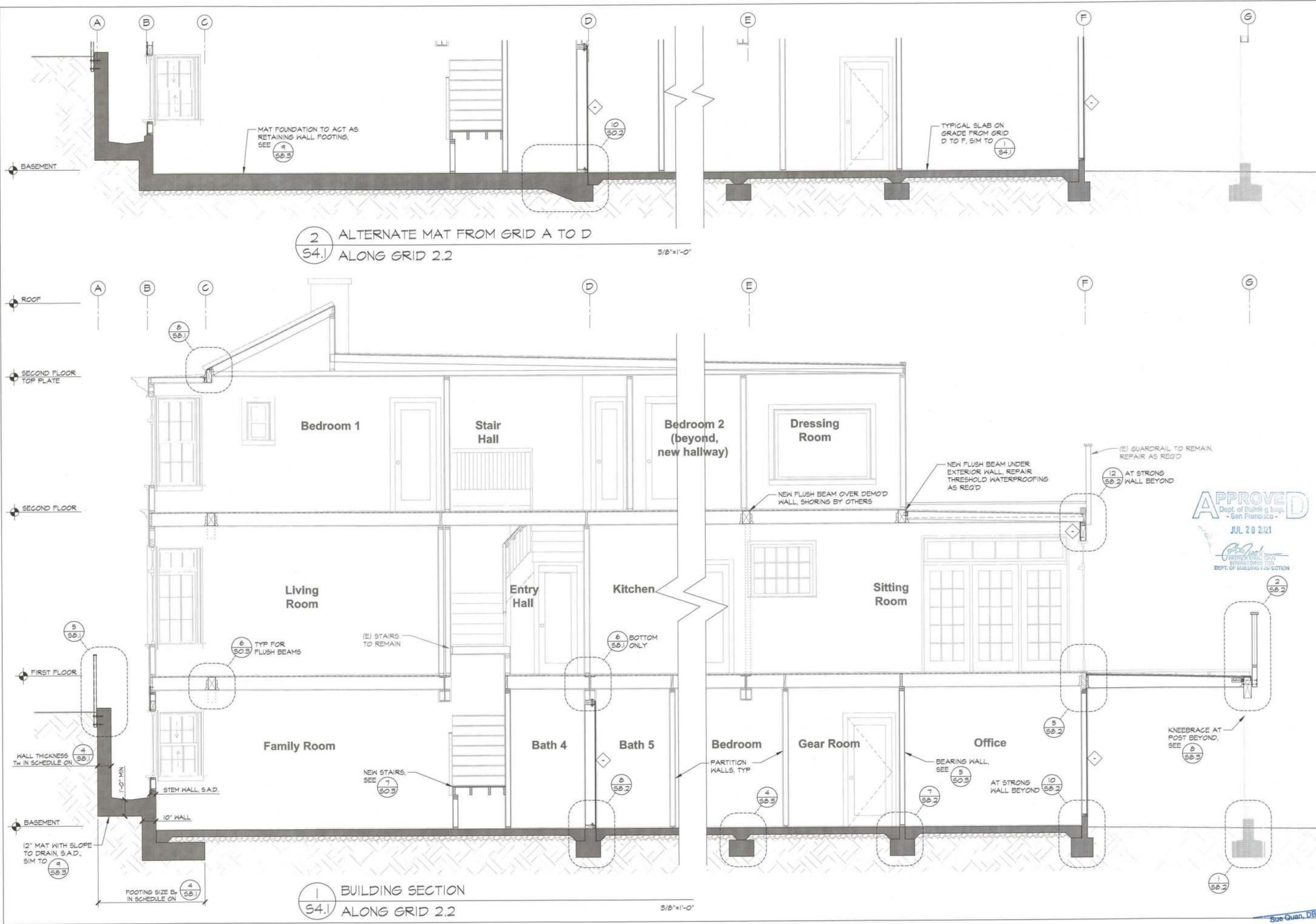
Building Section

Structural

**S4.1**

Sue Guan, DBI  
JUL 20 2021

job# 21004



**2** ALTERNATE MAT FROM GRID A TO D  
**S4.1** ALONG GRID 2.2

3/8"=1'-0"

**1** BUILDING SECTION  
**S4.1** ALONG GRID 2.2

3/8"=1'-0"



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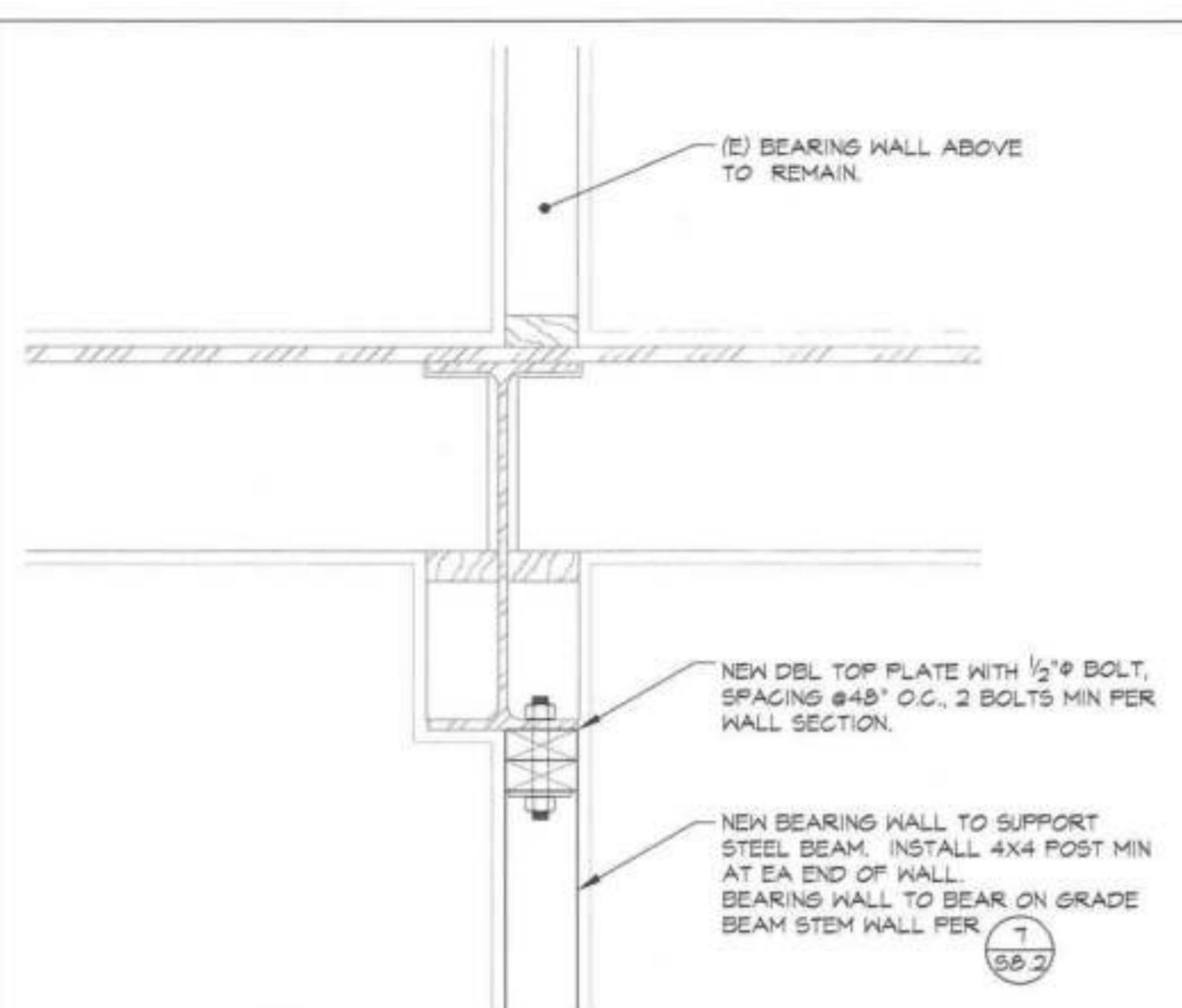


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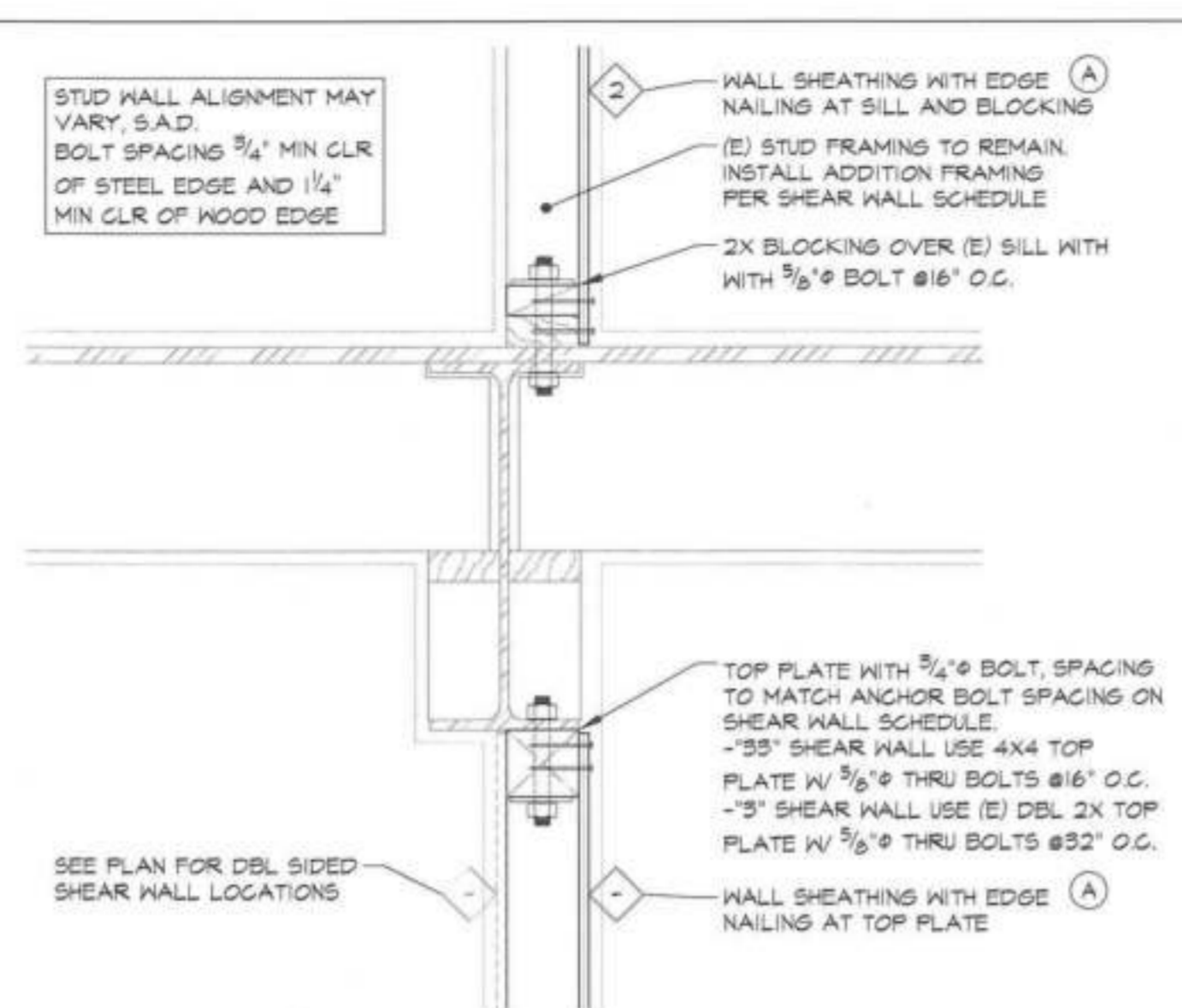
**Concrete and Framing Details**

**Structural**

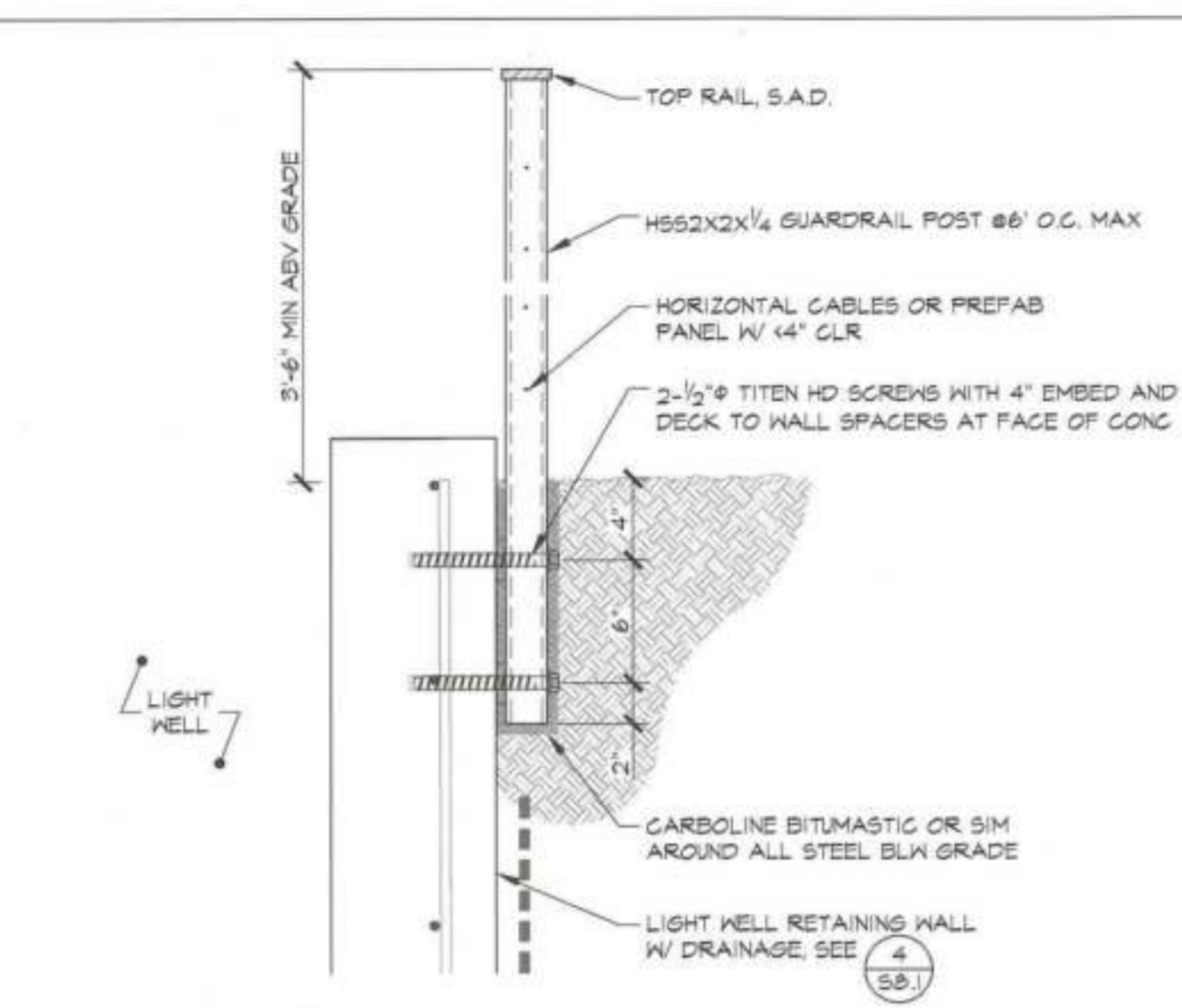
**S8.1**



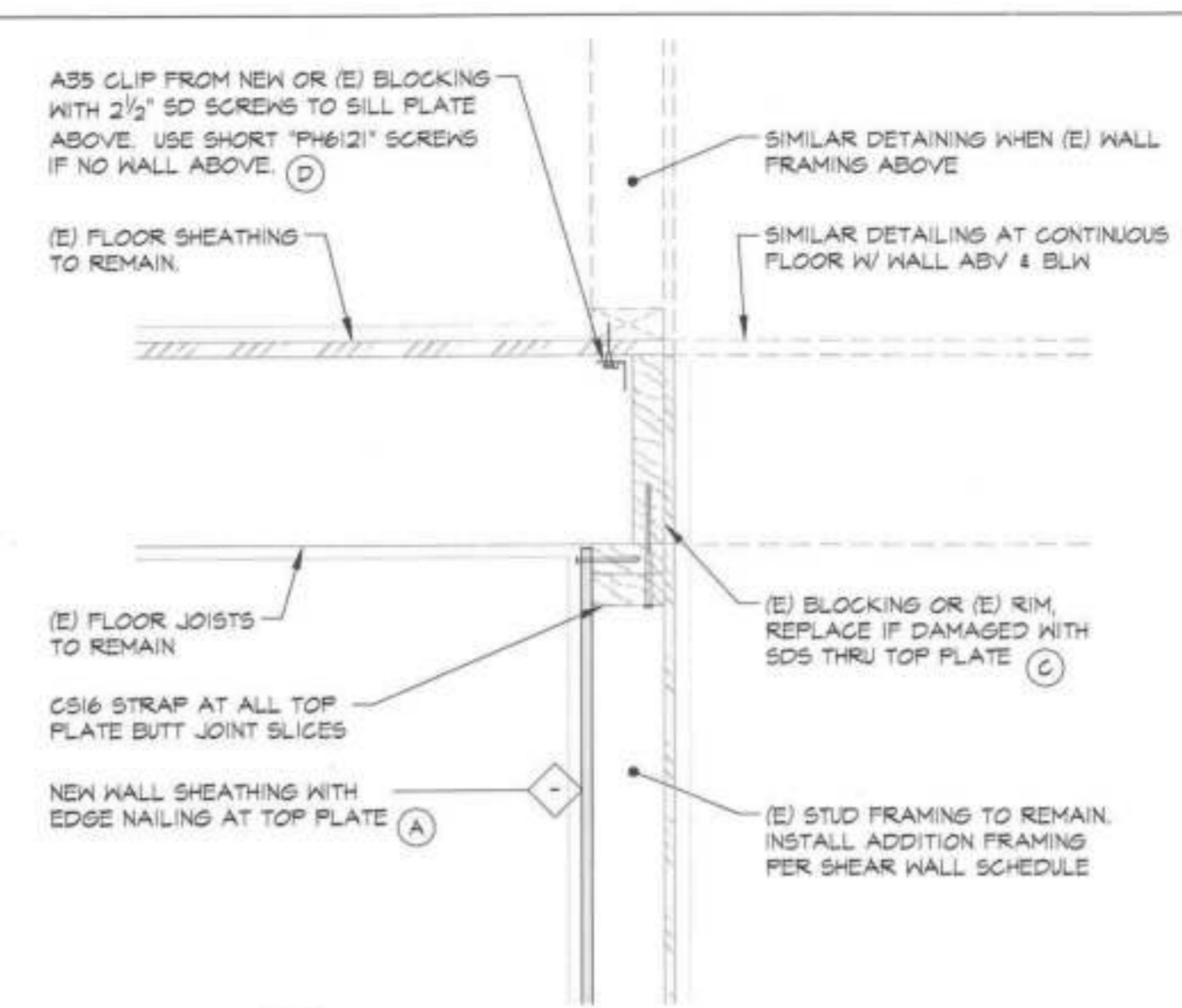
**9** TOP OF SHEAR WALL  
SB.1 AT (E) STEEL BEAM 1/2" = 1'-0"



