

**BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO**

Appeal of  
ROSE FENG, \_\_\_\_\_ )  
Appellant(s) )  
vs. )  
DEPARTMENT OF BUILDING INSPECTION, \_\_\_\_\_ )  
PLANNING DEPARTMENT APPROVAL Respondent

Appeal No. **21-080**

**NOTICE OF APPEAL**

**NOTICE IS HEREBY GIVEN THAT** on August 18, 2021, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on August 4, 2021 to Woods Family Investments, LP, of a Site Permit (erect new four-story, single family residence, this is a front building) at 1224 Funston Avenue.

**APPLICATION NO. 2018/12/11/8001**  
**FOR HEARING ON October 20, 2021**

Address of Appellant(s):

Address of Other Parties:

Rose Feng, Appellant(s)  
1218 Funston Avenue  
San Francisco, CA 94122

Woods Family Investments, LP, Permit Holder(s)  
c/o Toby Morris, Agent for Permit Holder(s)  
Kerman Morris Architects LLP  
139 Noe Street  
San Francisco, CA 94114



Date Filed: August 18, 2021

**CITY & COUNTY OF SAN FRANCISCO  
BOARD OF APPEALS**

**PRELIMINARY STATEMENT FOR APPEAL NO. 21-080**

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I / We, **Rose Feng**, hereby appeal the following departmental action: **ISSUANCE of Site Permit No. 2018/12/11/8001** by the **Department of Building Inspection** which was issued or became effective on: **August 4, 2021**, to: **Woods Family Investments,LP**, for the property located at: **1224 Funston Avenue**.

**BRIEFING SCHEDULE:**

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **September 30, 2021, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org), [julie.rosenberg@sfgov.org](mailto:julie.rosenberg@sfgov.org) [scott.sanchez@sfgov.org](mailto:scott.sanchez@sfgov.org) and [toby@kermanmorris.com](mailto:toby@kermanmorris.com).

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **October 14, 2021, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org), [julie.rosenberg@sfgov.org](mailto:julie.rosenberg@sfgov.org) [scott.sanchez@sfgov.org](mailto:scott.sanchez@sfgov.org) and [rose\\_ye\\_feng@yahoo.com](mailto:rose_ye_feng@yahoo.com).

The Board's physical office is closed to the public and hard copies of the brief do NOT need to be submitted.

**Only photographs and drawings may be submitted by the parties at the hearing.**

Hearing Date: **Wednesday, October 20, 2021, 5:00 p.m.**, via Zoom. Information for access to the hearing will be provided before the hearing date. Please note: Should the City's Health Orders permit in-person hearings, the Board reserves the right to hold the hearing at SF City Hall. Advance notice shall be provided to the parties.)

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org). Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

**Please note** that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at [www.sfgov.org/boa](http://www.sfgov.org/boa)You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

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**The reasons for this appeal are as follows:** Not Submitted.

**Appellant or Agent (Circle One):**

Signature: Via Email

Print Name: Rose Feng

**Permit Details Report****Report Date:** 8/4/2021 2:16:44 PM

Application Number: 201812118001  
 Form Number: 2  
 Address(es): 1738 / 040 / 0 1224 FUNSTON AV  
 Description: ERECT (N) 4-STORY SINGLE FAMILY RESIDENCE, THIS IS A FRONT BUILDING.  
 Cost: \$909,000.00  
 Occupancy Code: R-3  
 Building Use: 27 - 1 FAMILY DWELLING

**Disposition / Stage:**

Action Date	Stage	Comments
12/11/2018	TRIAGE	
12/11/2018	FILING	
12/11/2018	FILED	
8/4/2021	APPROVED	
8/4/2021	ISSUED	

**Contact Details:****Contractor Details:**

License Number: 533319  
 Name: KEVIN GRIMLEY  
 Company Name: WOODS CONST CO  
 Address: 1485 BAYSHORE BL \* SAN FRANCISCO CA 94124-0000  
 Phone:

**Addenda Details:****Description:**

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CPB	12/18/18	12/18/18			12/18/18	TORRES SHIRLEY	
2	CP-ZOC	12/18/18	2/4/21			2/4/21	JIMENEZ SYLVIA	Approved application per plans and NSR #20200684
3	CP-DR	2/6/20	2/26/20			7/31/20	JIMENEZ SYLVIA	2/26/20 - DR intake at PIC 7/23/20 - PC Hearing completed; DR not taken
4	CP-NP	11/12/19	11/14/19	11/12/19	11/14/19	11/14/19	JIMENEZ SYLVIA	Emailed cover letter on 11/12/2019 (William) Mailed notice on 11/26/2019; expires 12/26/2019 (William)
4	BLDG	2/8/21	5/6/21			5/6/21	JONES DAVID	Approved Site Permi Application with comments to b addressed during addendum submittal, DMJ 05/06/2021;
4	CP-NP	2/7/19	2/12/20	2/7/20	2/12/20	2/12/20	JIMENEZ SYLVIA	Emailed 311 cover letter on 2/7/2020 (William) Mail 311 notice on 2/20/2020; expires 3/06/2020 (Williar
5	SFFD	5/7/21	5/27/21			5/27/21	SAMSON BRUCE	approved; no insp fees apply; routed to DPWBSM bruce.samson@sfgov.org
6	DPW-BSM	5/27/21	6/4/21			6/4/21	CHOY CLINTON	Approved SITE permit only. 6/4/21: Addendum requirement sign off - Street Improvement (new curb cut). Download the app at <a href="https://sfpublicworks.org/services/permits/applicatio">https://sfpublicworks.org/services/permits/applicatio</a> forms and email the required materials to bsmpermitdivision@sfdpw.org. -CC
7	SFPUC	6/7/21	6/24/21			6/24/21	TOM BILL	APPROVED = Assessed for capacity charges. Route to PPC
8	PPC	6/30/21	6/30/21			6/30/21	LUA NATALIE	6/30/21: To CPB w/ 201812118009;nl 6/29/21: To David Jones desk to stamp and sign form 2 applicatio form w/ 201812118009; nl 6/28/21: To Planning (CP-DR) W/ 201812118009 ; nl 06/07/21: TO PUC w/201812118009;me 5/27/21: To BSM per SFFD (w/ 201812118009); NL 05/07/21: To SFFD w/201812118009;me 2/8/21: TO BLDG w/ 201812118009; NL 2/19/20am: R1 to DCP. ibb 12/18/18: To etteHP
9	CPB	6/30/21	7/6/21			8/4/21	MOK CALVIN	08/04/21: Issued; cm 07/06/21: Pending docs and payment; cm 07/06/2021: School fees inputted.ay

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

**Appointments:**

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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**Inspections:**

Activity Date	Inspector	Inspection Description	Inspection Status
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**Special Inspections:**

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking](#) home page.

**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

[Contact SFGov](#) [Accessibility](#) [Policies](#)  
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# BRIEF SUBMITTED BY THE APPELLANT(S)

## **Background**

The plan is to demolish an existing one-car garage at the front of the subject property (located at 1224 Funston Avenue), and construct a new four-story, single-family residence. The existing two-story residential building located at the rear of the subject property is to remain. This proposed building requires a front yard variance and a rear yard variance, and the variances were granted by San Francisco Planning Department. On Aug 4, a building permit was granted, but there are several issues that need to be resolved.

## **Issue #1 Height of the building**

The proposed building plan will significantly reduce the sunlight to the neighboring property ("Neighbor") at 1218 Funston Avenue. The Shadow Analysis provided by Symphysis, Bioclimatic Design Consulting, in **Exhibit 1** shows that compared with a four-story building, a three-story building will significantly reduce its impact on Neighbor's façade. The impact of the proposed four-story project on Neighbor's windows varies from -19.7% reduction in sunlight hours to a reduction of -28.7%. This is equivalent to blocking the sunlight over 45 minutes per day, every day of the year. The shadow analysis shows that a three-story project could reduce the impact on neighbor's façade by an average of -7.5%. With the proposed four-story project, the average reduction in hours of sunlight received on Neighbor's façade is -20.7%, with a maximum reduction of -89% near the house's entry door. The analysis shows that a three-story design could reduce the impact on the neighbor's façade by about 7%.

### **Issue #1 resolution**

To minimize the impact of the Neighbor's property, the proposed building needs to be changed to a three-story building. This is a reasonable compromise solution that allows the owner at 1224 Funston Ave and our city to have more housing while at the same time significantly reducing the impact of the proposed building on the Neighbor's windows and façade.

### **Issue #2 Openings on property line wall (Exhibit 2)**

The proposed building has three openings on the property line wall. This design doesn't agree with AB-009. According to AB-009, the openings shall be located entirely above any adjoining roof or at least six feet laterally beyond any wall of an adjoining building. All buildings in our neighborhood obey this rule. In our last hearing, the respondent's response was that they would keep these openings on their proposed building, and would remove them if their neighbor wants to build a building in the front yard. This response is unreasonable. The ownership at 1224 Funston Avenue can change in the future. So this promise cannot be relied upon by the Neighbor.

### **Issue #2 resolution**

This design error should be fixed right away. The three openings on the property line wall should be removed from the design.

### **Issue #3 Plumbing system of the proposed building**

As we can see from **Exhibit 3**, the two adjacent structures located on 1218 Funston Avenue and 1222 Funston Avenue are like Siamese twins, in that they share a common plumbing system. The proposed building should have a separate standalone plumbing system so as not to affect the plumbing of the home at 1218 Funston Avenue.

The reason why I raise the issue here is because the building permit has been issued, so once construction starts, the plumbing system of the proposed building will be built at the same time. Two weeks after the building permit was issued, we haven't heard a word from respondent on this. I need assurance from the respondent that the construction of the proposed building will not affect the existing plumbing system at 1218 Funston Avenue in any way.

#### **Issue #4 Common entry**

As we can see from **Exhibit 3**, the properties located on 1218 Funston Avenue and 1222 Funston Avenue are like Siamese twins, in that they share the same front yard entrance. In other words, the people currently living in 1218 Funston Avenue are entitled to use the entire entrance. Once the construction at 1224 Funston Avenue starts, the entrance of 1218 Funston Avenue will be reduced by half right away, and the front yard of 1218 Funston Avenue will be left open, and become insecure from outside intrusion.

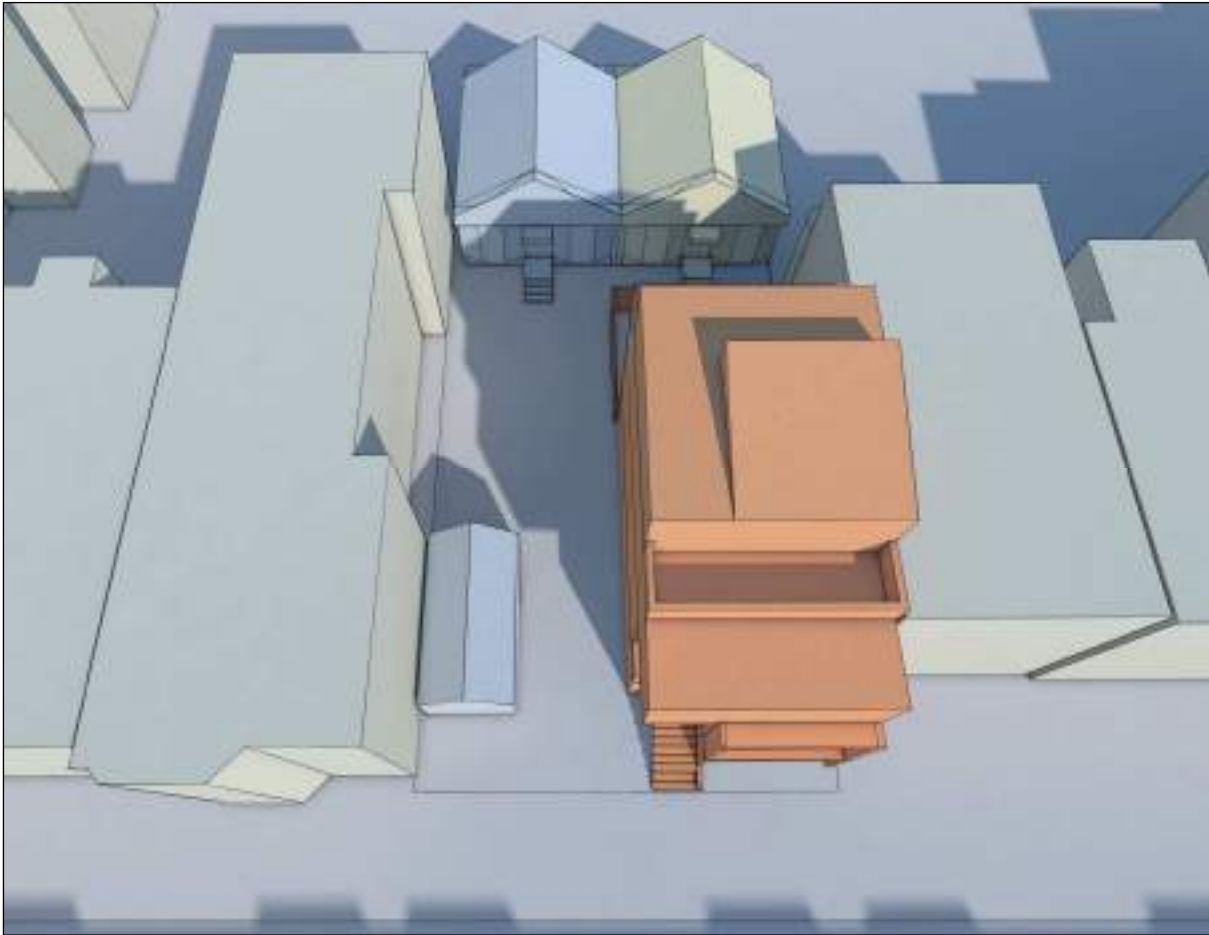
#### **Issue #4 Resolution**

The owner of 1224 Funston Avenue should build a new front yard entrance for the owner of 1218 Funston Avenue before the construction starts.



# SHADING IMPACT ANALYSIS REPORT

FOR 1222 FUNSTON AVENUE | DECEMBER 23<sup>RD</sup> 2020



Report prepared by  
Olivier PENNETIER, M.Arch, LEED AP, CEA

**SYMPHYSIS**

Bioclimatic Design Consulting

[olivier@symphysis.net](mailto:olivier@symphysis.net)

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## I. INTRODUCTION & ANALYSIS SUMMARY

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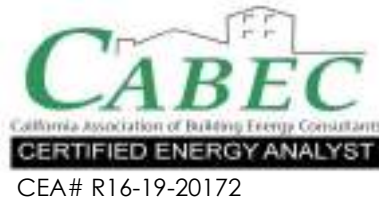
SYMPHYSIS was asked to perform a shading analysis to assess the shading impact of a proposed building to be built at 1222 Funston Avenue, upon the house and yard of the adjacent property at 1218 Funston Avenue.

After performing the analysis, SYMPHYSIS concludes that **the proposed project at 1222 Funston Avenue would reduce available hours of sunlight reaching the house windows at 1218 Funston Avenue by up to 28.7%, and by up to 39.2% in the yard.** One window would lose up to 280 hours of sunlight per year; that averages to 45 minutes of lost sunlight for every day of the year. The yard would lose 893 hours of sunlight, or an average of 2 hours and 25 minutes for each day of the year.

The report herein describes the proposed project, as well as the methodology used for the shading analysis, along with its results and graphics. ■



Olivier A. Pennetier, M.Arch, LEED AP, CEA  
SYMPHYSIS Principal  
12/23/2020



*Our services consist of professional opinions and conclusions developed in accordance with generally accepted environmental design, solar engineering and daylighting design principles and practices. Our conclusions and recommendations are based on the information provided by the clients, USGS Digital Elevation Model and publicly available Geographic Information System database.*

## II. PROJECT LOCATION

The proposed project is located at 1222 Funston Avenue in San Francisco CA, in the Northwestern quadrant of Inner Sunset neighborhood, block 1738, lot 040. ■

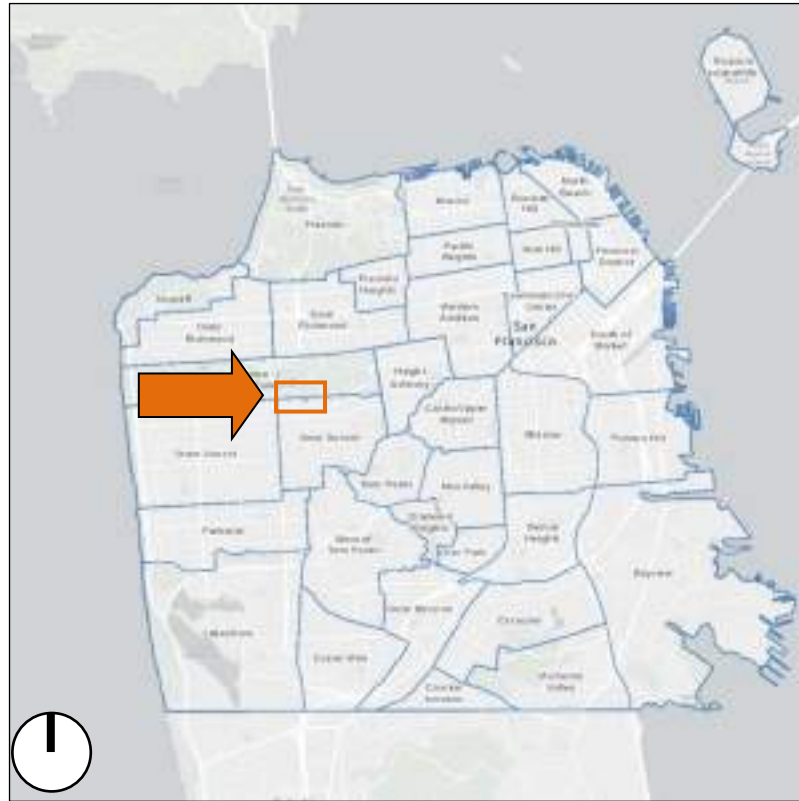


FIGURE 1: LOCATION MAP



FIGURE 2: BLOCK MAP

### III. PROPOSED PROJECT DESCRIPTION

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The proposed project is a new 4 story single family residence. The new residence is proposed to be 39'-0" high and 49'-6" deep from the front property line, with a 27'-6" deep rear open space separating it from the existing cottage at the rear of the same property. The house at 1218 Funston Avenue is adjacent to the North of the existing rear cottage at 1222 Funston Avenue

The following images show the 3D massing models for the existing conditions and proposed design. ■



FIGURE 3: 3D MASSING MODEL OF THE EXISTING CONDITIONS – SEPTEMBER 21<sup>ST</sup>, 4:00 PM.

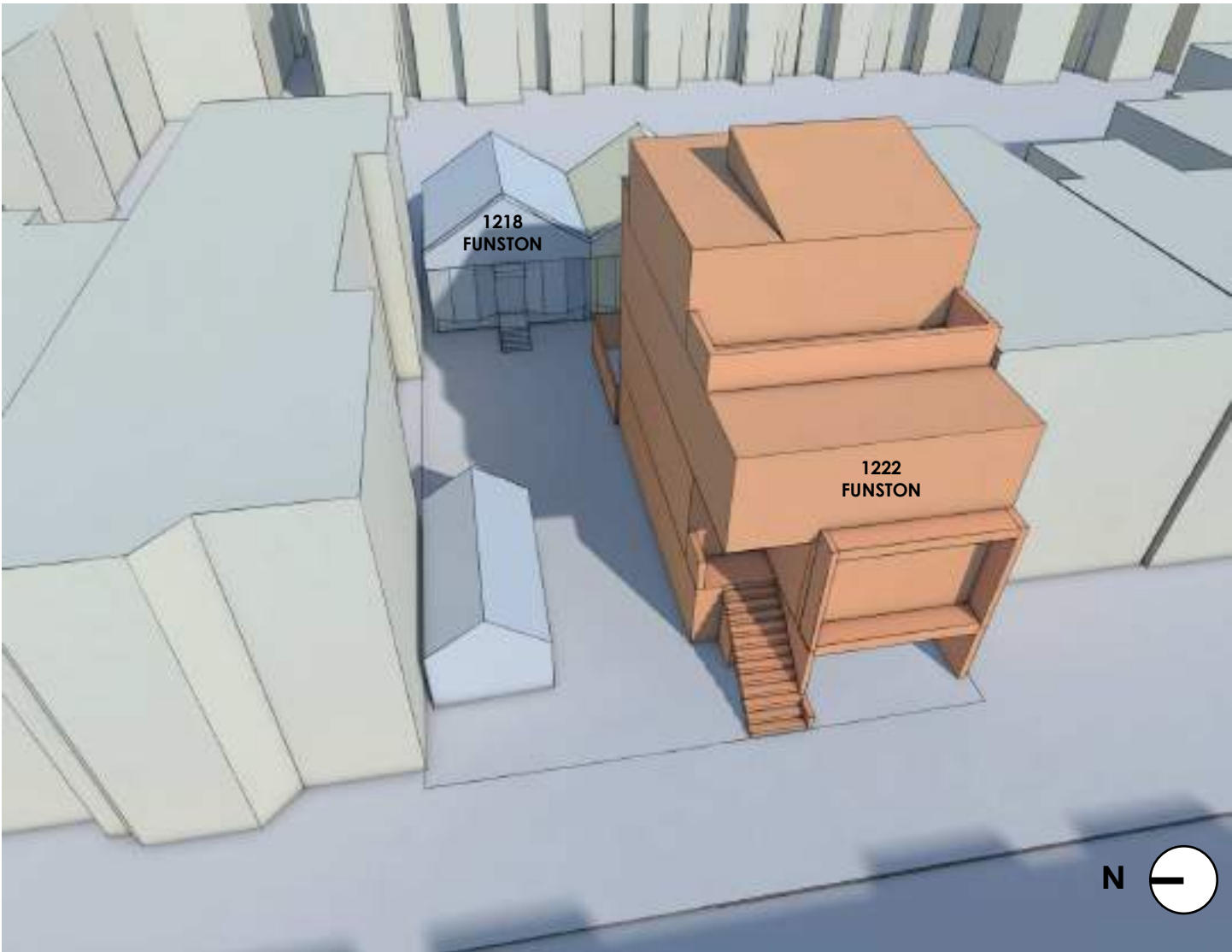


FIGURE 4: 3D MASSING MODEL OF THE PROPOSED CONDITIONS – SEPTEMBER 21<sup>ST</sup>, 4:00 PM.

## IV. ANALYSIS METHODOLOGY & FINDINGS

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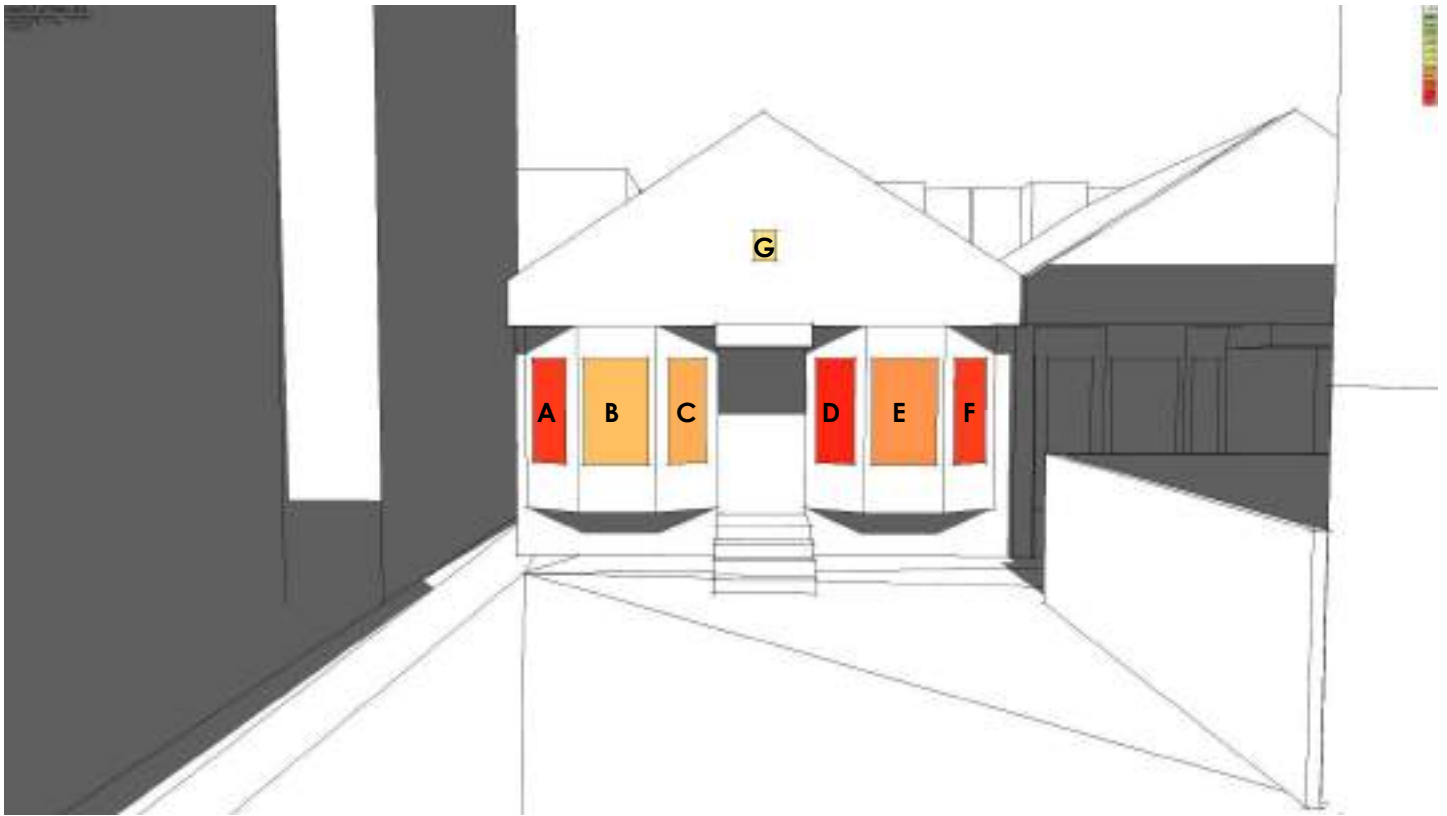
SYMPHYSIS utilized various tools to develop this shading impact analysis. Here is a breakdown of the analysis process, and the tools used at each stage of the analysis:

- 1) A 3D model of the existing and proposed conditions was created within a CAD software (ArchiCAD), using the architect's drawings of the proposed project, dated R1 01/15/2020 (procured through SF Planning Public Portal). The house at 1218 was modeled as a mirror copy of the existing cottage at 1222 Funston Avenue. All the surrounding buildings footprints were obtained from the current SF Planning GIS layer, and extruded to match the current Google Earth building elevation ( $\pm 6''$ ). The terrain was modeled based on Google Earth photogrammetry, and matched to the drawing's survey elevations.
- 2) The 3D models were sent into a building performance analysis tool called Autodesk Ecotect to calculate shading and available incident solar radiation, based on the latest Typical Meteorological Year (TMY3) weather file for San Francisco. These TMY3 files have recorded solar radiation data, averaged over 30 years, and account for cloudiness and other atmospheric obstructions of solar radiation. Analysis grids were created over the façade of 1218 Funston, as well as its yard and individual windows facing West. These analysis grids are a series of "sensors" onto which many calculations can be done, such as shading and number of sunlight hours that can reach the grid sensors. First, the calculations were computed for the existing conditions, then another pass with the proposed design. The difference between the two conditions highlights the areas that are most impacted by the proposed project. The shading calculations were set for the entire year.

The following is a breakdown of the analysis results for the windows, façade and yard.

### **WINDOWS**

Seven windows were identified to be impacted on the West façade of 1218 Funston Avenue. See the image below.



**% REDUCTION OF SUNLIGHT HOURS**

0%	-3%	-6%	-9%	-12%	-15%	-18%	-21%	-24%	-27%	-30%+
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FIGURE 5: IDENTIFIED WINDOWS AND SUNLIGHT REDUCTION IMPACT ON WEST FAÇADE OF 1218 FUNSTON AVENUE.

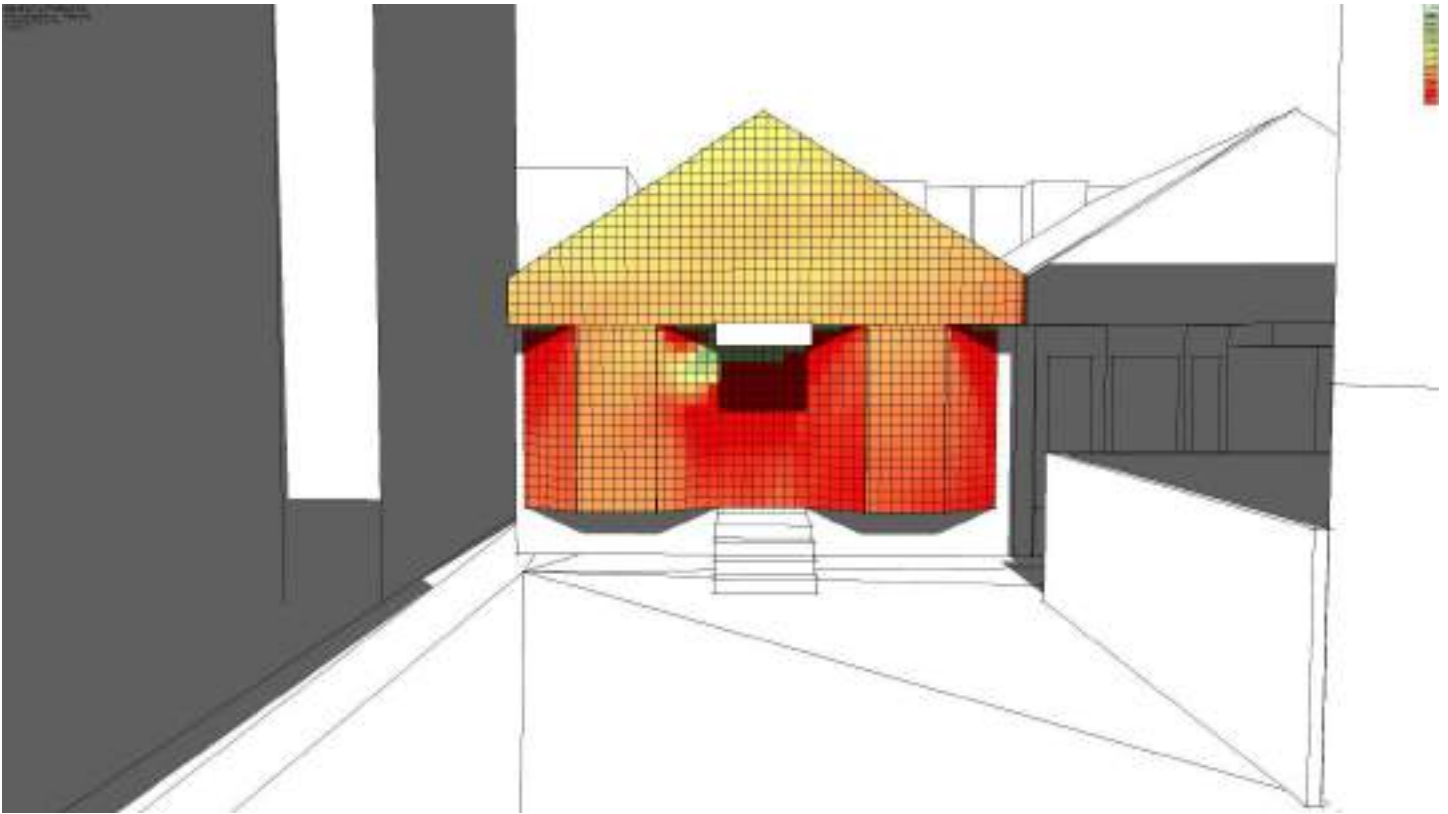
The impact of the proposed 4 story project on the selected windows varies from -19.7% reduction in sunlight hours for window B to **a reduction of -28.7% for window D (-280 hours of sunlight)**. This is equivalent to blocking the sunlight over 45 minutes per day, every day of the year. See Table 01 for the results on all the windows, including when the 4<sup>th</sup> story of the proposed project is removed. The analysis shows that a 3-story project could reduce the impact on the windows by an average of -7.5%. **The proposed project starts to impact window F from July 5<sup>th</sup> at 4:20 pm (PDT) and stops the impact the following June 12<sup>th</sup> at 4:20 pm (PDT).**

**FAÇADE**

Similarly to the windows, the entire West façade of the house at 1218 Funston Avenue was analyzed for impact on the sunlight currently received.

The average reduction in hours of sunlight received on the façade is -20.7%, with a maximum reduction of -89% near the house's entry door. The analysis shows that a 3-story design could reduce the impact on the façade by about 7%.





**% REDUCTION OF SUNLIGHT HOURS**

0%	-3%	-6%	-9%	-12%	-15%	-18%	-21%	-24%	-27%	-30%+
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FIGURE 6: FACADE SUNLIGHT REDUCTION IMPACT E OF 1218 FUNSTON AVENUE.

**YARD:**

The front yard of the property was also analyzed for impact on available sunlight throughout the year. The yard is substantially impacted by the proposed project as it is located North of the proposed project, thus it is impacted every day of the year. **On average, the yard would see a reduction in sunlight hour of 39.2%**, with highest impact concentrated directly North of the proposed 4-story project and up to -86% sunlight reduction. A 3-story project would reduce this impact only minimally, by about -3.4%.

See the analysis grid graphics of the existing and proposed conditions as well as the percentage difference impact at the end of this report.

The full results of the analysis are highlighted in Table 01 below, showing the impact for the existing and proposed conditions, as well as a with a 3-story building design for comparison:

TABLE 01: RESULTS OF THE SHADING IMPACT ANALYSIS FOR THE PROPOSED PROJECT & A 3-STORY BUILDING DESIGN

	HOURS OF SUNLIGHT EXISTING CONDITIONS	HOURS OF SUNLIGHT PROPOSED 4 STORIES	SUNLIGHT HOURS	% DIFFERENCE	HOURS OF SUNLIGHT PROPOSED 3 STORIES	SUNLIGHT HOURS	% DIFFERENCE	DELTA 4-3 STORIES
WINDOW A	1028	742	-286	-27.8%	846	-182	-17.7%	-10.1%
WINDOW B	1448	1163	-285	-19.7%	1260	-188	-13.0%	-6.7%
WINDOW C	979	776	-203	-20.7%	839	-140	-14.3%	-6.4%
WINDOW D	977	697	-280	<b>-28.7%</b>	785	-192	-19.7%	-9.0%
WINDOW E	1378	1080	-298	-21.6%	1165	-213	-15.5%	-6.2%
WINDOW F	1153	849	-304	-26.4%	924	-229	-19.9%	-6.5%
WINDOW G	1683	1426	-257	-15.3%	1528	-155	-9.2%	-6.1%
FAÇADE	1307	1036	-271	-20.7%	1129	-178	-13.6%	-7.1%
YARD	2276.7	1383.48	-893	<b>-39.2%</b>	1460.83	-816	-35.8%	-3.4%

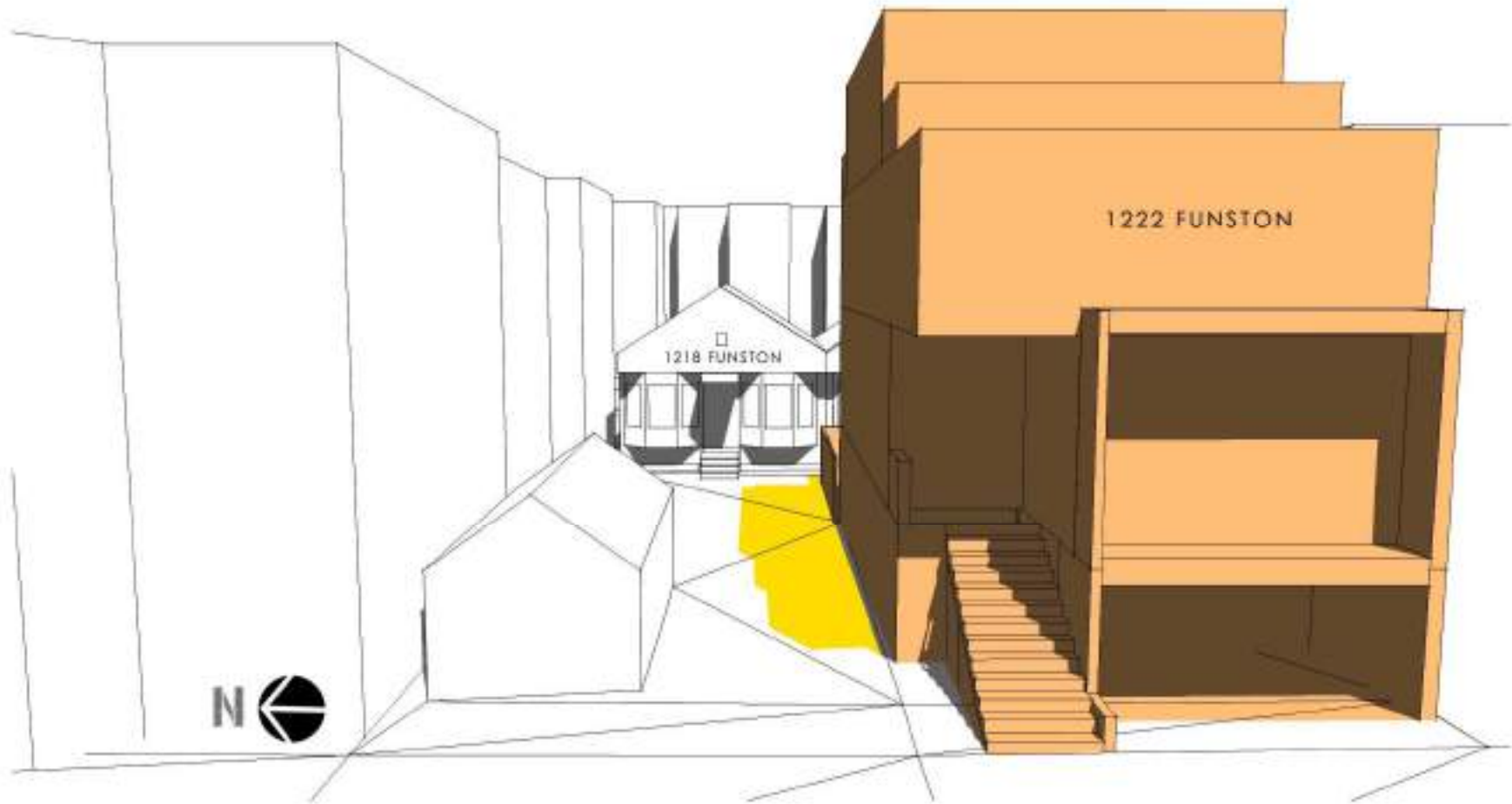
The following graphics show the shading impact of the proposed 4-story project upon the property of 1218 Funston Avenue, on May/July 21<sup>st</sup>, Fall/Spring equinoxes on September and March 21<sup>st</sup> between 3 pm PDT and 5 pm PDT and Winter Solstice on December 21<sup>st</sup> between 2 pm PST and 4 pm PST; the impact of a 3-story design project is also presented after each graphic of the proposed 4-story design. ■

# A01

## FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

03:00 PM [PDT]



PROPOSED PROJECT



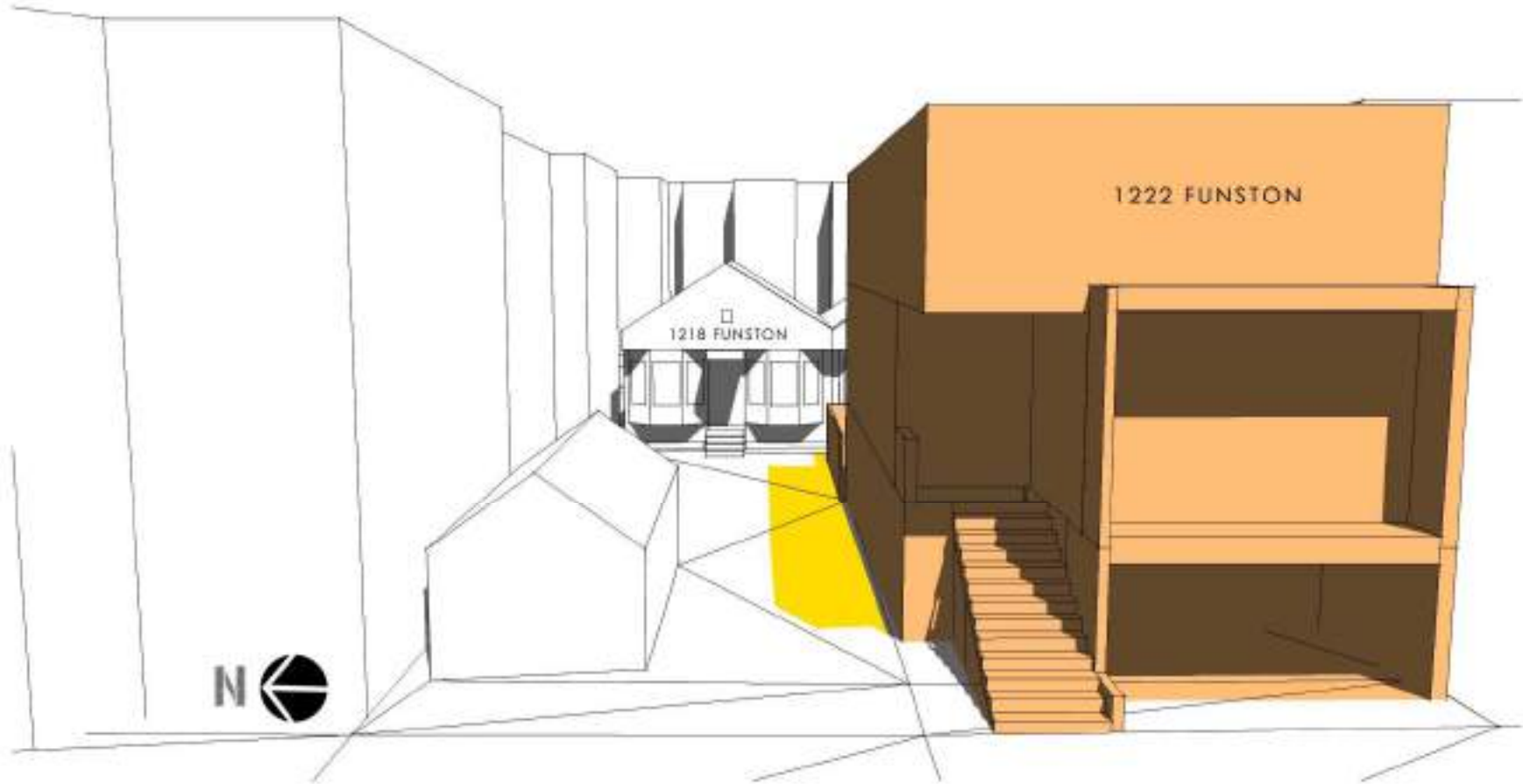
EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

03:00 PM [PDT]



PROPOSED PROJECT WITH 3 STORIES

EXISTING SHADOWS

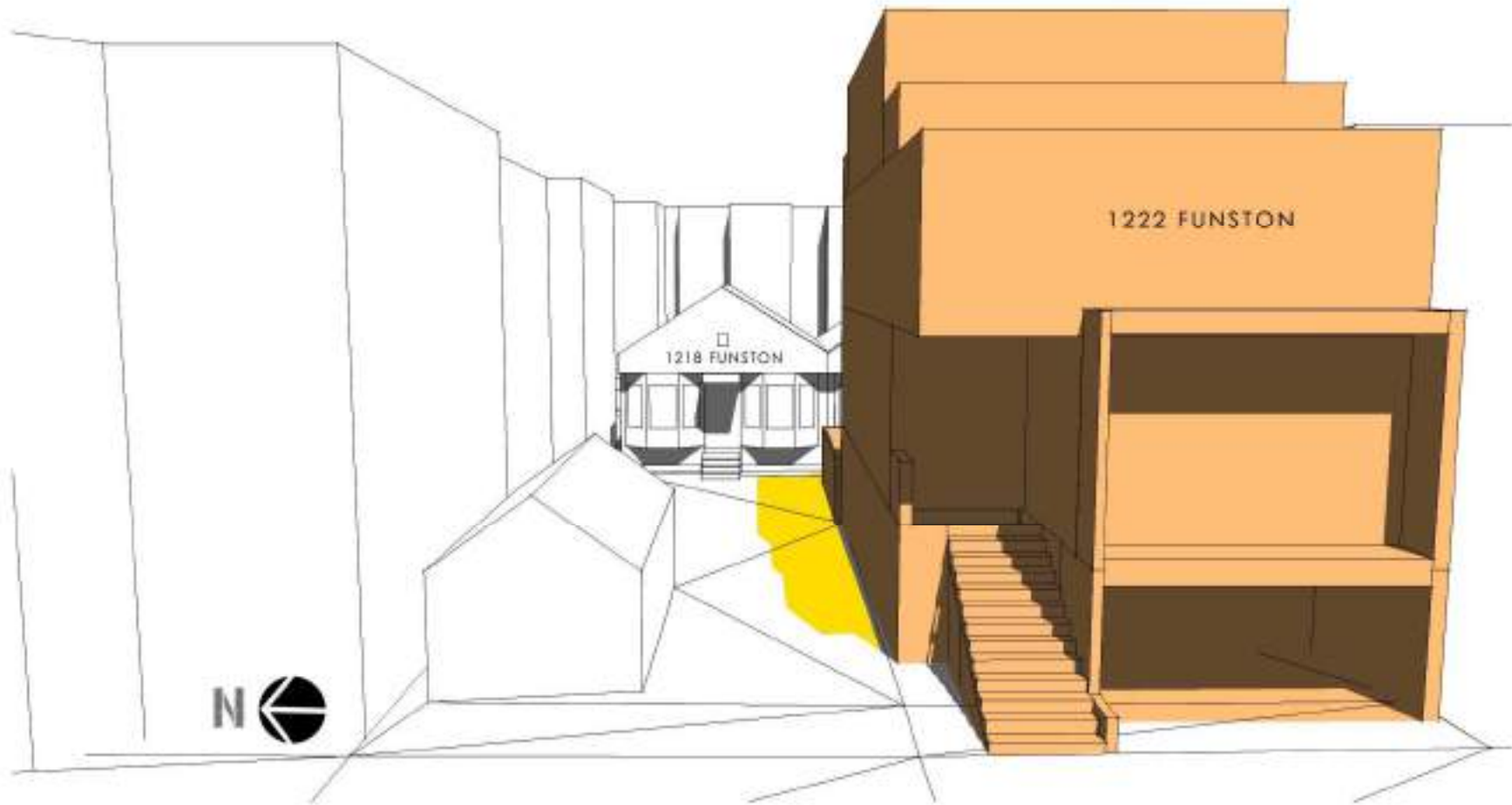
NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

A02

# FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

03:30 PM [PDT]



PROPOSED PROJECT



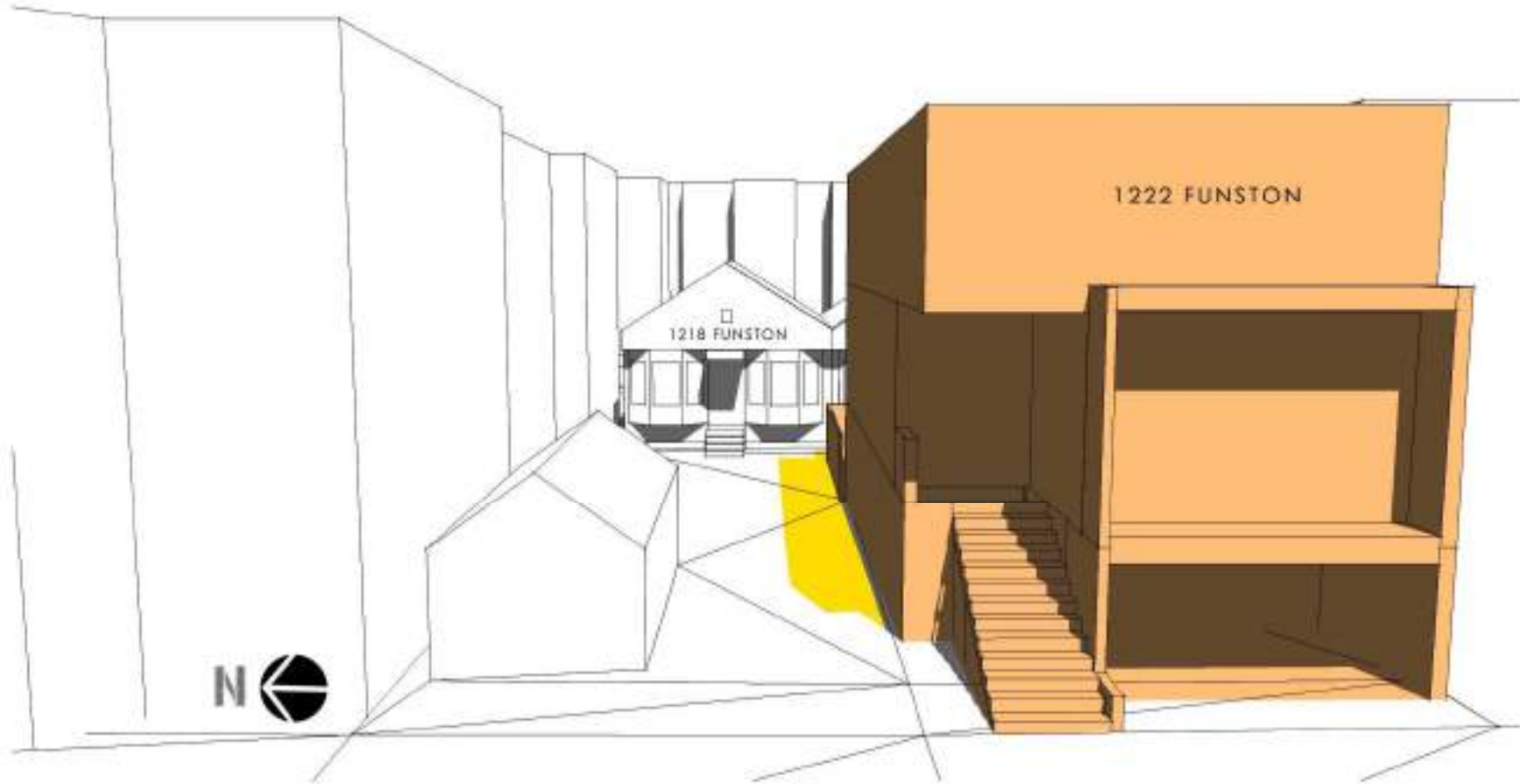
EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

03:30 PM [PDT]

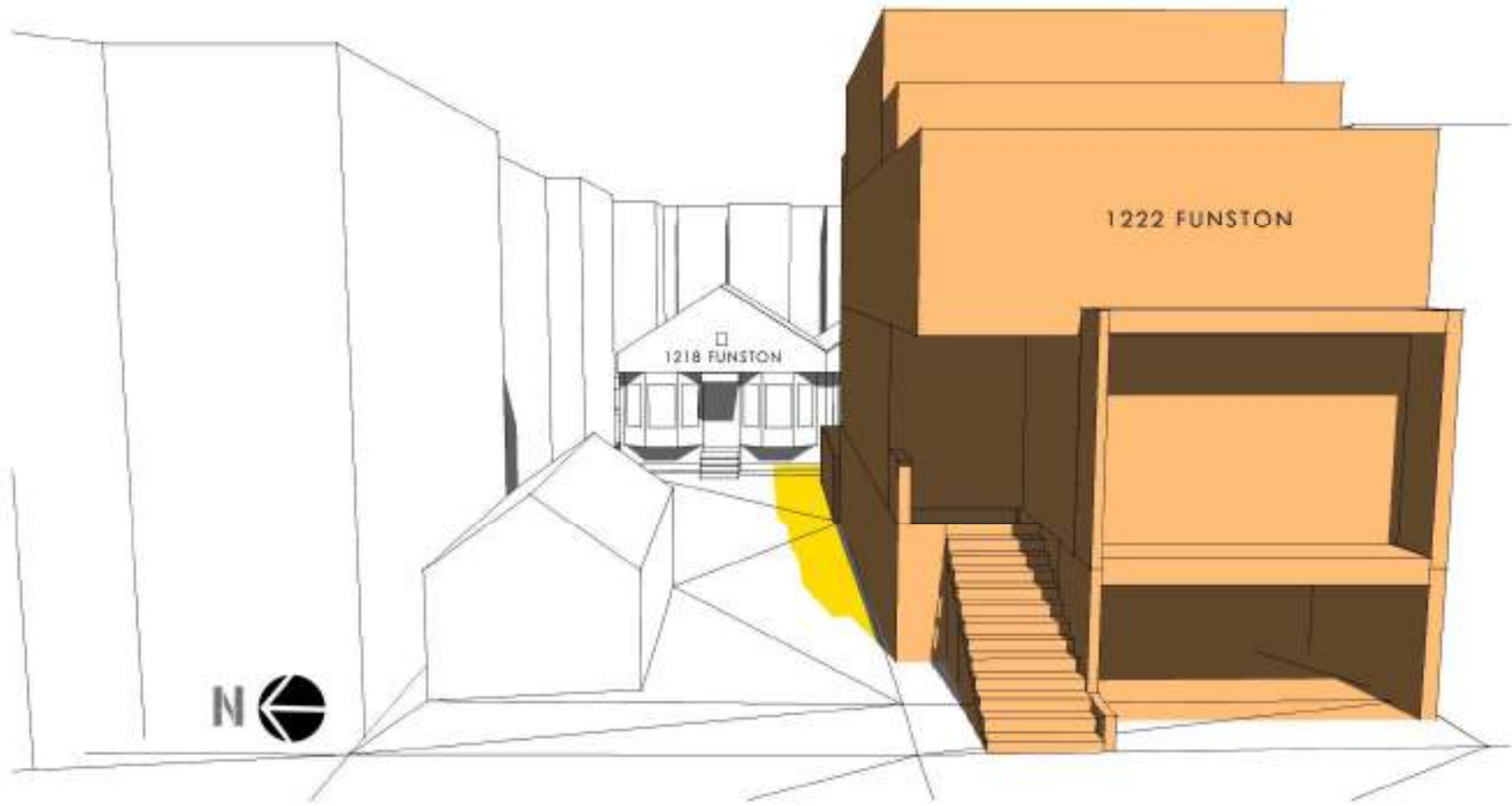


 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

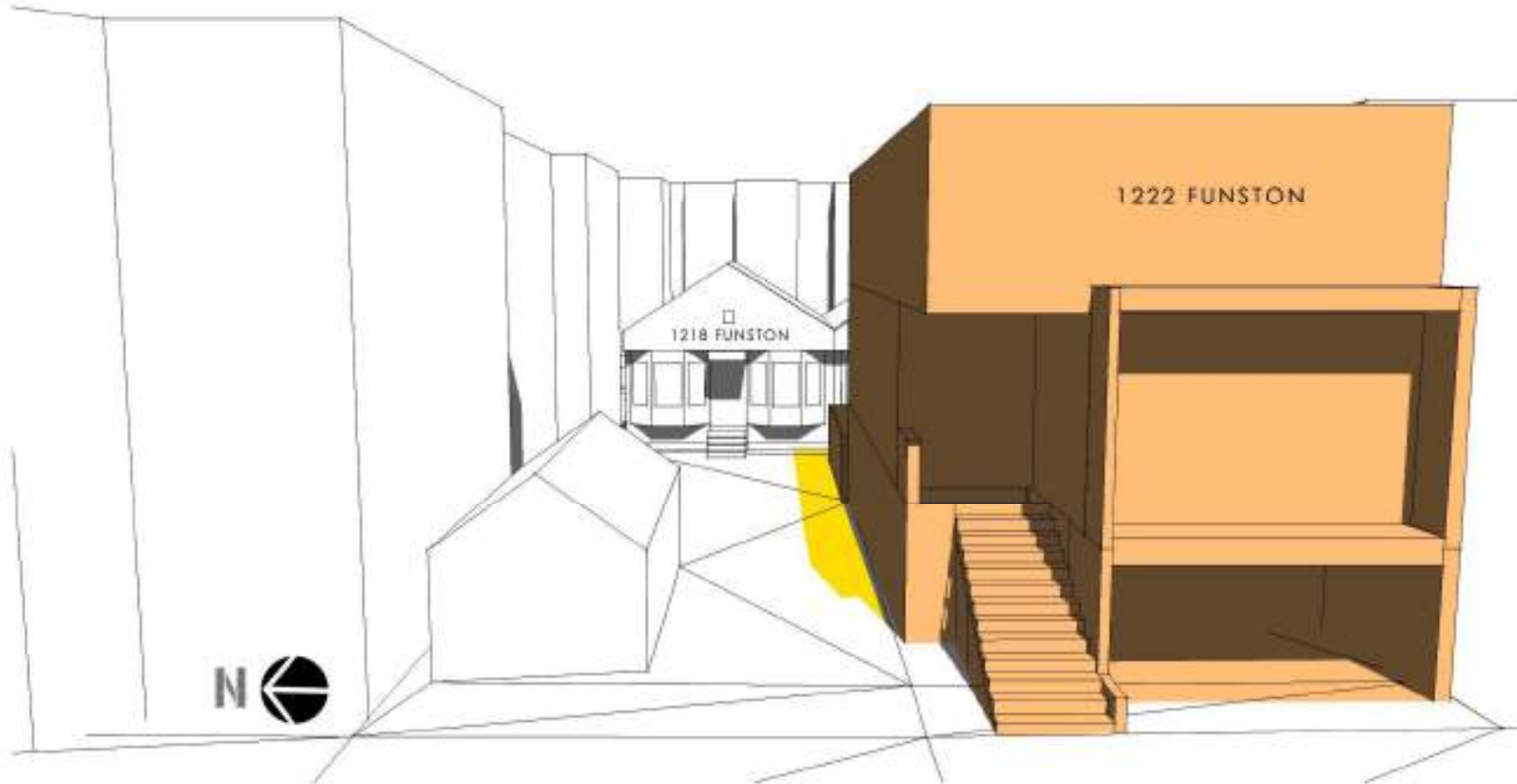
JULY/MAY 21<sup>ST</sup> 04:00 PM [PDT]



-  PROPOSED PROJECT
-  EXISTING SHADOWS
-  NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

04:00 PM [PDT]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

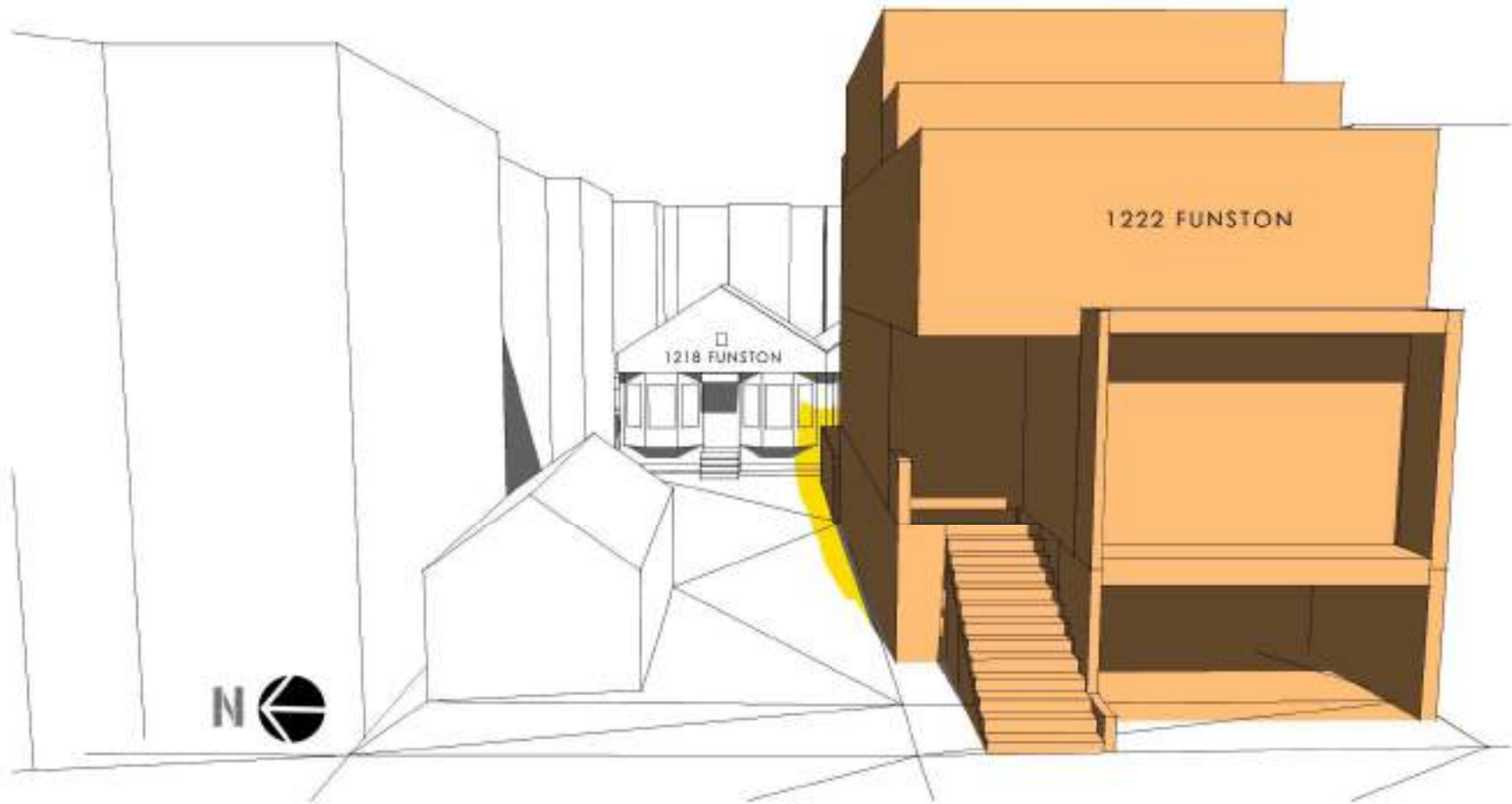
 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



## FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

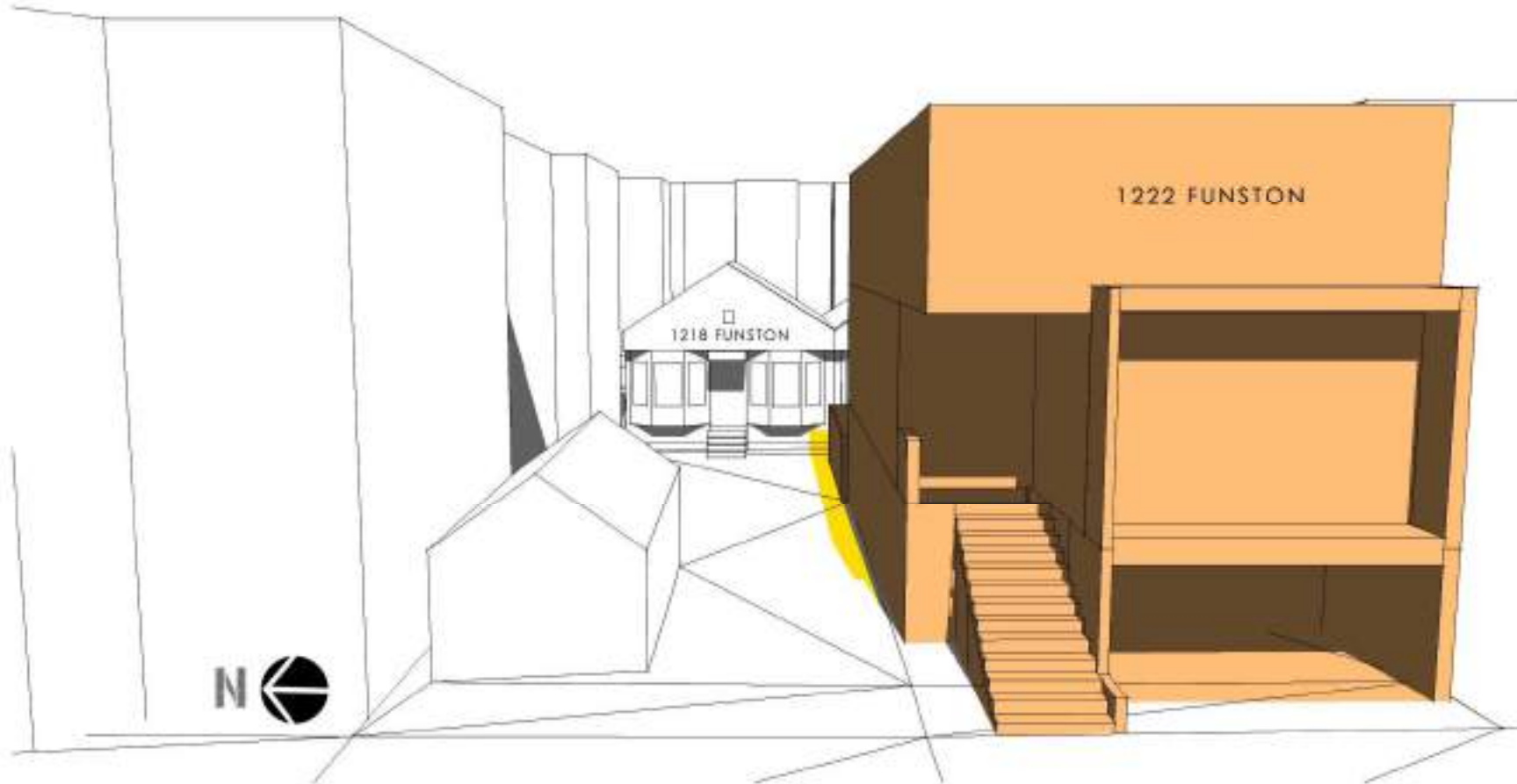
04:30 PM [PDT]



-  PROPOSED PROJECT
-  EXISTING SHADOWS
-  NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

04:30 PM [PDT]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

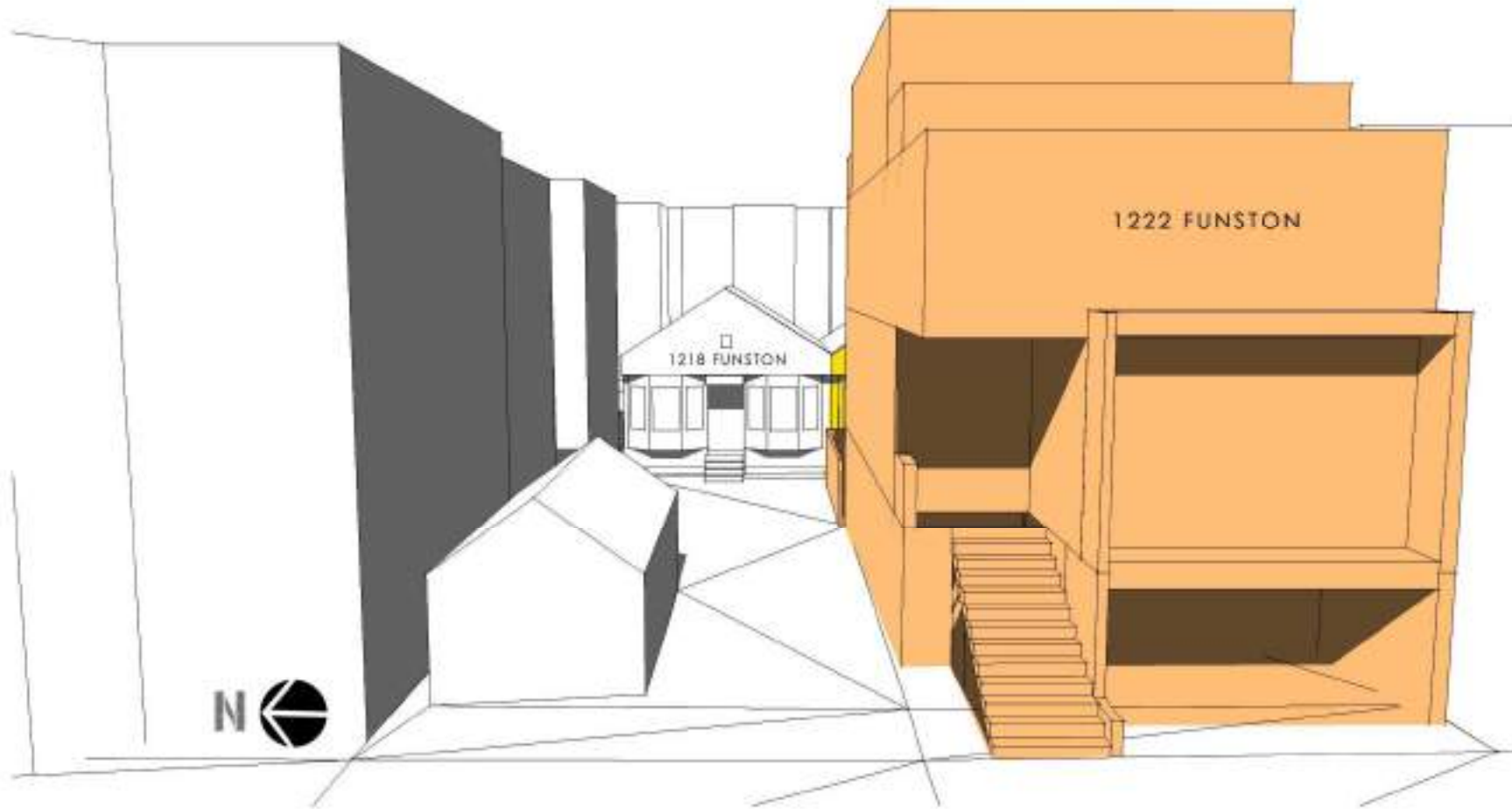
 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

A05

# FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

05:00 PM [PDT]



PROPOSED PROJECT



EXISTING SHADOWS



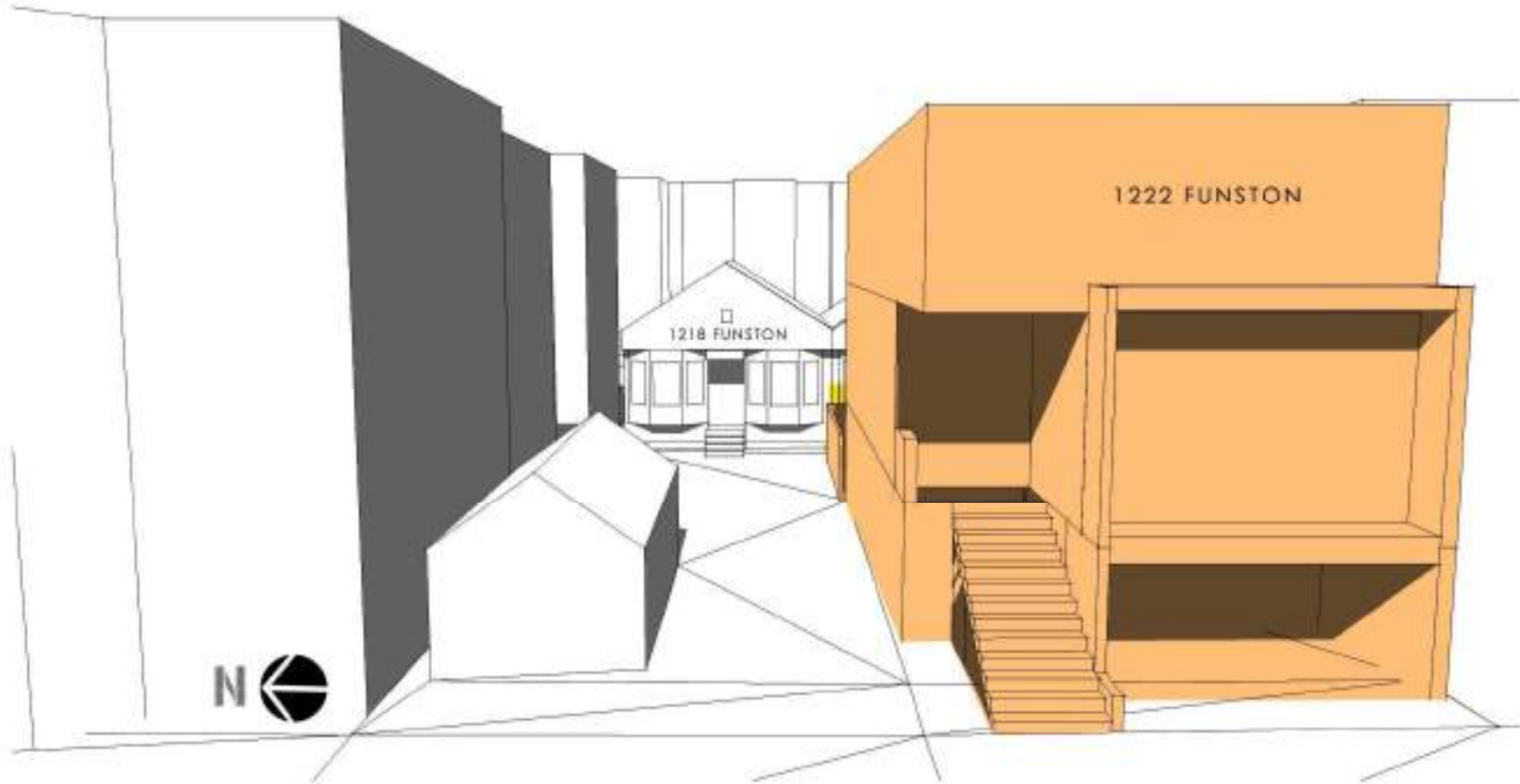
NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

A05b

# FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

05:00 PM [PDT]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

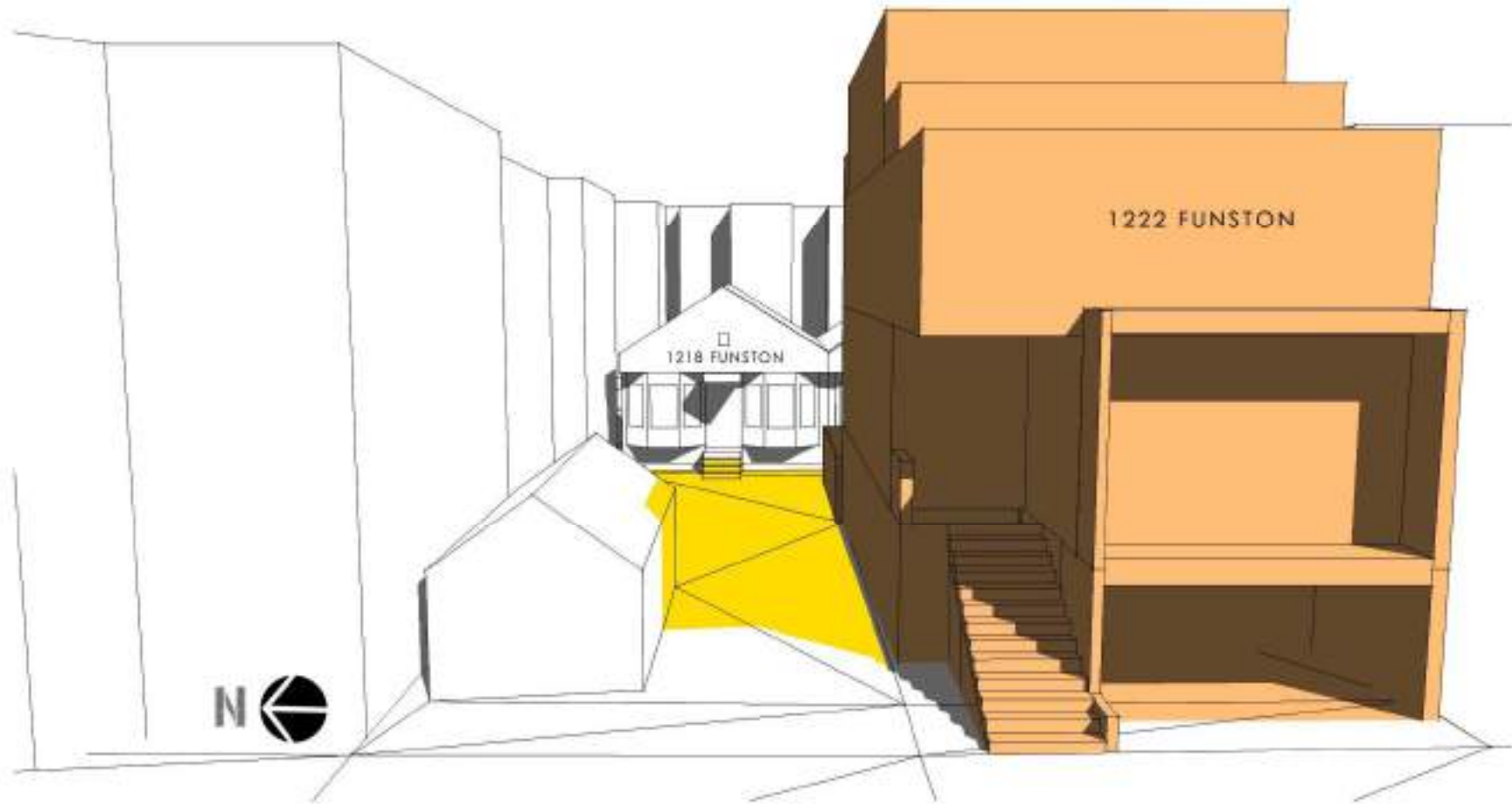
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# B01

## FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

03:00 PM [PDT]



PROPOSED PROJECT



EXISTING SHADOWS



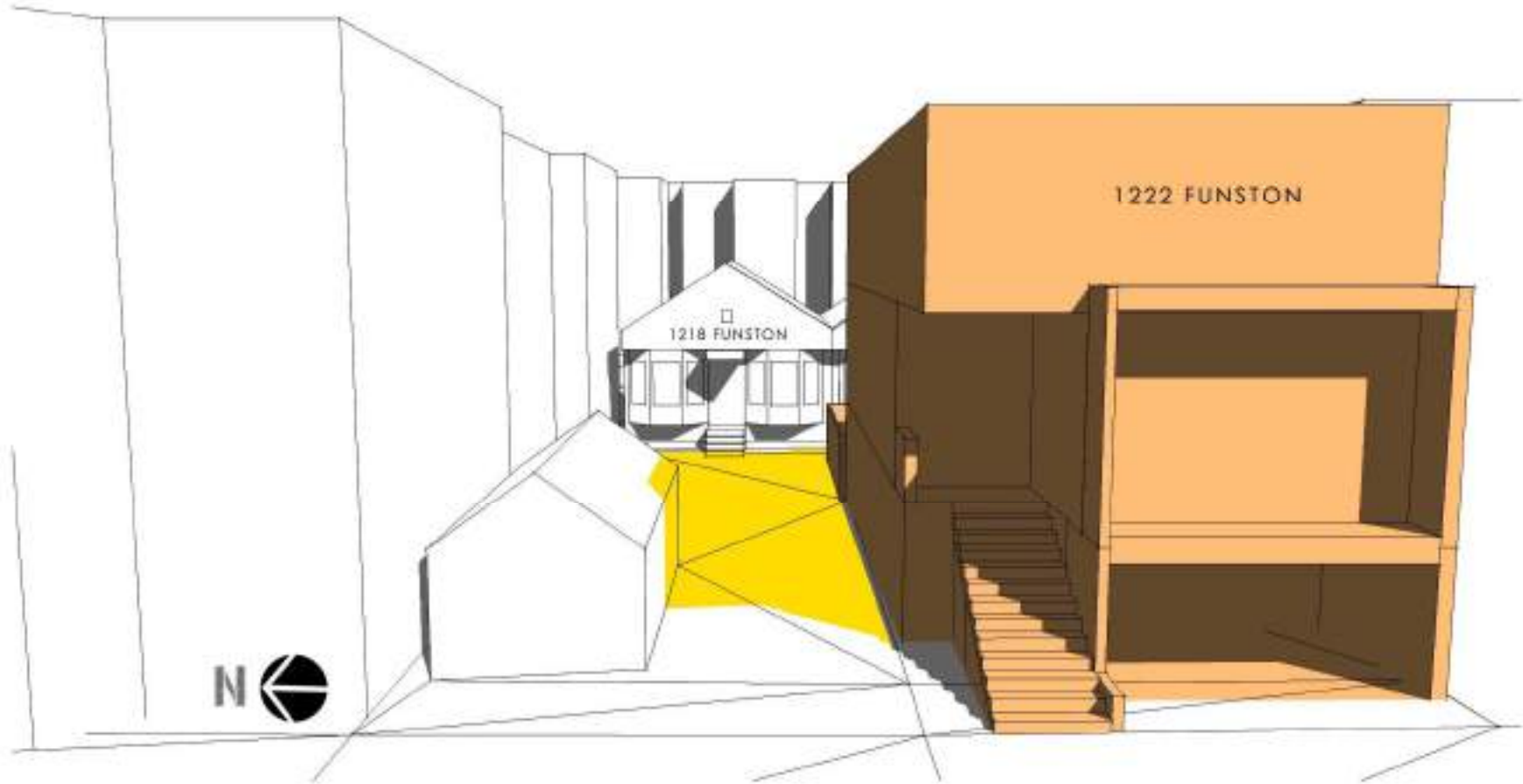
NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

B01b

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

03:00 PM [PDT]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

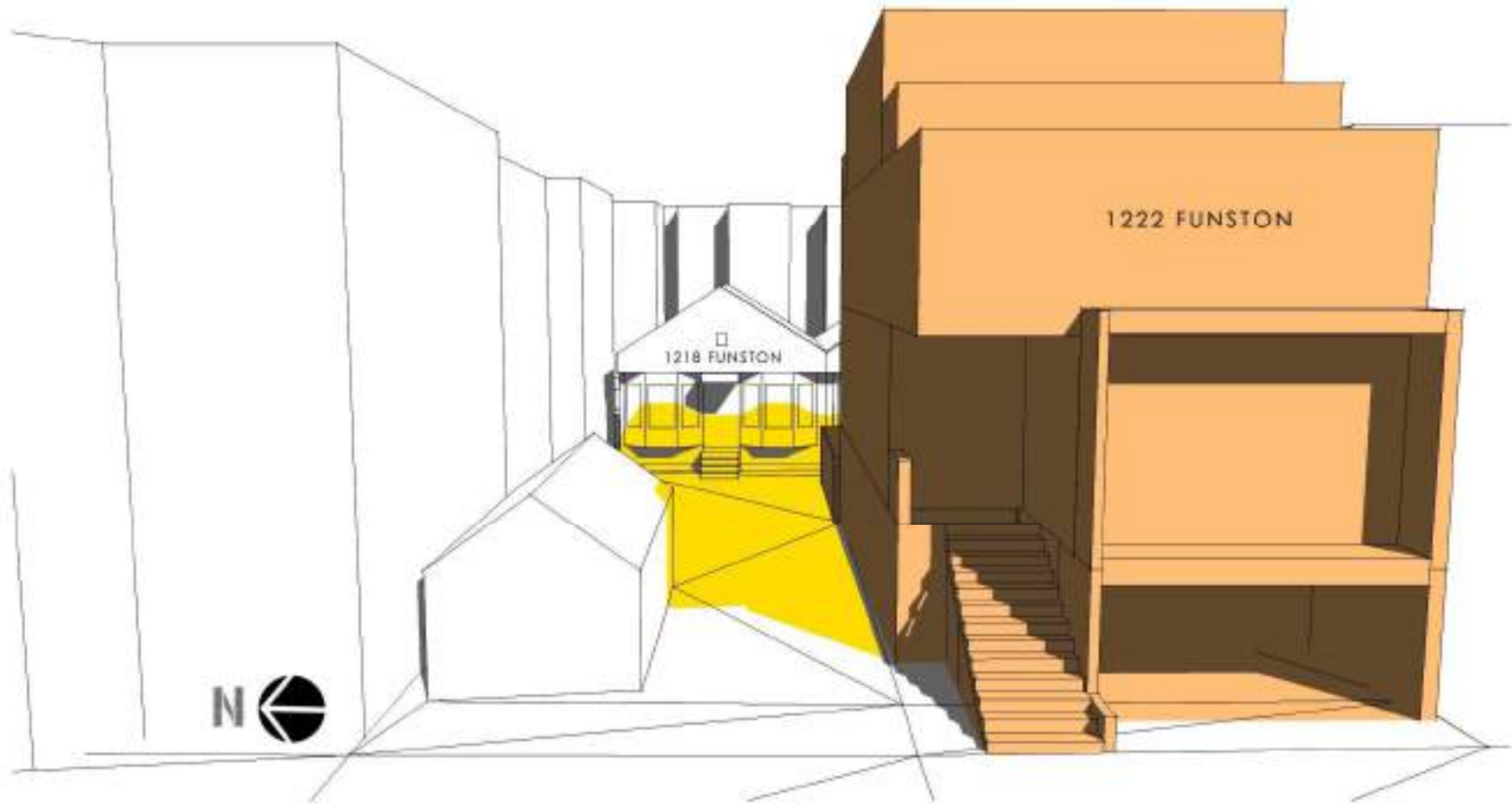
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B02

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

03:30 PM [PDT]



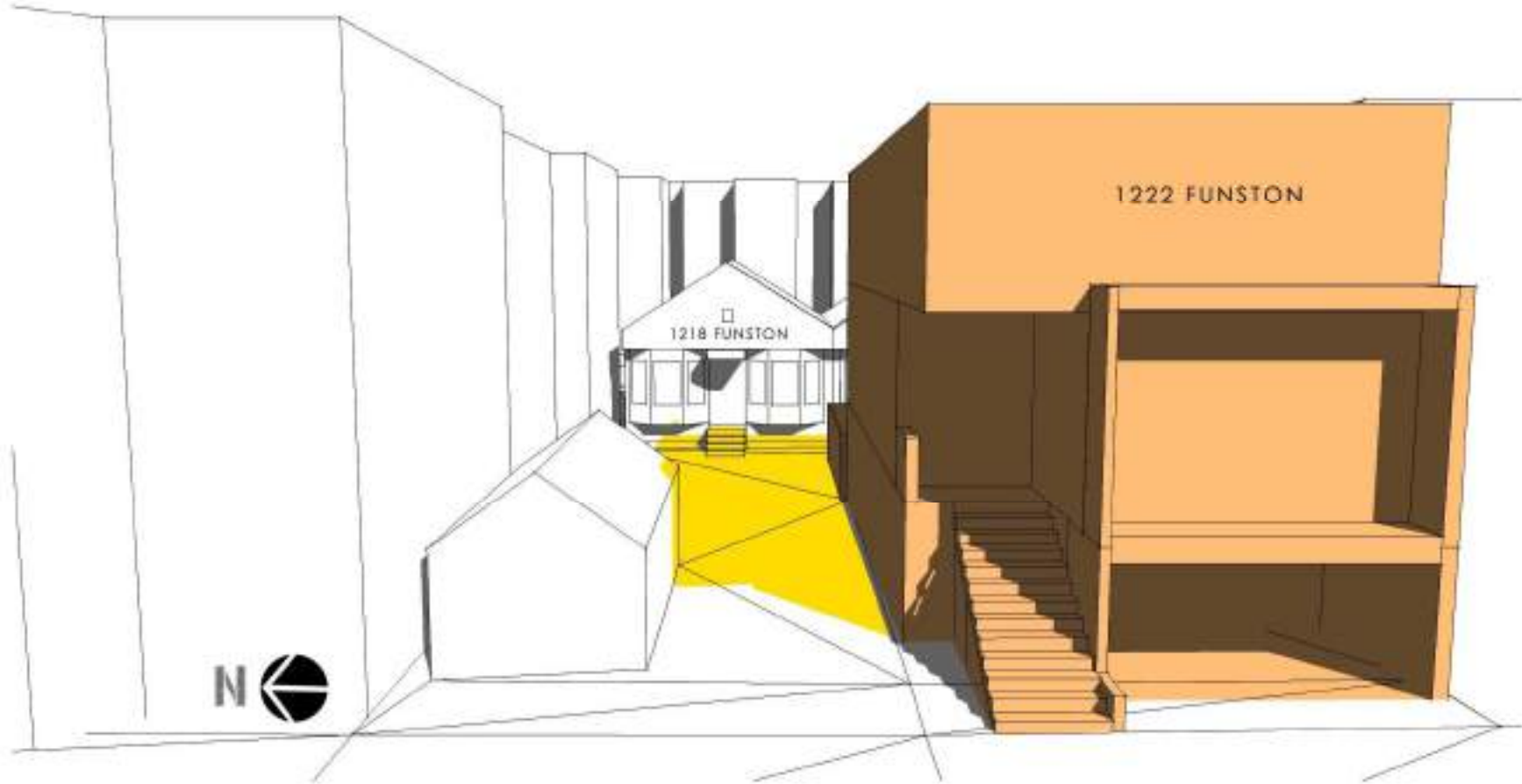
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

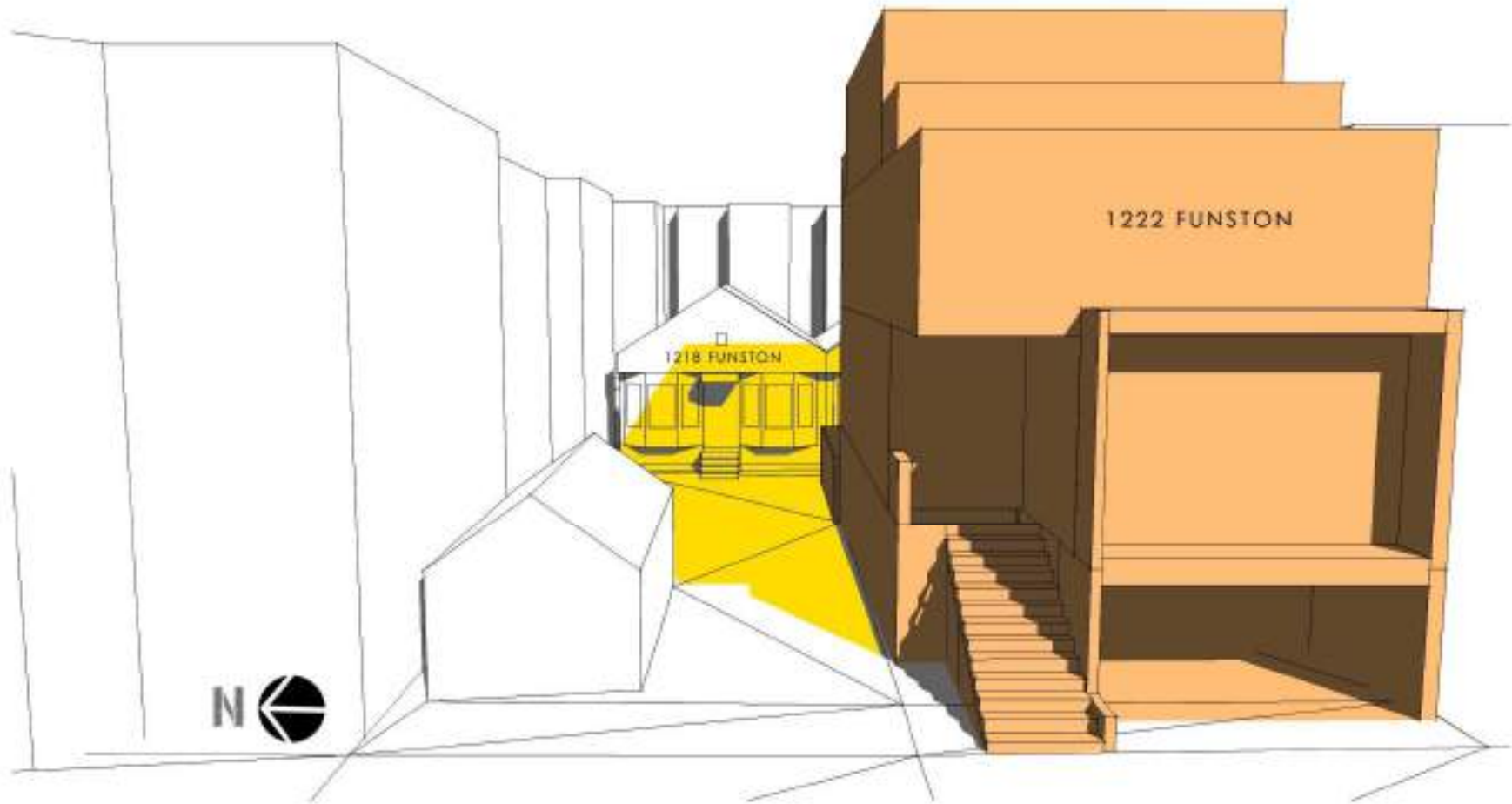


B03

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

04:00 PM [PDT]



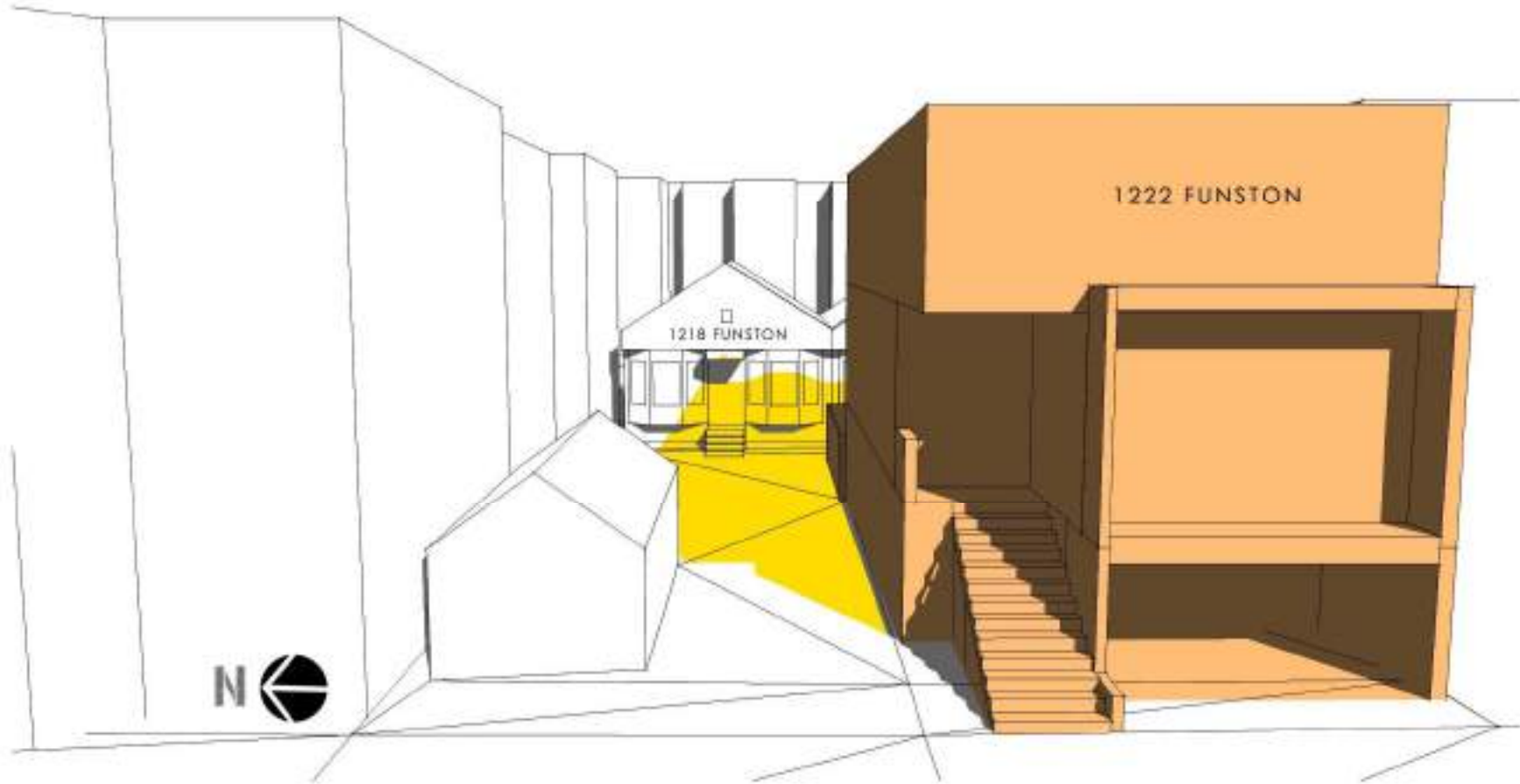
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



PROPOSED PROJECT  
WITH 3 STORIES

EXISTING SHADOWS

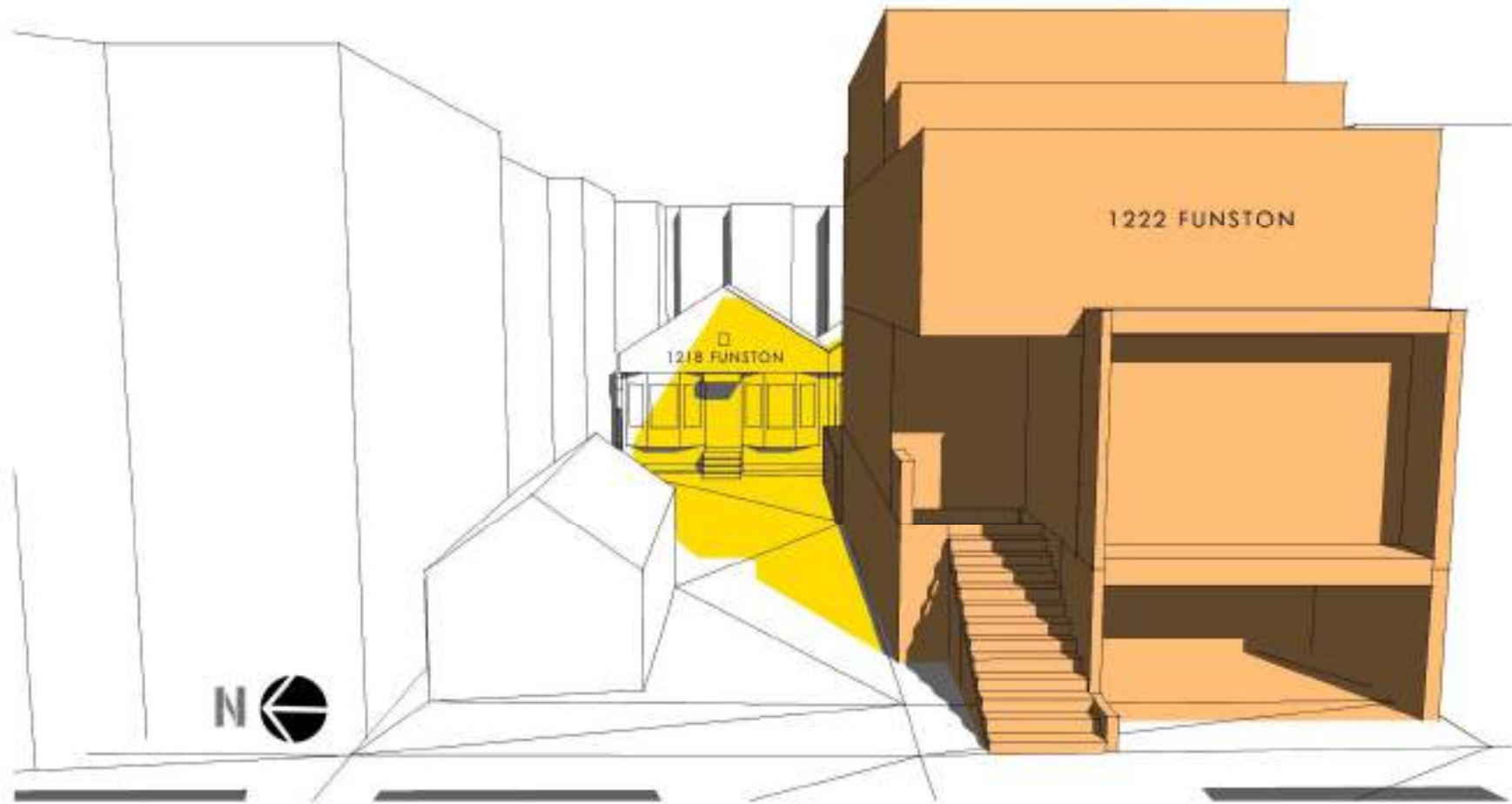
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B04

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

04:30 PM [PDT]



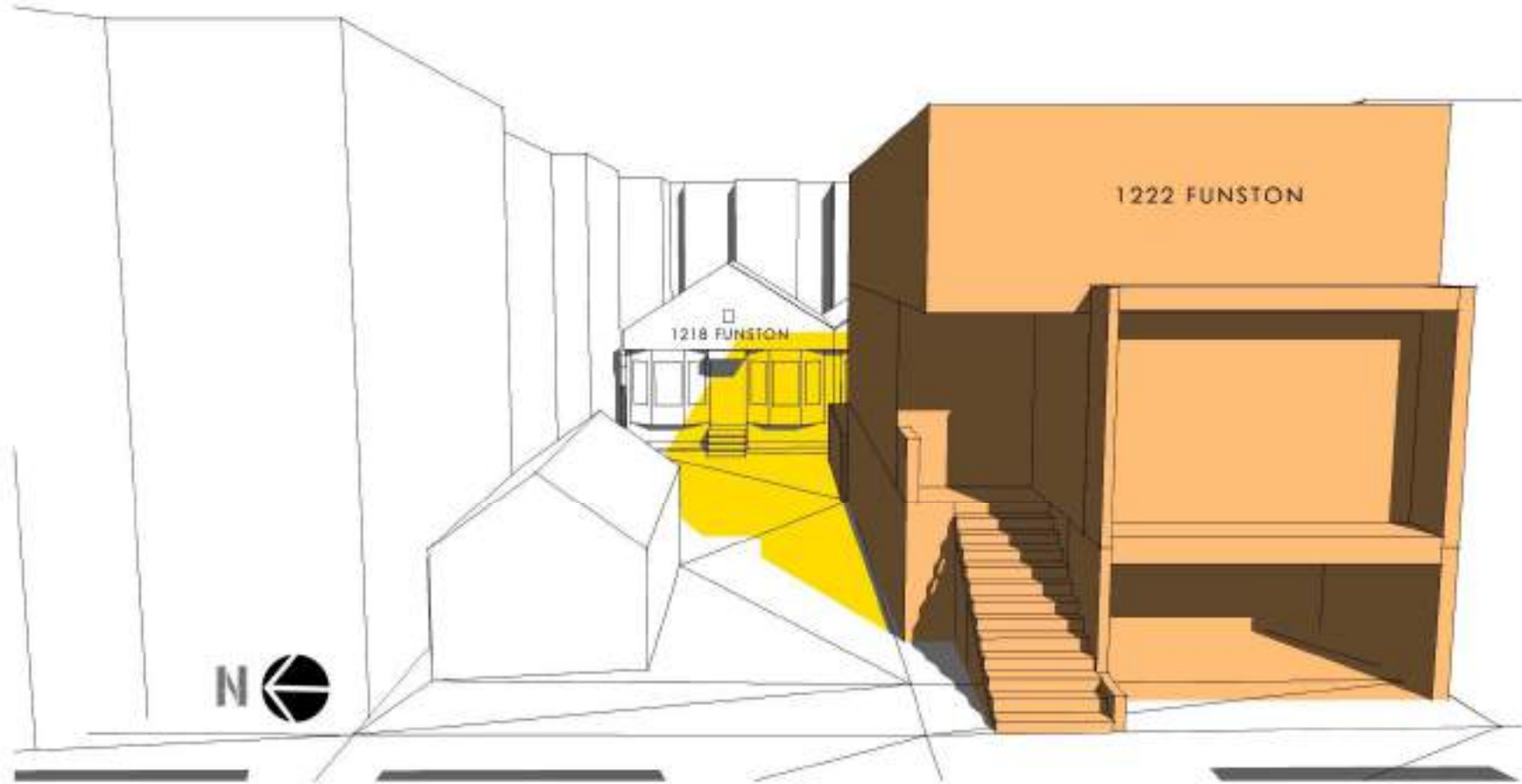
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

B05

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

05:00 PM [PDT]



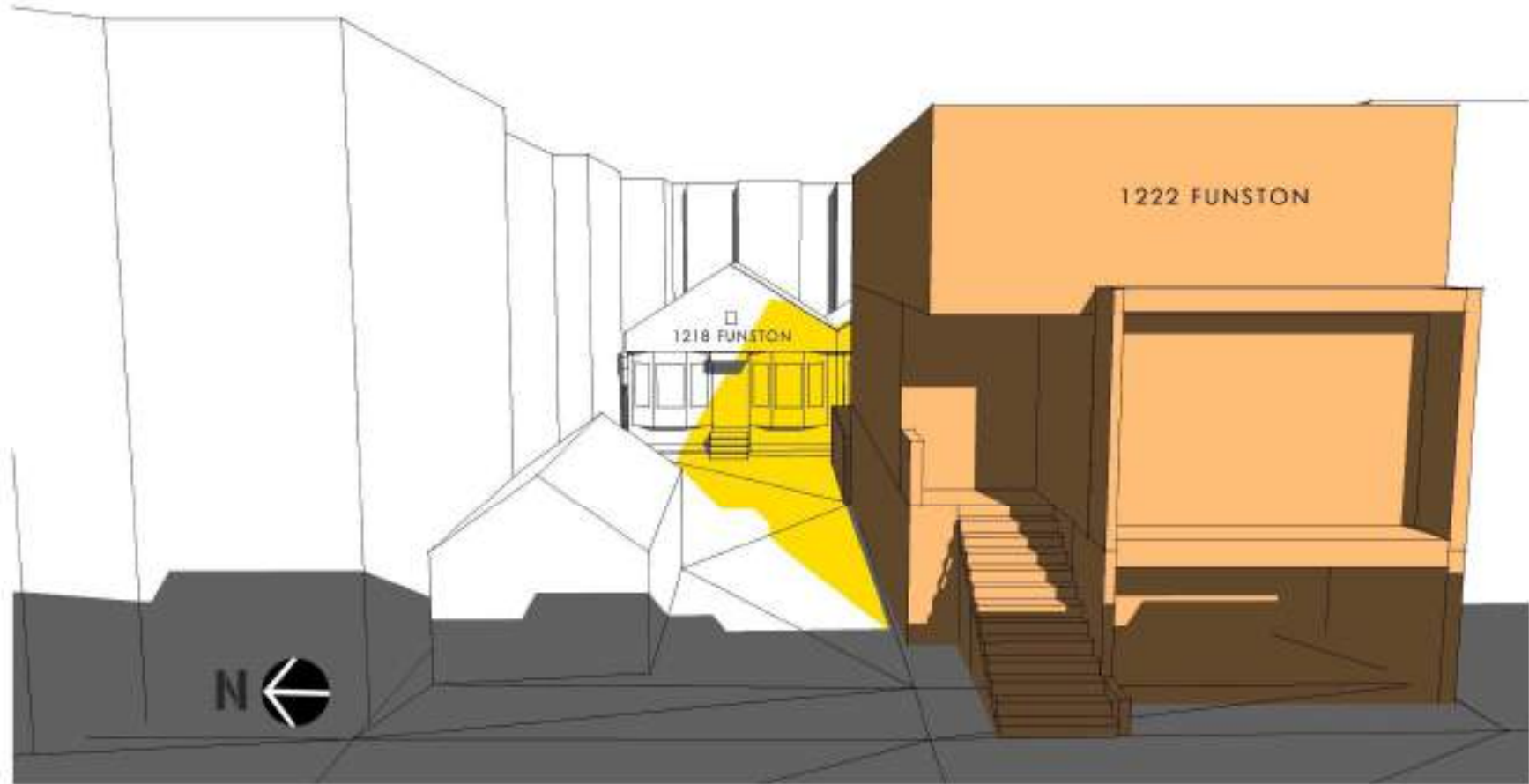
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT  
WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C01

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 02:00 PM [PST]



PROPOSED PROJECT



EXISTING SHADOWS

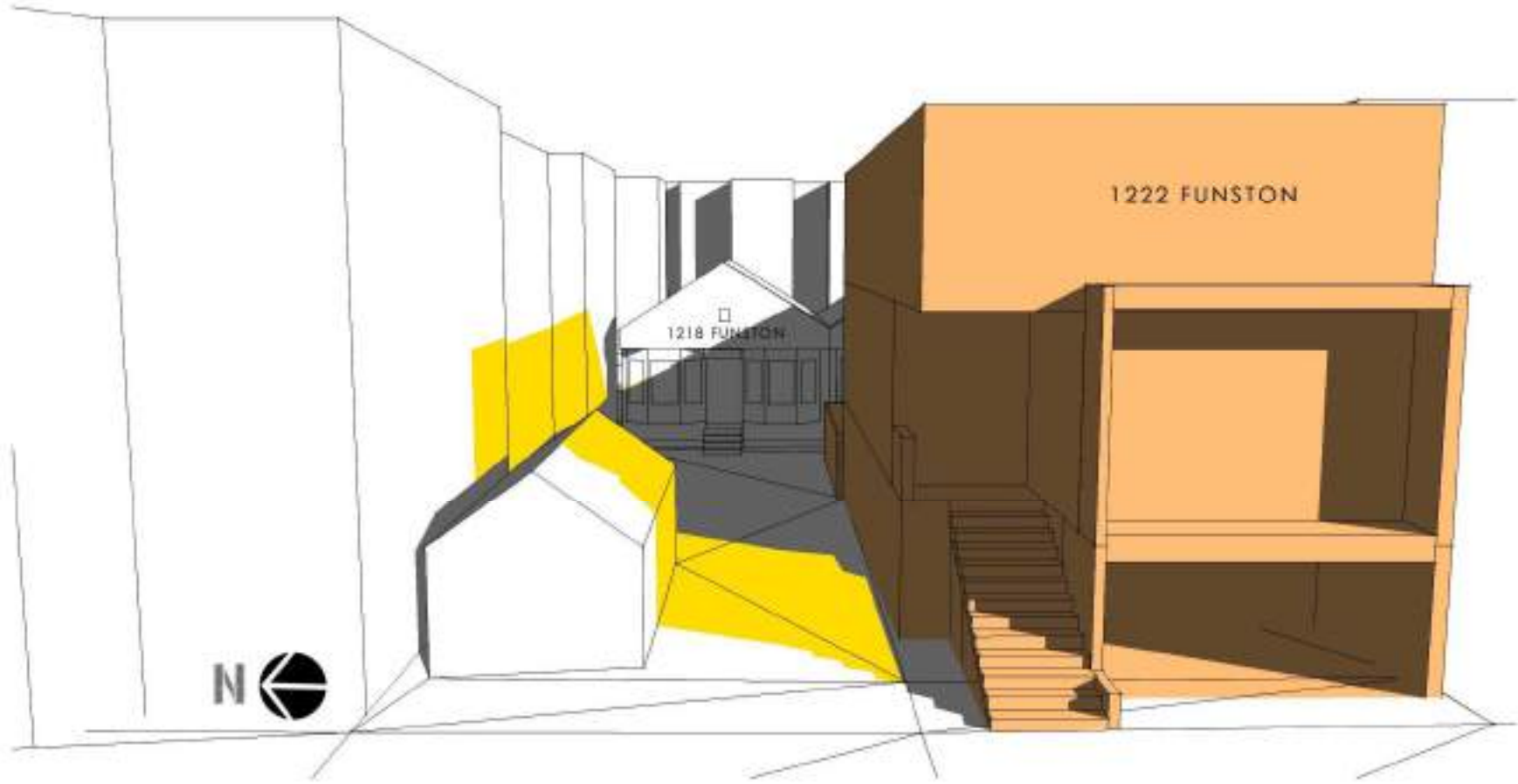


NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C01b

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 02:00 PM [PST]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



C02

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 02:30 PM [PST]



PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C03

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 03:00 PM [PST]



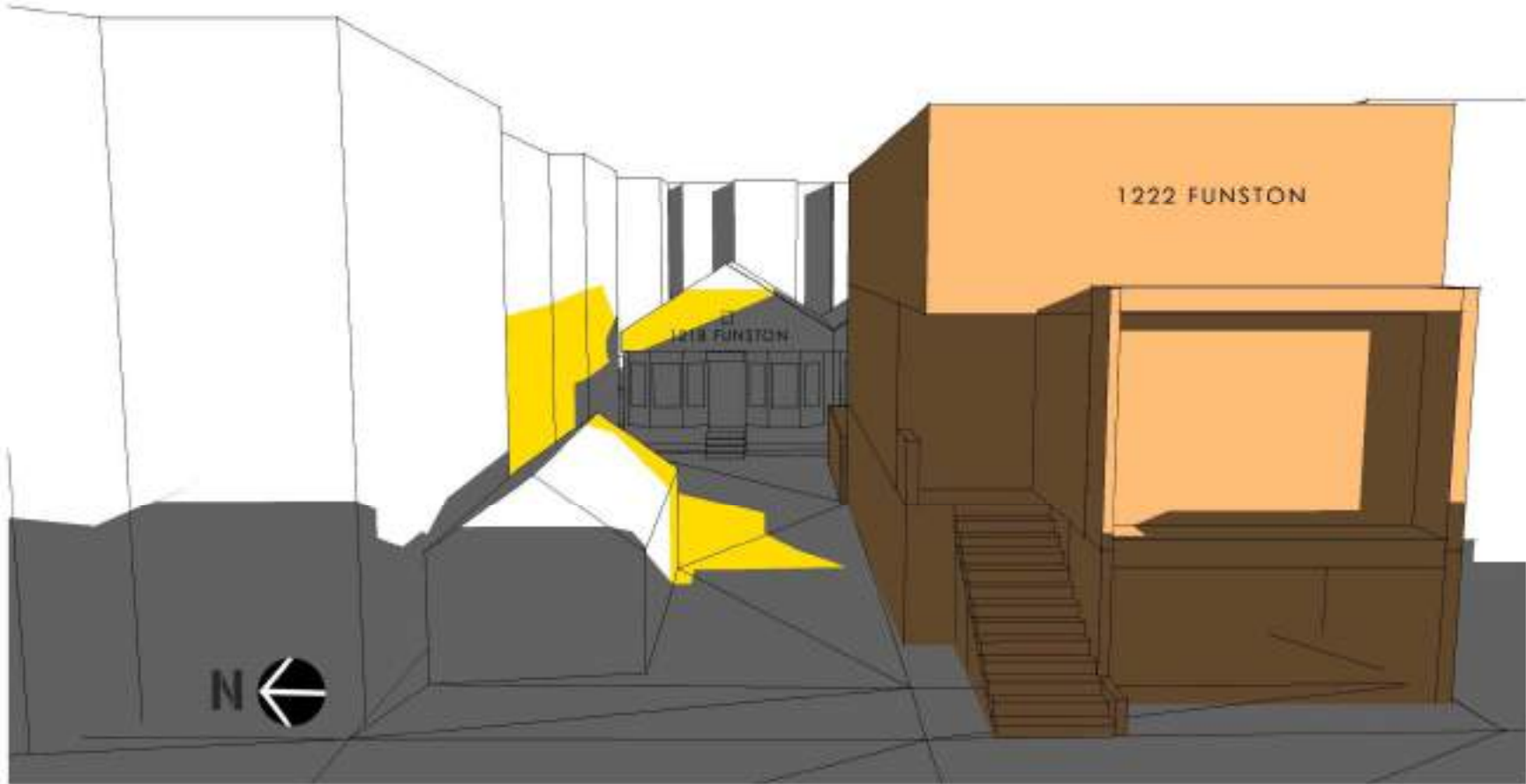
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



PROPOSED PROJECT  
WITH 3 STORIES

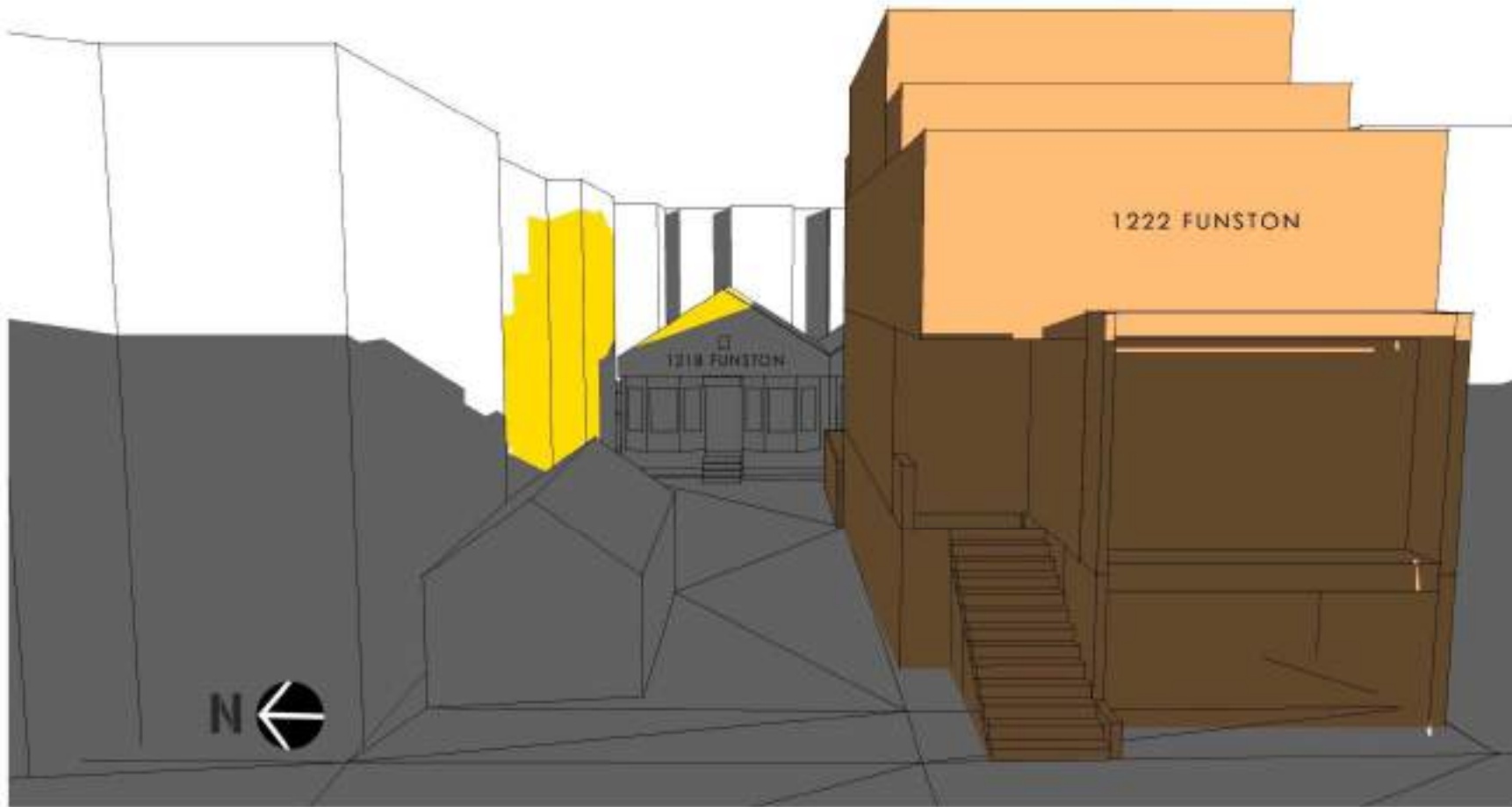
EXISTING SHADOWS

NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C04

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 03:30 PM [PST]



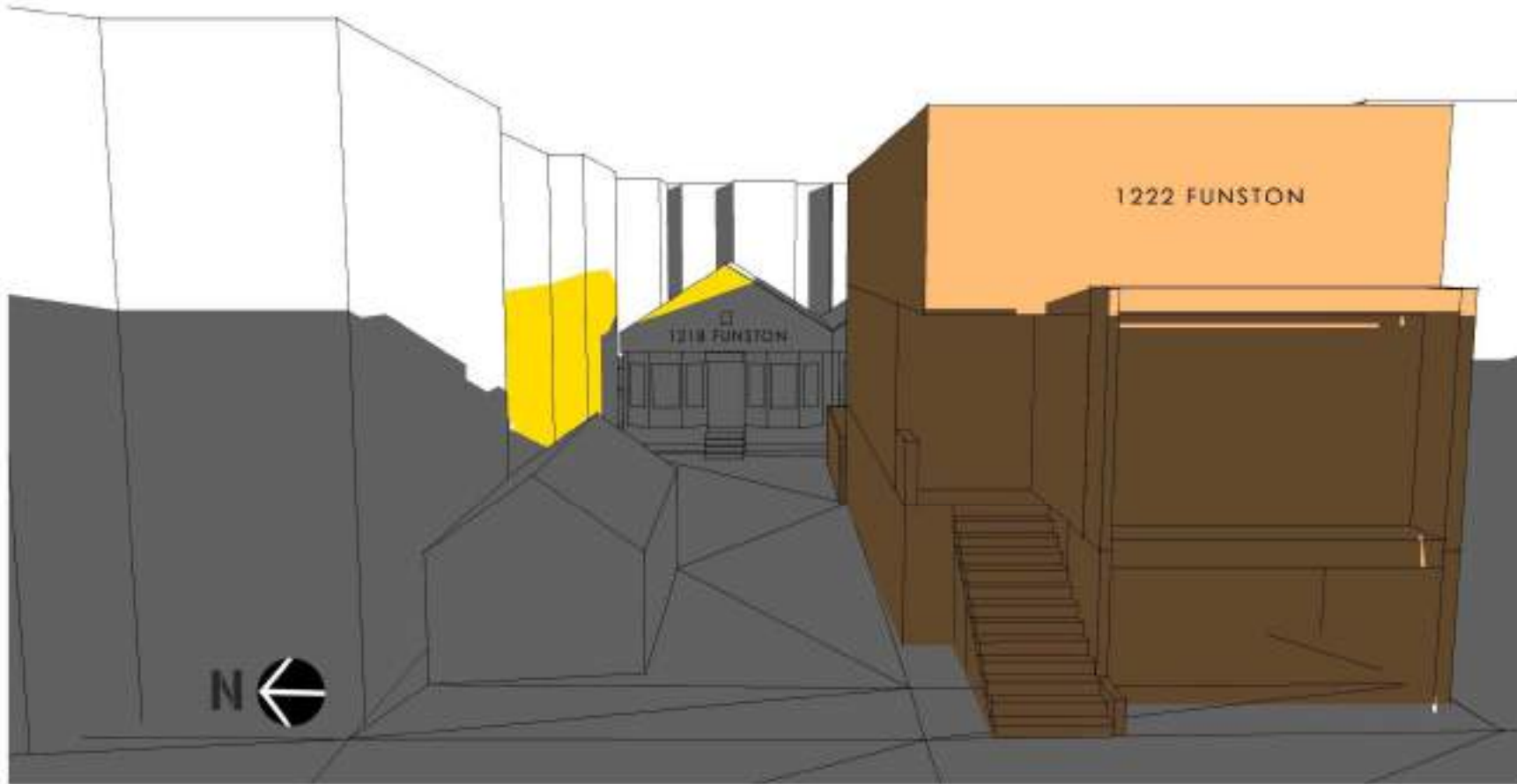
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



PROPOSED PROJECT WITH 3 STORIES

EXISTING SHADOWS

NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C05

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 04:00 PM [PST]



PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C05b

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 04:00 PM [PST]



 PROPOSED PROJECT WITH 3 STORIES

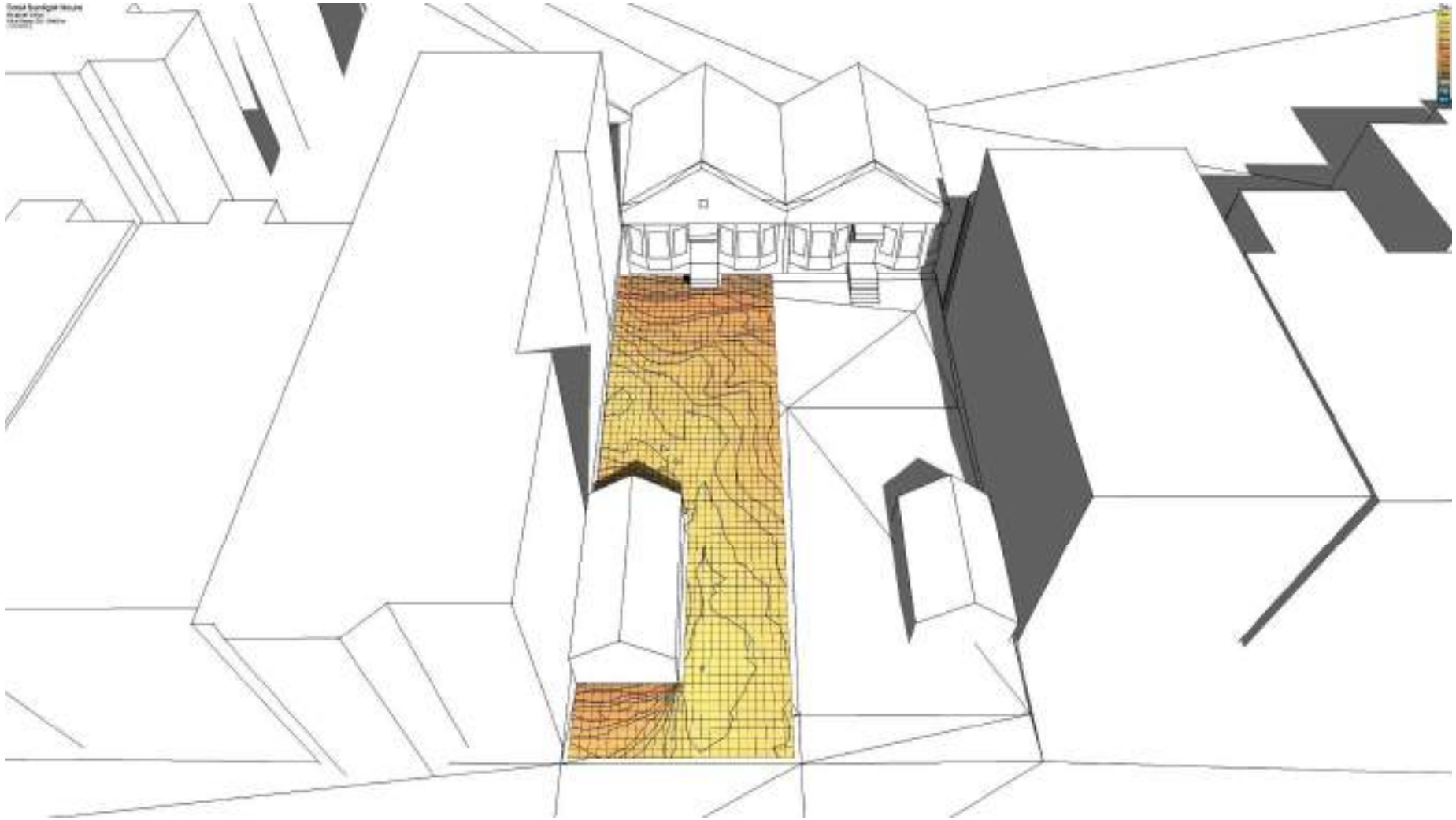
 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



## SUNLIGHT HOURS IMPACT ON THE YARD

### EXISTING CONDITIONS

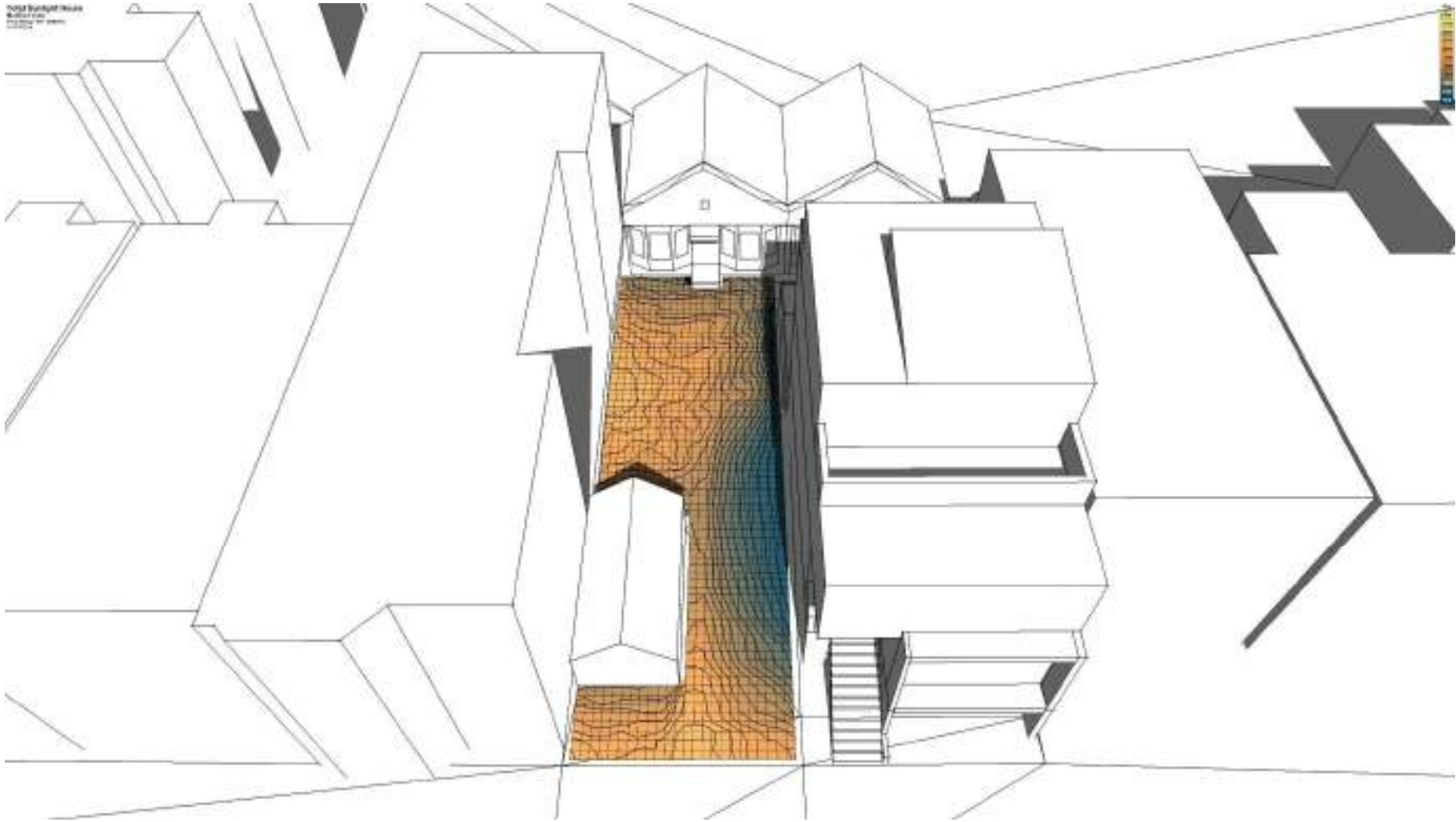


HOURS OF SUNLIGHT/YEAR

3000	2750	2500	2250	2000	1750	1500	1250	1000	750	500
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## SUNLIGHT HOURS IMPACT ON THE YARD

### PROPOSED CONDITIONS

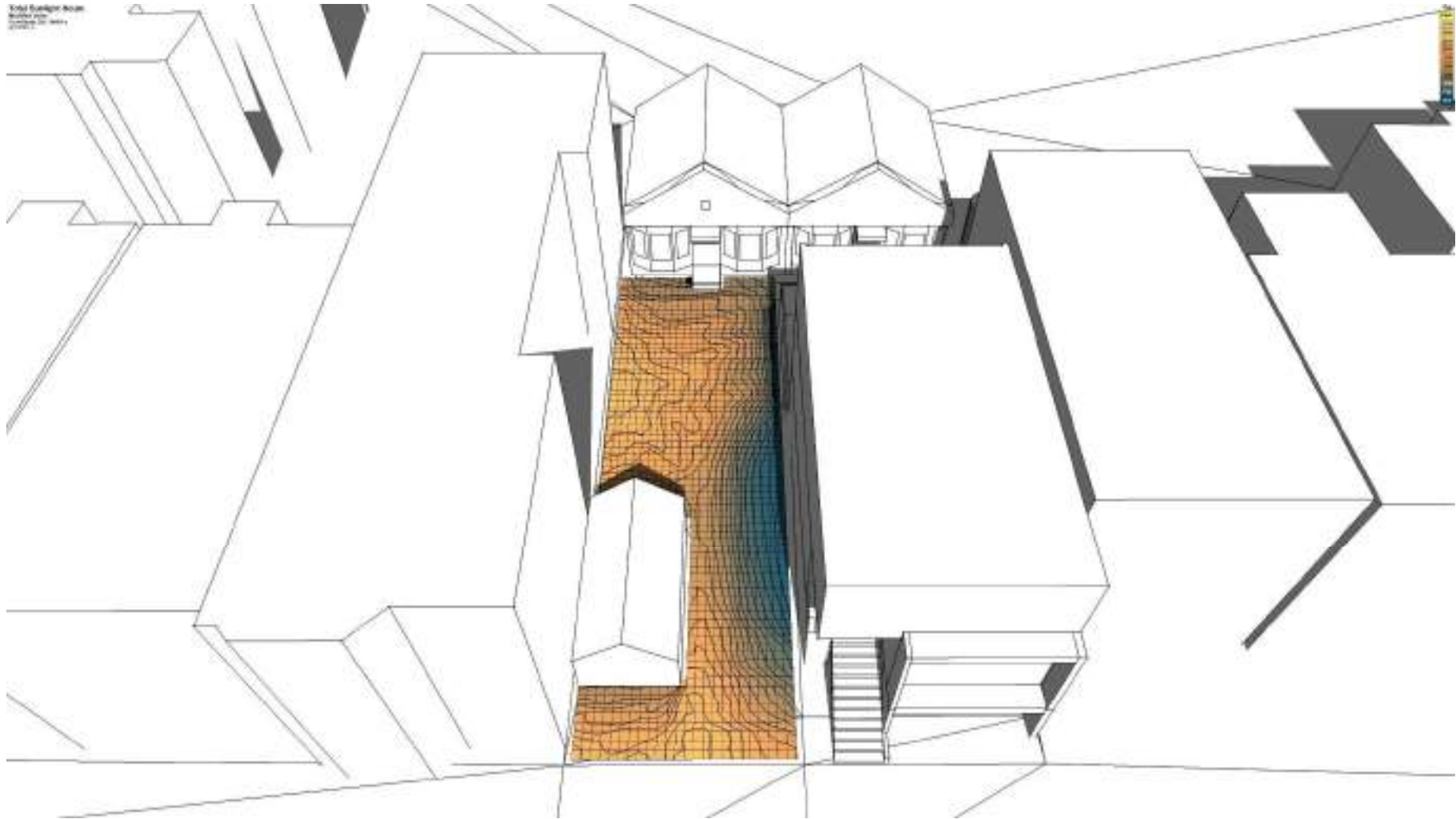


HOURS OF SUNLIGHT/YEAR

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## SUNLIGHT HOURS IMPACT ON THE YARD

PROPOSED CONDITIONS WITH 3-STORY BUILDING

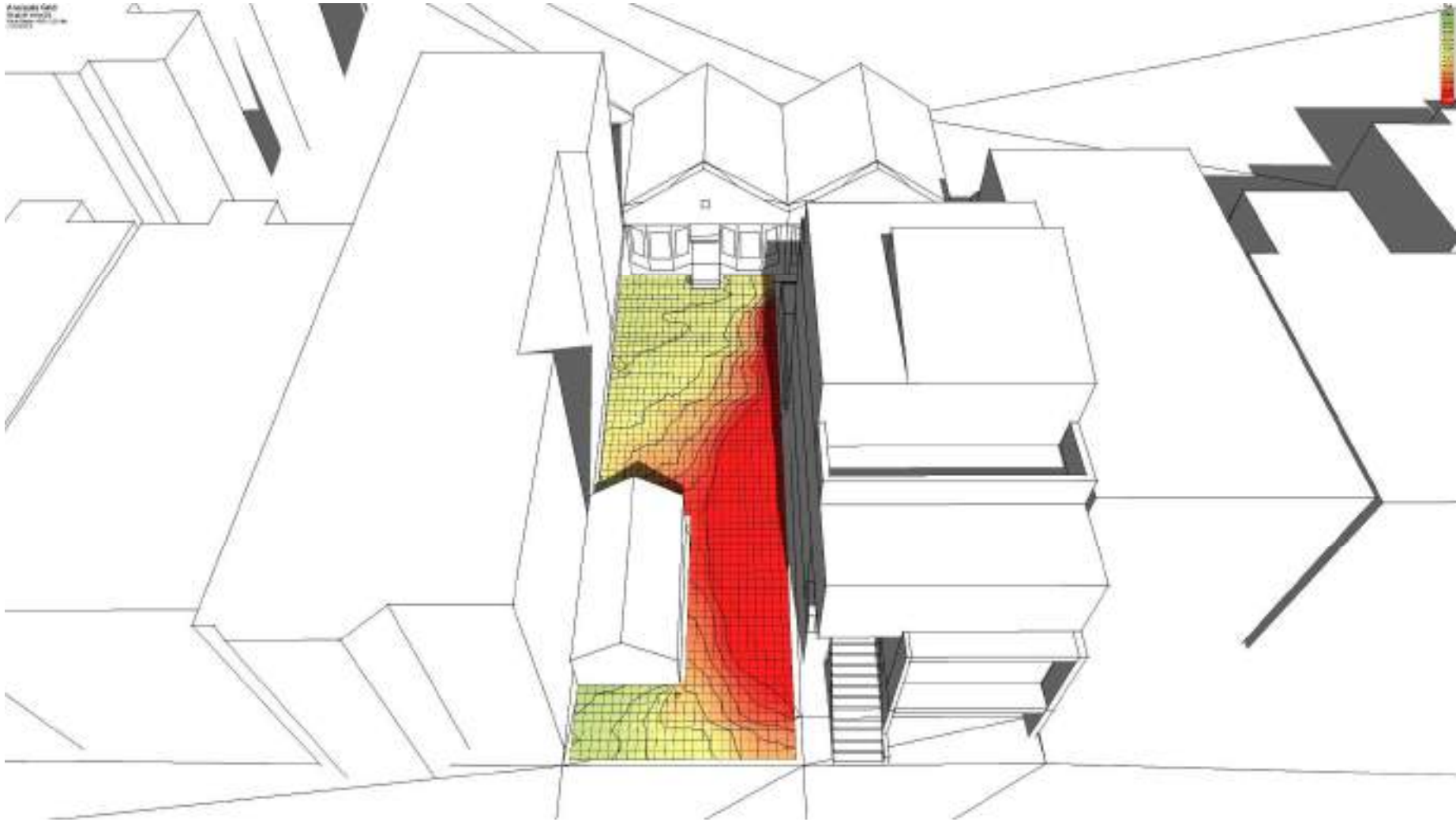


HOURS OF SUNLIGHT/YEAR

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## SUNLIGHT HOURS IMPACT ON THE YARD

PERCENTAGE DIFFERENCE

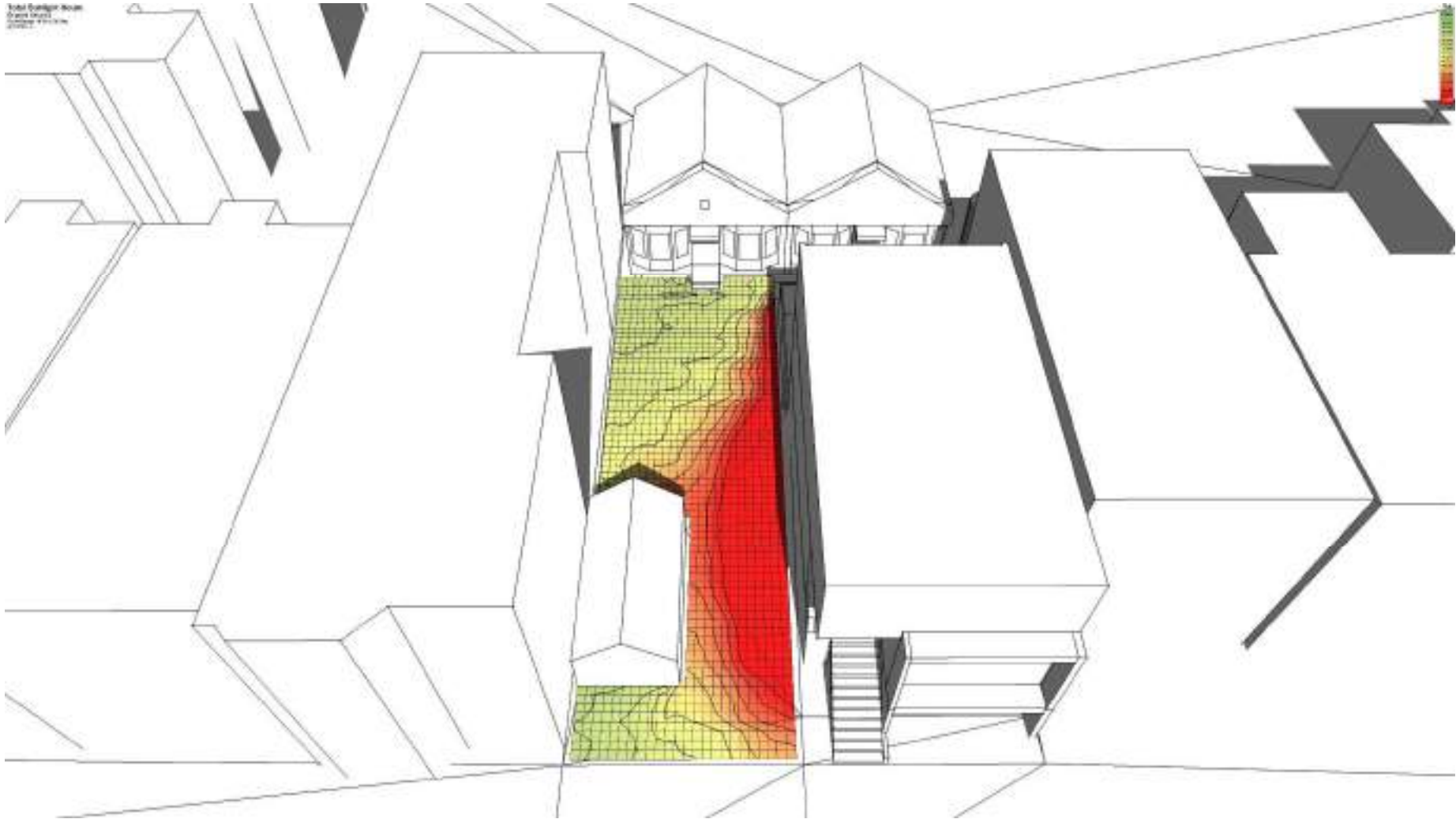


HOURS OF SUNLIGHT/YEAR

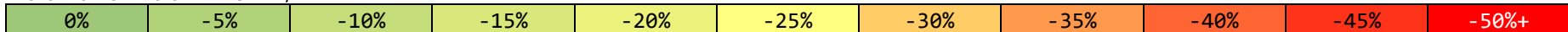
0%	-5%	-10%	-15%	-20%	-25%	-30%	-35%	-40%	-45%	-50%+
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## SUNLIGHT HOURS IMPACT ON THE YARD

PERCENTAGE DIFFERENCE WITH 3-STORY BUILDING



HOURS OF SUNLIGHT/YEAR





## **SYMPHYSIS**

Bioclimatic Design Consulting

435 S. ALEXANDRIA AVENUE #308

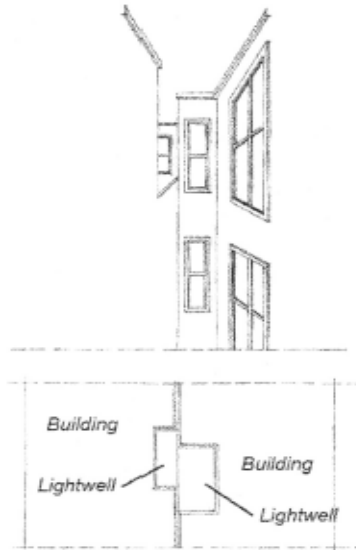
LOS ANGELES CA 90020

[www.symphysis.net](http://www.symphysis.net)

[info@symphysis.net](mailto:info@symphysis.net)



3. The openings shall be located entirely above any adjoining roof or at least six feet laterally beyond any wall of an adjoining building.



*Provide shared light wells to maximize light to both properties.*









**BRIEF SUBMITTED BY THE PERMIT HOLDER(S)**



October 14, 2021

**Email Delivery**

President Darryl Honda and Members of the SF Board of Appeals  
49 South Van Ness Avenue, Suite 1475  
San Francisco, CA 94103

**Re: Site Permit Holder's Brief in Opposition to Appeal**

Appeal No.: 21-080  
Appeal Title: Feng vs. DBI, PDA  
Subject Property: 1224 Funston Ave  
Permit Type: Site Permit  
Bldg. Permit No.: 2018/1211/8001

Dear President Honda and Board Members,

I am the Architect/Agent acting on behalf of Kieran Woods, Owner of 1222 Funston Avenue in San Francisco. His project was issued a site permit (BPA #2018/1211/8001) on August 4, 2021 to construct a new single-family home at the front of the lot (new address: 1224 Funston Avenue); the site permit is before you.

This is the second time this Appellant has brought this project to this Board, the first being BOA appeal #20-061 of the Variances, which was heard on 10/28/2020, referred to the ZA for confirmation of his earlier decisions, and continued to 11/04/2021, where the Zoning Administrator's Variance Decision was upheld, with an additional condition forbidding any additional decks (**see Exhibit A - NSR**).

In addition to the site permit appeal currently before you (Appeal No. 21-080), this project has been subject to a high level of agency review and neighborhood notification including,

- a noticed pre-application community meeting (9/5/18),
- 311 notification of BPA #2018-1211-8001 (11/26/19-12/26/19),
- a Variance Hearing 2018-015239VAR before the Zoning Administrator (12/5/19),
- redesign for the Zoning Administrator (1/15/20),
- 311 re-notification of BPA #2018-1211-8001 (2/20/20-3/6/20),
- Planning Commission Discretionary Review Hearing 2018-015239DRP (7/23/20) – unanimous approval,
- Board of Appeals Hearing No. 20-061 on issuance of a Variance Decision (10/28/20 and continued to 11/4/20) – approval with conditions.

**We ask that the Board deny this appeal of the site permit BPA #2018-1211-**

**8001** and uphold the prior decisions this Board (Appeal No. 20-061 of the Variances), the San Francisco Planning Commission (2018-015239DRP), the Zoning Administrator (2018-015239VAR), and the Planning Department staff and Residential Design Advisory Team.

**A. PROJECT HISTORY:**

The scope of work for this project, submitted in 2018, proposes a new single-family home be constructed at the front of this RH-2 / 40-X lot in the Inner Sunset. The lot is characterized by a large front yard with a small one car detached garage to be demolished to make room for the new structure; and a small 815 square foot cottage in the rear of the property to remain (**see Exhibit B, City Approved Plans, survey sheet G0.04 and photos G0.03 and see Exhibit C – 1222/1224 Funston Block Face**). The cottage has been found ineligible for the California Register and is not a contributor to any historic district. The cottage is “existing non-conforming,” in that it is in the required rear yard of the lot as defined by today’s Planning Code section 134, which calls for the rear 45% of this 120-foot deep lot to be undeveloped.

The cottage at 1222 Funston, moreover, is a duplicate of and attached to a cottage on the Appellant’s property (1218 Funston) located immediately to the north. The Appellant’s cottage (1218 Funston) encroaches onto the subject parcel by about 12 inches (**see Exhibit B, City Approved Plans, survey sheet G0.04 and see Exhibit D – Common Demising Wall**).

The project sponsor decided at the onset that instead of pursuing demolition of the existing cottage to create a conforming lot condition with a new 2-unit structure at the front of the lot, he would preserve the existing small affordable rental cottage

and build a new single-family home in the buildable envelope of the parcel (towards the front of the lot). This decision also benefited the Appellant, as removal of the cottage at 1222 Funston would also have required removal of a portion of the Appellant's cottage on the project sponsor's lot.

Kerman Morris Architects (KMA) designed the proposed home and made 2 rounds of revisions pursuant to Department Plan Check Letters and RDAT comments which lowered the height of the proposed building and increased its distance from the Appellant's cottage. The Planning Department encouraged us to pursue a front yard variance in order to shift the new structure more towards the front property line (reduce the front setback) and provide ample space (the "rear yard equivalent") between the proposed back wall of the new structure and the façades of both our cottage and that of the Appellant (see Exhibit B – City Approved Plans, site plan A1.01).

**B. PRIOR ACTIONS:**

At the 12/05/2019 Variance Hearing, the Appellant voiced opposition to the project, and subsequently the 311 Notice period expired (on 12/26/19); but no Discretionary Review was filled. Unusually, the Planning Department subsequently contacted the project sponsor and Kerman Morris Architects (KMA) and asked for additional changes, namely that the proposed new home be slid another 30 inches



towards the street, in order to open up more space at the rear for the benefit of the soon to become Appellant. Those changes were made to the project plans, the revised project was re-noticed and this time the Appellant Rose Feng filed her DR. The DR was heard 07/23/2020 before the full Planning Commission and with unanimous approval by all Commissioners and with no further changes.

The Variances were appealed to the **Board of Appeals (No. 20-061)** which was heard (with lively and extensive discussion) on 10/28/2020; referred back to the ZA for confirmation of his earlier decisions; and continued to 11/04/2021, where the Zoning Administrator's Variance Decision (see Exhibit E – Variance Decision) was upheld, with an additional condition forbidding any additional decks.

**C. THE BOARD OF APPEAL VARIANCE DECISION: (No. 20-061)**

The Board of Appeals Variance hearings involved in-depth analysis by all present Board Members and Commissioners, lively discussion of far-ranging topics, and close scrutiny of all aspects of this project. Because this project is being re-considered *de novo* for this hearing, the findings of those hearings deserve attention.

- The non-conforming cottages at the rear of the subject and appellant's lots create a hardship and design challenges: As outlined in our and Mr.

Scott Sanchez's (Planning Department) responses to Board

Commissioner questions, this is a tough site. With the decision to keep the existing cottage (which of course benefits the appellant), the only development opportunity to get a second unit on this RH-2 lot is to push the new/proposed home forward on the lot. This necessitated variances to both rear yard requirements and front setback requirements, simply to create a reasonable floor plate for the proposed home (see Exhibit B – City Approved Plans). The fourth floor is necessary to get around 3,000 square feet of living space.

- Other development options are more impactful on the Appellant:  
Demolishing the cottage on the subject lot would enable a conforming 2-unit building to be constructed that would be significantly larger than the proposed single family home; however the buildable envelope for that structure (even without variances) would result in a structure significantly closer to the Appellant's home; exerting a greater shadow impact on the Appellant (see Exhibit F – Development Alternatives).
- The neighborhood context is diverse and complex: The neighborhood includes homes and multi-unit buildings in varied styles in the block face, generally around 3-stories tall. Across the street is an apartment block

that spans half the block, which is 4-stories tall and modern in aesthetic (see Exhibit C – 1222/1224 Funston Block Face). Scott Sanchez reported back to the Board at the 11/4/20 hearing that the ZA reconfirmed he took all this into account when he required us to move the structure forward, lower it, and hold the 4<sup>th</sup> floor back from the block face so it is not disruptive of neighborhood patterns. The front entry stairs follow the pattern of the homes in the block face to the south and the subject building's modern aesthetic is in keeping with the block face across the street (see Exhibit B – City Approved Plans, site plan A5.01).

- Commissioners expressed concern about proposed building scale, but it is consistent with neighborhood context and Residential Design Guidelines: Commissioners expressed concern whether a 3,700 square foot home is excessive for this site and results in too great impacts on the Appellant's home. The proposed home is actually less than 3,000 square feet in living area, and KMA presented in the 11/4/20 hearing Assessors records that show over a third of structures in this block face are larger at 3,800 to 4,600 square feet (see Exhibit G – 1224 Funston: Proposed Gross Building Areas and see Exhibit H – Neighboring Gross Building Areas).

**D. ISSUES RAISED BY THE APPELLANT AND RESPONSE:**

The Appellant's Brief raises four (4) "Issues" and suggests "Resolutions" to those issues. We will discuss those here:

**Appellant Issue #1: Height of the Building/Shadow analysis:**

The Appellant claims that the 4-story single-family home proposed for 1224 Funston on the subject property will "significantly reduce sunlight" to her property. KMA has consistently stated in our filings that due to solar geometry, our proposed home located to the south of her property will indeed result in new shadows on the home at 1218 Funston; but that the proposed design "threads the needle" mitigating impacts on her property, and still creates a viable new dwelling unit (see **Exhibit J – KMA Shadow Diagrams 11/4/21** presented at Appeal No. 20-061 Hearing).

Ms. Feng suggests in her brief that a 3-story structure should be built instead of the approved 4-levels, and that the reduction in shadows of a smaller home justifies this "reasonable compromise." We disagree: The 4<sup>th</sup> floor fully fits within the building envelope, requires no variances and was found compliant with the Residential Design Guidelines.

The Appellant includes a “Shading Impact Analysis Report” by Symphysis (12/23/20) in support of her claims. KMA commissioned a peer review of that study (**see Exhibit K – Prevision Peer Review of Appellant’s Shadow Report**) by locally accepted Prevision Design (Adam Philips). Prevision points out that the methodology for data collection is not explained and the study does not follow adopted San Francisco standard shadow analysis methodology **for public spaces** (which weighs changes in light against the Theoretical Annual Available Sunlight absent obstructions). Hence the percentage claims are misleading. For example, the Symphysis study states, “the shadow analysis shows that a three-story project could reduce the impact on the neighbor’s façade by an average of -7.5%.” Using the same Symphysis data, one could also say, “with a 4-story project, over 79% of hours of sunlight received by the façade are preserved,” and “removing a story from the subject property only modestly improves sunlight hitting the façade.”

The point is this: There are no standards in the Planning Code to assess and regulate the impact of shadows on **private property**. The Planning Department relies on the Residential Design Guidelines (RDGs) to establish reasonable impacts. This project has been found consistent with the RDGs by Planning design review staff, the Zoning Administrator, and the Planning Commission. We acknowledge the proposed building will cast some new shadow on the appellant’s property. Still, we agree with the Planning Commission, the Zoning Administrator, and the Planning

Department's Residential Design Advisory Team, that some degree of shadow impact is inevitable and that the proposed 4-story design reasonable mitigates impacts on the neighbor to achieve a viable new dwelling unit.

**Appellant Issues #2 through #4, and a proposal to work with the Appellant:**

We have considered the Appellant's remaining "Issues and Resolutions." The Project Sponsor proposes to address each one to the benefit of the Appellant, assuming the proposed 4-story home on the subject lot is upheld and the Appellant agrees to work with the Project Sponsor to provide reasonable accommodations during construction (see Exhibit L – Offer to Appellant). In brief, with respect to the remaining Issues, the Project sponsor proposes:

**Appellant Issue #2: Openings on property line wall:**

As requested by the Appellant, the Project Sponsor agrees to remove all property line windows on our proposed 4-story home facing the common property line. We would agree to this as an additional requirement of approval which Kerman Morris Architects would effect in the Addendum submittal (see Exhibit B – City Approved Plans, elevation A5.03).

**Appellant Issue #3: Plumbing system of the proposed building:**

Per the attached letter the Project Sponsor agrees to put his existing rear cottage and the proposed new 4-story home on a new stand alone sewer line not shared with the Appellant. Based on the location of the sewer clean out in the sidewalk, it appears that the existing shared sewer line is on the Appellant's property (under her front yard) and hence the hook up to 1222 Funston (cottage in rear of subject property) can be abandoned without impact on the Appellant. Should the existing sewer line be found to be located on the Project Sponsor's property, we propose to install a new sewer line for the sole use of the Appellant at 1218 Funston (see Exhibit B – City Approved Plans, elevation A5.03).

**Appellant Issue #4: Common Entry:**

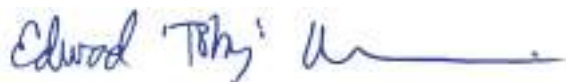
The Appellant notes that the existing gate at the sidewalk giving access to both 1218 Funston Avenue and 1222 Funston Avenue rear cottages (which is located on the common property line between these two parcels) will no longer be serviceable upon construction of a home at 1224 Funston Avenue (see Exhibit B, City Approved Plans, survey sheet G0.04). The Project Sponsor agrees to move the existing gate or replace it in front of the Appellant's property and to extend/replace the fence to secure the property. In addition to this accommodation, the Project Sponsor offers to build a new concrete pathway leading to the Appellant's home in return for

limited access to her property to 1) install his foundations and 2) erect scaffolding to install siding on the wall facing the common side property line.

**E. CONCLUSION:**

The project proposal before the Board is the same proposal that was approved with Appeal No. 20-061 the last time this project was reviewed by your body on 11/4/2020. The only change made was the inclusion of the Board's stipulated NSR imposing the condition of no additional decks to address privacy concerns. The 4-story project as designed is a reasonable proposal which has been thoroughly reviewed and vetted by City Agencies with jurisdiction. We have addressed most of the Appellant's issues and request your support for the project as designed by denying the Appeal.

Sincerely,

A handwritten signature in blue ink that reads "Edward 'Toby' Morris" followed by a long horizontal flourish.

Edward "Toby" Morris, Kerman Morris Architects LLP



## **Index of Exhibits**

BOA Appeal #21-080

1222/1224 Funston Avenue

Exhibit A	BOA Appeal No. 20-061 NSR
Exhibit B	City Approved Plans: "Site Permit R1," 1/15/20 (approved 8/4/21)
Exhibit C	1222/1224 Funston Block Face (both sides of street)
Exhibit D	Common Demising Wall
Exhibit E	Variance Decision (09-02-2020)
Exhibit F	Development Alternatives
Exhibit G	1224 Funston: Proposed Gross Building Areas (square footages)
Exhibit H	Neighboring Gross Building Areas (square footages)
Exhibit J	KMA Shadow Diagrams (11/4/20)
Exhibit K	Prevision Peer Review of Appellant's Shadow Report
Exhibit L	Offer to Appellant (10/13/21)

**NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE**

**RECORDING REQUESTED BY**

**And When Recorded Mail To:**

**Name:** WOODS FAMILY INVESTMENTS, LP

**Address:** PO BOX 1113

**City:** SOUTH SAN FRANCISCO

**State:** CA **ZIP:** 94083

CONFORMED COPY of document recorded  
**2020068421 12/14/2020**  
on \_\_\_\_\_ with document no \_\_\_\_\_  
This document has not been compared with the original  
SAN FRANCISCO ASSESSOR-RECORDER

(Space Above This Line For Recorder's Use)

I (We) WOODS FAMILY INVESTMENTS, LP, the owner(s) of that certain real property situated in the City and County of San Francisco, State of California more particularly described as follows: (or see attached sheet marked "Exhibit A" on which property is more fully described):

**BEING ASSESSOR'S BLOCK: 1738; LOT: 040**

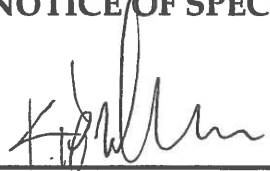
**COMMONLY KNOWN AS: 1222 FUNSTON AVENUE**

hereby give notice that there are special restrictions on the use of said property under the Planning Code.

Pursuant to a Board of Appeals Notice of Decision and Order dated November 17, 2020 (Appeal No. 20-061, Planning Department Variance Case No. 2018-015239VAR) the Board of Appeals grants the appeal and upholds the Zoning Administrator's Variance Decision, dated September 2, 2020, on the condition that it be revised to require the property owner to file a Notice of Special Restrictions ("NSR") which prevents the addition of any decks, on the basis that: (1) the property has already benefited from exceptions and variances, (2) the NSR addresses some of the appellant's privacy concerns, and (3) the Variance meets the five findings required under Planning Code Section 305(c). This condition shall be in addition to the conditions outlined in the Zoning Administrator's Variance Decision dated September 2, 2020 (recorded as Notice of Special Restrictions No. 2020030602). The Board of Appeals Notice of Decision and Order and this NSR shall also be reproduced on the Index Sheet of the construction plans submitted with the Site or Building Permit Application for the Project.

The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Records by the Zoning Administrator.

**NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE**

  
\_\_\_\_\_  
(Signature)

KIERAN WOODS  
\_\_\_\_\_  
(Printed Name)

**Dated:** NOVEMBER 30, 20<sup>20</sup> at SOUTH SAN FRANCISCO, **California.**  
(Month, Day) (City)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Printed Name)

**Dated:** \_\_\_\_\_, 20 at \_\_\_\_\_, **California.**  
(Month, Day) (City)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Printed Name)

**Dated:** \_\_\_\_\_, 20 at \_\_\_\_\_, **California.**  
(Month, Day) (City)

**Each signature must be acknowledged by a notary public before recordation; add Notary Public Certification(s) and Official Notarial Seal(s).**

**CALIFORNIA ACKNOWLEDGMENT**

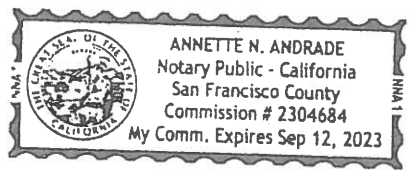
**CIVIL CODE § 1189**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }  
County of SAN MATEO }

On 11/30/2020 before me, ANNETTE NICOLE ANDRADE, NOTARY PUBLIC  
Date Here Insert Name and Title of the Officer  
personally appeared Kieran J. Woods  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



Place Notary Seal and/or Stamp Above

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]  
Signature of Notary Public

**OPTIONAL**

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

**Description of Attached Document**

Title or Type of Document: NSR under the planning Code

Document Date: 11/30/20 Number of Pages: \_\_\_\_\_

Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_ Signer's Name: \_\_\_\_\_  
 Corporate Officer – Title(s): \_\_\_\_\_  Corporate Officer – Title(s): \_\_\_\_\_  
 Partner –  Limited  General  Partner –  Limited  General  
 Individual  Attorney in Fact  Individual  Attorney in Fact  
 Trustee  Guardian or Conservator  Trustee  Guardian or Conservator  
 Other: \_\_\_\_\_  Other: \_\_\_\_\_  
Signer is Representing: \_\_\_\_\_ Signer is Representing: \_\_\_\_\_

# 1222 FUNSTON AVE

A NEW SINGLE FAMILY HOME



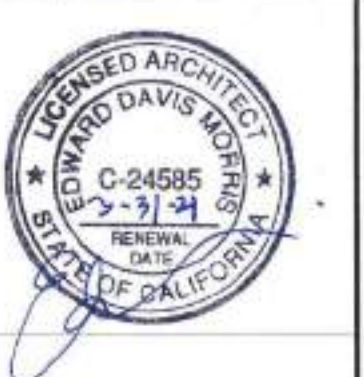
## LOCATION MAP: EXHIBIT B 20



**km**  
korman  
morris  
architects llp  
139 New Street  
San Francisco, CA  
94114  
415.749.0302

Revisions

R1	11/14/2019
R2	01/15/2020



### BUILDING DATA:

OWNER: KERAN WOODS, WOODS FAMILY INVESTMENTS, LP  
415-740-0335

PROJECT ADDRESS: 1222 FUNSTON AVE  
SAN FRANCISCO, CA 94122

BLOCK / LOT: 1738 / 040

SFDBI BPA #: 201812118001

ZONING DISTRICT: RH - 2 / 40X

OCCUPANCY GROUP: EXISTING: 815 SF GROSS RESIDENTIAL / R-3 OCCUPANCY  
PROPOSED: 4,555 SF GROSS RESIDENTIAL / R-3 OCCUPANCY

CONSTRUCTION TYPE: EXISTING: TYPE V-B / 1 STORY  
PROPOSED: TYPE V-B / 4 STORIES / FULLY SPRINKLERED

ARCHITECT: KERAN MORRIS ARCHITECTS  
139 NOE STREET  
SAN FRANCISCO, CA 94114  
T: (415) 748-0302



Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Materials, or Use to the Planning Department for resapproval.

### SHEET INDEX

- G0.01 COVER SHEET
- G0.02 NOTES & SQUARE FOOTAGE CALCS.
- G0.03 SITE PHOTOS
- G0.04 SITE SURVEY
- G0.05 EGRESS PATH OF TRAVEL & WATER FLOW
- G0.06 GREEN BUILDING SITE PERMIT SUBMITTAL FORM - GSI
- G0.10 MASSING IMAGES
- AE1.01 EXISTING / DEMO SITE PLAN
- AE1.02 EXISTING FIRST FLOOR PLAN
- AE1.03 EXISTING ELEVATIONS
- AE1.04 EXISTING SECTION
- A1.01 PROPOSED SITE PLAN
- A2.01 FIRST & SECOND FLOOR PLANS
- A2.02 THIRD & FOURTH FLOOR PLANS
- A2.03 ROOF PLAN
- AS.01 EXTERIOR ELEVATIONS - WEST (FRONT)
- AS.02 EXTERIOR ELEVATIONS - EAST (REAR)
- AS.03 EXTERIOR ELEVATIONS - NORTH
- AS.04 EXTERIOR ELEVATIONS - SOUTH
- A7.01 BUILDING SECTIONS
- A7.02 BUILDING SECTIONS
- A7.03 BUILDING SECTIONS
- A10.01 WALL PARTITIONS



*Bruce Sanson, SFPD*  
MAY 27 2021

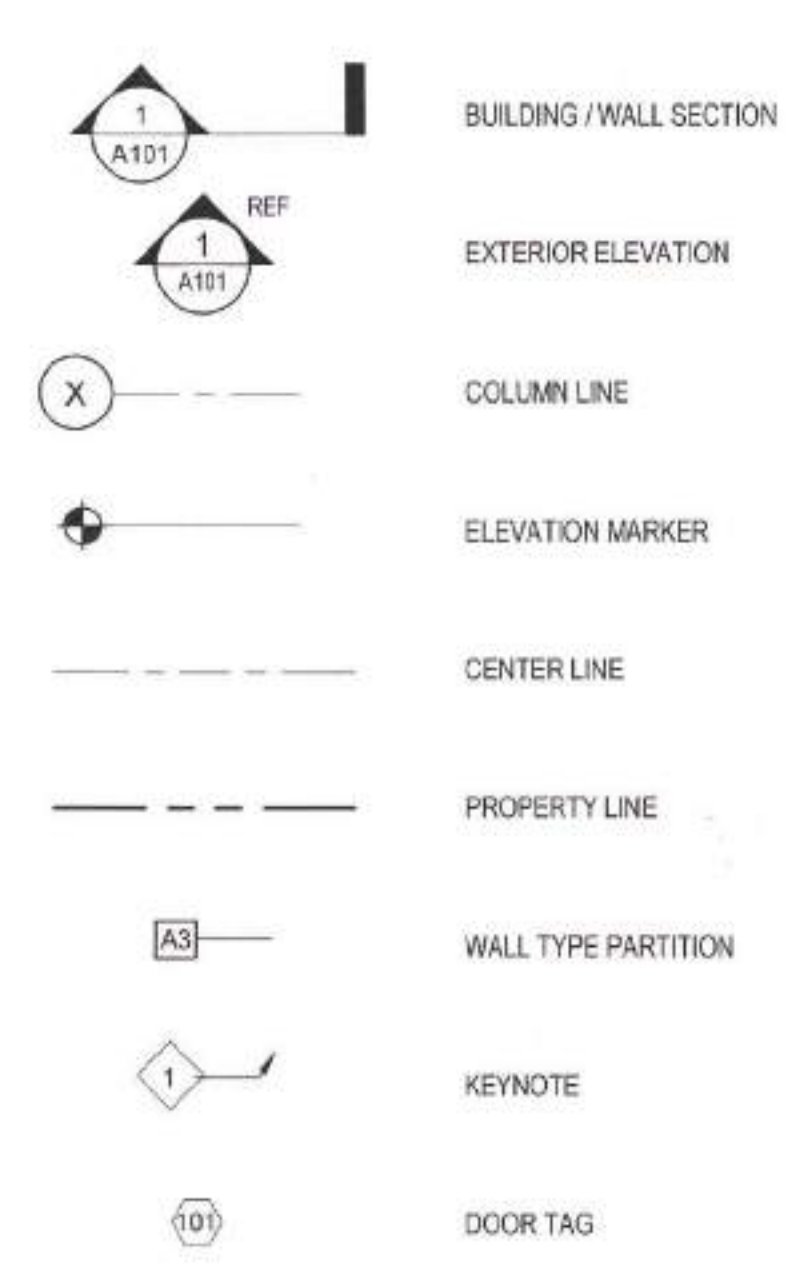


REVIEWED BY FIRE DEPT.  
FIRE DEPT INSPECTIONS  
NOT REQUIRED

### ABBREVIATIONS

# NUMBER	FON FOUNDATION	R RISER
@ AT	FIN FINISH	REF REFERENCE
AB ANCHOR BOLT	FLR FLOOR	REFR REFRIGERATOR
ADJ ADJACENT	FLUR FLOURESCENT FLOOR	RWD REDWOOD
ALT ALTERNATE	FOC FACE OF CONCRETE	REINF REINFORCED
AFF ABOVE FINISH FLOOR	FOS FACE OF STUD	RO ROUGH OPENING
APPRX APPROXIMATE	FTG FOOTING	RWL RAIN WATER LEADER REQUIRED
ASPH ASPHALT	FOF FACE OF FINISH	REQ REQUIRED
BLDG BUILDING	GALV GALVANIZED	SM SIMILAR
BWN BETWEEN	GFIC GROUND FAULT INTERRUPT CIRCUIT	SHT SHEET
BOT BOTTOM	GND GROUND	SOG SLAB ON GRADE
CAB CABINET	GYP GYPSUM	SPEC SPECIFICATION
CEM CEMENT	GWB GYPSUM WALL BOARD	STD STANDARD
CLR CLEAR	HORZ HORIZONTAL	STR STRUCTURAL
CONC CONCRETE MASONRY UNIT	HT HEIGHT	SUSP SUSPENDED
COL COLUMN	INSUL INSULATION	SYM SYMMETRICAL
CONT CONTINUOUS	INT INTERIOR	TRD TREAD
CTR CENTER	CL CENTER LINE	TRG TRINGLE AND GROOVE
CER CERAMIC	CONC CONCRETE	TRK TRICK
CLD CEILING	JT JOINT	TOS TOP OF SLAB
CONC CONCRETE	LAV LAVATORY	TP TOILET PAPER
DBL DOUBLE	MAX MAXIMUM	TB TOWEL BAR
DEPT DEPARTMENT	MIN MINIMUM	TYP TYPICAL
DA DIAMETER	MFR MANUFACTURER	UCN UNLESS OTHERWISE NOTED
DF DOUGLAS FIR	MTL METAL	VERT VERTICAL
DH DOUBLE HUNG	(N) NEW	VERT VERTICAL
DM DIMENSION	NC NOT IN CONTRACT	VERT VERTICAL
DN DOWN	NMBR NUMBER	VERT VERTICAL
DS DOWNSPOUT	NTS NOT TO SCALE	VFFAM VAPOR PERMEABLE FLUID APPLIED MEMBRANE
DTL DETAIL	OC ON CENTER	W WITH
DWG DRAWING	OPNG OPENING	W/O WITHOUT
(E) EXISTING	OPP OPPOSITE	W/WO WATER CLOSET
EA EACH	PL PROPERTY LINE	WC WINDOW
ELEC ELECTRICAL	PLY PLYWOOD	WDP WATERPROOF
EL ELEVATION	PTDF PRESSURE TREATED DOUGLAS FIR	WP WEIGHT
EQ EQUAL	PLAM PLASTIC LAMINATE	WT WOOD
EXT EXTERIOR	PTN PARTITION	WH WATER HEATER

### GENERAL LEGEND



SFPW/BSM SIGN OFF ON JOB CARD  
REQUIRED PRIOR TO DIB/ANAL  
CALL (628) 271-2000 TO SCHEDULE

By *Phyllis Chey, SFPD*

SFPUC - Please be advised  
Your plans and fixtures count indicates a larger water meter is required. Please apply for a water meter upgrade at SFPUC New Service Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102, Telephone: (415) 551-2000.