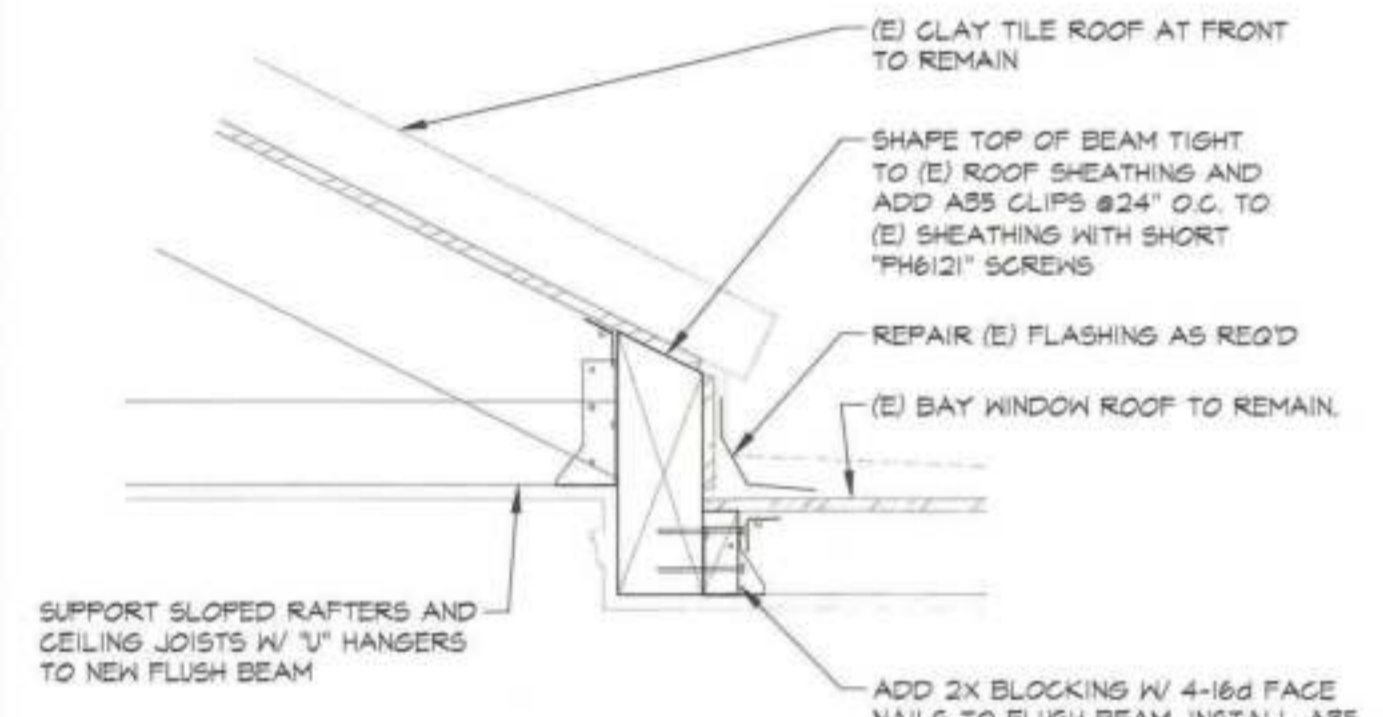
**6** TOP OF SHEAR WALL  
SB.1 AT (E) STEEL BEAM 1/2" = 1'-0"



**5** LIGHT WELL GUARDRAIL  
SB.1 1/2" = 1'-0"



**3** TOP OF SHEAR WALL  
SB.1 JOISTS PERP TO WALL 1/2" = 1'-0"



**8** FLUSH BEAM  
SB.1 AT FRONT BAY ROOF 1/2" = 1'-0"

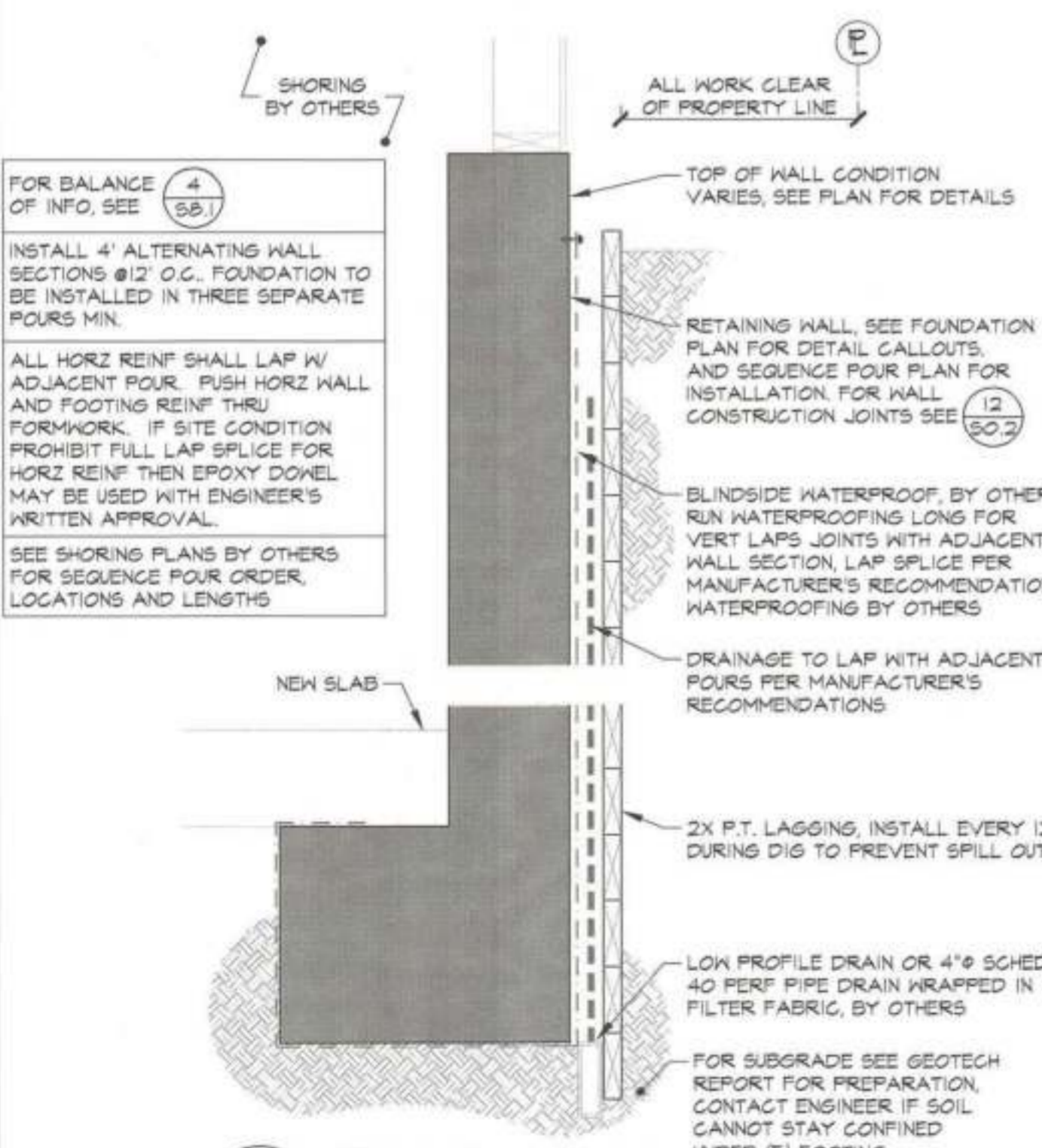
RETAINING WALL							
RETAINED HEIGHT - "H" (1)	MIN FOOTING WIDTH - "B <sub>F</sub> "	FOOTING THICKNESS - "T <sub>F</sub> "	WALL THICKNESS - "T <sub>W</sub> "	INSIDE VERT DOVELS - "ID" (2)	OUTSIDE VERT DOVELS - "OD" (3) (4)	TYP WALL REINF - "WR" (4)	COMMENTS
10'-0"	10'-6"	14"	10"	#4@12"	#5@6"	#5@12" EF, EW	SEE 4A/SB.1
9'-0"	9'-0"	14"	10"	#4@12"	#5@6"	#5@12" EF, EW	SEE 4A/SB.1
7'-0"	6'-6"	14"	10"	#4@12"	#5@6"	#5@12" EF, EW	SEE 4A/SB.1
7'-0"	7'-0"	14"	8"	NONE	#5@6"	#5@12" EW	SEE 4B/SB.1
6'-0"	5'-8"	14"	8"	NONE	#5@6"	#5@12" EW	SEE 4B/SB.1
2'-6"	1'-6" (5)	12"	6"	NONE	#4@12"	#4@12" EW	SEE 1/SB.1

- (1) HEIGHT OF RETAINING WALL MEASURED FROM T.O.S. TO EXTERIOR GRADE.
- (2) INSIDE VERTICAL DOVEL SHALL BE 1/2" CLR OF INSIDE FACE OF WALL AND 5' CLR OF BOT OF FOOTING, 3'-0" MIN LAP WITH VERT WALL REINF 1'-0"
- (3) OUTSIDE VERTICAL DOVEL SHALL BE 2" CLR OF EARTH SIDE FACE OF WALL AND 3' CLR OF BOT OF FOOTING, 3'-0" MIN LAP WITH VERT WALL REINF
- (4) WALL REINFORCEMENT MAY BE USED TO HOOK INTO MAT AS VERTICAL DOVELS
- (5) FOR TYPICAL PERIMETER FOOTING RETAINING LESS THAN 30" SEE PLAN FOR WIDTH AND

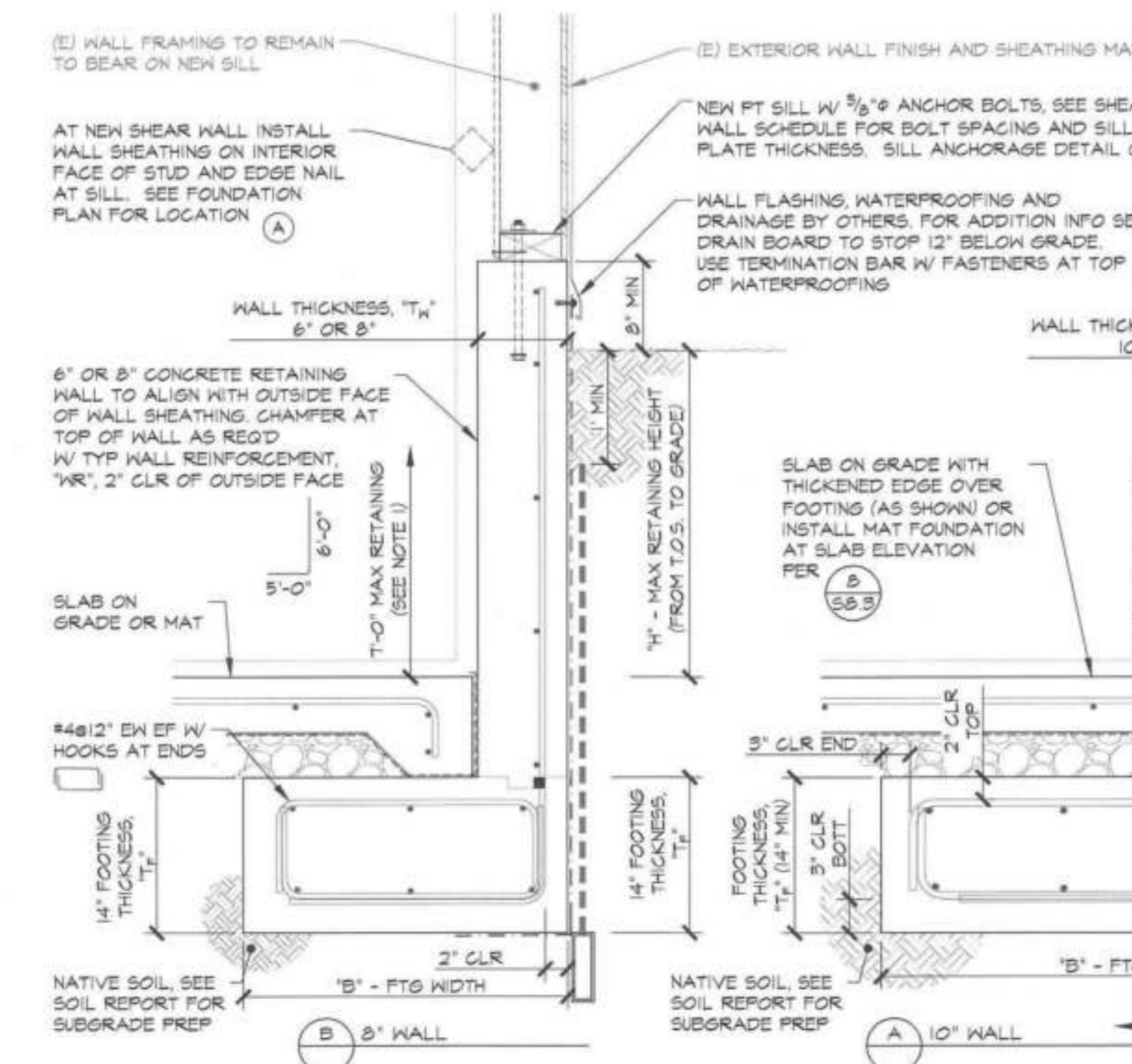
SEQUENCE FOUR NOTE:  
IF BUILDING ABOVE FOUNDATION IS NOT SHORED (BY OTHERS) OR IF ADJACENT BUILDING FOUNDATION IS UNDERCUT (WITHIN 11' FROM BOTTOM OF FOOTING) THEN RETAINING WALL SHALL BE POURED IN SECTIONS PER (7) SB.1

ALTERNATE DRAINAGE SPEC:  
DRAINBOARD MAY BE REPLACED WITH 12" OF CLASS 2 DRAIN ROCK (3/4" @ 1-1/2") WRAPPED IN NONWOVEN FILTER FABRIC SUCH AS MIRAFI 140N OR SIM. 4" @ SCHEDULE 40 PERF PIPE DRAIN MAY REPLACE LOW PROFILE PERIMETER DRAIN

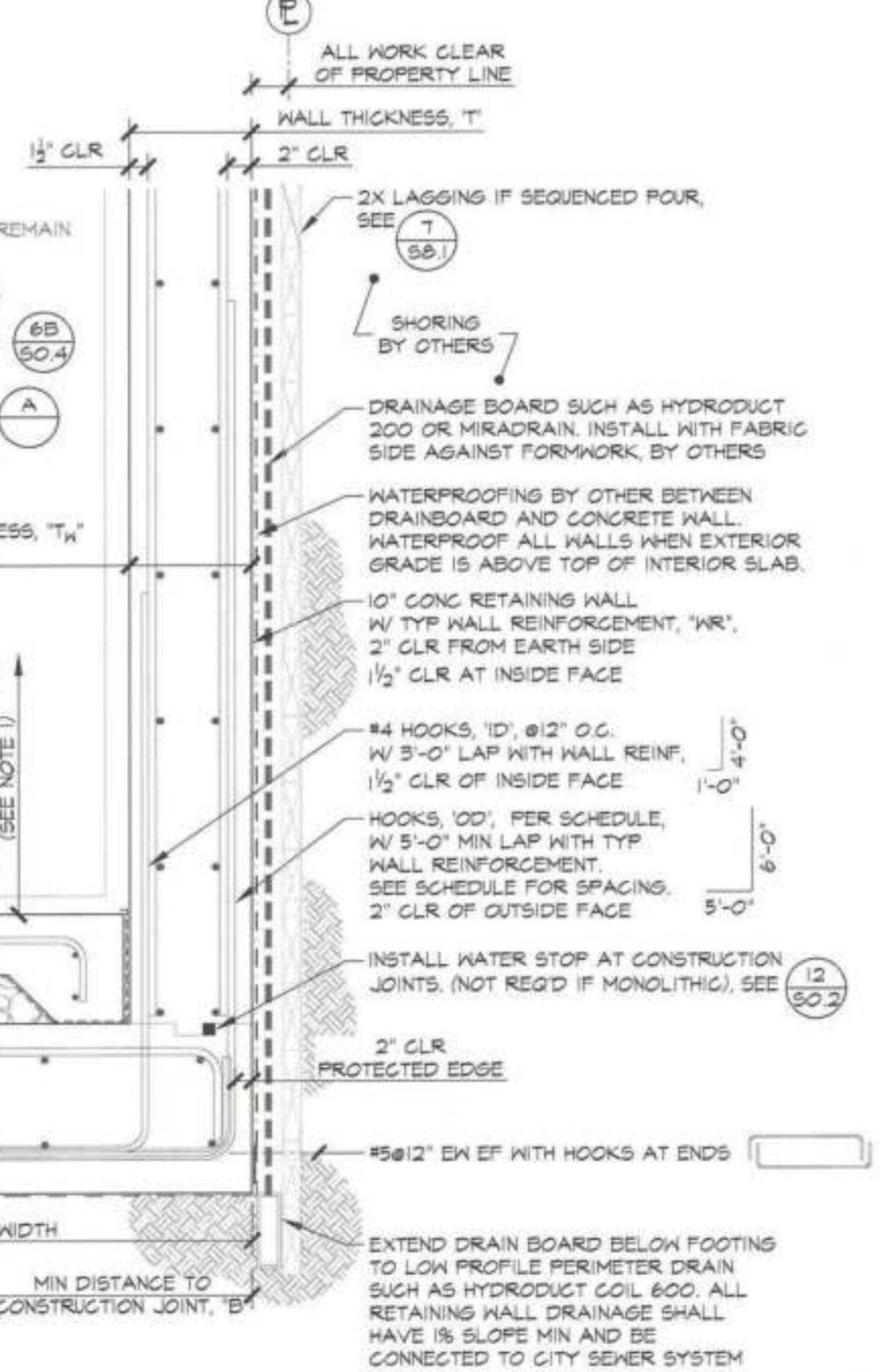
RETAINING WALL DESIGN LOADS AND CAPACITIES:  
• ACTIVE PRESSURE: 40 PCF + 100 PSF UNIFORM  
• ALLOWABLE BEARING PRESSURE: 1800 PSF  
• PASSIVE PRESSURE: 250 PCF  
• SLAB REG'D FOR SLIDING, U.O.N.