Capacity Charges  
See attached SFPUC Capacity Charge Invoice for total amount due. DIB will collect charges.

SFPUC  
*Bill Tom*

### DESCRIPTION OF WORK

THE PROJECT PROPOSES DEMOLITION OF AN EXISTING 1 STORY GARAGE AND CONSTRUCTION OF A 4 STORY SINGLE FAMILY RESIDENCE AT THE FRONT OF THE LOT. THE EXISTING COTTAGE IN THE REAR OF THE LOT IS TO REMAIN WITH NO WORK PROPOSED UNDER THIS PERMIT. A FRONT YARD VARIANCE IS PROPOSED.

ALL WORK TO COMPLY WITH CURRENT LOCAL AND STATE CODES INCLUDING, BUT NOT LIMITED TO: THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA FIRE CODE, THE CURRENT EDITIONS OF THE SAN FRANCISCO BUILDING AND PLANNING CODES, TITLE-24 ENERGY STANDARDS, ETC...

I, Eduardo Paniagua, owner of 1228 Funston Avenue, which abut 1222 Funston Ave, have seen these drawings dated 01/15/2020 for a proposed single family home on that lot adjacent to my property. I am in support of the changes indicated here.

*Eduardo Paniagua*

## SITE PERMIT R1

FOR 311 NOTIFICATION AND VARIANCE  
Rev. 11/14/2019  
SFDBI BPA#: 201812118001

REVISED 1/15/2020 WITH BUILDING SHIFTED TOWARDS STREET

### COVER SHEET

DATE	11/29/2018
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

G0.01

2018.12.11.8001 S/R

NEARBY PROPERTY:  
1216 FUNSTON AVE  
BL1738 / LOT 042

ADJACENT PROPERTY:  
1218 FUNSTON AVE  
BL 1738 / LOT 041

SUBJECT PROPERTY:  
1222 FUNSTON AVE  
BL1738 / LOT 040

ADJACENT PROPERTY:  
1228 FUNSTON AVE  
BL1738 / LOT 039



1222 FUNSTON AVE: BUILDINGS ON THE SAME SIDE OF THE STREET

APPROVED  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021  
Professional Engineer  
DEPT. OF BUILDING INSPECTION

FEB 04 2020  
Approved Planning Dept. Catherine Campbell

SITE PERMIT  
REVISION  
FEB 19 2020  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP. ONLY THE WORK SHOWN ON THESE PLANS IS TO BE CONSTRUCTED. OTHER PLANS HAVE BEEN APPROVED.

km  
kieran  
woods  
architects llc  
139 Pine Street  
San Francisco, CA  
94111  
415 749 0302

Revisions  
R1 11/4/2019



1241 FUNSTON AVE



1222 FUNSTON AVE: BUILDINGS ON THE FACING SIDE OF THE STREET

NEARBY PROPERTY:  
1216 FUNSTON AVE  
BL1738 / LOT 042

ADJACENT PROPERTY:  
1218 FUNSTON AVE  
BL 1738 / LOT 041

SUBJECT PROPERTY:  
1222 FUNSTON AVE  
BL1738 / LOT 040



EXISTING COTTAGES AT 1222 AND 1218 FUNSTON



EXISTING 1222 FUNSTON COTTAGE

1222  
FUNSTON AVE

BLOCK 1738 / LOT 040  
SFFDBI BPA. 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

NOTICE

These drawings and specifications are the property and copyright of Kieran Woods Architects and shall not be used on any other work except by written agreement with Kieran Woods Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kieran Woods Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show finished and only representative/typical details.

All attachments, connections, fastenings, etc. are to be properly secured in accordance with best practice, and the Contractor shall be responsible for providing and installing them.

SITE PHOTOS

DATE 11/20/2018

SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO.

G0.03

ADJACENT PROPERTY:  
1228 FUNSTON AVE  
BL1738 / LOT 039

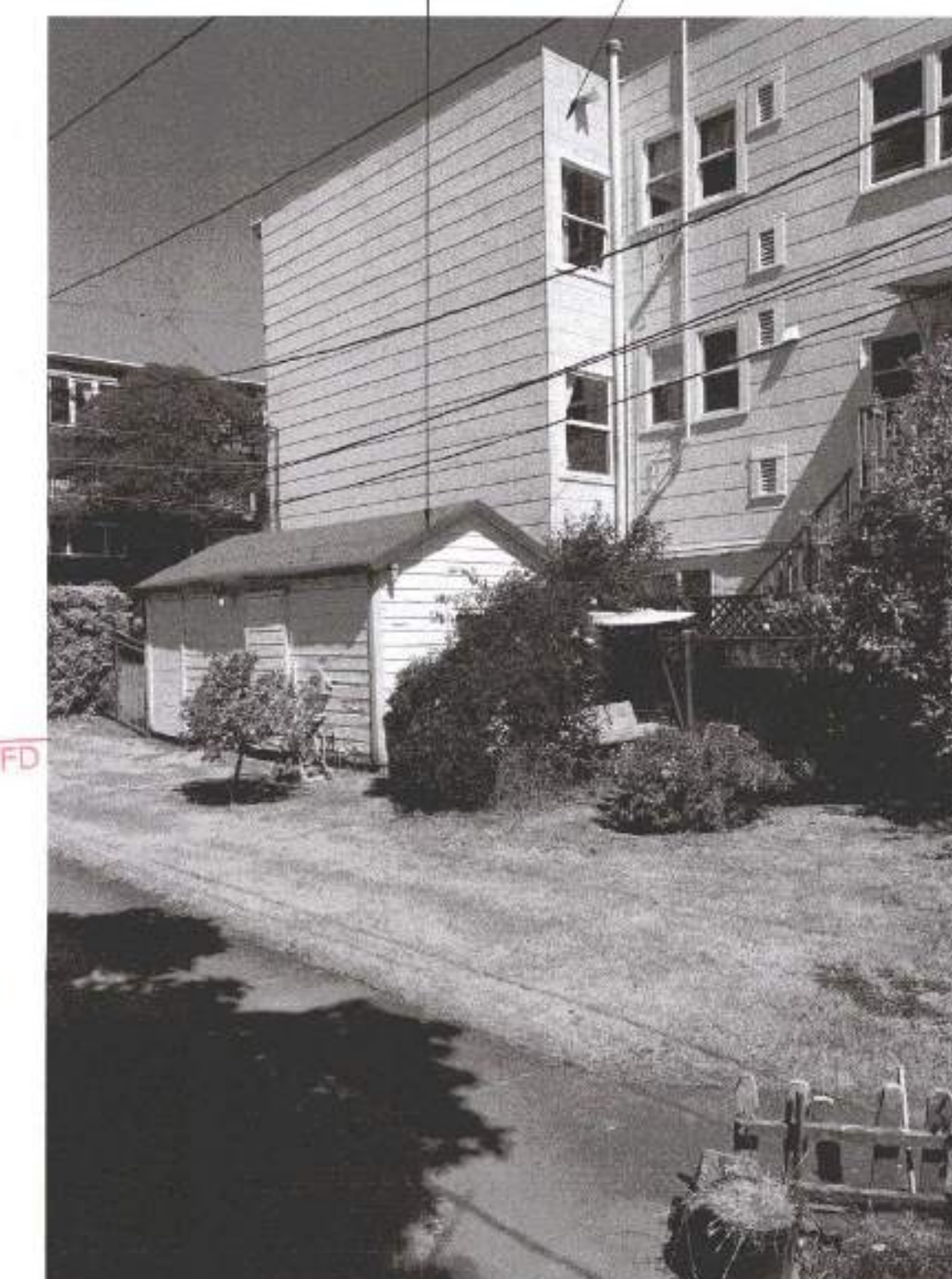
SUBJECT PROPERTY:  
1222 FUNSTON AVE  
BL1738 / LOT 040



1222 FUNSTON AND 1218 FUNSTON

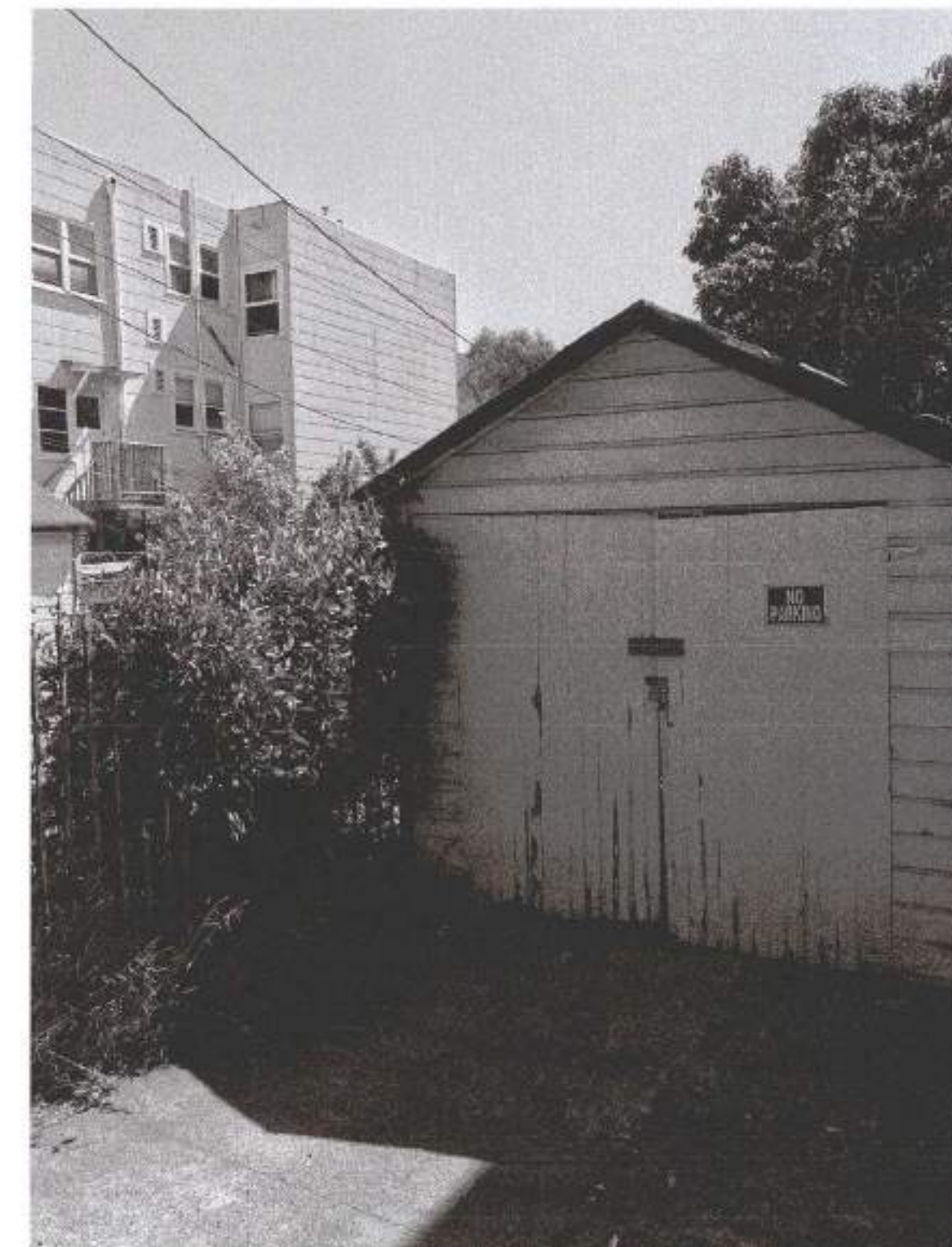
ADJACENT PROPERTY:  
1216 FUNSTON AVE  
BL 1738 / LOT 041

NEARBY PROPERTY:  
1216 FUNSTON AVE  
BL1738 / LOT 042



Bruce Samson, SFFD  
MAY 27 2021

David Jones, DAI  
MAY 05 2021



EXISTING GARAGE AT 1222 FUNSTON TO DEMOLISH

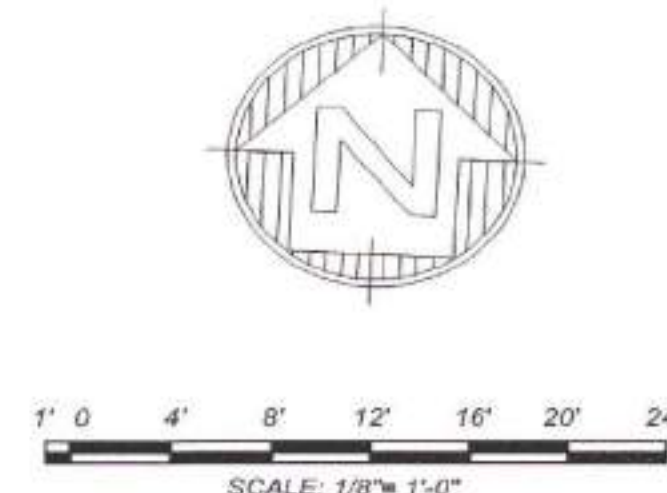


**NOTE TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:**

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR KIERAN WOODS AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.
5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 4 ABOVE.
7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

**LEGEND**

- ADJ ADJACENT BUILDING
- ASN ASSESSOR'S PARCEL NUMBER
- ASP ASPHALT
- BK BACK OF WALK
- BW BOTTOM OF WALL
- CNC CONCRETE
- COR CORNER
- EC EDGE OF CONCRETE
- ELB ELECTRIC BOX
- FF FOUNDATION
- FF FINISHED FLOOR
- FL FLOW LINE
- GB GRADE BREAK
- GM GAS METER
- GND GROUND
- GV GAS VALVE
- MB MAILBOX
- NF NOW OR FORMERLY
- PHL PROPERTY LINE
- RF ROOF
- RFP ROOF PEAK
- RFPF ROOF PARAPET
- SDI STORM DRAIN INLET
- SCO SANITARY SEWER CLEAN OUT/VENT
- TC TOP OF CURB
- TW TOP OF WALL
- WM WATER METER
- SS SANITARY SEWER LINE
- OHE OVERHEAD ELECTRIC LINE
- Ø DIAMETER
- ELEV DESC SPOT ELEVATION
- TREE TREE



**BOUNDARY NOTES:**

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.  
ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

**DATE OF FIELD SURVEY:**

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES, INC. ON JUNE 16, 2018.

**SURVEY REFERENCE:**

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:  
APN 1738-040, RECORDED OCTOBER 10, 2017, DOCUMENT NUMBER 2017-K523795-00.

**UTILITY NOTE:**

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

**PROJECT BENCHMARK - DESCRIPTION:**

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF LINCOLN WAY AND 12TH AVENUE. ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. S.E. CORNER, + CUT ASW @ BLDG.  
ELEVATION = 237.624'

**GENERAL NOTE:**

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIFTLINES THEREOF.

**PRELIMINARY  
FOR REVIEW PURPOSES  
ONLY**

**SURVEYOR'S STATEMENT:**

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.



FREDERICK T. SEHER, PLS  
LICENSE NO. 6216

*David Jones*  
FEB 04 2020  
Planning Dept. Catherine Campbell

1222 1/2  
FUNSTON AVE

BLOCK 1738 / LOT 040  
SFDBI BPA. 201812116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

**NOTICE**

These drawings and specifications are the property and copyright of KernanMorris Architects and shall not be used on any other work except by written agreement with KernanMorris Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of KernanMorris Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative details.

All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

SITE SURVEY

DATE 11/20/2018

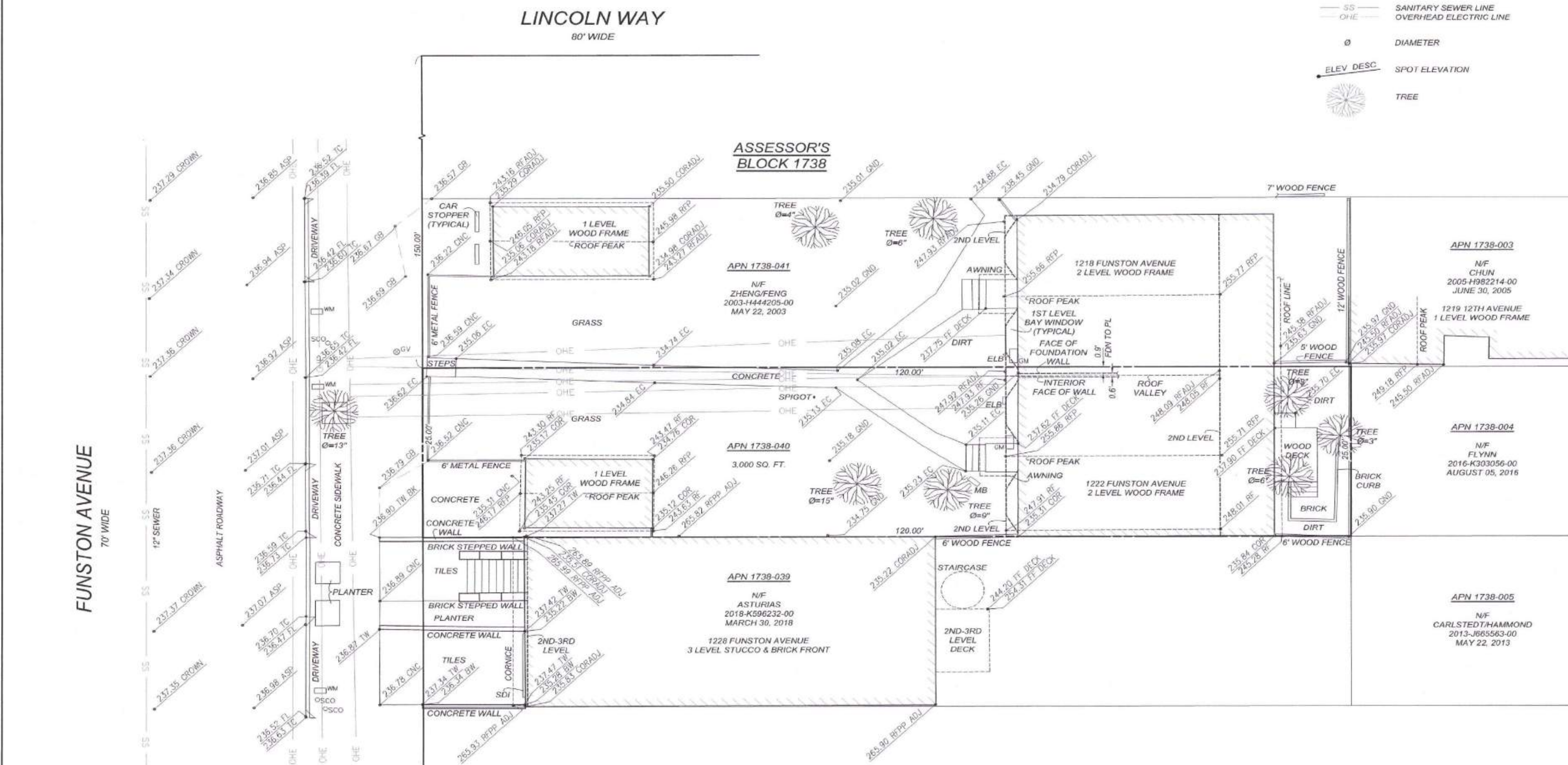
SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO.

GO.04



DATE:	JULY 2018	▲
SCALE:	1" = 8'	▲
DRAWN BY:	FC	▲
DRAWING NAME:	2144-1B	▲
SURVEYED BY:	F.T.S.	▲
CHECKED BY:	EF	▲
CHECKED BY:		▲
	NO	BY
	DATE	REVISIONS

**FREDERICK T. SEHER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS  
SURVEYING & MAPPING  
841 LOMBARD STREET, SAN FRANCISCO, CA 94133  
(415) 921-7690 FAX (415) 921-7655

**ARCHITECTURAL SITE SURVEY**  
**ASSESSOR'S PARCEL NUMBER 1738-040**  
**1222 FUNSTON AVENUE, SAN FRANCISCO, CA**

SHEET  
**1**  
OF 1 SHEETS  
JOB NO.  
2144-18

Bruce Samson, SFPD  
MAY 27 2021

David Jones, Dal  
MAY 06 2021

SITE REVISION  
REVISION  
FEB 19 2020  
THIS APPROVAL IS VALID FOR PERMITTING PURPOSES ONLY. NO WORK MAY BE SHOWN UNLESS CONSTRUCTION PLANS HAVE BEEN APPROVED.



1222 1/2  
FUNSTON AVE

BLOCK 1738 / LOT 040  
SFDBI BPA: 201612116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

**NOTICE**  
These drawings and specifications are the property and copyright of Kerlan/Morris Architects and shall not be used on any other work except by written agreement with Kerlan/Morris Architects.

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These drawings are an industry standards building set for building permit and to assist the contractor in construction. The drawings show limited and only representative typical details.

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**EGRESS /  
PATH OF  
TRAVEL &  
WATER FLOW**

DATE 11/20/2018

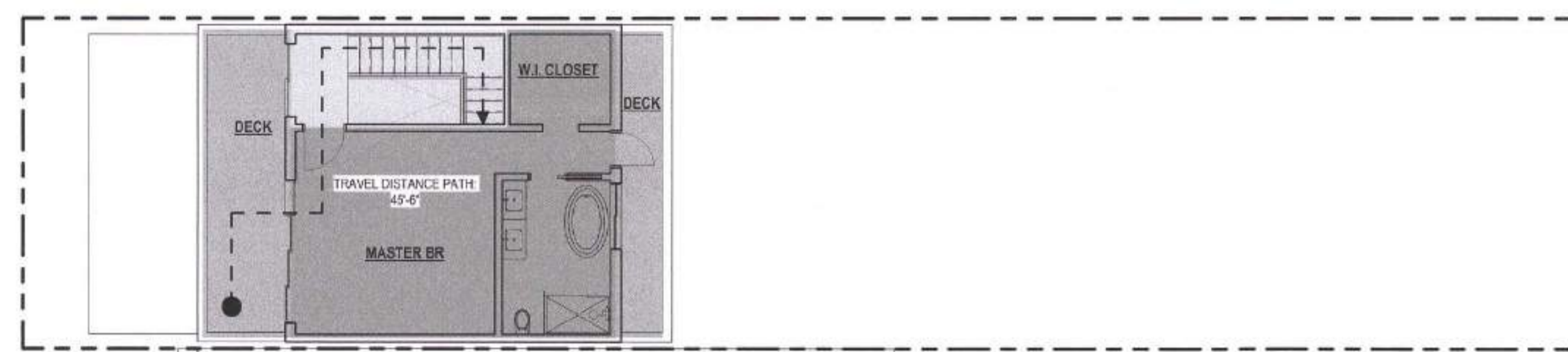
SCALE 1/8" = 1'-0"

DRAWN BY Author

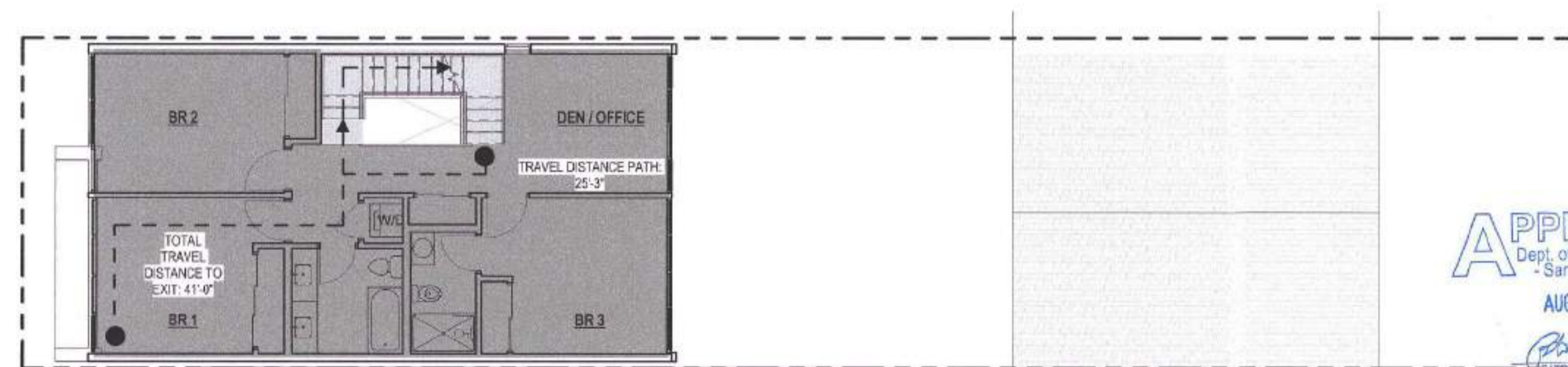
CHECKED BY Checker

JOB NO.

G0.05

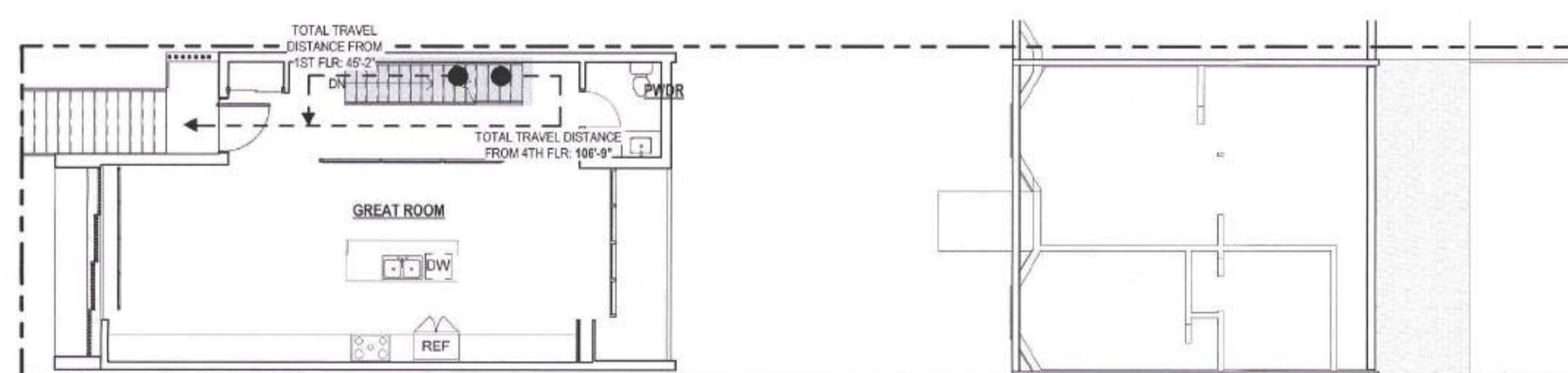


4 FOURTH FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



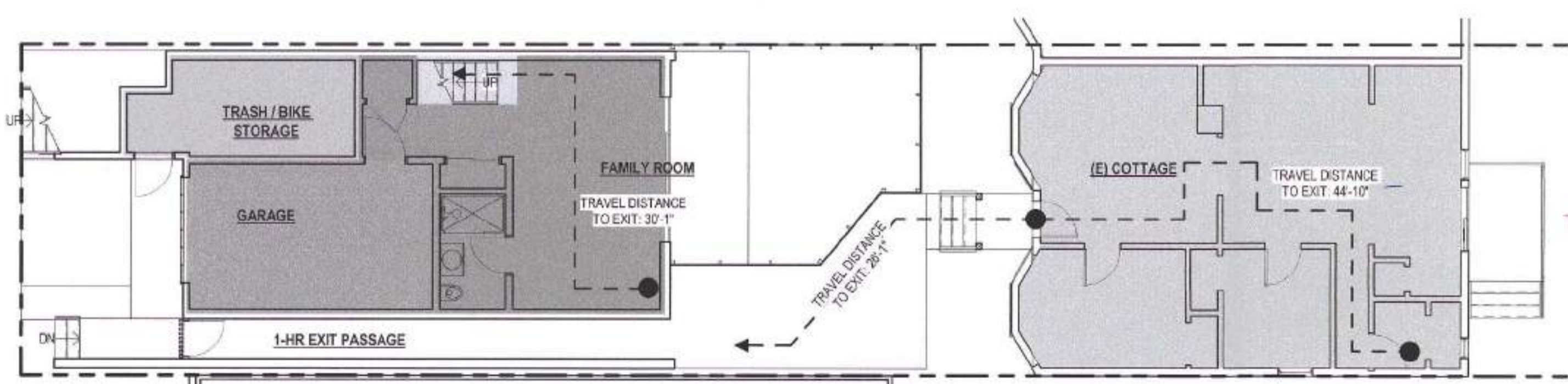
**APPROVED**  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021  
[Signature]  
DEPT. OF BUILDING INSPECTION

3 THIRD FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



**R3 TYPE VB**  
SINGLE EXIT PER CBC 1006.3.2  
& TABLE 1006.3.2(1):  
MAXIMUM COMMON PATH OF  
EGRESS TRAVEL DISTANCE =  
125 FEET

2 SECOND FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



Brice Samson, SFFD  
MAY 27 2021

David Jones, DBI  
MAY 06 2021

1 FIRST FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"

**SITE REVISION**  
REVISION  
FEB 19 2020  
[Signature]  
THIS APPLICATION IS LIMITED TO THE SITE PERMIT  
ONLY. NO WORK SHALL BE SHOWN UNTIL  
CONSTRUCTION PLANS HAVE BEEN APPROVED.



SAN FRANCISCO FIRE DEPARTMENT  
BUREAU OF FIRE PREVENTION  
PLAN CHECK DIVISION/WATER FLOW  
1660 MISSION STREET, 4TH FLOOR  
SAN FRANCISCO, CA, 94103  
FAX # 415-575-6933  
Email: WaterflowSFFD@sfgov.org

**REQUEST FOR WATER FLOW INFORMATION**

DATE: 11/14/2018 REQUEST IS FOR:  FIRE FLOW  SPRINKLER DESIGN

CONTACT PERSON: SHIRLEY PEREZ ADDRESS: 139 NOE STREET, SF, CA 94114

PHONE NO. (415) 749-0302 FAX NO. ( ) / ( ) / ( )

EMAIL: shirley@kerlanmorris.com

OWNER'S NAME: KEIRAN WOODS PHONE # (415) 740-0335

ADDRESS FOR WATER FLOW INFORMATION: PROVIDE SKETCH HERE:

1222 FUNSTON AVENUE LINCOLN

CROSS STREETS (BOTH ARE REQUIRED): LINCOLN IRVING

SPECIFY STREET FOR POINT OF CONNECTION: FUNSTON AVENUE

OCCUPANCY (CIRCLE ONE):  R2 LIVE/WORK COMMERCIAL OTHER

HAZARD CLASSIFICATION: (LIGHT) ORD 1 ORD 2 EXT 1 EXT 2 OTHER

CAR-STACKER: YES  NO

NUMBER OF STORES: 4 PROPOSED HEIGHT OF BLDG.: 39'-0" FT.

- SUBMIT FORM WITH A \$125.00 CHECK MADE PAYABLE TO "SFFD".
- REQUESTS REQUIRING A FIELD FLOW TEST WILL BE NOTIFIED BY FAX OR EMAIL, AND AN ADDITIONAL FEE OF \$250.00 WILL BE NECESSARY.
- WATER FLOW INFORMATION WILL BE RETURNED BY FAX, MAIL, OR EMAIL. Field Flow Test required.
- INCOMPLETE FORMS WILL NOT BE PROCESSED. Payment by check only, made payable to SFFD for \$250.00.
- PLEASE ALLOW 7-14 WORKING DAYS FOR PROCESSING.

Official use only

Flow data provided by: Samson Date Forwarded: 12/10/18

Flow data: FIELD FLOW TEST  STATIC 53 PSI

RECORDS ANALYSIS RESIDUAL 51 PSI

Gate Page 70 (11) FLOW 676 GPM

IF YOU HAVE ANY QUESTIONS PLEASE CONTACT INSPECTOR DEEN @ 415-558-6361 Rev. 09/01/2017



# GS1: San Francisco Green Building Site Permit Submittal Form

Form version: February 1, 2018 (For permit applications January 2017 - December 2019)

**INSTRUCTIONS:**

- Select one (1) column to identify requirements for the project. For addition and alteration projects, applicability of specific requirements may depend upon project scope.
- Provide the Project Information in the box at the right.
- A LEED or GreenPoint Rated Scorecard is not required with the site permit application, but using such tools as early as possible is recommended.
- To ensure legibility of DBI archives, submittal must be a minimum of 24" x 36".

Attachment GS2, GS3, GS4, GS5 or GS6 will be due with the applicable addendum. A separate "FINAL COMPLIANCE VERIFICATION" form will be required prior to Certificate of Completion. For details, see Administrative Bulletin 93. For Municipal projects, additional Environment Code Chapter 7 requirements may apply; see GS6.

**CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT** →

LEED/GPR	NEW CONSTRUCTION			ALTERATIONS + ADDITIONS					PROJECT INFO		
	LOW-RISE RESIDENTIAL R 1-3 Floors	HIGH-RISE RESIDENTIAL R 4+ Floors	LARGE NON-RESIDENTIAL A,B,E,I,M 25,000 sq.ft. or greater	OTHER NON-RESIDENTIAL F,H,L,S,U or A,B,E,I,M less than 25,000 sq.ft.	RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS R 25,000 sq.ft. or greater	OTHER RESIDENTIAL ALTERATIONS + ADDITIONS R adds any amount of conditioned area	NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS B,M 25,000 sq.ft. or greater	FIRST-TIME NON-RESIDENTIAL INTERIORS A,B,I,M 25,000 sq.ft. or greater	OTHER NON-RESIDENTIAL ALTERATIONS + ADDITIONS A,B,E,F,H,I,L,M,S,U more than 1,000 sq.ft. or \$200,000	1222 FUNSTON AVENUE PROJECT NAME	1738 / 040 BLOCK/LOT
TITLE	SOURCE OF REQUIREMENT			DESCRIPTION OF REQUIREMENT							
LEED/GPR	Required LEED or GPR Certification Level	SFGBC 4.103.1.1, 4.103.2.1, 4.103.3.1, 5.103.1.1, 5.103.3.1 & 5.103.4.1	Project is required to achieve sustainability certification listed at right.								
LEED/GPR	LEED/GPR Point Adjustment for Retention/Demolition of Historic Features/Building	SFGBC 4.104, 4.105, 5.104 & 5.105	Enter any applicable point adjustments in box at right.								
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.4.1-6, SFGBC 4.103.3.2, 5.103.1.8, 5.103.3.2 & 5.103.4.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems that meet the requirements for GPR measures K2, K3 and L2 or LEED EQc2, as applicable. New large non-residential interiors and major alterations to existing residential and non-residential buildings must also use interior paints, coatings, sealants, and adhesives when applied on-site, flooring and composite wood that meet the requirements of LEED credit Low-Emitting Materials (EQc2).								
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1 & 5.303.3, SFGBC 5.103.1.2, SF Housing Code sec.12A10, SF Building Code ch.13A	Meet flushflow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10. Large non-residential interiors, alterations & additions must upgrade all non-compliant fixtures per SF Building Code ch.13A. New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEC2).								
	NON-POTABLE WATER REUSE	Health Code art.12C	New buildings ≥ 40,000 sq.ft. must calculate a water budget. New buildings ≥ 250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details.								
	WATER EFFICIENT IRRIGATION	Administrative Code ch.63	New construction projects with aggregated landscape area ≥ 500 sq.ft., or existing projects with modified landscape area ≥ 1,000 sq.ft. shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with ≤ 2,500 sq.ft. of landscape area. See www.sfwater.org for details.								
	WATER METERING	CALGreen 5.303.1	Provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq.ft.).								
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Title 24 Part 6 Energy Standards.								
	BETTER ROOFS	SFGBC 4.201.1 & 5.201.1.2	New non-residential buildings >2,000 sq.ft. and ≤10 occupied floors, and new residential buildings of any size and ≤10 occupied floors, must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems.								
	RENEWABLE ENERGY	SFGBC 5.201.1.3	Non-residential buildings with ≥11 floors must acquire at least 1% of energy from on-site renewable sources, purchase green energy credits, or achieve 5 points under LEED credit Optimize Energy Performance (EAc2).								
	COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	For projects ≥10,000 sq.ft. include OPR, BOD, and commissioning plan in design & construction. Commission to comply. Alterations & additions with new HVAC equipment must test and adjust all equipment.								
PARKING	BICYCLE PARKING	CALGreen 5.106.4, Planning Code 155.1-2	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater.								
	DESIGNATED PARKING	CALGreen 5.106.5.2	Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.								
	WIRING FOR EV CHARGERS	SFGBC 4.106.4 & 5.106.5.3	Permit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE. Install service capacity and panelboards sufficient to provide ≥40A 208 or 240V to EV chargers at 20% of spaces. Install ≥40A 208 or 240V branch circuits to ≥10% of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required. Projects with zero off-street parking exempt. See SFGBC 4.106.4 or SFGBC 5.106.5.3 for details. Permit applications prior to January 2018 only: Install infrastructure to provide electricity for EV chargers at 6% of spaces for non-residential (CALGreen 5.106.5.3), 3% of spaces for multifamily with ≥17 units (CALGreen 4.106.4.2), and each space in 1-2 unit dwellings (CALGreen 4.106.4.1). Installation of chargers is not required.								
WASTE DIVERSION	RECYCLING BY OCCUPANTS	SF Building Code AB-058	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.								
	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, Environment Code ch.14, SF Building Code ch.13B	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate. Divert a minimum of 75% of total C&D debris if noted.								
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.								
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.								
	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.								
GOOD NEIGHBOR	LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.								
	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.								
	TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.								
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. See www.sfwater.org for details.								
	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details.								
INDOOR ENVIRONMENTAL QUALITY	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceilings between tenants). New residential projects' interior noise due to exterior sources shall not exceed 45dB.								
	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1-3 & 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.								
	AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3, SF Health Code art.38	Non-residential projects must provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.								
	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.								
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.								
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.								
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.								
	CAPILLARY BREAK SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.								
	MOISTURE CONTENT	CALGreen 4.505.3	Wall and floor wood framing must have <19% moisture content before enclosure.								
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).								

Revisions  
R1 11/4/2019

1222 FUNSTON AVENUE  
PROJECT NAME

1738 / 040  
BLOCK/LOT

1222 FUNSTON AVENUE  
ADDRESS

R3  
PRIMARY OCCUPANCY

4,566 SF  
GROSS BUILDING AREA

21 NOV 2018  
DESIGN PROFESSIONAL  
OR PERMIT APPLICANT  
(sign & date)

APPROVED  
Dept. of Building Inspection  
- San Francisco -  
AUG 04 2021  
Kieran Woods, Woods Family Investments, LP  
KIRAN WOODS, WOODS FAMILY INVESTMENTS, LP

NOTICE  
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All attachments, connections, fastenings etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

APPROVED  
Planning Dept. Catherine Campbell  
FEB 14 2020

1222 FUNSTON AVE  
BLOCK 1738 / LOT 040  
SFD/BI BPA: 201912118001

A NEW SINGLE FAMILY HOME

GREEN BUILDING SITE PERMIT SUBMITTAL FORM - GS1

DATE 11/20/2018

SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO.

BRUCE SAMSON, SFPD MAY 27 2021

DAVID JOHNSON, P.E. MAY 06 2021

SITE PERMIT REVISION  
FEB 19 2020  
THIS APPLICATION SUBMITTED FOR SITE PERMIT  
MAY NOT BE WORKED ON BY ANY OTHER PARTY.  
CONTRACTOR MUST HAVE WORK APPROVAL.

G0.06



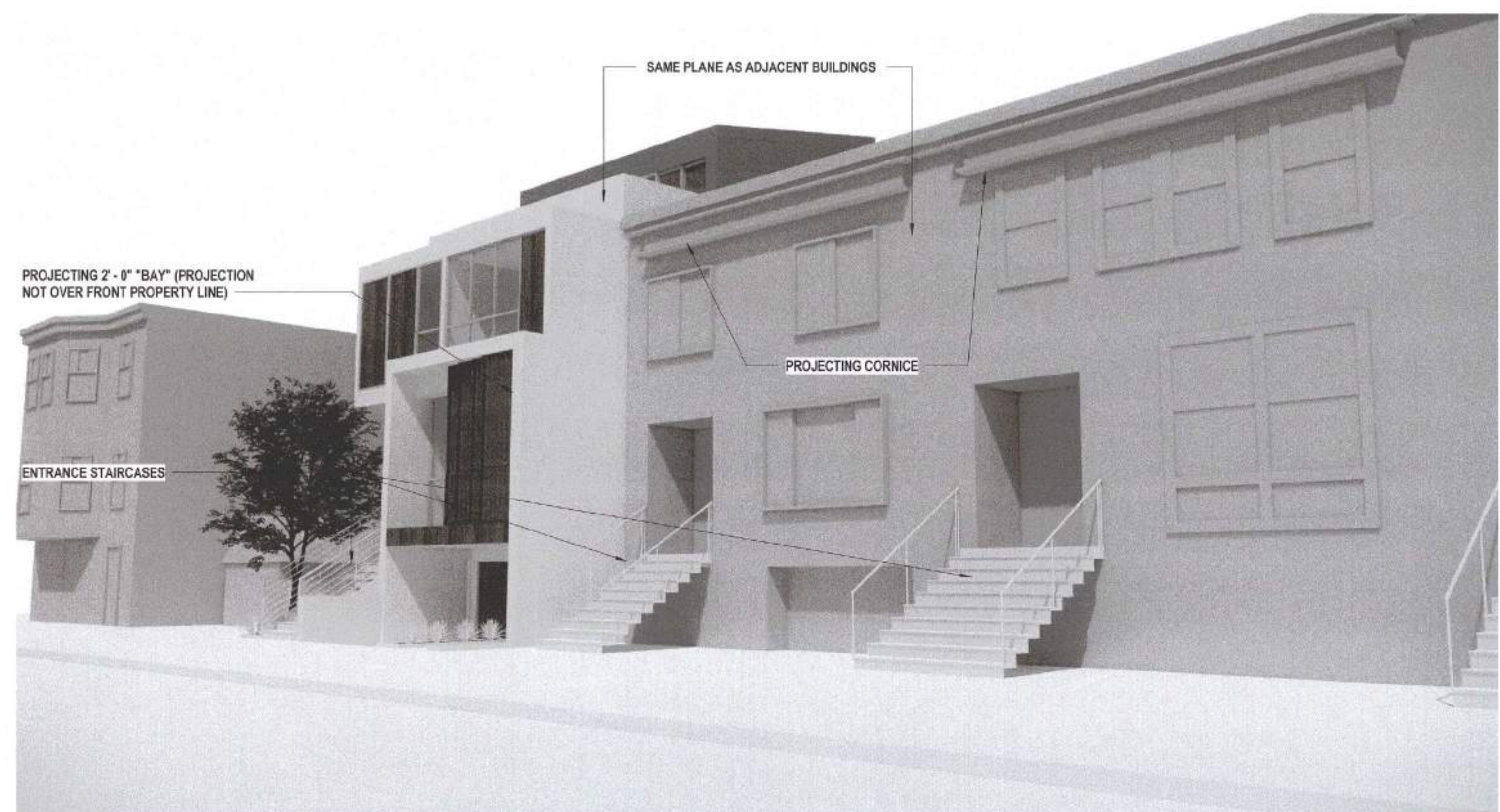
APPROVED  
Planning Dept. Catherine Campbell  
FEB 14 2020

SITE PERMIT REVISION  
FEB 19 2020  
THIS APPLICATION SUBMITTED FOR SITE PERMIT  
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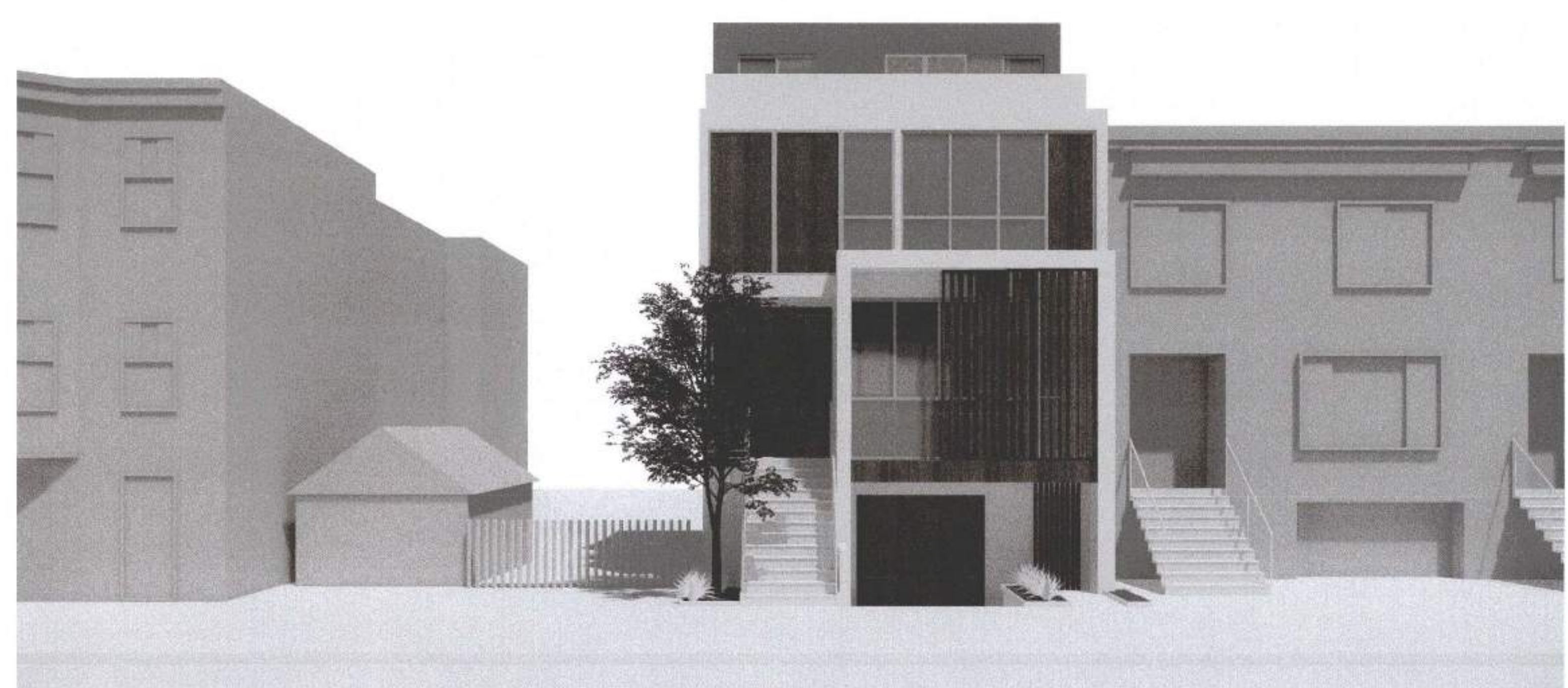
G0.06

Revisions

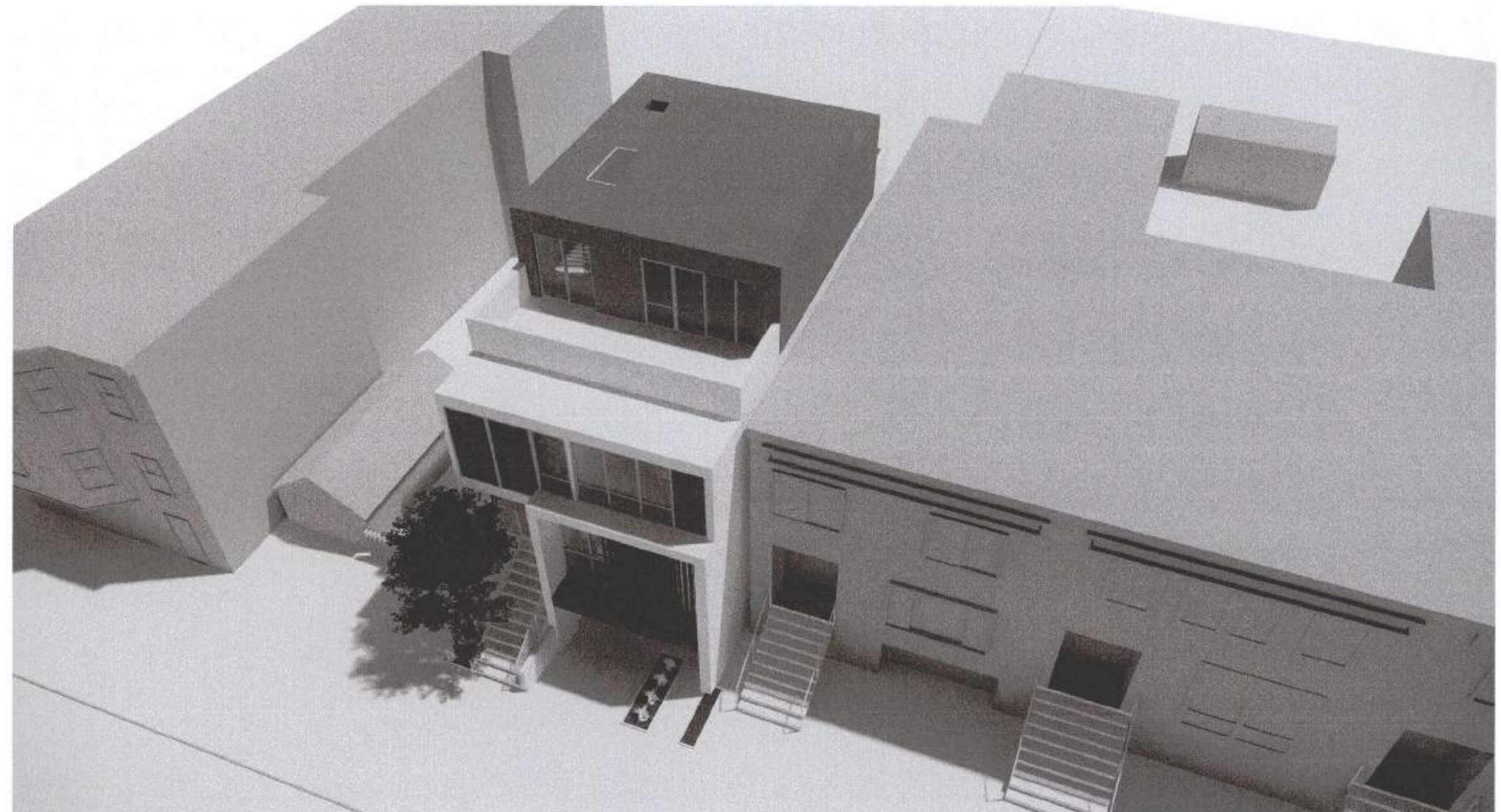
R1	11/4/2019



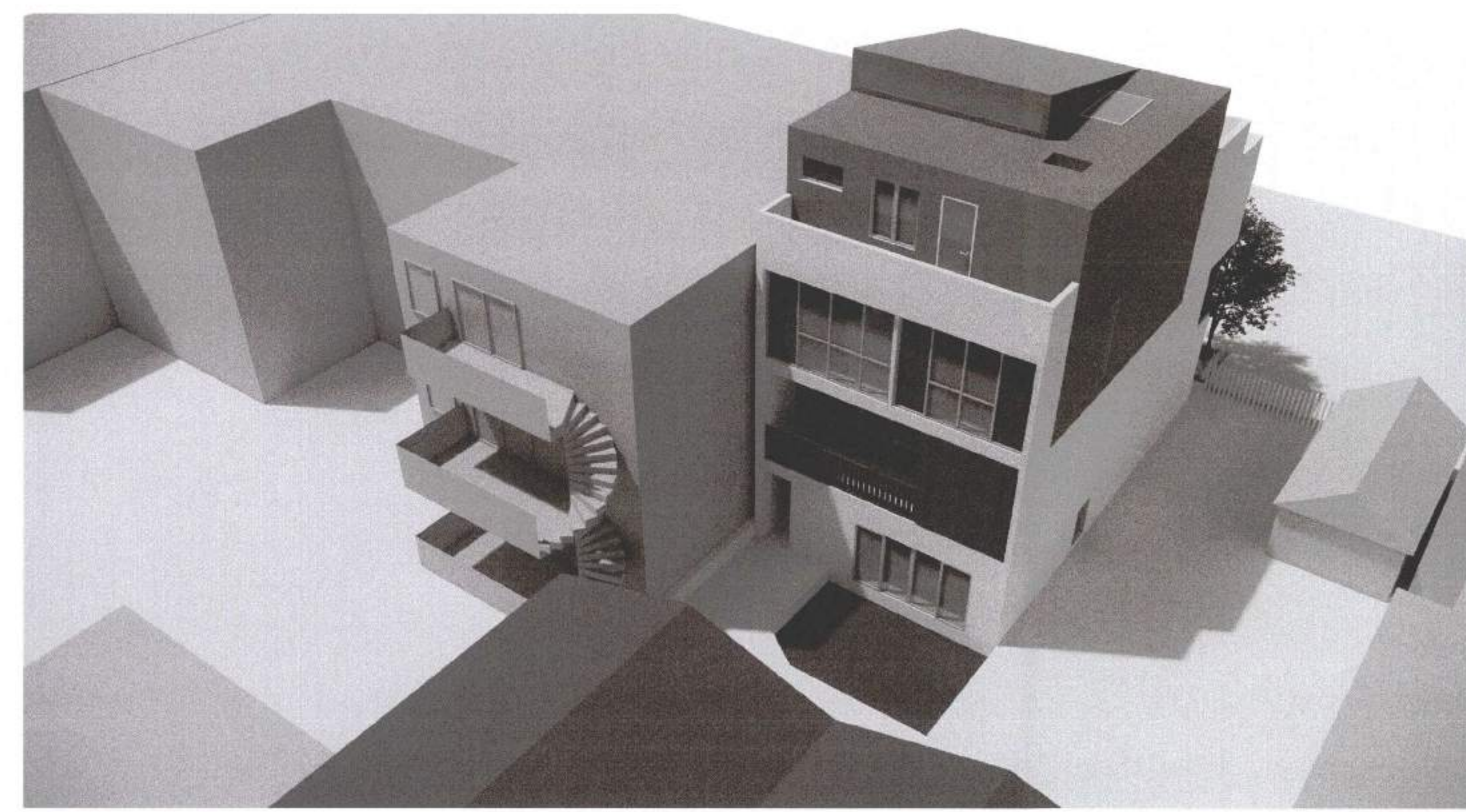
VIEW FROM FUNSTON AVE (WOOD SCREENS OPEN)



VIEW FROM FUNSTON AVE (WOOD SCREENS CLOSED)



VIEW FROM FUNSTON AVE



VIEW FROM REAR YARD



VIEW FROM REAR YARD



VIEW FROM REAR YARD

*[Signature]*  
 FEB 04 2020  
 Approved Planning Dept. Cathleen Campbell

**APPROVED**  
 Dept. of Building Insp.  
 San Francisco  
 AUG 04 2021  
*[Signature]*  
 DEPT. OF BUILDING INSPECTION

1222 FUNSTON AVE  
 THE APPLICANT HAS SUBMITTED THE SITE PERMIT AND HAS MET THE REQUIREMENTS FOR THE SITE PERMIT. CONSTRUCTION PLANS HAVE BEEN APPROVED.

**SITE PERMIT REVISION**  
 FEB 19 2020  
 THE APPLICANT HAS SUBMITTED THE SITE PERMIT AND HAS MET THE REQUIREMENTS FOR THE SITE PERMIT. CONSTRUCTION PLANS HAVE BEEN APPROVED.

Bruce Samson, SFFD  
 MAY 27 2021

David Jones, DBI  
 MAY 06 2021

**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
 SFD/BI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

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**MASSING IMAGES**

DATE 11/20/2018

SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**G0.10**

Revisions	
R1	11/4/2019



**1222<sup>1/2</sup>  
FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFD/DBA: 201812118001

A NEW SINGLE FAMILY HOME

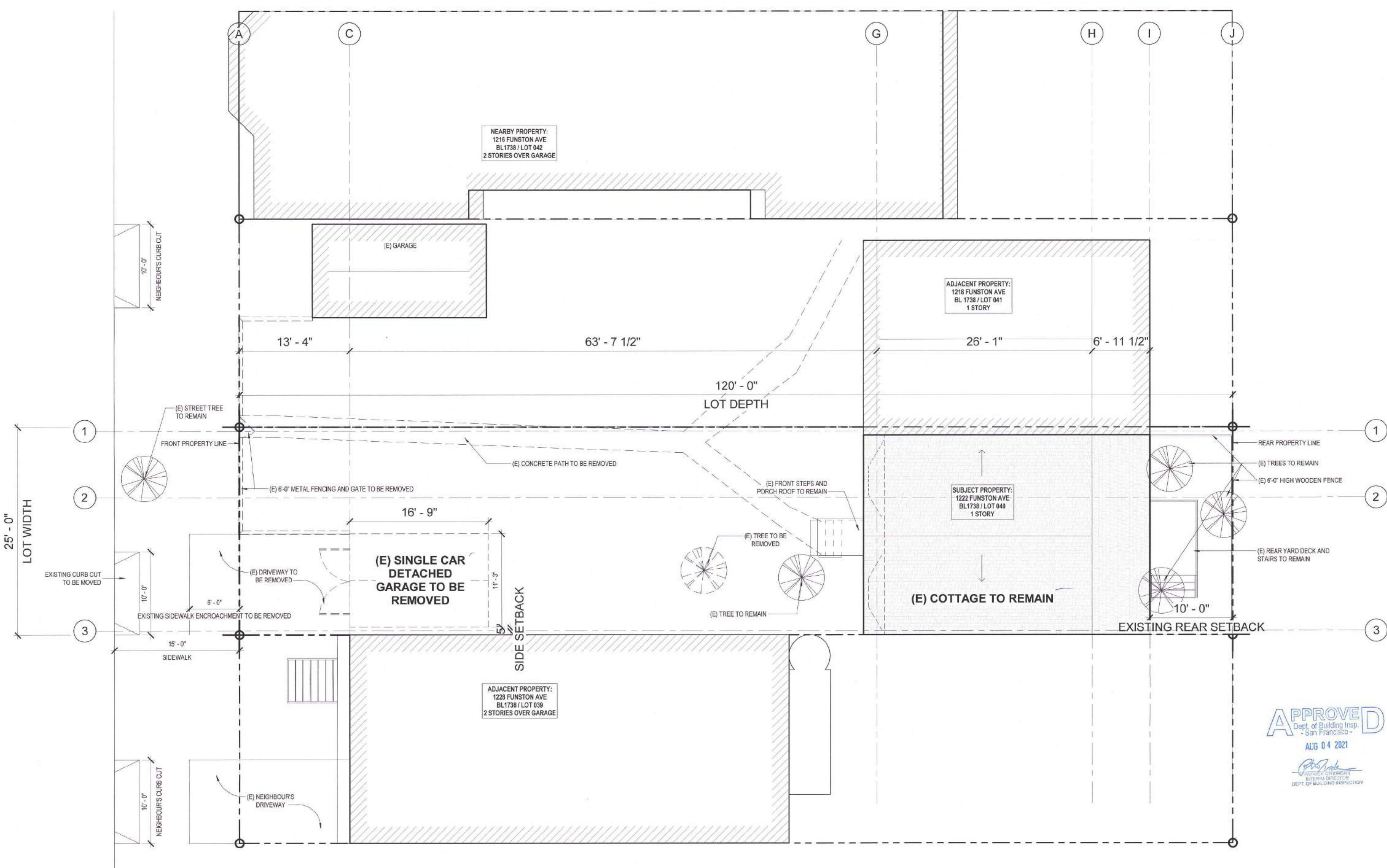
KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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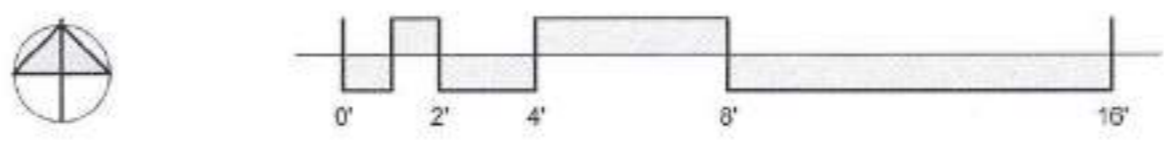
**EXISTING /  
DEMO SITE  
PLAN**

DATE	11/20/2018
SCALE	3/16" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

**AE1.01**



**1** EXISTING / DEMO SITE PLAN - ROOF  
3/16" = 1'-0"



**APPROVED**  
Dept. of Building Insp.  
- San Francisco -  
AUG 04 2021

*David Jones*  
SUPERVISOR  
DEPT. OF BUILDING INSPECTION

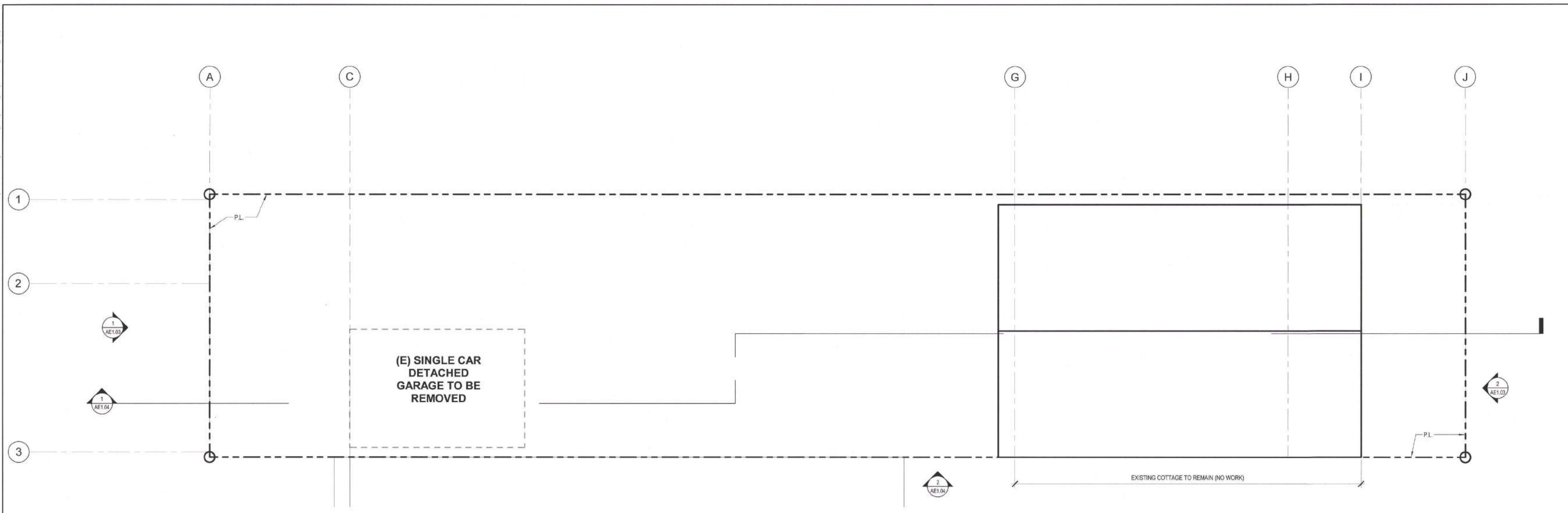
*Cathleen Campbell*  
FEB 04 2020  
Approved Planning Dept. Cathleen Campbell

Bruce Samson, SFFD  
MAY 27 2021

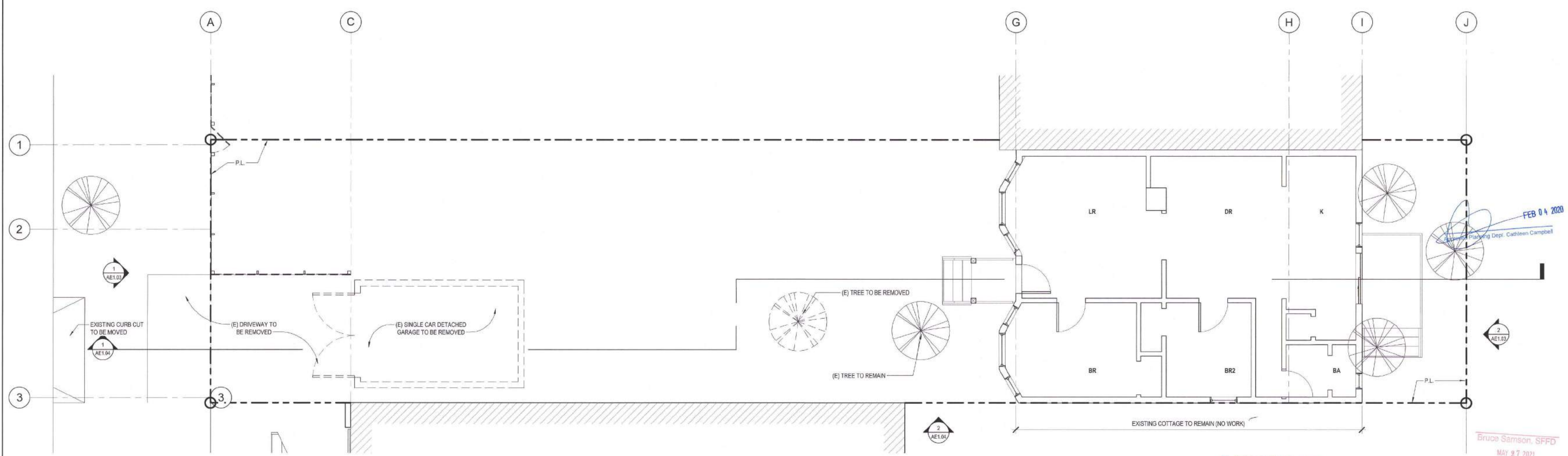
**SITE PERMIT  
REVISION**  
FEB 19 2020  
THIS PERMIT IS VALID FOR ONE YEAR FROM DATE OF ISSUANCE. ANY CHANGES TO THIS PERMIT MUST BE APPROVED BY THE DEPARTMENT OF BUILDING INSPECTION.

*David Jones, DBI*  
MAY 06 2021

Revisions	
R1	11/4/2019



**2** EXISTING / DEMO ROOF PLAN  
1/4" = 1'-0"



**1** EXISTING / DEMO FIRST FLOOR PLAN  
1/4" = 1'-0"

**1222 1/2**  
**FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDDBI BPA: 201912116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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**EXISTING FIRST FLOOR PLAN**

DATE 11/20/2018

SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**AE1.02**

**APPROVED**  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021

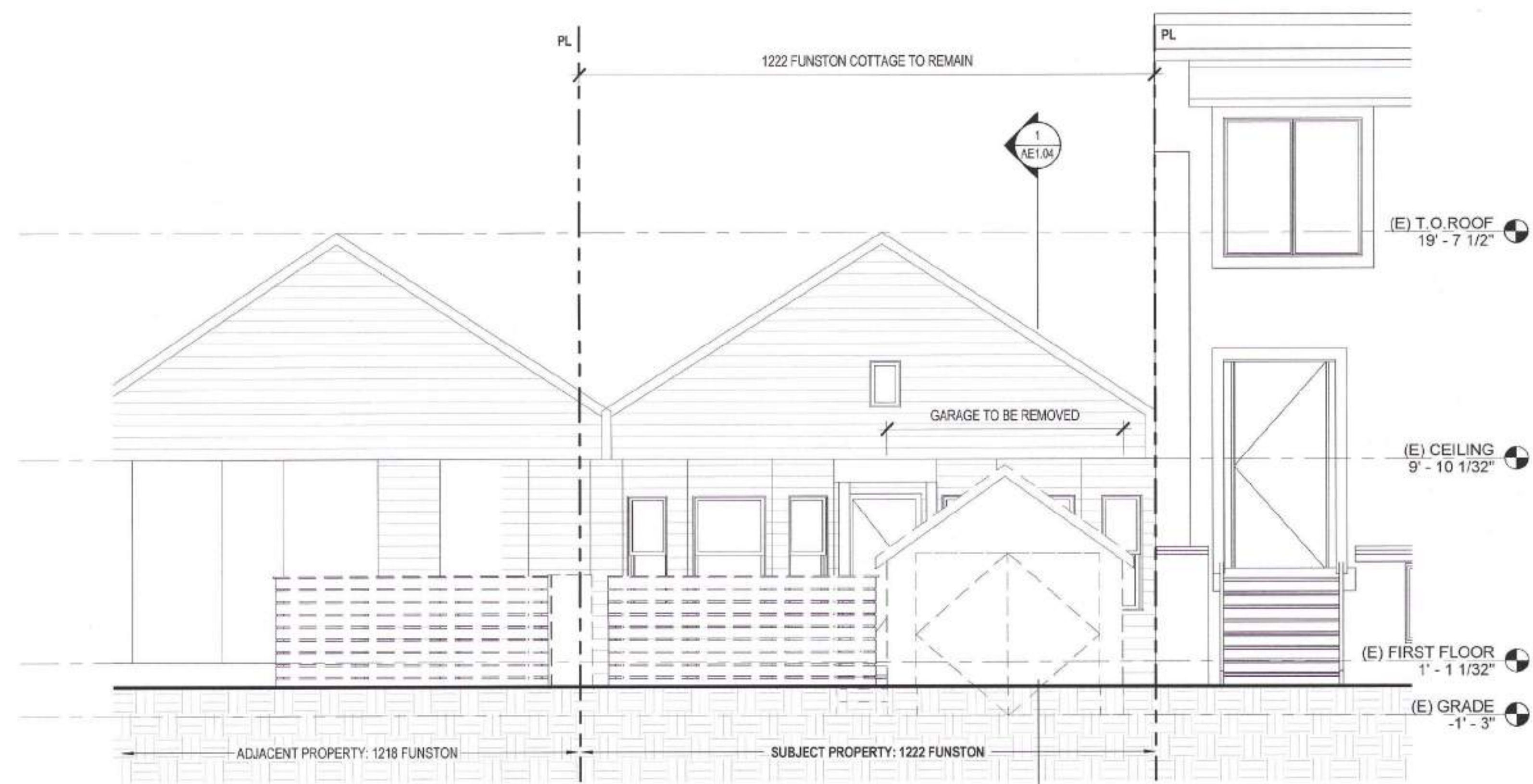
**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPLICATION IS SUBJECT TO THE SITE PERMIT. ANY WORK MAY BE STOPPED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

Bruce Samson, SFFD  
MAY 27 2021

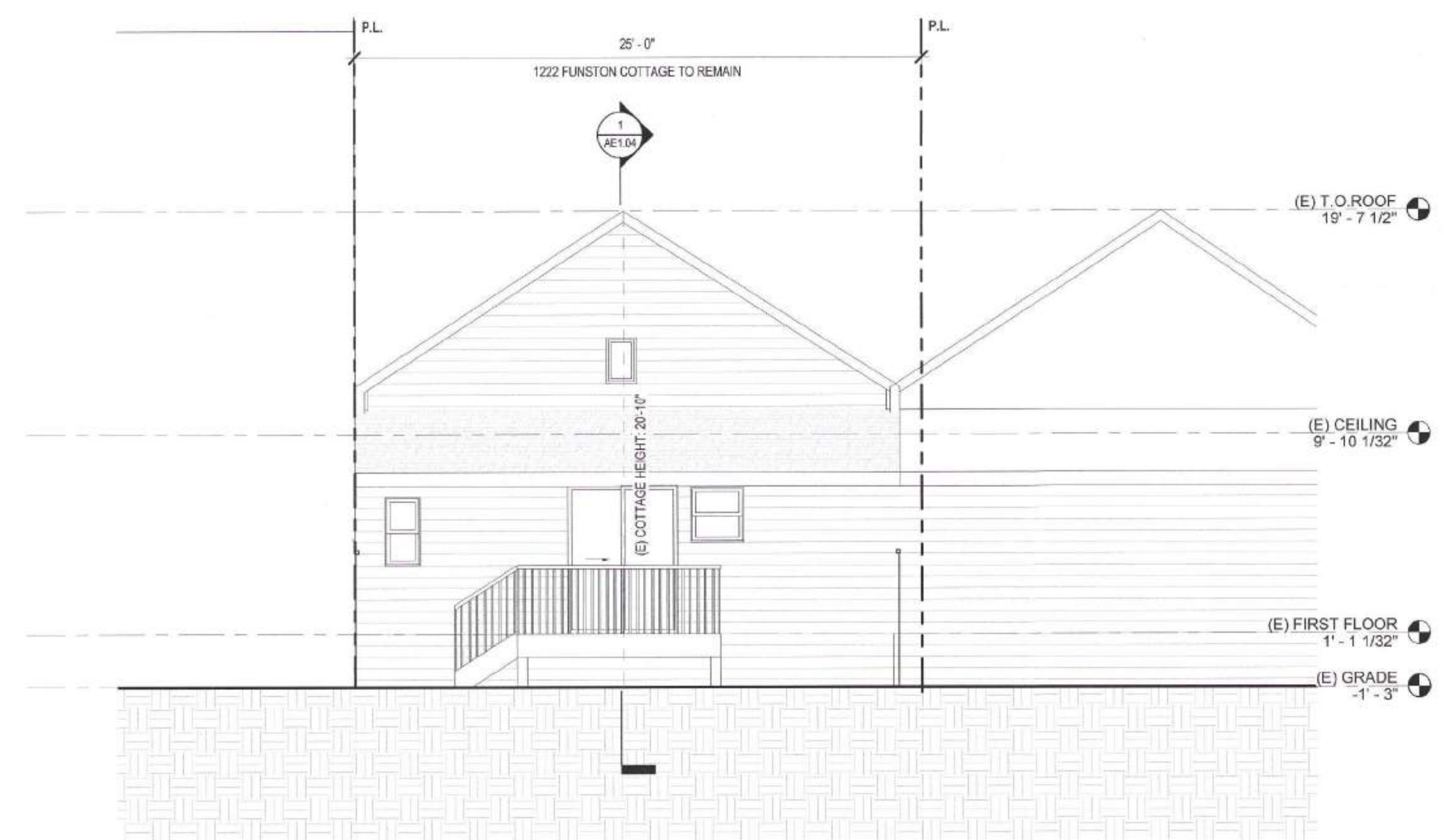
David Jones, DBI  
MAY 06 2021

FEB 04 2020  
Planning Dept. Catherine Campbell

Revisions	
R1	11/14/2019



1 EXISTING / DEMO ELEVATION - WEST (FRONT)  
 1/4" = 1'-0"



2 EXISTING / DEMO ELEVATION - EAST (REAR)  
 1/4" = 1'-0"

*[Signature]*  
 FEB 04 2020  
 Approving Planning Dept. Catherine Campbell

1222<sup>4</sup>  
 FUNSTON AVE

BLOCK 1738 / LOT 040  
 SFDDBA BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
 FAMILY INVESTMENTS, LP

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**EXISTING ELEVATIONS**

DATE 11/20/2018

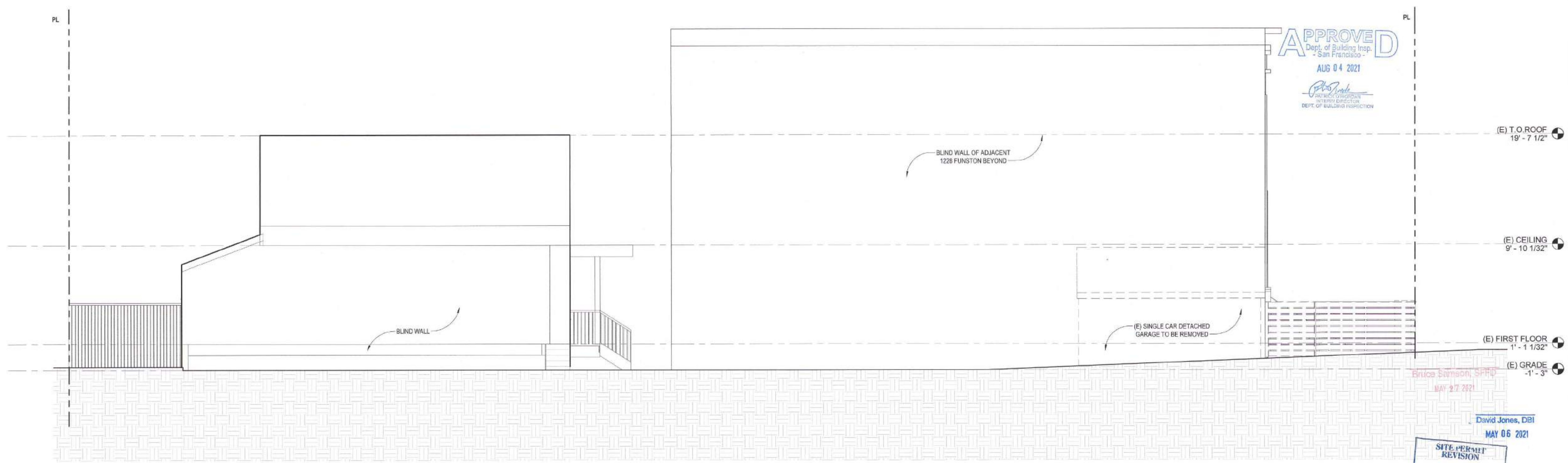
SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO.

AE1.03



3 EXISTING / DEMO ELEVATION - NORTH  
 1/4" = 1'-0"

**APPROVED**  
 Dept. of Building Insp.  
 - San Francisco -  
 AUG 04 2021  
*[Signature]*  
 ARCHITECT SUPERVISOR  
 DEPT. OF BUILDING INSPECTION

Erica Swanson, SFPD  
 MAY 27 2021

David Jones, DBI  
 MAY 06 2021

**SITE PERMIT REVISION**  
 FEB 19 2020  
 THIS APPLICATION QUALIFIED FOR SITE PERMIT ONLY. NO WORK MAY BE INSTALLED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

Revisions	
R1	11/4/2019



**1222 Y  
 FUNSTON AVE**

BLOCK 1738 / LOT 040  
 SFDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
 FAMILY INVESTMENTS, LP

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**EXISTING SECTION**

DATE 11/20/2018

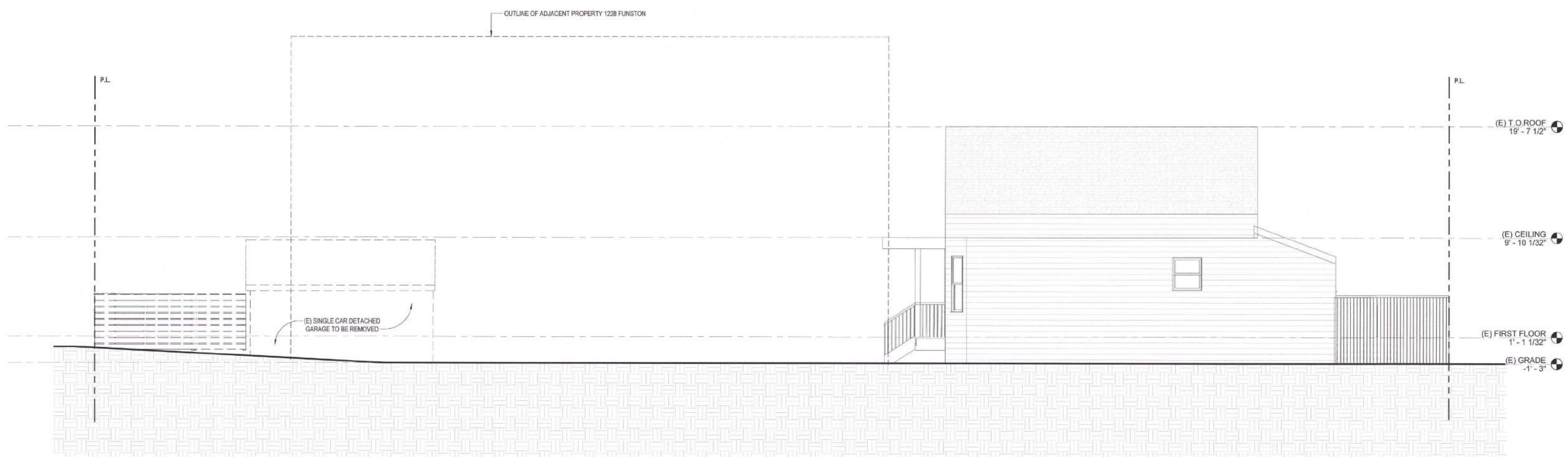
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DRAWN BY Author

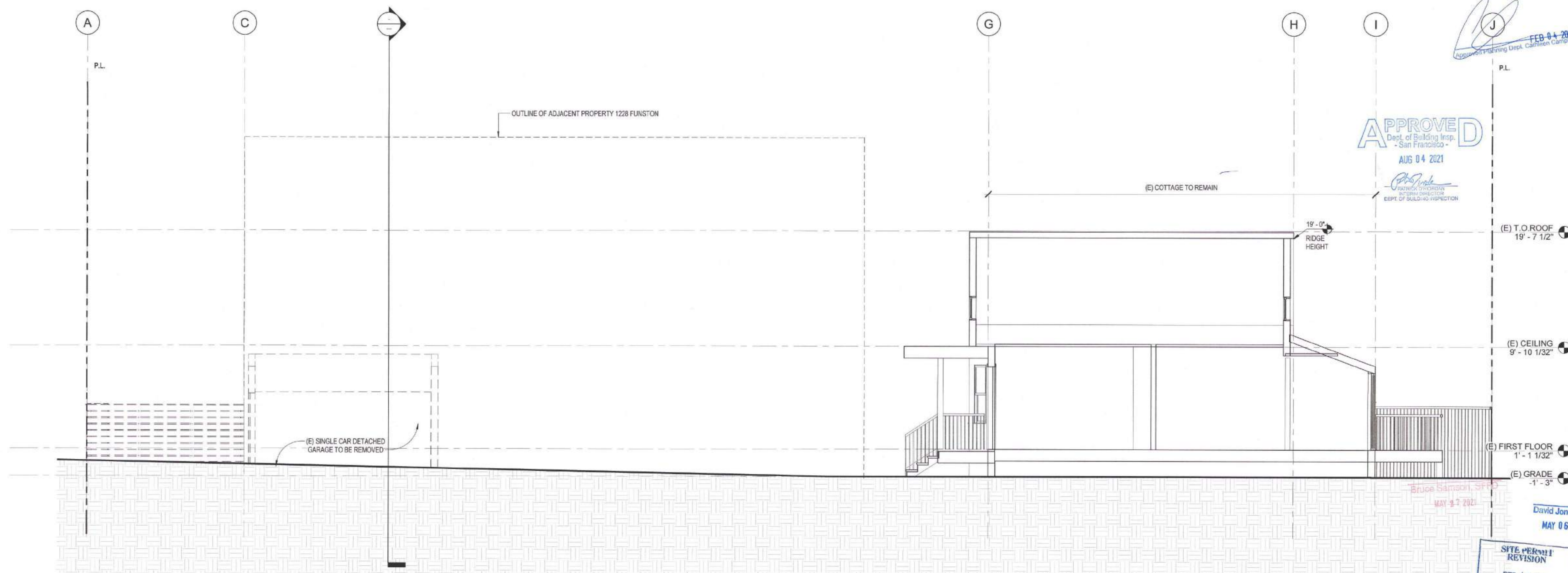
CHECKED BY Checker

JOB NO.