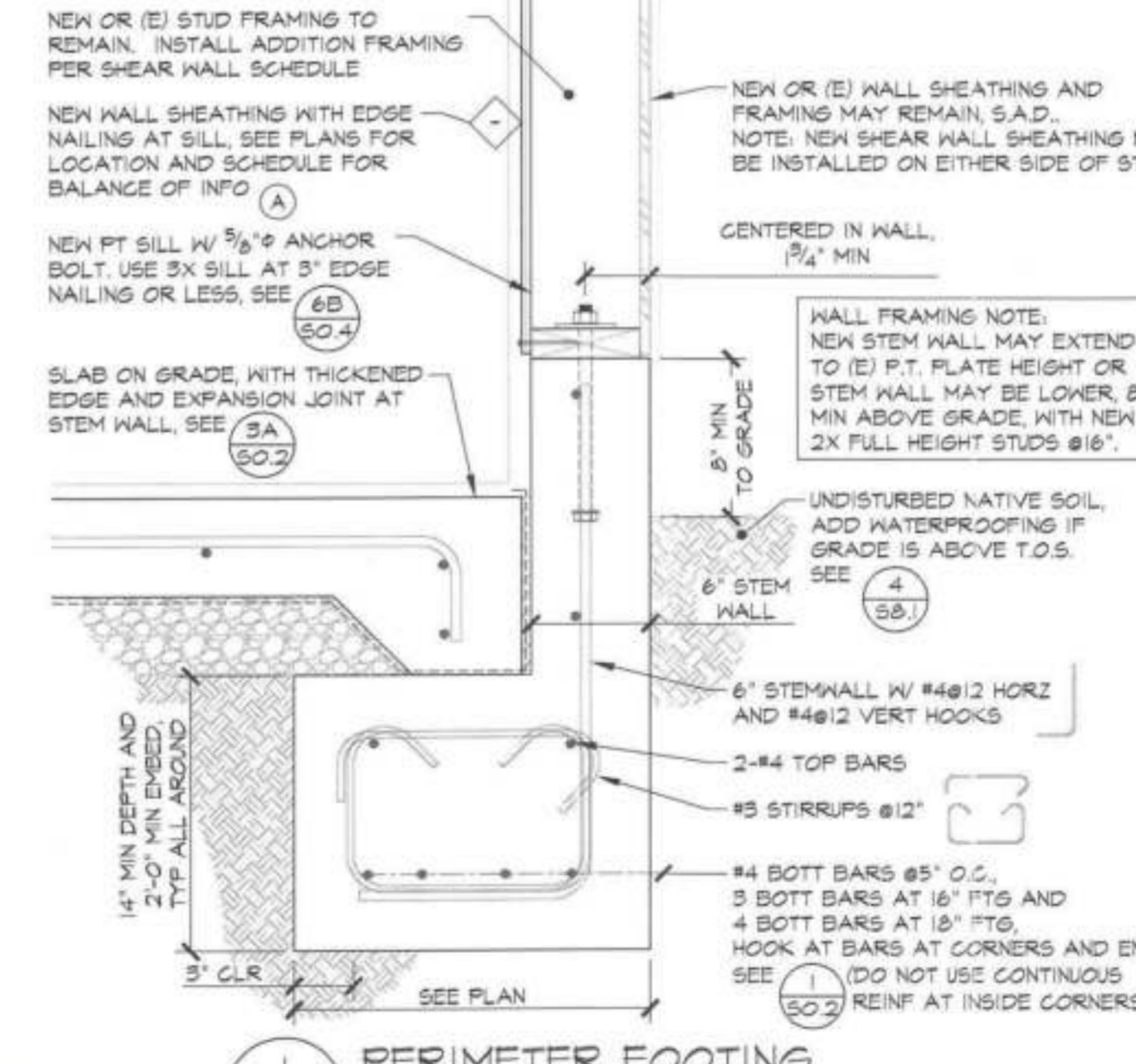
**7** RETAINING WALL  
SB.1 SEQUENCED INSTALL 1" = 1'-0"



**4** RETAINING WALL AT PERIMETER  
SB.1 1" = 1'-0"



**2** TOP OF SHEAR WALL  
SB.1 JOISTS PARALLEL TO WALL 1/2"

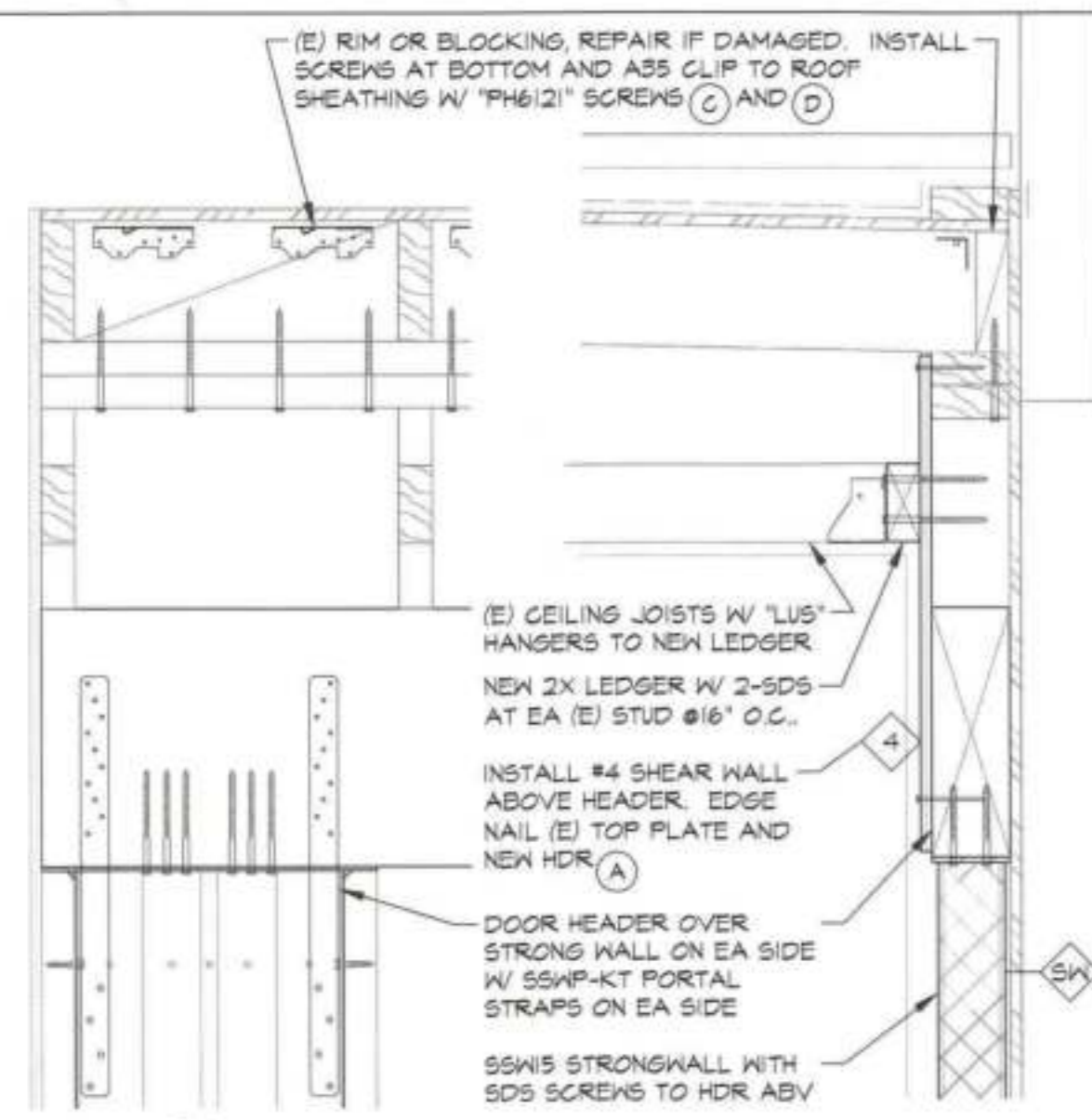


**1** PERIMETER FOOTING  
SB.1 1/2" = 1'-0"

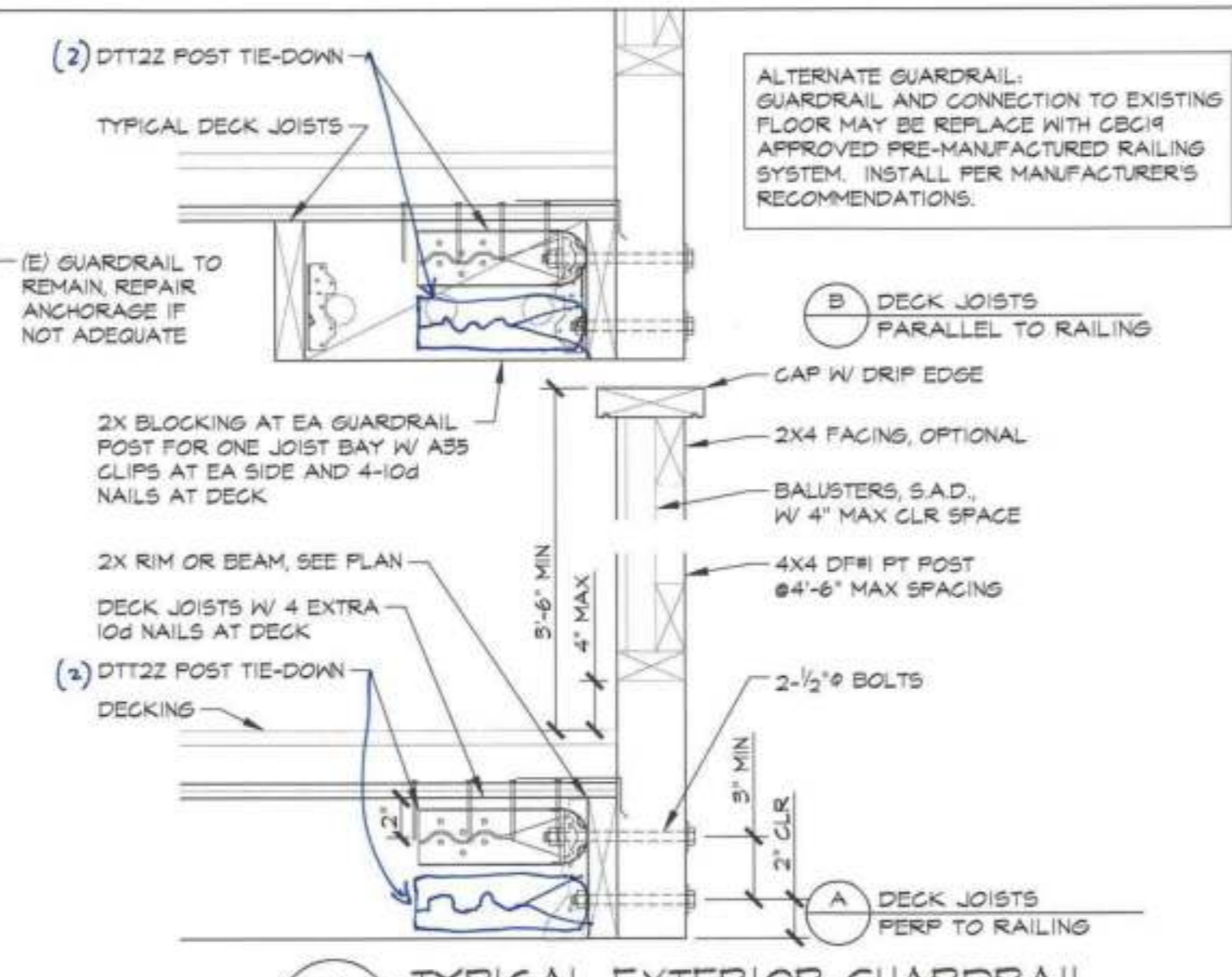


Sue Quan, DBI  
JUL 20 2021

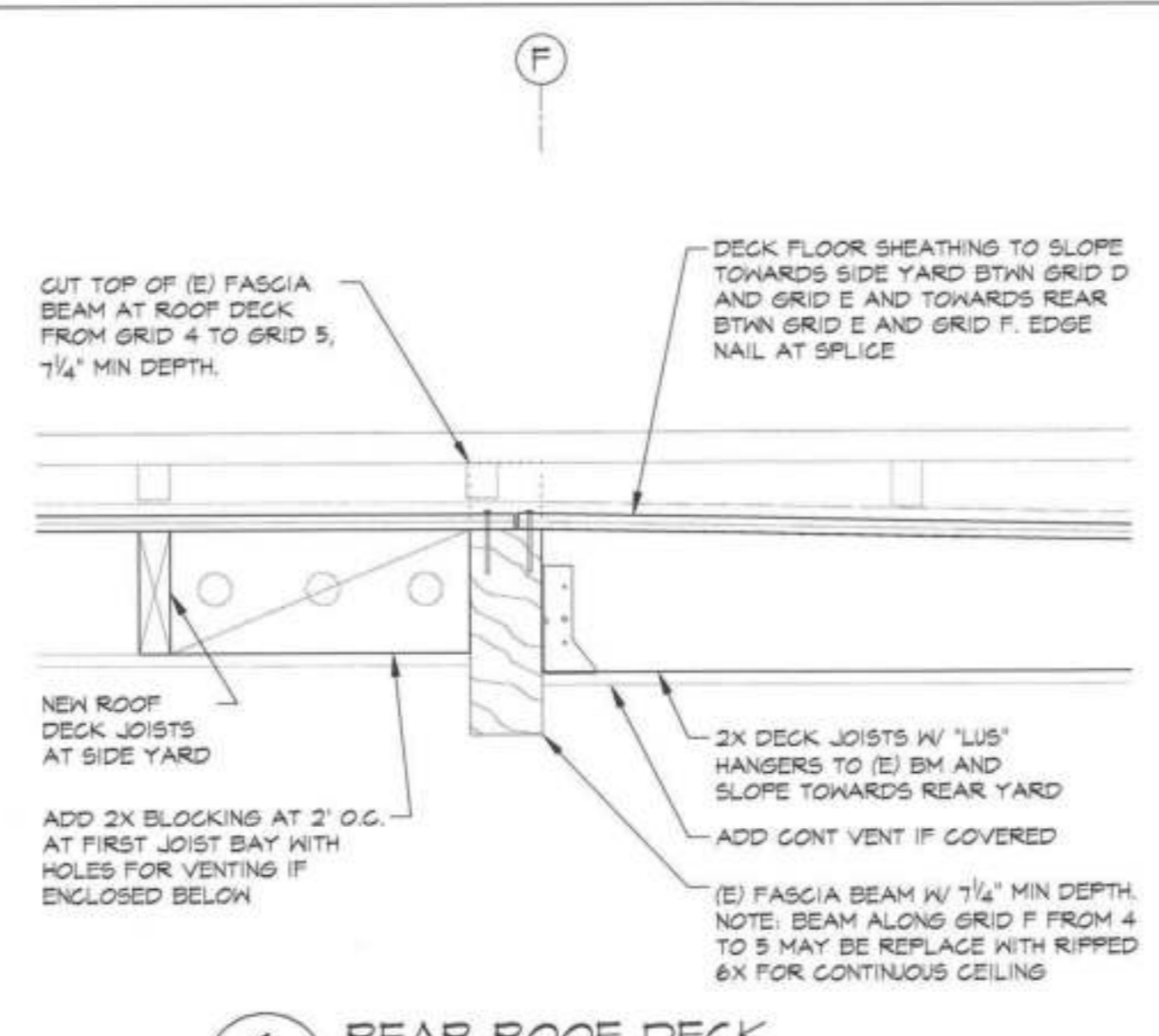




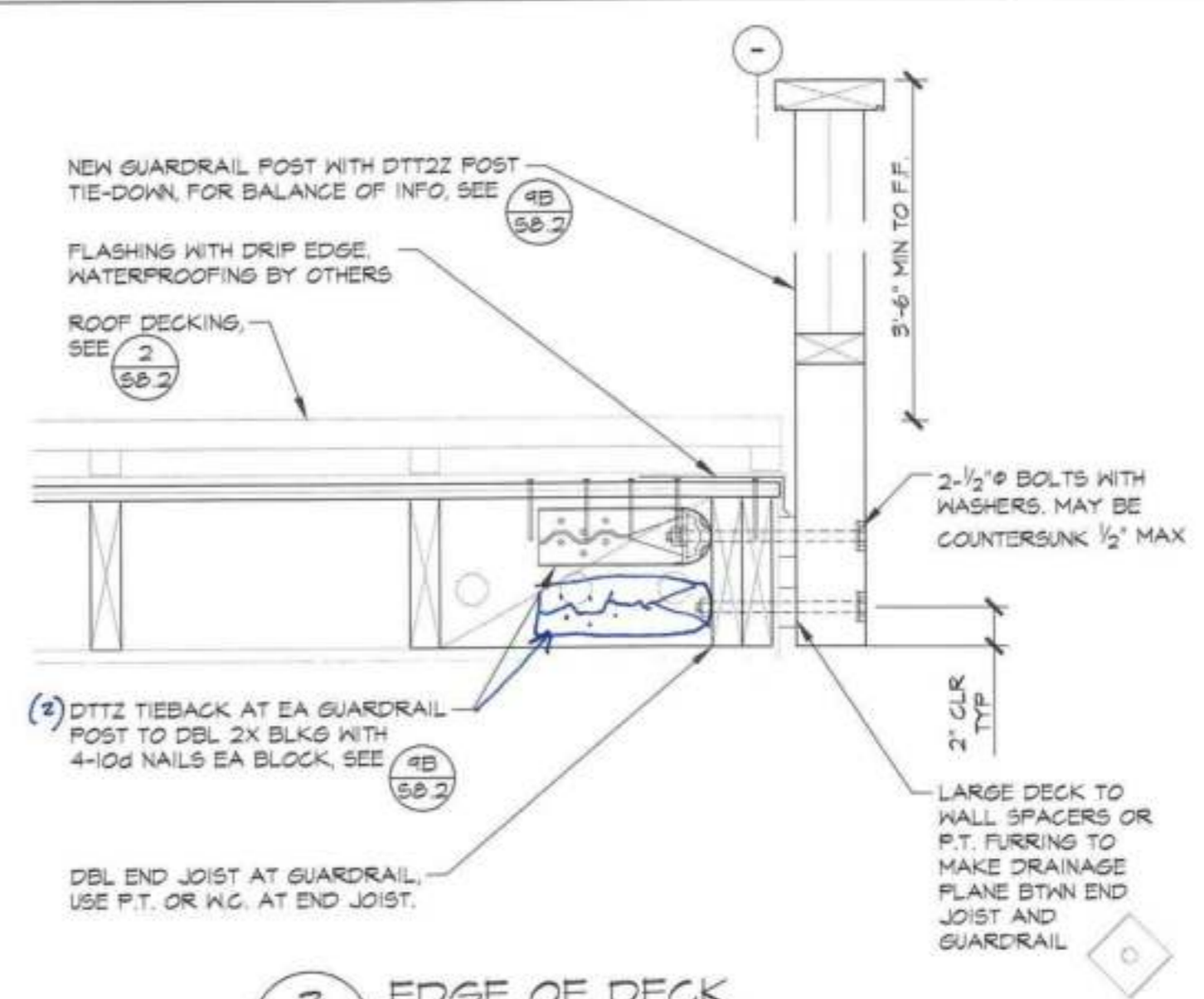
**12** TOP OF STRONG WALL AT EXISTING ROOF  
S8.2 1 1/2" x 1'-0"



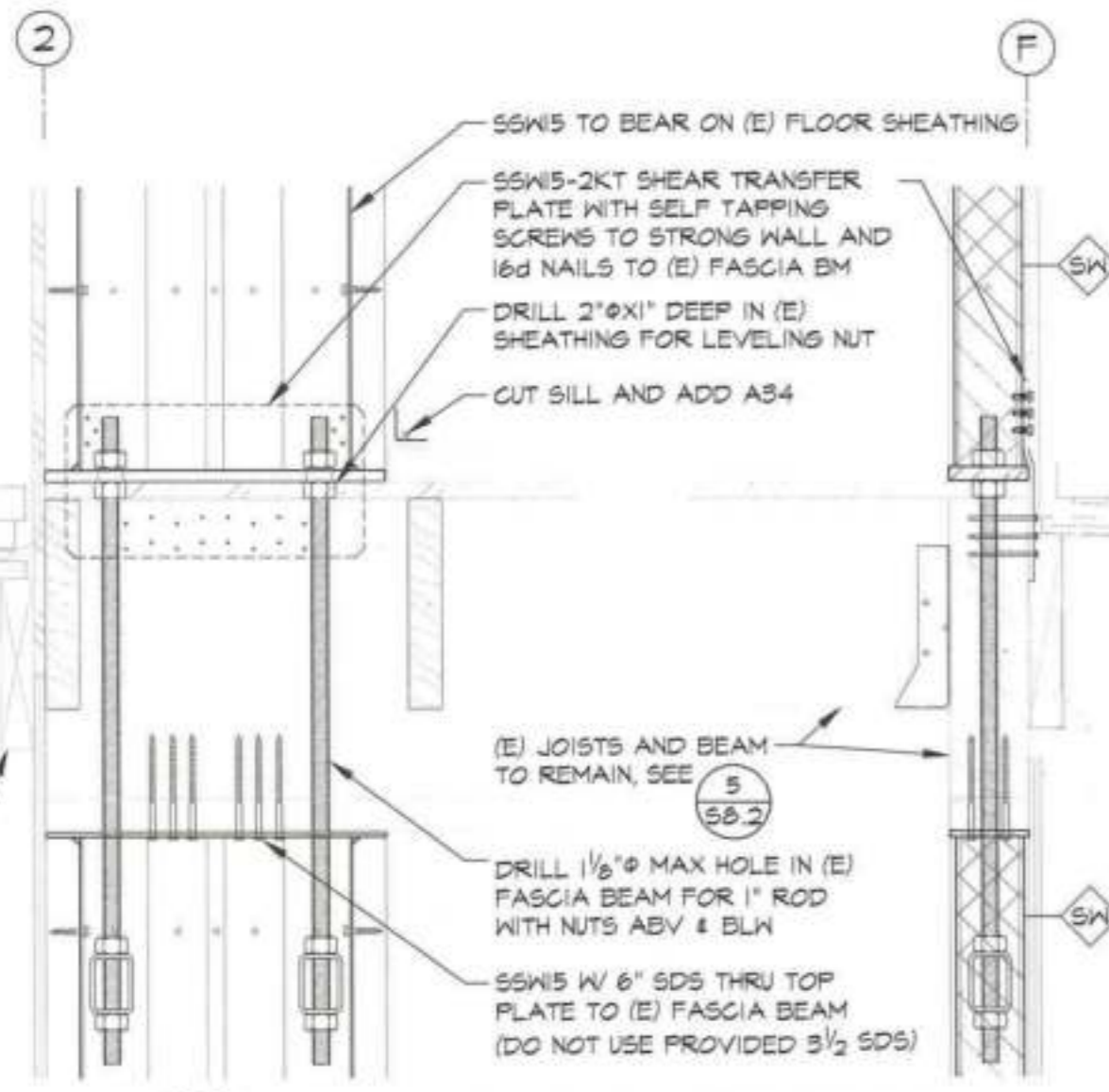
**9** TYPICAL EXTERIOR GUARDRAIL  
S8.2 1 1/2" x 1'-0"



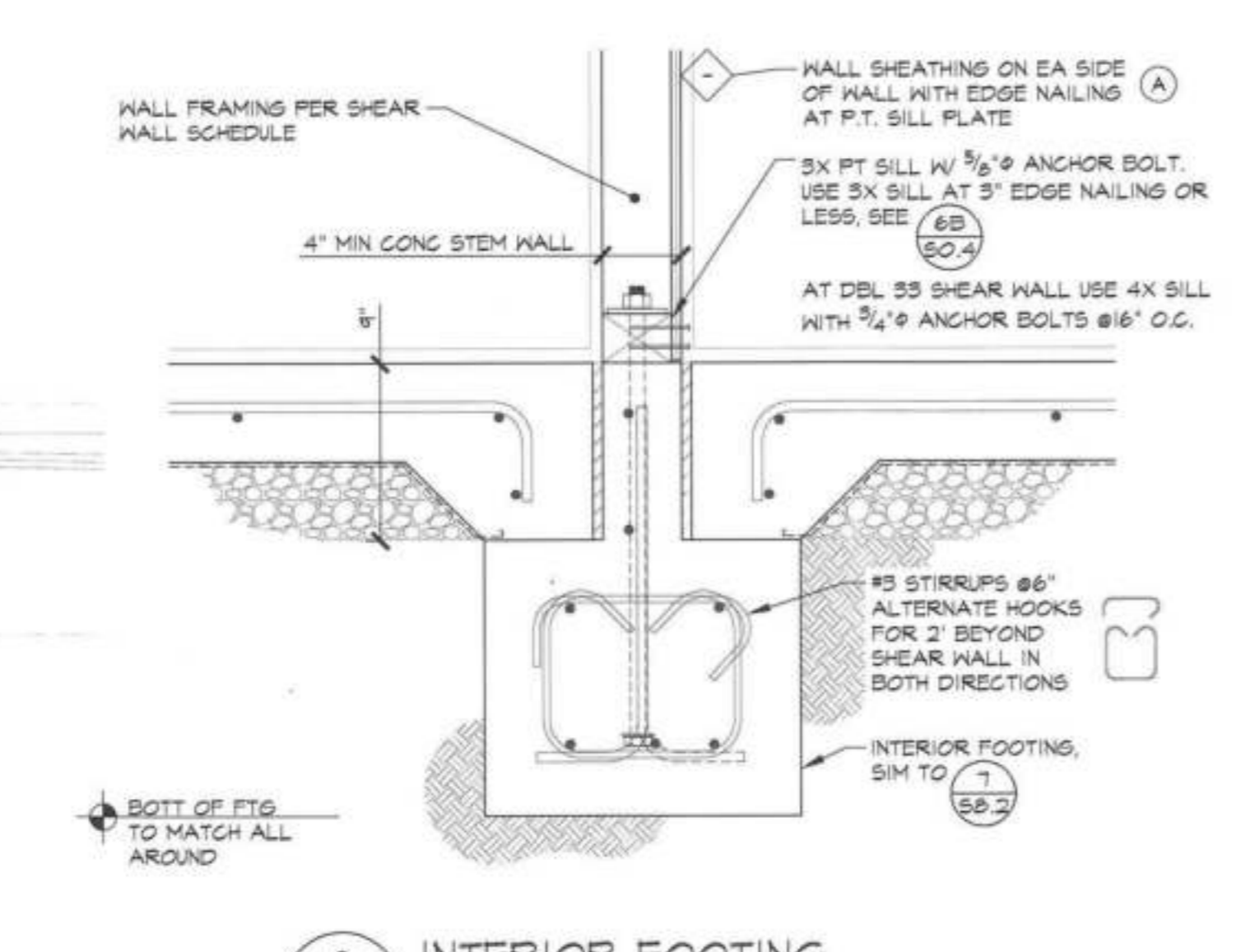
**6** REAR ROOF DECK AT JOIST DIR CHANGE  
S8.2 1 1/2" x 1'-0"



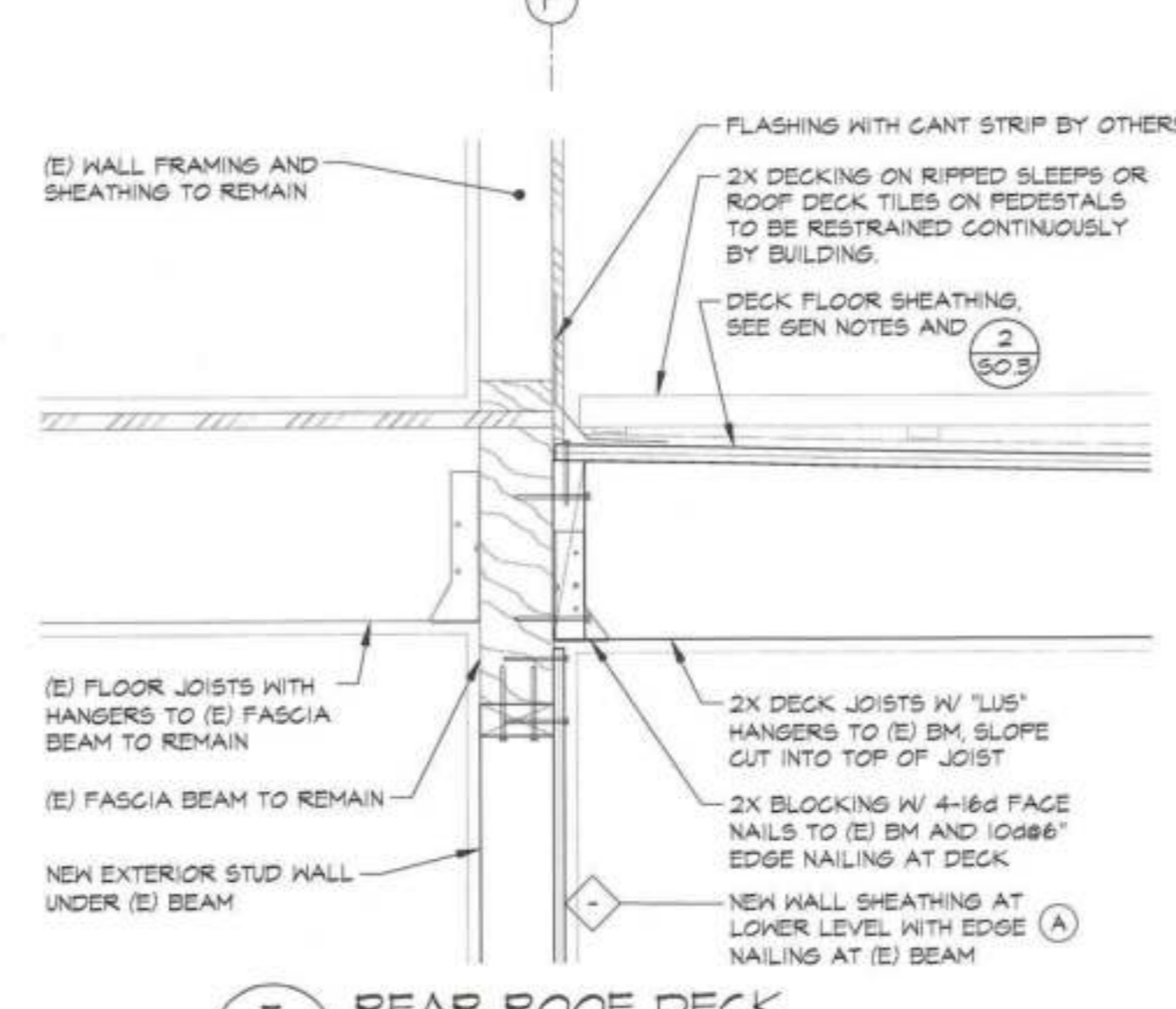
**3** EDGE OF DECK JOIST PARALLEL  
S8.2 1 1/2" x 1'-0"



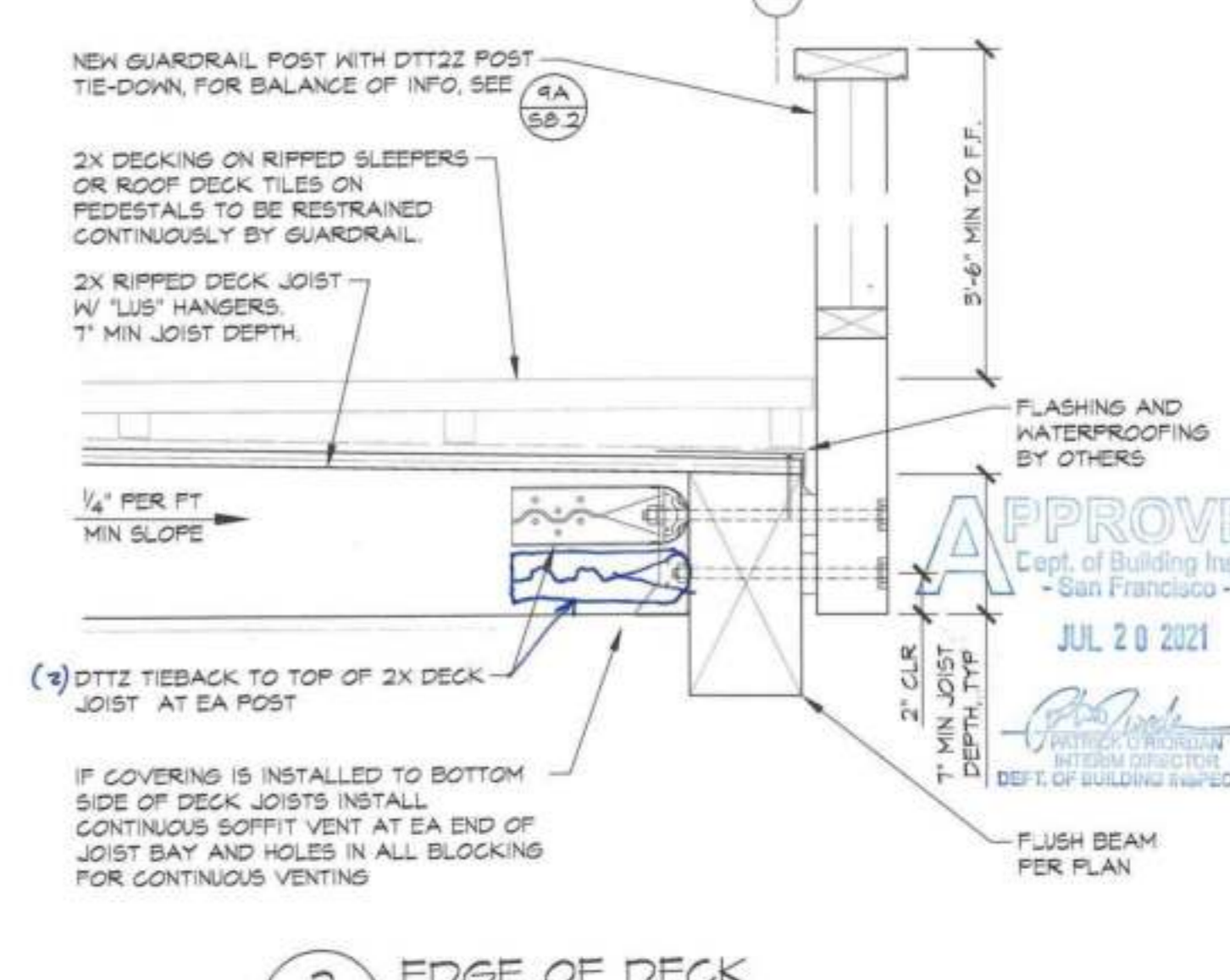
**11** STRONG WALL THRU FLOOR  
S8.2 1 1/2" x 1'-0"



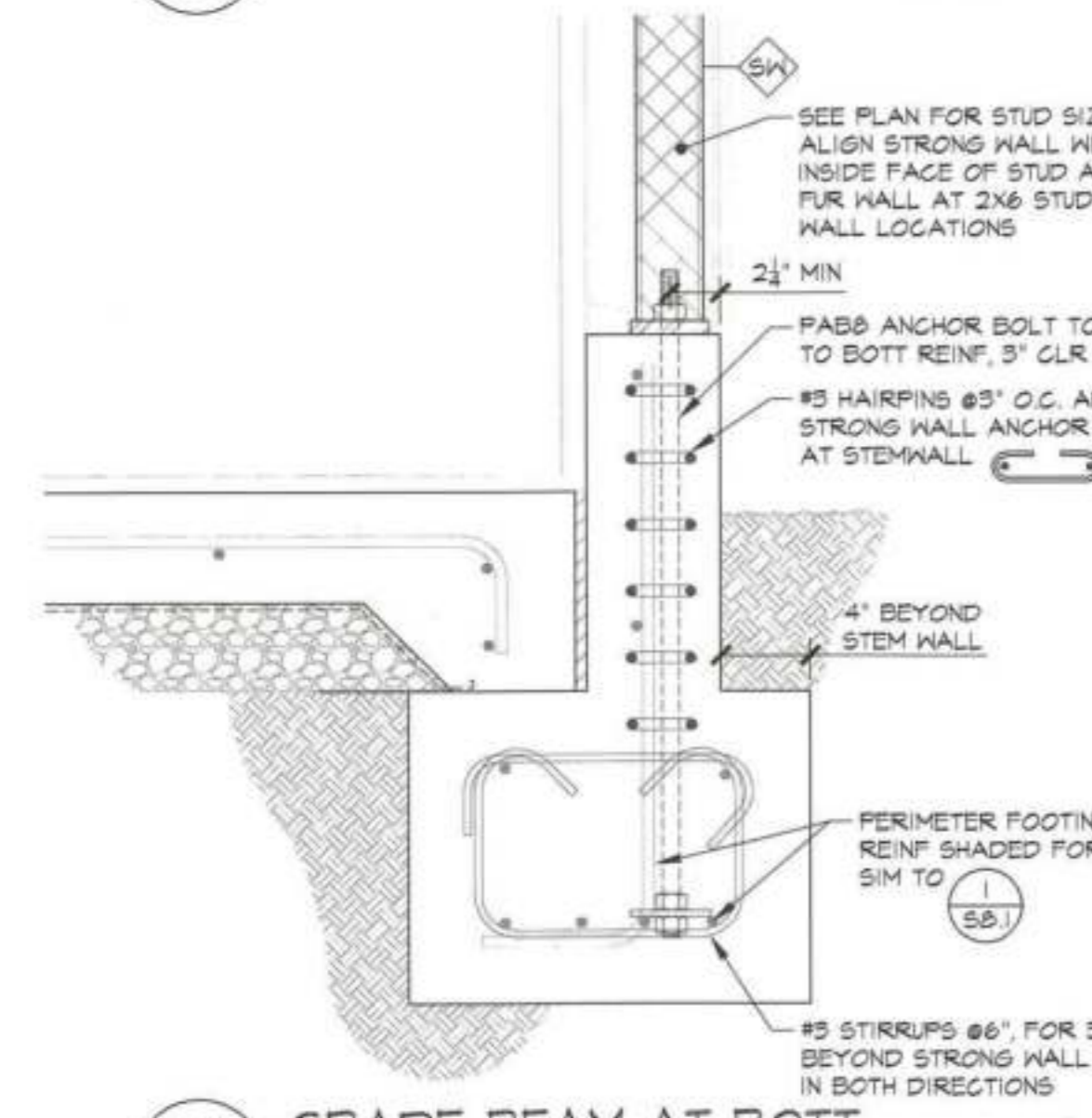
**8** INTERIOR FOOTING AT SHEAR WALL  
S8.2 1 1/2" x 1'-0"