**AE1.04**



**2 EXISTING / DEMO ELEVATION - SOUTH**  
 1/4" = 1'-0"



**1 EXISTING / DEMO SECTION (MIDDLE LINE)**  
 1/4" = 1'-0"

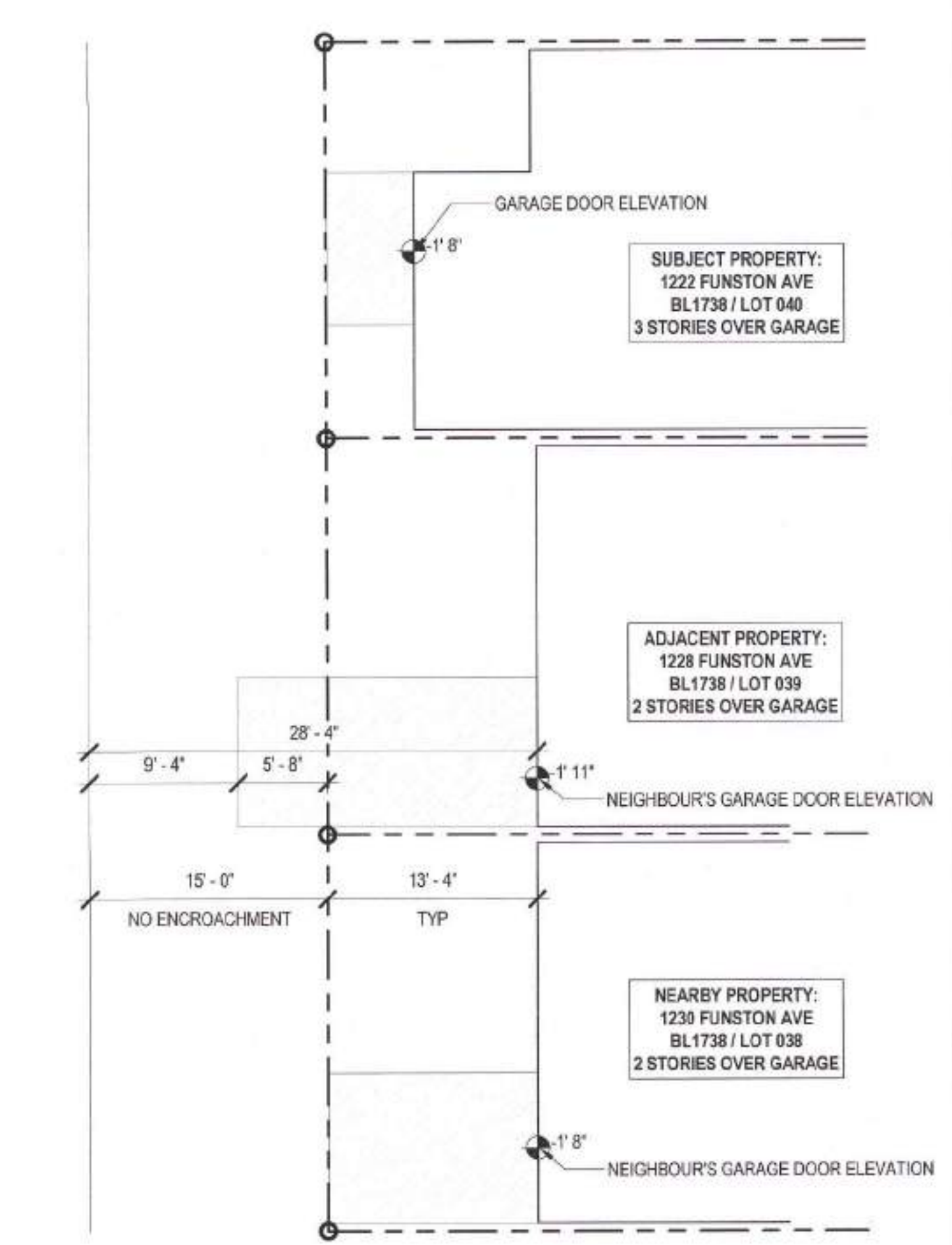
**APPROVED**  
 FEB 04 2020  
 Approved Training Dept. - Contra Costa

**APPROVED**  
 Dept. of Building Insp.  
 - San Francisco -  
 AUG 04 2021  
 [Signature]  
 CHIEF OF BUILDING INSPECTION

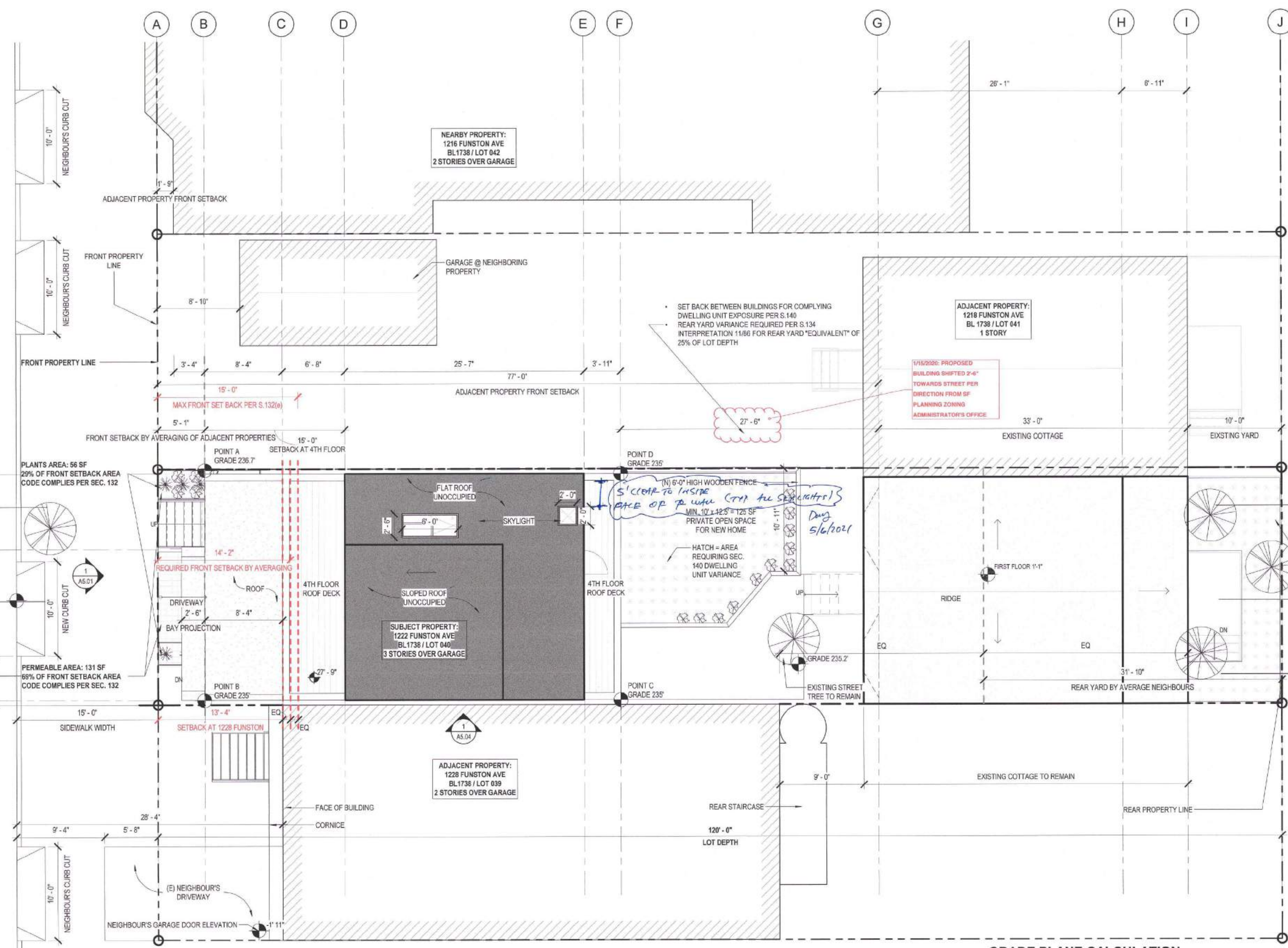
BRUCE STRICKLAND, CIVIL  
 MAY 9 2 2021

David Jones, DBI  
 MAY 06 2021

**SITE PERMIT REVISION**  
 FEB 19 2020  
 THIS APPROVED SUBMITTAL IS FOR PERMIT ONLY. NO WORK SHALL BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



**2 NEIGHBOUR'S ENCROACHMENT**  
1/8" = 1'-0"



**1 PROPOSED SITE PLAN**  
3/16" = 1'-0"



**GRADE PLANE CALCULATION**  
POINT A = 236.7  
POINT B = 235  
POINT C = 235  
POINT D = 235

*Approved Planning Dept. Catherine Campbell*  
FEB 04 2020

**APPROVED**  
Dept. of Building Insp.  
- San Francisco -  
AUG 04 2021  
Pauline O'Connell  
PERMITS DIRECTOR  
DEPT. OF BUILDING INSPECTION

Bruce Samson, SFFD  
MAY 27 2021  
David Jones, DBI  
MAY 06 2021

**SITE PERMIT  
REVISION**  
FEB 19 2020  
THIS DRAWING IS SUBMITTED FOR REVIEW ONLY. NO WORK SHALL BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

*Handwritten signature*



**GENERAL NOTES**

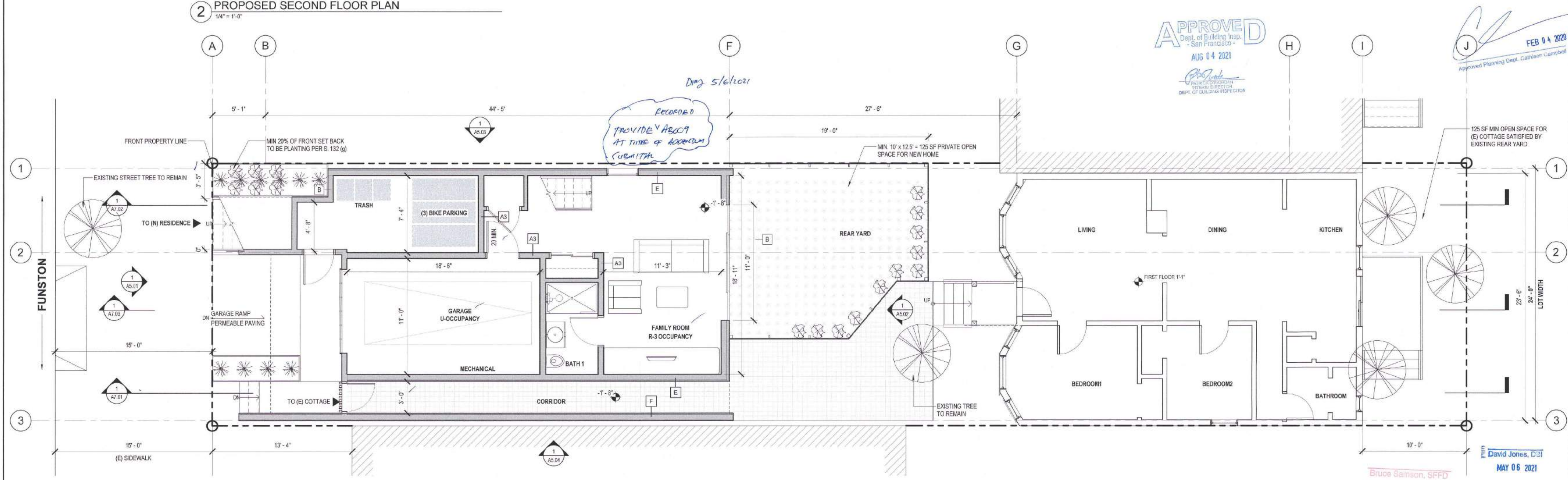
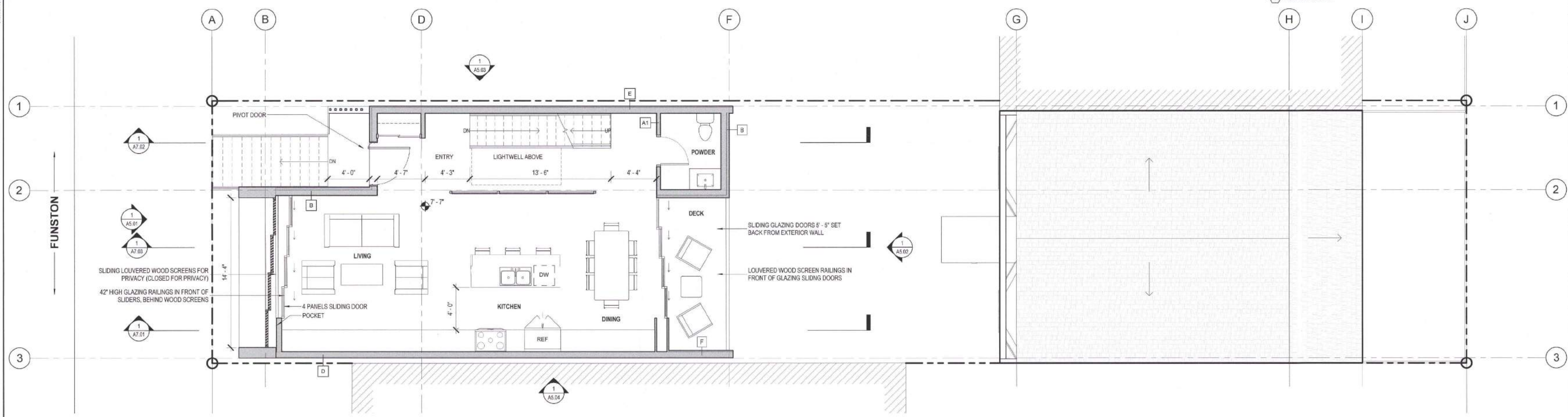
1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
2. V.I.F. ALL (E) DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCIES
3. ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS

**PARTITION LEGEND**

- (E) PARTITION TO REMAIN
- (N) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A7.00)

**KEYNOTES**

1. RATED DOOR WITH CLOSER, LATCH, AND SMOKE SEAL
  - 45-MIN AT 1-HR ENCLOSURE
  - 90-MIN AT 2-HR ENCLOSURE
2. COMMON STAIR: MAX RISER HEIGHT OF 7" AND MINIMUM TREAD DEPTH OF 11" (PER CBC 1011.5.2) MINIMUM HEADROOM 80" (PER CBC 1011.3)
3. PRIVATE STAIR: MAX RISER HEIGHT OF 7 3/4" AND MINIMUM TREAD DEPTH OF 10" (PER CBC 1011.5.2 EXCEPTION #3) MINIMUM HEADROOM 80" (PER CBC 1011.3)
4. GUARDRAIL: MIN. 42" A.F.F. WITH 4" MAX OPENINGS (PER CBC 1015.3 & 1015.4). GUARDRAIL SHALL BE 1-HR RATED CONSTRUCTION AT PROPERTY LINE CONDITION
5. HANDRAIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014)
6. EGRESS WINDOW



**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFD/BI BPA: 201912110001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

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The Contractor shall verify all existing conditions. Written dimensions take precedence over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of KernanMorris Architects prior to the commencement of any work.

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**FIRST & SECOND FLOOR PLANS**

DATE 11/20/2018

SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPROVAL IS LIMITED TO THE SITE PERMIT ONLY. NO WORK MAY BE PERMITTED UNTIL ALL REVISIONS HAVE BEEN APPROVED.





**GENERAL NOTES**

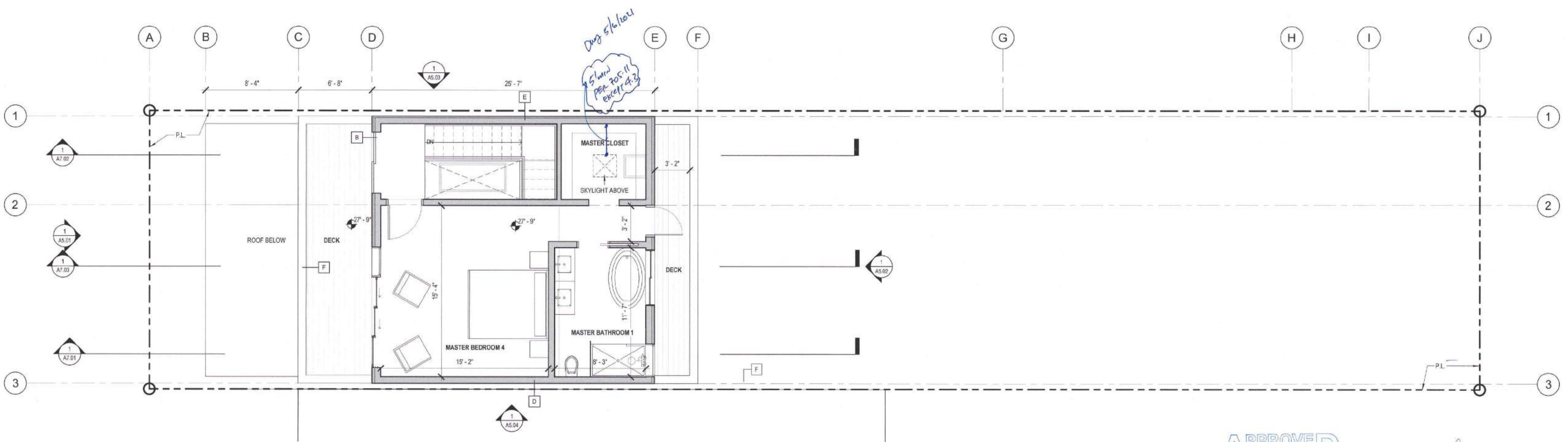
1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
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**PARTITION LEGEND**

- (E) PARTITION TO REMAIN
- (N) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A7.00)

**KEYNOTES**

1. RATED DOOR WITH CLOSER, LATCH, AND SMOKE SEAL
  - 45-MIN AT 1-HR ENCLOSURE
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5. HANDRAIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014)
6. EGRESS WINDOW



2 PROPOSED FOURTH FLOOR PLAN  
1/4" = 1'-0"

**APPROVED**  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021  
Project Inspector  
DEPT. OF BUILDING INSPECTION

FEB 04 2020  
Approved Planning Dept. Catherine Campbell

**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

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The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kermon/Morris Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show hatched and only representative typical details.

All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**THIRD & FOURTH FLOOR PLANS**

DATE 11/20/2018

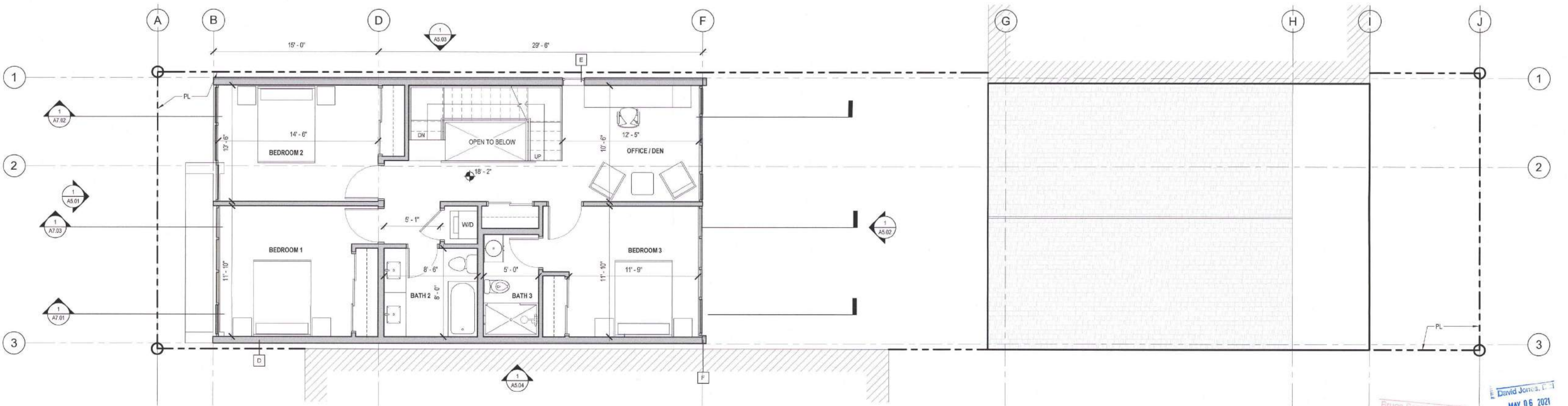
SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO.

SITE PERMITS REVISION  
FEB 19 2020  
THIS APPLICATION IS SUBJECT TO THE PERMIT. CHECK ALL WORK. REVISE OR CANCEL UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



1 PROPOSED THIRD FLOOR PLAN  
1/4" = 1'-0"

Bruce Samson, SFPD  
MAY 27 2021

David Jones, P.E.  
MAY 06 2021

Revisions	
R1	11/4/2019



1222 1/2  
**FUNSTON AVE**

BLOCK 1736 / LOT 640  
SFDBI BPA: 201612118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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**ROOF PLAN**

DATE 11/20/2018

SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**A2.03**

**GENERAL NOTES**

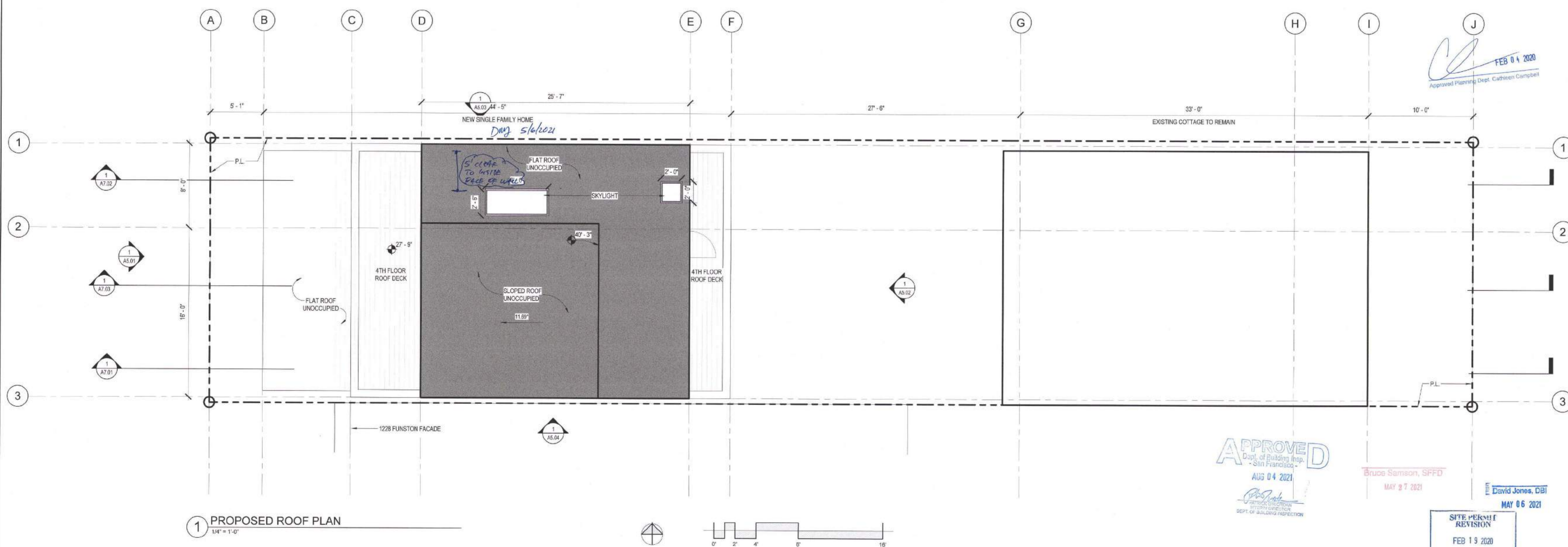
1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
2. V.I.F. ALL (E) DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCIES.
3. ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.

**PARTITION LEGEND**

- (E) PARTITION TO REMAIN
- - - (E) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A7.00)

**KEYNOTES**

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5. HANDRAIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014)
6. EGRESS WINDOW



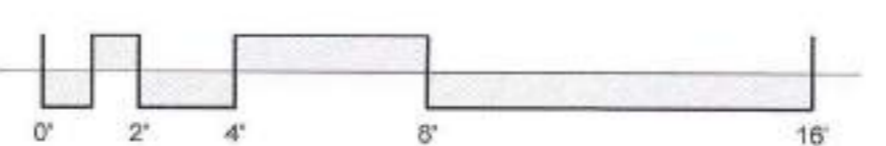
**1 PROPOSED ROOF PLAN**  
1/4" = 1'-0"



Bruce Samson, SFFD  
MAY 27 2021

David Jones, DBI  
MAY 06 2021

**SITE PERMIT REVISION**  
FEB 19 2020  
THE APPLICATION SUBMITTED FOR SITE PERMIT ONLY AND WORK MAY BE STOPPED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



Revisions	
R1	11/4/2019



1222  
FUNSTON AVE

BLOCK 1738 / LOT 040  
SFDDB EPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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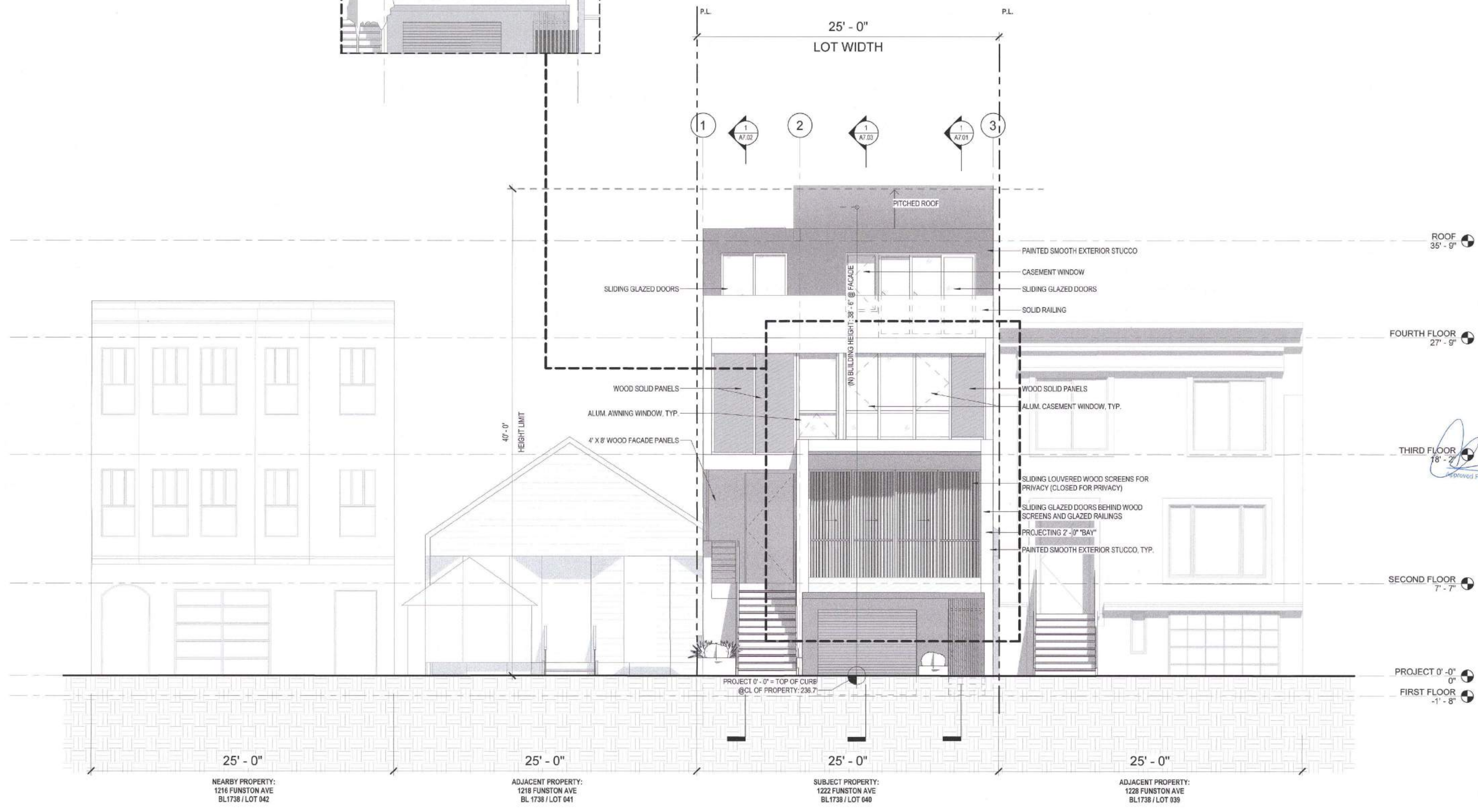
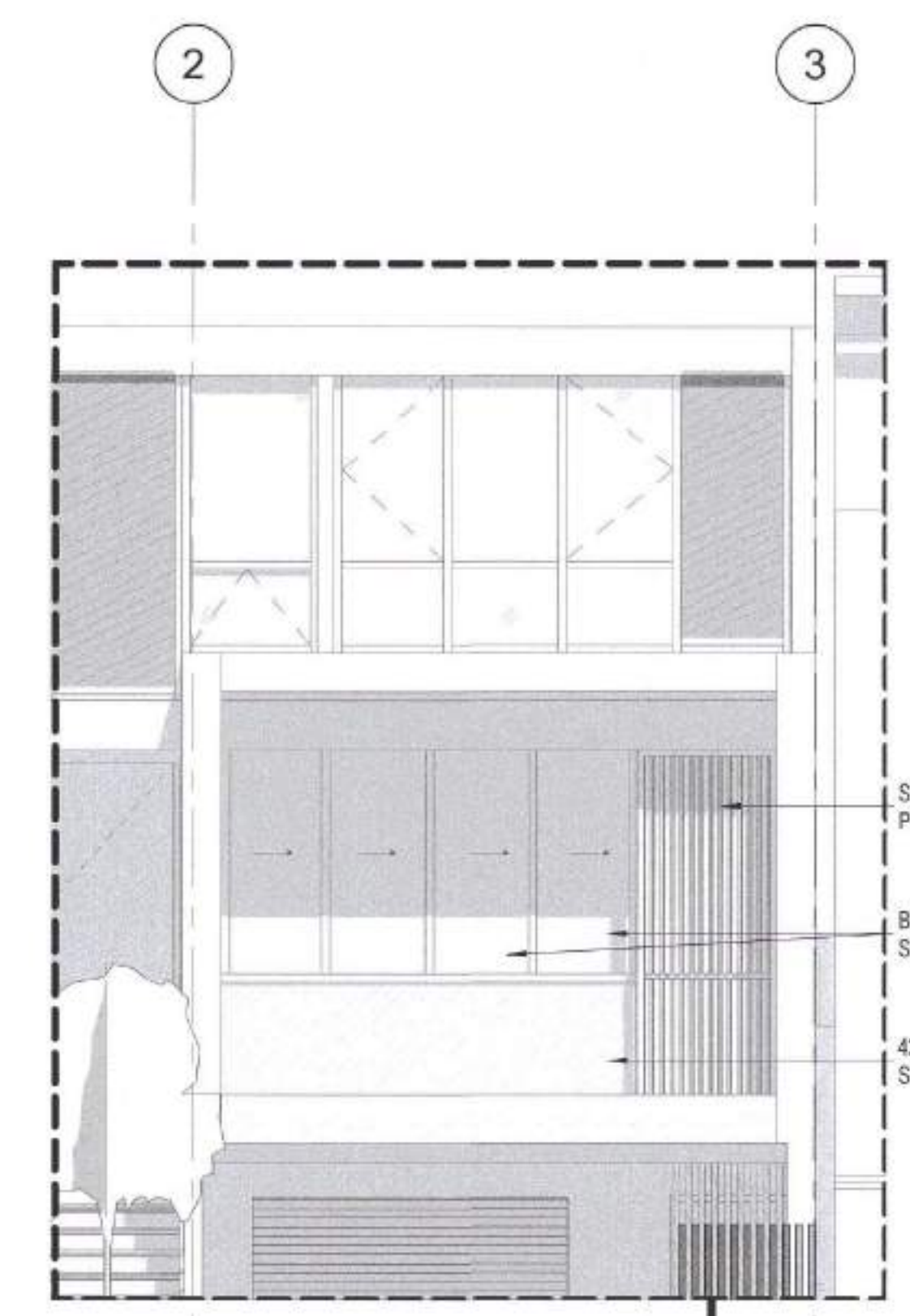
The Contractor shall verify all existing conditions. Wilder dimensions take precedence over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

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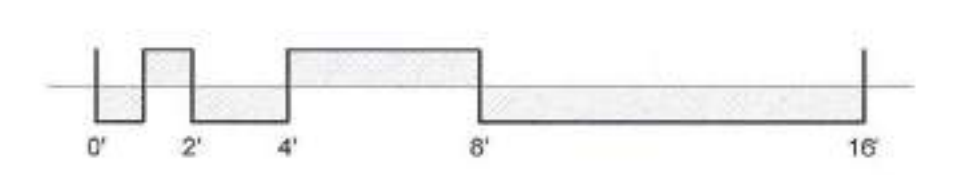
All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DATE	11/20/2018
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

A5.01



1 PROPOSED ELEVATION - WEST (FRONT)  
1/4" = 1'-0"



Bruce Samson, SFFD  
MAY 27 2021  
David Jones, DBI  
MAY 06 2021



Revisions	
R1	11/4/2019



**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDBA BPA: 201812118001

A NEW SINGLE FAMILY HOME

KERRAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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*Approved*  
FEB 04 2020  
KerranMorris Architects  
Kerran Morris, DBI, C-24585

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**EXTERIOR ELEVATIONS - EAST (REAR)**

**APPROVED**  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021

*David Jones, DBI*  
DAVID JONES, DBI  
C-24585

*Bruce Jensen, DBI*  
MAY 27 2021

*David Jones, DBI*  
MAY 06 2021

**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPROVAL IS SUBJECT TO THE PERMIT ONLY. NO WORK SHALL BE PERFORMED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

DATE 11/20/2018

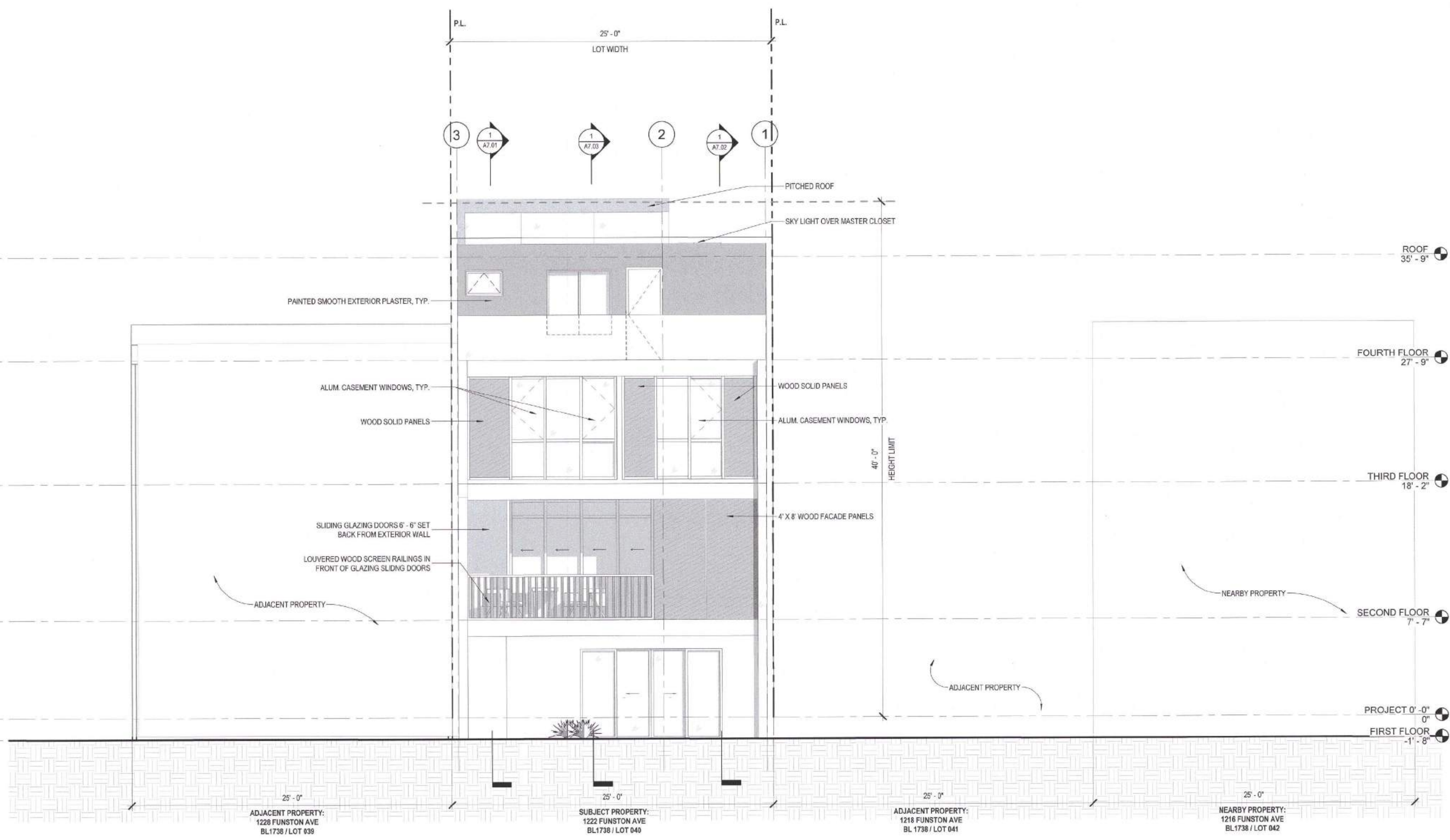
SCALE 1/4" = 1'-0"

DRAWN BY Author

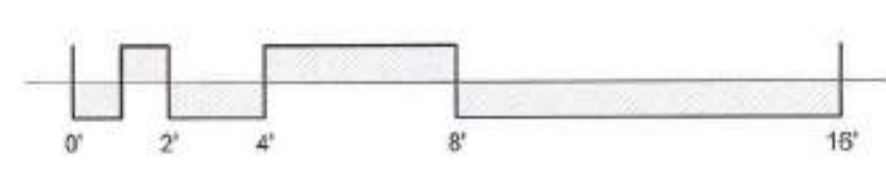
CHECKED BY Checker

JOB NO.

**A5.02**



**1 PROPOSED ELEVATION - EAST (REAR)**  
1/4" = 1'-0"



ADJACENT PROPERTY:  
1228 FUNSTON AVE  
BL1738 / LOT 039

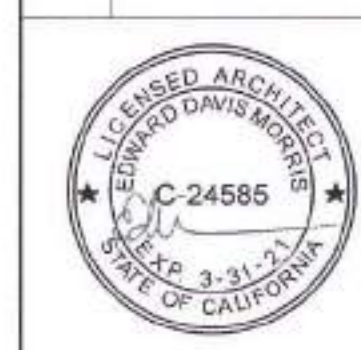
SUBJECT PROPERTY:  
1222 FUNSTON AVE  
BL1738 / LOT 040

ADJACENT PROPERTY:  
1218 FUNSTON AVE  
BL 1738 / LOT 041

NEARBY PROPERTY:  
1216 FUNSTON AVE  
BL1738 / LOT 042

DATE PLOTTED: 11/20/2018 10:58:11 AM; PLOT FILE: C:\Users\kerranm\OneDrive\Desktop\1222 Funston Ave\1222 Funston Ave.dwg; PLOT SCALE: 1/4" = 1'-0"

Revisions	
R1	11/4/2019



**1222  
FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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**EXTERIOR ELEVATIONS - NORTH**

DATE 11/20/2018

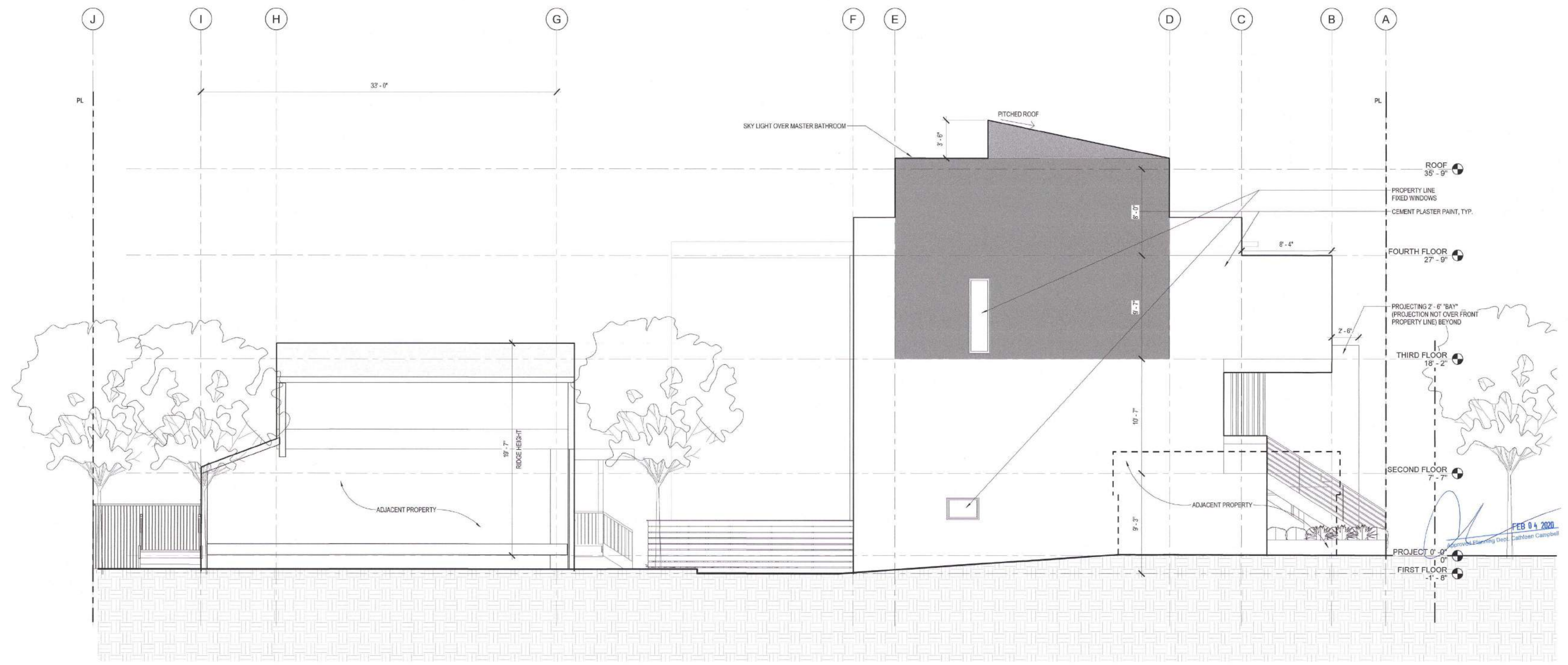
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DRAWN BY Author

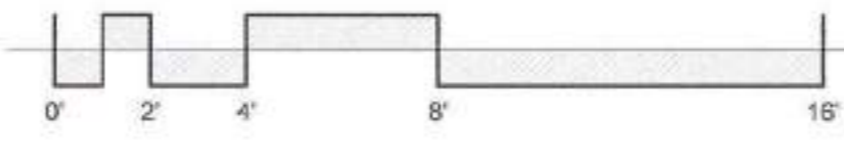
CHECKED BY Checker

JOB NO.

**A5.03**

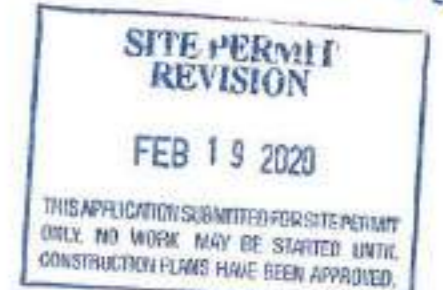


**1 PROPOSED ELEVATION - NORTH**  
1/4" = 1'-0"



Bruce Samson, SFFD  
MAY 27 2021

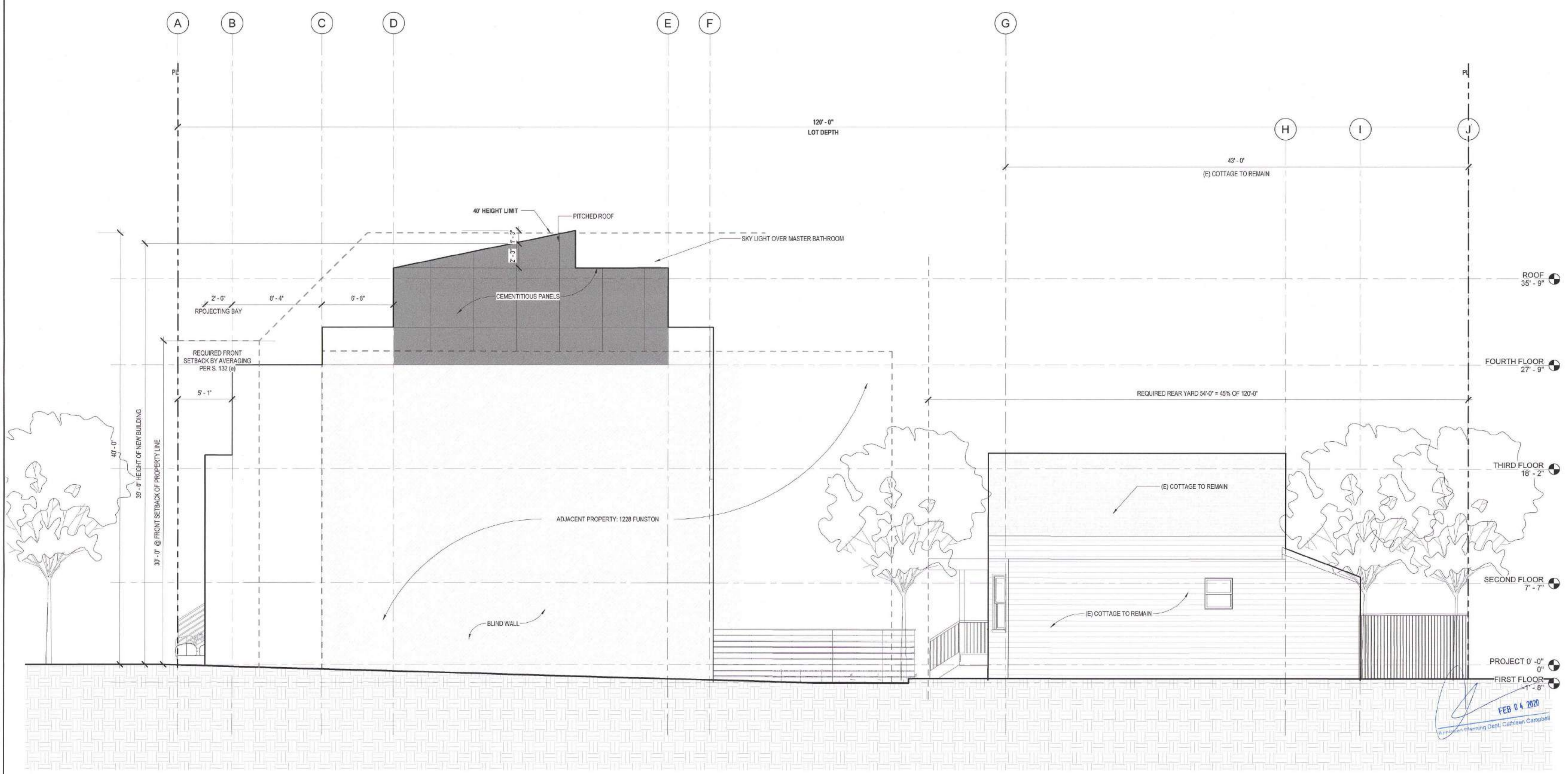
David Jones, DBI  
MAY 06 2021



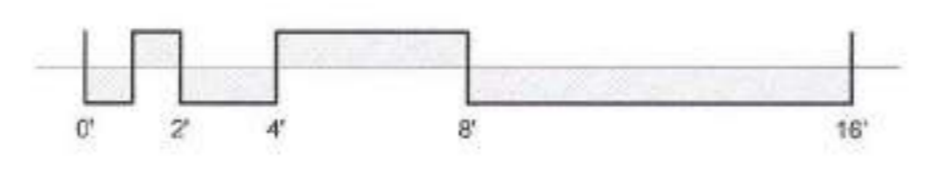
THIS APPROVED/REVISION/PERMIT IS VALID ONLY IN WORK MAY BE SITED WITH CONSTRUCTION PLANS HAVE BEEN APPROVED.



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1 PROPOSED ELEVATION - SOUTH  
1/4" = 1'-0"



APPROVED  
Dept. of Building Inspr.  
San Francisco  
AUG 04 2021  
Bruce Samson, SFPD  
MAY 27 2021  
David J. ...  
MAY 06 2021  
DEPT. OF BUILDING INSPECTION

SITE REVISION  
REVISION  
FEB 13 2020  
HIGH QUALITY CONSTRUCTION FOR THE PROJECT  
OVER 20 YEARS. MAY BE SUBJECT TO  
CONSTRUCTION PLANS HAVE BEEN APPROVED.

Revisions	
R1	11/4/2019



**1222<sup>Y</sup>  
 FUNSTON AVE**

BLOCK 1738 / LOT 040  
 SFDDBI BPA. 201912116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
 FAMILY INVESTMENTS, LP

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**BUILDING SECTIONS**

DATE 11/20/2018

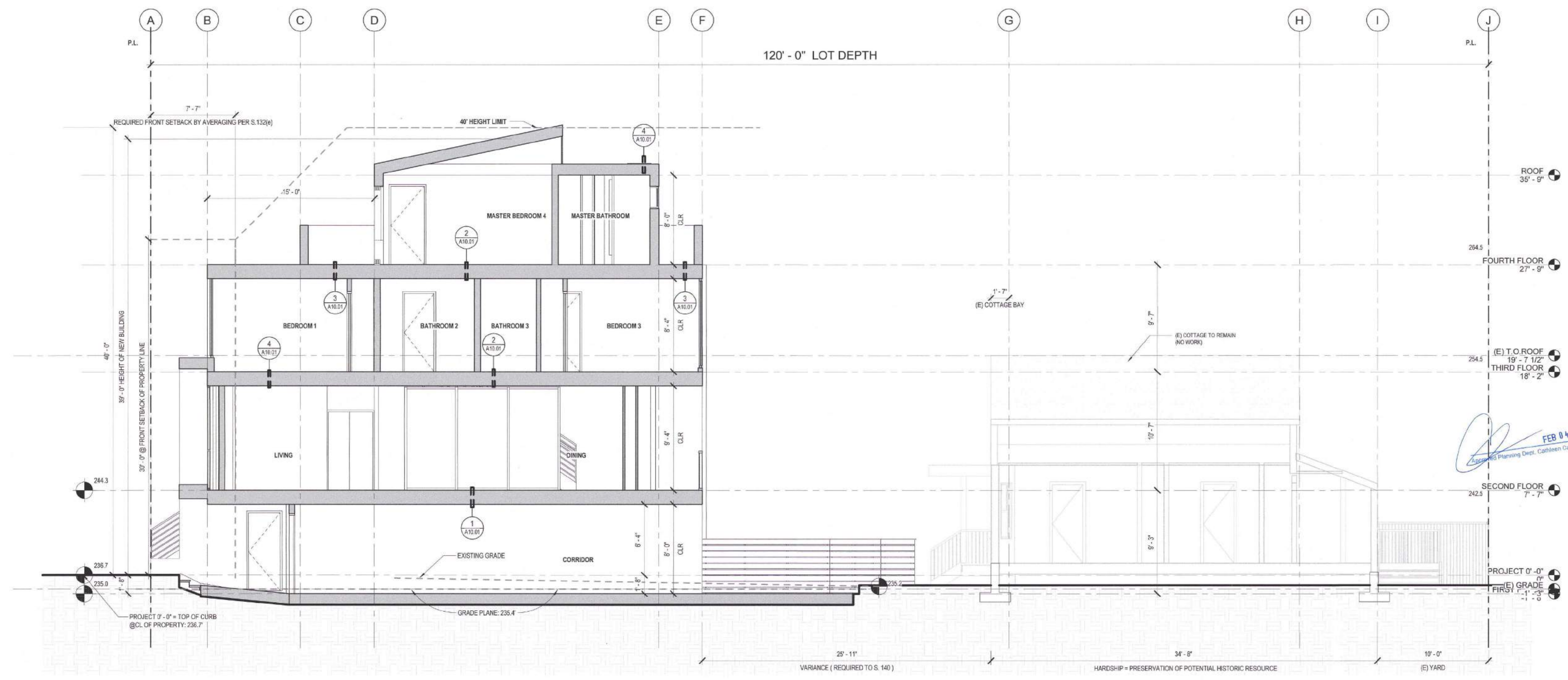
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DRAWN BY Author

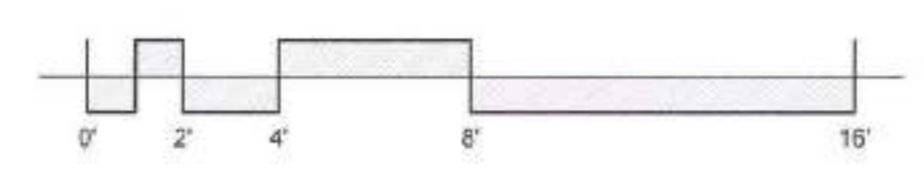
CHECKED BY Checker

JOB NO.

**A7.01**



**1 SECTION A - A**  
 1/4" = 1'-0"



**APPROVED**  
 Dept. of Building Insp.  
 San Francisco  
 AUG 04 2021

Bruce Samson, LP-FE  
 MAY 27 2021

David Jones, DBI  
 MAY 06 2021

**SITE PERMIT REVISION**  
 FEB 19 2020  
 THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO OTHER USES OR STRUCTURE CONSTRUCTION PLANS HAVE BEEN APPROVED.

Revisions	
R1	11/14/2019



**1222 1/2  
FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDDBI BPA: 201812116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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**BUILDING SECTIONS**

DATE 11/20/2018

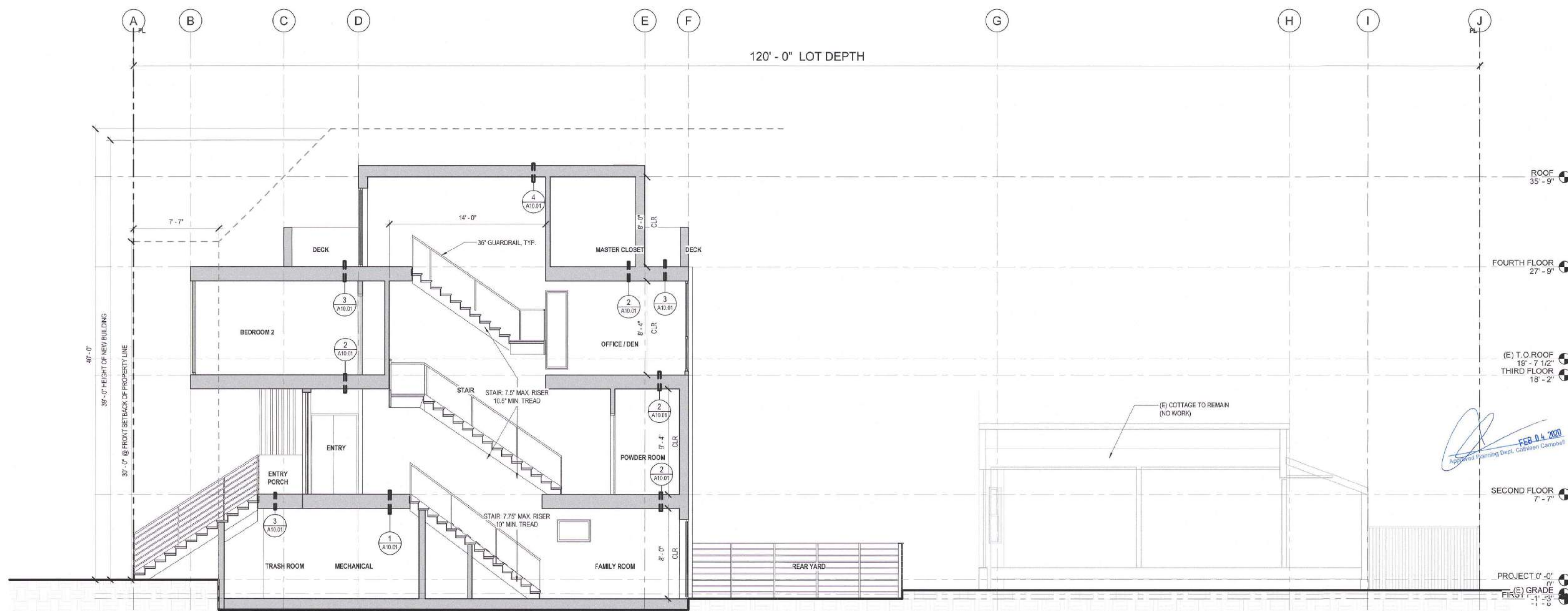
SCALE 1/4" = 1'-0"

DRAWN BY Author

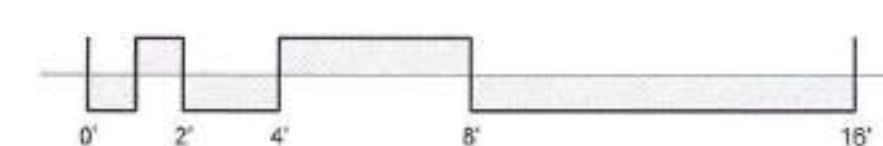
CHECKED BY Checker

JOB NO.

**A7.02**



**1 SECTION B - B**  
1/4" = 1'-0"



**APPROVED**  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021

*David Jones, DBI*  
PRINCIPAL INSPECTOR  
DEPT. OF BUILDING INSPECTION

Bruce Samson, SFPD  
MAY 27 2021

David Jones, DBI  
MAY 06 2021

**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PERMITS HAVE BEEN APPROVED.



Revisions	
R1	11/4/2019



**1222/ FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

**NOTICE**  
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**BUILDING SECTIONS**

DATE 11/20/2018

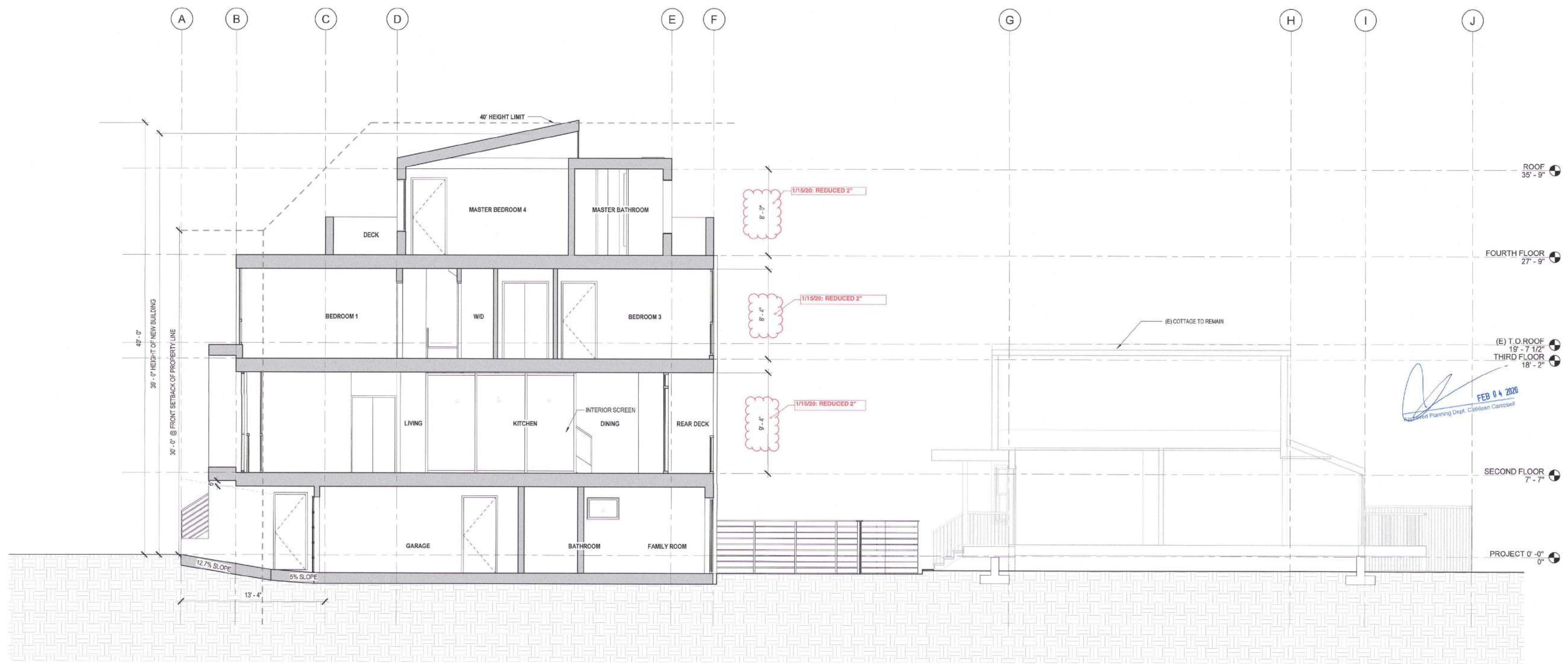
SCALE 1/4" = 1'-0"

DRAWN BY Author

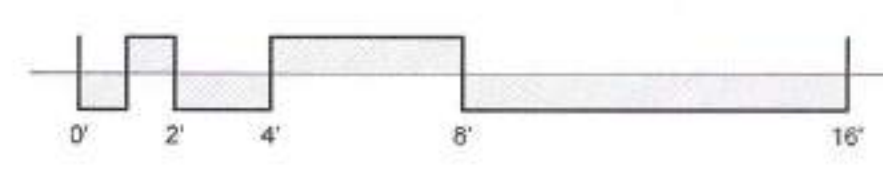
CHECKED BY Checker

JOB NO.

**A7.03**



**1 SECTION C - C**  
1/4" = 1'-0"



**APPROVED**  
Dept. of Building Inspection  
San Francisco  
AUG 04 2021

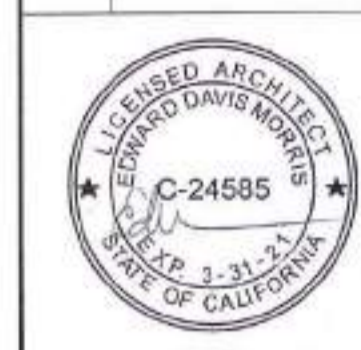
Bruce Samson, SFFD MAY 27 2021  
David Jones, DBI MAY 06 2021

**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPROVED/REVISIONED PERMIT IS VALID ONLY FOR THE DATE, TIME, AND CONDITIONS SPECIFIED HEREON.

*Fanning*

**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPLICATION IS GUARANTEED FOR SITE PERMIT ONLY. NO OTHER PERMITS OR CONSTRUCTION PLANS HAVE BEEN APPROVED.

Revisions	
R1	11/4/2019



**1222<sup>1/2</sup> FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDDBI EPA: 201812118001

A NEW SINGLE FAMILY HOME

KERAN WOODS, WOODS FAMILY INVESTMENTS, LP

**NOTICE**  
These drawings and specifications are the property and copyright of KernanMorris Architects and shall not be used on any other work except by written agreement with KernanMorris Architects.

The Contractor shall verify all existing conditions. Written dimensions take precedence over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of KernanMorris Architects prior to the commencement of any work.

These drawings are an industry standard. Builders are to be properly permitted and to assist the contractor in construction. The drawings show limited and only representational details.

All attachments, connections, fasteners, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**WALL PARTITIONS**

DATE 11/20/2018

SCALE 3" = 1'-0"

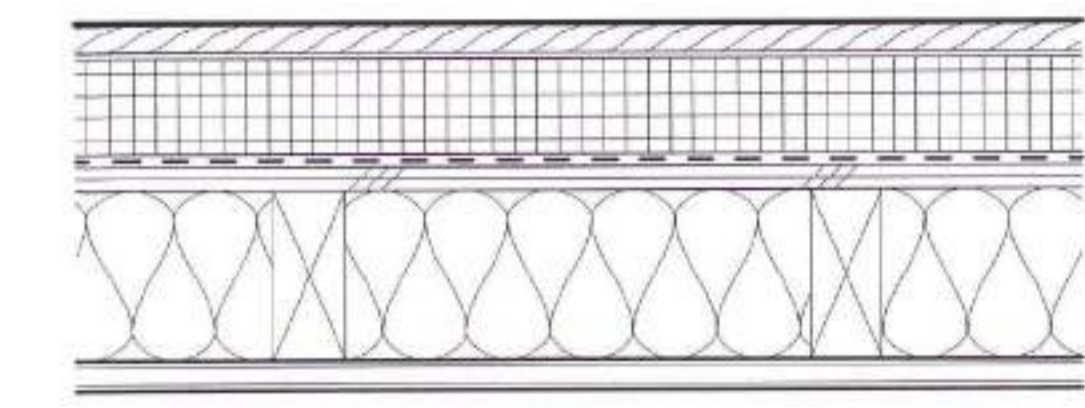
DRAWN BY Author

CHECKED BY Checker

JOB NO.

David Jones, DAJ  
MAY 16 2021

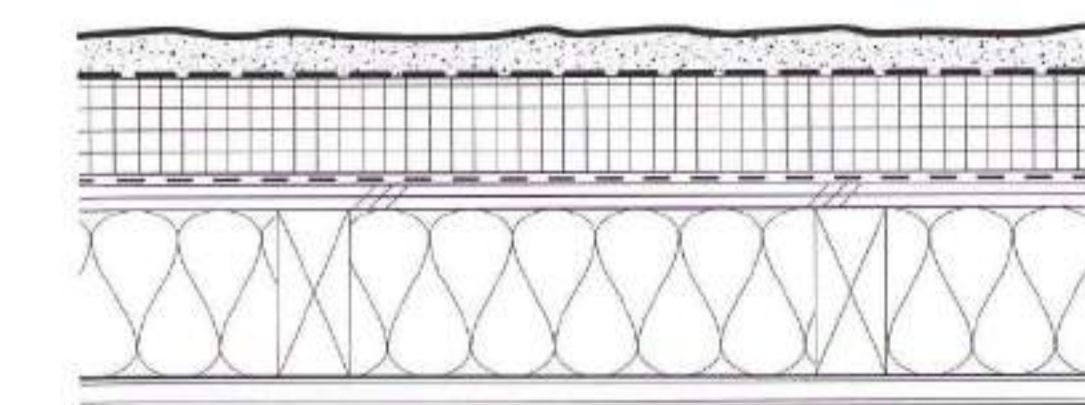
**A10.01**



- WOOD PANEL SIDING
- 2" CONTINUOUS RIGID INSULATION
- WRB
- PLYWOOD SHEATHING S.S.D.
- WOOD STUDS (PT OR FIRE TREATED AS REQ'D)
- INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:  
C 2x6

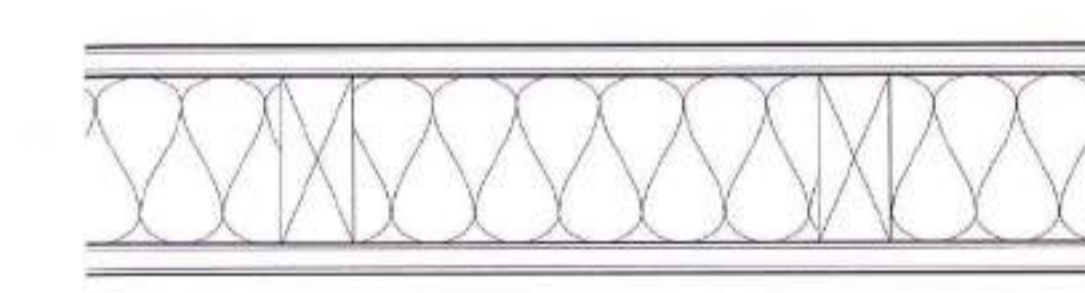
**C EXT. WALL - WOOD SIDING**  
1-HR (SIM. TO GA FILE NO: WP 8105)



- 3-COAT CEMENT PLASTER OVER SELF-FURRING LATH
- 2" CONTINUOUS RIGID INSULATION W/ NAILERS
- WRB
- PLYWOOD SHEATHING S.S.D.
- WOOD STUDS (PT OR FIRE TREATED AS REQ'D)
- INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:  
B 2x6

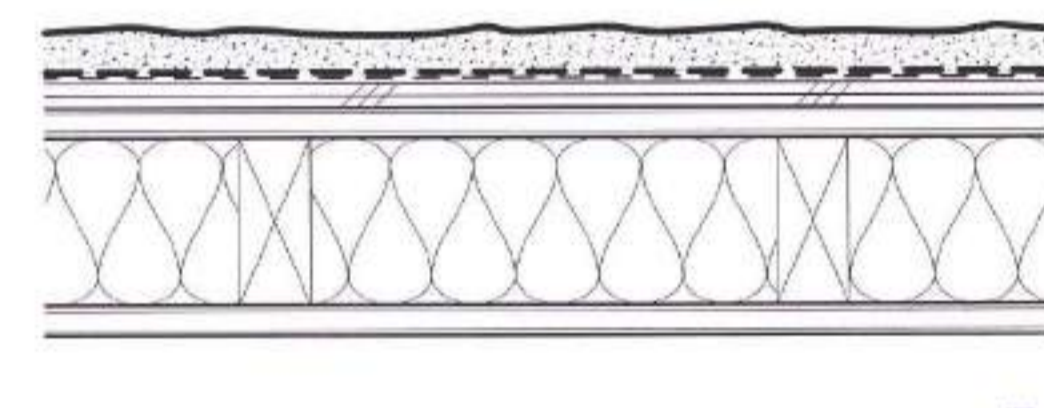
**B EXT. WALL - CEMENT PLASTER**  
1-HR (SIM. TO GA FILE NO: WP 8105)



- 1/2" BLINDWALL SHEATHING (CEDAR, HEART REDWOOD OR P.T.) - FASTEN W/ HOT DIPPED GALVANIZED FASTENERS
- WRB
- (1) LAYER 5/8" TYPE 'X' GYP. SHEATHING
- WOOD STUDS (PT OR FIRE TREATED AS REQ'D)
- INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
- (1) LAYER 5/8" TYPE 'X' GYP. SHEATHING
- PLYWOOD SHEATHING S.S.D.
- 3-COAT CEMENT PLASTER OVER SELF-FURRING LATH

STUD SIZES:  
F 2x6

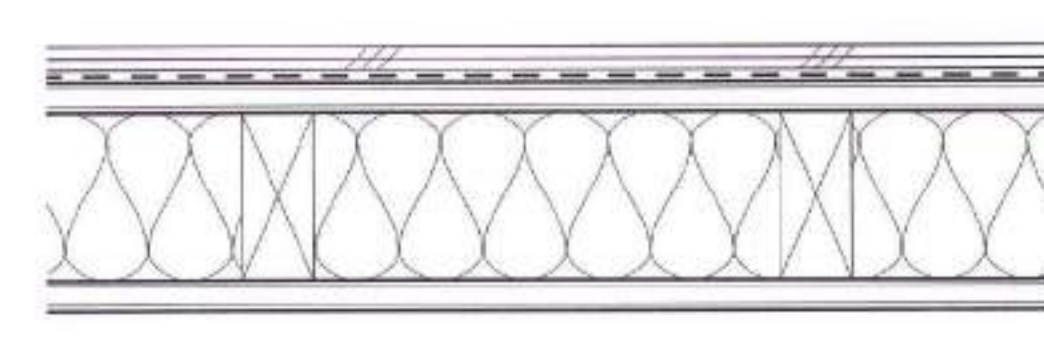
**F EXT. WALL - BLIND WALL & SIDING**  
1-HR (SIM. TO GA FILE NO: WP 8105)



- 3-COAT CEMENT PLASTER OVER SELF-FURRING LATH
- WRB
- PLYWOOD SHEATHING S.S.D.
- (1) LAYER 5/8" TYPE 'X' GYP. SHEATHING
- WOOD STUDS (PT OR FIRE TREATED AS REQ'D)
- INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:  
E 2x6

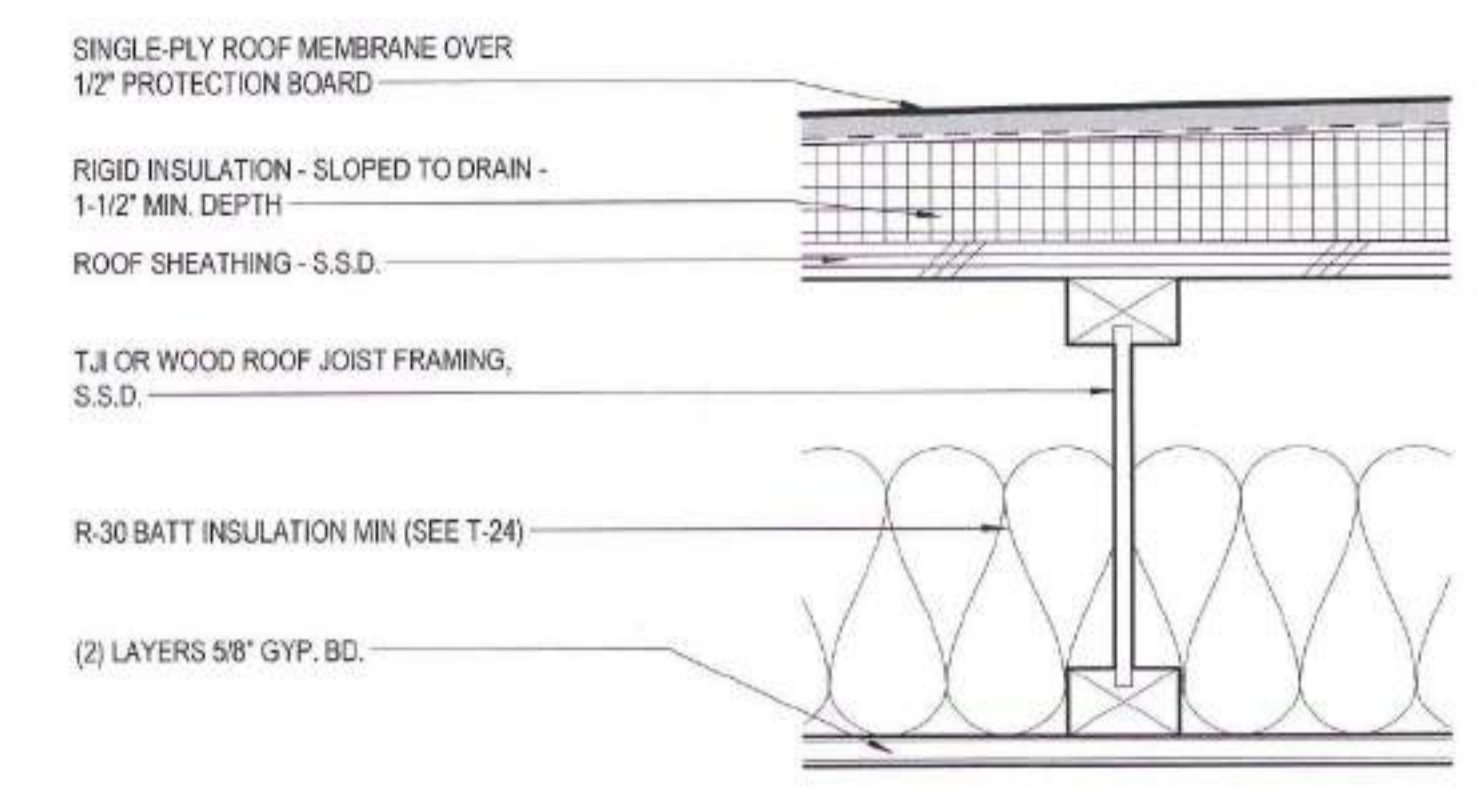
**E EXT. WALL - BLIND WALL W/ SIDING**  
1-HR (SIM. TO GA FILE NO: WP 8105)



- 1/2" BLINDWALL SHEATHING (CEDAR, HEART REDWOOD OR P.T.) - FASTEN W/ HOT DIPPED GALVANIZED FASTENERS
- WRB
- (1) LAYER 5/8" TYPE 'X' GYP. SHEATHING
- WOOD STUDS (PT OR FIRE TREATED AS REQ'D)
- INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

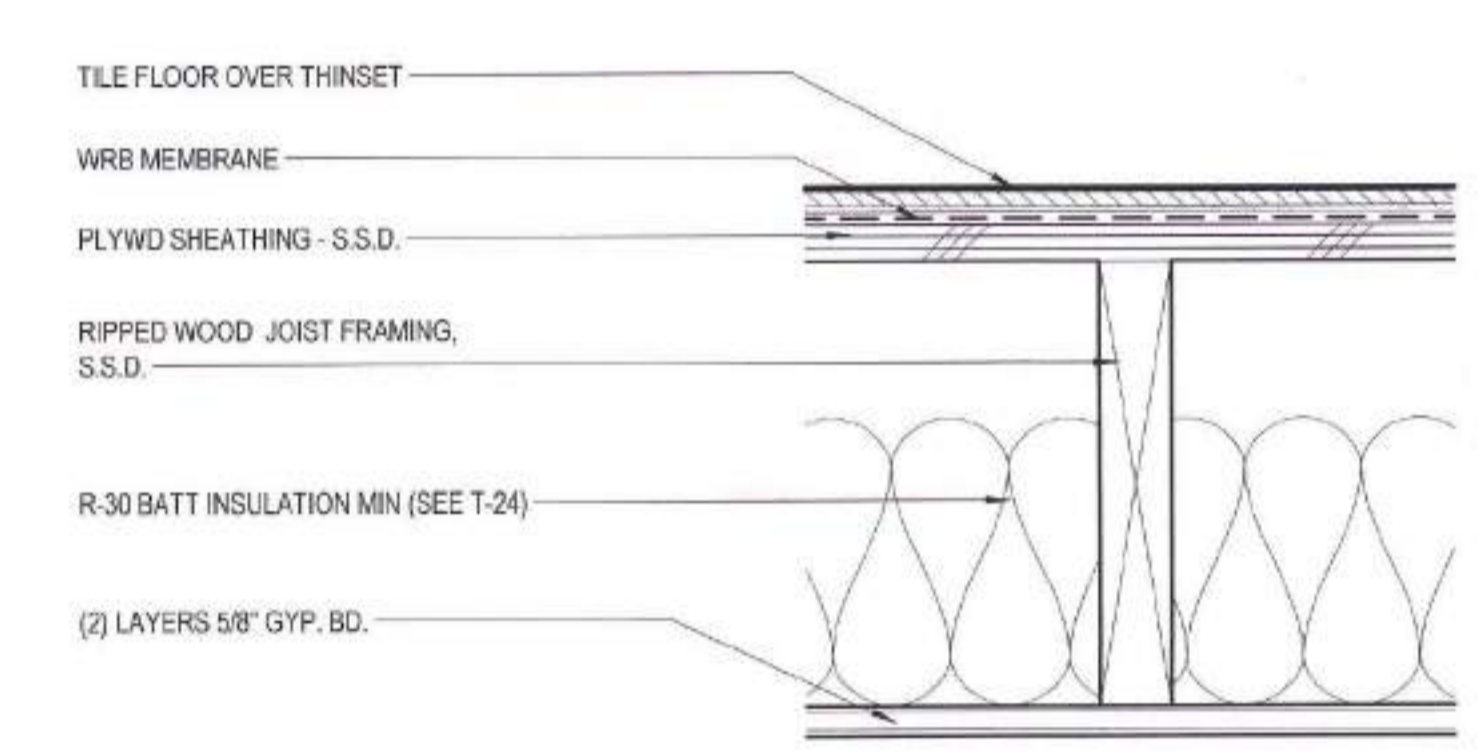
STUD SIZES:  
D 2x6

**D EXT. WALL - BLIND WALL**  
1-HR (SIM. TO GA FILE NO: WP 8105)



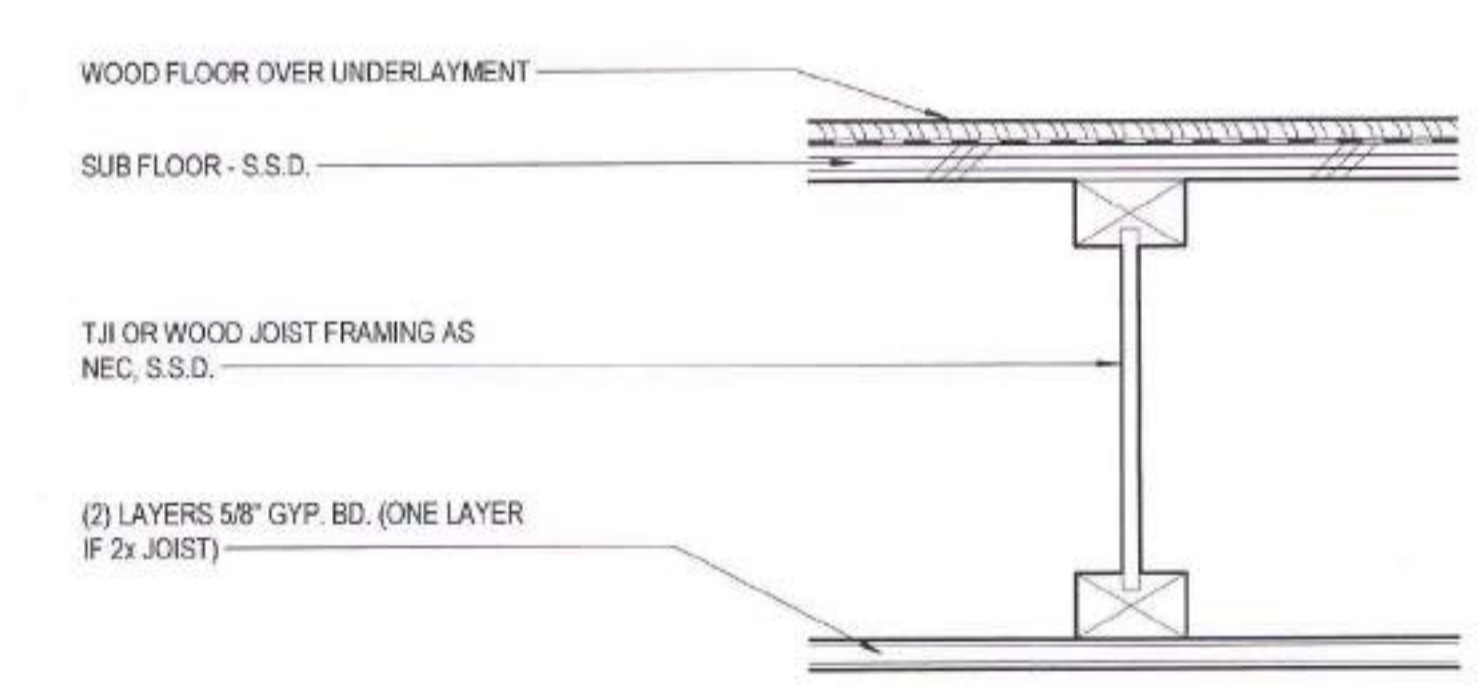
- SINGLE-PLY ROOF MEMBRANE OVER 1/2" PROTECTION BOARD
- RIGID INSULATION - SLOPED TO DRAIN - 1-1/2" MIN. DEPTH
- ROOF SHEATHING - S.S.D.
- T/J OR WOOD ROOF JOIST FRAMING, S.S.D.
- R-30 BATT INSULATION MIN (SEE T-24)
- (2) LAYERS 5/8" GYP. BD.

**4 ROOF / CLG - FLAT ROOF**  
3" = 1'-0"



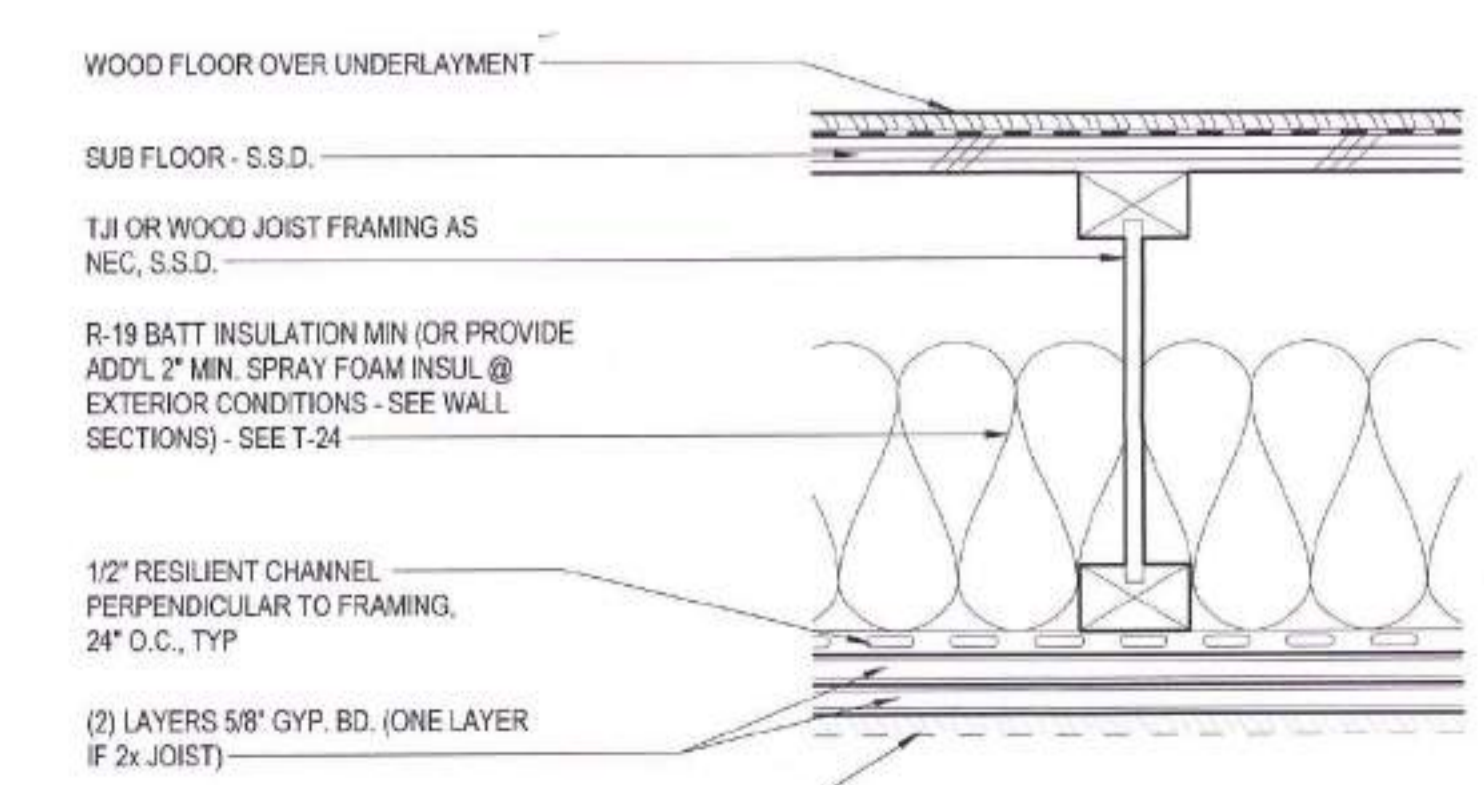
- TILE FLOOR OVER THINSET
- WRB MEMBRANE
- PLYWD SHEATHING - S.S.D.
- RIPPED WOOD JOIST FRAMING, S.S.D.
- R-30 BATT INSULATION MIN (SEE T-24)
- (2) LAYERS 5/8" GYP. BD.