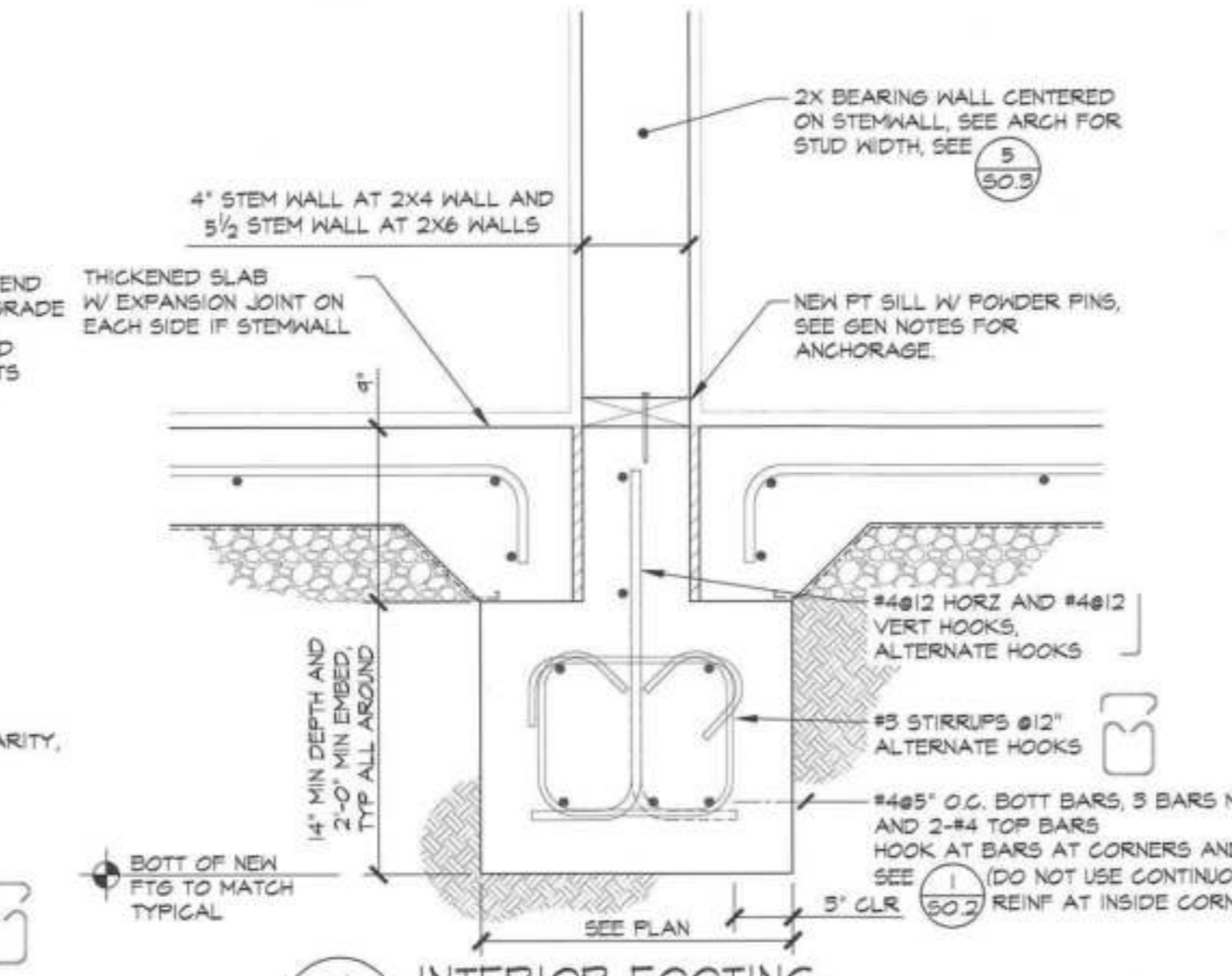
**5** REAR ROOF DECK AT EXISTING WALL  
S8.2 1 1/2" x 1'-0"



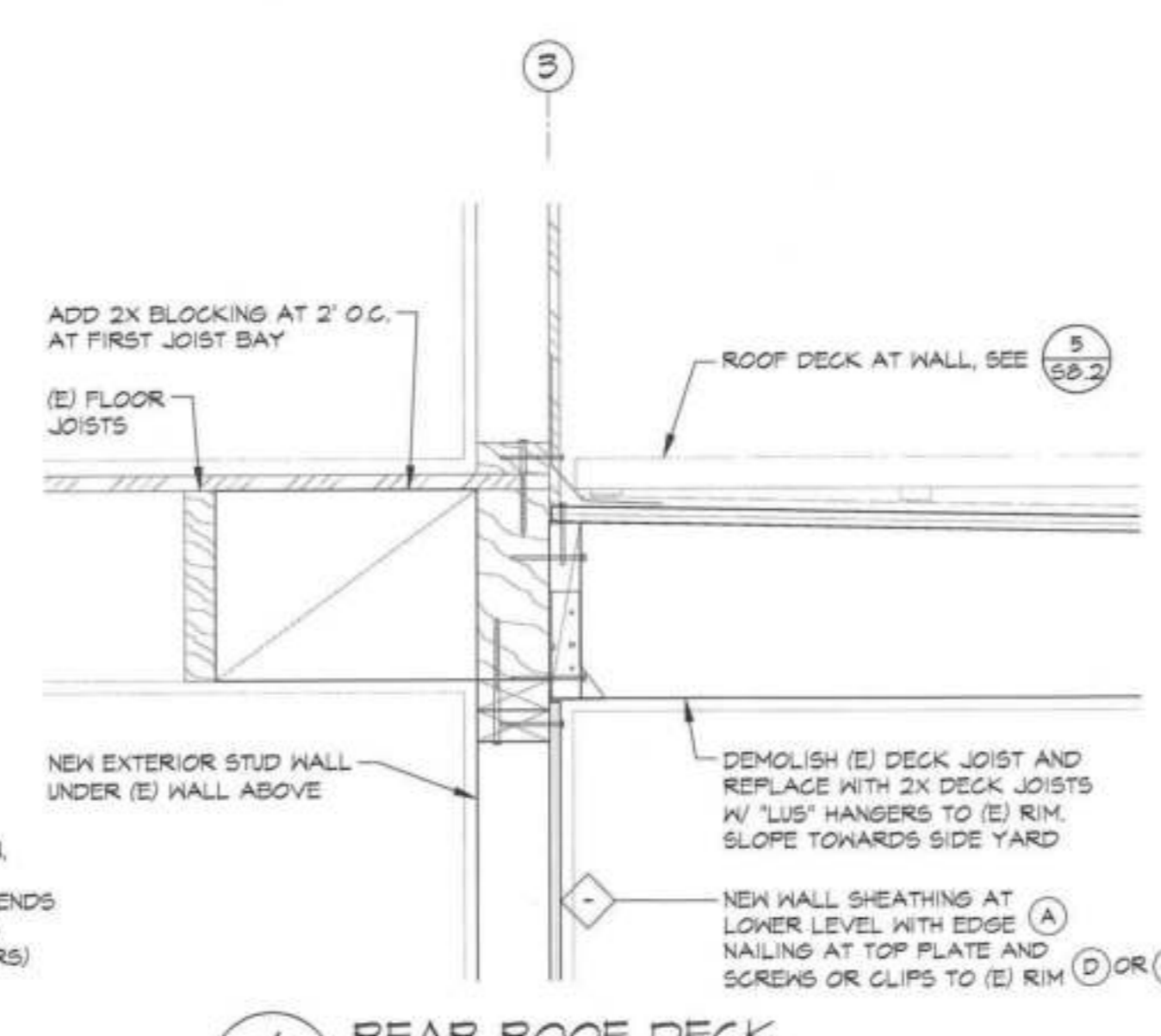
**2** EDGE OF DECK AT FLUSH BEAM  
S8.2 1 1/2" x 1'-0"



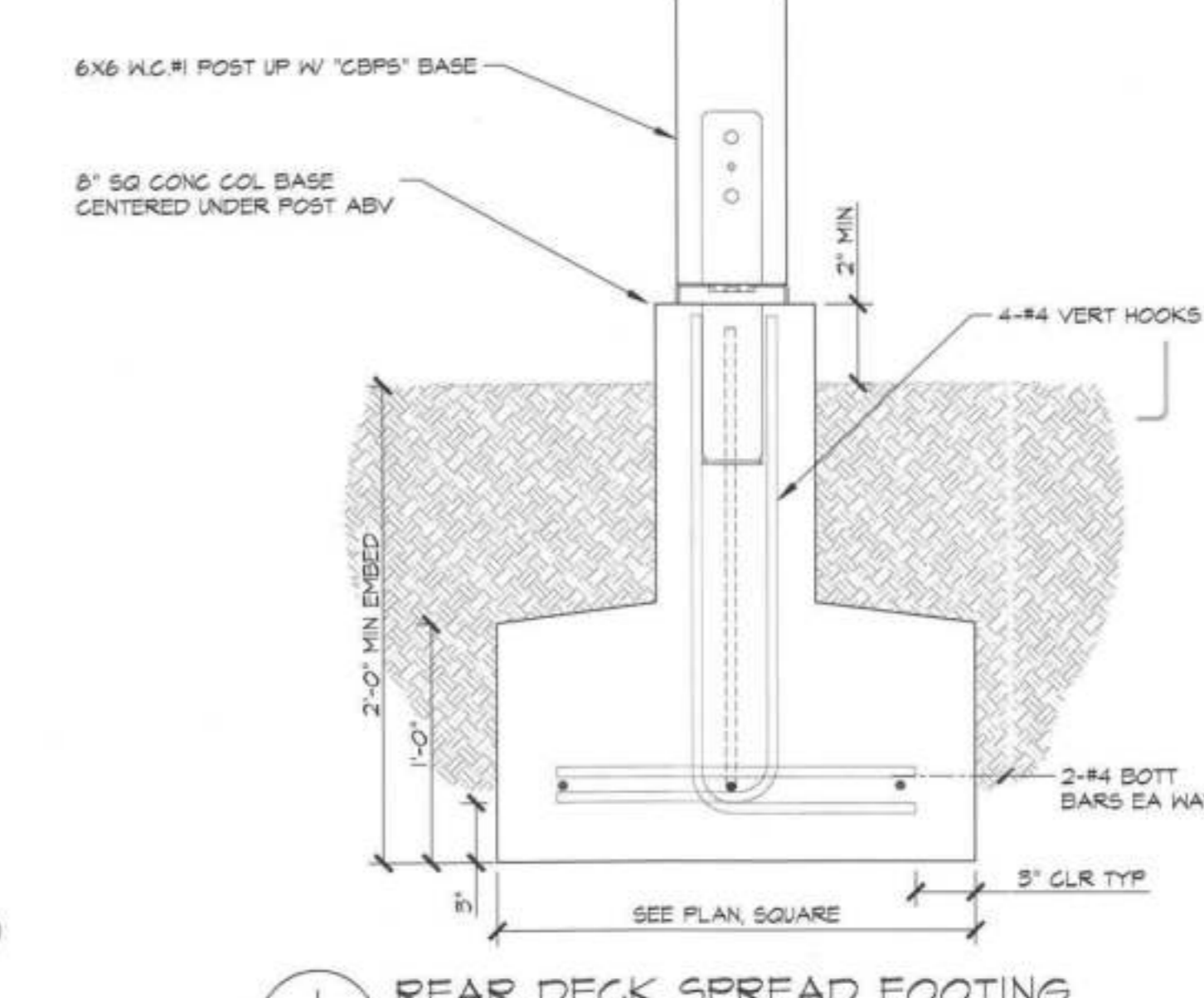
**10** GRADE BEAM AT BOTT OF STRONG WALL  
S8.2 1 1/2" x 1'-0"



**7** INTERIOR FOOTING AT BEARING WALLS  
S8.2 1 1/2" x 1'-0"



**4** REAR ROOF DECK AT EXISTING WALL  
S8.2 1 1/2" x 1'-0"



**1** REAR DECK SPREAD FOOTING  
S8.2 1 1/2" x 1'-0"



**Residential Remodel**

152 28th Ave  
San Francisco, CA 94121

**TOWN SEND BROWN**  
CE, LEED AP

STRUCTURAL ENGINEERING  
6103 DOVER STREET  
SARILAND, CA 94589  
510.520.7175  
townsend@tsbllcs.com



**APPROVED**  
Dept. of Building Insp.  
- San Francisco -  
JUL 20 2021

Issue: Permit Date: 6/18/2021

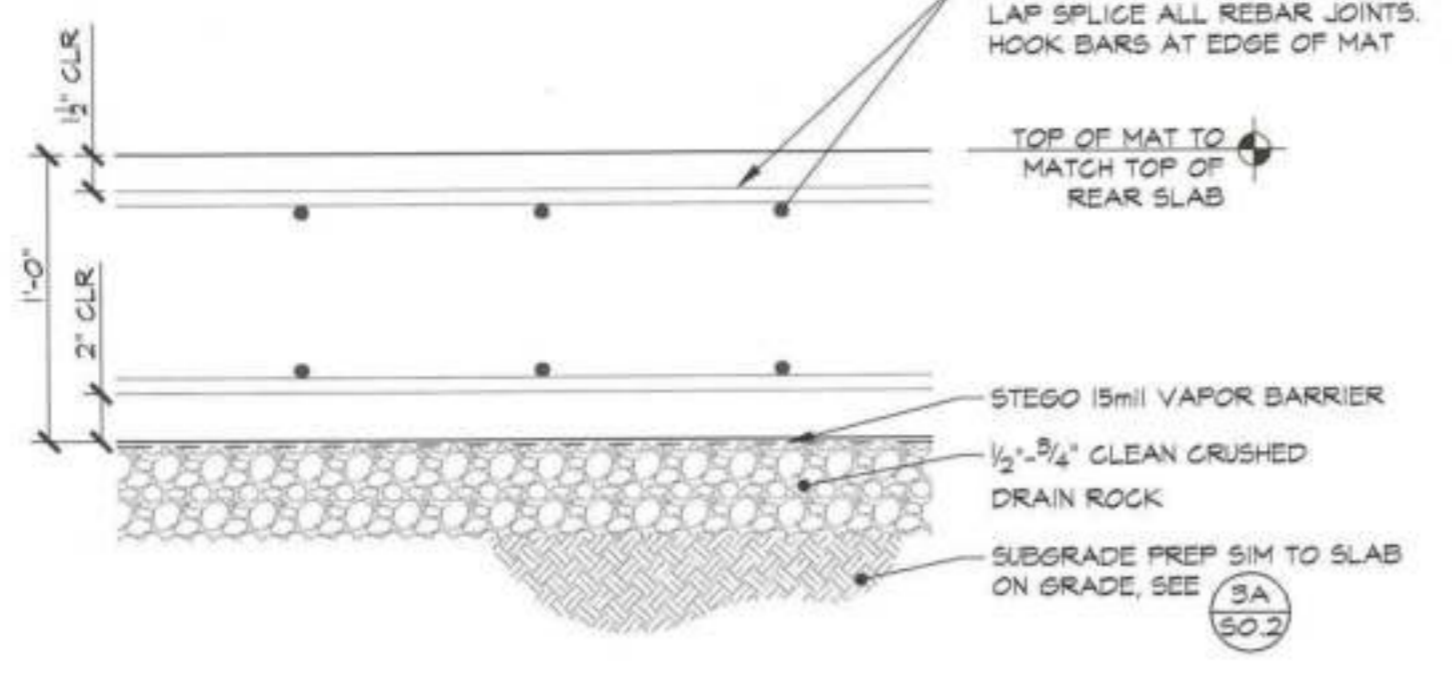
**RECEIVED**  
JUL 20 2021  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARDS FOR MARKING  
ACCEPTED