**3 ROOF / CLG - DECK**  
3" = 1'-0"



- WOOD FLOOR OVER UNDERLAYMENT
- SUB FLOOR - S.S.D.
- T/J OR WOOD JOIST FRAMING AS NEC, S.S.D.
- (2) LAYERS 5/8" GYP. BD. (ONE LAYER IF 2x JOIST)

**2 FLOOR / CLG - TYP.**  
3" = 1'-0"



- WOOD FLOOR OVER UNDERLAYMENT
- SUB FLOOR - S.S.D.
- T/J OR WOOD JOIST FRAMING AS NEC, S.S.D.
- R-19 BATT INSULATION MIN (OR PROVIDE ADD'L 2" MIN. SPRAY FOAM INSUL. @ EXTERIOR CONDITIONS - SEE WALL SECTIONS) - SEE T-24
- 1/2" RESILIENT CHANNEL PERPENDICULAR TO FRAMING, 24" O.C., TYP.
- (2) LAYERS 5/8" GYP. BD. (ONE LAYER IF 2x JOIST)
- HARDCOFFIT @ EXTERIOR CORRIDOR

1-HR RATED @ GARAGE CLG  
(GA FILE NO: FC 5111/STC 50-54)

**1 FLOOR / CLG - 1-HR**  
3" = 1'-0"

**PARTITION TYPES - GENERAL NOTES**

- ALL STANDARD STUD FRAMING SHALL BE 16" O.C. U.O.N. ALL SHAFT WALL STUD FRAMING SHALL BE 24" O.C. U.O.N.
- ALL GYP. BD. TO BE 5/8" THICK TYPE 'X' U.O.N. PAINT ALL EXPOSED FACES.
- PROVIDE TYPE 'X' GLASS-MAT WATER-RESISTANT BACKING BOARD IN LIEU OF FINAL LAYER OF GYP. BD. INDICATED ON SCHEDULED WALL TYPES AT INTERIOR FRAMED WET WALLS, INCLUDING LAUNDRY CLOSET.
- PROVIDE MOISTURE AND MOLD-RESISTANT TYPE 'X' GYP. BOARD AT ALL INTERIOR 'HUMID' LOCATIONS INCLUDING BATHROOMS.
- THE WALL TYPE ABOVE OR BELOW ANY OPENING IS TO BE THE SAME AS THAT SCHEDULED FOR EITHER SIDE OF THE OPENING.
- DIFFERING WALL TYPES SHALL ALIGN SO THAT WALL PLANES CONTINUE UNBROKEN IN ROOMS, UNLESS OTHERWISE NOTED.
- DIMENSION LOCATION FOR ALL INTERIOR WALLS IS TO THE FACE OF GYPSUM BOARD PANELS.
- WALLS INDICATED AS FIRE-RATED FORM A SEPARATION THAT SHALL BE CONTINUOUS FROM FLOOR TO FLOOR ABOVE WITH NO BREAKS AT COLUMNS, BEAMS, WALL TRANSITIONS, OR OTHER OBSTRUCTIONS. AT RATED CONDITIONS PENETRATIONS SHALL BE FIRE CALLED.
- ALL INSULATION SHALL BE UNFACED R-19 AT INTERIOR FURRING ADJACENT TO UNINSULATED EXTERIOR WALLS, SUCH AS CONCRETE, CMU, AND SPANDREL PANELS IN WINDOW/CURTAIN WALLS, TYP. U.O.N. FOR CLARITY, INSULATION IS NOT SHOWN ON MANY DETAILS. INSULATION IS TO RUN CONTINUOUS AROUND FURRED COLUMNS AND OTHER OBSTRUCTIONS TO FORM A CONTINUOUS ACUSTIC OR THERMAL BARRIER.
- ACUSTICAL WALLS SHALL INCLUDE BATT INSULATION FULL WIDTH OF STUDS AND BE SEALED AIR TIGHT, WITH ACUSTICAL SEALANT BETWEEN GYPSUM BOARD AND CONCRETE SLABS, BEAM COLUMNS, AND WALLS OR STRUCTURAL STEEL MEMBERS, AROUND ALL PENETRATIONS, AND AT DISSIMILAR MATERIALS. SEE WALL TYPES THIS SHEET INDICATING A NOISE-SENSITIVE SIDE - THE NOISE-SENSITIVE SIDE.
- WALLS SUPPORTING CASEWORK, SHELVING, GRAB BARS, EQUIPMENT AND OTHER WALL-MOUNTED FIXTURES SHALL BE REINFORCED PER THE FIXTURE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, WHICHEVER IS GREATER.





1221 FUNSTON - BLOCK FACE ACROSS STREET FROM SUBJECT PROPERTY

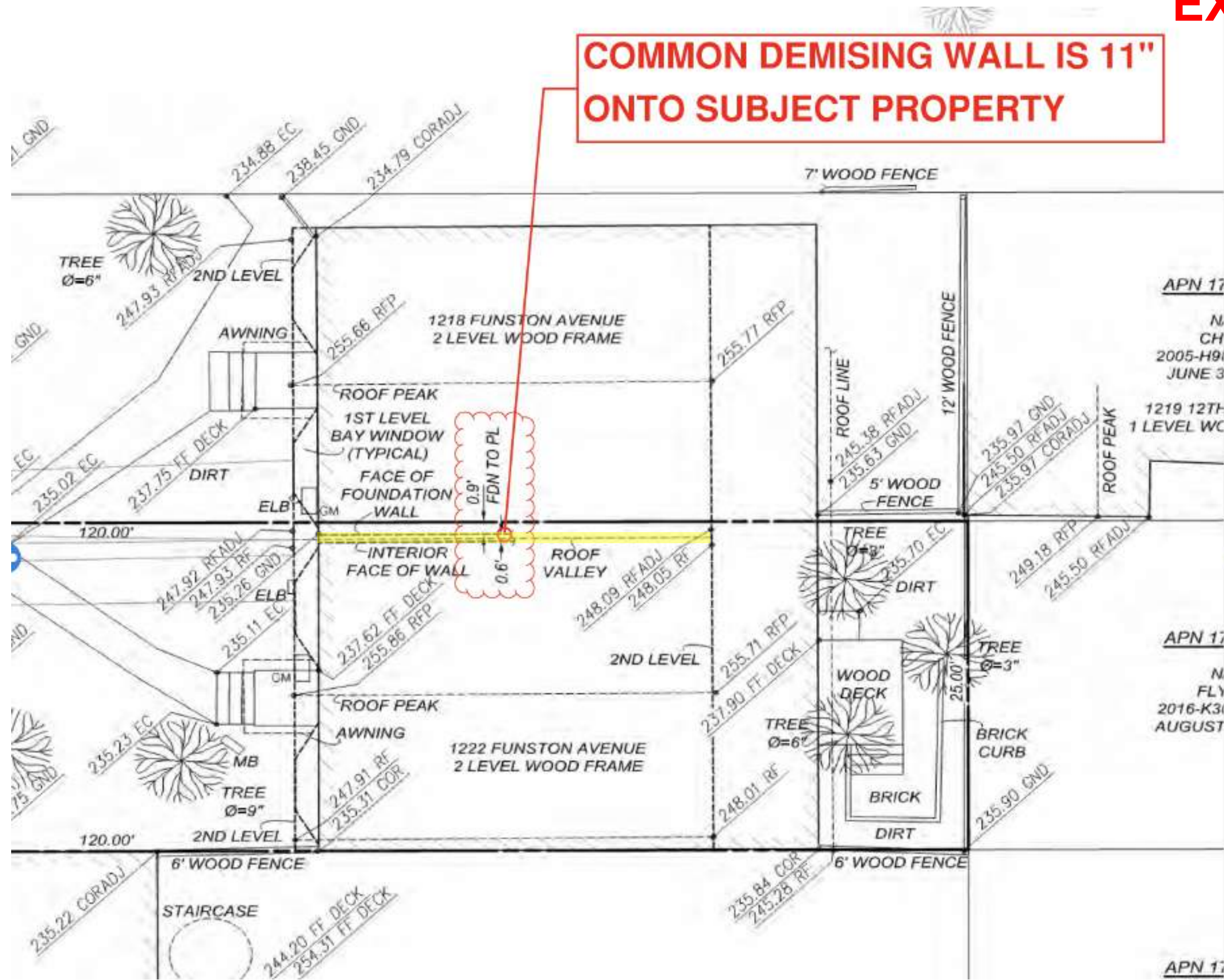
**1222/1224 FUNSTON BLOCK FACE**



1222 FUNSTON AVE: BUILDINGS ON THE SAME SIDE OF THE STREET



**COMMON DEMISING WALL IS 11" ONTO SUBJECT PROPERTY**



APN 17

N  
CH  
2005-H91  
JUNE 3

1219 12TH  
1 LEVEL WC

APN 17

N  
FLY  
2016-K31  
AUGUST

APN 17



# VARIANCE DECISION

**Date:** September 2, 2020  
**Case No.:** 2018-015239VAR  
**Project Address:** 1222 Funston Avenue  
**Block/Lots:** 1738/040  
**Zoning:** RH-2 (Residential-House, Two Family)  
**Height/Bulk:** 40-X Height and Bulk District  
**Applicant:** Edward D. Morris, Kerman Morris Architects LLP  
 139 Noe Street  
 San Francisco, CA 94114  
**Owner:** Woods Family Investments, LP  
 1485 Bayshore Boulevard, Suite 149  
 San Francisco, CA 94124  
**Staff Contact:** Sylvia Jimenez – (628) 652-7348  
[sylvia.jimenez@sfgov.org](mailto:sylvia.jimenez@sfgov.org)

## Description of Variance – Front Setback and Rear Yard Variance Sought:

The proposal is to demolish an existing one-car garage at the front of the subject property and construct a new four-story, single-family residence. An existing two-story residential building located at the rear of the subject property is proposed to remain.

Planning Code Section 132 requires the property to maintain a front yard equivalent to 15 feet. The proposed single-family residence encroaches approximately 9 feet 11 inches into the required front yard setback, providing only approximately 5 feet 1 inch of setback. Therefore, a variance is required.

Planning Code Section 134 requires the property to maintain a rear yard equivalent to 45 percent of the lot depth. The proposed building does not extend into the required rear yard. However, an existing second building is located entirely within the required rear yard. Pursuant to a Zoning Administrator interpretation, such a development scenario requires a rear yard variance.

## Procedural Background:

1. The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.
2. The Zoning Administrator held a public hearing on Variance Application No. 2018-015239VAR on December 5, 2019.
3. Planning Code Section 311 notification was mailed on November 26, 2019 and expired on December 26, 2019. Subsequently, the project was modified to relocate the proposed building approximately 2 feet 6

inches towards Funston Avenue and reduce the overall building height by 6 inches. A 15-day Section 311 notice was mailed on February 20, 2020 and expired on March 6, 2020. A Discretionary Review application was filed on February 26, 2020.

4. The Planning Commission held a duly noticed public hearing for the Discretionary Review on July 23, 2020 and voted to not take Discretionary Review and approve the project pursuant to DRA-709.

### Decision:

**GRANTED**, in general conformity with the plans on file with this application, shown as EXHIBIT A, which were revised and approved by the Planning Commission pursuant to DRA-709, to demolish an existing one-car garage at the front of the subject property and construct a new four-story, single family residence, subject to the following conditions:

1. The authorization and rights vested by virtue of this decision letter **shall be deemed void and cancelled** if (1) a Site or Building Permit has not been issued within three years from the effective date of this decision; or (2) a Tentative Map has not been approved within three years from the effective date of this decision for Subdivision cases; or (3) neither a Site or Building Permit or Tentative Map is involved but another required City action has not been approved within three years from the effective date of this decision. However, this authorization may be extended by the Zoning Administrator when implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
2. Any future physical expansion, even in the buildable area, shall be reviewed by the Zoning Administrator to determine if the expansion is compatible with existing neighborhood character and scale. If the Zoning Administrator determines that there would be a significant or extraordinary impact, the Zoning Administrator shall require either notice to adjacent and/or affected property owners or a new Variance application be sought and justified.
3. The proposed project must meet these conditions and all applicable City Codes. In case of conflict, the more restrictive controls apply.
4. Minor modifications as determined by the Zoning Administrator may be permitted.
5. The owner of the subject property shall record on the land records of the City and County of San Francisco the conditions attached to this Variance decision as a Notice of Special Restrictions in a form approved by the Zoning Administrator.
6. This Variance Decision and the recorded Notice of Special Restrictions shall be reproduced on the Index Sheet of the construction plans submitted with the Site or Building Permit Application for the Project, if applicable.

### Findings:

Section 305(c) of the Planning Code states that in order to grant a variance, the Zoning Administrator must

determine that the facts of the case are sufficient to establish the following five findings:

**FINDING 1.**

That there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other properties or uses in the same class of district.

**Requirement Met.**

- A. The historic development pattern of the subject property (developed circa 1908) is atypical, as it and the adjacent lot to the north are the only lots on the subject block to have buildings placed at the rear of the lot. The rear yard development pattern does occur in residential districts across the City, it is not the typical pattern.
- B. The subject property is subject to the maximum front setback of 15 feet due to the rear yard development pattern of the adjacent lot to the north, which is not typical. The majority of other buildings on this block face have no front setback, although several have front setbacks less than 15 feet.

**FINDING 2.**

That owing to such exceptional and extraordinary circumstances the literal enforcement of specified provisions of this Code would result in a practical difficulty or unnecessary hardship not created by or attributed to the applicant or the owner of the property.

**Requirement Met.**

- A. Literal enforcement of the Code in this situation would result in an unnecessary hardship and practical difficulty toward constructing a second single-family home in an RH-2 Zoning District. The intent behind the relevant Zoning Administrator rear yard interpretation is to ensure such a project is appropriately designed and sited given the context of the subject and surrounding lots. The proposal was determined by the Planning Department and Planning Commission to be well-designed and consistent with the Residential Design Guidelines and surrounding context.

**FINDING 3.**

That such variance is necessary for preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district.

**Requirement Met.**

- A. Granting this variance will allow the subject property to provide a second dwelling unit on the subject lot as allowed under the RH-2 Zoning District. The Planning Code permits the development of a second structure on the subject lot. All of the lots located within the subject block, other than the subject and adjacent property at 1218 Funston Avenue, have residential structures at the front portion of the lot. The proposed project will match the development pattern of the subject block in a manner consistent with the Residential Design Guidelines. This represents a substantial property right of the subject property, possessed by other property in the same class of district.

**FINDING 4.**

That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity.

**Requirement Met.**

- A. Granting the variance would not be materially detrimental to the public welfare or materially detrimental to the public welfare or materially injurious to the neighboring properties. The project specifically seeks to match the well-established pattern of structures in the intermediate context, mirroring the height and depth of the adjacent structures while minimizing impact to the existing mid-block open space. Further, the project was revised to shift the building approximately 2 feet 6 inches towards Funston Avenue and reduce the overall building height by 6 inches to reduce potential impact on the existing structure at the rear. As such, the space between the two buildings will be more than 27 feet. The Planning Commission found the project to be consistent with the Residential Design Guidelines and approved the project without taking Discretionary Review.

**FINDING 5.**

The granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the General Plan.

**Requirement Met.**

- A. This development is consistent with the generally stated intent and purpose of the Planning Code to promote orderly and beneficial development. Planning Code Section 101.1 establishes eight priority-planning policies and requires review of variance applications for consistency with said policies. The project meets all relevant policies, including conserving neighborhood character, and maintaining housing stock.
  - 1. Existing neighborhood retail uses will not be adversely affected by the proposed project.
  - 2. The proposed project will be in keeping with the existing housing and neighborhood character. The proposal will add a second dwelling unit on the property.
  - 3. The proposed project will have no effect on the City's supply of affordable housing.
  - 4. The proposed project does not adversely affect neighborhood parking or public transit.
  - 5. The project will have no effect on the City's industrial and service sectors.
  - 6. The proposed project will have no effect on the City's preparedness to protect against injury and loss of life in an earthquake.
  - 7. The project will have no effect on the City's landmarks or historic buildings.
  - 8. The project would not affect any existing or planned public parks or open spaces.



The effective date of this decision shall be either the date of this decision letter if not appealed, or the date of the Notice of Decision and Order if appealed to the Board of Appeals.

Once any portion of the granted variance is used, all specifications and conditions of the variance authorization become immediately operative.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

**APPEAL:** Any aggrieved person may appeal this variance decision to the Board of Appeals within ten (10) days after the date of the issuance of this Variance Decision. For further information, please contact the Board of Appeals in person at 1650 Mission Street, 3<sup>rd</sup> Floor (Room 304), call 575-6880, or visit [www.sfgov.org/bdappeal](http://www.sfgov.org/bdappeal).

Very truly yours,



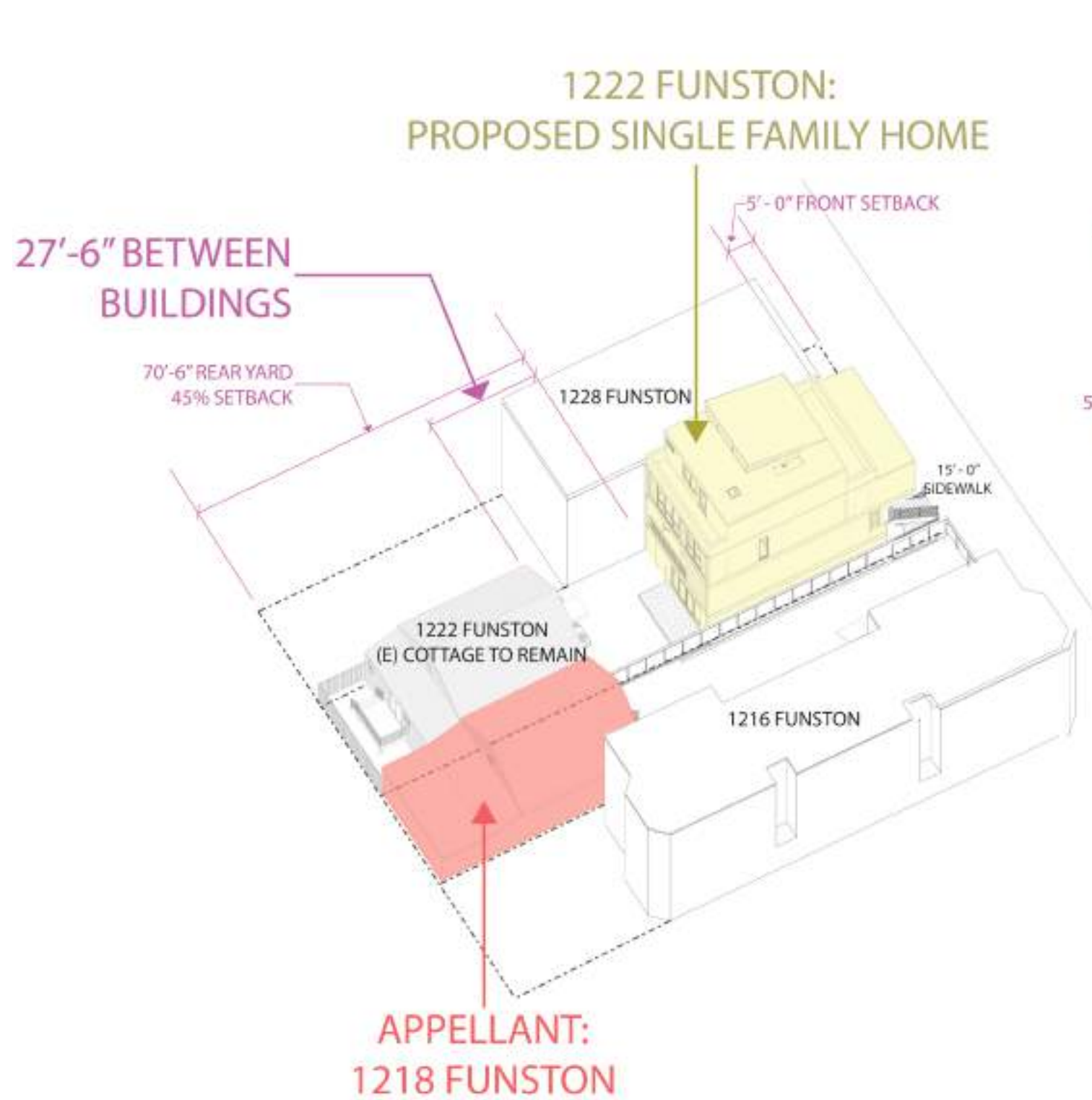
Corey A. Teague, AICP  
Zoning Administrator

**This is not a permit to commence any work or change occupancy. Permits from appropriate departments must be secured before work is started or occupancy is changed.**

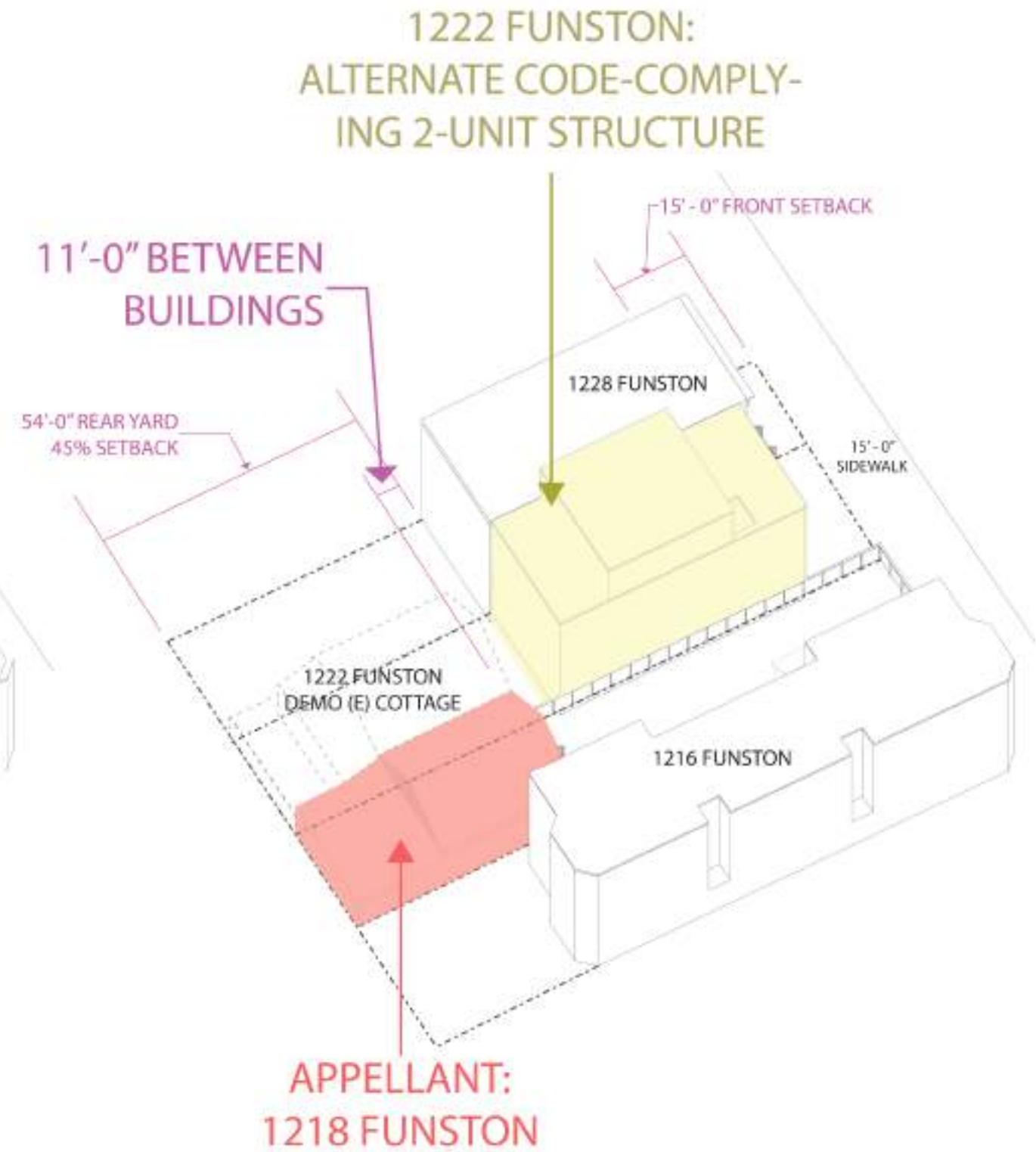
# DEVELOPMENT ALTERNATIVES

# EXHIBIT F

km



## PROPOSED PROJECT



## CODE COMPLIANT ALTERNATIVE



**1224 FUNSTON: PROPOSED GROSS BUILDING AREAS**

**SQUARE FEET**

LEVEL	(E) COTTAGE TO REMAIN	NEW HOME (HEATED AREAS)	NEW GARAGE	TOTALS
FIRST	815	411	374	1,600
SECOND	-	875		875
THIRD	-	1,058		1,058
FOURTH	-	614		614
	<b>815</b>	<b>2,958</b>	<b>374</b>	<b>4,147</b>

**3,332 = TOTAL SF NEW HOME**

**NEIGHBORING GROSS BUILDING AREAS**



APPELLANT:  
1218 FUNSTON

SUBJECT PROPERTY:  
1222 FUNSTON

4,600 SF

3,850 SF

3,950 SF

4,600 SF

4,340 SF

4,340 SF

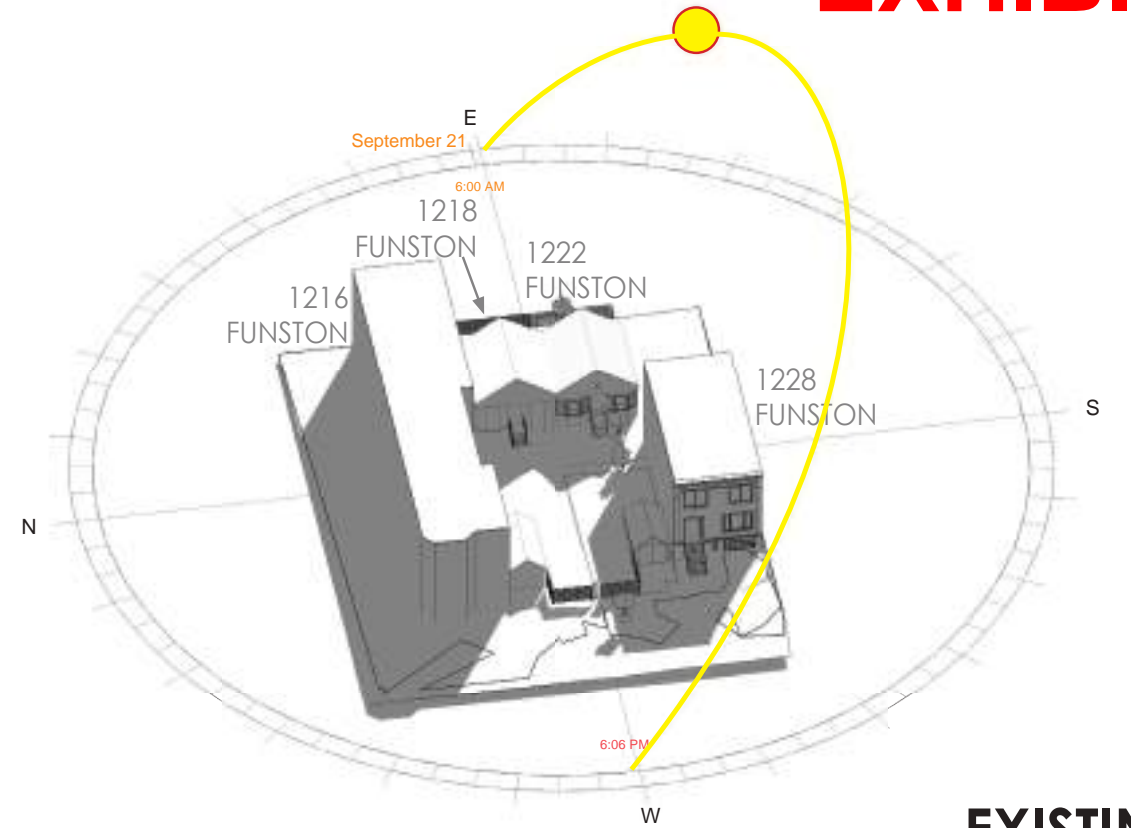
1222 FUNSTON & LOTS IN BLOCKFACE  
WITH 3,800 - 4,600 SF OF BLDG AREA

km

# KMA SHADOW DIAGRAMS

# EXHIBIT J

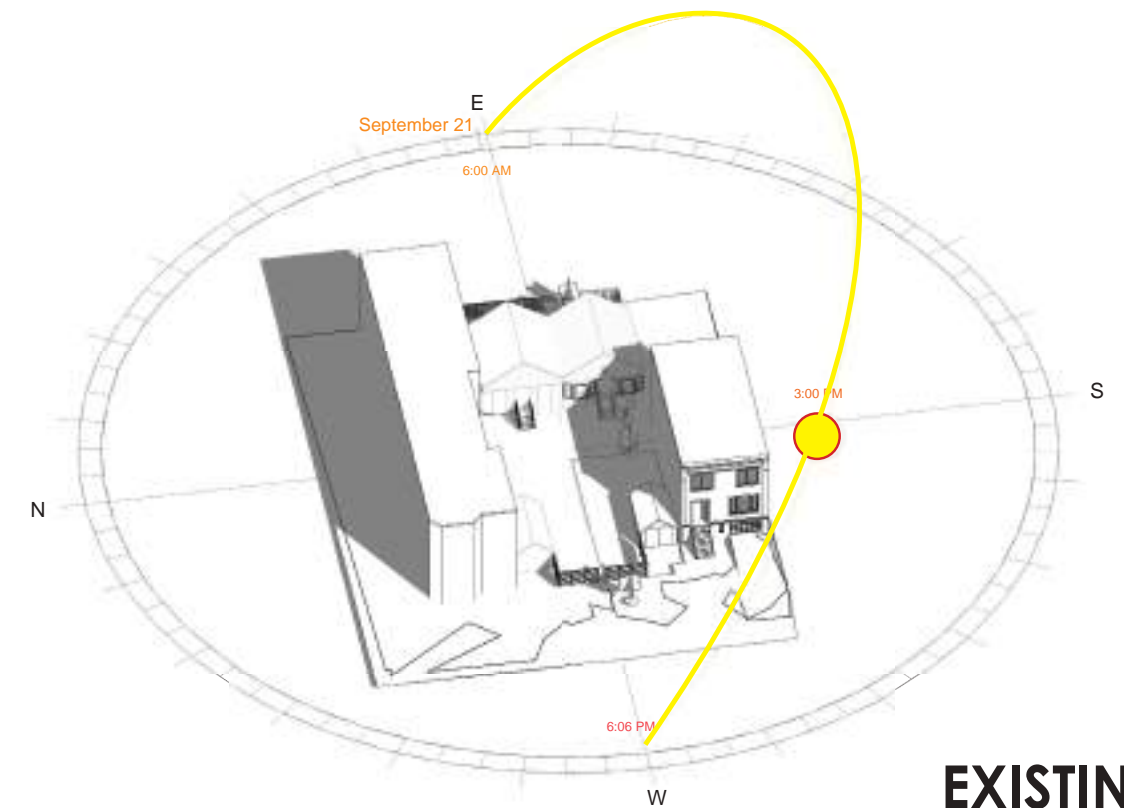
km



**EXISTING**

Sep 21st @9 AM  
ALL SHADED IN THE MORNING

Rose, another one at the same time. 25 September 9:10 AM



**EXISTING**

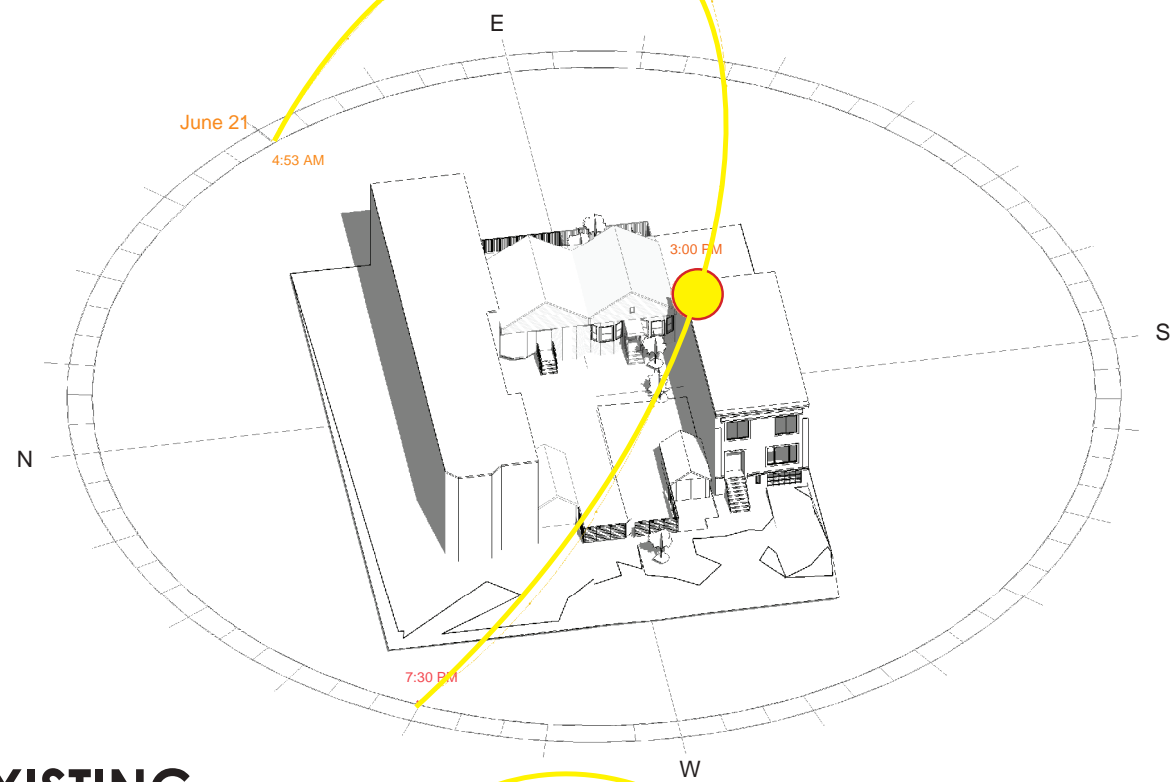
Sep 21st @3 PM  
LIGHTED IN THE AFTERNOON

Now. 3:02 PM. 24 September

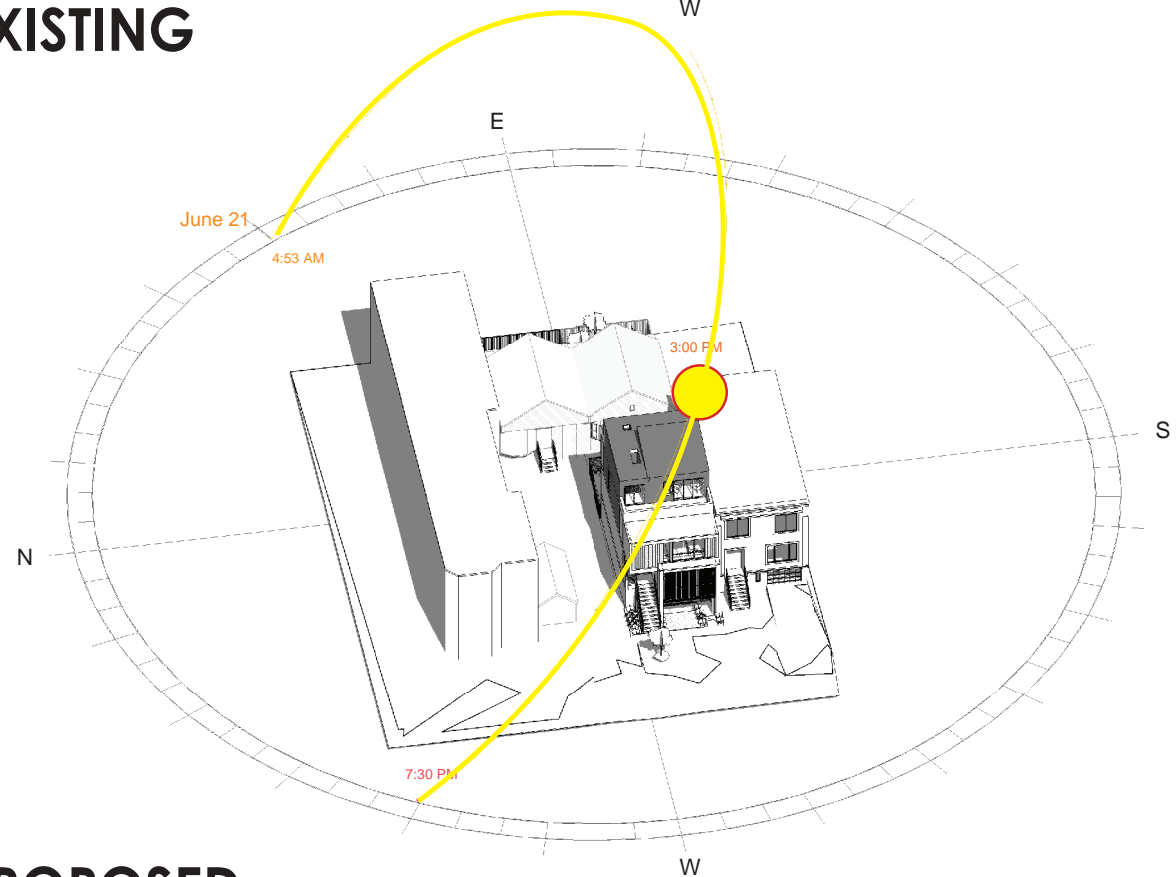
kerman  
morris  
architects LLP

139 Noe Street  
San Francisco, CA  
94114  
415 749 0302  
kermanmorris.com

# SUMMER: June 21st @3 PM, ALL LIGHTED

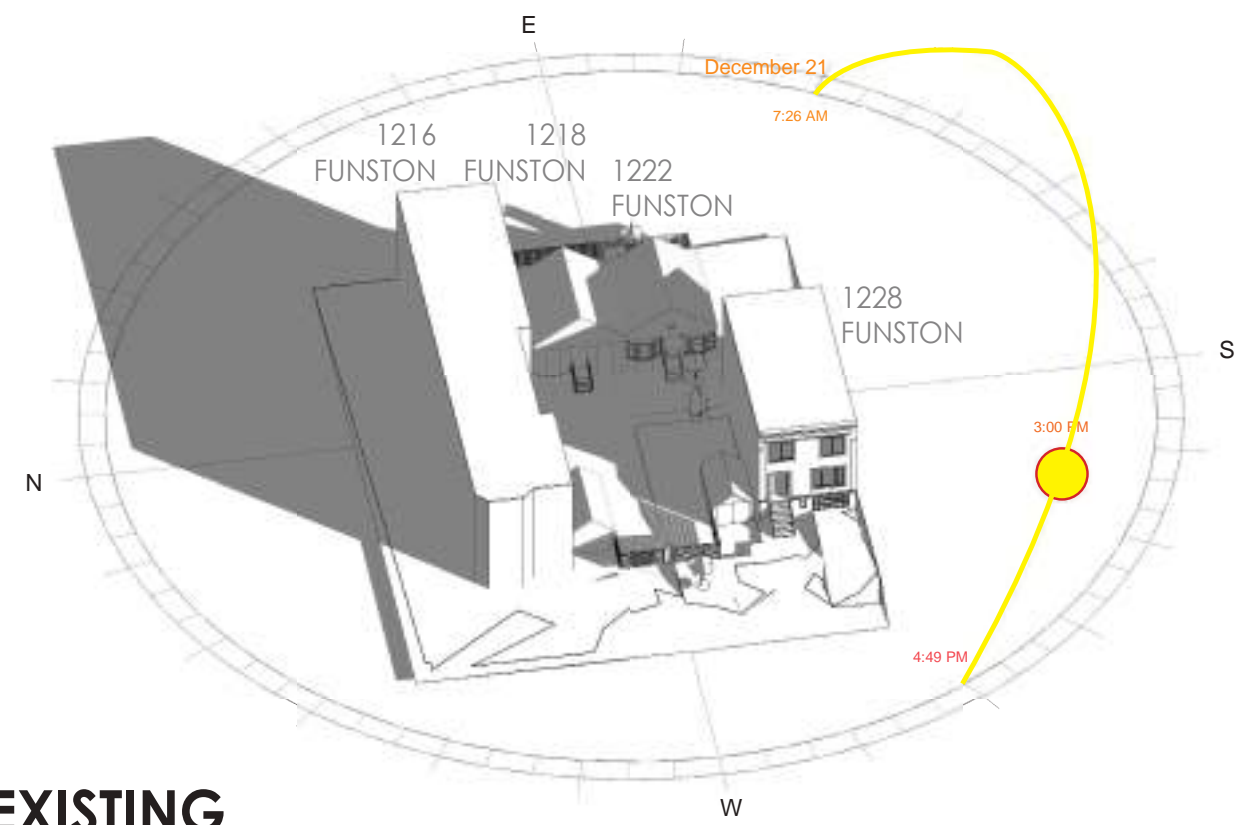


## EXISTING

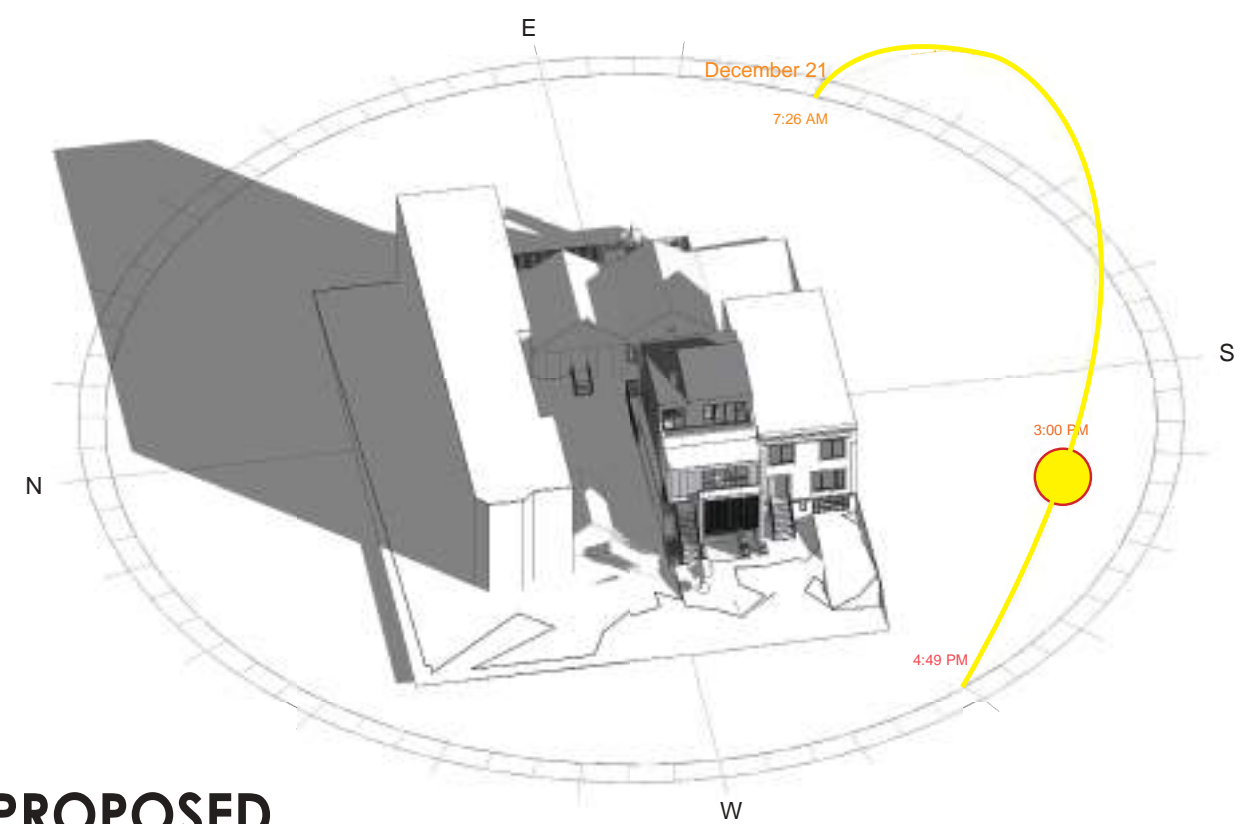


## PROPOSED

# WINTER: Dec 21st @3 PM, ALL SHADED



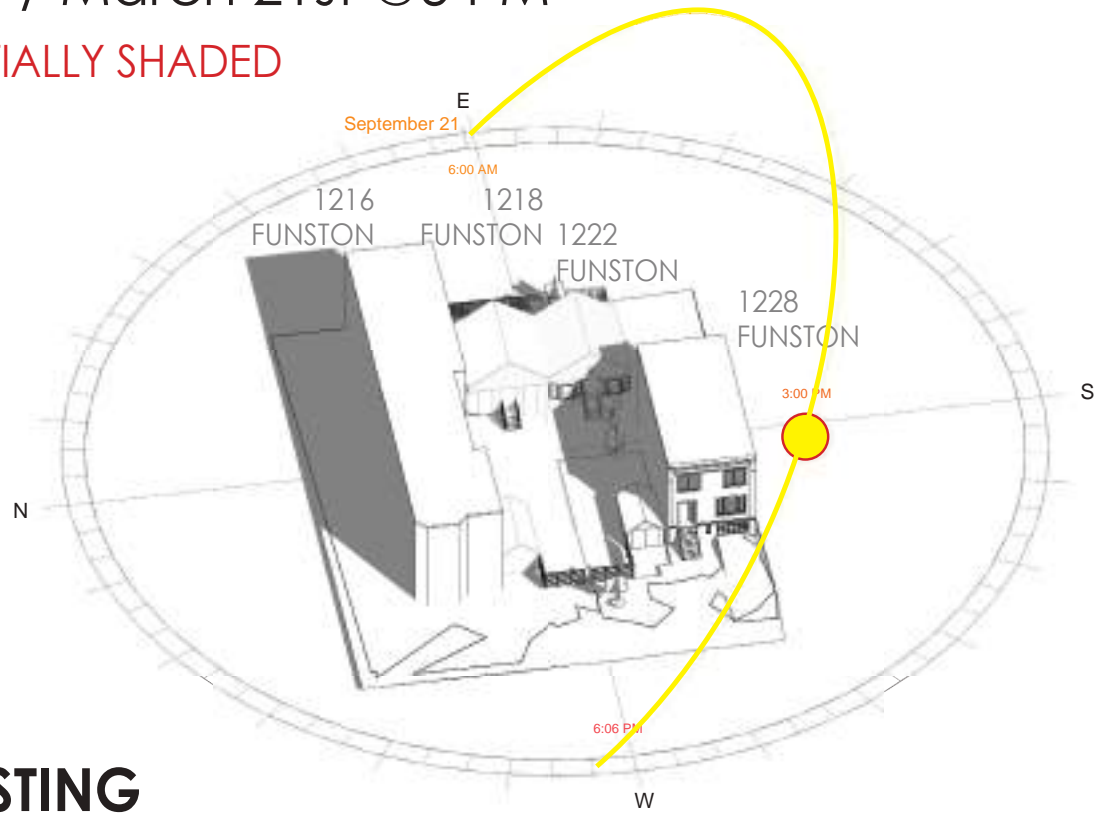
## EXISTING



## PROPOSED



**SPRING / FALL**  
 Sep / March 21st @3 PM  
 PARTIALLY SHADED

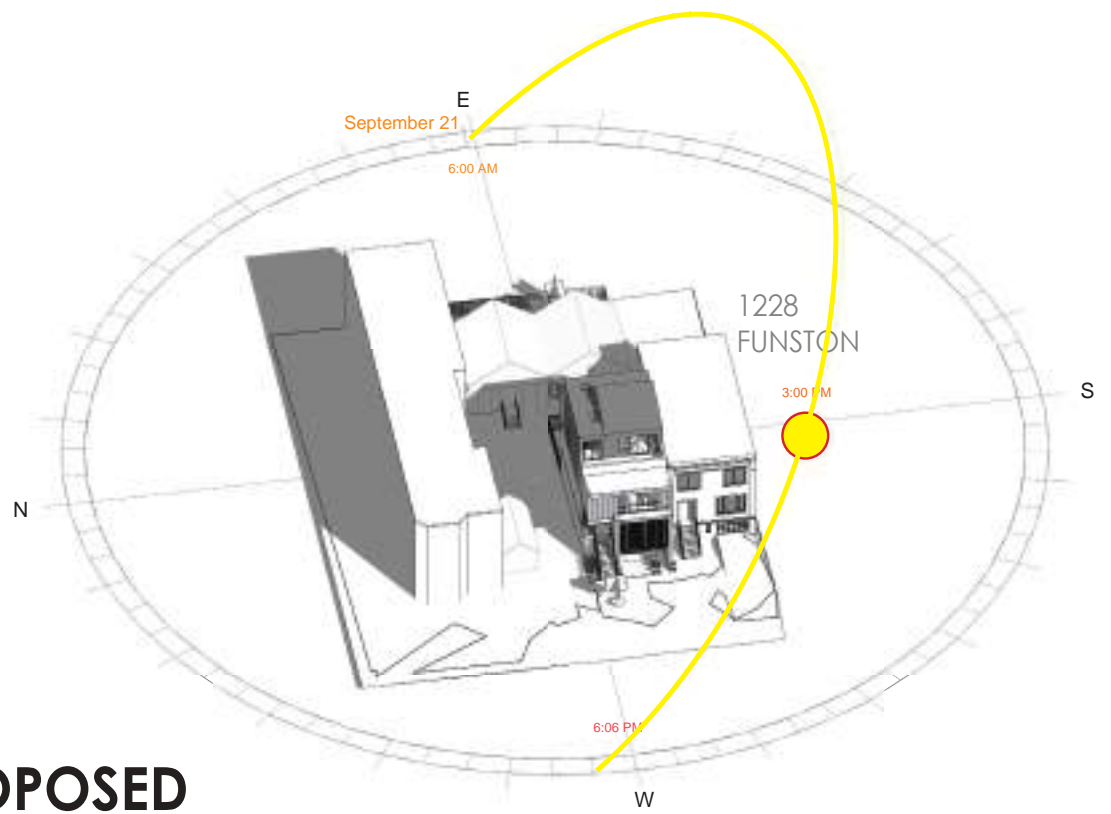


**EXISTING**

**SHADE SUMMARY ON WESTERN FACE OF 1218 FUNSTON AVE (BY SEASON)**

EXISTING	SPRING (MAR-MAY)	SUMMER (JUN-AUG)	FALL (SEP-NOV)	WINTER (DEC-FEB)
6 AM				
9 AM				
12 PM	Lighted	Lighted	Lighted	
3 PM	Lighted	Lighted	Lighted	
6 PM	Lighted	Lighted	Lighted	

LEGEND  LIGHTED  SHADED



**PROPOSED**

PROPOSED	SPRING (MAR-MAY)	SUMMER (JUN-AUG)	FALL (SEP-NOV)	WINTER (DEC-FEB)
6 AM				
9 AM				
12 PM	Lighted	Lighted	Lighted	
3 PM	2:30 PM - 5 PM (Shaded)	Lighted	2:30 PM - 5 PM (Shaded)	
6 PM	Lighted	Lighted	Lighted	



**To:** Edward "Toby" Morris  
Kerman Morris Architects LLP  
139 Noe Street  
San Francisco, CA 94114

**From:** Adam Phillips, Principal  
Prevision Design  
1806 Belles Street, Suite 6B  
San Francisco, CA 94129

**Date:** October 12, 2021

**RE:** Review of "Shading Impact Analysis Report for 1222 Funston Avenue"

---

Dear Mr. Morris:

At your request, I have conducted a review of the "Shading Impact Analysis Report for 1222 Funston Avenue" (hereafter "Shadow Report"), included as Exhibit A. The Shadow Report was prepared by Symphysis and is dated December 23<sup>rd</sup>, 2020.

**A. Establishment of Professional Qualifications for Shadow Analysis**

The preparer of the Shadow Report is identified as Oliver Pennetier, who is listed on the symphysis.net as the company founder. In review of the public profile on LinkedIn as well as the symphysis.net company website, Mr. Pennetier has a background in Architectural design, use and training for the building performance software Ecotect, and formerly held a credential as a Residential Certified Energy Analyst (expired in 2020). The website and linked bio references 19 years of consulting background and expertise in several fields including: sun & shade, daylight & glare, site & climate, Title-24 & code compliance, performance and optimization and wind flow and ventilation. The website does not include any completed project or client references for any of the listed areas of expertise, but a review of the Shadow Report produced reflects a level of analysis that establishes him in my view as a qualified professional.

**B. Review of Methodology**

The stated purpose of the Shadow Report was to evaluate the shading impact that would be caused by the construction of a proposed 4-story residential project at 1222 Funston Avenue in San Francisco on an adjacent yard and residence located at 1218 Funston Avenue.

This analysis relied on a 3D CAD model of the existing building conditions in the local vicinity, including 1218 Funston Avenue, other adjacent buildings to the north, south and east including





buildings across Funston Avenue from the project site to the west. The listed data sources for the model information appear to be reliable and the shadows cast by the model as depicted in the Shadow Report exhibits lack significant detail but were found to be generally correct in size, shape and location.

The computational analysis described in the report appears to be substantially generated from evaluation of the 3D model by software program Ecotect (produced by Autodesk between 2008-2015, now discontinued). I have limited personal experience using this program but understand it by reputation to have been an appropriate software platform from which to conduct a shadow analysis.

### C. Review of Report Findings

**Summary:** The Shadow Report characterizes the shadow impact of the proposed project in terms of the number of hours that sunlight would be reduced on seven windows, the façade, and the front yard area of 1218 Funston. This information is shown graphically as a color-coded percentage sunlight reduction overlay for the windows (page 8) and the façade (page 9), and the rear yard (pages 41-45). Quantitative shadow data is presented in table form on page 10. Results regarding the net change in conditions are presented as total hours reduction in sunlight as well as in form percentage difference between existing conditions and conditions with the proposed 4-story building. The table on page 10 also includes an analysis of an alternative 3-story project as do pages 11-40 which depict snapshot conditions for various afternoon shadow conditions with the proposed 4-story project and the 3-story alternative with the areas of net new project-generated shadow rendered in yellow.

My comments on the findings are as follows:

1. The Shadow Reports findings are based on and characterized by net change in hours of sunlight on specific elements, however the Shadow Report does not state how this is calculated where where only partial shading over an element occurs, which would very frequently be the case. A more typical approach for quantified shadow analysis (and the standard methodology for shadow analysis in San Francisco) would be to use square foot hours which measures both the duration of the shadow as well and size of the shadow in square feet.  
If partial shadow coverage on an element has been registered in the hourly accounting as shaded for the full hour, the overall results would likely overstate shadow cast by the project.
2. The Shadow Report states the analysis reflects a full-year calculation, however, does not state what daily analysis period (the start and stop times relative to sunrise and sunset within which the analysis was conducted), nor at what interval analysis readings were taken between these times. Analysis of the net change in conditions might differ significantly based on the time periods the analysis was conducted. Lacking this clarification, the interpretation of the results of the net change in shadow conditions could potentially be misleading.



3. The analysis bases much of its characterization of impact as a *relative* percentage change between existing hours of sunlight and hours of sunlight. This is not typical shadow analysis methodology—a more accepted approach would divide both the annual existing hours of sunlight and the annual hours of sunlight with the project by the same total number of total annual hours where sun could shine on the elements if all obstructions were removed (commonly referred to as the Theoretical Annual Available Sunlight, or TAAS). This method assures a fixed baseline value to better characterize the existing condition, which is already partially shaded, for a more accurate characterization of the change in conditions with the addition of the proposed project.  
Additionally, use of a relative percentage change can yield inconsistent and misleading results, since even small changes in sunlight condition, if occurring in areas where the total existing hours of sunlight are low under existing conditions, would register as a high percentage change, simply due to a small denominator.
4. Characterizations on Page 3 & 8 that the total annual hours reduction in shadow on the yard or windows would equivalent to blocking sunlight for the same fixed period per day, every day of the year is misleading, and not a typical way to characterize shadow effects. Consistent shading throughout the year is not equivalent to shadow occurring at certain times of year and not at others as has been shown to be the case with this project.

In conclusion, it is my professional opinion that the shadow conditions as graphically reflected in the Shadow Report (specifically pages 11-40) appear to be substantially correct in their depiction of existing vs. net new shadows cast by the project. The quantitative analysis and characterization of findings I found not to follow accepted SF standard shadow analysis methodology, and omissions regarding how the analysis was conducted raises potential concerns that some results may be incorrect and/or misleading for the reasons stated above.

Should there be future updates or clarifications issued to the Shadow Report relevant to my comments above, I would be happy to revisit these items and update my findings. Please do not hesitate to reach out if there are any additional questions regarding this matter.

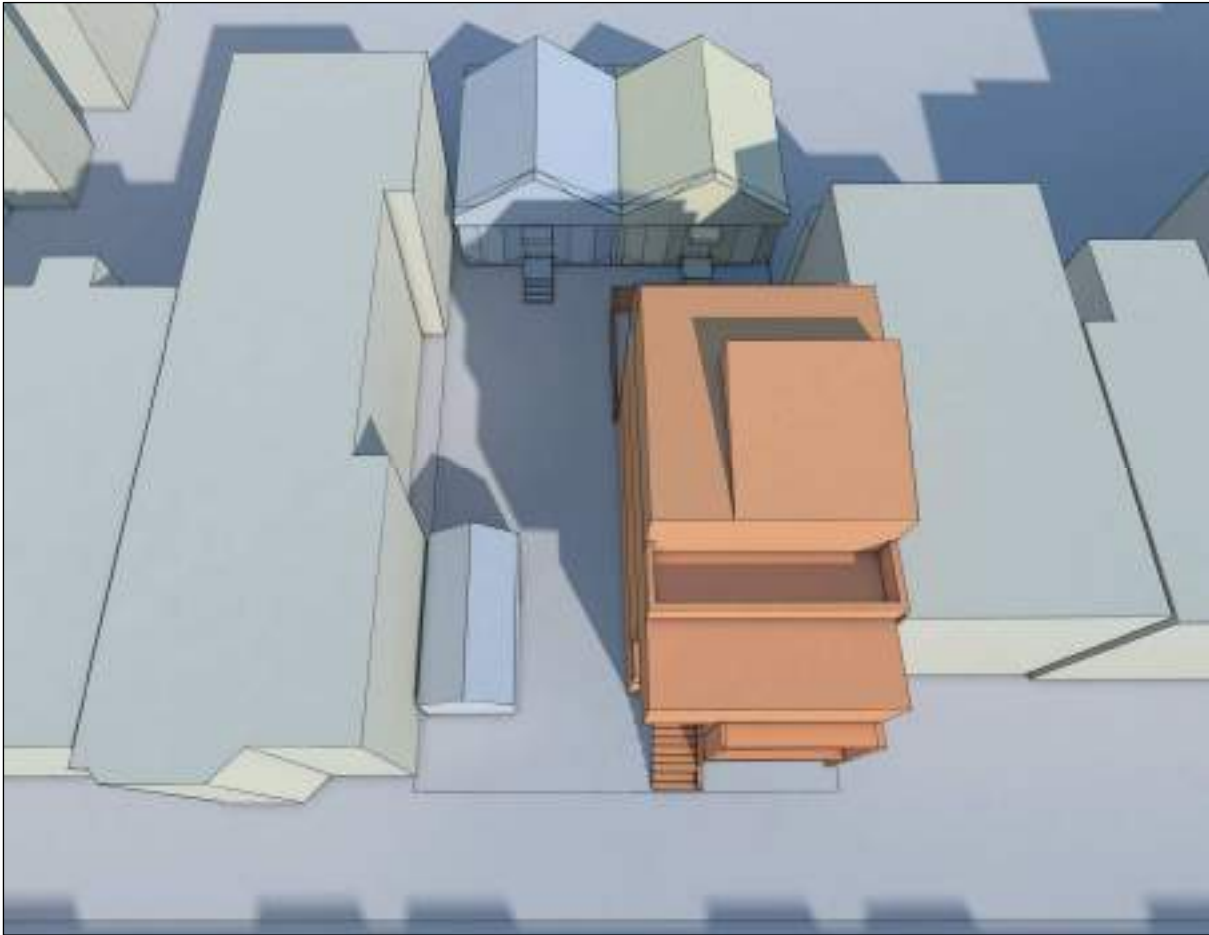
Sincerely,

A handwritten signature in blue ink, appearing to read "Adam Phillips", is written over a light blue circular stamp.

Adam Phillips, Principal  
Prevision Design

# SHADING IMPACT ANALYSIS REPORT

FOR 1222 FUNSTON AVENUE | DECEMBER 23<sup>RD</sup> 2020



Report prepared by  
Olivier PENNETIER, M.Arch, LEED AP, CEA  
**SYMPHYSIS**  
Bioclimatic Design Consulting  
olivier@symphysis.net

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## I. INTRODUCTION & ANALYSIS SUMMARY

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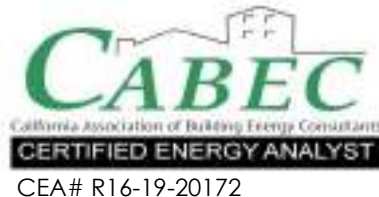
SYMPHYSIS was asked to perform a shading analysis to assess the shading impact of a proposed building to be built at 1222 Funston Avenue, upon the house and yard of the adjacent property at 1218 Funston Avenue.

After performing the analysis, SYMPHYSIS concludes that **the proposed project at 1222 Funston Avenue would reduce available hours of sunlight reaching the house windows at 1218 Funston Avenue by up to 28.7%, and by up to 39.2% in the yard.** One window would lose up to 280 hours of sunlight per year; that averages to 45 minutes of lost sunlight for every day of the year. The yard would lose 893 hours of sunlight, or an average of 2 hours and 25 minutes for each day of the year.

The report herein describes the proposed project, as well as the methodology used for the shading analysis, along with its results and graphics. ■



Olivier A. Pennetier, M.Arch, LEED AP, CEA  
SYMPHYSIS Principal  
12/23/2020



*Our services consist of professional opinions and conclusions developed in accordance with generally accepted environmental design, solar engineering and daylighting design principles and practices. Our conclusions and recommendations are based on the information provided by the clients, USGS Digital Elevation Model and publicly available Geographic Information System database.*

## II. PROJECT LOCATION

The proposed project is located at 1222 Funston Avenue in San Francisco CA, in the Northwestern quadrant of Inner Sunset neighborhood, block 1738, lot 040. ■

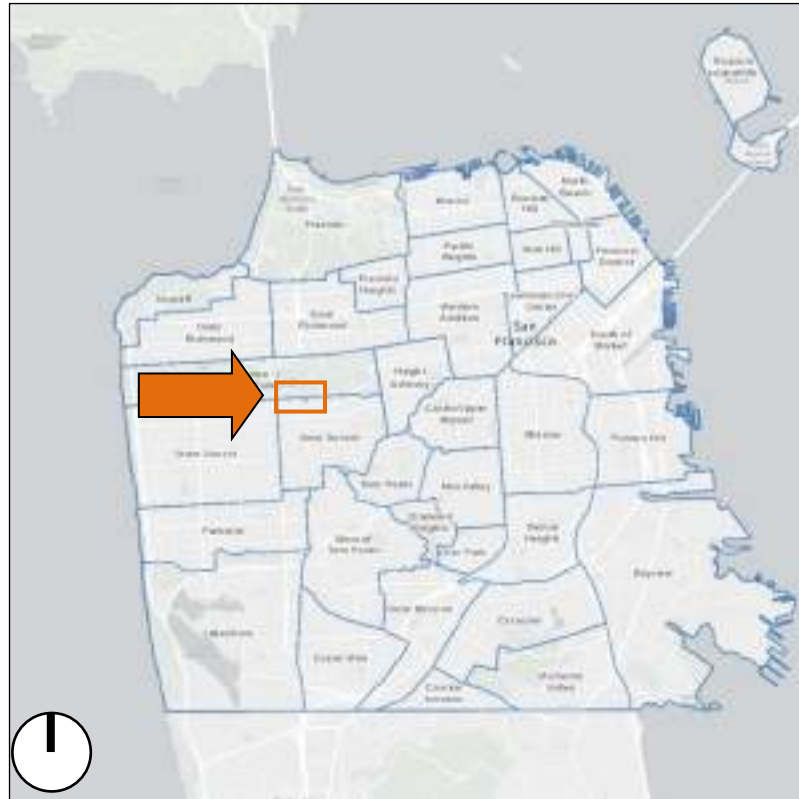


FIGURE 1: LOCATION MAP



FIGURE 2: BLOCK MAP

### III. PROPOSED PROJECT DESCRIPTION

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The proposed project is a new 4 story single family residence. The new residence is proposed to be 39'-0" high and 49'-6" deep from the front property line, with a 27'-6" deep rear open space separating it from the existing cottage at the rear of the same property. The house at 1218 Funston Avenue is adjacent to the North of the existing rear cottage at 1222 Funston Avenue

The following images show the 3D massing models for the existing conditions and proposed design. ■



FIGURE 3: 3D MASSING MODEL OF THE EXISTING CONDITIONS – SEPTEMBER 21<sup>ST</sup>, 4:00 PM.

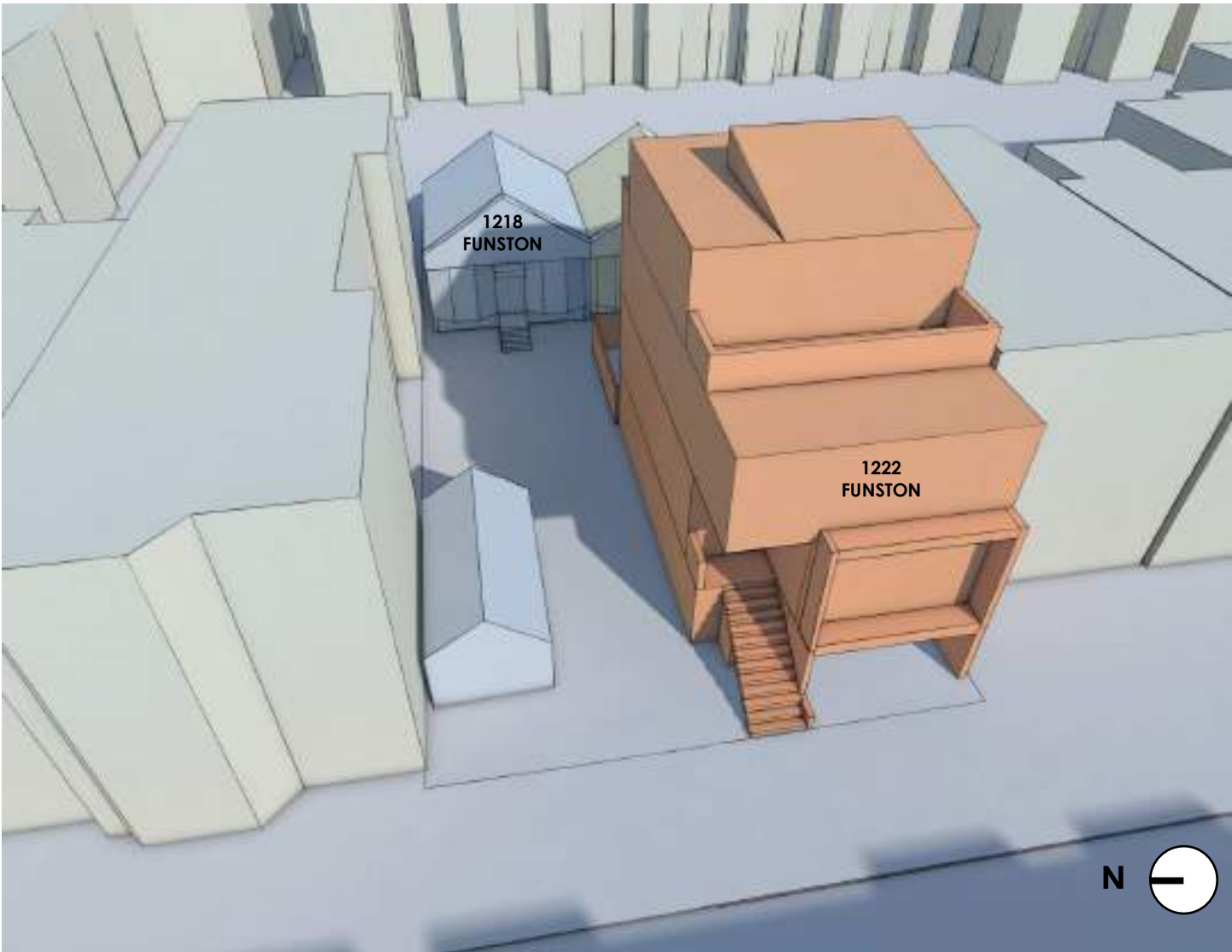


FIGURE 4: 3D MASSING MODEL OF THE PROPOSED CONDITIONS – SEPTEMBER 21<sup>ST</sup>, 4:00 PM.



## IV. ANALYSIS METHODOLOGY & FINDINGS

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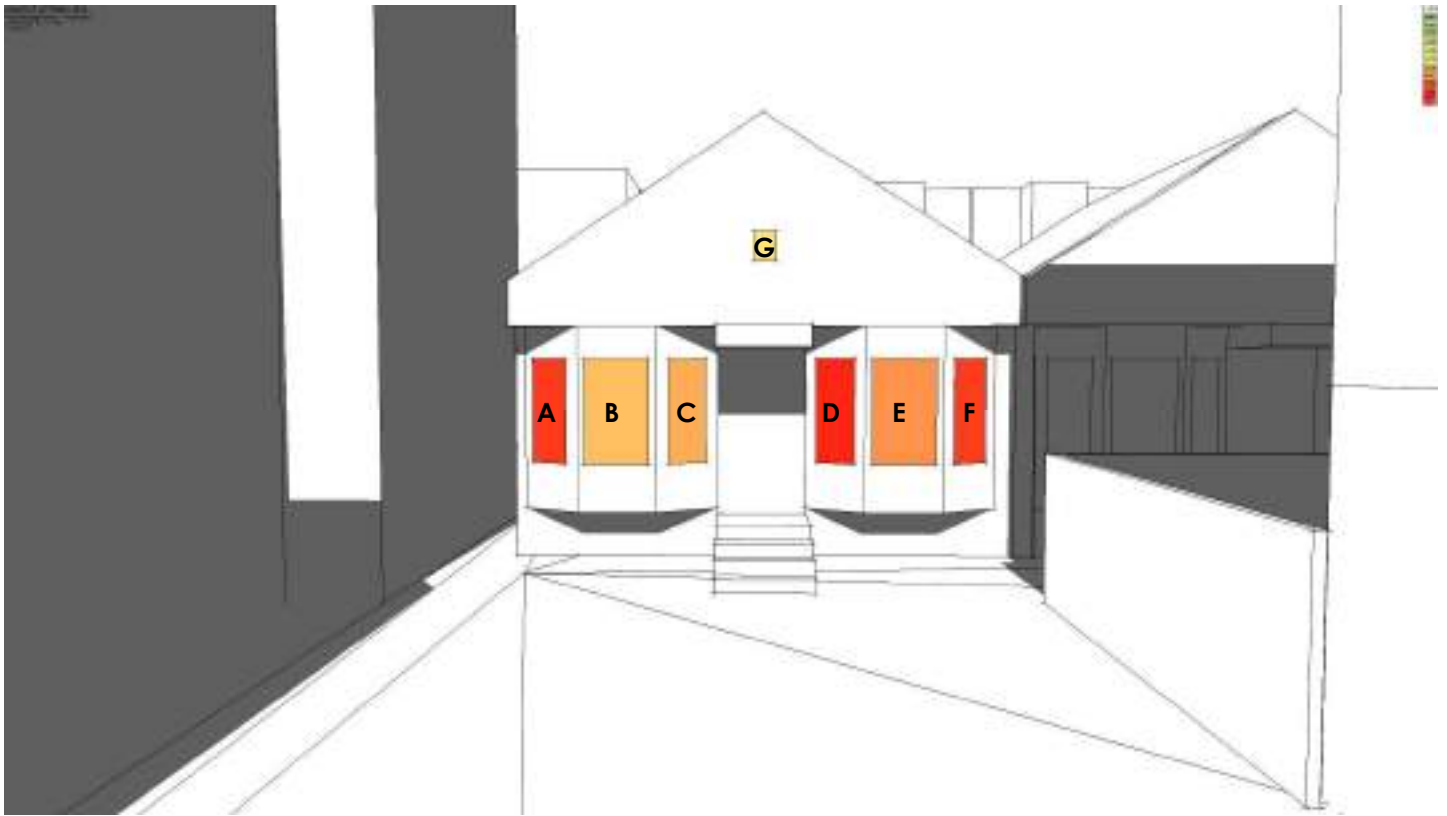
SYMPHYSIS utilized various tools to develop this shading impact analysis. Here is a breakdown of the analysis process, and the tools used at each stage of the analysis:

- 1) A 3D model of the existing and proposed conditions was created within a CAD software (ArchiCAD), using the architect's drawings of the proposed project, dated R1 01/15/2020 (procured through SF Planning Public Portal). The house at 1218 was modeled as a mirror copy of the existing cottage at 1222 Funston Avenue. All the surrounding buildings footprints were obtained from the current SF Planning GIS layer, and extruded to match the current Google Earth building elevation ( $\pm 6''$ ). The terrain was modeled based on Google Earth photogrammetry, and matched to the drawing's survey elevations.
- 2) The 3D models were sent into a building performance analysis tool called Autodesk Ecotect to calculate shading and available incident solar radiation, based on the latest Typical Meteorological Year (TMY3) weather file for San Francisco. These TMY3 files have recorded solar radiation data, averaged over 30 years, and account for cloudiness and other atmospheric obstructions of solar radiation. Analysis grids were created over the façade of 1218 Funston, as well as its yard and individual windows facing West. These analysis grids are a series of "sensors" onto which many calculations can be done, such as shading and number of sunlight hours that can reach the grid sensors. First, the calculations were computed for the existing conditions, then another pass with the proposed design. The difference between the two conditions highlights the areas that are most impacted by the proposed project. The shading calculations were set for the entire year.

The following is a breakdown of the analysis results for the windows, façade and yard.

### **WINDOWS**

Seven windows were identified to be impacted on the West façade of 1218 Funston Avenue. See the image below.



**% REDUCTION OF SUNLIGHT HOURS**

0%	-3%	-6%	-9%	-12%	-15%	-18%	-21%	-24%	-27%	-30%+
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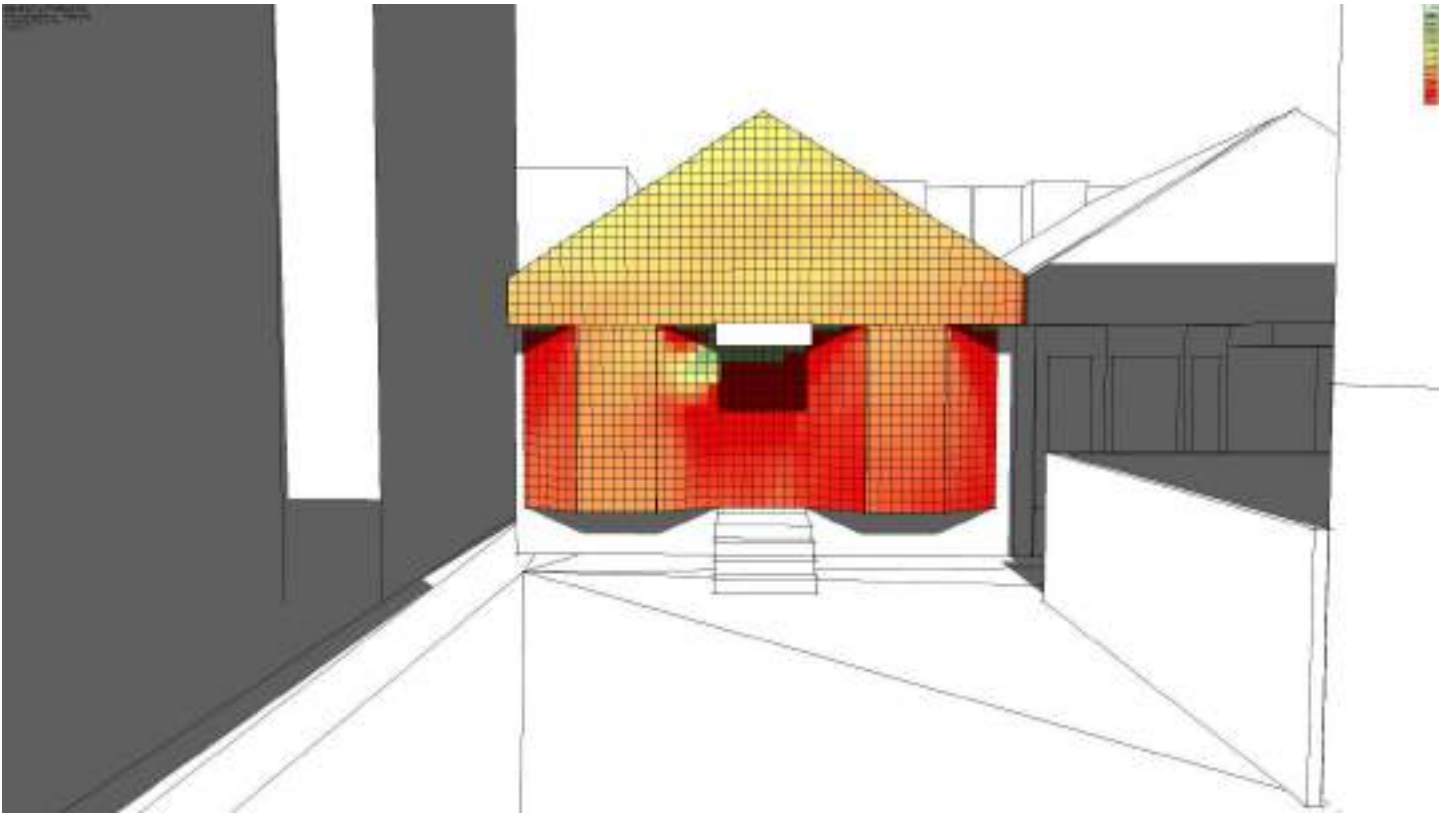
FIGURE 5: IDENTIFIED WINDOWS AND SUNLIGHT REDUCTION IMPACT ON WEST FAÇADE OF 1218 FUNSTON AVENUE.

The impact of the proposed 4 story project on the selected windows varies from -19.7% reduction in sunlight hours for window B to **a reduction of -28.7% for window D (-280 hours of sunlight)**. This is equivalent to blocking the sunlight over 45 minutes per day, every day of the year. See Table 01 for the results on all the windows, including when the 4<sup>th</sup> story of the proposed project is removed. The analysis shows that a 3-story project could reduce the impact on the windows by an average of -7.5%. **The proposed project starts to impact window F from July 5<sup>th</sup> at 4:20 pm (PDT) and stops the impact the following June 12<sup>th</sup> at 4:20 pm (PDT).**

**FAÇADE**

Similarly to the windows, the entire West façade of the house at 1218 Funston Avenue was analyzed for impact on the sunlight currently received.

The average reduction in hours of sunlight received on the façade is -20.7%, with a maximum reduction of -89% near the house's entry door. The analysis shows that a 3-story design could reduce the impact on the façade by about 7%.



**% REDUCTION OF SUNLIGHT HOURS**

0%	-3%	-6%	-9%	-12%	-15%	-18%	-21%	-24%	-27%	-30%+
----	-----	-----	-----	------	------	------	------	------	------	-------

FIGURE 6: FACADE SUNLIGHT REDUCTION IMPACT E OF 1218 FUNSTON AVENUE.

**YARD:**

The front yard of the property was also analyzed for impact on available sunlight throughout the year. The yard is substantially impacted by the proposed project as it is located North of the proposed project, thus it is impacted every day of the year. **On average, the yard would see a reduction in sunlight hour of 39.2%**, with highest impact concentrated directly North of the proposed 4-story project and up to -86% sunlight reduction. A 3-story project would reduce this impact only minimally, by about -3.4%.

See the analysis grid graphics of the existing and proposed conditions as well as the percentage difference impact at the end of this report.

The full results of the analysis are highlighted in Table 01 below, showing the impact for the existing and proposed conditions, as well as a with a 3-story building design for comparison:

TABLE 01: RESULTS OF THE SHADING IMPACT ANALYSIS FOR THE PROPOSED PROJECT & A 3-STORY BUILDING DESIGN

	HOURS OF SUNLIGHT EXISTING CONDITIONS	HOURS OF SUNLIGHT PROPOSED 4 STORIES	SUNLIGHT HOURS	% DIFFERENCE	HOURS OF SUNLIGHT PROPOSED 3 STORIES	SUNLIGHT HOURS	% DIFFERENCE	DELTA 4-3 STORIES
WINDOW A	1028	742	-286	-27.8%	846	-182	-17.7%	-10.1%
WINDOW B	1448	1163	-285	-19.7%	1260	-188	-13.0%	-6.7%
WINDOW C	979	776	-203	-20.7%	839	-140	-14.3%	-6.4%
WINDOW D	977	697	-280	<b>-28.7%</b>	785	-192	-19.7%	-9.0%
WINDOW E	1378	1080	-298	-21.6%	1165	-213	-15.5%	-6.2%
WINDOW F	1153	849	-304	-26.4%	924	-229	-19.9%	-6.5%
WINDOW G	1683	1426	-257	-15.3%	1528	-155	-9.2%	-6.1%
FAÇADE	1307	1036	-271	-20.7%	1129	-178	-13.6%	-7.1%
YARD	2276.7	1383.48	-893	<b>-39.2%</b>	1460.83	-816	-35.8%	-3.4%

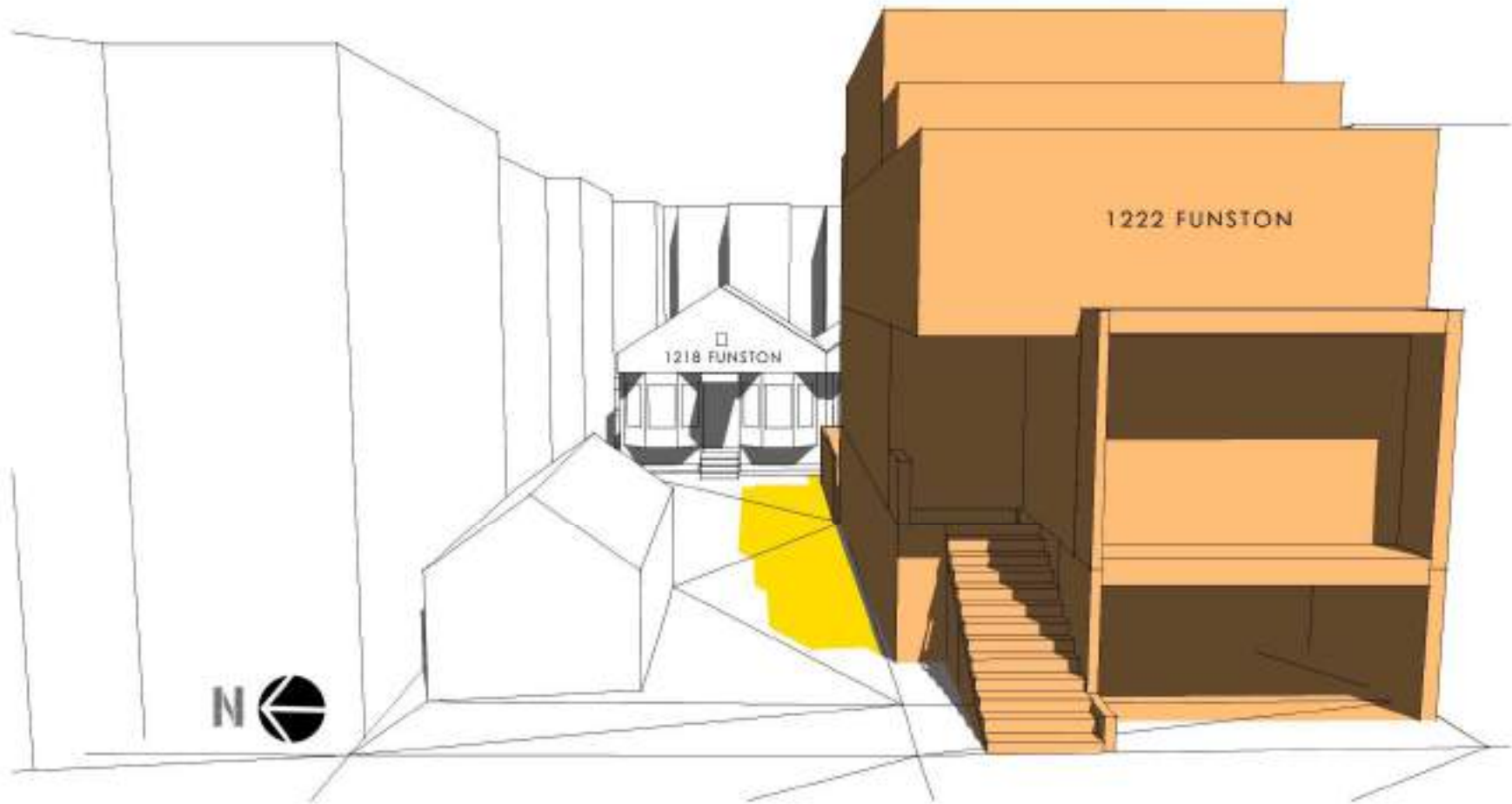
The following graphics show the shading impact of the proposed 4-story project upon the property of 1218 Funston Avenue, on May/July 21<sup>st</sup>, Fall/Spring equinoxes on September and March 21<sup>st</sup> between 3 pm PDT and 5 pm PDT and Winter Solstice on December 21<sup>st</sup> between 2 pm PST and 4 pm PST; the impact of a 3-story design project is also presented after each graphic of the proposed 4-story design. ■

# A01

## FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

03:00 PM [PDT]



PROPOSED PROJECT



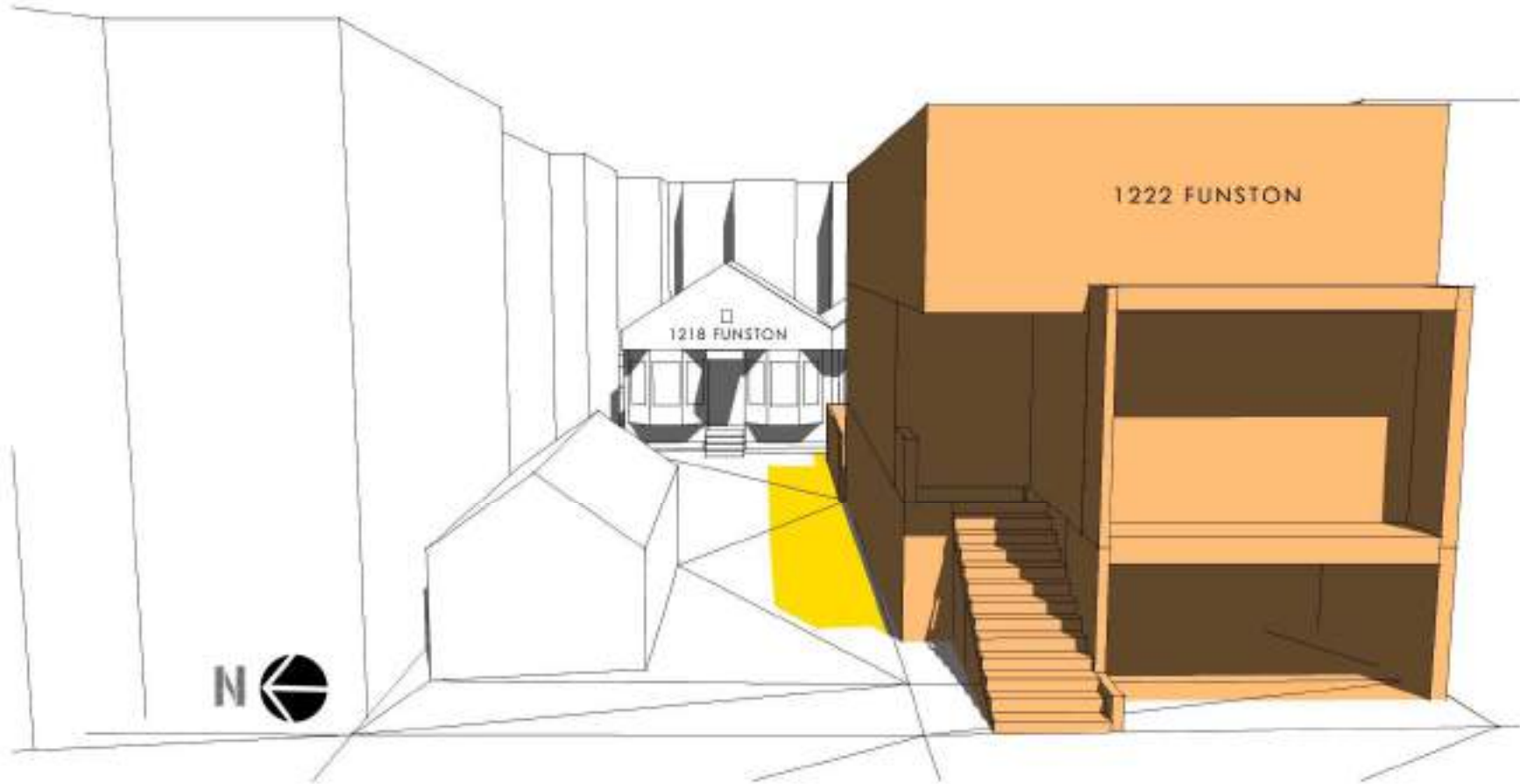
EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

03:00 PM [PDT]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

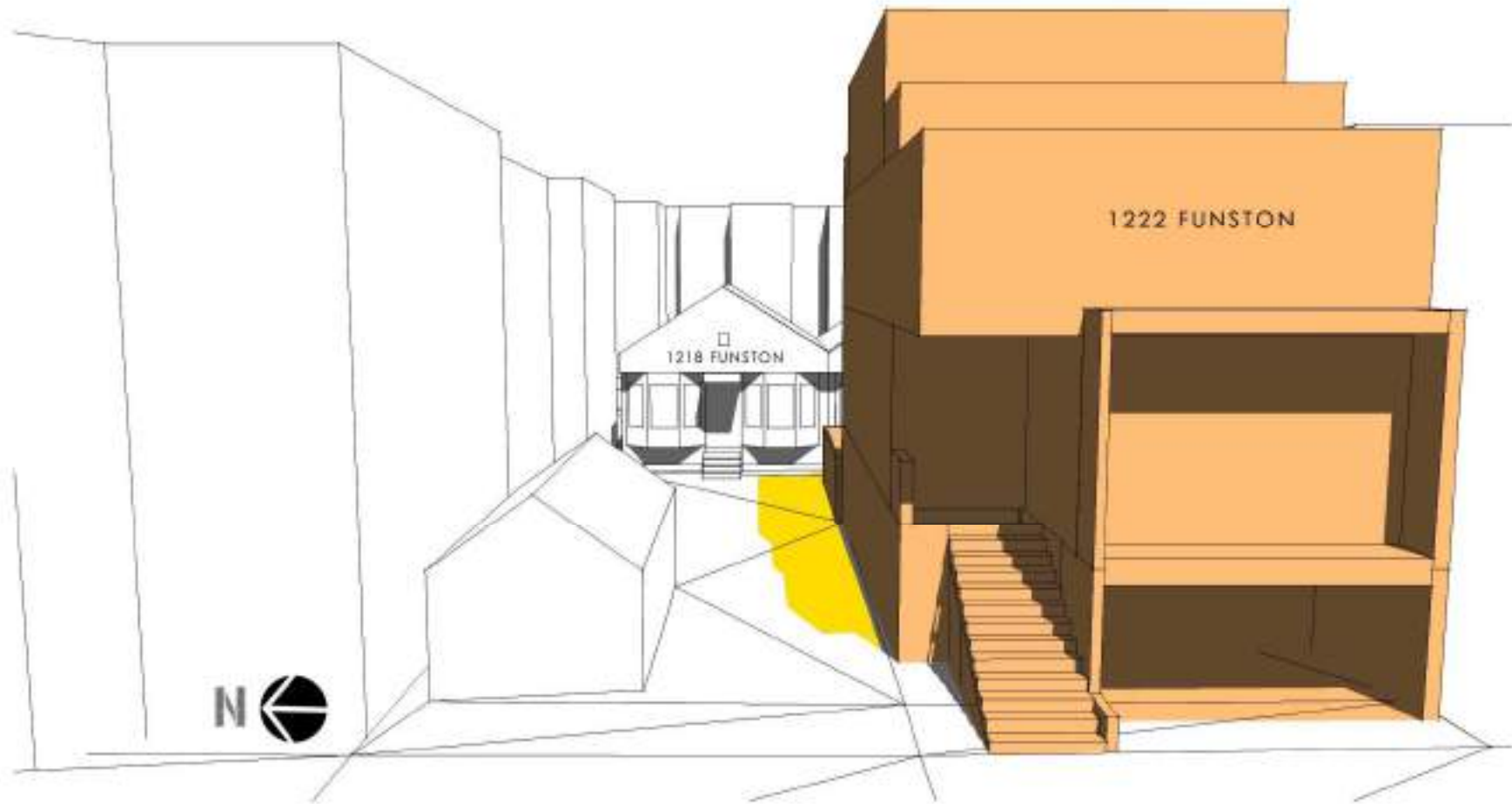
 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

A02

# FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

03:30 PM [PDT]



PROPOSED PROJECT



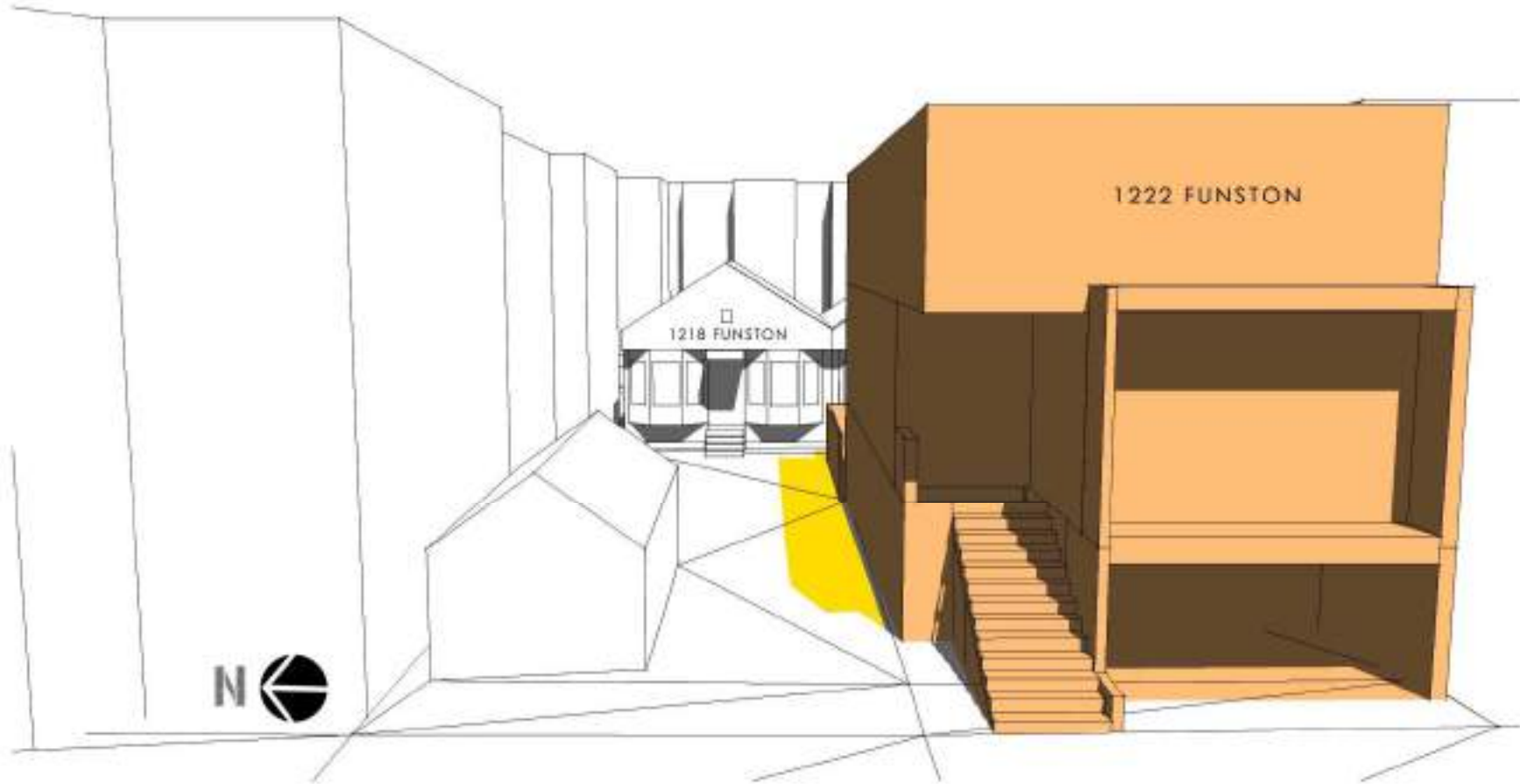
EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

03:30 PM [PDT]



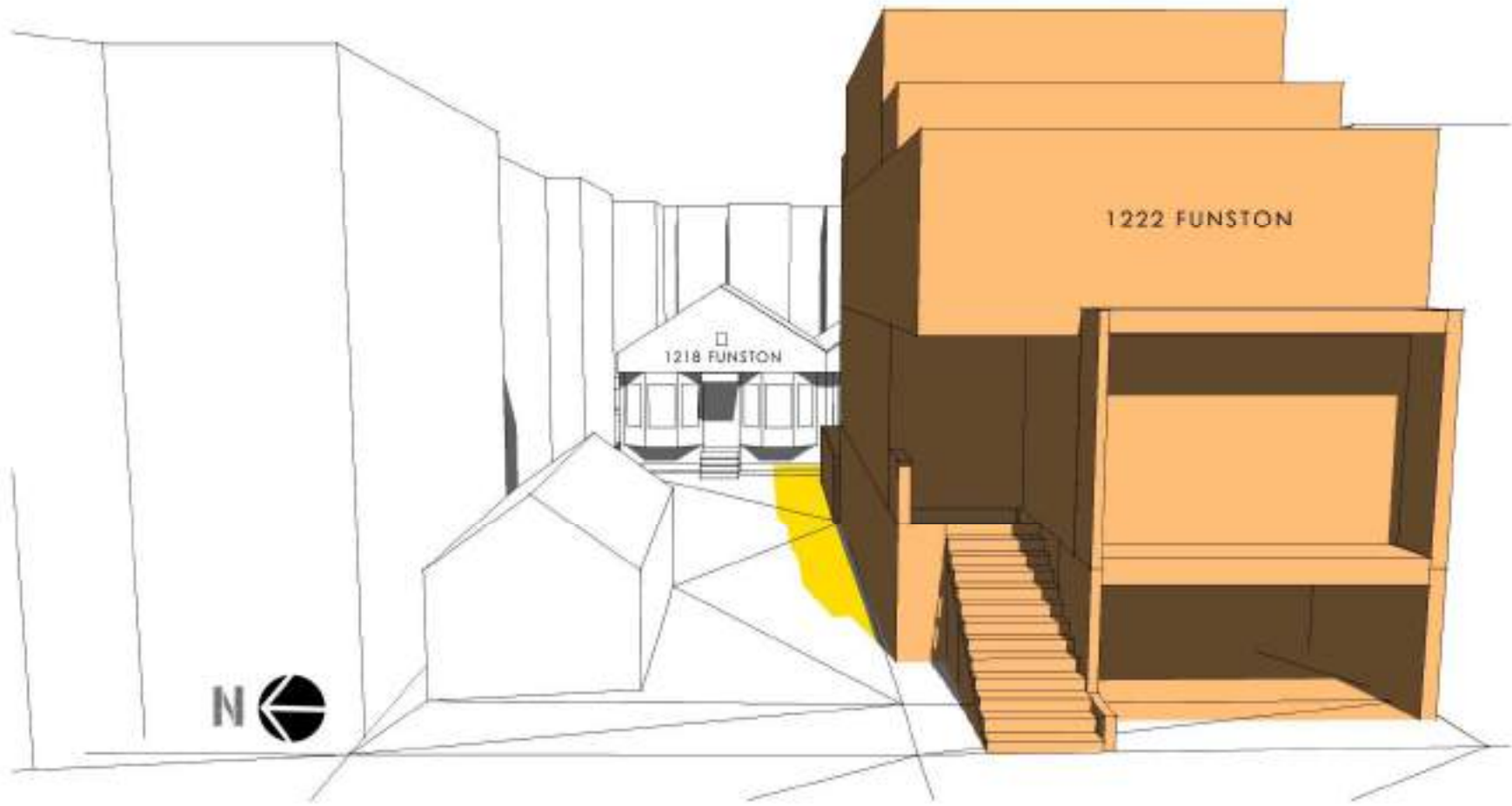
 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



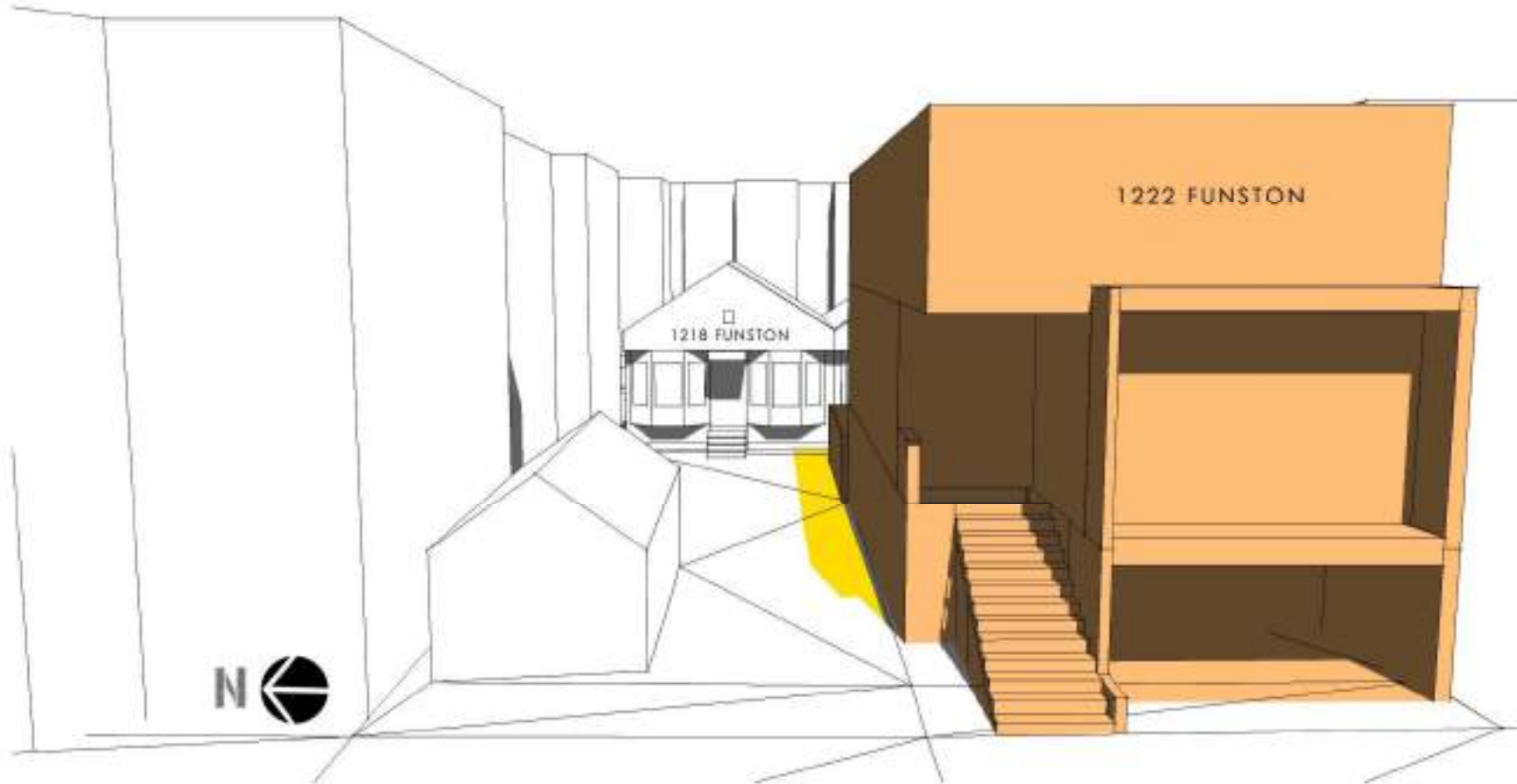
JULY/MAY 21<sup>ST</sup> 04:00 PM [PDT]



-  PROPOSED PROJECT
-  EXISTING SHADOWS
-  NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

04:00 PM [PDT]



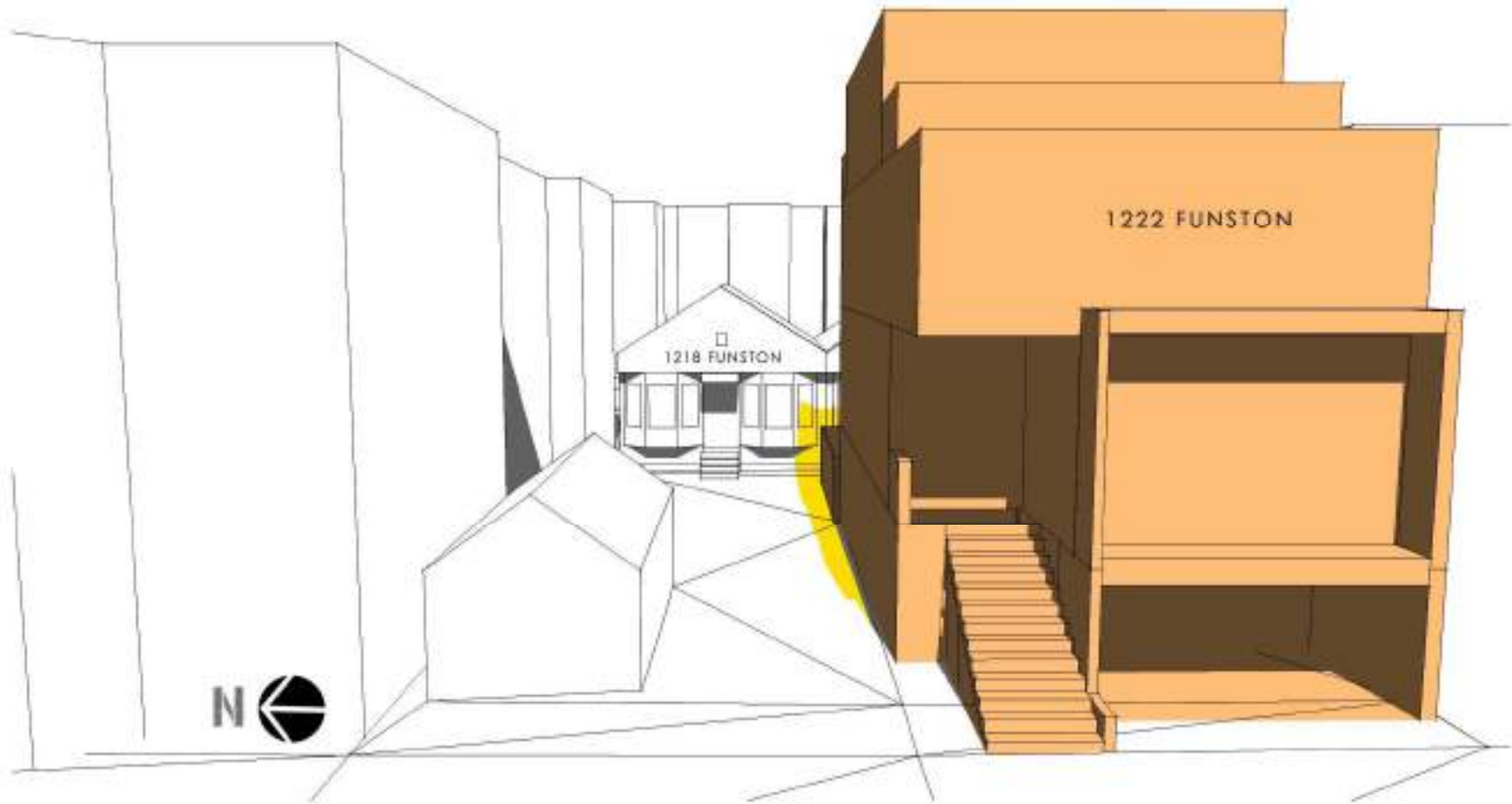
 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

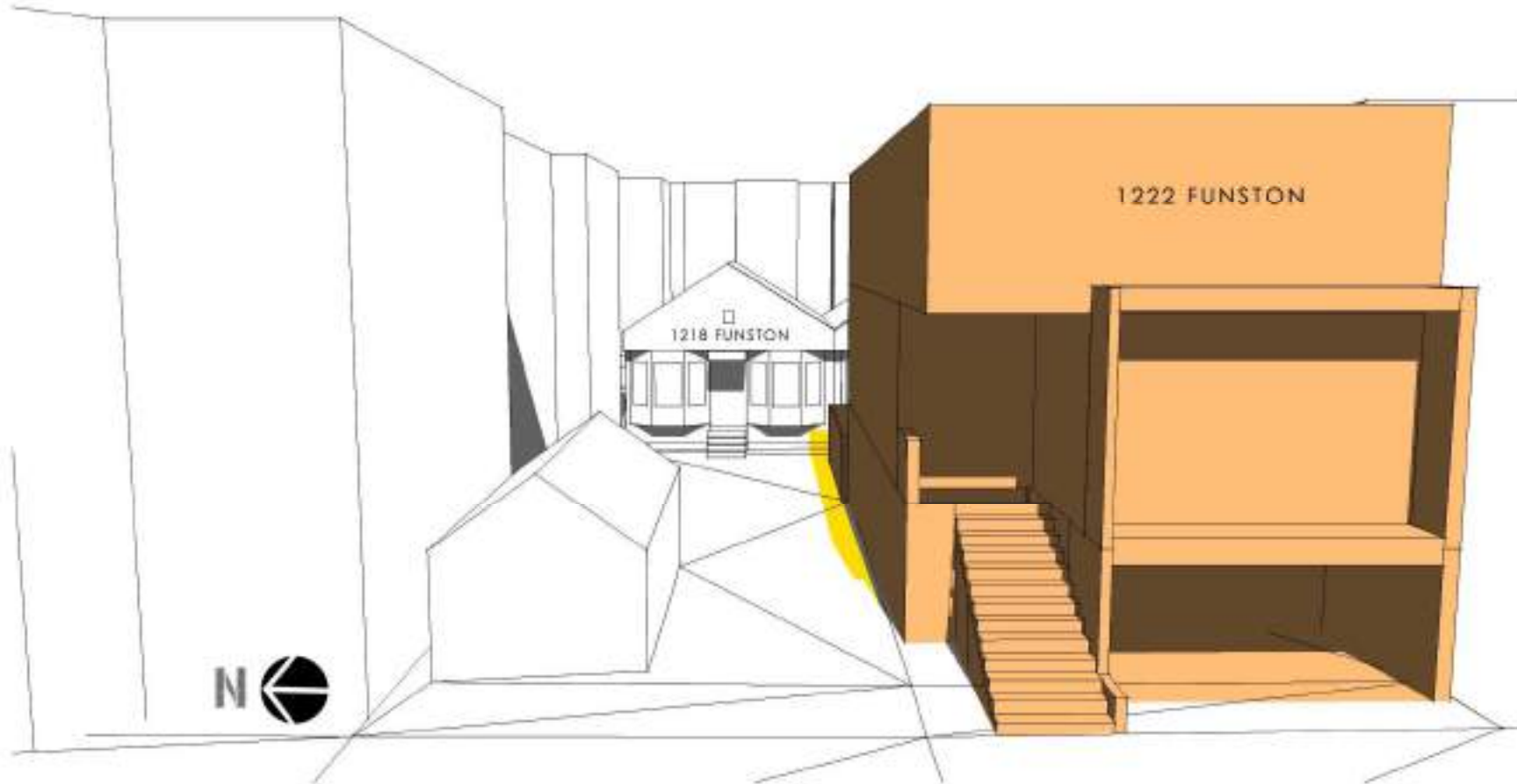
04:30 PM [PDT]



 PROPOSED PROJECT     EXISTING SHADOWS     NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

JULY/MAY 21<sup>ST</sup>

04:30 PM [PDT]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

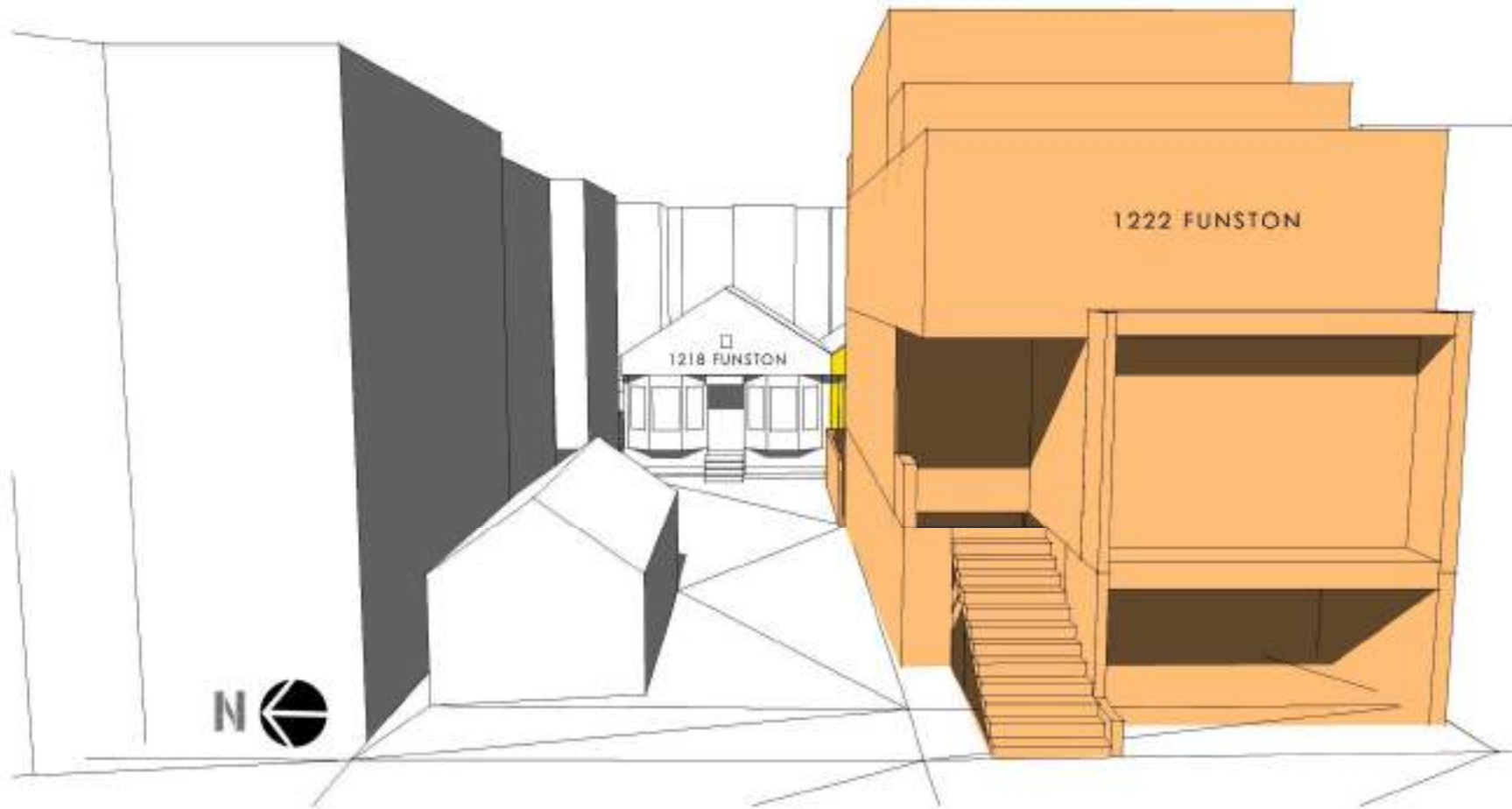
 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

A05

# FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

05:00 PM [PDT]



PROPOSED PROJECT



EXISTING SHADOWS



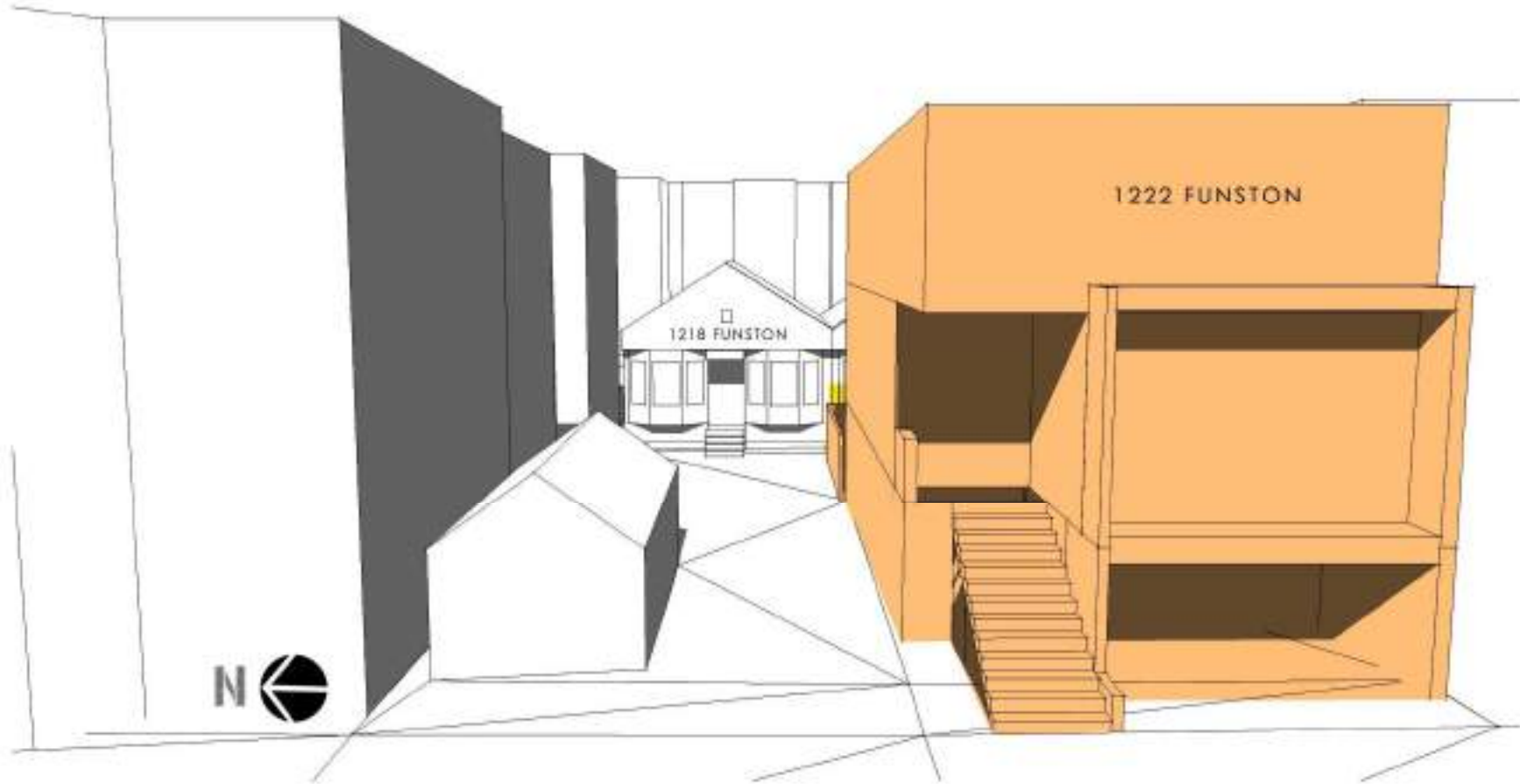
NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

A05b

# FIRST & LAST IMPACTING MONTHS ON WINDOWS

JULY/MAY 21<sup>ST</sup>

05:00 PM [PDT]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

# B01

## FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

03:00 PM [PDT]



PROPOSED PROJECT



EXISTING SHADOWS



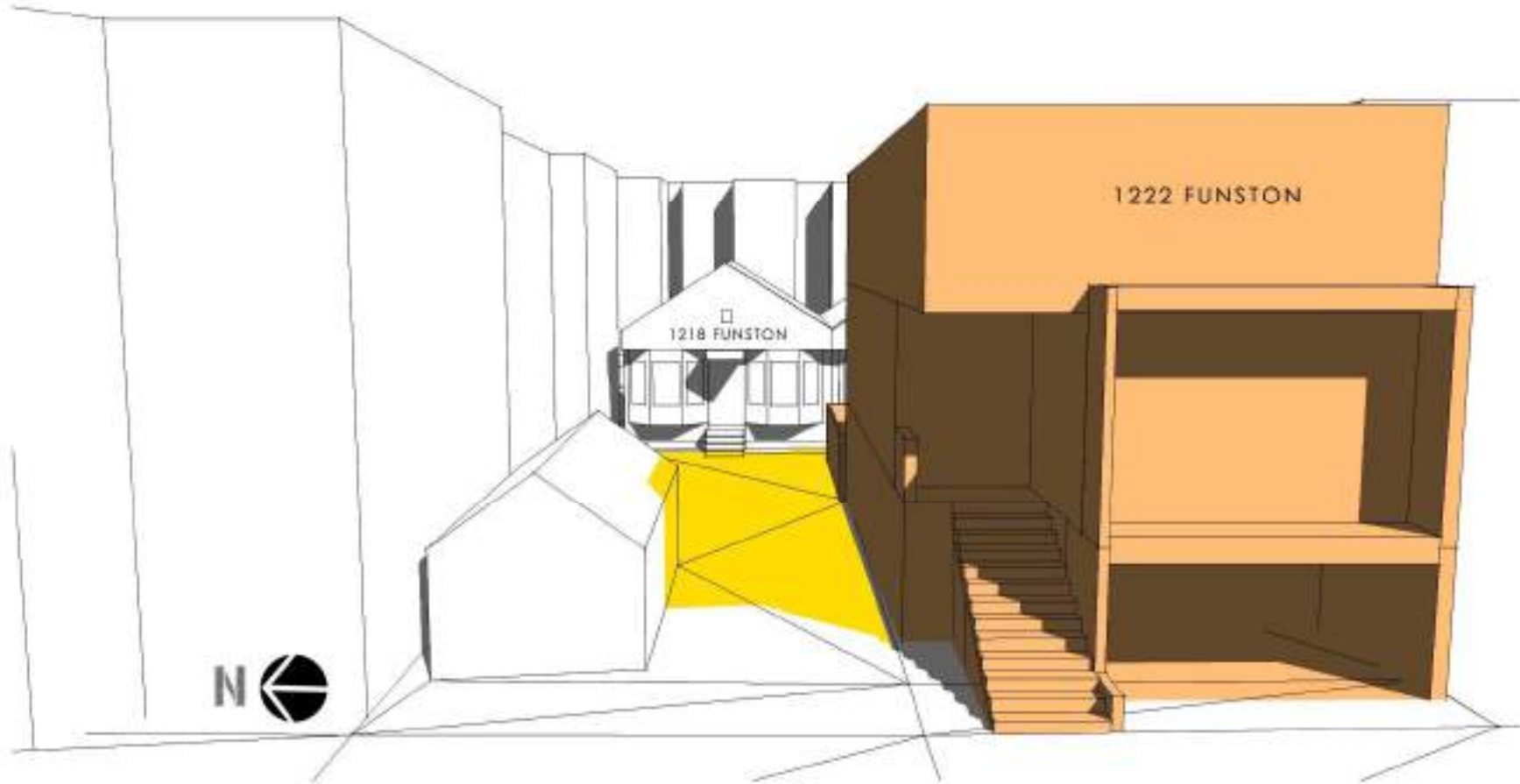
NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

B01b

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

03:00 PM [PDT]



 PROPOSED PROJECT  
WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

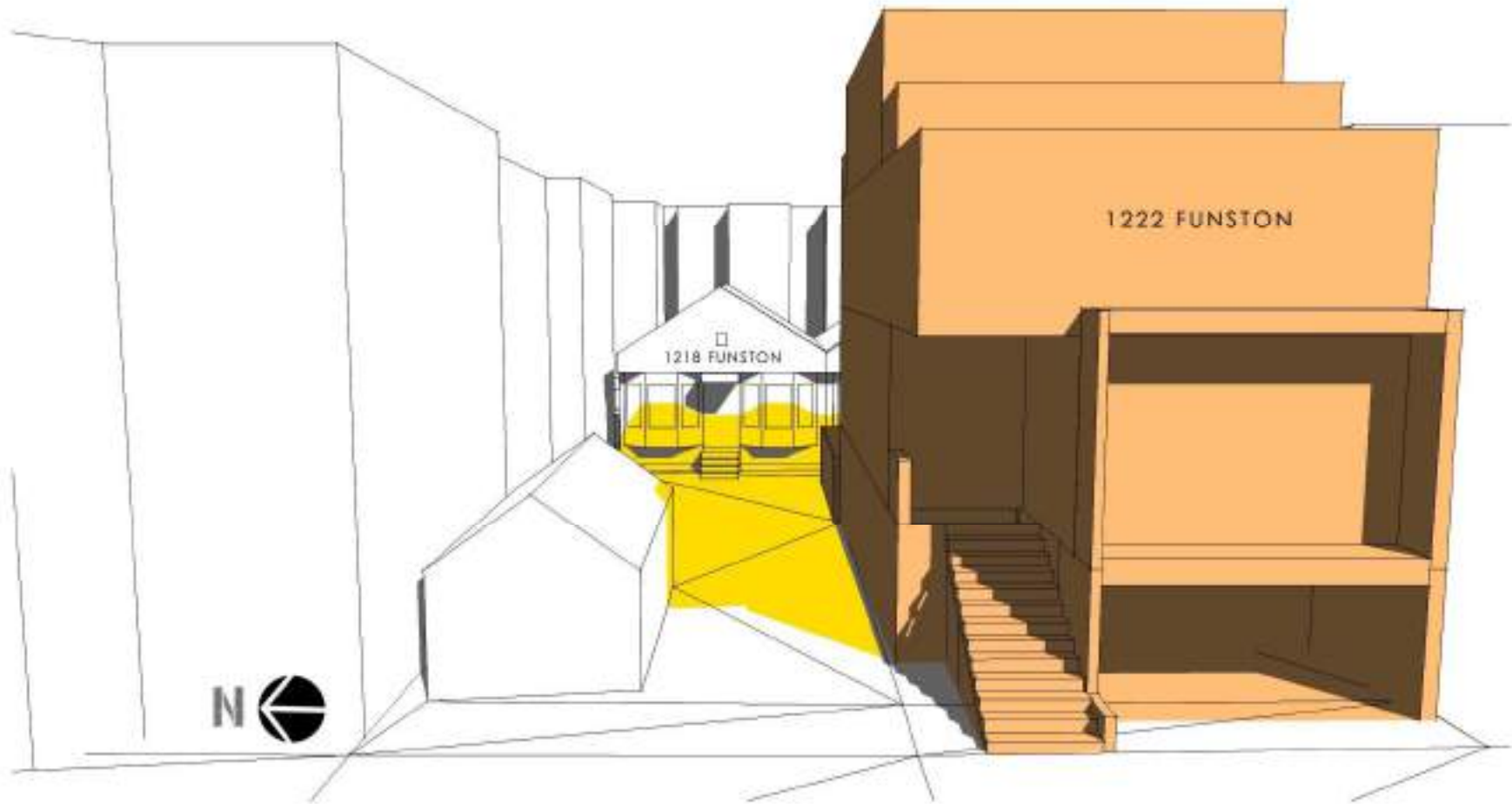


B02

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

03:30 PM [PDT]



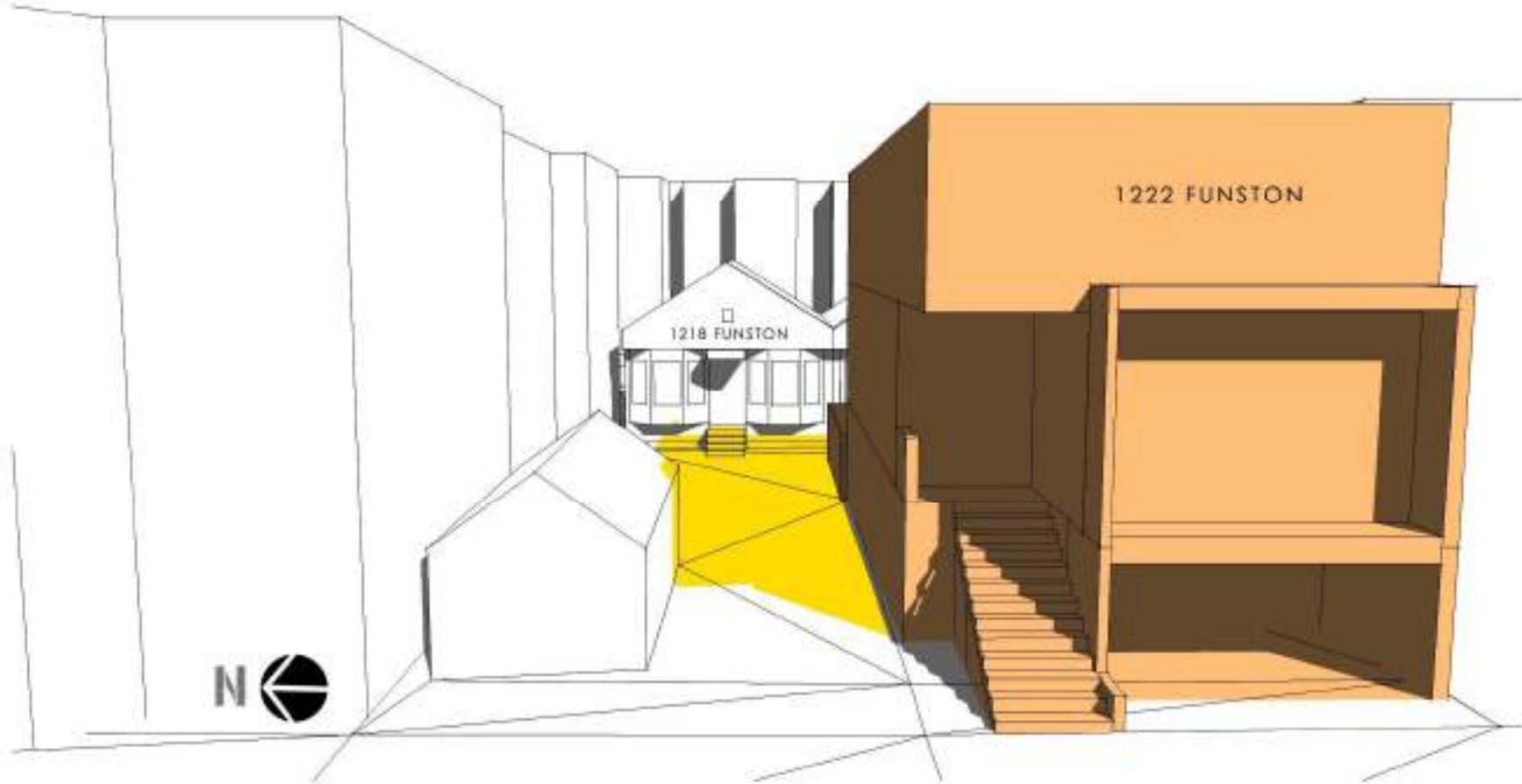
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

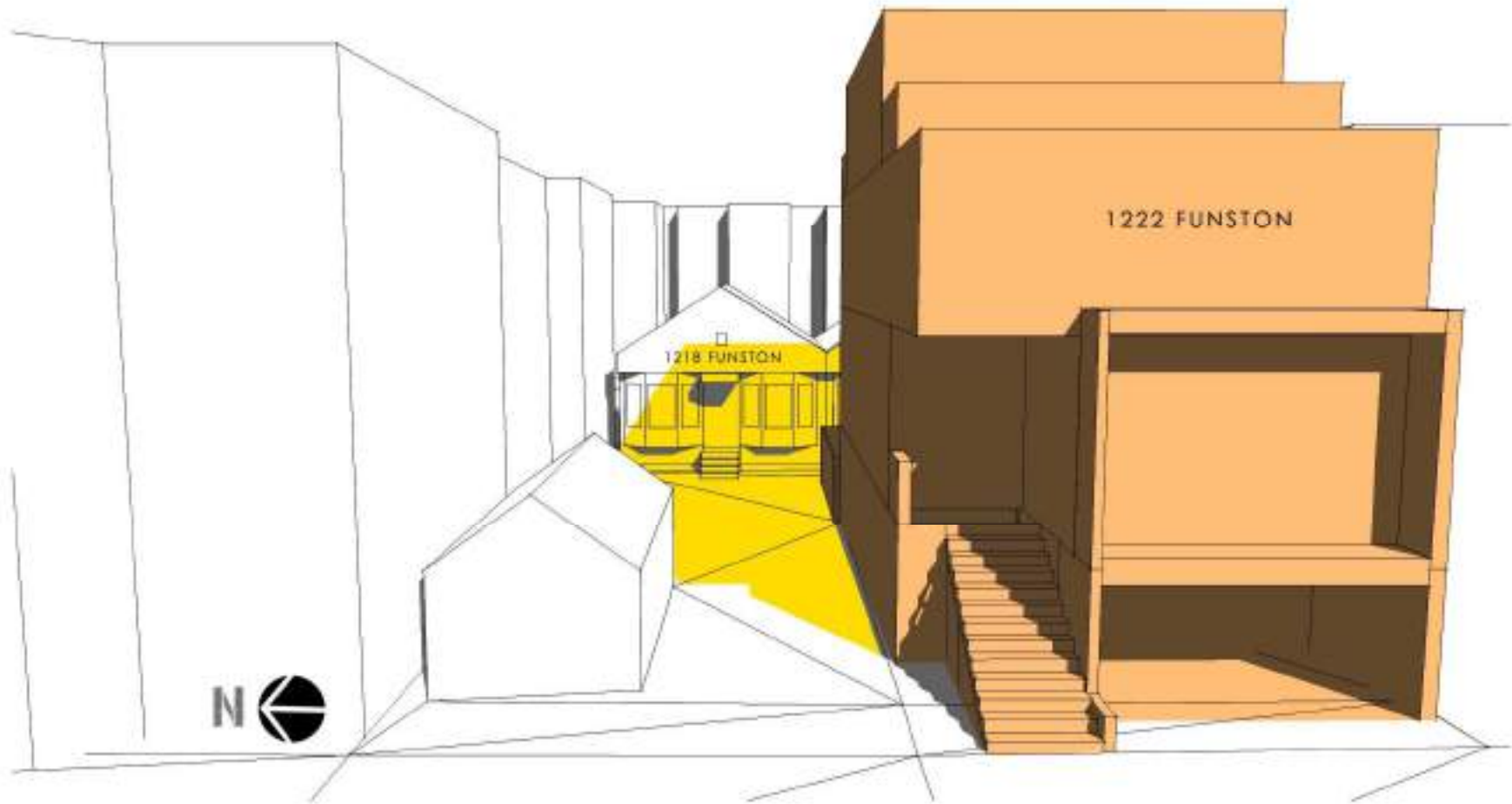
 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

B03

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

04:00 PM [PDT]



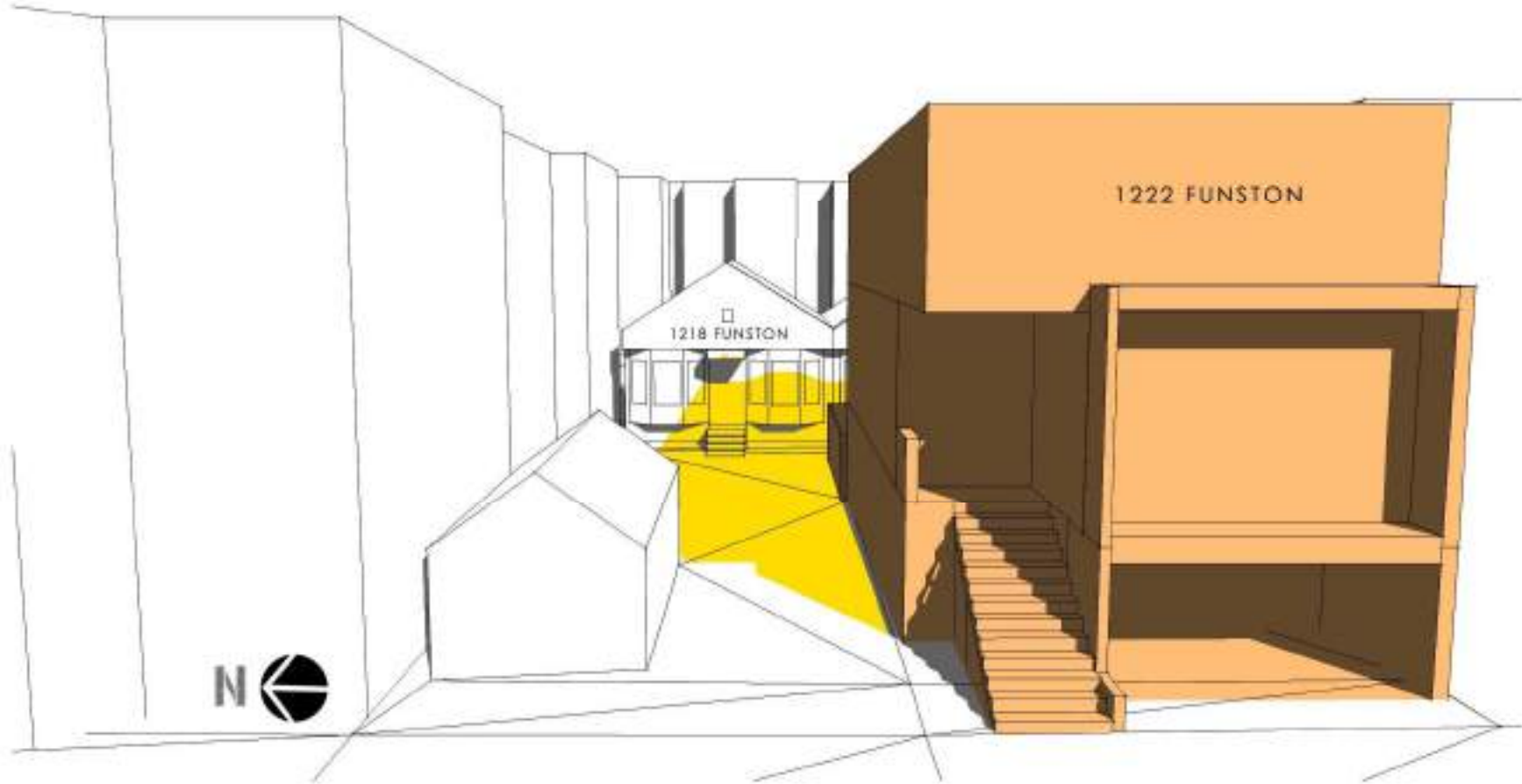
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT  
WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

B04

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

04:30 PM [PDT]



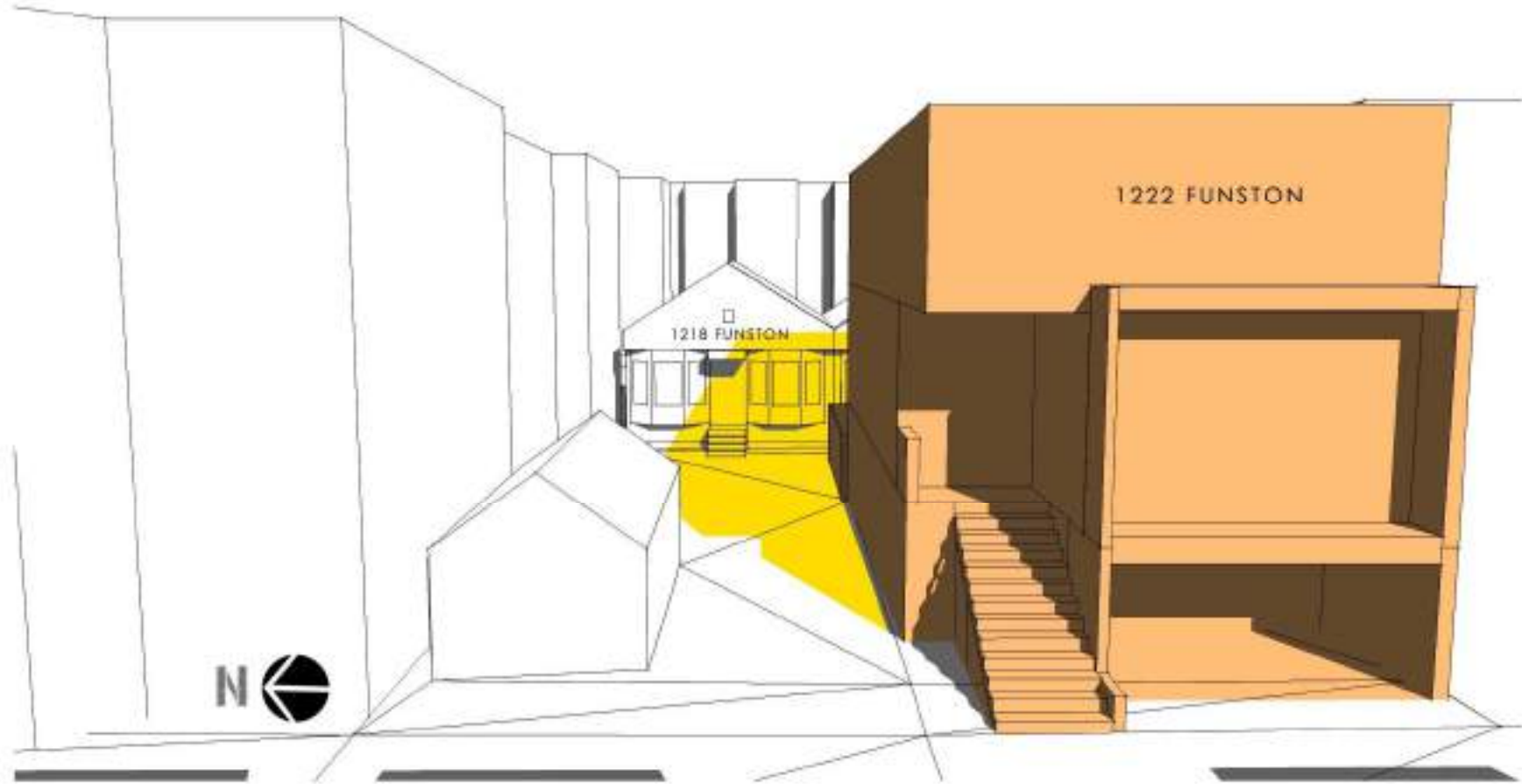
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

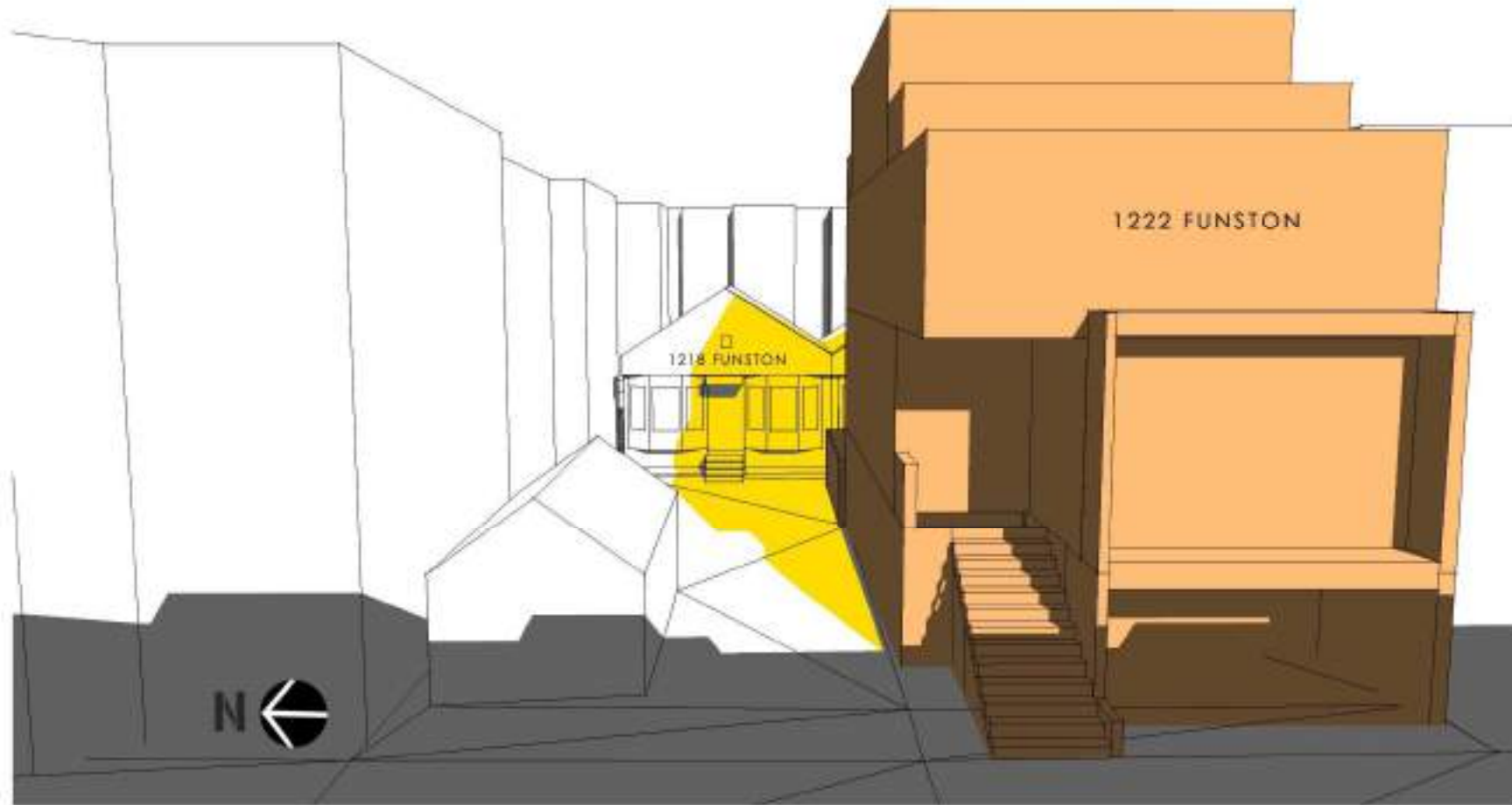
 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

B05

# FALL / SPRING EQUINOXES

SEPT/MAR 21<sup>ST</sup>

05:00 PM [PDT]



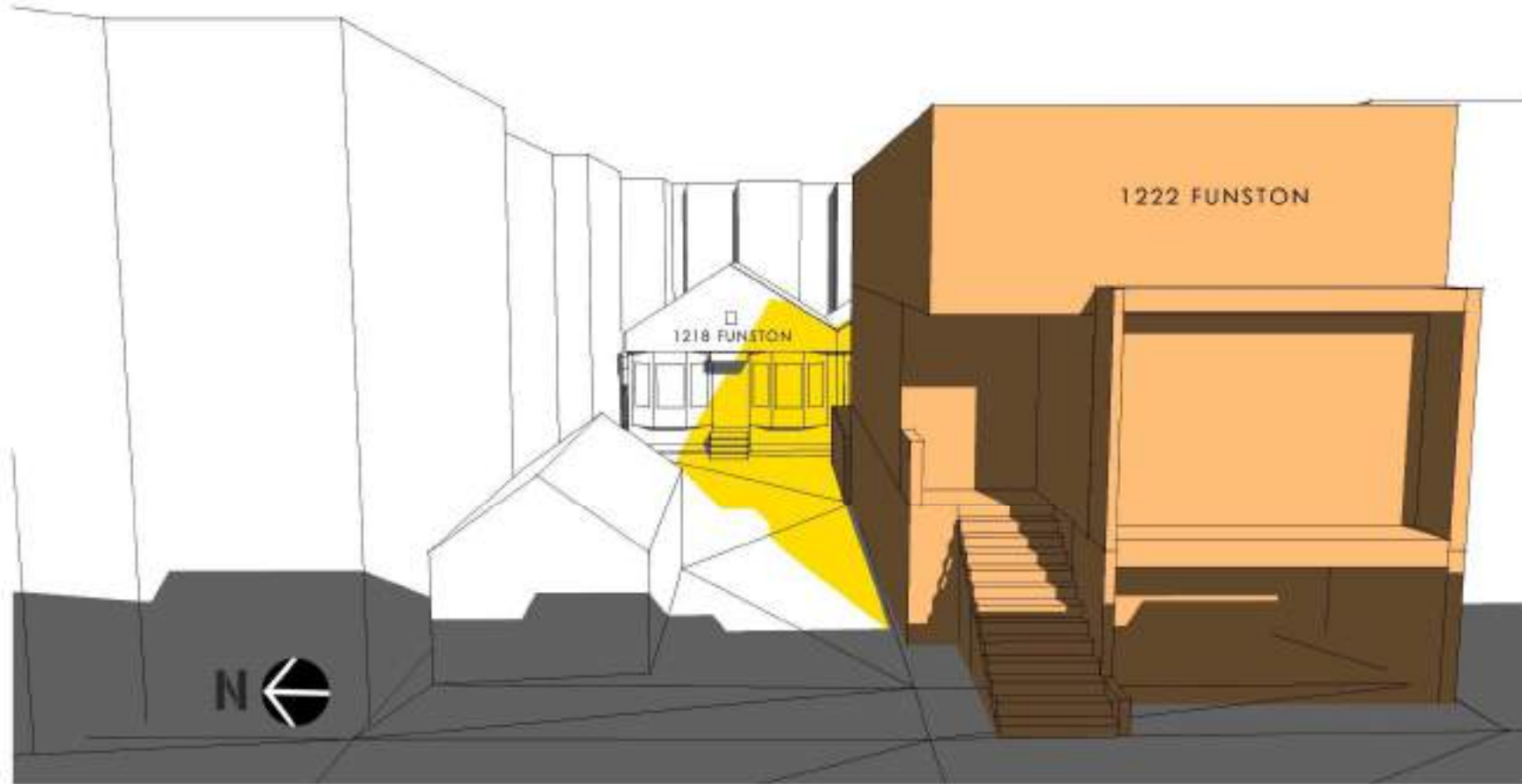
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



PROPOSED PROJECT  
WITH 3 STORIES

EXISTING SHADOWS

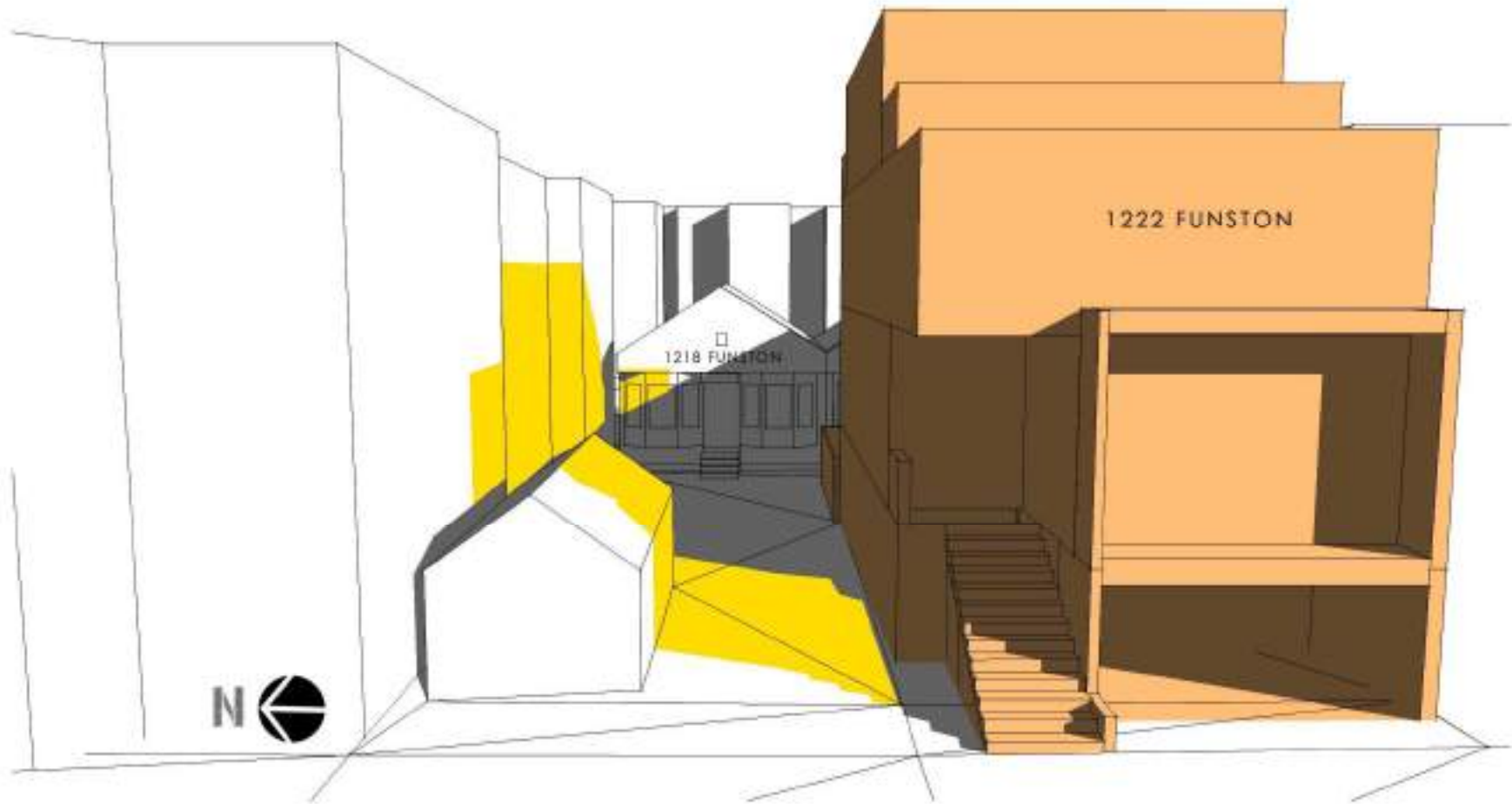
NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



C01

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 02:00 PM [PST]

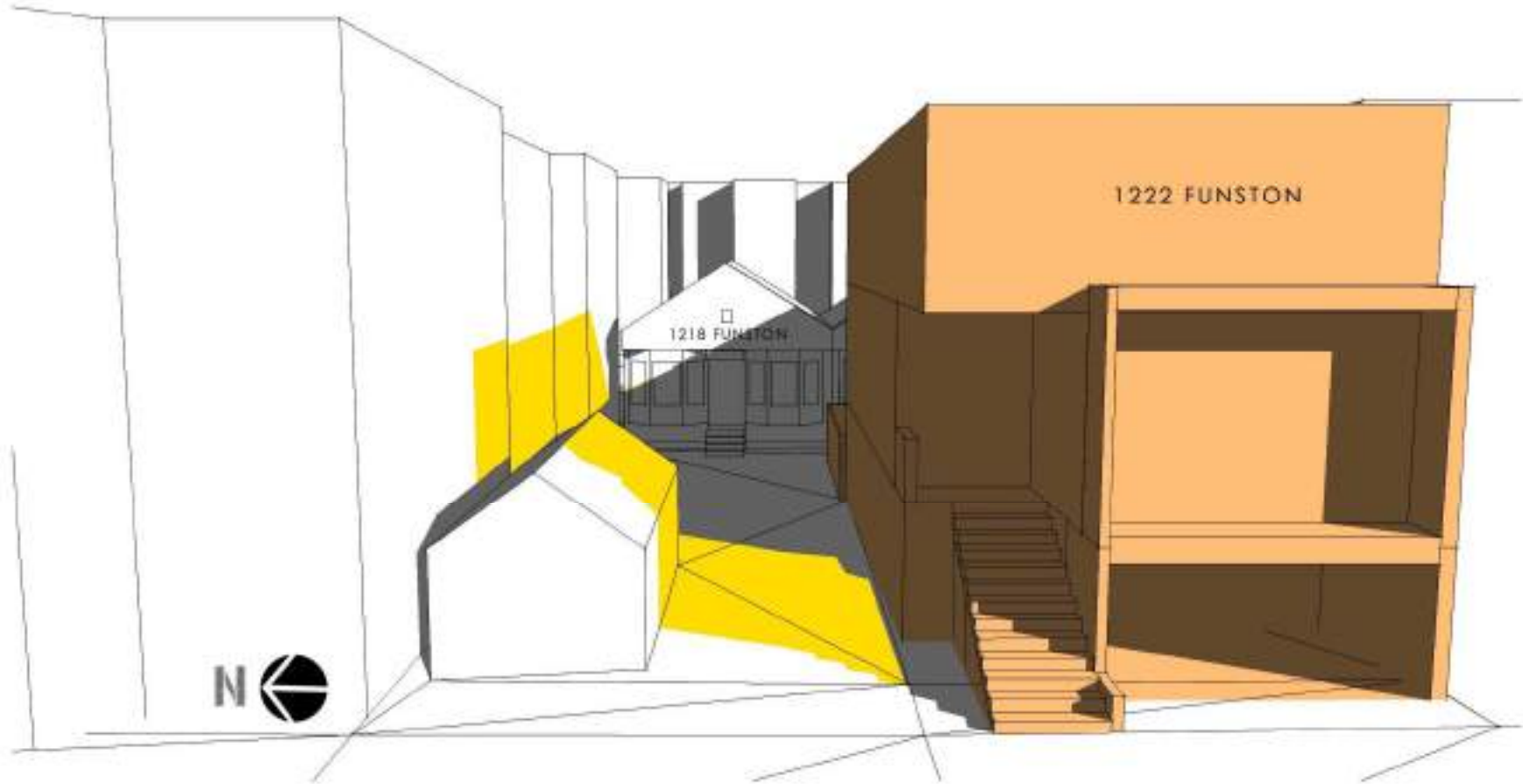


- PROPOSED PROJECT
- EXISTING SHADOWS
- NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C01b

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 02:00 PM [PST]



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C02

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 02:30 PM [PST]



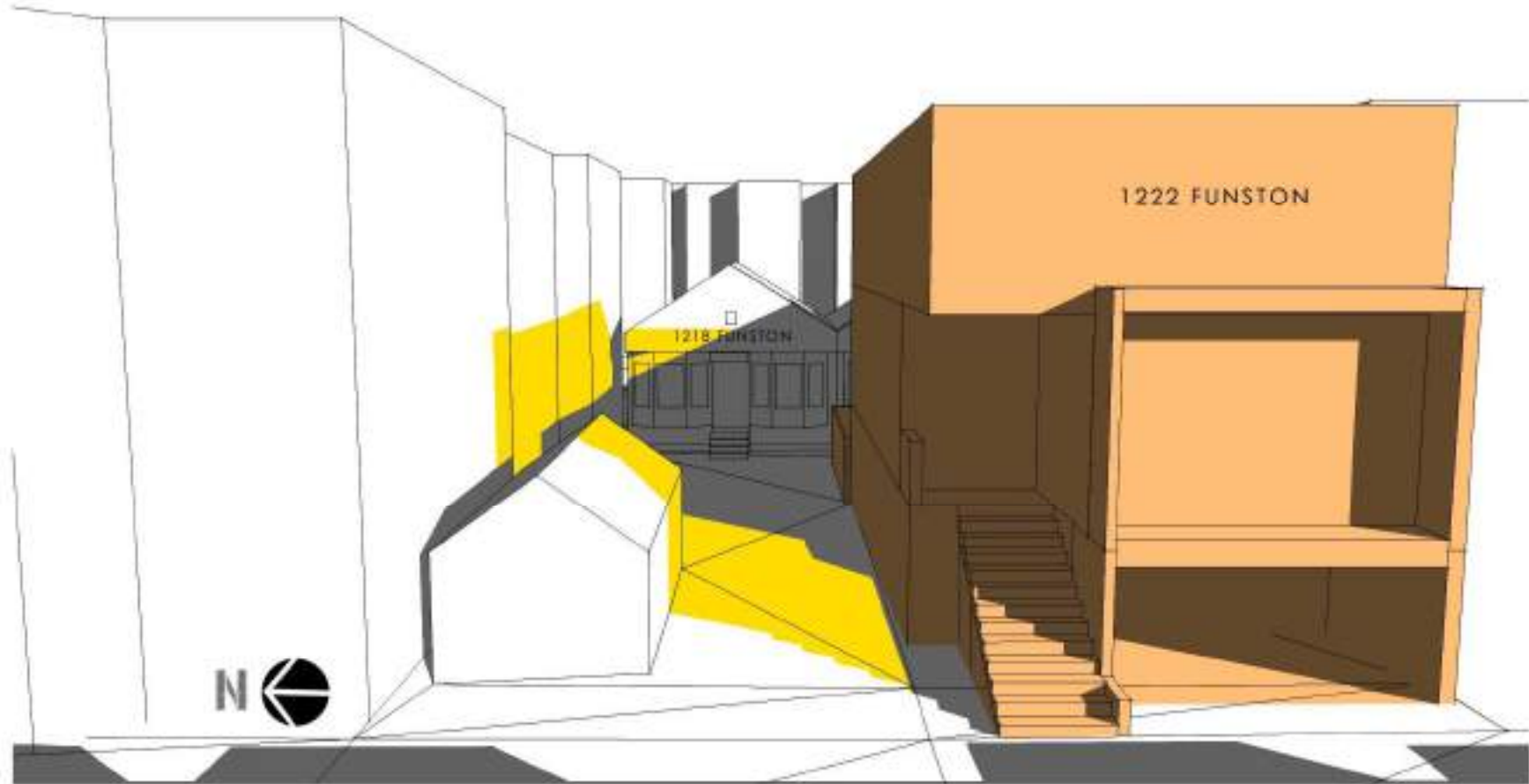
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT WITH 3 STORIES

 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C03

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 03:00 PM [PST]



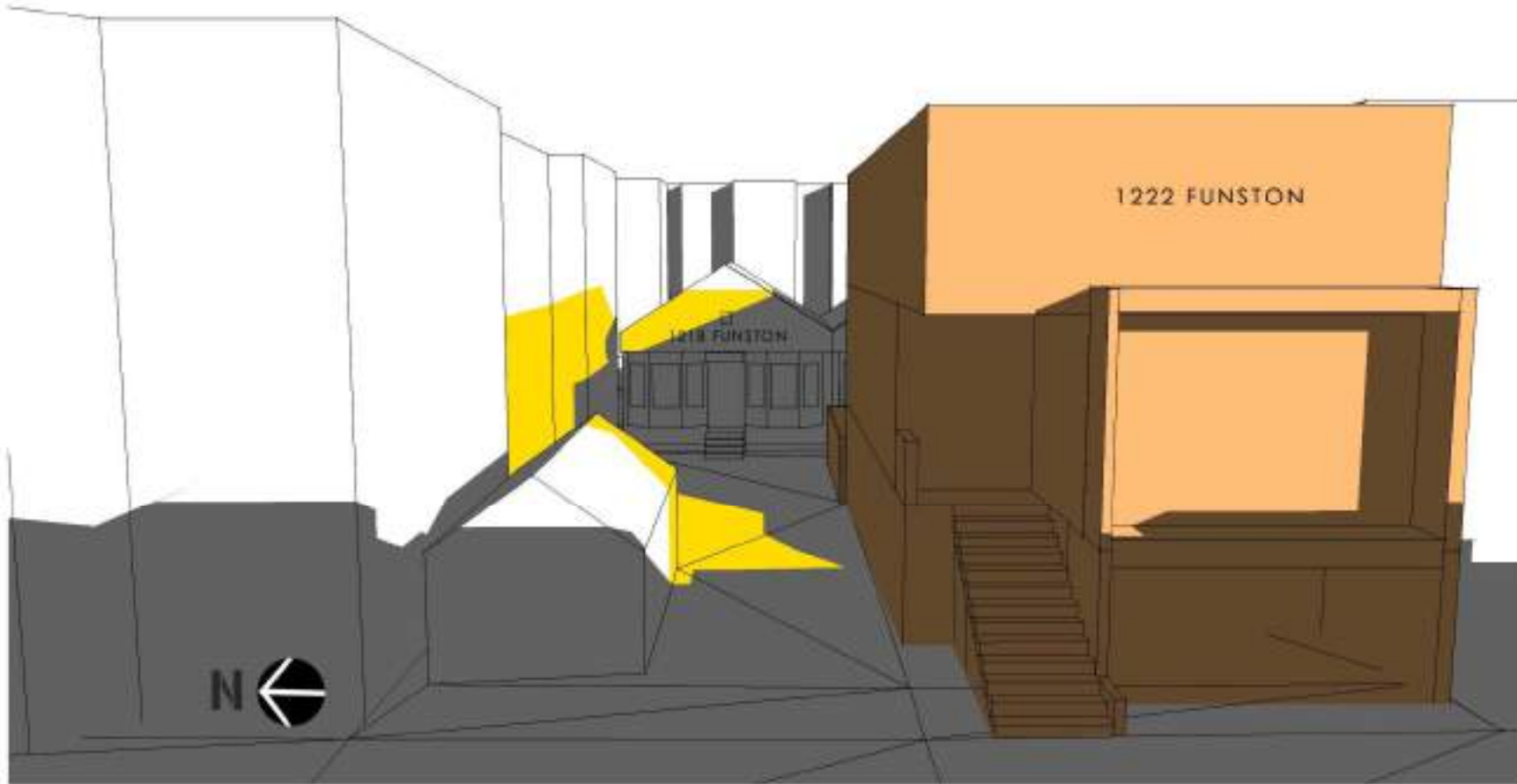
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



 PROPOSED PROJECT WITH 3 STORIES

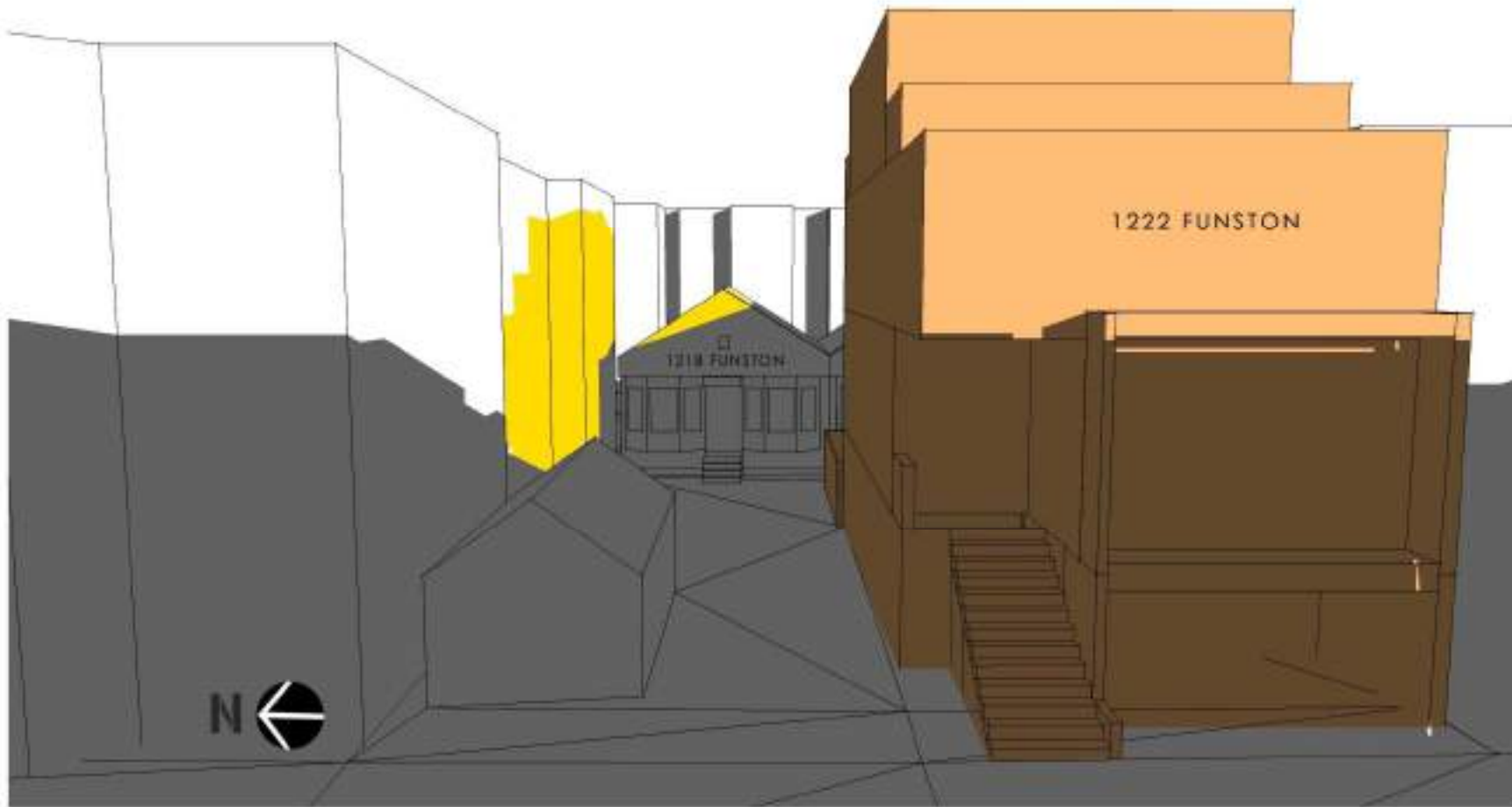
 EXISTING SHADOWS

 NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C04

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 03:30 PM [PST]



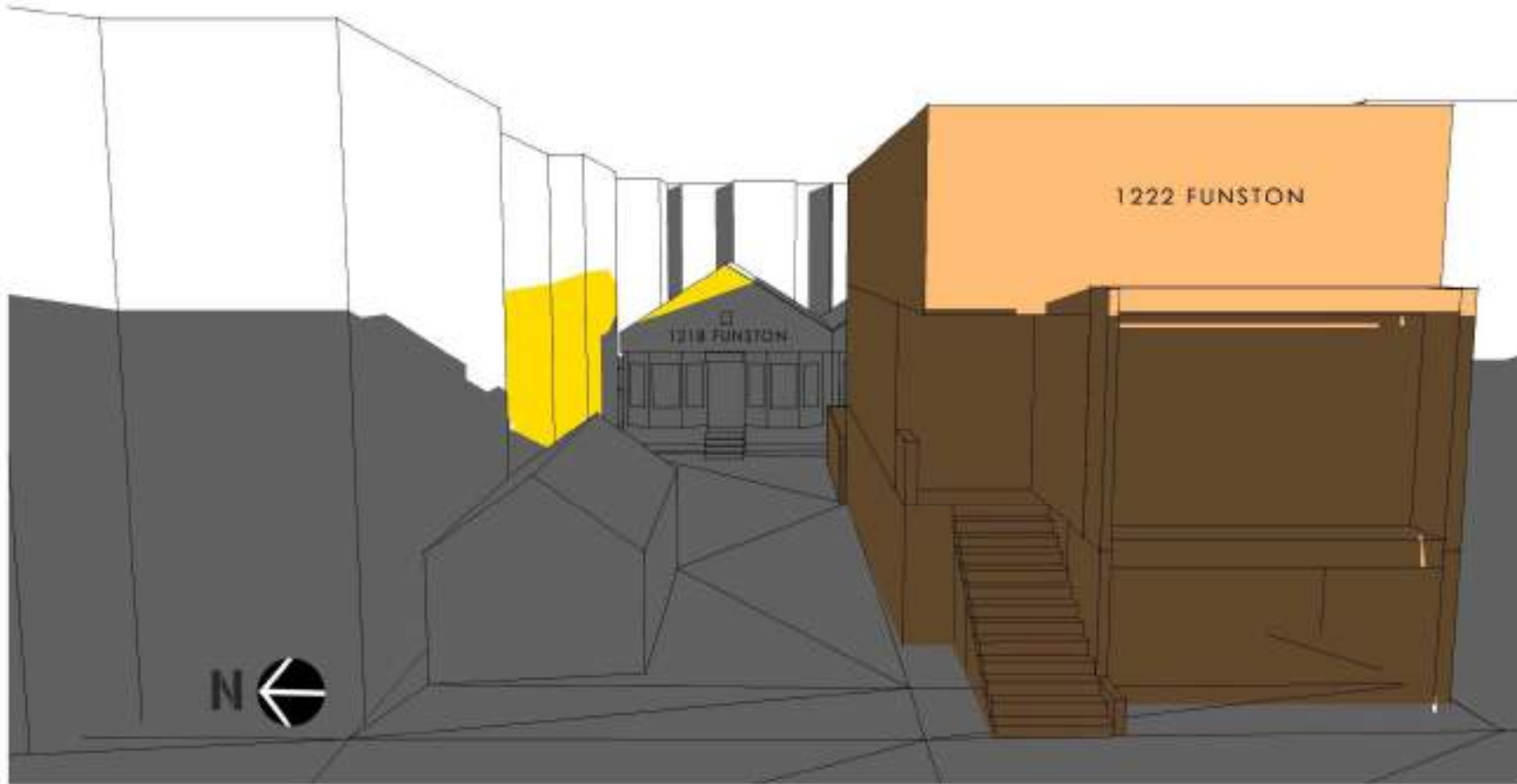
PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