**Concrete and Framing Details**

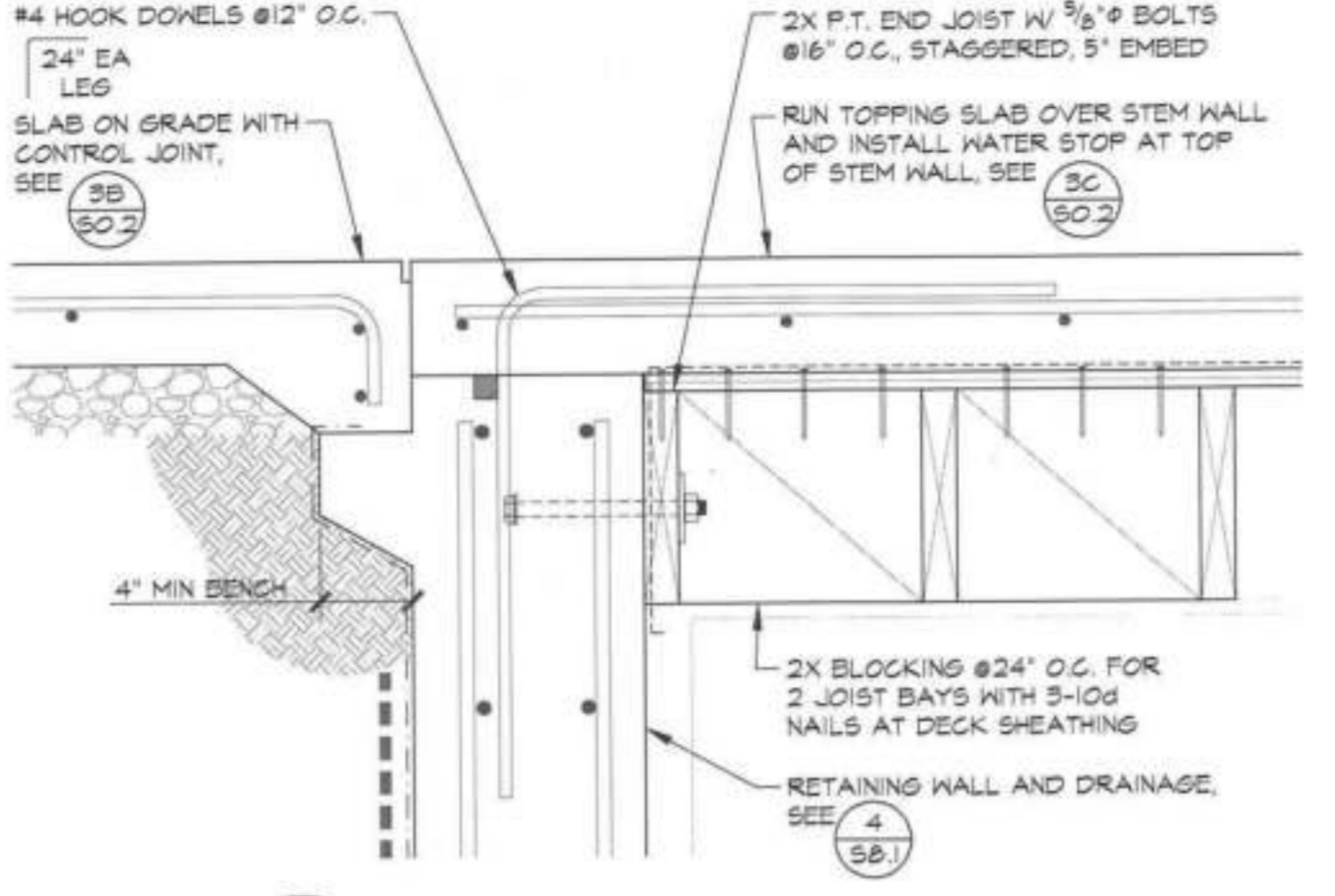
**Structural**

**S8.3**

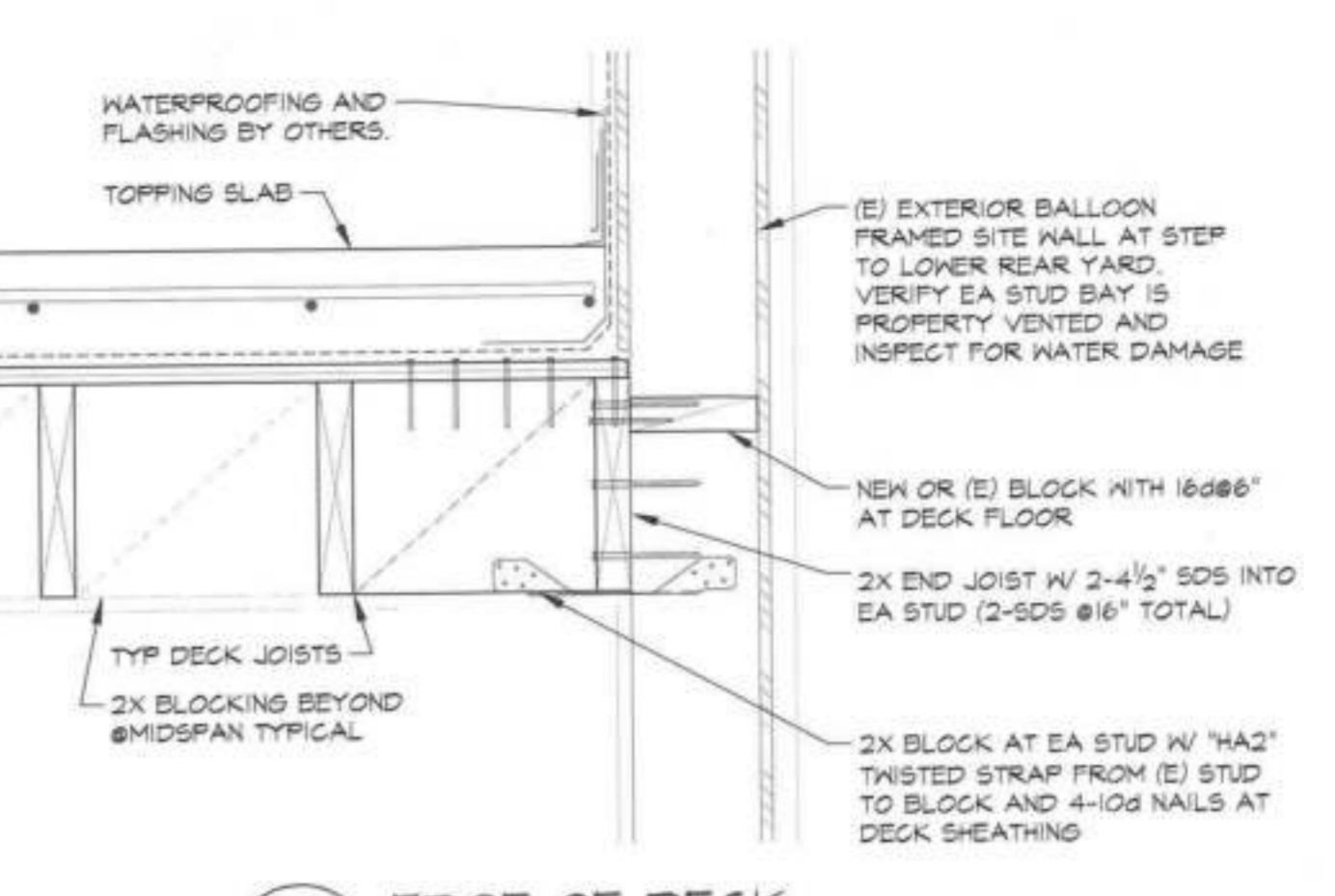
MAT SLAB MAY BE USED FOR RETAINING WALL FOOTING AND MAY REPLACE SLAB ON GRADE.  
• MAT TO MATCH TOP OF SLAB AT REAR.  
• STEP MAT DOWN AT SLAB ON GRADE TRANSITION PER IO/SO 2 AND DOWEL ALL BARS AT REAR PERIMETER FOOTINGS.  
• CONTROL JOISTS NOT REQ'D AT MAT SLAB.



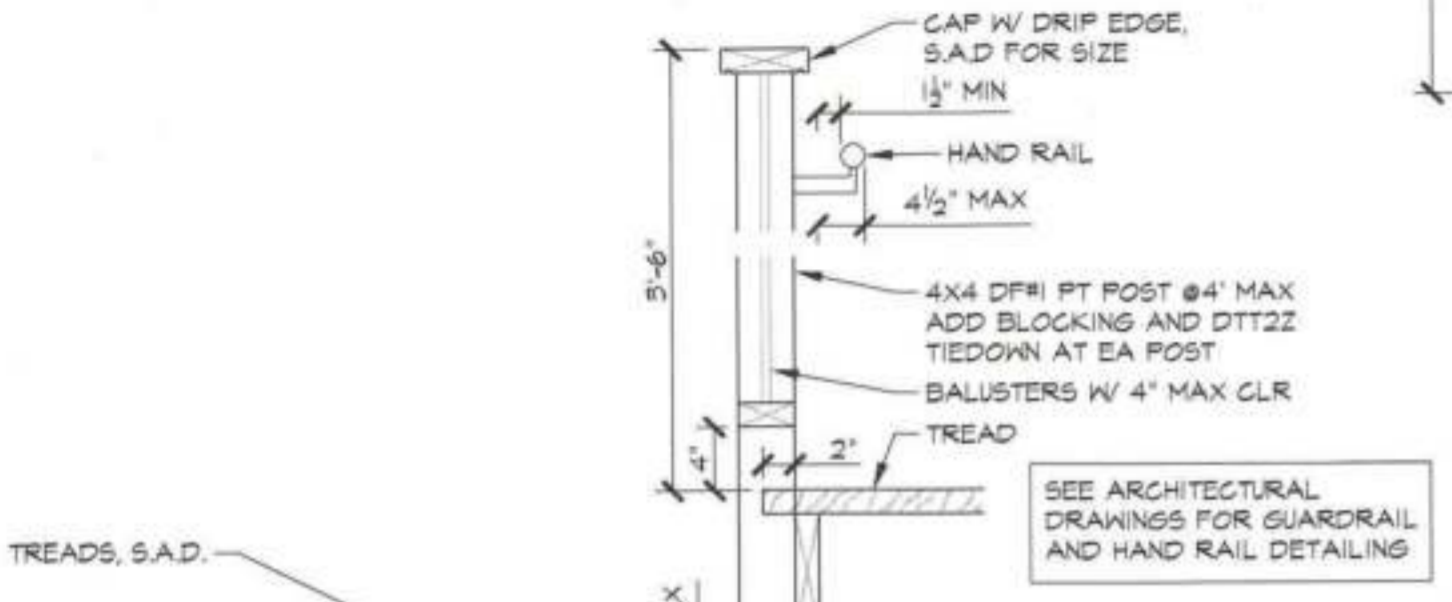
**9 MAT FOUNDATION ALTERNATE FOOTING**  
S8.3 1 1/2" = 1'-0"



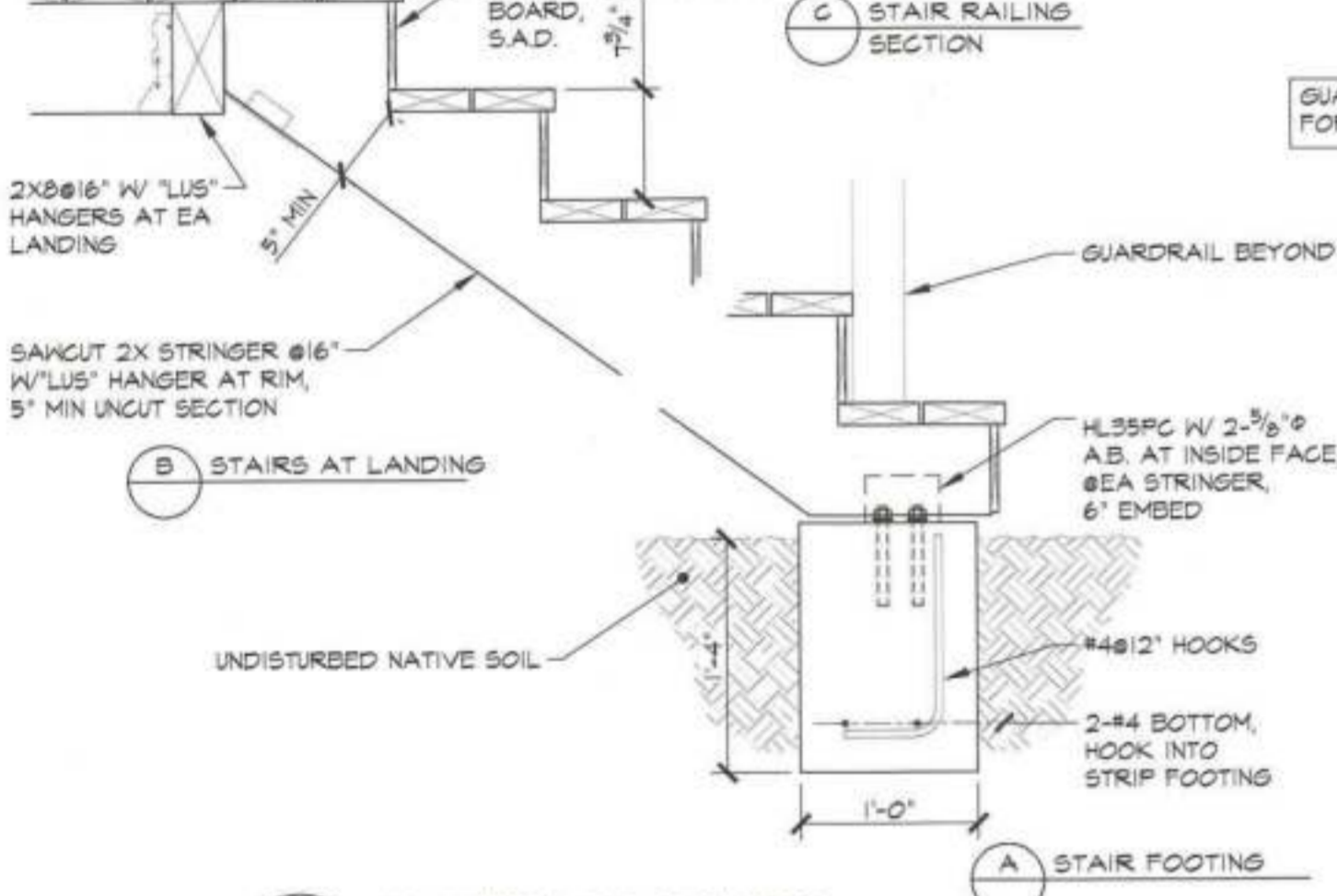
**6 EDGE OF DECK AT FLUSH BEAM**  
S8.3 1 1/2" = 1'-0"



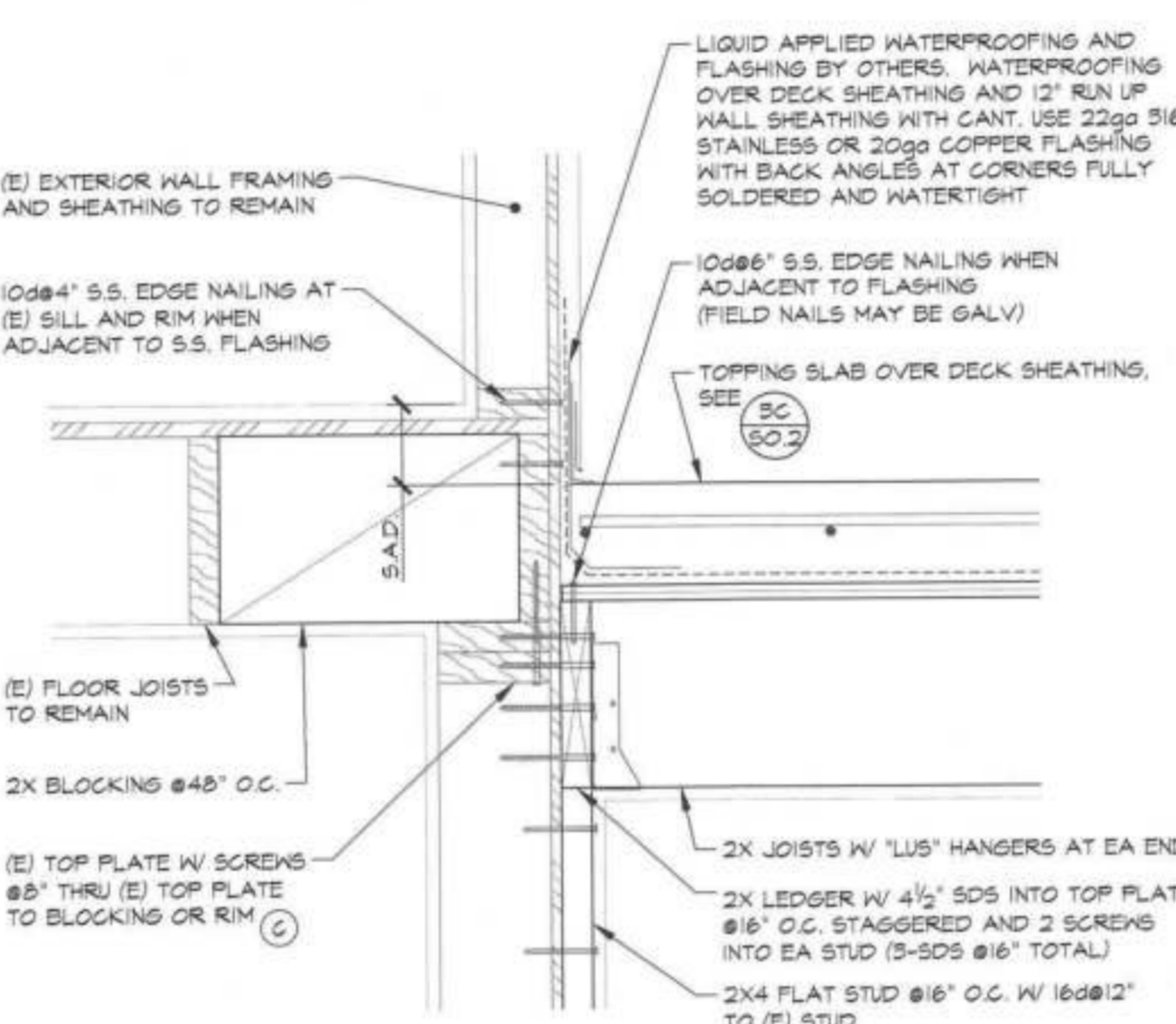
**3 EDGE OF DECK AT FLUSH BEAM**  
S8.3 1 1/2" = 1'-0"



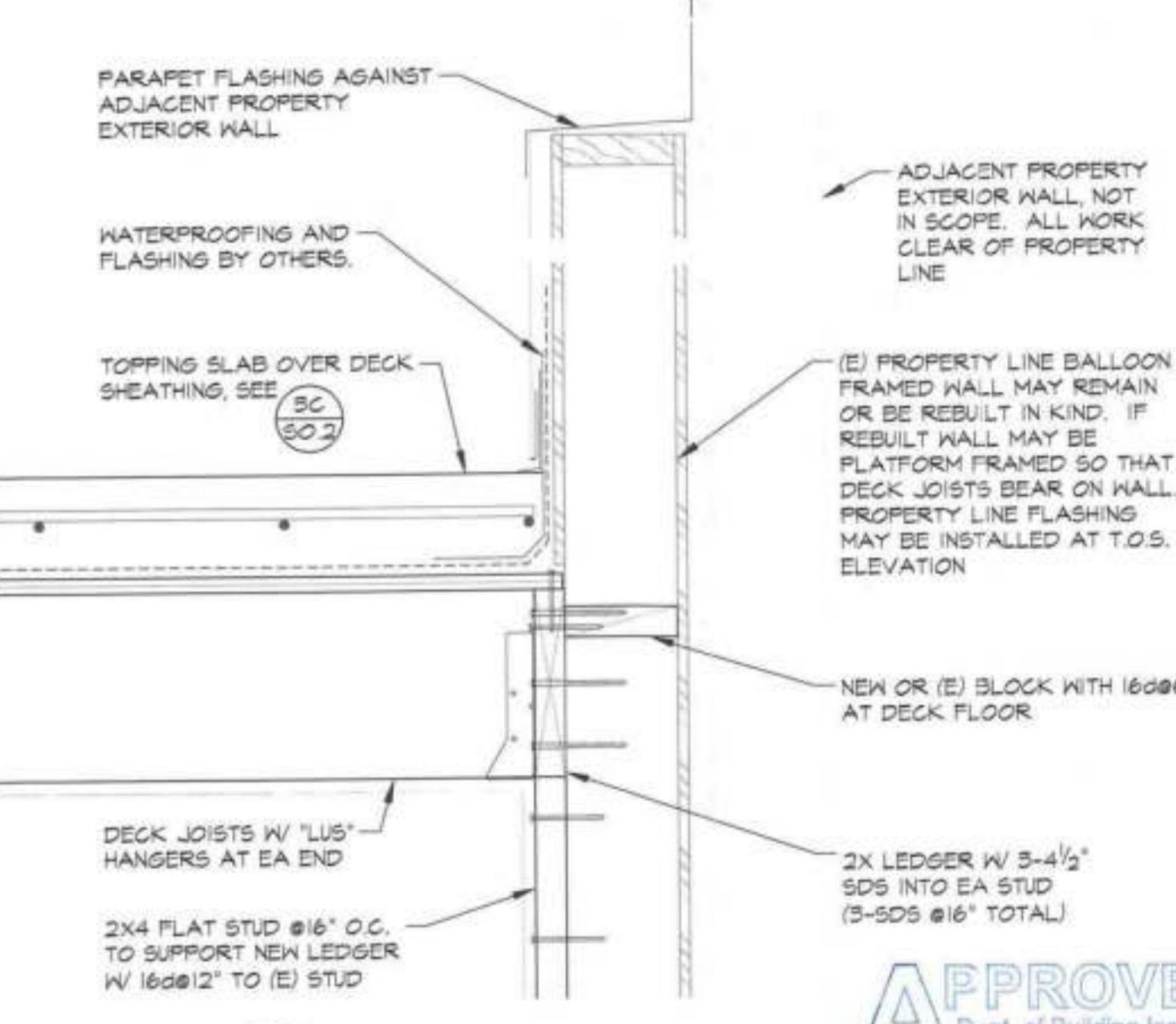
**11 EXTERIOR STAIRS TYPICAL DETAILS**  
S8.3 1" = 1'-0"