PROPOSED PROJECT WITH 3 STORIES

EXISTING SHADOWS

NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT



C05

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 04:00 PM [PST]



PROPOSED PROJECT



EXISTING SHADOWS



NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

C05b

# WINTER SOLSTICE

DECEMBER 21<sup>ST</sup> 04:00 PM [PST]



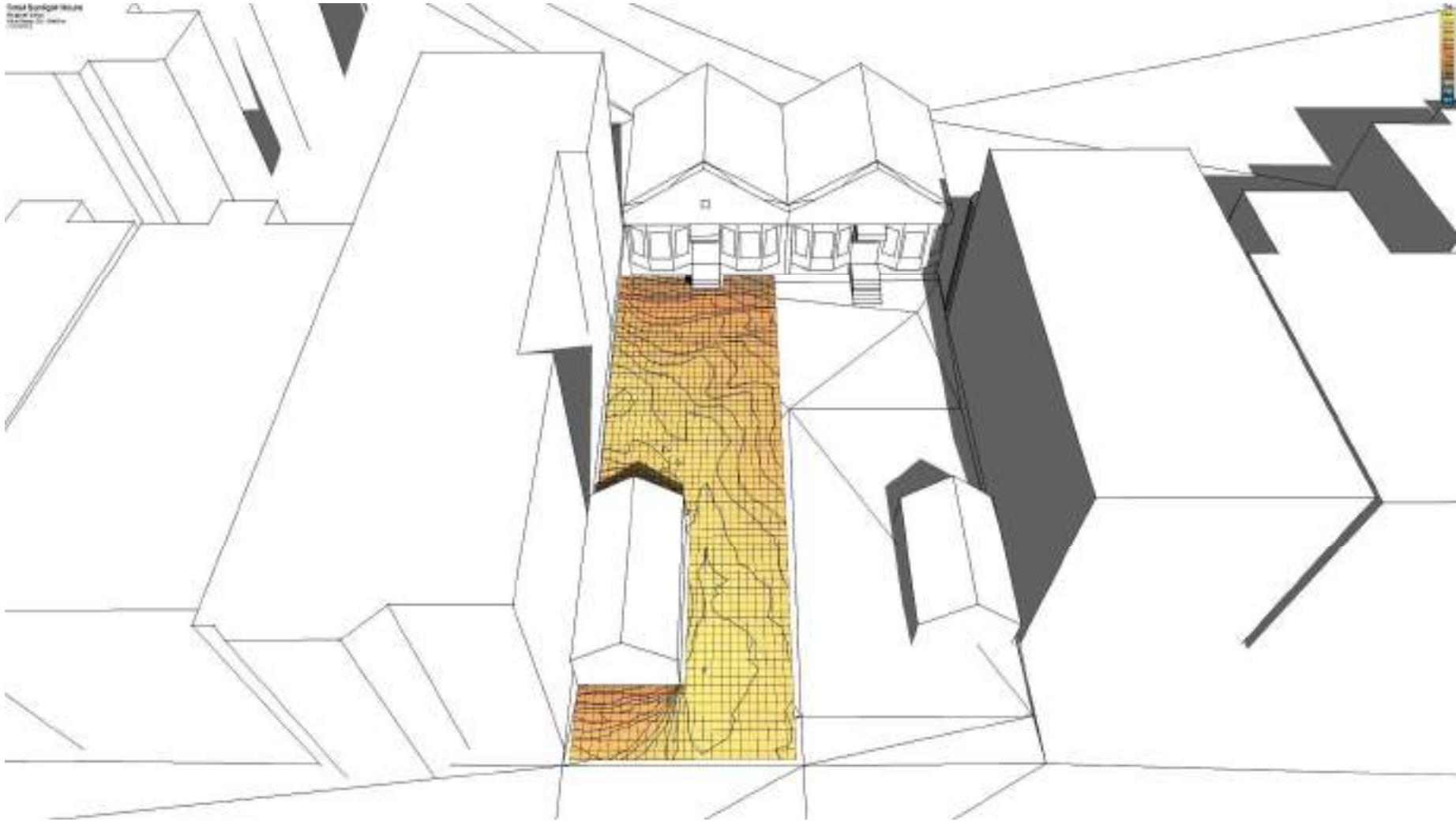
PROPOSED PROJECT WITH 3 STORIES

EXISTING SHADOWS

NEW ADDITIONAL SHADOWS CAUSED BY PROPOSED PROJECT

## SUNLIGHT HOURS IMPACT ON THE YARD

### EXISTING CONDITIONS

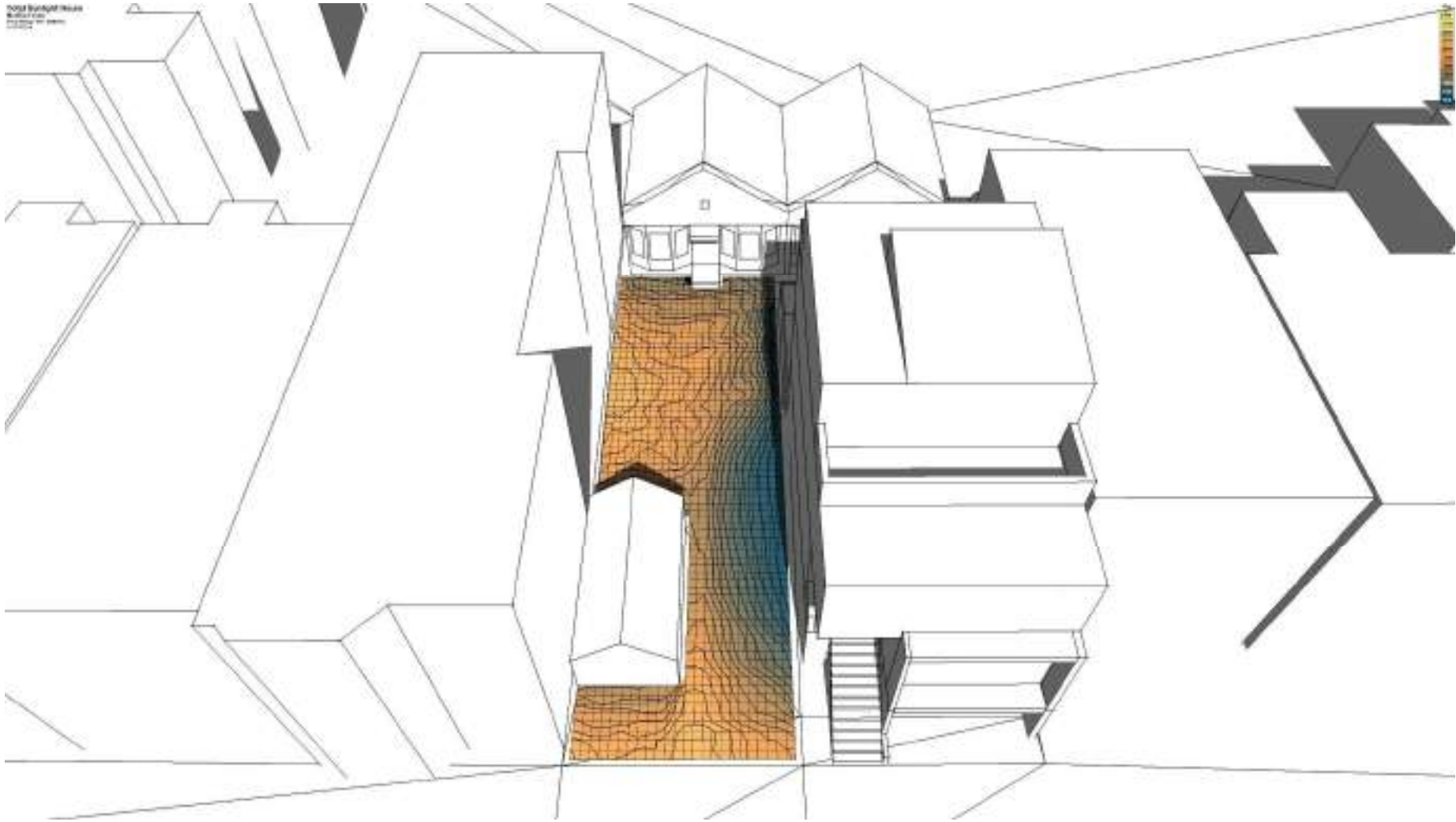


HOURS OF SUNLIGHT/YEAR

3000	2750	2500	2250	2000	1750	1500	1250	1000	750	500
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## SUNLIGHT HOURS IMPACT ON THE YARD

### PROPOSED CONDITIONS

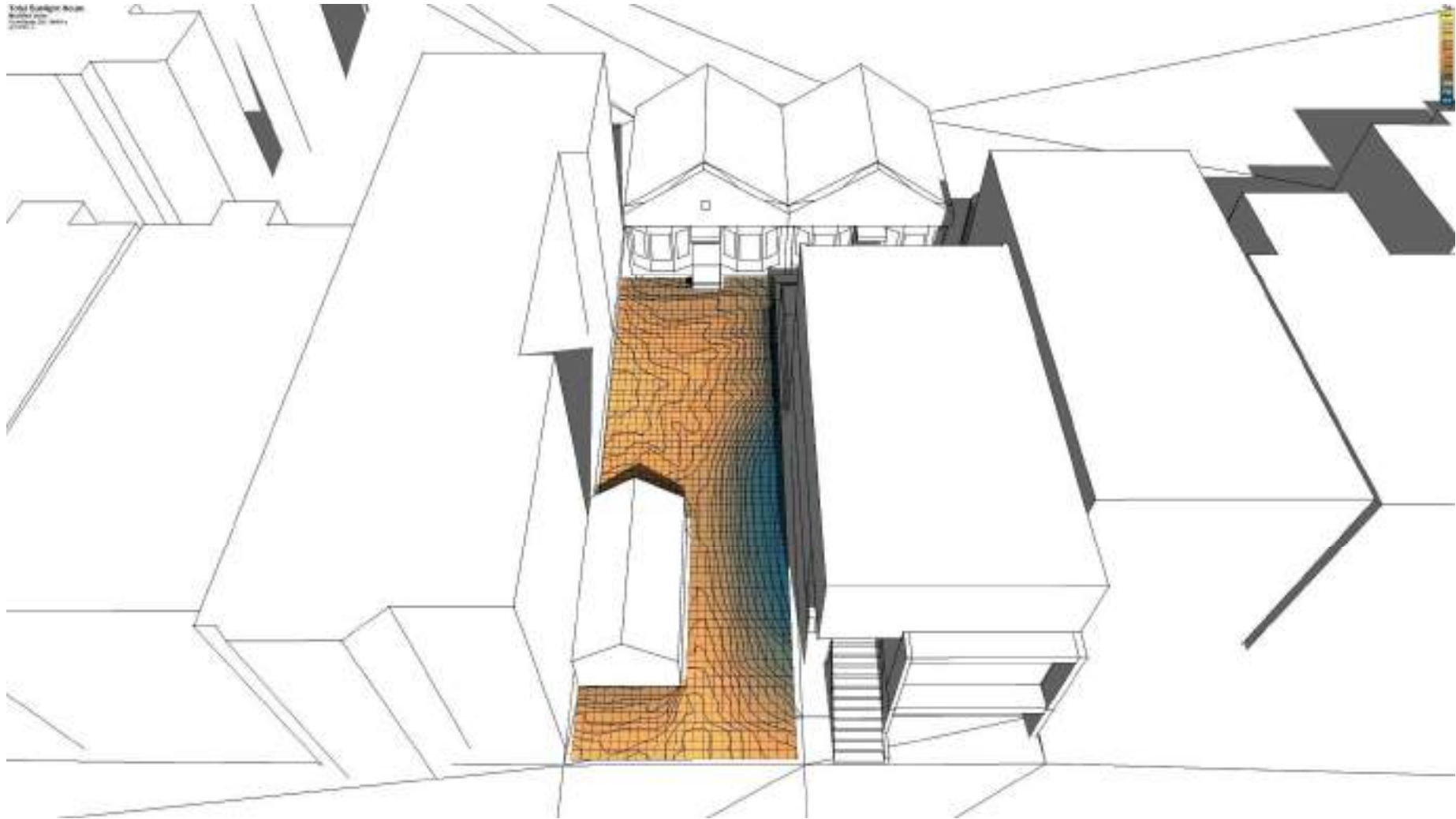


HOURS OF SUNLIGHT/YEAR

3000	2750	2500	2250	2000	1750	1500	1250	1000	750	500
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## SUNLIGHT HOURS IMPACT ON THE YARD

PROPOSED CONDITIONS WITH 3-STORY BUILDING

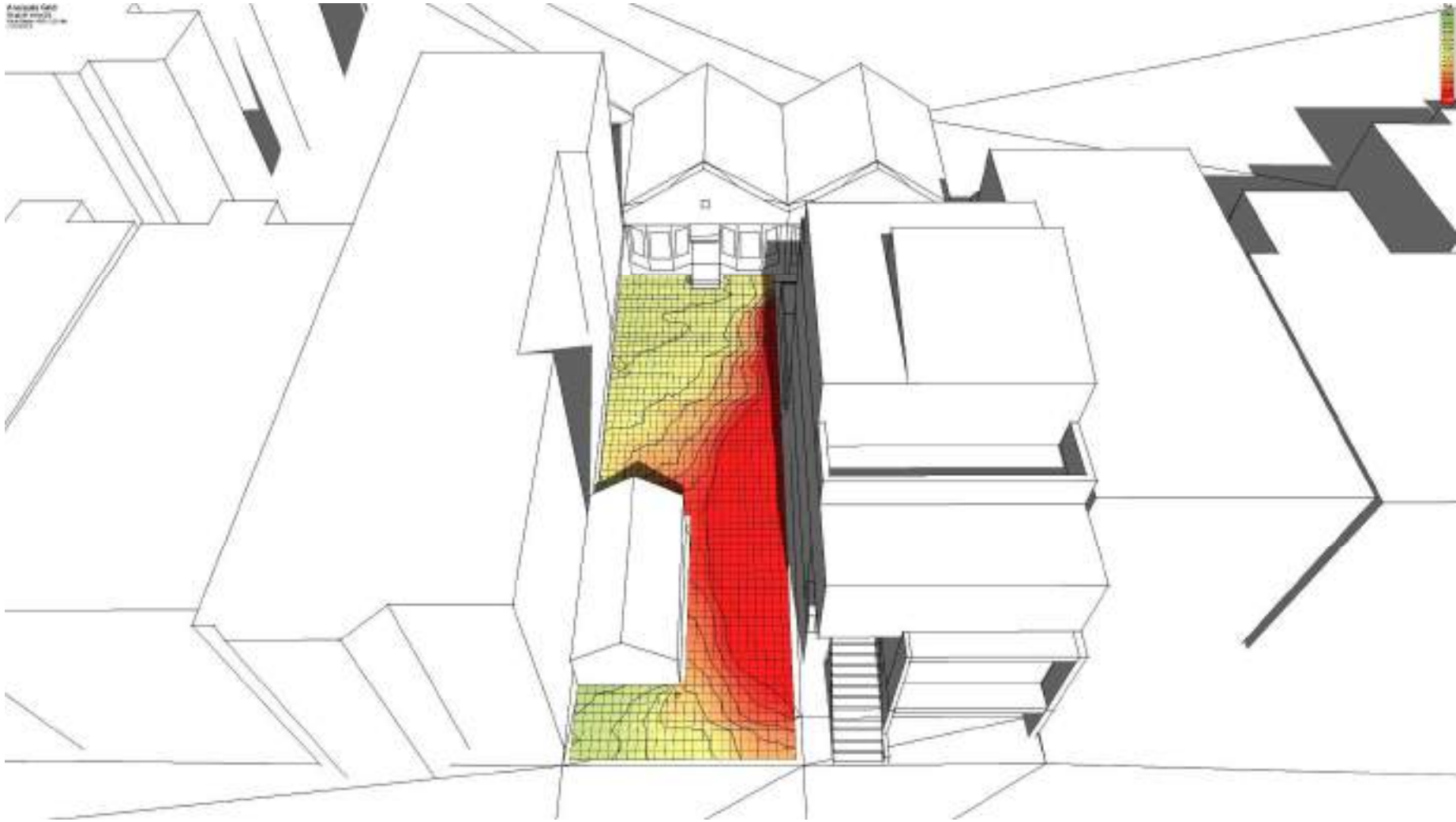


HOURS OF SUNLIGHT/YEAR

3000	2750	2500	2250	2000	1750	1500	1250	1000	750	500
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## SUNLIGHT HOURS IMPACT ON THE YARD

PERCENTAGE DIFFERENCE

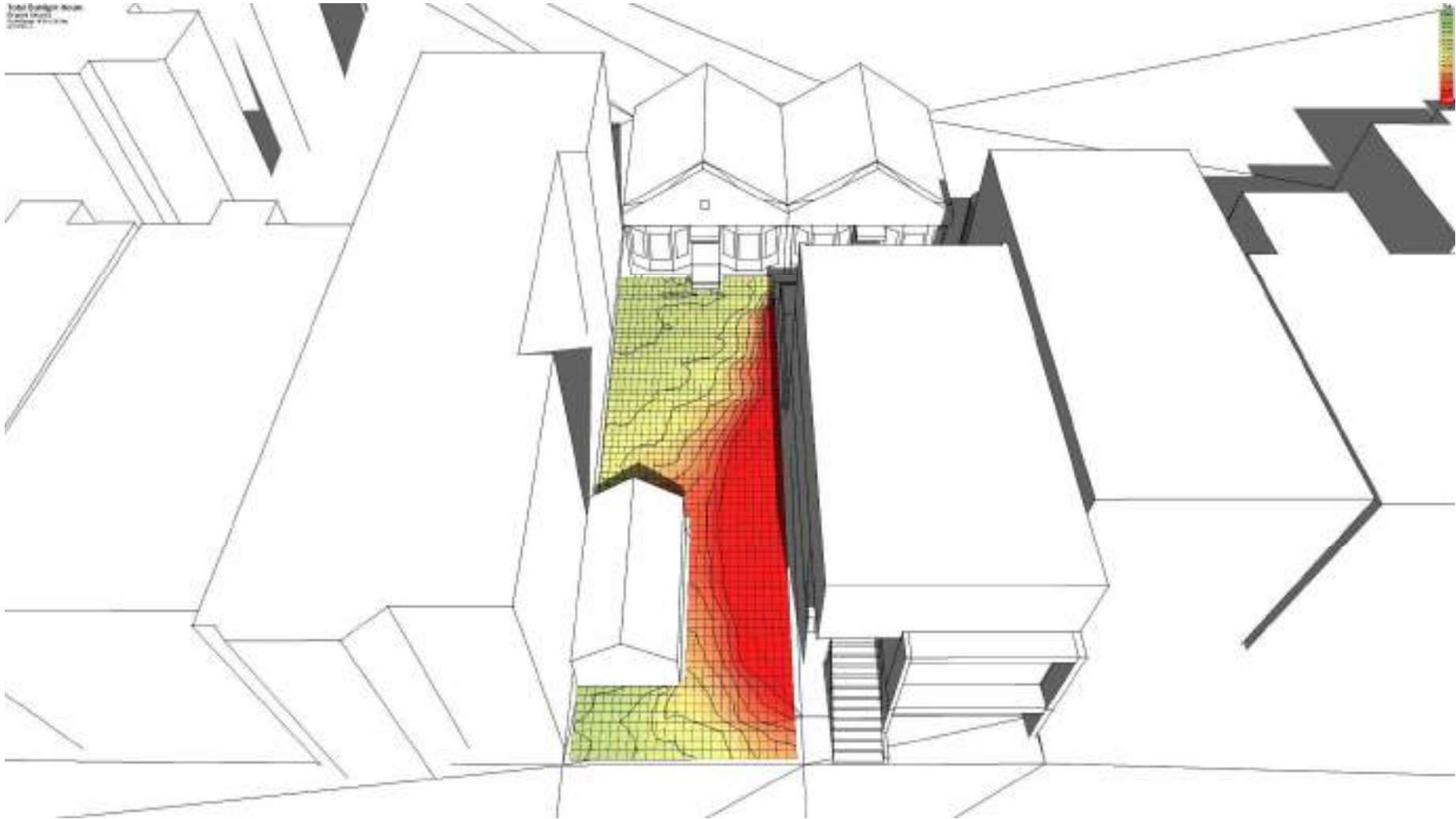


HOURS OF SUNLIGHT/YEAR

0%	-5%	-10%	-15%	-20%	-25%	-30%	-35%	-40%	-45%	-50%+
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## SUNLIGHT HOURS IMPACT ON THE YARD

PERCENTAGE DIFFERENCE WITH 3-STORY BUILDING



HOURS OF SUNLIGHT/YEAR

0%	-5%	-10%	-15%	-20%	-25%	-30%	-35%	-40%	-45%	-50%+
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## **SYMPHYSIS**

Bioclimatic Design Consulting

435 S. ALEXANDRIA AVENUE #308

LOS ANGELES CA 90020

[www.symphysis.net](http://www.symphysis.net)

[info@symphysis.net](mailto:info@symphysis.net)





October 13, 2021

Ms. Rose Feng, Appellant BOA No. 20-061  
 1218 Funston Ave.  
 San Francisco, CA 94122  
 Transmitted by email to:  
[rose\\_ye\\_feng@yahoo.com](mailto:rose_ye_feng@yahoo.com)

**RE: Board of Appeal No 20-061 and your "Issues" and requested "Resolutions"**

Hello Ms. Rose Feng,

We are in receipt of your appeal of our site permit and are preparing for the 10/20/21 Hearing before the Board of Permit Appeals. I want to address your various "Issues and Resolutions" articulated in your brief.

**Issue #1: Height of the Building:**

We cannot agree to remove the top floor and reduce the size of the proposed new home any further. We made several rounds of reductions for the Planning Department, and we have less than 3,000 square feet of living space in the new home at this time. Because of the need to create a reasonable space at the rear between your and our cottages and the back wall of our home, we need that 4<sup>th</sup> floor. We understand and agree that a 3-story home on our lot would cast less shadow on you property, but we simply cannot agree to reduce our proposal further.

That being said, the sponsor of our project, Mr. Kieran Woods, knows as your neighbor, he and you will need to work together on upcoming issues during construction, so he is committing to address your other issues; assuming there are no changes to our 08/04/2021 issued site permit for the 4-story new home on his property:

**Issue #2: Openings on the property line wall:**

We agree to remove all proposed property line windows from our proposal. At the Board of Appeals hearing next week on 10/20/21 we will agree to that change being added as a condition of approval to be affected in our addendum level drawings (full building permit) that will be reviewed by DBI.

**Issue #3: Plumbing system of the proposed building:**

We understand your concern and desire for assurances that our project "will not affect the existing plumbing system at 1218 Funston Avenue in any way." Mr. Woods is in the business of installing infrastructure and he has confirmed the sewer clean out in the sidewalk is in front of your property, not 1222 Funston. That suggests, but does not guarantee, that the sewer line that serves both cottages runs under your property and then does a "Y" to lead separately to each cottage at the rear. Mr. Woods agrees to the following to ensure you have your own sewer:

- If the existing sewer line is on your property, Mr. Woods with your permission will disconnect from it, cap it and it will be for your sole use.
- If the sewer line is found to be on his property at 1222 Funston, Mr. Woods, with your permission, will install a new sewer line for your cottage on your property under your front yard.



- In any case, the plumbing serving 1222 and 1224 Funston Ave will be on that property.

**Issue #4: Common Entry:**

You have asked: "The owner of 1224 Funston Avenue should build a new front yard entrance for the owner of 1218 Funston Avenue before the construction starts." Mr. Woods agrees to move the existing gate or replace it in front of your property as you ask. He will repair the fence or replace as needed to secure your property.

Mr. Woods further offers to provide your parents (or the owners of 1224 Funston Ave.) with a new concrete entry path on your property (the existing one is on both properties); but he requests you grant him access to your property for the purposes of installing his new property line foundations and to erect scaffolding on your property, in order to install siding on his proposed north wall (along the common property line).

We understand that the Board of Appeals hearing is next week 10/20/21, so we may not have time to work out details on our offer here prior to the meeting. Nonetheless this offer is in place, and we will let the Board of Appeals know of our intentions. Should you find our accommodations agreeable and want to withdraw your appeal we would welcome that (however, we are not expecting or counting on you to do so; and we plan to present at the hearing next week).

Sincerely yours,

October 13, 2021

\_\_\_\_\_  
Edward D. Morris, Architect ("Toby")  
Kerman Morris Architects LLP  
(Calif. Architectural License #C24585)

\_\_\_\_\_  
Date

October 13, 2021

\_\_\_\_\_  
Mr. Kieran Woods  
Owner 1222 and 1224 Funston Ave.  
San Francisco, CA 94122

\_\_\_\_\_  
Date

kerman  
morris  
architects llp

139 Noe Street  
San Francisco, CA  
94114  
415.749.0302  
kermanmorris.com

# 1222 FUNSTON AVE

A NEW SINGLE FAMILY HOME



## LOCATION MAP:



Revisions	
R1	11/4/2019
R2	01/15/2020



## BUILDING DATA:

**OWNER:** KERAN WOODS, WOODS FAMILY INVESTMENTS, LP  
415-740-0335

**PROJECT ADDRESS:** 1222 FUNSTON AVE  
SAN FRANCISCO, CA 94122

**BLOCK / LOT:** 1738 / 040

**SFDBI BPA #:** 201812118001

**ZONING DISTRICT:** RH - 2 / 40X

**OCCUPANCY GROUP:** EXISTING: 815 SF GROSS RESIDENTIAL / R-3 OCCUPANCY  
PROPOSED: 4,555 SF GROSS RESIDENTIAL / R-3 OCCUPANCY

**CONSTRUCTION TYPE:** EXISTING: TYPE V-B / 1 STORY  
PROPOSED: TYPE V-B / 4 STORIES / FULLY SPRINKLERED

**ARCHITECT:** KERAN MORRIS ARCHITECTS  
139 NOE STREET  
SAN FRANCISCO, CA 94114  
T: (415) 748-0302



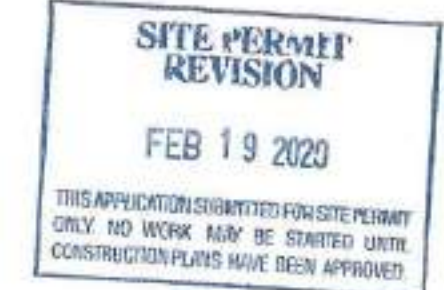
Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Materials, or Use to the Planning Department for resapproval.

## SHEET INDEX

- G0.01 COVER SHEET
- G0.02 NOTES & SQUARE FOOTAGE CALCS.
- G0.03 SITE PHOTOS
- G0.04 SITE SURVEY
- G0.05 EGRESS PATH OF TRAVEL & WATER FLOW
- G0.06 GREEN BUILDING SITE PERMIT SUBMITTAL FORM - GSI
- G0.10 MASSING IMAGES
- AE1.01 EXISTING / DEMO SITE PLAN
- AE1.02 EXISTING FIRST FLOOR PLAN
- AE1.03 EXISTING ELEVATIONS
- AE1.04 EXISTING SECTION
- A1.01 PROPOSED SITE PLAN
- A2.01 FIRST & SECOND FLOOR PLANS
- A2.02 THIRD & FOURTH FLOOR PLANS
- A2.03 ROOF PLAN
- AS.01 EXTERIOR ELEVATIONS - WEST (FRONT)
- AS.02 EXTERIOR ELEVATIONS - EAST (REAR)
- AS.03 EXTERIOR ELEVATIONS - NORTH
- AS.04 EXTERIOR ELEVATIONS - SOUTH
- A7.01 BUILDING SECTIONS
- A7.02 BUILDING SECTIONS
- A7.03 BUILDING SECTIONS
- A10.01 WALL PARTITIONS



Reviewed by Fire Dept. MAY 27 2021



REVIEWED BY FIRE DEPT. FIRE DEPT INSPECTIONS NOT REQUIRED

## DESCRIPTION OF WORK

THE PROJECT PROPOSES DEMOLITION OF AN EXISTING 1 STORY GARAGE AND CONSTRUCTION OF A 4 STORY SINGLE FAMILY RESIDENCE AT THE FRONT OF THE LOT. THE EXISTING COTTAGE IN THE REAR OF THE LOT IS TO REMAIN WITH NO WORK PROPOSED UNDER THIS PERMIT. A FRONT YARD VARIANCE IS PROPOSED.

ALL WORK TO COMPLY WITH CURRENT LOCAL AND STATE CODES INCLUDING, BUT NOT LIMITED TO: THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA FIRE CODE, THE CURRENT EDITIONS OF THE SAN FRANCISCO BUILDING AND PLANNING CODES, TITLE-24 ENERGY STANDARDS, ETC...

David Jones, DBI  
MAY 06 2021

## SITE PERMIT R1

FOR 311 NOTIFICATION AND VARIANCE

Rev. 11/4/2019

SFDBI BPA#: 201812118001

REVISED 1/15/2020 WITH BUILDING SHIFTED TOWARDS STREET

## COVER SHEET

DATE	11/29/2018
SCALE	As Indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

G0.01

## ABBREVIATIONS

# NUMBER	FON FOUNDATION	R RISER
@ AT	FIN FINISH	REF REFERENCE
AB ANCHOR BOLT	FLR FLOOR	REFR REFRIGERATOR
ADJ ADJACENT	FLUR FLOURESCENT	RWD REDWOOD
ALT ALTERNATE	FOC FACE OF CONCRETE	REINF REINFORCED
AFF ABOVE FINISH FLOOR	FOS FACE OF STUD	RO ROUGH OPENING
APPRX APPROXIMATE	FTG FOOTING	RWL RAIN WATER LEADER
ASPH ASPHALT	FOF FACE OF FINISH	REQ REQUIRED
BLDG BUILDING	GALV GALVANIZED	SM SIMILAR
BTWN BETWEEN	GFIC GROUND FAULT	SHT SHEET
BOT BOTTOM	INT INTERRUPT CIRCUIT	SOG SLAB ON GRADE
CAB CABINET	GND GROUND	SPEC SPECIFICATION
CEM CEMENT	GYP GYPSUM	STD STANDARD
CLR CLEAR	GWB GYPSUM WALL BOARD	STR STRUCTURAL
CMU CONCRETE MASONRY UNIT	HORZ HORIZONTAL	SUSP SUSPENDED
COL COLUMN	HT HEIGHT	SYM SYMMETRICAL
CONT CONTINUOUS	INSUL INSULATION	TRD TREAD
CTR CENTER	INT INTERIOR	T&G TONGUE AND GROOVE
CL CENTER LINE	IT JOINT	TRK TRUCK
CER CERAMIC	LAV LAVATORY	TOS TOP OF SLAB
CLD CEILING	MAX MAXIMUM	TP TOILET PAPER
CONC CONCRETE	MIN MINIMUM	TB TOWEL BAR
CONC CONCRETE	MFR MANUFACTURER	TYP TYPICAL
DBL DOUBLE	MTL METAL	UNLESS OTHERWISE NOTED
DEPT DEPARTMENT	(N) NEW	VERT VERTICAL
DA DIAMETER	NIC NOT IN CONTRACT	VERT VERTICAL
DF DOUGLAS FIR	NUM NUMBER	VAPOR PERMEABLE FLUID
DH DOUBLE HUNG	NTS NOT TO SCALE	APPLIED MEMBRANE
DM DIMENSION	OC ON CENTER	WITH
DN DOWN	OPNG OPENING	WITHOUT
DS DOWNSPOUT	OPP OPPOSITE	W/O WATER CLOSET
DTL DETAIL	PL PROPERTY LINE	WC WINDOW
DWG DRAWING	PLY PLYWOOD	WDP WATERPROOF
(E) EXISTING	PTDF PRESSURE TREATED DOUGLAS FIR	WP WEIGHT
EA EACH	PLAM PLASTIC LAMINATE	WT WOOD
ELEC ELECTRICAL	PTN PARTITION	WO WATER HEATER
EL ELEVATION		
EQ EQUAL		
EXT EXTERIOR		

## GENERAL LEGEND

- BUILDING / WALL SECTION
- EXTERIOR ELEVATION
- COLUMN LINE
- ELEVATION MARKER
- CENTER LINE
- PROPERTY LINE
- WALL TYPE PARTITION
- KEYNOTE
- DOOR TAG

SFPUC Sign off on Job Card REQUIRED PRIOR TO DEMOLITION CALL (628) 271-2000 TO SCHEDULE

By: *[Signature]*  
Preston Chew, SFPUC

SFPUC - Please be advised  
Your plans and fixtures count indicate a larger water meter is required. Please apply for a water meter upgrade at SFPUC New Service Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102, Telephone: (415) 551-2000.

SFPUC Capacity Charges  
See attached SFPUC Capacity Charge Invoice for total amount due. Dtl will collect charges.

By: *[Signature]*  
Bill Tom

I, Eduardo Paniagua, owner of 1228 Funston Avenue, which abut 1222 Funston Ave, have seen these drawings dated 01/15/2020 for a proposed single family home on that lot adjacent to my property. I am in support of the changes indicated here.

*[Signature]*

2018.12.11.8001 SFR

NEARBY PROPERTY:  
1216 FUNSTON AVE  
BL1738 / LOT 042

ADJACENT PROPERTY:  
1218 FUNSTON AVE  
BL 1738 / LOT 041

SUBJECT PROPERTY:  
1222 FUNSTON AVE  
BL1738 / LOT 040

ADJACENT PROPERTY:  
1228 FUNSTON AVE  
BL1738 / LOT 039



1222 FUNSTON AVE: BUILDINGS ON THE SAME SIDE OF THE STREET

APPROVED  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021  
*[Signature]*  
DEPT. OF BUILDING INSPECTION

*[Signature]*  
FEB 04 2020  
Approved Planning Dept. Catherine Campbell

SITE PERMIT  
REVISION  
FEB 19 2020  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP. NO REUSE, REPRODUCTION, OR CONSTRUCTION SHALL BE PERMITTED WITHOUT THE WRITTEN PERMISSION OF KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP.

km  
kieran  
woods  
architects llc  
139 Pine Street  
San Francisco, CA  
94111  
415 749 0300

Revisions  
R1 11/4/2019



1241 FUNSTON AVE



1222 FUNSTON AVE: BUILDINGS ON THE FACING SIDE OF THE STREET

NEARBY PROPERTY:  
1216 FUNSTON AVE  
BL1738 / LOT 042

ADJACENT PROPERTY:  
1218 FUNSTON AVE  
BL 1738 / LOT 041

SUBJECT PROPERTY:  
1222 FUNSTON AVE  
BL1738 / LOT 040



EXISTING COTTAGES AT 1222 AND 1218 FUNSTON



EXISTING 1222 FUNSTON COTTAGE

1222  
FUNSTON AVE

BLOCK 1738 / LOT 040  
SFFDBI BPA. 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

NOTICE

These drawings and specifications are the property and copyright of Kieran/Morris Architects and shall not be used on any other work except by written agreement with Kieran/Morris Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kieran/Morris Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show finished and only representative/typical details.

All attachments, connections, fastenings, etc. are to be properly secured in accordance with best practice, and the Contractor shall be responsible for providing and installing them.

SITE PHOTOS

DATE 11/20/2018

SCALE

DRAWN BY Author

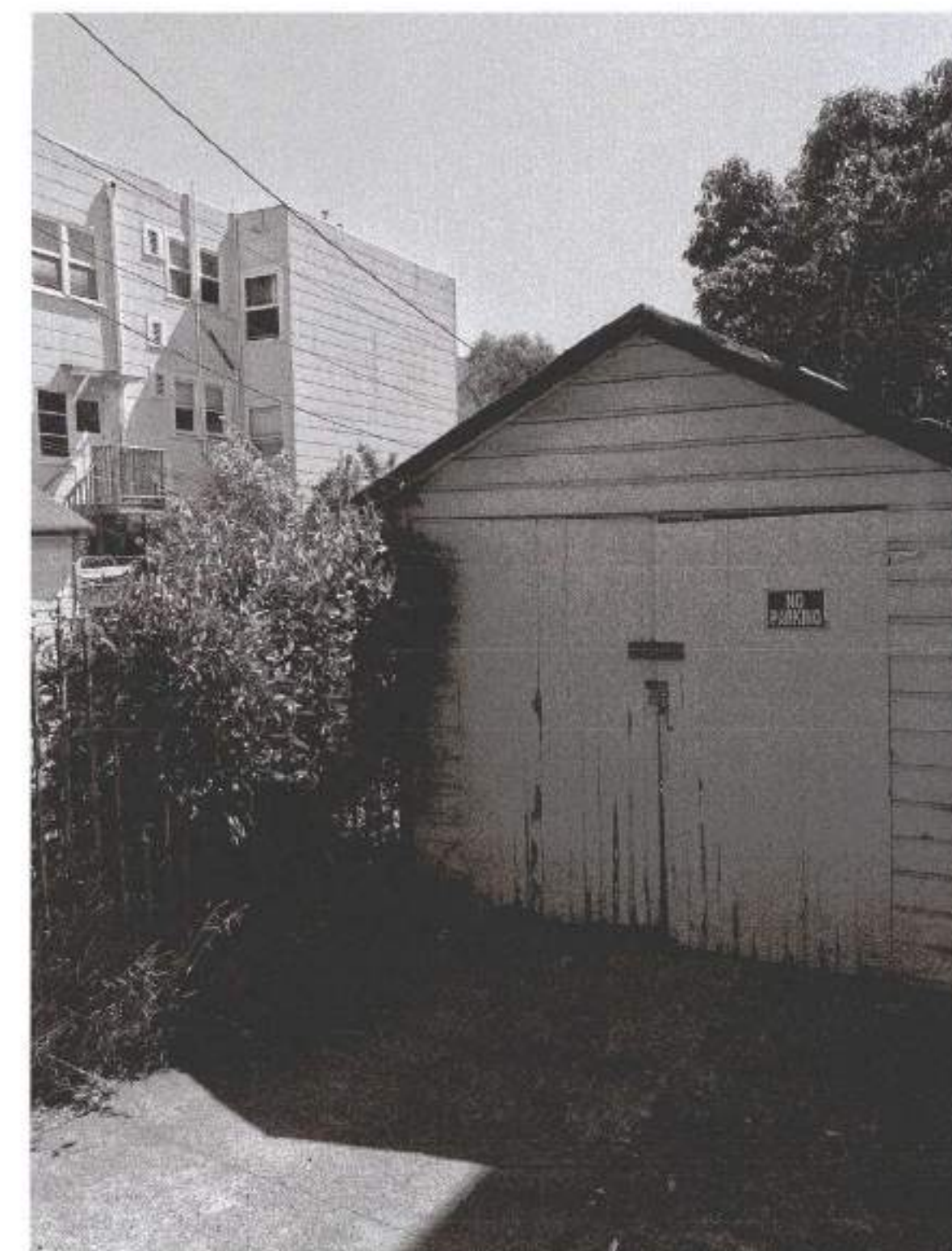
CHECKED BY Checker

JOB NO.

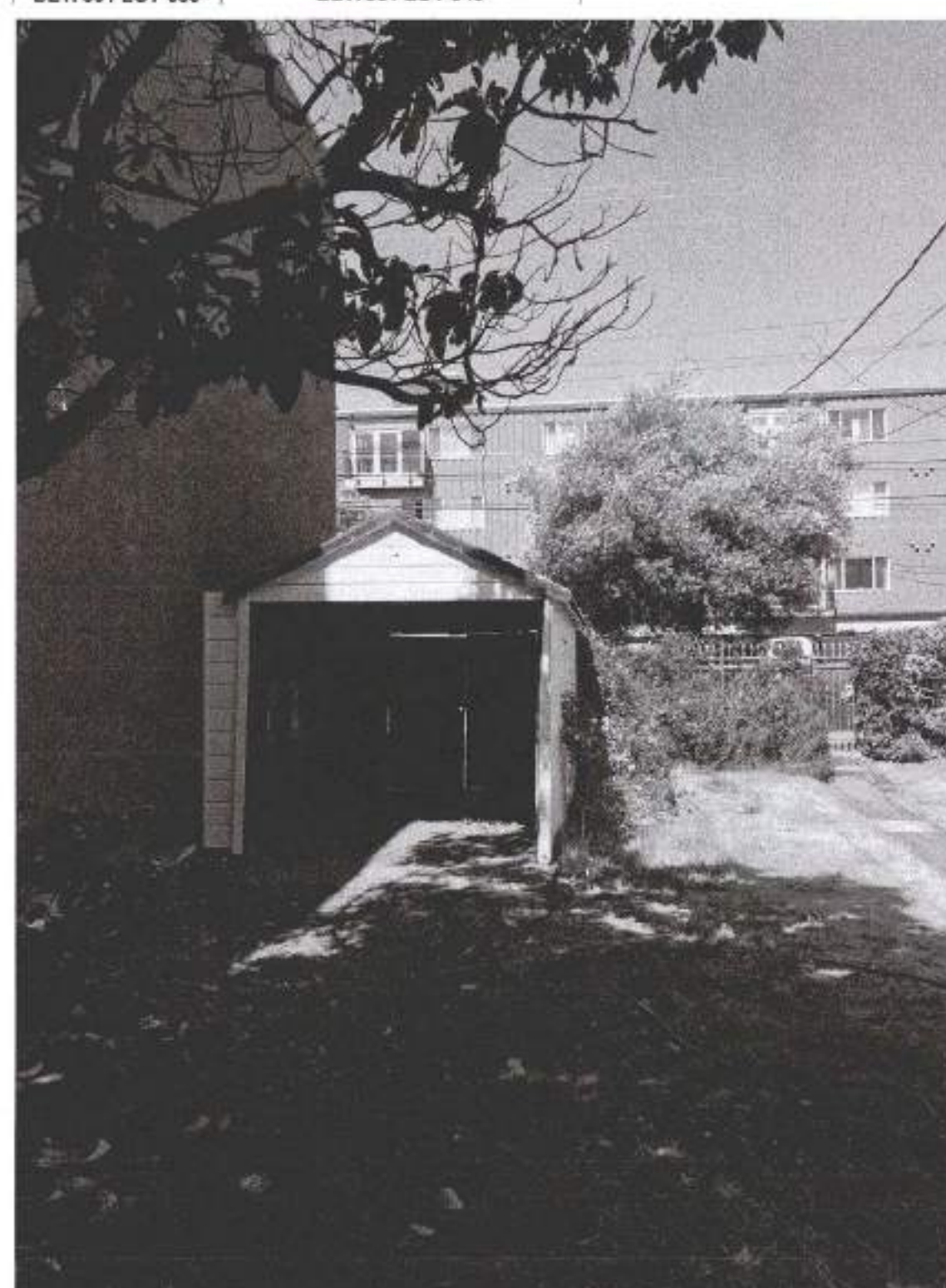
G0.03

ADJACENT PROPERTY:  
1228 FUNSTON AVE  
BL1738 / LOT 039

SUBJECT PROPERTY:  
1222 FUNSTON AVE  
BL1738 / LOT 040



EXISTING GARAGE AT 1222 FUNSTON TO DEMOLISH



1222 FUNSTON AND 1218 FUNSTON

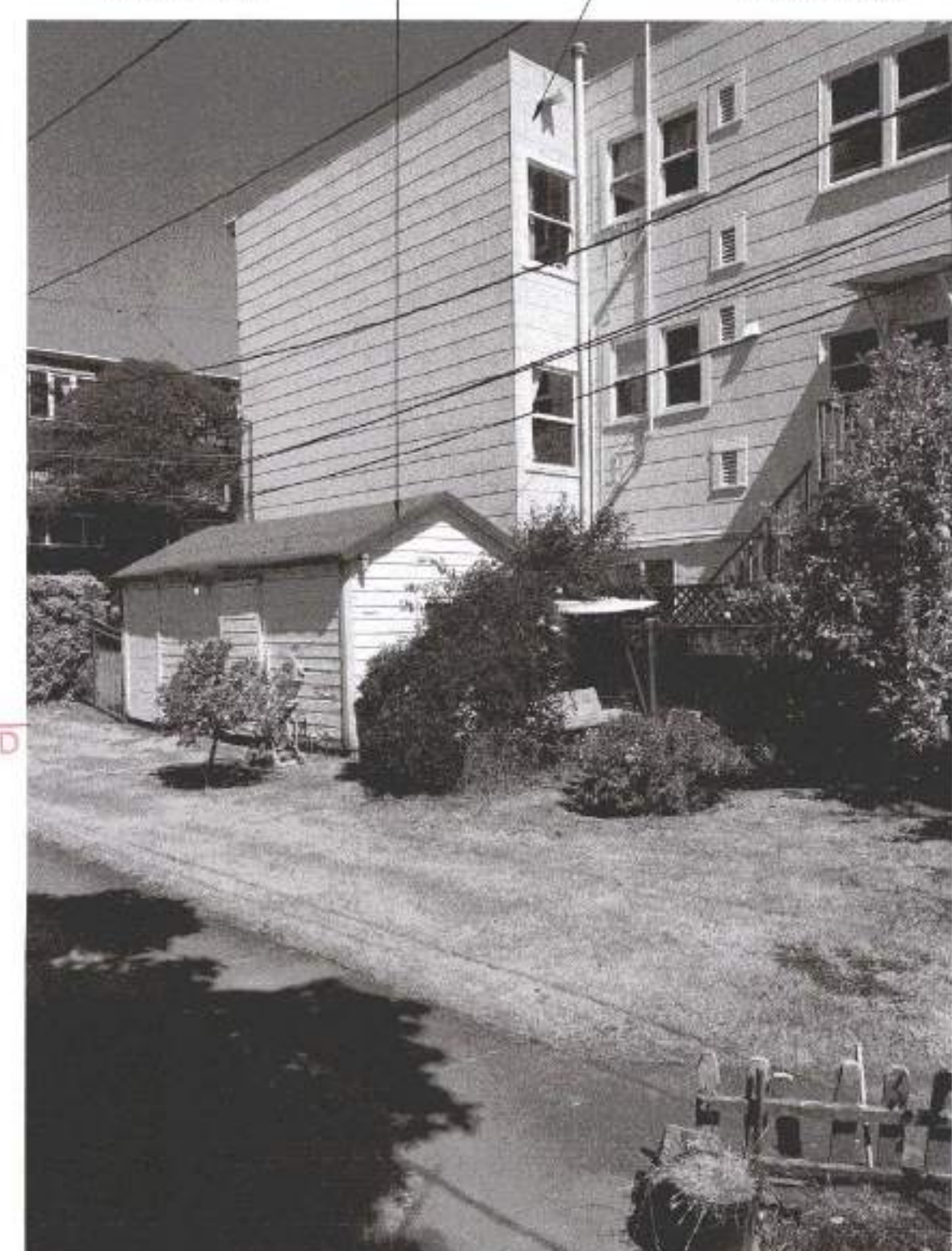


Bruce Samson, SFFD  
MAY 27 2021

David Jones, DAI  
MAY 05 2021

ADJACENT PROPERTY:  
1216 FUNSTON AVE  
BL 1738 / LOT 041

NEARBY PROPERTY:  
1216 FUNSTON AVE  
BL1738 / LOT 042



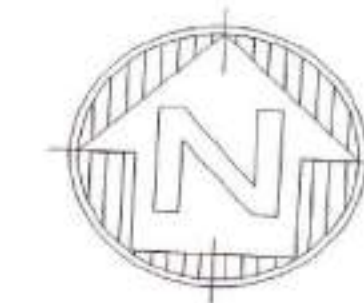


**NOTE TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:**

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR KIERAN WOODS AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.
5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 4 ABOVE.
7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

**LEGEND**

- ADJ ADJACENT BUILDING
- ASN ASSESSOR'S PARCEL NUMBER
- ASP ASPHALT
- BK BACK OF WALK
- BW BOTTOM OF WALL
- CNC CONCRETE
- COR CORNER
- EC EDGE OF CONCRETE
- ELB ELECTRIC BOX
- FF FOUNDATION
- FF FINISHED FLOOR
- FL FLOW LINE
- GB GRADE BREAK
- GM GAS METER
- GND GROUND
- GV GAS VALVE
- MB MAILBOX
- NF NOW OR FORMERLY
- PHL PROPERTY LINE
- RF ROOF
- RFP ROOF PEAK
- RFPF ROOF PARAPET
- SDI STORM DRAIN INLET
- SCO SANITARY SEWER CLEAN OUT/VENT
- TC TOP OF CURB
- TW TOP OF WALL
- WM WATER METER
- SS SANITARY SEWER LINE
- OHE OVERHEAD ELECTRIC LINE
- Ø DIAMETER
- ELEV DESC SPOT ELEVATION
- TREE TREE



1" = 0' 4" 8" 12" 16" 20" 24"  
SCALE: 1/8" = 1'-0"

**BOUNDARY NOTES:**

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

**DATE OF FIELD SURVEY:**

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES, INC. ON JUNE 16, 2018.

**SURVEY REFERENCE:**

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:  
APN 1738-040, RECORDED OCTOBER 10, 2017, DOCUMENT NUMBER 2017-K523795-00.

**UTILITY NOTE:**

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

**PROJECT BENCHMARK - DESCRIPTION:**

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF LINCOLN WAY AND 12TH AVENUE. ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. S.E. CORNER, + CUT ASW @ BLDG.  
ELEVATION = 237.624'

**GENERAL NOTE:**

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIFTLINES THEREOF.

**PRELIMINARY  
FOR REVIEW PURPOSES  
ONLY**

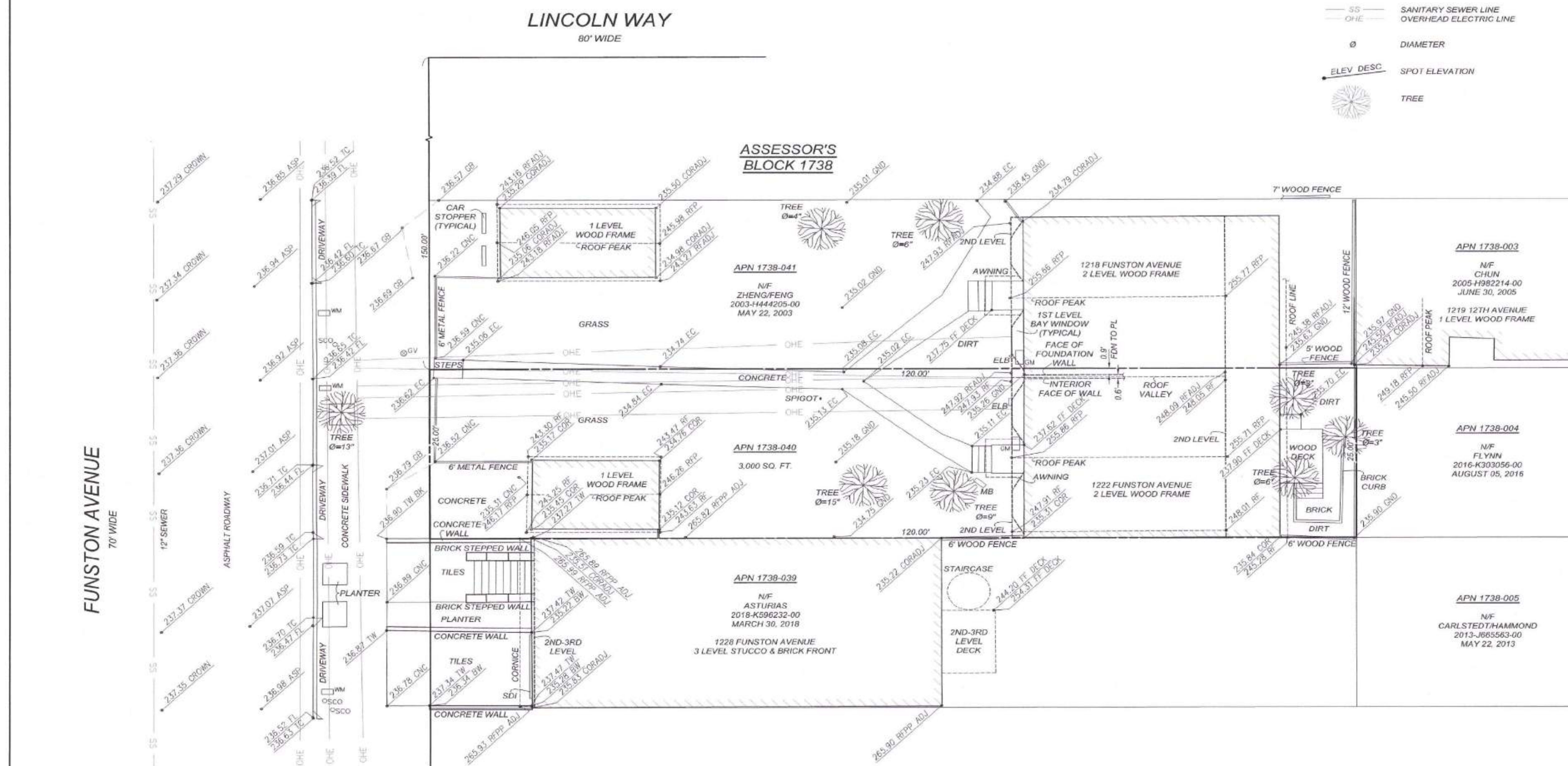
**SURVEYOR'S STATEMENT:**

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

DATE: **AUG 04 2021**  
**APPROVED**  
Dept. of Building Insp.  
San Francisco  
INTERIM DIRECTOR  
DEPT. OF BUILDING INSPECTION

FREDERICK T. SEHER, PLS  
LICENSE NO. 6216

**FEB 04 2020**  
Kernan Morris Architects  
Planning Dept. Cathleen Campbell



DATE:	JULY 2018	▲
SCALE:	1" = 8'	▲
DRAWN BY:	FC	▲
DRAWING NAME:	2144-1B	▲
SURVEYED BY:	F.T.S.	▲
CHECKED BY:	EF	▲
CHECKED BY:		▲
	NO	BY
	DATE	REVISIONS



**FREDERICK T. SEHER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS  
SURVEYING & MAPPING  
841 LOMBARD STREET, SAN FRANCISCO, CA 94133  
(415) 921-7690 FAX (415) 921-7655

**ARCHITECTURAL SITE SURVEY**  
**ASSESSOR'S PARCEL NUMBER 1738-040**  
**1222 FUNSTON AVENUE, SAN FRANCISCO, CA**

SHEET  
**1**  
OF 1 SHEETS  
JOB NO.  
2144-1B

**1222 1/2  
FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDBI BPA. 201812116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative details.

All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

SITE SURVEY

DATE 11/20/2018

SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**GO.04**

Bruce Samson, SFPD  
MAY 27 2021

David Jones, Dal  
MAY 06 2021

**SITE REVISION**  
REVISION  
FEB 19 2020  
THIS APPROVAL IS VALID FOR PERMITTING PURPOSES ONLY. NO WORK MAY BE SHOWN UNLESS CONSTRUCTION PLANS HAVE BEEN APPROVED.



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EGRESS /  
PATH OF  
TRAVEL &  
WATER FLOW

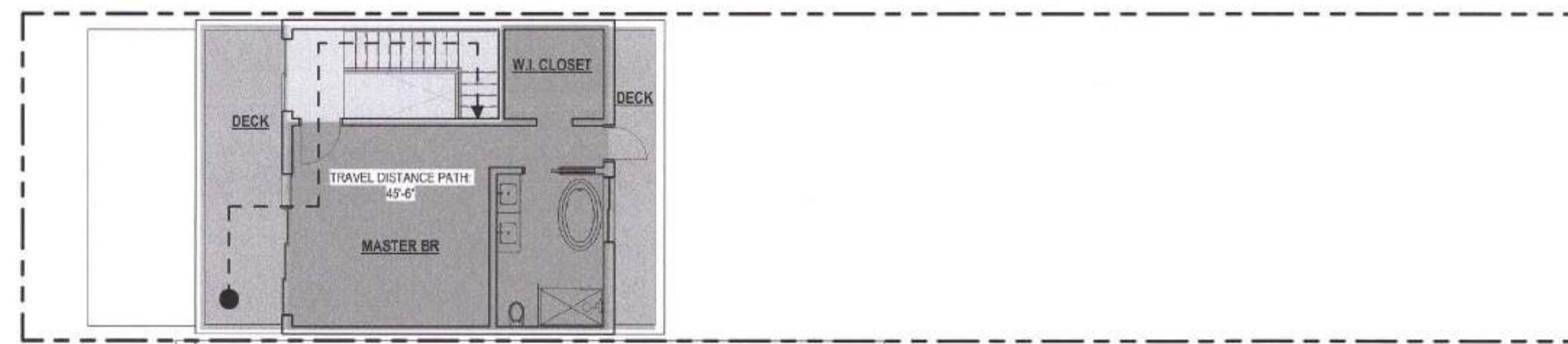
DATE 11/20/2018

SCALE 1/8" = 1'-0"

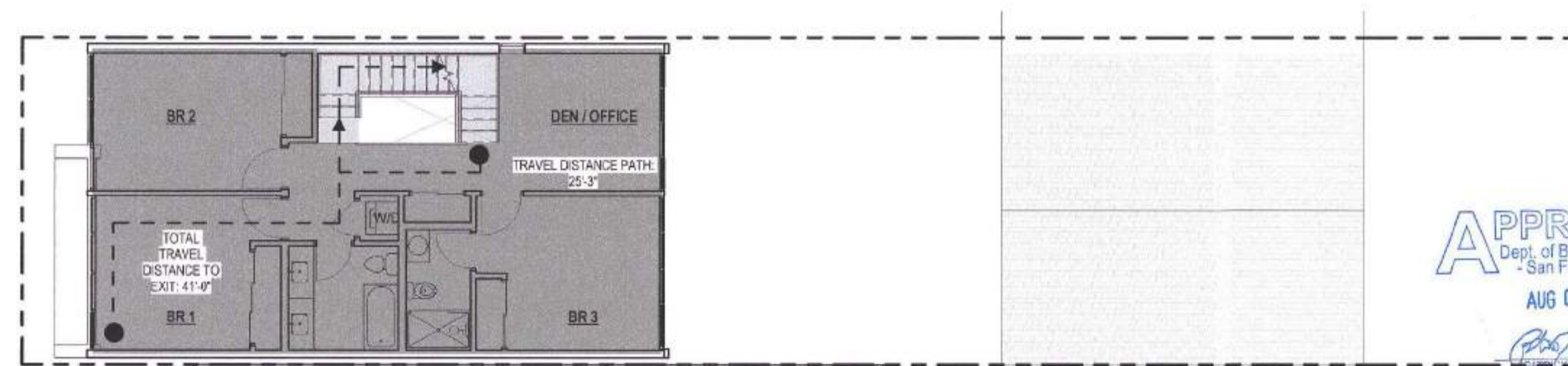
DRAWN BY Author

CHECKED BY Checker

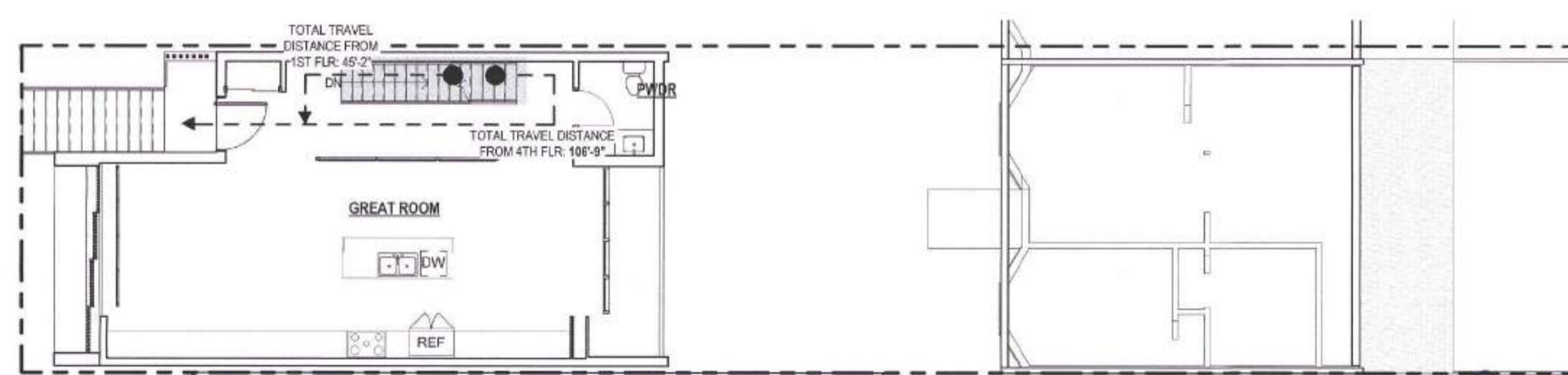
JOB NO.



4 FOURTH FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"

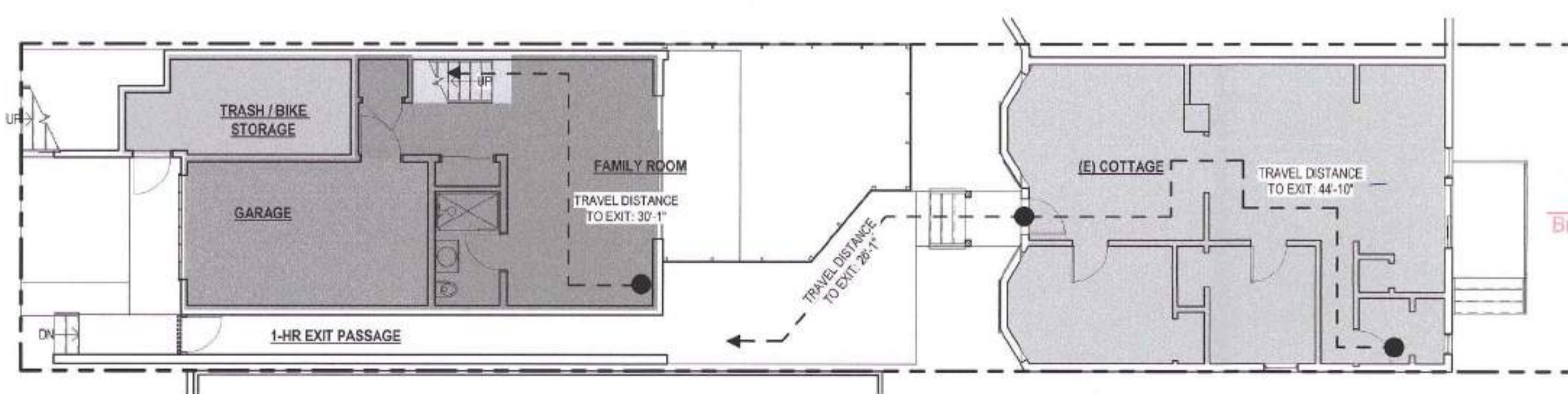


3 THIRD FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



R3 TYPE VB  
SINGLE EXIT PER CBC 1006.3.2  
& TABLE 1006.3.2(1)  
MAXIMUM COMMON PATH OF  
EGRESS TRAVEL DISTANCE =  
125 FEET

2 SECOND FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



Brice Samson, SFFD  
MAY 27 2021

David Jones, DBI  
MAY 06 2021

1 FIRST FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"

SITE REVISION  
REVISION  
FEB 19 2020  
THIS APPLICATION IS LIMITED TO THE SITE PERMIT  
ONLY. NO WORK SHALL BE STARTED UNTIL  
CONSTRUCTION PLANS HAVE BEEN APPROVED.



SAN FRANCISCO FIRE DEPARTMENT  
BUREAU OF FIRE PREVENTION  
PLAN CHECK DIVISION/WATER FLOW  
1660 MISSION STREET, 4TH FLOOR  
SAN FRANCISCO, CA, 94103  
FAX # 415-575-6933  
Email: WaterflowSFFD@sfgov.org

REQUEST FOR WATER FLOW INFORMATION

DATE: 11/14/2018 REQUEST IS FOR:  FIRE FLOW  SPRINKLER DESIGN

CONTACT PERSON: SHIRLEY PEREZ ADDRESS: 139 NOE STREET, SF, CA 94114

PHONE NO. (415) 749-0302 FAX NO. ( ) / ( ) / ( )

EMAIL: shirley@kermanmorris.com

OWNER'S NAME: KEIRAN WOODS PHONE # (415) 740-0335

ADDRESS FOR WATER FLOW INFORMATION: PROVIDE SKETCH HERE:

1222 FUNSTON AVENUE LINCOLN

CROSS STREETS (BOTH ARE REQUIRED): LINCOLN IRVING

LINCOLN IRVING

SPECIFY STREET FOR POINT OF CONNECTION: FUNSTON AVENUE

OCCUPANCY (CIRCLE ONE):  R2 LIVE/WORK  COMMERCIAL  OTHER

HAZARD CLASSIFICATION: (LIGHT) ORD 1 ORD 2 EXT 1 EXT 2 OTHER

CAR-STACKER: YES  NO

NUMBER OF STORES: 4 PROPOSED HEIGHT OF BLDG.: 39'-0" FT.

- SUBMIT FORM WITH A \$125.00 CHECK MADE PAYABLE TO "SFFD".
- REQUESTS REQUIRING A FIELD FLOW TEST WILL BE NOTIFIED BY FAX OR EMAIL, AND AN ADDITIONAL FEE OF \$250.00 WILL BE NECESSARY. Field Flow Test required.
- WATER FLOW INFORMATION WILL BE RETURNED BY FAX, MAIL, OR EMAIL. Payment by check only, made payable to SFFD for \$250.00.
- INCOMPLETE FORMS WILL NOT BE PROCESSED.
- PLEASE ALLOW 7-14 WORKING DAYS FOR PROCESSING.

Official use only

Flow data provided by: Samson Date Forwarded: 12/10/18

Flow data: FIELD FLOW TEST  STATIC 53 PSI

RECORDS ANALYSIS RESIDUAL 51 PSI

FLOW 676 GPM

Gate Page 70 (11) 6" MAIN on Funston

IF YOU HAVE ANY QUESTIONS PLEASE CONTACT INSPECTOR DEEN @ 415-558-6361 Rev. 09/01/2017

# GS1: San Francisco Green Building Site Permit Submittal Form

Form version: February 1, 2018 (For permit applications January 2017 - December 2019)

INSTRUCTIONS:			CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT				PROJECT INFO						
<p>1. Select one (1) column to identify requirements for the project. For addition and alteration projects, applicability of specific requirements may depend upon project scope.</p> <p>2. Provide the Project Information in the box at the right.</p> <p>3. A LEED or GreenPoint Rated Scorecard is not required with the site permit application, but using such tools as early as possible is recommended.</p> <p>4. To ensure legibility of DBI archives, submittal must be a minimum of 24" x 36".</p> <p>Attachment GS2, GS3, GS4, GS5 or GS6 will be due with the applicable addendum. A separate "FINAL COMPLIANCE VERIFICATION" form will be required prior to Certificate of Completion. For details, see Administrative Bulletin 93. For Municipal projects, additional Environment Code Chapter 7 requirements may apply; see GS6.</p>			<p>NEW CONSTRUCTION</p> <p><input type="checkbox"/> LOW-RISE RESIDENTIAL R 1-3 Floors</p> <p><input type="checkbox"/> HIGH-RISE RESIDENTIAL R 4+ Floors</p> <p><input checked="" type="checkbox"/> LARGE NON-RESIDENTIAL A,B,E,I,M 25,000 sq.ft. or greater</p> <p><input type="checkbox"/> OTHER NON-RESIDENTIAL F,H,L,S,U or A,B,E,I,M less than 25,000 sq.ft.</p>				<p>ALTERATIONS + ADDITIONS</p> <p><input type="checkbox"/> RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS R 25,000 sq.ft. or greater</p> <p><input type="checkbox"/> OTHER RESIDENTIAL ALTERATIONS + ADDITIONS R adds any amount of conditioned area</p> <p><input type="checkbox"/> NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS B,M 25,000 sq.ft. or greater</p> <p><input type="checkbox"/> FIRST-TIME NON-RESIDENTIAL INTERIORS A,B,I,M 25,000 sq.ft. or greater</p> <p><input type="checkbox"/> OTHER NON-RESIDENTIAL ALTERATIONS + ADDITIONS A,B,E,F,H,L,I,M,S,U more than 1,000 sq.ft. or \$200,000</p>					<p>PROJECT NAME 1222 FUNSTON AVENUE</p> <p>BLOCK/LOT 1738 / 040</p> <p>ADDRESS 1222 FUNSTON AVENUE</p> <p>PRIMARY OCCUPANCY R3</p> <p>GROSS BUILDING AREA 4,566 SF</p> <p>DESIGN PROFESSIONAL OR PERMIT APPLICANT (sign &amp; date) 21 NOV 2018</p>	
LEED/GPR	TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT	LOW-RISE RESIDENTIAL	HIGH-RISE RESIDENTIAL	LARGE NON-RESIDENTIAL	OTHER NON-RESIDENTIAL	RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	FIRST-TIME NON-RESIDENTIAL INTERIORS	OTHER NON-RESIDENTIAL ALTERATIONS + ADDITIONS	
	Required LEED or GPR Certification Level	SFGBC 4.103.1.1, 4.103.2.1, 4.103.3.1, 5.103.1.1, 5.103.3.1 & 5.103.4.1	Project is required to achieve sustainability certification listed at right.	LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	LEED GOLD (60+) or GPR (75+) CERTIFIED	n/r	LEED GOLD (60+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	
	LEED/GPR Point Adjustment for Retention/Demolition of Historic Features/Building	SFGBC 4.104, 4.105, 5.104 & 5.105	Enter any applicable point adjustments in box at right.										
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.4.1-6, SFGBC 4.103.3.2 & 5.103.1.8, 5.103.3.2 & 5.103.4.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems that meet the requirements for GPR measures K2, K3 and L2 or LEED EQc2, as applicable. New large non-residential interiors and major alterations to existing residential and non-residential buildings must also use interior paints, coatings, sealants, and adhesives when applied on-site, flooring and composite wood that meet the requirements of LEED credit Low-Emitting Materials (EQc2).	4.504.2.1-5	4.504.2.1-5	LEED EQc2	5.504.4.1-6	LEED EQc2 or GPR K2, K3 & L2	4.504.2.1-5	LEED EQc2	LEED EQc2	5.504.4.1-6	
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1 & 5.303.3, SFGBC 5.103.1.2, SF Housing Code sec.12A10, SF Building Code ch.13A	Meet flushflow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10. Large non-residential interiors, alterations & additions must upgrade all non-compliant fixtures per SF Building Code ch.13A. New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEC2).	*	*	LEED WEC2 (2 pts)	*	*	*	*	*	*	
	NON-POTABLE WATER REUSE	Health Code art.12C	New buildings > 40,000 sq.ft. must calculate a water budget. New buildings >250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details.	n/r	*	*	n/r	n/r	n/r	n/r	n/r	n/r	
	WATER EFFICIENT IRRIGATION	Administrative Code ch.63	New construction projects with aggregated landscape area >500 sq.ft., or existing projects with modified landscape area >1,000 sq.ft. shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with <math>\leq 2,500</math> sq.ft. of landscape area. See www.sfwater.org for details.	*	*	*	*	*	*	*	*	*	
	WATER METERING	CALGreen 5.303.1	Provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq.ft.).	n/r	n/r	*	*	n/r	n/r	*	*	*	
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Title 24 Part 6 Energy Standards.	*	*	*	*	*	*	*	*	*	
	BETTER ROOFS	SFGBC 4.201.1 & 5.201.1.2	New non-residential buildings >2,000 sq.ft. and <math>\leq 10</math> occupied floors, and new residential buildings of any size and <math>\leq 10</math> occupied floors, must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems.	*	<math>\leq 10</math> floors	*	*	n/r	n/r	n/r	n/r	n/r	
	RENEWABLE ENERGY	SFGBC 5.201.1.3	Non-residential buildings with <math>\geq 11</math> floors must acquire at least 1% of energy from on-site renewable sources, purchase green energy credits, or achieve 5 points under LEED credit Optimize Energy Performance (EAc2).	n/r	n/r	*	*	n/r	n/r	n/r	n/r	n/r	
	COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	For projects >10,000 sq.ft. include OPR, BOD, and commissioning plan in design & construction. Commission to comply. Alterations & additions with new HVAC equipment must test and adjust all equipment.	n/r	n/r	LEED EAc1 opt. 1	*	n/r	n/r	*	*	*	
PARKING	BICYCLE PARKING	CALGreen 5.106.4, Planning Code 155.1-2	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater.	SF Planning Code sec.155.1-2	SF Planning Code sec.155.1-2	*	*	if applicable SF Planning Code sec.155.1-2	if applicable SF Planning Code sec.155.1-2	*	*	if >10 stalls added	
	DESIGNATED PARKING	CALGreen 5.106.5.2	Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	n/r	n/r	*	*	n/r	n/r	*	*	if >10 stalls added	
	WIRING FOR EV CHARGERS	SFGBC 4.106.4 & 5.106.5.3	Permit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE. Install service capacity and panelboards sufficient to provide >40A 208 or 240V to EV chargers at 20% of spaces. Install >40A 208 or 240V branch circuits to >math>\ge 10</math> % of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required. Projects with zero off-street parking exempt. See SFGBC 4.106.4 or SFGBC 5.106.5.3 for details. Permit applications prior to January 2018 only: Install infrastructure to provide electricity for EV chargers at 6% of spaces for non-residential (CALGreen 5.106.5.3), 3% of spaces for multifamily with <math>\ge 17</math> units (CALGreen 4.106.4.2), and each space in 1-2 unit dwellings (CALGreen 4.106.4.1). Installation of chargers is not required.	n/r	*	*	*	applicable for permit application January 2018 or after	n/r	applicable for permit application January 2018 or after	n/r	n/r	
WASTE DIVERSION	RECYCLING BY OCCUPANTS	SF Building Code AB-058	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.	*	*	*	*	*	*	*	*	*	
	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, Environment Code ch.14, SF Building Code ch.13B	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate. Divert a minimum of 75% of total C&D debris if noted.	*	75% diversion	75% diversion	*	*	*	*	75% diversion	*	
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.	*	*	n/r	n/r	*	*	n/r	n/r	n/r	
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	*	*	n/r	n/r	*	*	n/r	n/r	n/r	
	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.	n/r	n/r	*	*	n/r	n/r	*	*	n/r	
GOOD NEIGHBOR	LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.	n/r	n/r	*	*	n/r	n/r	*	*	*	
	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	*	*	*	*	*	*	*	*	*	
	TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	*	*	*	*	*	*	*	*	*	
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing >math>\ge 5,000</math> sq.ft. in combined or separate sewer areas, or replacing >math>\ge 2,500</math> impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. See www.sfwater.org for details.	*	*	*	*	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	
	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details.	if disturbing >math>\ge 5,000</math> sq.ft.	*	if disturbing >math>\ge 5,000</math> sq.ft.	if disturbing >math>\ge 5,000</math> sq.ft.	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	
INDOOR ENVIRONMENTAL QUALITY	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceilings between tenants). New residential projects' interior noise due to exterior sources shall not exceed 45dB.	*	*	*	*	n/r	n/r	*	*	*	
	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1-3 & 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.	*	*	*	*	*	*	*	*	*	
	AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3, SF Health Code art.38	Non-residential projects must provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.	if applicable	if applicable	*	*	if applicable	n/r	*	*	*	
	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.	n/r	n/r	LEED EQc3	n/r	n/r	n/r	n/r	n/r	n/r	
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	*	*	n/r	n/r	if applicable	if applicable	n/r	n/r	n/r	
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	*	*	n/r	n/r	*	*	n/r	n/r	n/r	
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	*	*	n/r	n/r	*	*	n/r	n/r	n/r	
	CAPILLARY BREAK SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	*	*	n/r	n/r	*	*	n/r	n/r	n/r	
	MOISTURE CONTENT	CALGreen 4.505.3	Wall and floor wood framing must have <math>< 19</math> % moisture content before enclosure.	*	*	n/r	n/r	*	*	n/r	n/r	n/r	
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <math>< 50</math> % to >math>80</math> % (humidistat may be separate component).	*	*	n/r	n/r	*	*	n/r	n/r	n/r	

Revisions  
R1 11/14/2019



APPROVED  
AUG 04 2021  
Bruce Samson, SFPD  
David Johnson, P.E.  
SFPD Planning Dept. Catherine Campbell

1222  
FUNSTON AVE

BLOCK 1738 / LOT 040  
SFD/BI BPA: 201912118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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GREEN BUILDING SITE PERMIT SUBMITTAL FORM - GS1

DATE 11/20/2018

SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO.

G0.06

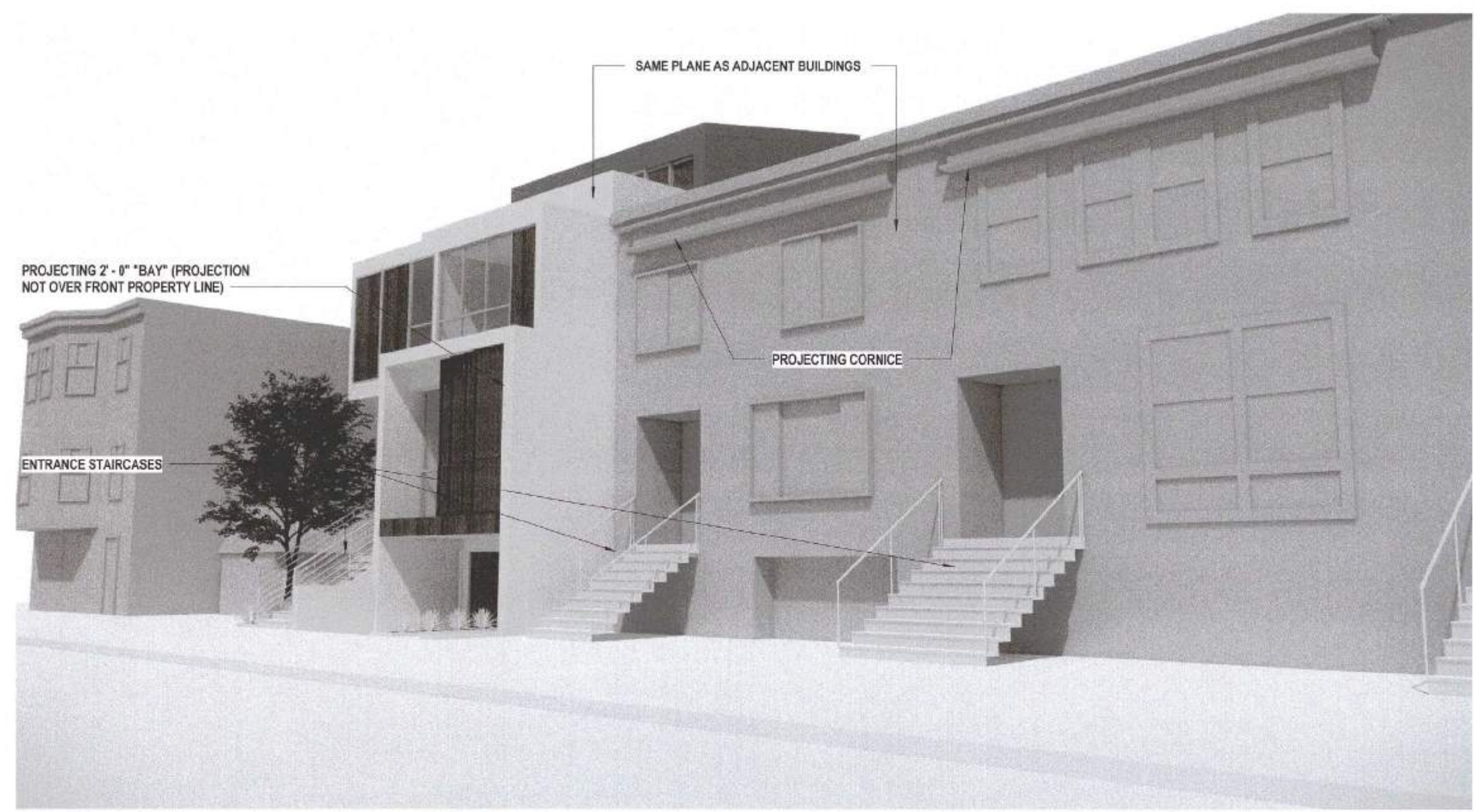


BRUCE SAMSON, SFPD  
MAY 17 2021

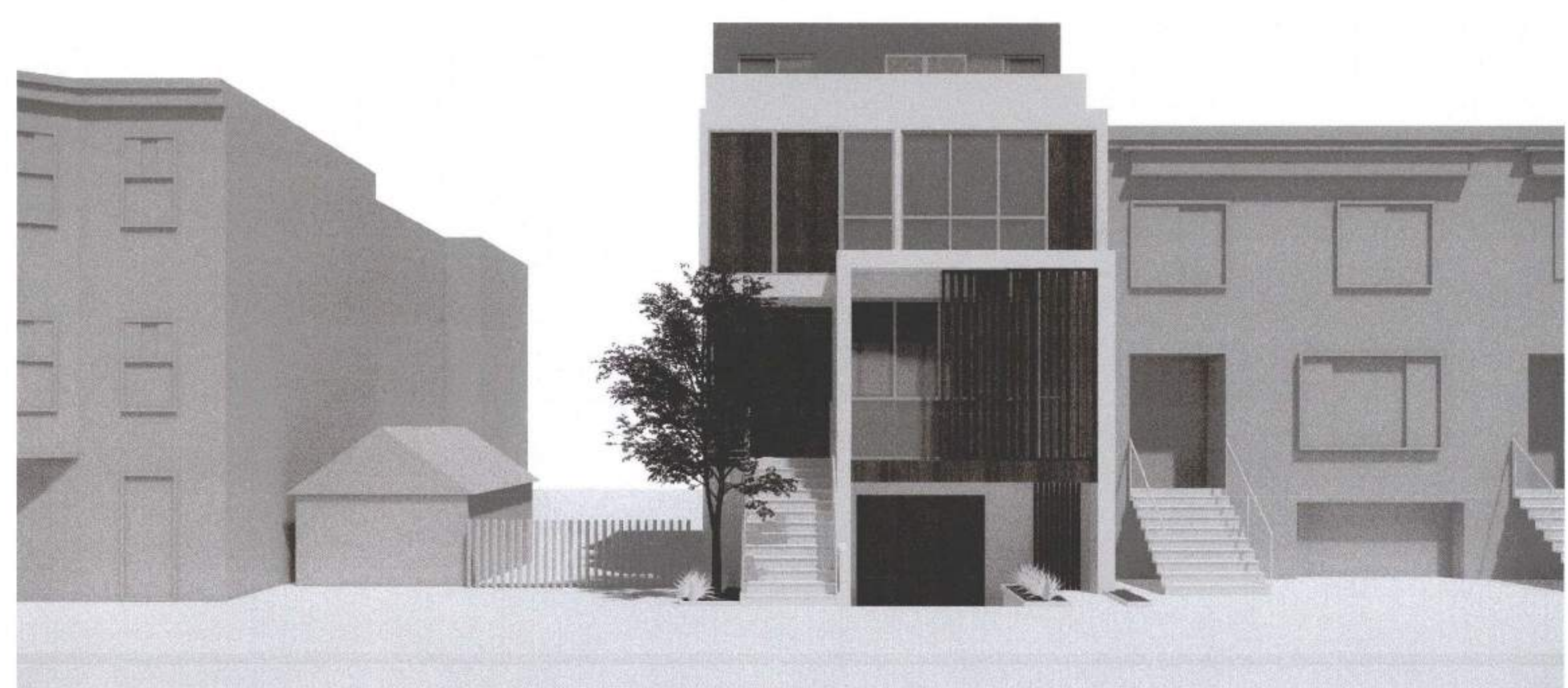
DAVID JOHNSON, P.E.  
MAY 06 2021

THIS APPLICATION IS SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE INITIATED UNTIL CONSTRUCTION PERMITS HAVE BEEN APPROVED.