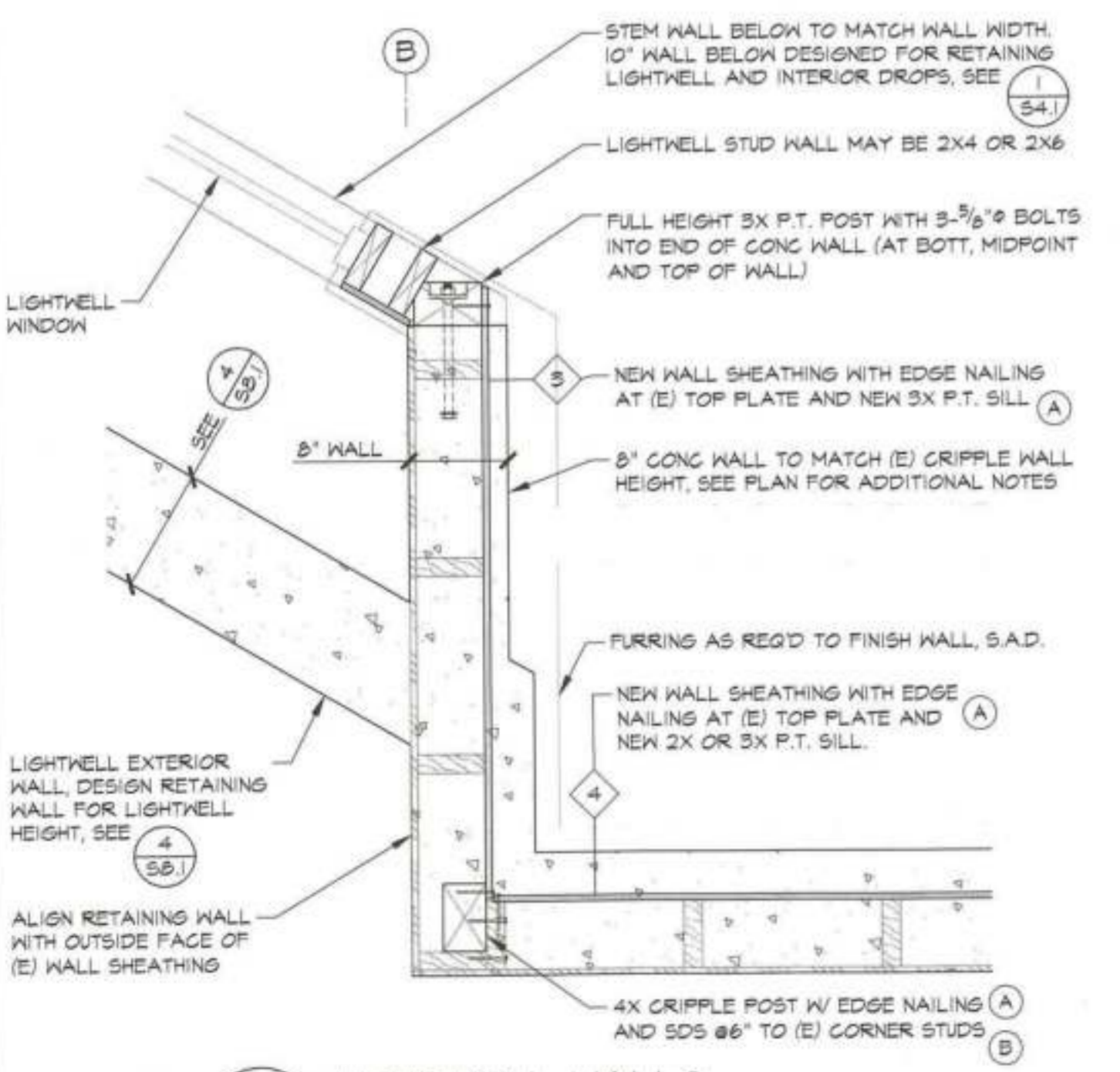
**8 KNEE BRACE**  
S8.3 1" = 1'-0"



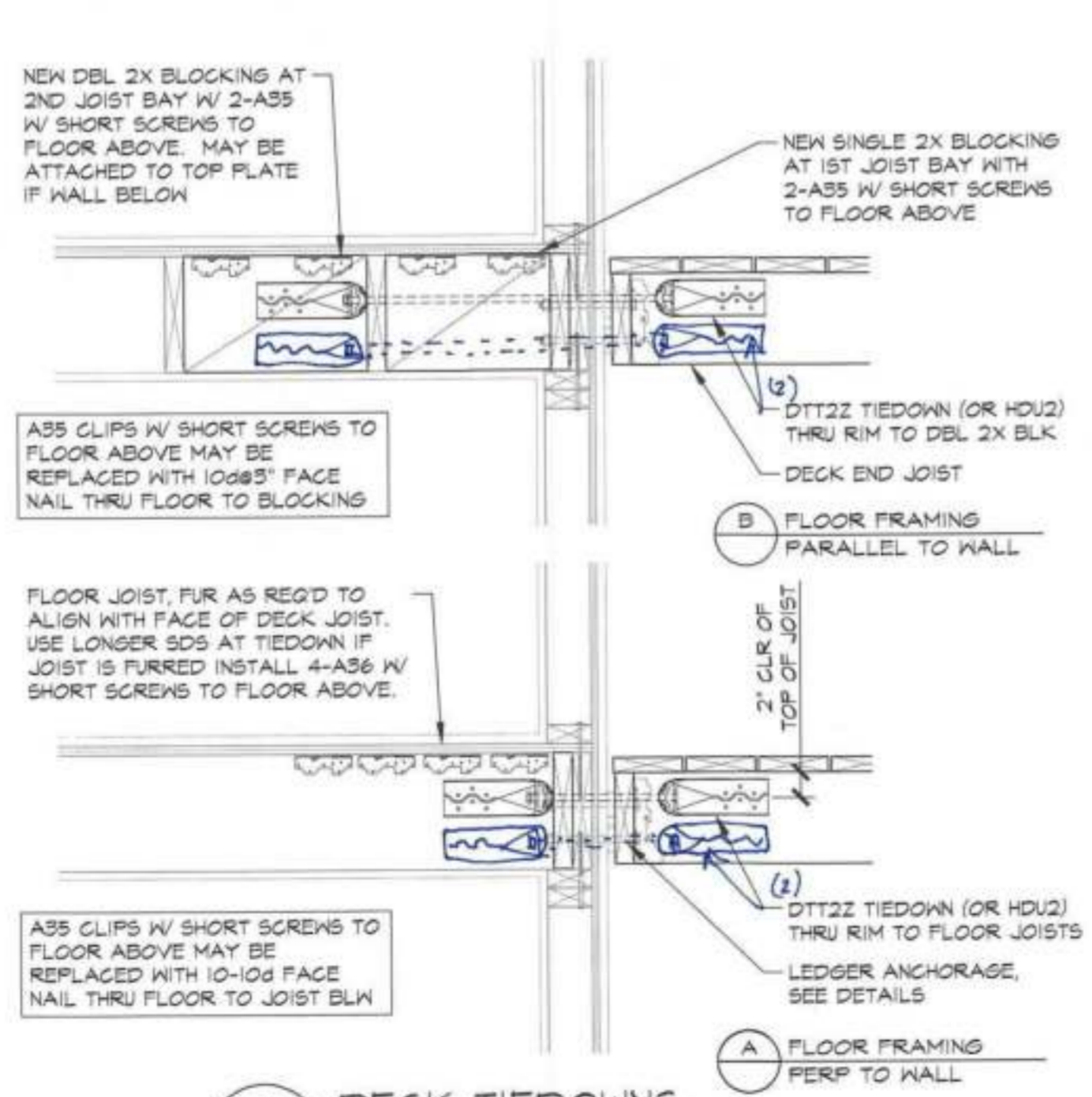
**5 EDGE OF DECK AT FLUSH BEAM**  
S8.3 1 1/2" = 1'-0"



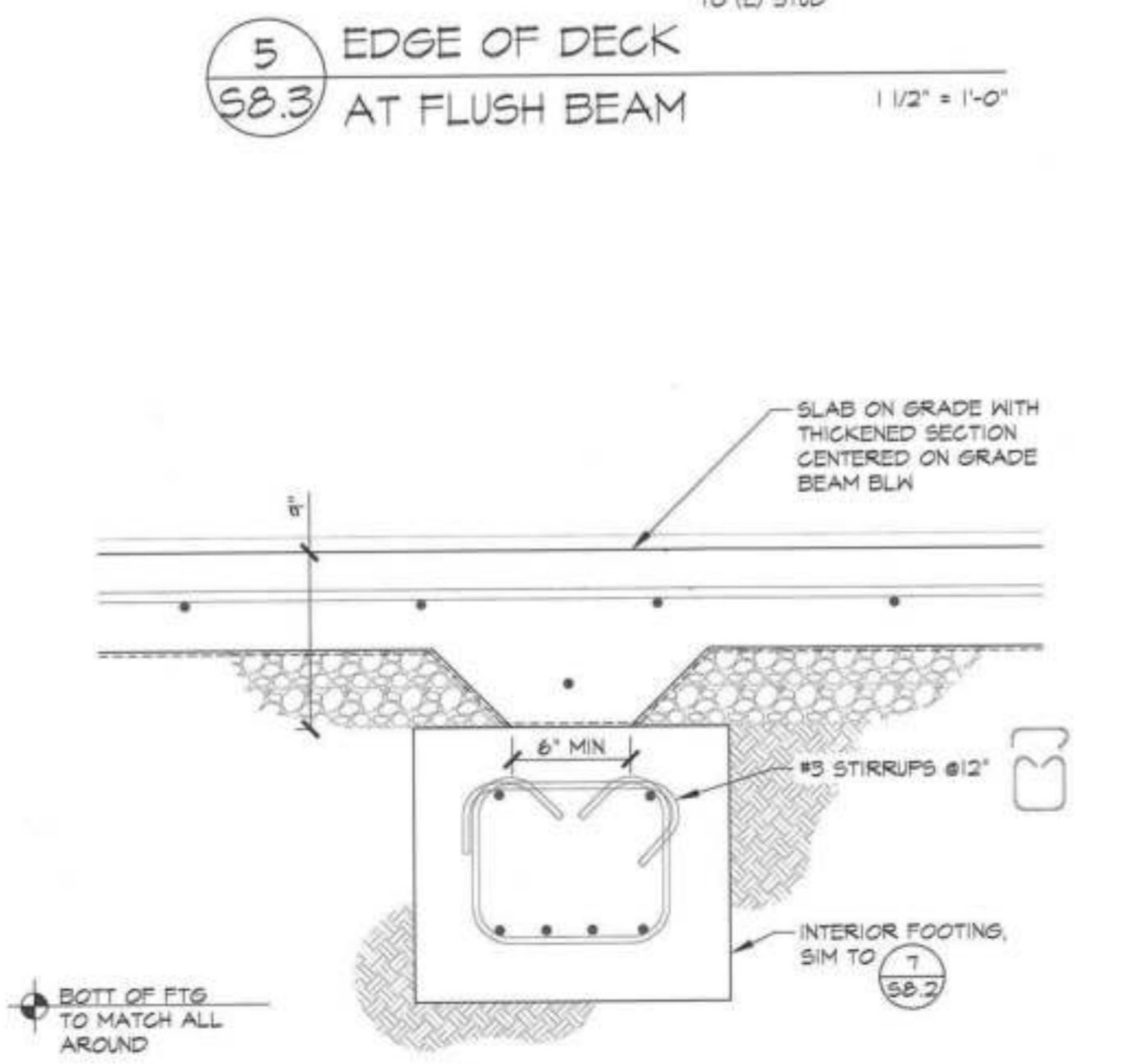
**2 EDGE OF DECK AT FLUSH BEAM**  
S8.3 1 1/2" = 1'-0"



**10 LIGHTWELL WALLS ALONG GRID B**  
S8.3 1" = 1'-0"



**7 DECK TIEDOWNS AT WOOD FLOOR**  
S8.3 1" = 1'-0"



**4 TIE BEAM AT DOORS AND HALLWAYS**  
S8.3 1 1/2" = 1'-0"

**1 NOT USED**  
S8.3



## **EXHIBIT B**



152 28th Ave.

152 28th Ave





158 28th Ave.

152 28th Ave.





158 28th Ave.

152 28th Ave.





152 28th Ave.

148 28th Ave.





## **EXHIBIT C**



**Pursuant to Subdivision (b) of Section 12956.1 of the Government Code, the following notice is printed in 14-point boldface type.**

**NOTICE**

**If this document contains any restriction based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, that restriction violates state and federal fair housing laws and is void, and may be removed pursuant to Section 12956.2 of the Government Code. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.**



THE following is a particular description of said residue of said estate referred to in said Decree, and of which distribution is ordered, adjudged and decreed as aforesaid, to-wit:

REAL PROPERTY

ALL that certain lot, piece or parcel of land situate, lying and being in the City and County of San Francisco, State of California, and bounded and more particularly described as follows, to-wit:-

COMMENCING at a point on the Northerly line of Lombard Street, distant thereon fifty-five (55) feet Westerly from the Westerly line of Pierce Street, running thence Westerly and along said line of Lombard Street twenty-seven (27) feet and six (6) inches; thence at right angles Northerly one hundred (100) feet; thence at right angles Easterly twenty-seven (27) feet and six (6) inches and thence at right angles Southerly one hundred (100) feet to the Northerly line of Lombard Street and the point of commencement.

BEING a portion of Western Addition Block Number 415.

TOGETHER with all and singular the tenements, hereditaments and appurtenances therunto belonging or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof.

SIXTH: That said Administrator upon payment and delivery of said property and upon filing receipts for same, be fully and finally discharged.

DONE, given, made and dated in open Court this 31st day of July, 1922.

THOS. F. GRAHAM,  
Judge of said Superior Court.

ENDORSED Filed July 31 1922, H. I. MULCREVY, Clerk, By E. B. GILSON, Deputy Clerk.

Office of the County Clerk  
of the City and County of San Francisco

I, H. I. Mulcrevy, County Clerk of the City and

County of San Francisco, and ex-officio Clerk of the Superior Court thereof, do hereby certify the foregoing to be a full, true and correct copy of the Decree Settling Account and Final Distribution in the matter of the Estate of Maria Sbragia, deceased, now on file and of record in my office.

WITNESS my hand and the seal of said Court this 31st day of July A. D. 1922.

(Seal)

H. I. MULCREVY, County Clerk,  
By S. I. HUGHES, Deputy County Clerk.

Recorded at request of Victor Sbragia, July 31, 1922, at 51 min. past 10 A. M.

No. X 4650

Fee \$2.50

Vol. 20.

Compared--Book

Compared--Document

=====

JOHN BRICKELL COMPANY } 1-\$30.00 & 1-\$10.00 U.S.I.R. Stamps Cancelled,  
TO }  
HARRY B. ALLEN }

THIS INDENTURE, made and executed on the 26th day of July, 1922, by and between JOHN BRICKELL COMPANY, a corporation, organized and existing under the laws of the State of California, the party of the first part and HARRY B. ALLEN, the party of the second part.

WITNESSETH: That said party of the first part, in consideration of the restrictions, covenants and conditions hereinafter set forth by the said party of the second part, his heirs, executors, administrators and assigns, to be observed, kept and performed, and also for



the sum of TEN (\$10,00) DOLLARS, in Gold Coins of the United States of America, to it in hand paid by the said party of the second part, at or before the unsealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, conveyed and confirmed, and subject to the said covenants and conditions, does hereby grant, bargain, sell, convey and confirm, unto the said party of the second part, and to his heirs and assigns forever, those certain lots, pieces or parcels of land, situate, lying and being in the City and County of San Francisco, State of California, and more particularly described as follows, to-wit:

PARCEL #1 - BEGINNING at a point on the Northerly line of Lake Street, distant thereon one hundred eight (108) feet Westerly from the Westerly line of Twenty-seventh Avenue, and running thence Westerly along said Northerly line of Lake Street, 61,975 feet; thence Northwesterly on a curve to the right of 31,979 feet radius tangent to the preceding curve (central angle  $75^{\circ} 21' 15''$  42.06 feet; thence Northwesterly on a curve to the right of 1430 feet radius tangent to the preceding curve (central angle  $9^{\circ} 15' 10''$ ) 6,309 feet; thence Easterly and parallel with the said Northerly line of Lake Street 94,497 feet; thence at a right angle Southerly thirty (30) feet to the point of beginning.

PARCEL #2 - BEGINNING at a point distant Westerly one hundred eight (108) feet from the Westerly line of Twenty-seventh Avenue, measured at right angles thereto and distant Northerly thirty (30) feet from the Northerly line of Lake Street, measured at right angles thereto; running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue, 30.50 feet; thence at right angles Westerly 101,967 feet to the intersection of a curve concave to the East having a radius of 1430 feet; thence to the left and curving to the left along said curve 31,399 feet to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue through the point of beginning; thence Easterly along the line so drawn 94,497 feet to the point of beginning.

PARCEL #3 - BEGINNING at a point distant Westerly one hundred eight (108) feet from the Westerly line of Twenty-seventh Avenue, measured at right angles thereto and distant Northerly 60.50 feet from the Northerly line of Lake Street, measured at right angles thereto; running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue 30.50 feet; thence at right angles Westerly 108,734 feet to the intersection of a curve concave to the East having a radius of 1430 feet; thence to the left and curving to the left along said curve 31,239 feet to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue through the point of beginning; thence Easterly along a line so drawn 101,967 feet to the point of beginning.

PARCEL #4 - BEGINNING at a point distant Westerly one hundred eight (108) feet from the Westerly line of Twenty-seventh Avenue, measured at right angles thereto and distant Northerly ninety-one (91) feet from the Northerly line of Lake Street, measured at right angles thereto; and running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue, nine (9) feet; thence at right angles Westerly twelve (12) feet; thence at right angles Northerly 21.50 feet; thence at right angles Westerly 102,805 feet to the intersection of a curve concave to the East having a radius of 1430 feet; thence to the left and curving to the left along said curve 31.10 feet to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue through the point of beginning; thence Easterly along a line so drawn 108,734 feet to the point of beginning.



PARCEL #5 - BEGINNING at a point distant Westerly one hundred twenty (120) feet from the Westerly line of Twenty-seventh Avenue, measured at right angles thereto and distant Northerly 122.50 feet from the Northerly line of Lake Street, measured at right angles thereto; running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue, 30.50 feet; thence at right angles Westerly 108,194 feet to the intersection of a curve concave to the East, having a radius of 1430 feet; thence to the left and curving to the left along said curve 30,976 feet to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue through the point of beginning; thence Easterly along the line so drawn 102,806 feet to the point of beginning.

PARCEL #6 - BEGINNING at a point distant Westerly one hundred twenty (120) feet from the Westerly line of Twenty-seventh Avenue, measured at right angles thereto, and distant Northerly one hundred fifty-two (152) feet from the Northerly line of Lake Street, measured at right angles thereto; running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue 30.50 feet; thence at right angles Westerly 112,905 feet to the intersection of a curve concave to the East having a radius of 1430 feet; thence to the left and curving to the left along said curve 30,865 feet to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue through the point of beginning; thence Easterly along the line so drawn 106,194 feet to the point of beginning.

PARCEL #7- BEGINNING at a point distant Westerly one hundred twenty (120) feet from the Westerly line of Twenty-seventh Avenue, measured at right angles thereto, and distant Northerly 122.50 feet from the Northerly line of Lake Street, measured at right angles thereto; running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue, 30.50 feet; thence at right angles Westerly 116,942 feet to the intersection of a curve concave to the East having a radius of 1430 feet; thence to the left and curving to the left along said curve 30,761 feet to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue through the point of beginning, thence Easterly along the line so drawn 112,904 feet to the point of beginning.

PARCEL #8 - BEGINNING at a point distant Westerly one hundred twenty (120) feet from the Westerly line of Twenty-seventh Avenue measured at right angles thereto and distant Northerly two hundred thirteen (213) feet from the Northerly line of Lake Street, measured at right angles thereto; and running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue, 30.50 feet; thence at right angles Westerly 119,994 feet to the intersection of a curve concave to the East having a radius of 1430 feet; thence to the left and curving to the left along said curve 30,692 feet to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue through the point of beginning; thence Easterly along the line so drawn 116,942 feet to the point of beginning.

PARCEL #9 - BEGINNING at a point distant Westerly one hundred twenty (120) feet from the Westerly line of Twenty-seventh Avenue, measured at right angles thereto, and distant Northerly 243.50 feet from the Northerly line of Lake Street, measured at right angles thereto; running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue 30.50 feet; thence at right angles Westerly 123,029 feet to the intersection of a curve concave to the East having a radius of 1430 feet; thence to the left and curving to the left along said curve 30,615 feet to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue, through the point of beginning; thence Easterly along the line



so drawn 119,994 feet to the point of beginning.

PARCEL #10 - BEGINNING at a point distant Westerly one hundred twenty (120) feet from the Westerly line of Twenty-seventh Avenue, measured at right angles thereto and distant Northerly two hundred seventy-four (274) feet from the Northerly line of Lake Street, measured at right angles thereto; and running thence Northerly parallel with the Westerly line of Twenty-seventh Avenue, 30.50 feet; thence at right angles Westerly 125,677 feet to the intersection of a curve concave to the East having a radius of 1430 feet; thence to the left and curving to the left along said curve 30,574 to the intersection of a line drawn at right angles to the Westerly line of Twenty-seventh Avenue through the point of beginning; thence Easterly along a line drawn 123,029 feet to the point of beginning.

There is attached to and running with the land above described an easement appurtenant thereto of the perpetual right of way for vehicles and persons on foot, and the right to have at all times kept open, clear and unobstructed, and to construct and maintain sewers, pipes, conduits, and electric light and telephone wires therein and thereon, for the benefit of the party of the second part, his heirs, administrators and assigns his and each of his agents and servants, and the tenants and occupiers for the time being of said land, and all and every other person or persons having lawful occasion to enter upon the same, upon, over and across a strip of land described as follows:

BEGINNING at a point on the Northerly line of Lake Street, distant thereon Westerly one hundred eight (108) feet from the Westerly line of Twenty-seventh Avenue, and running thence North 3° 23' West and parallel with the said Westerly line of Twenty-seventh Avenue, One hundred (100) feet; thence at a right angle Westerly twelve (12) feet; thence at a right angle Northerly 504,616 feet to the Southerly line of Casino Del Mar; thence Northwesterly along the Southerly line of Casino Del Mar on a curve to the right of 330 feet radius tangent to a line deflected 80° 24' 21" to the left from the preceding course (central angle 3° 11' 12") 18,354; thence South 3° 23' East and parallel with the Westerly line of Twenty-seventh Avenue and distant Westerly one hundred thirty-eight (138) feet, measured at right angles thereto 517,176 feet, thence South 43° 39' East, 27,556 feet; thence South 3° 23' East and parallel with said Westerly line of Twenty-seventh Avenue seventy (70) feet to the Northerly line of Lake Street; thence Easterly along said Northerly line of Lake Street, twelve (12) feet to the point of commencement.

AND over said small portion of the land hereby conveyed which is included in said description of said strip of land over which an easement is hereby granted, the party of the first part hereby reserves, for the benefit of itself and of its grantees of all lots on the Easterly line of Twenty-seventh Avenue, as produced Northerly by the party of the first part between Lake Street and Casino Del Mar, and abutting on said strip of land, an easement of the same kind and character as that hereby given to the party of the second part over said strip of land, which shall be appurtenant to and run with each of said lots abutting on said strip of land; it being understood and agreed by all of the parties hereto that said strip of land over which said easement is given shall never at any time be built upon or obstructed or used by the parties hereto or any of their grantees in any manner that will impair or diminish its use as a passageway or private street for the benefit of all the land abutting thereon.

TOGETHER with all and singular the easements, rights and privileges and the tenements, hereditaments and appurtenances unto the said lots belonging or in anywise appertaining.



TO HAVE AND TO HOLD the above mentioned and described lots of land and all and singular the appurtenances thereof unto the said party of the second part, his heirs and assigns forever, subject, however, to and upon, the following restrictions, conditions and covenants which are intended for the benefit of the said lots and also of the other lots on Easterly line of 28th Avenue as produced Northerly by the party of the first part between Lake Street and Camino Del Mar, and shall attach to and run with the land, and to and with all titles, interests and estates to or in the same, and shall conclude and bind the heirs, personal representatives and assigns of the party of the second part, and every person owning, claiming, holding or occupying the said property, or any part of the same, as fully as if the same were expressly embodied and set forth in specific, proper and sufficient covenants and conditions in each and every conveyance and contract relating to said property, and shall inure to the successors in interest of said party of the first part, and to the persons owning the other portions of the afore-said tract and deriving title thereto from, through or under the party of the first part, that is to say:

FIRST: That no building or structure shall be at any time erected or placed, or suffered to be erected, placed or maintained upon any of said lots of land except a dwelling house or residence designed and intended for the accommodation of a single family and costing not less than Ten Thousand (\$10,000.00) Dollars, and no dwelling shall be erected or placed upon said lots unless the exterior plan or elevation of such dwelling house shall have been first approved by said John Brickell Company, it being understood that subject to the other restrictions and conditions herein contained, walls of brick, stone or concrete, and fences of wire, iron or wood, not exceeding six (6) feet in height, and an automobile garage, not exceeding eleven (11) feet in height, and ornamental structures such as tennis courts, conservatories, arbors, pergolas, and the like, may be placed thereon, provided, always that the designs of such automobile garages, walls, fences and structures and the location of the same shall have been first submitted to and approved by the John Brickell Company, and its written authorization for the erection and maintenance thereof shall have been first obtained; and no hedges or trees thereon shall exceed twelve (12) feet in height.

ALL services for electricity and telephone shall connect from poles in the rear of said lot to the companies' main service, supplying such telephone or electricity.

SECOND: That such residences shall be set back from the front boundary line of said lots and the same shall not, nor shall any part thereof (having steps, windows, porches, portecocheres and similar projections when of usual size) nor shall any of the buildings or structures aforesaid, including said walls, and fences, be constructed or suffered to extend beyond a line drawn across the said lots at right angles to the side lines thereof, the center of which line shall be distant not less than ten (10) feet from a point in the center of said front boundary line of said lots.

ANY residence that may hereafter be erected, maintained or placed upon said Parcels Nos. Two to Ten, both inclusive, shall be at least five (5) feet distant from the Southerly boundary line of said lot.

THIRD: That the said lots shall not, nor any building or structure thereon, nor shall any part of said land or the appurtenances thereof, be at any time used or suffered to be used for business purposes, or for any trade of business or otherwise than for residential purposes.



FOURTH: That the said residences shall not, nor shall any part of the same, be at any time converted to, or used for other than residential purposes, and that no tenement houses, flats or apartment houses, no manufactory, workshop, store or warehouse, no livery or other stable, no church or school, no religious or charitable institution, no restaurant, cafe, saloon, laundry, laboratory, hospital, clinic, or dispensary, no funeral parlors or undertaker's establishment, no hotel, boarding house, theatre, beer garden or place of public resort or amusement, shall be at any time placed or suffered to remain upon the said lots, or be maintained in any part of the said property. Provided, that the enumeration herein shall be deemed by way of illustration only; shall not be deemed complete, and that the same shall exclude every possible use of said premises other than for strictly residential purposes as herein permitted.

FIFTH: That no ardent spirits, spirituous, viscous, malt or intoxicating liquors shall be manufactured, sold, offered for sale, bartered, traded or dealt in upon said lots, or be sold, dispensed or consumed as a beverage in any place or public resort thereon; and that the said lots shall not nor shall any part thereof, be at any time put or subjected to any use which shall cause or may become a nuisance, or which may be or can become injurious or offensive to the owners or possessors of the adjacent or neighboring lots, or which shall or can impair or interfere with the comfortable use and enjoyment of any portion or portions of the property on the Easterly line of 28th Avenue, as produced Northwesterly by the party of the first part between Lake Street and Camino Del Mar, by the owners or occupants thereof.

SIXTH: That it being designed to create and maintain in the block bounded on the Easterly line of 28th Avenue, as produced Northwesterly by the party of the first part between Lake Street and Camino Del Mar, a settlement, community or neighborhood of persons who are on a social equality, the said lots shall not, nor shall any part thereof, or any estate thereon, nor shall the improvements thereon, or any part of the same, be at any time sold, conveyed, devised, leased or transferred to or be permitted to be occupied, or used by, any person or persons other than those of the Caucasian or White race.

SEVENTH: That the aforesaid restrictions, covenants and conditions have been and are considered by the parties hereto, to be in furtherance of the general plan for the improvement, sub-division and sale of the said tract, and have been crafted with a view to, and are regarded as subserving the sale of the lots in said tract for residential purposes, and as enhancing and protecting the value, desirableness and attractiveness of said tract and of several subdivisions thereof, for such purposes; and accordingly, that the said party of the second part has accepted, and does accept this conveyance upon and subject to the said restrictions, covenants and conditions, and for himself and his heirs, personal representatives, and assigns, has covenanted and agreed and does hereby covenant, undertake and agree to and with the said party of the first part, and also to and with the other owners of lots on the Easterly line of 28th Avenue, as produced Northwesterly by the party of the first part between Lake Street and Camino Del Mar, and the several grantees and successors in interest of said party of the first part, or, in or to the said or any portion of the same, to comply with, abide by, and to well and truly observe, fulfill keep and perform the restrictions, provisions, covenants and conditions herein set forth and each and every thereof.

EIGHTH: The several restrictions, conditions and covenants aforesaid may be modified or abrogated, in whole or in part, by the owners of three-fourths of the frontage of said block







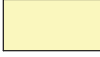

## **EXHIBIT D**



Scale 1 inch = 31.51 feet



### Legend

-  Property In Question – Fee
-  Item No. 4 – Easement for right of way  
In 7/31/1922 Bk 528 Pg 40 of Official Records  
Affects said portion as described in the document

©2020  
**Fidelity National Title Company**  
 1200 Concord Ave., Suite 400  
 Concord, CA 94520

Title Order No. : FSFM-3031901011, Preliminary Report Dated August 30, 2019	Drawing Date : 09/15/2020 - FNFI
Reference :	Assessor's Parcel No. :Lot 027, Block 1331
Property :152 28th Avenue, San Francisco, CA	Data :

*This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.*

Plat Showing : A portion of land situated in the City of SAN FRANCISCO in County of SAN FRANCISCO, State of California	Sheet 1 of 1
	Archive #



## **EXHIBIT E**



**Living Room**





**Dining Room**



**Master bedroom**





Second bedroom





**EXHIBIT F**



**GENERAL NOTES:**

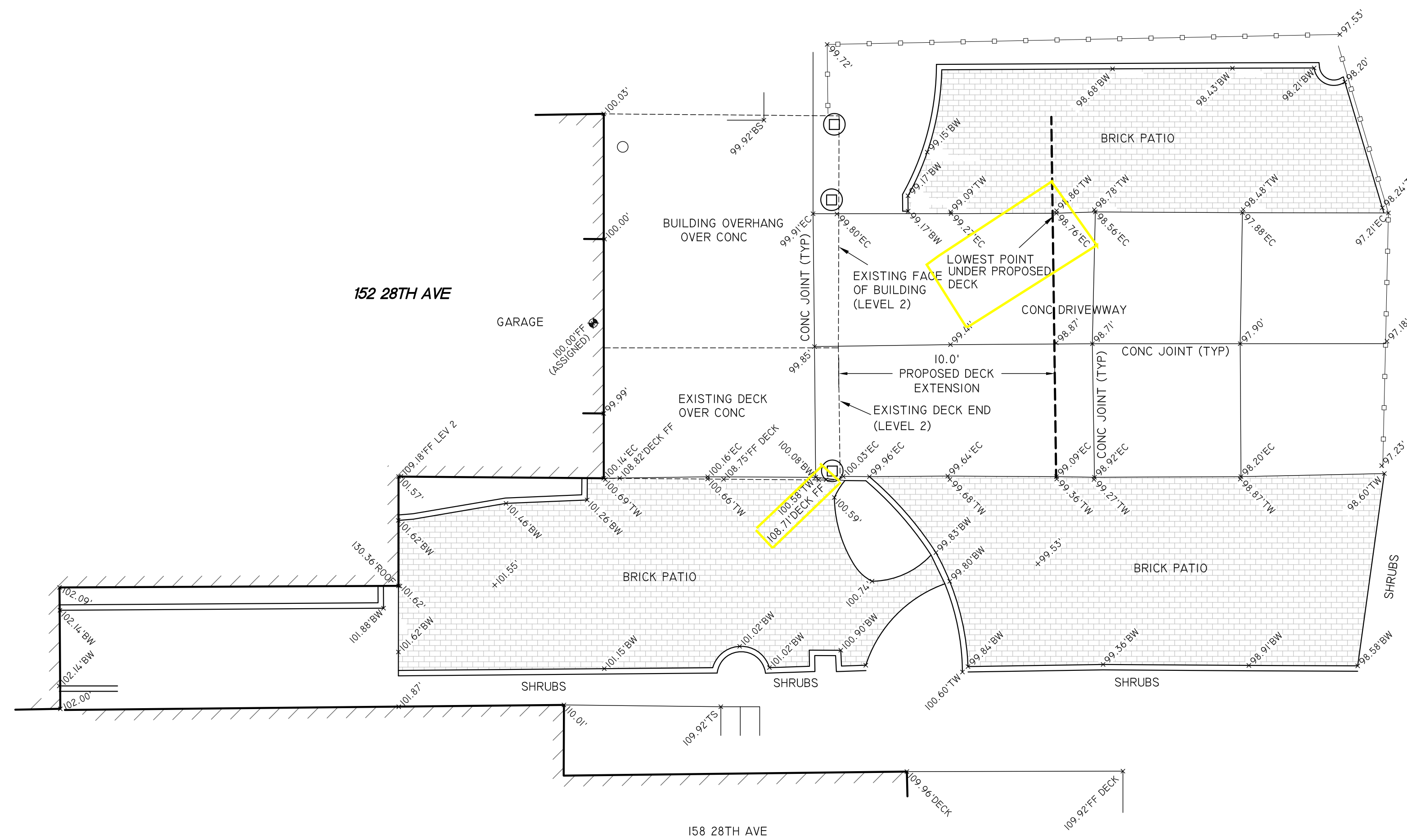
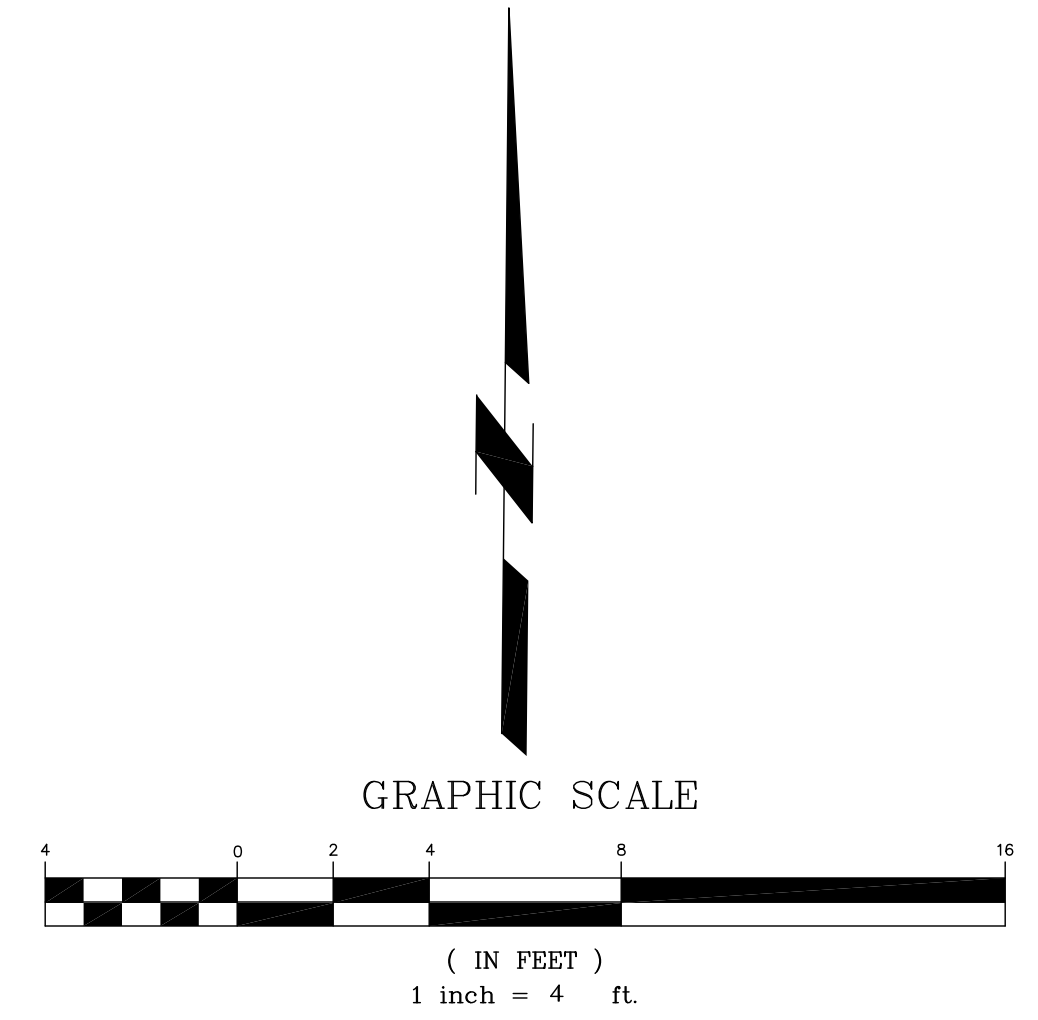
- (1) ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
- (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- (3) PRIOR TO ANY DIGGING, CALL 811 AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
- (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
- (5) THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF PATRICK GORDON. USE BY ANY OTHER PARTY FOR ANY PURPOSE IS NOT PERMITTED.
- (6) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
- (7) THIS IS NOT A BOUNDARY SURVEY.
- (8) THIS IS NOT AN UNDERGROUND SURVEY.

**BASIS OF ELEVATION**

ASSIGNED ELEVATION 100.00' TO THE GARAGE FINISH FLOOR, AS SHOWN, NO DATUM

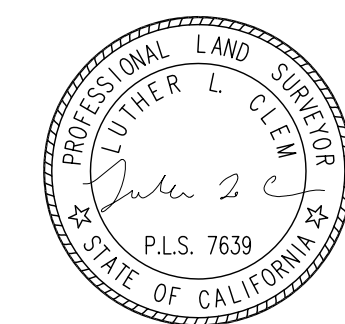
**SCOPE OF SURVEY**

THE SCOPE OF THE SURVEY IS TO DETERMINE A HEIGHT ABOVE GRADE THAT A PROPOSED 10' REAR DECK EXTENSION WOULD GIVE.



**LEGEND**

- FENCE OR GATE
- - - DECK LINE
- - - OVERHANG LINE
- TW TOP OF WALL EL
- BW BOTTOM OF WALL EL
- CONC CONCRETE
- TS TOP OF STAIRS
- BS BOTTOM OF STAIRS
- EC EDGE OF CONCRETE
- FF FINISH FLOOR
- ⊕ ASSIGNED TEMPORARY BENCHMARK ELEV=100.00' TO FINISH FLOOR (LOCAL DATUM)
- ⊕ x 52.14 SPOT ELEVATIONS
- ⊕ STRUCTURAL WOOD POST ON CONC COL



**TOPOGRAPHIC SURVEY**

OF THE REAR YARD OF  
**152 28TH AVE**  
 CITY OF SAN FRANCISCO  
 PREPARED AT THE REQUEST OF  
**PATRICK GORDON**

COUNTY OF SAN FRANCISCO CALIFORNIA  
 SCALE 1"=4' COPYRIGHT © 2021 SEPT 2021

**GEOMETRIX**  
 SURVEYING ENGINEERING INC.

5436 CALIFORNIA STREET  
 SAN FRANCISCO, CA 94118  
 (415) 422-0527  
 LOU@GEOMETRIXSURVEY.COM  
 WWW.GEOMETRIXSURVEY.COM

PROJECT NO: 21032	FIELD SURVEY DATE: 09-21-21
REVISION 1 9-22-21	DRAWN BY: LC
REVISED: ADDED NOTATIONS	PAGE 1 OF 1