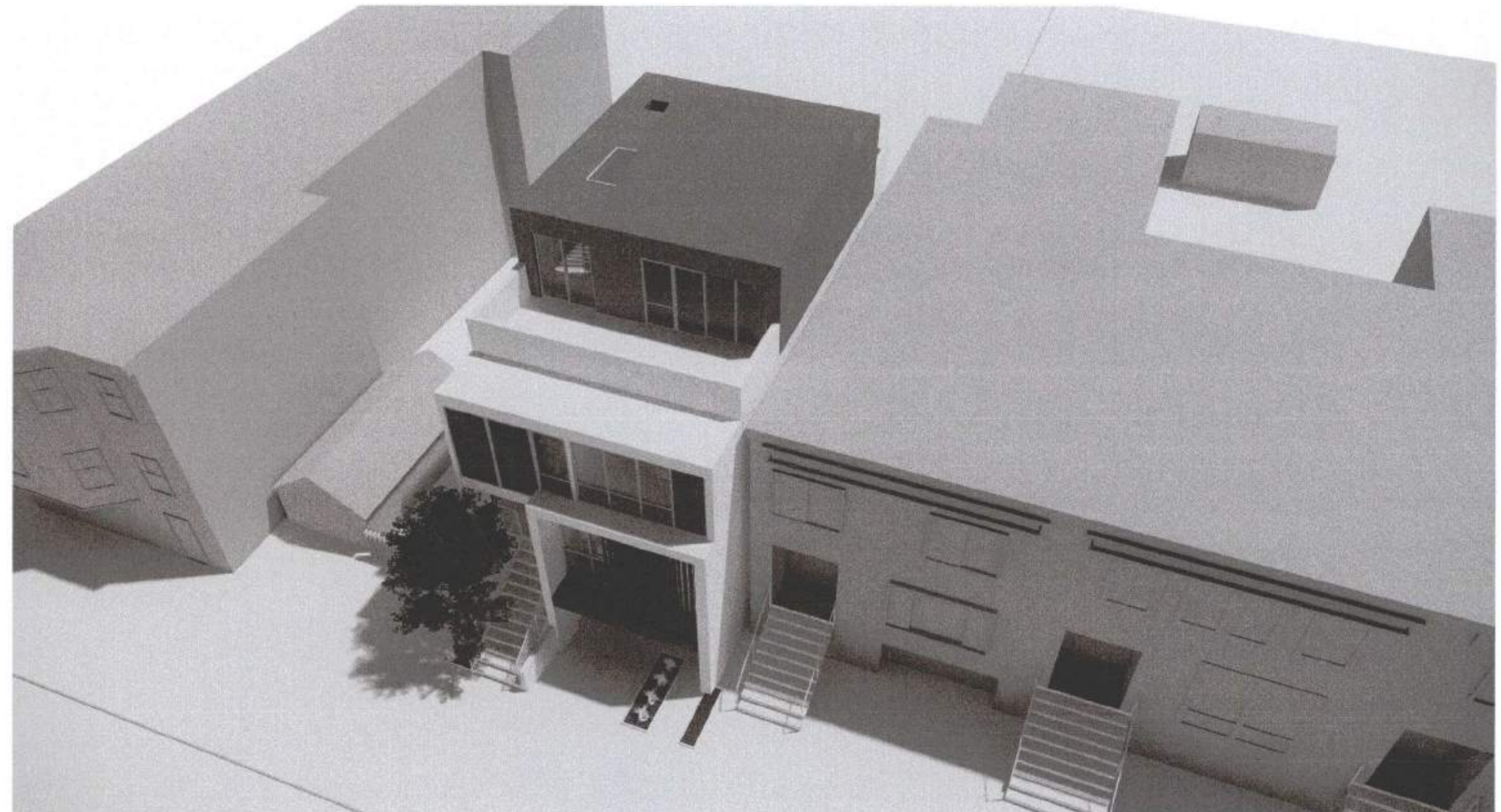
Revisions	
R1	11/4/2019



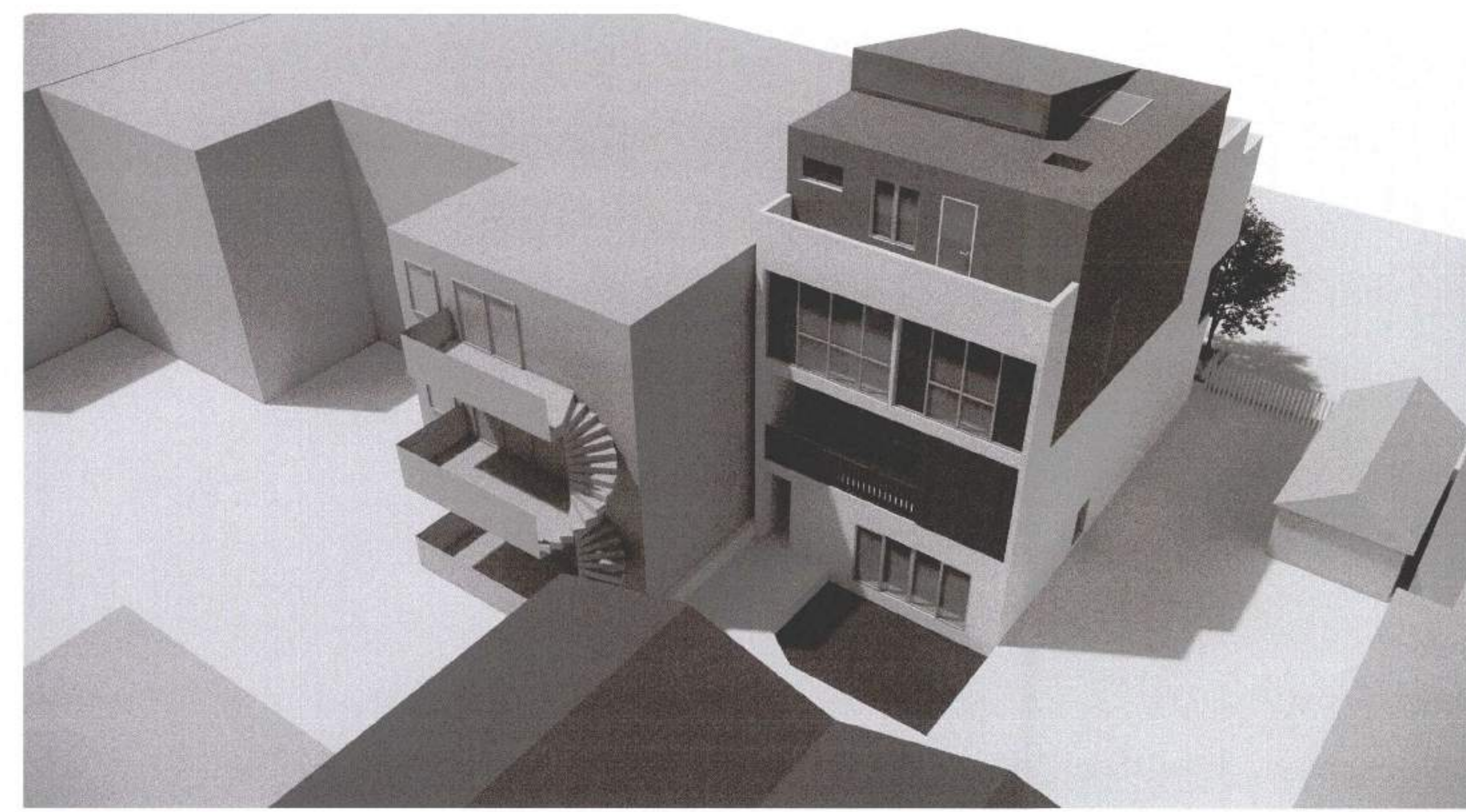
VIEW FROM FUNSTON AVE (WOOD SCREENS OPEN)



VIEW FROM FUNSTON AVE (WOOD SCREENS CLOSED)



VIEW FROM FUNSTON AVE



VIEW FROM REAR YARD



VIEW FROM REAR YARD



VIEW FROM REAR YARD

**1223 1/2  
 FUNSTON AVE**

BLOCK 1738 / LOT 040  
 SFDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

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All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**MASSING IMAGES**

DATE	11/20/2018
SCALE	
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

**G0.10**



Revisions	
R1	11/4/2019



**1222<sup>1/2</sup>  
FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFD/DBA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

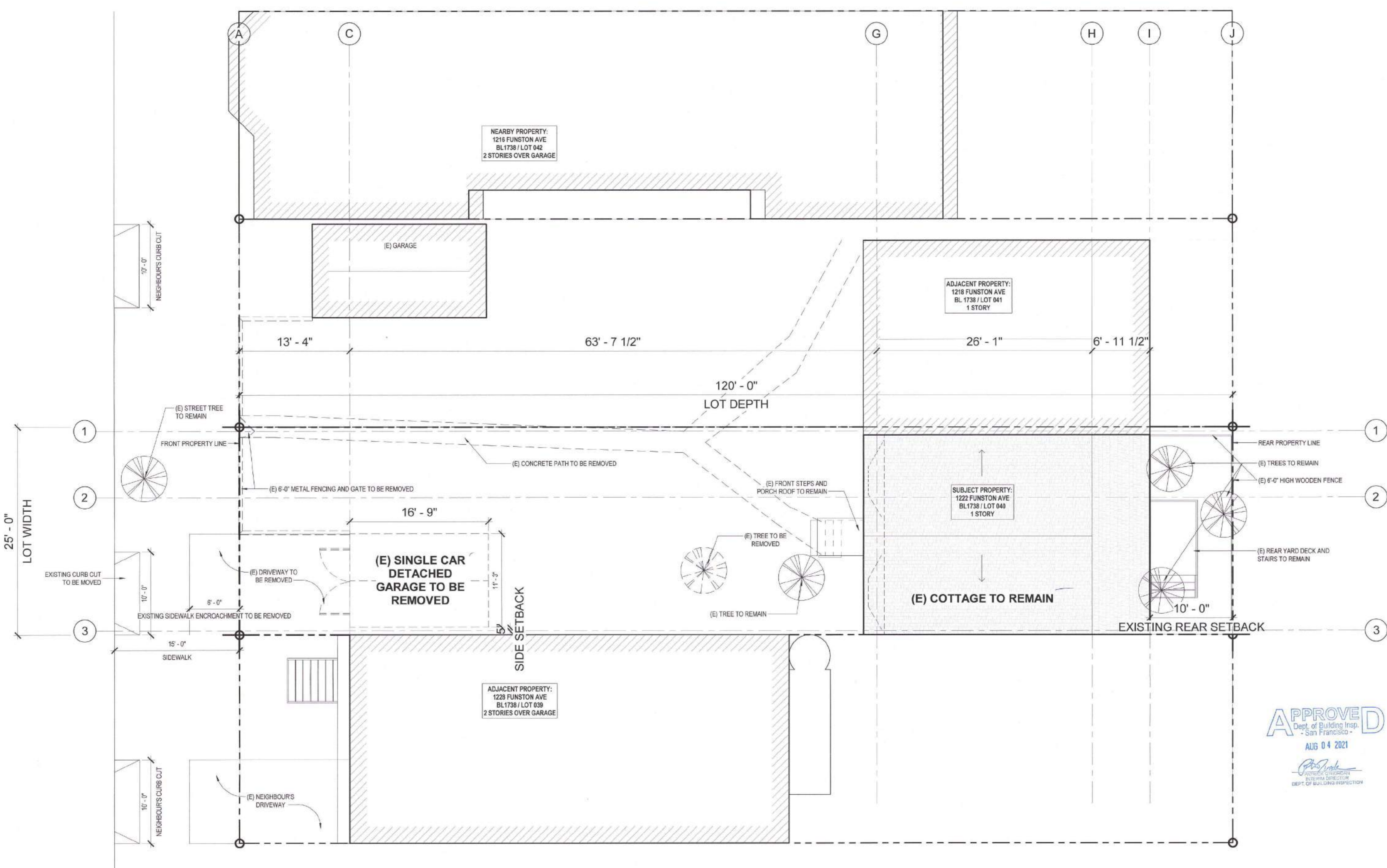
**NOTICE**  
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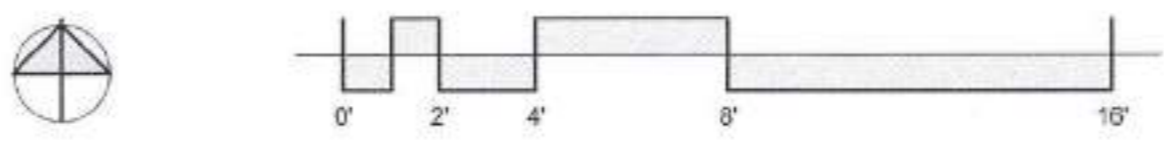
**EXISTING / DEMO SITE PLAN**

DATE	11/20/2018
SCALE	3/16" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

**AE1.01**



**1** EXISTING / DEMO SITE PLAN - ROOF  
3/16" = 1'-0"



**APPROVED**  
Dept. of Building Insp.  
- San Francisco -  
AUG 04 2021

*David Jones*  
SUPERVISOR  
DEPT. OF BUILDING INSPECTION

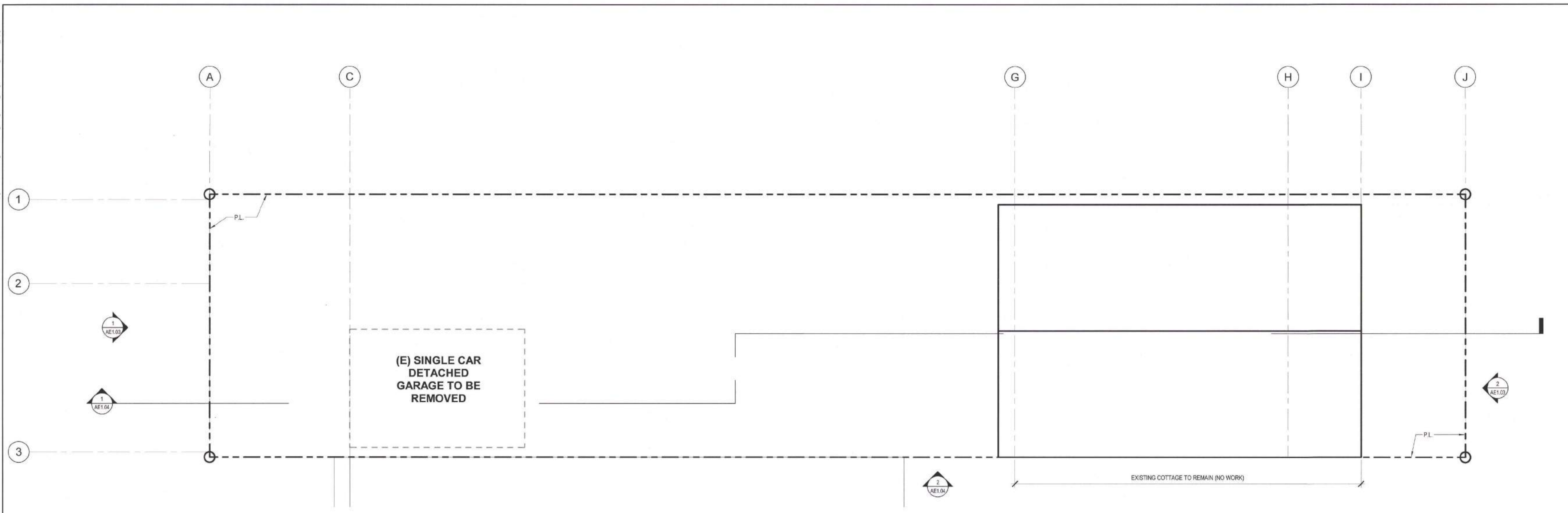
*Cathleen Campbell*  
FEB 04 2020  
Approved Planning Dept. Cathleen Campbell

Bruce Samson, SFFD  
MAY 27 2021

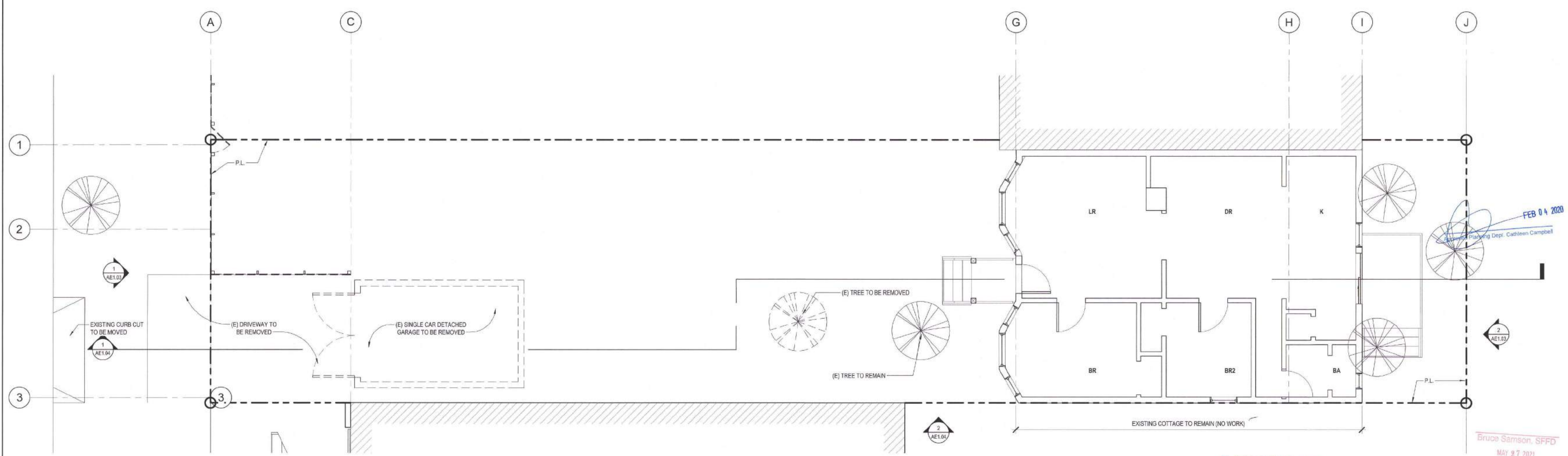
**SITE PERMIT REVISION**  
FEB 19 2020  
THIS REVISION QUANTITIES AND COSTS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT SITE PRIOR TO COMMENCEMENT OF WORK.

*David Jones, DBI*  
MAY 06 2021

Revisions	
R1	11/4/2019



**2** EXISTING / DEMO ROOF PLAN  
1/4" = 1'-0"



**1** EXISTING / DEMO FIRST FLOOR PLAN  
1/4" = 1'-0"

**1222 1/2**  
**FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDDBI BPA: 201912116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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**EXISTING FIRST FLOOR PLAN**

DATE 11/20/2018

SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**AE1.02**

**APPROVED**  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021

**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPLICATION IS SUBJECT TO THE SITE PERMIT. ANY WORK MAY BE STOPPED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

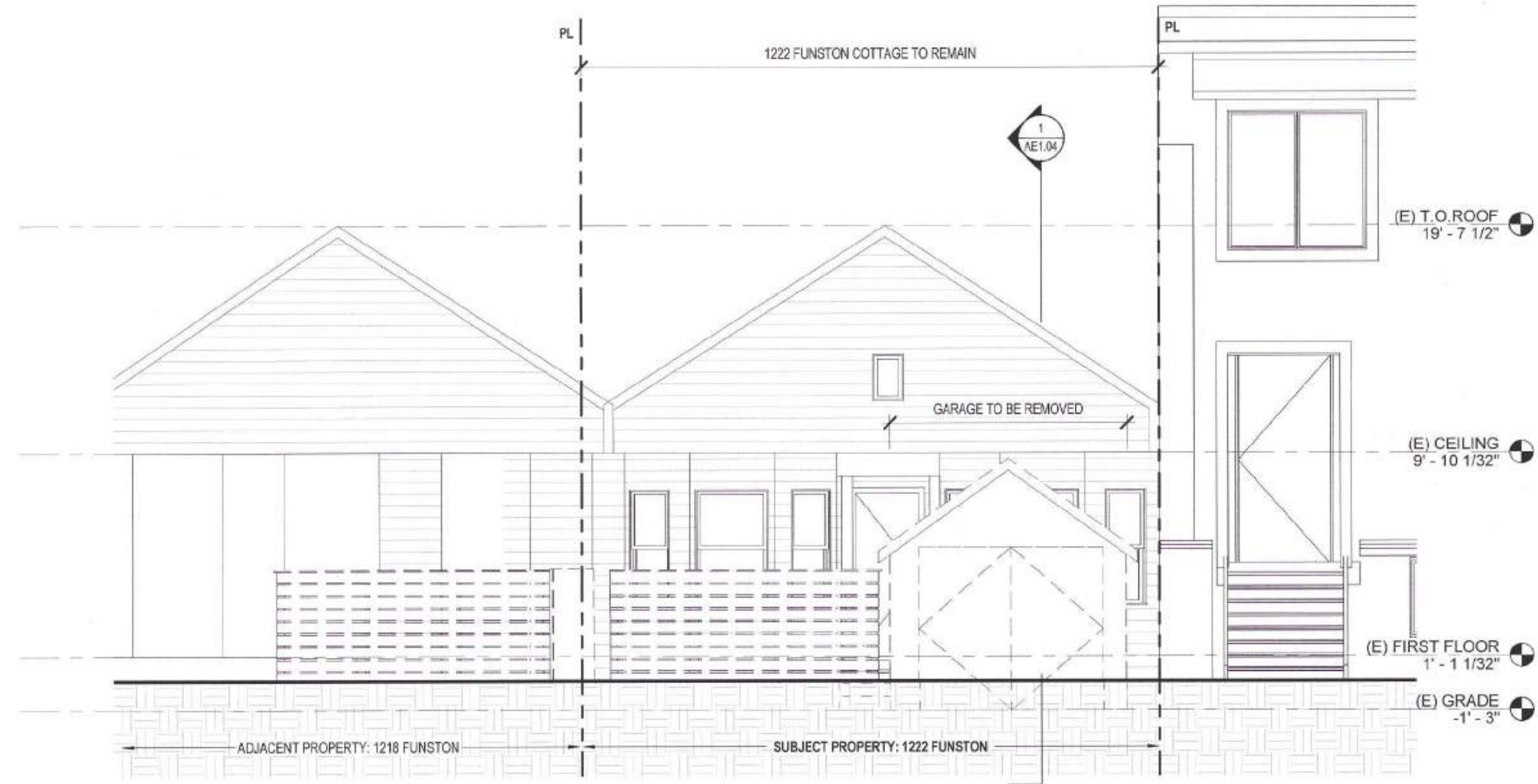
Bruce Samson, SFFD  
MAY 27 2021

David Jones, DBI  
MAY 06 2021

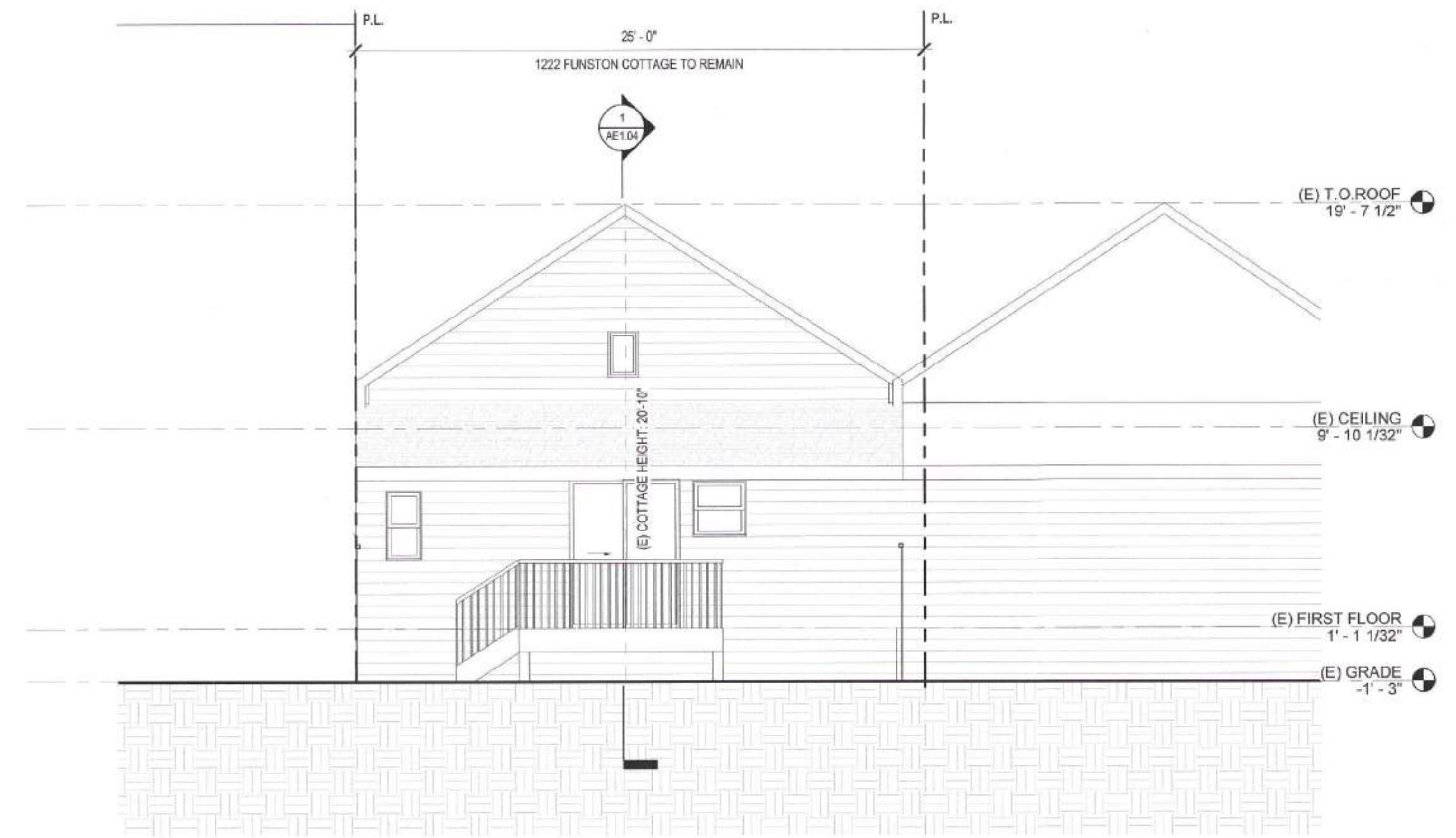
FEB 04 2020  
Planning Dept. Kathleen Campbell

Revisions

R1	11/14/2019
----	------------



1 EXISTING / DEMO ELEVATION - WEST (FRONT)  
1/4" = 1'-0"



2 EXISTING / DEMO ELEVATION - EAST (REAR)  
1/4" = 1'-0"

*APPROVED*  
FEB 04 2020  
Approving Planning Dept. Catherine Campbell

1222<sup>4</sup>  
FUNSTON AVE

BLOCK 1738 / LOT 040  
SFDDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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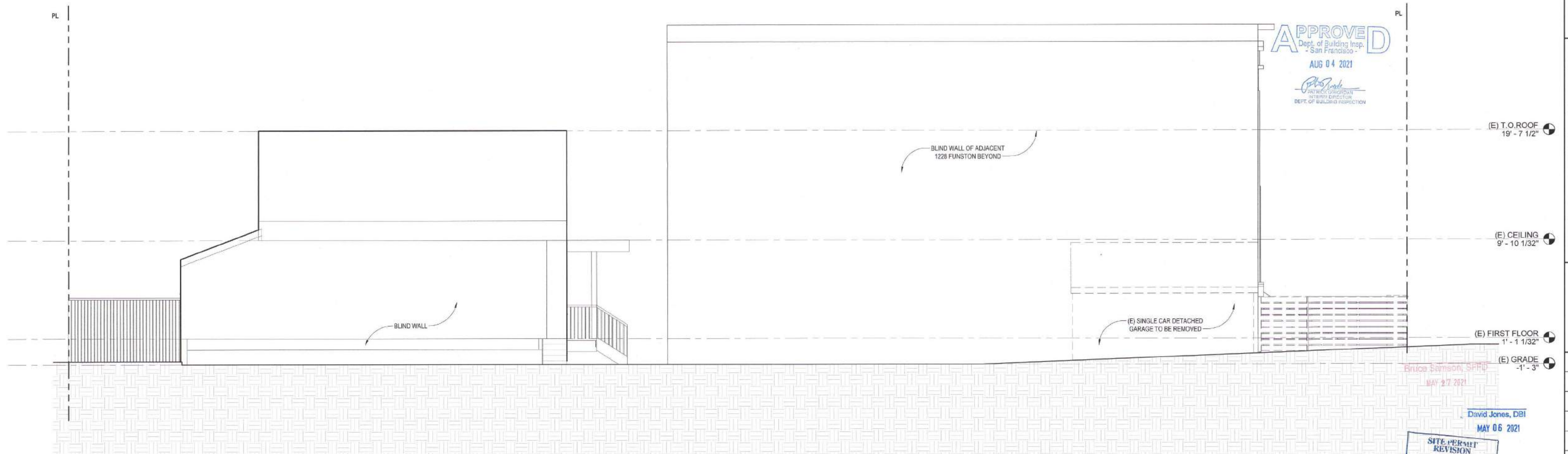
These drawings are an industry standard, but do not constitute a building permit and do not constitute a contractor's construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings, etc. are to be properly secured in accordance with best practice, and the Contractor shall be responsible for providing and installing them.

EXISTING ELEVATIONS

DATE	11/20/2018
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

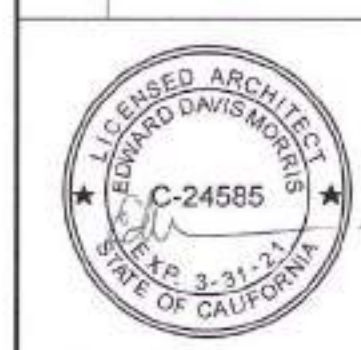
AE1.03



3 EXISTING / DEMO ELEVATION - NORTH  
1/4" = 1'-0"

APPROVED  
SITE PERMIT REVISION  
FEB 19 2020  
THE APPLICATION QUALITY OF THE SITE PERMIT  
ONLY. NO WORK MAY BE INSTALLED UNTIL  
CONTRACTOR PLANS HAVE BEEN APPROVED.

Revisions	
R1	11/4/2019



**1222 Y  
 FUNSTON AVE**

BLOCK 1738 / LOT 040  
 SFDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
 FAMILY INVESTMENTS, LP

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**EXISTING SECTION**

DATE 11/20/2018

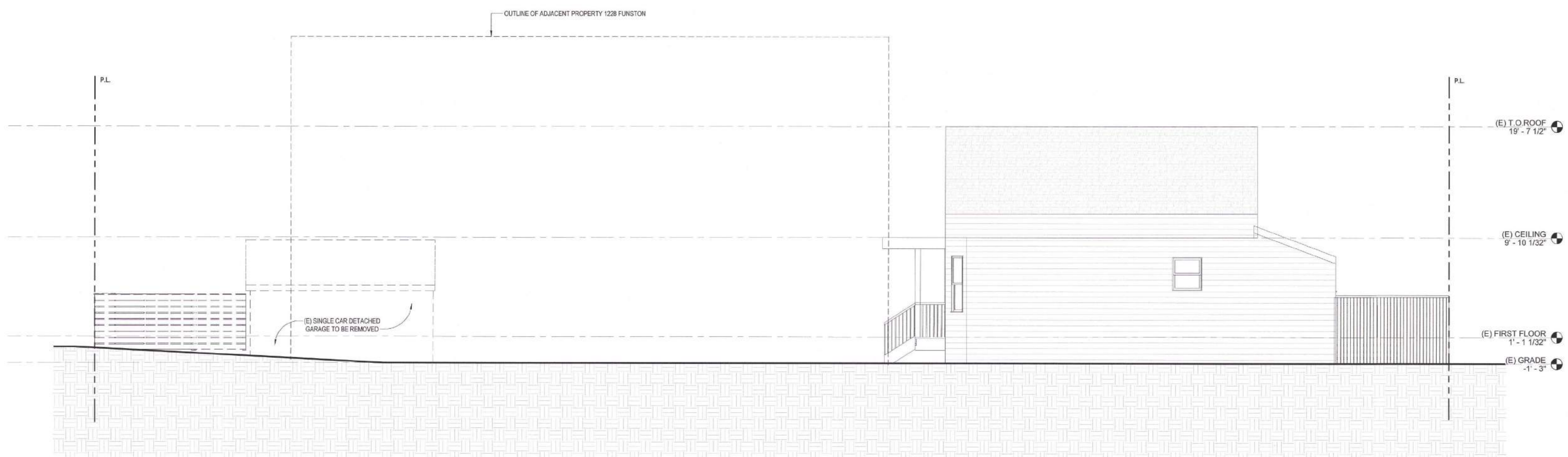
SCALE 1/4" = 1'-0"

DRAWN BY Author

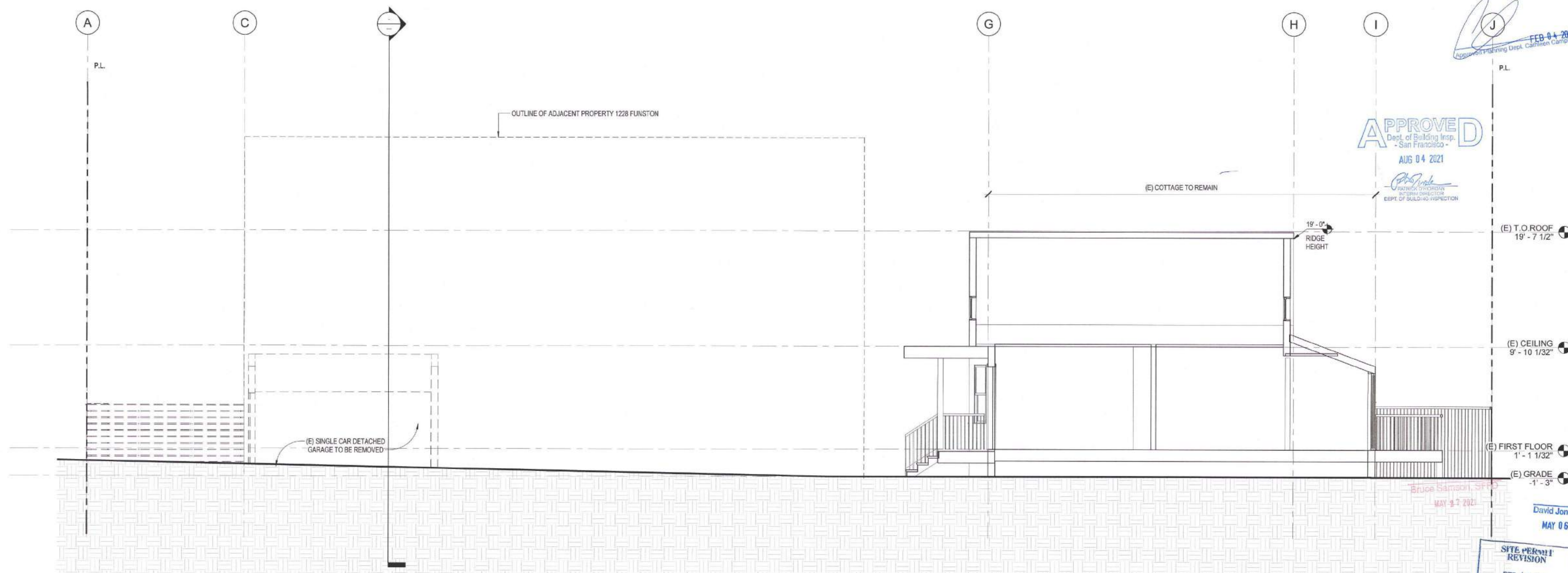
CHECKED BY Checker

JOB NO.

**AE1.04**



**2 EXISTING / DEMO ELEVATION - SOUTH**  
 1/4" = 1'-0"



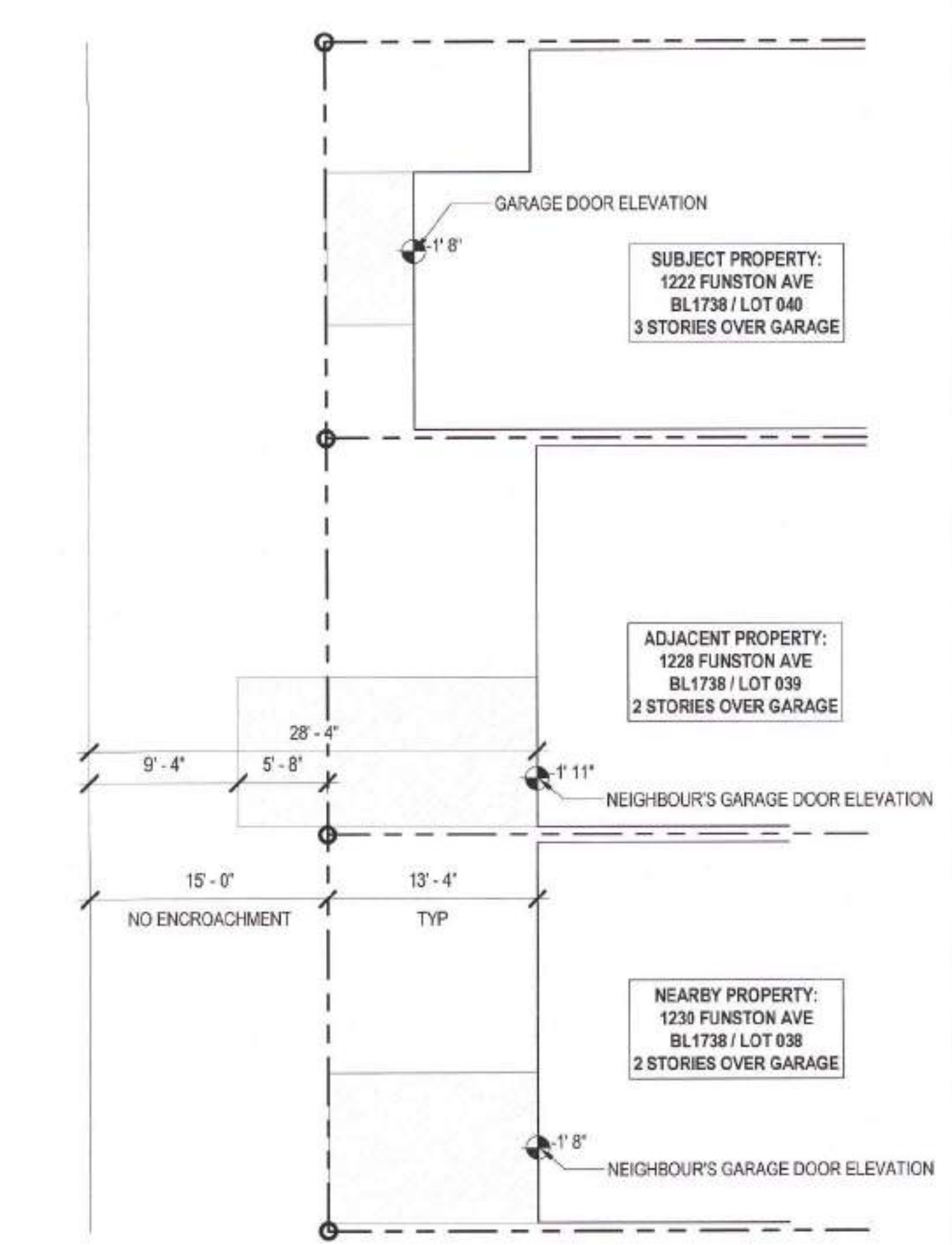
**1 EXISTING / DEMO SECTION (MIDDLE LINE)**  
 1/4" = 1'-0"



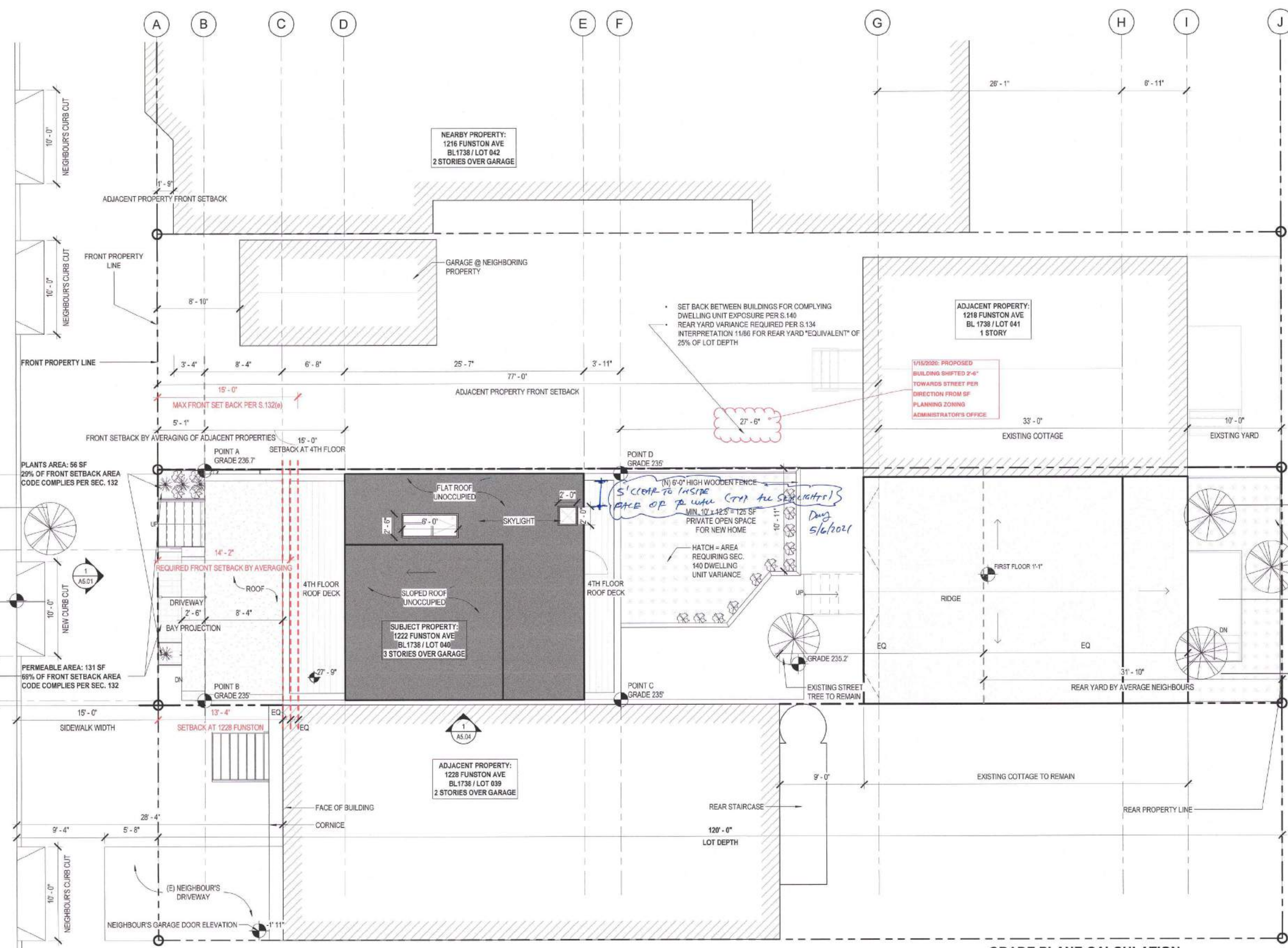
BRUCE STRONG, CIVIL  
 MAY 9 2021

David Jones, DBI  
 MAY 06 2021





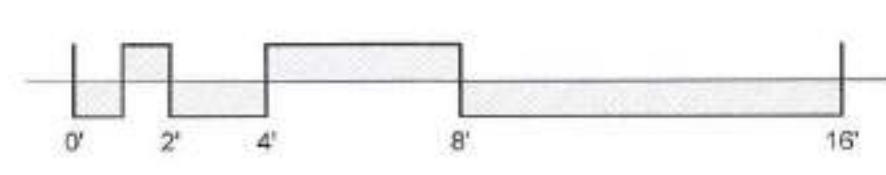
**2 NEIGHBOUR'S ENCROACHMENT**  
1/8" = 1'-0"



**1 PROPOSED SITE PLAN**  
3/16" = 1'-0"

**GRADE PLANE CALCULATION**

POINT A = 236.7  
POINT B = 235  
POINT C = 235  
POINT D = 235



*[Signature]*  
FEB 04 2020  
Approved Planning Dept. Catherine Campbell

**APPROVED**  
Dept. of Building Insp.  
- San Francisco -  
AUG 04 2021  
*[Signature]*  
PAUL J. CRIVELLO  
PLANNING DIRECTOR  
DEPT. OF BUILDING INSPECTION

Bruce Samson, SFFD  
MAY 27 2021  
David Jones, DBI  
MAY 06 2021

**SITE PERMIT  
REVISION**  
FEB 19 2020  
THIS DRAWING IS SUBMITTED FOR REVIEW ONLY. NO WORK SHALL BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

*[Signature]*



**GENERAL NOTES**

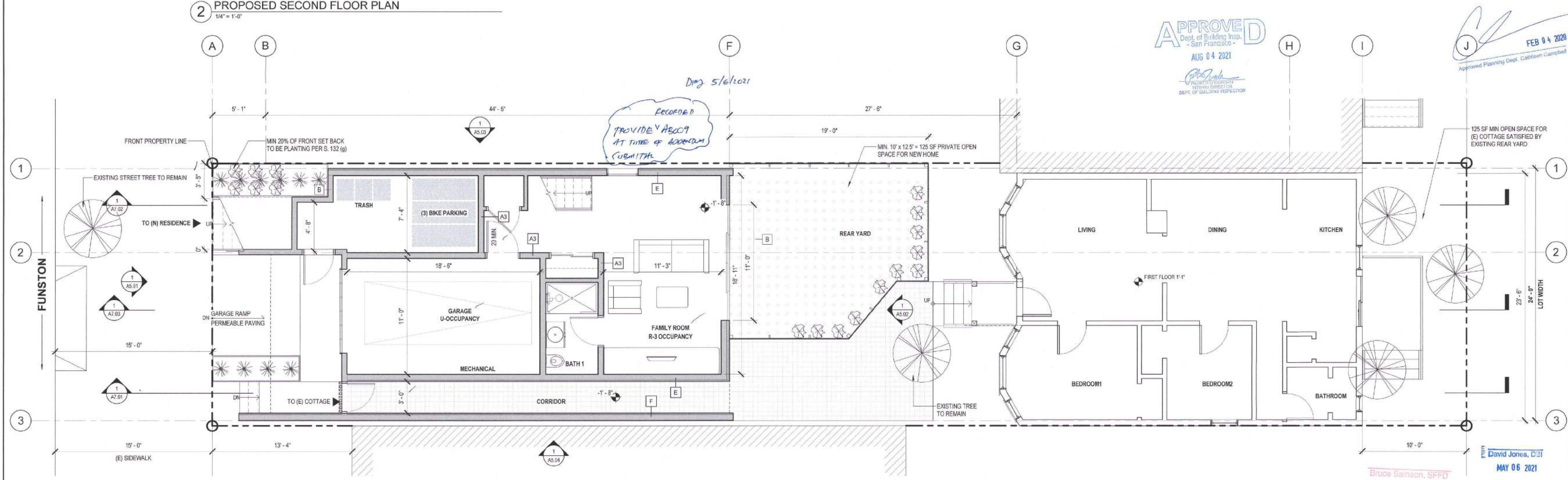
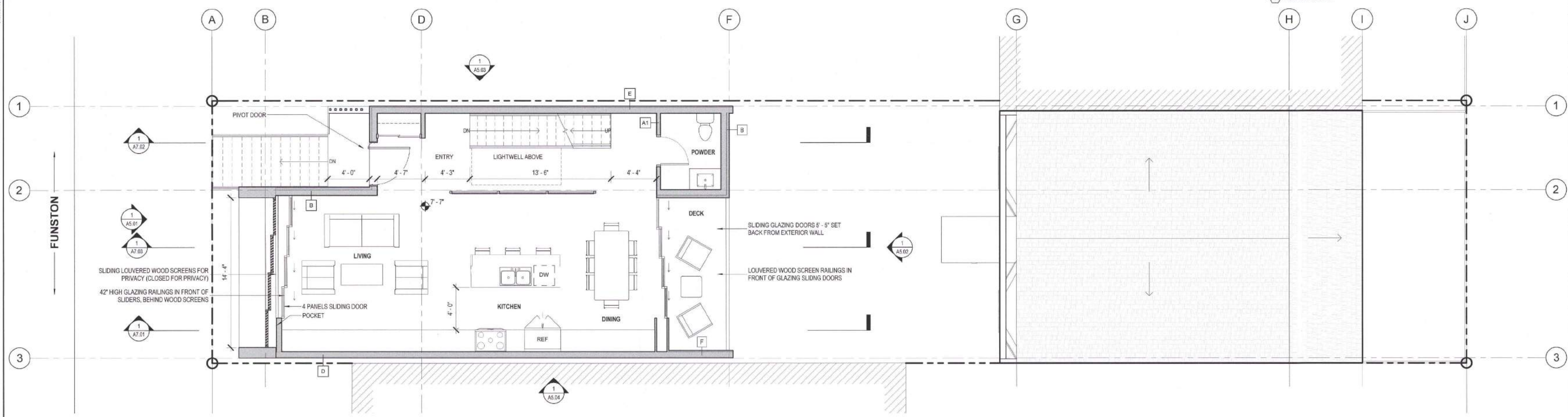
1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
2. V.I.F. ALL (E) DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCIES
3. ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.

**PARTITION LEGEND**

- (E) PARTITION TO REMAIN
- (N) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A7.00)

**KEYNOTES**

1. RATED DOOR WITH CLOSER, LATCH, AND SMOKE SEAL
  - 45-MIN AT 1-HR ENCLOSURE
  - 90-MIN AT 2-HR ENCLOSURE
2. COMMON STAIR: MAX RISER HEIGHT OF 7" AND MINIMUM TREAD DEPTH OF 11" (PER CBC 1011.5.2) MINIMUM HEADROOM 80" (PER CBC 1011.3)
3. PRIVATE STAIR: MAX RISER HEIGHT OF 7 3/4" AND MINIMUM TREAD DEPTH OF 10" (PER CBC 1011.5.2 EXCEPTION #3) MINIMUM HEADROOM 80" (PER CBC 1011.3)
4. GUARDRAIL: MIN. 42" A.F.F. WITH 4" MAX OPENINGS (PER CBC 1015.3 & 1015.4). GUARDRAIL SHALL BE 1-HR RATED CONSTRUCTION AT PROPERTY LINE CONDITION
5. HANDRAIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014)
6. EGRESS WINDOW



**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFD/BI BPA: 201912110001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

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**FIRST & SECOND FLOOR PLANS**

DATE 11/20/2018

SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPROVAL IS LIMITED TO THE SITE PERMIT ONLY. NO WORK MAY BE PERMITTED UNTIL ALL NECESSARY PERMITS HAVE BEEN OBTAINED.



**GENERAL NOTES**

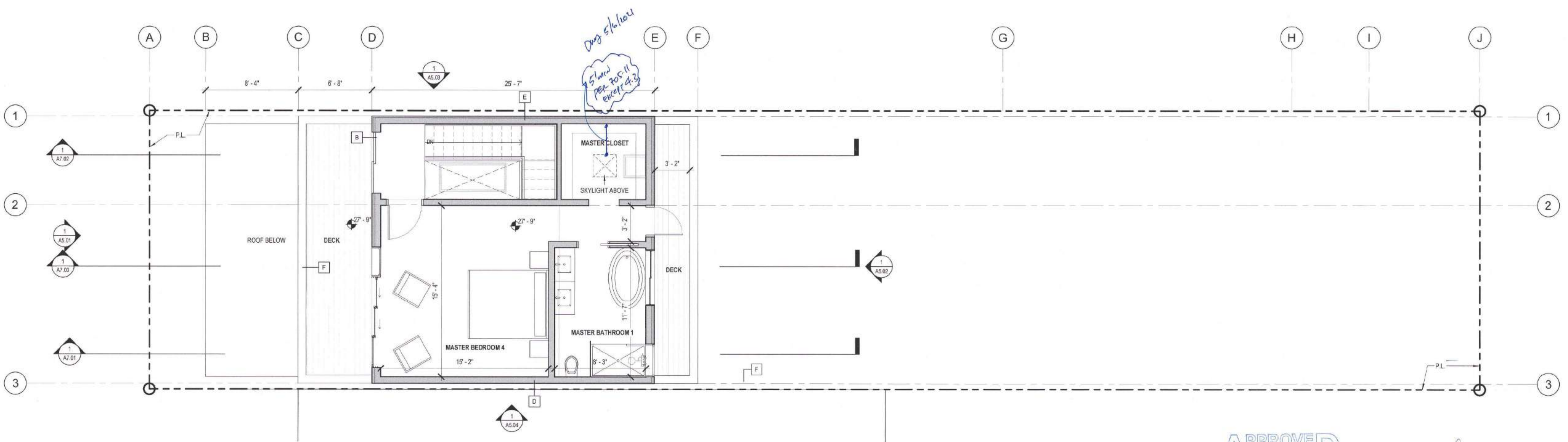
1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
2. V.I.F. ALL (E) DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCIES.
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**PARTITION LEGEND**

- (E) PARTITION TO REMAIN
- (E) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A7.00)

**KEYNOTES**

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  - 45-MIN AT 1-HR ENCLOSURE
  - 90-MIN AT 2-HR ENCLOSURE
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3. PRIVATE STAIR: MAX RISER HEIGHT OF 7 3/4" AND MINIMUM TREAD DEPTH OF 10" (PER CBC 10115.2 EXCEPTION #3) MINIMUM HEADROOM 80" (PER CBC 1011.3)
4. GUARDRAIL MIN. 42" A.F.F. WITH 4" MAX OPENINGS (PER CBC 1015.3 & 1015.4). GUARDRAIL SHALL BE 1-HR RATED CONSTRUCTION AT PROPERTY LINE CONDITION
5. HANDRAIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014)
6. EGRESS WINDOW



2 PROPOSED FOURTH FLOOR PLAN  
1/4" = 1'-0"

**APPROVED**  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021  
Project Approved  
DEPT. OF BUILDING INSPECTION

FEB 04 2020  
Approved Planning Dept. Catherine Campbell

**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

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**THIRD & FOURTH FLOOR PLANS**

DATE 11/20/2018

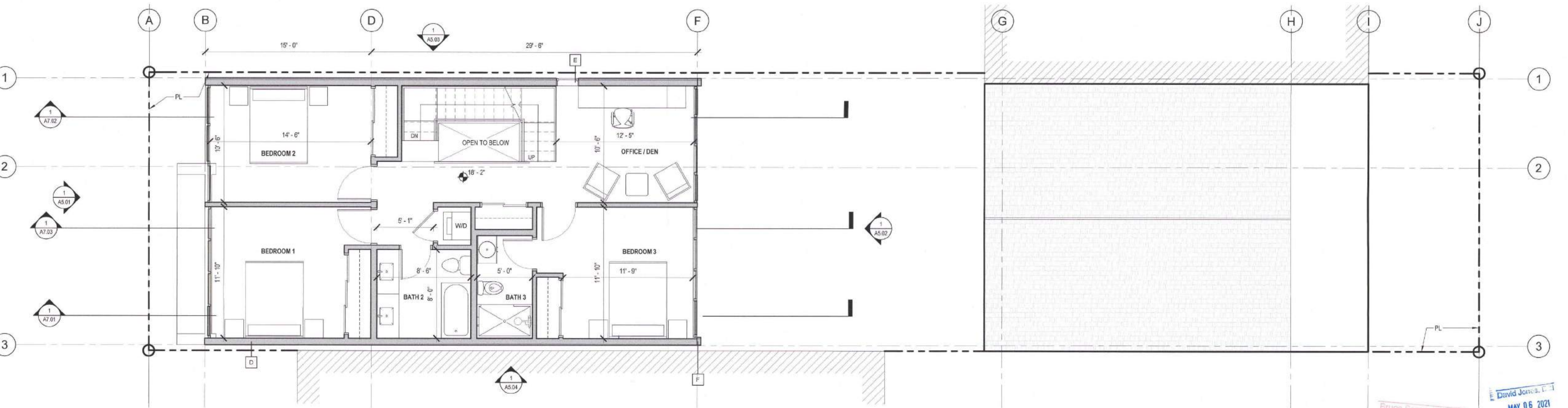
SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO.

SITE PERMITS REVISION  
FEB 19 2020  
THIS APPLICATION IS SUBJECT TO THE PERMIT. CHECK ALL WORK. REVISE OR CANCEL UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

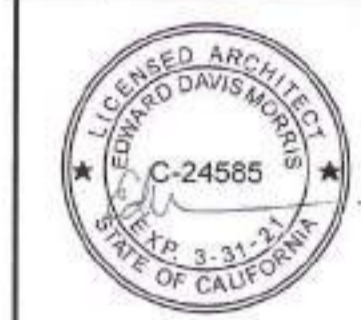


1 PROPOSED THIRD FLOOR PLAN  
1/4" = 1'-0"

Bruce Samson, SFPD  
MAY 27 2021

David Jones, P.E.  
MAY 06 2021

Revisions	
R1	11/4/2019



1222 1/2  
**FUNSTON AVE**

BLOCK 1736 / LOT 640  
 SFFDBI BPA: 201612118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
 FAMILY INVESTMENTS, LP

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**ROOF PLAN**

DATE 11/20/2018

SCALE As Indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**A2.03**

**GENERAL NOTES**

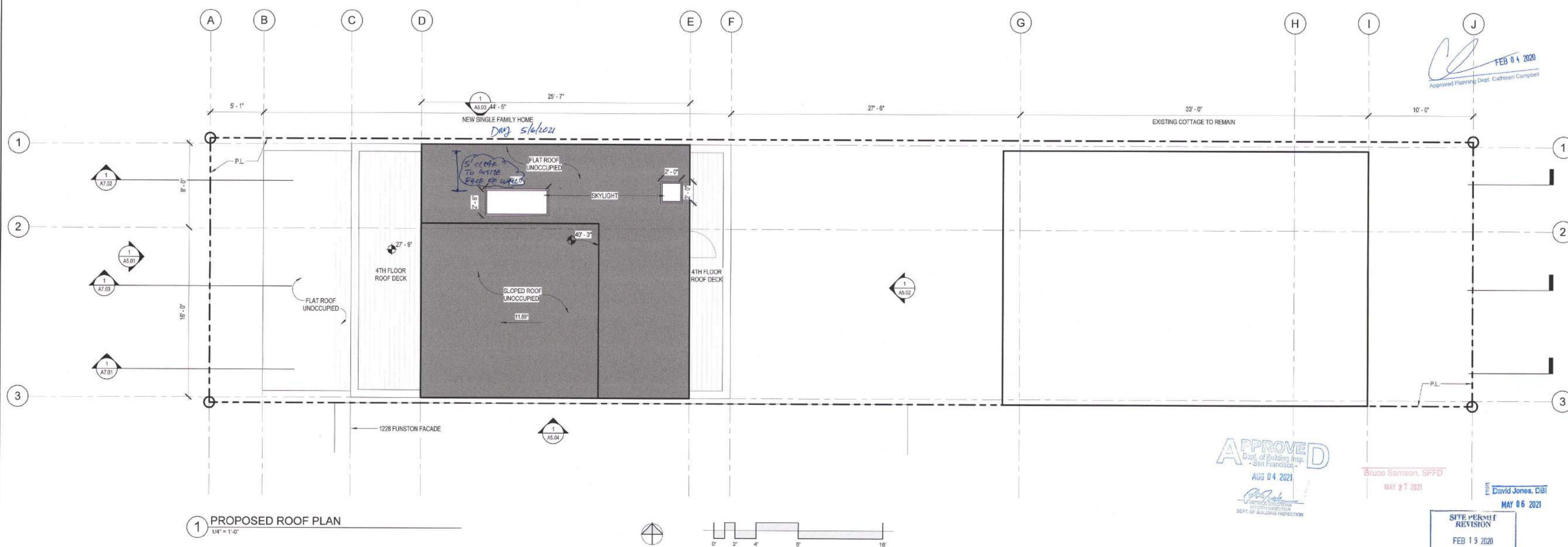
1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
2. V.I.F. ALL (E) DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCIES
3. ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS

**PARTITION LEGEND**

- (E) PARTITION TO REMAIN
- (E) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A7.00)

**KEYNOTES**

- ① RATED DOOR WITH CLOSER, LATCH, AND SMOKE SEAL
  - 45-MIN AT 1-HR ENCLOSURE
  - 90-MIN AT 2-HR ENCLOSURE
- ② COMMON STAIR: MAX RISER HEIGHT OF 7" AND MINIMUM TREAD DEPTH OF 11" (PER CBC 1011.5.2) MINIMUM HEADROOM 80" (PER CBC 1011.3)
- ③ PRIVATE STAIR: MAX RISER HEIGHT OF 7 3/4" AND MINIMUM TREAD DEPTH OF 10" (PER CBC 1011.5.2 EXCEPTION #3) MINIMUM HEADROOM 80" (PER CBC 1011.3)
- ④ GUARDRAIL: MIN. 42" A.F.F. WITH 4" MAX OPENINGS (PER CBC 1015.3 & 1015.4). GUARDRAIL SHALL BE 1-HR RATED CONSTRUCTION AT PROPERTY LINE CONDITION
- ⑤ HANDRAIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014)
- ⑥ EGRESS WINDOW



Bruce Samson, SFFD  
 MAY 27 2021

David Jones, DBI  
 MAY 06 2021

**SITE PERMIT REVISION**  
 FEB 19 2020  
 THE APPLICATION SUBMITTED FOR SITE PERMIT ONLY AND WORK MAY BE STOPPED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



Revisions	
R1	11/4/2019



**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDBI EPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

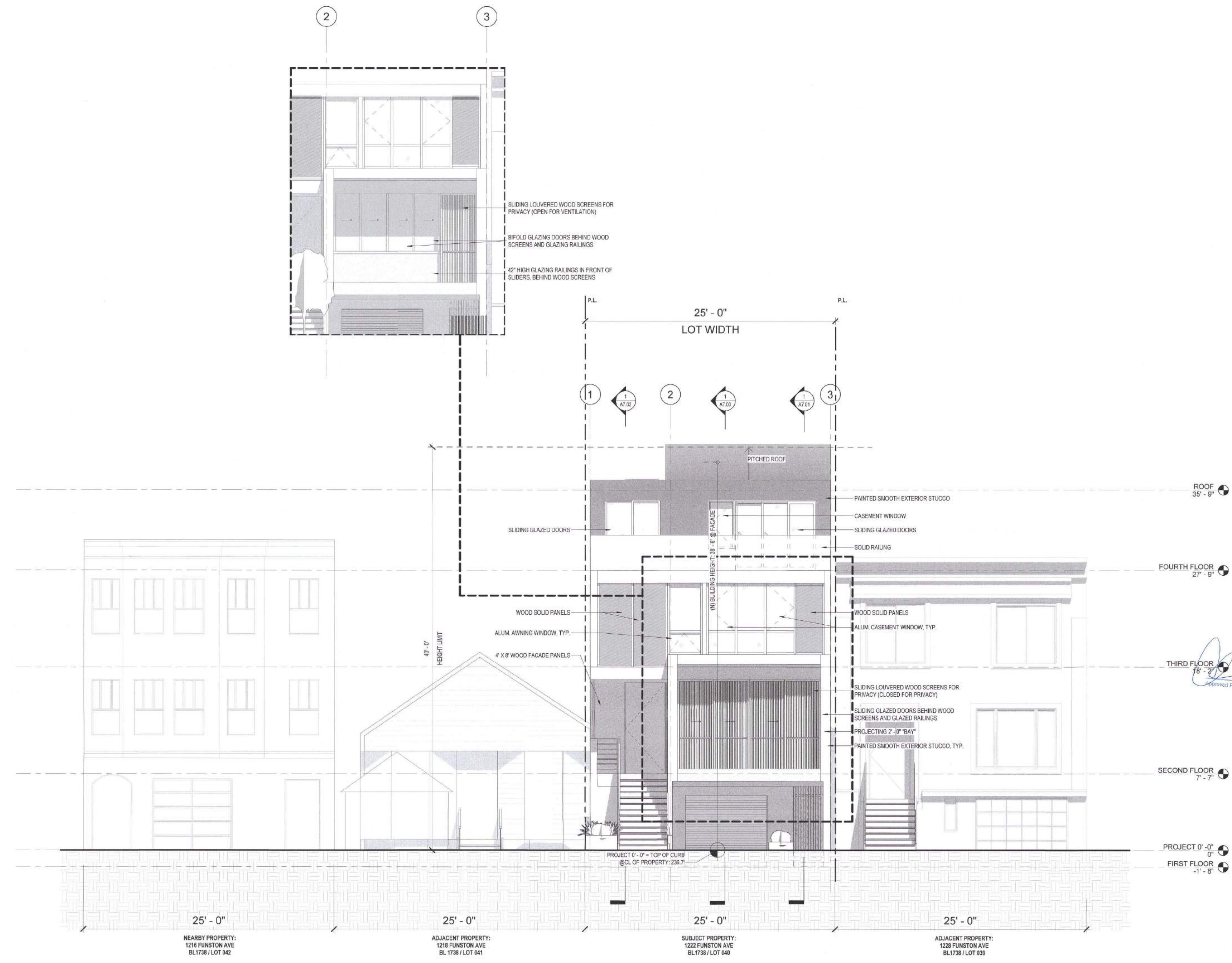
**NOTICE**  
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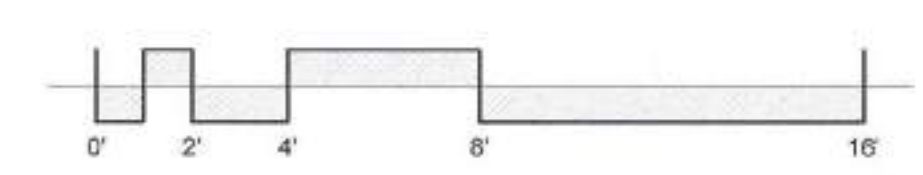
**EXTERIOR ELEVATIONS - WEST (FRONT)**

DATE	11/20/2018
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

**A5.01**



**1 PROPOSED ELEVATION - WEST (FRONT)**  
1/4" = 1'-0"



Bruce Samson, SFFD  
MAY 27 2021  
David Jones, DBI  
MAY 06 2021



Revisions	
R1	11/4/2019



**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDBA BPA: 201812118001

A NEW SINGLE FAMILY HOME

KERAH WOODS, WOODS  
FAMILY INVESTMENTS, LP

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**EXTERIOR ELEVATIONS - EAST (REAR)**

DATE 11/20/2018

SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO.

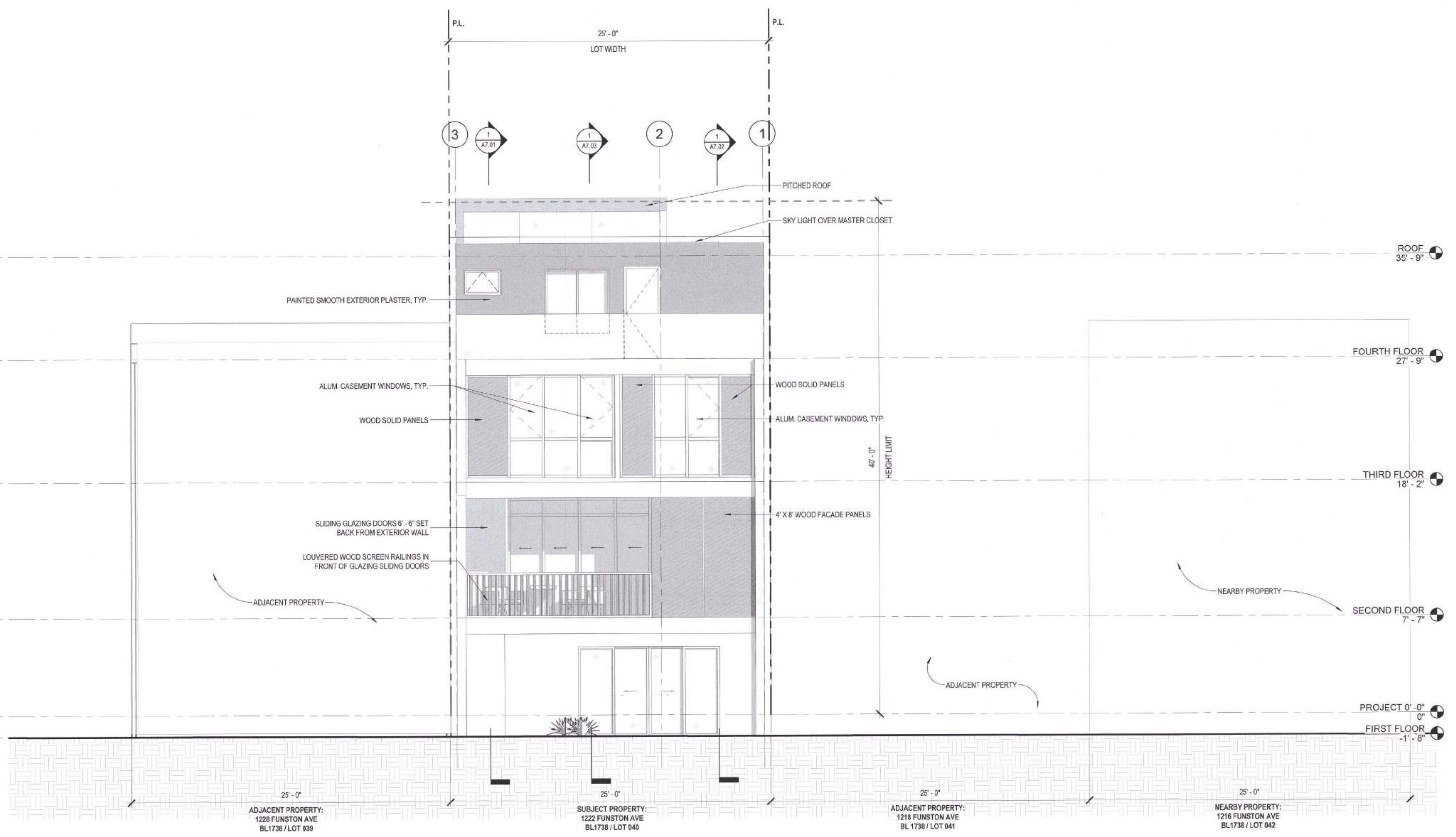
**A5.02**

FEB 04 2020  
Approved Planning Dept. Catherine Campbell

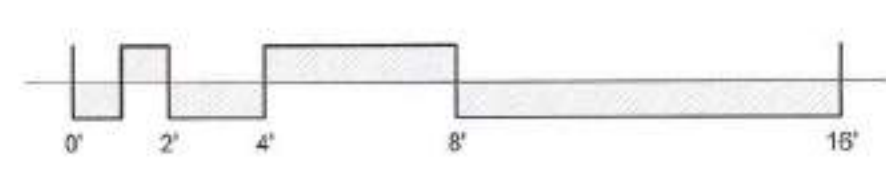
**APPROVED**  
Dept. of Building Insp.  
San Francisco  
AUG 04 2021

David Jones, DBI  
MAY 27 2021

MAY 06 2021  
**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPROVED PERMIT IS FOR SITE PERMIT ONLY. NO WORK, EXCEPT AS SHOWN ON THE CONSTRUCTION PLANS, SHALL BE APPROVED.



**1 PROPOSED ELEVATION - EAST (REAR)**  
1/4" = 1'-0"



Revisions	
R1	11/4/2019



**1222 FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

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**EXTERIOR ELEVATIONS - NORTH**

DATE 11/20/2018

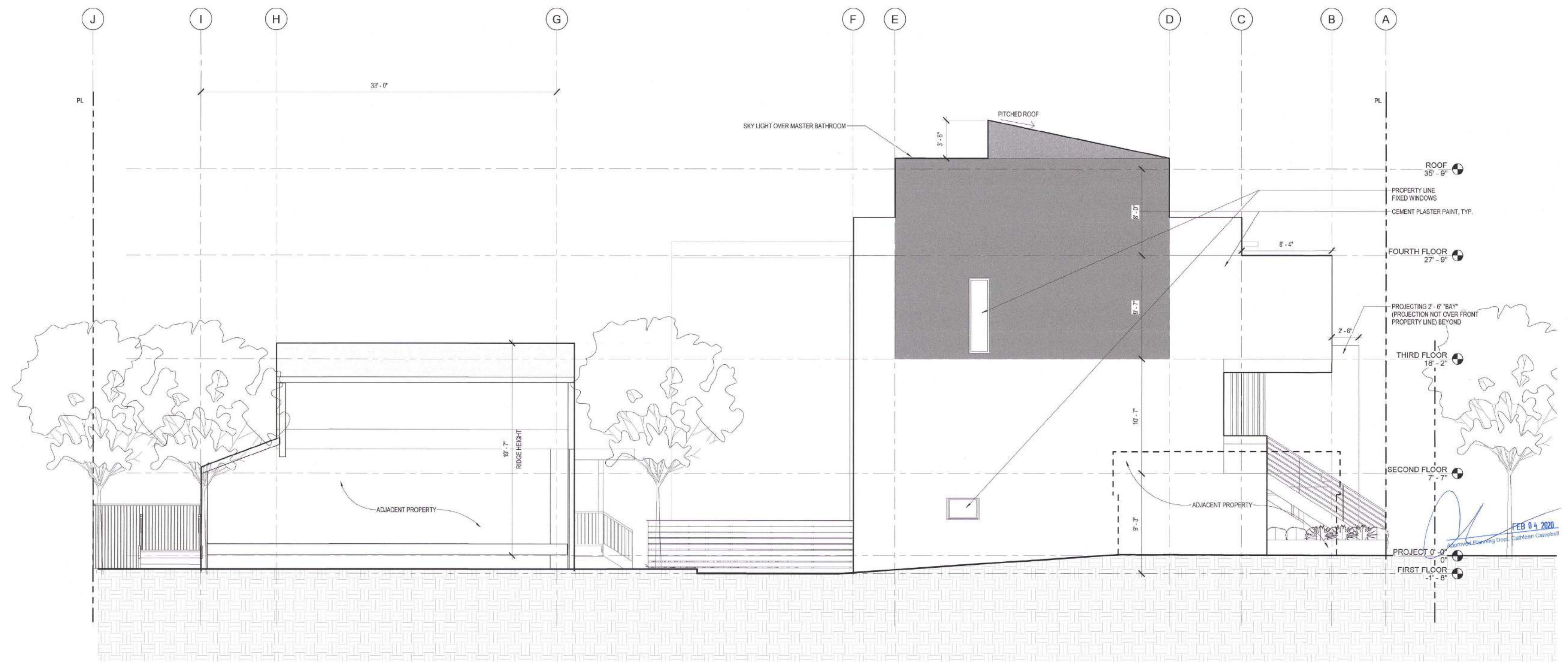
SCALE 1/4" = 1'-0"

DRAWN BY Author

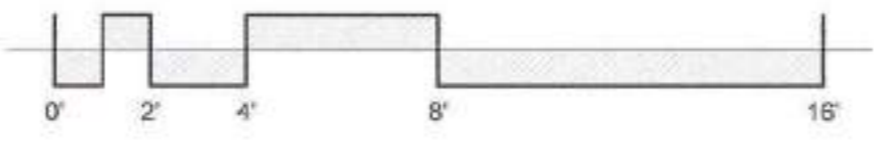
CHECKED BY Checker

JOB NO.

**A5.03**



**1 PROPOSED ELEVATION - NORTH**  
1/4" = 1'-0"



Bruce Samson, SFFD  
MAY 27 2021

David Jones, DBI  
MAY 06 2021



THIS APPROVED/REVISION/PERMIT IS VALID ONLY IF WORK MAY BE STARTED WITH CONSTRUCTION PLANS HAVE BEEN APPROVED.

Revisions

R1	11/4/2019



1222  
FUNSTON AVE

BLOCK 1738 / LOT 040  
SFDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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The Contractor shall verify all existing conditions. Written dimensions take precedence over as-cast dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kernan/Morrison Architects prior to the commencement of any work.

These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative typical details.

All attachments, connections, fastenings etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

EXTERIOR ELEVATIONS - SOUTH

DATE 11/20/2018

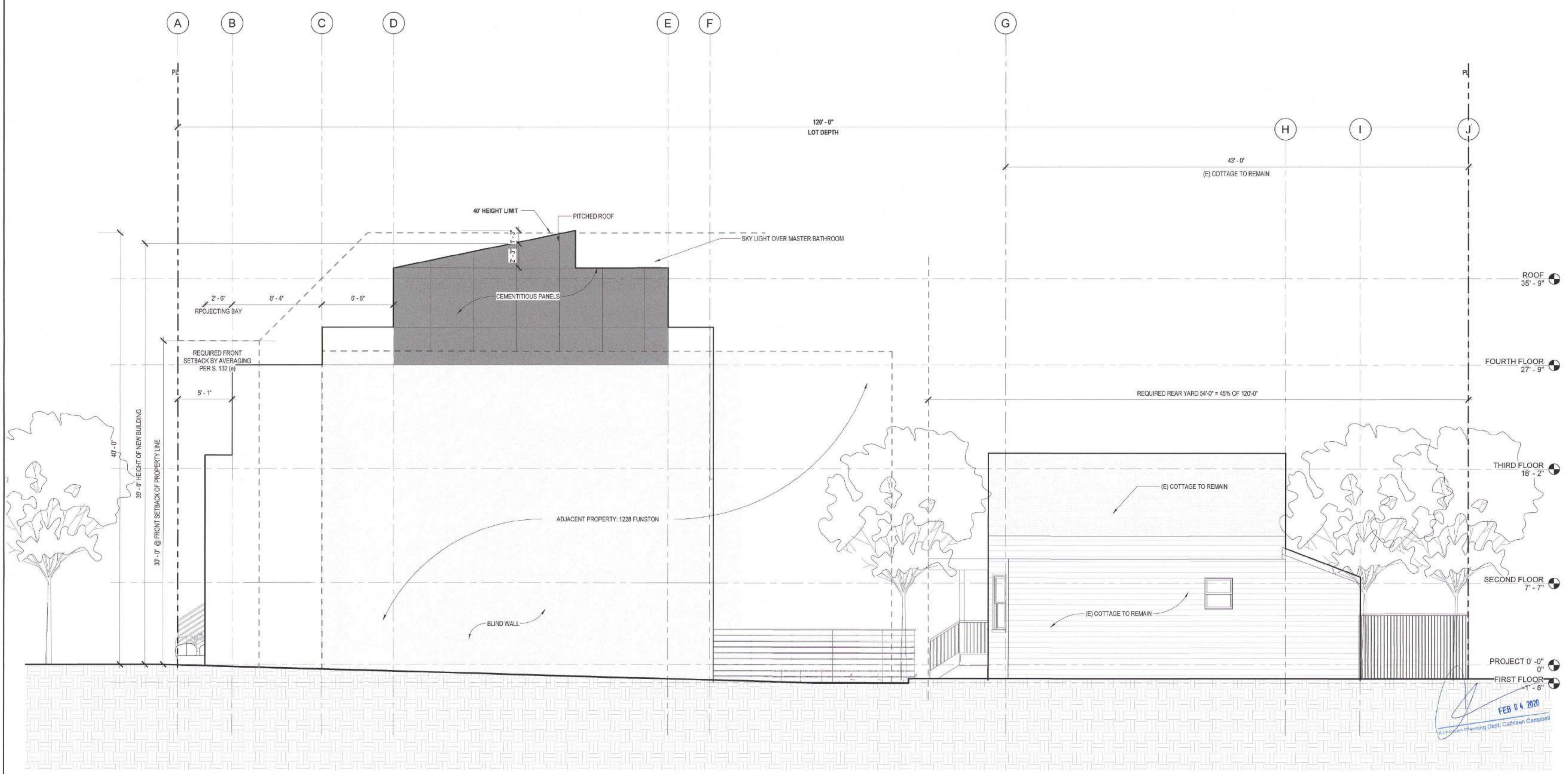
SCALE 1/4" = 1'-0"

DRAWN BY Author

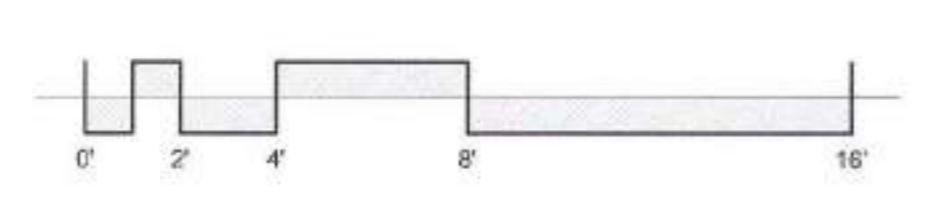
CHECKED BY Checker

JOB NO.

A5.04



1 PROPOSED ELEVATION - SOUTH  
1/4" = 1'-0"



APPROVED  
Dept. of Building Inspr.  
San Francisco

AUG 04 2021

David J. ...  
DEPT. OF BUILDING INSPECTION

Bruce Samson, SFPD  
MAY 27 2021

David J. ...  
MAY 06 2021

SITE REVISION  
FEB 13 2020  
HIGH QUALITY CONSTRUCTION FOR THE PROJECT  
OVER 20 YEARS. MAY BE SUBJECT TO  
CONSTRUCTION PLANS HAVE BEEN APPROVED.

Revisions	
R1	11/4/2019



**1222<sup>Y</sup>  
 FUNSTON AVE**

BLOCK 1738 / LOT 040  
 SFDDBI BPA. 201912116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
 FAMILY INVESTMENTS, LP

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The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

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**BUILDING SECTIONS**

DATE 11/20/2018

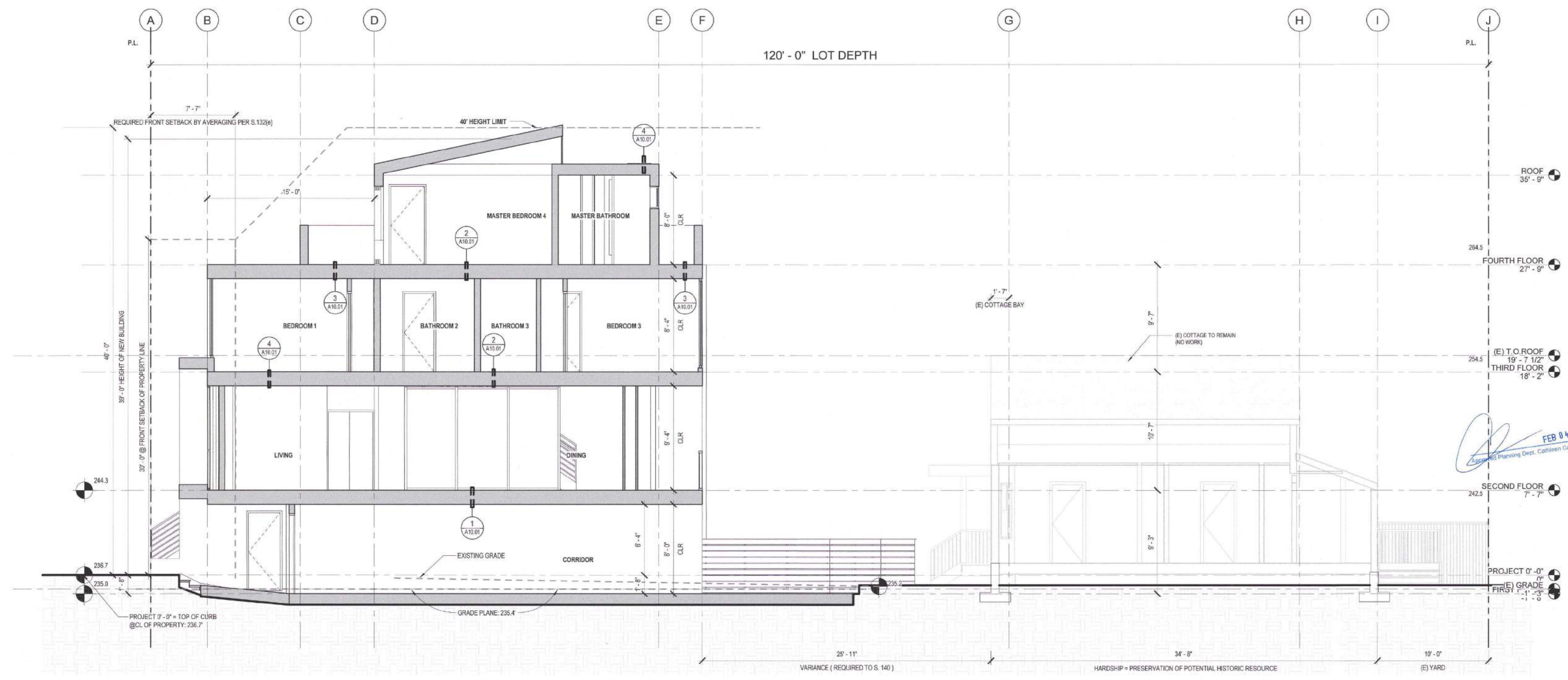
SCALE 1/4" = 1'-0"

DRAWN BY Author

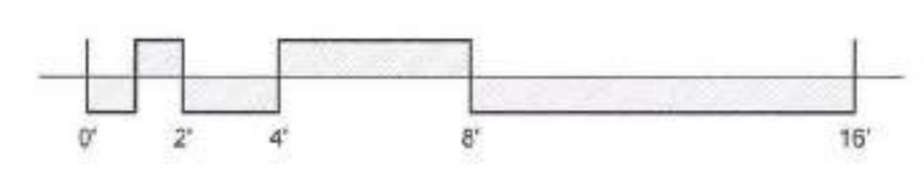
CHECKED BY Checker

JOB NO.

**A7.01**



**1 SECTION A - A**  
 1/4" = 1'-0"



**APPROVED**  
 Dept. of Building Insp.  
 San Francisco  
 AUG 04 2021

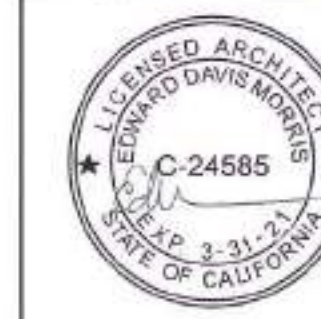
*[Signature]*  
 SUPERVISOR  
 DEPT. OF BUILDING INSPECTION

*[Signature]*  
 Bruce Samson, LP-FE  
 MAY 27 2021

*[Signature]*  
 David Jones, DBI  
 MAY 06 2021

**SITE PERMIT REVISION**  
 FEB 19 2020  
 THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO OTHER USES OR STRUCTURE CONSTRUCTION PLANS HAVE BEEN APPROVED.

Revisions	
R1	11/14/2019



**1222 1/2  
 FUNSTON AVE**

BLOCK 1738 / LOT 040  
 SFDBI BPA: 201812116001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
 FAMILY INVESTMENTS, LP

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All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**BUILDING SECTIONS**

DATE 11/20/2018

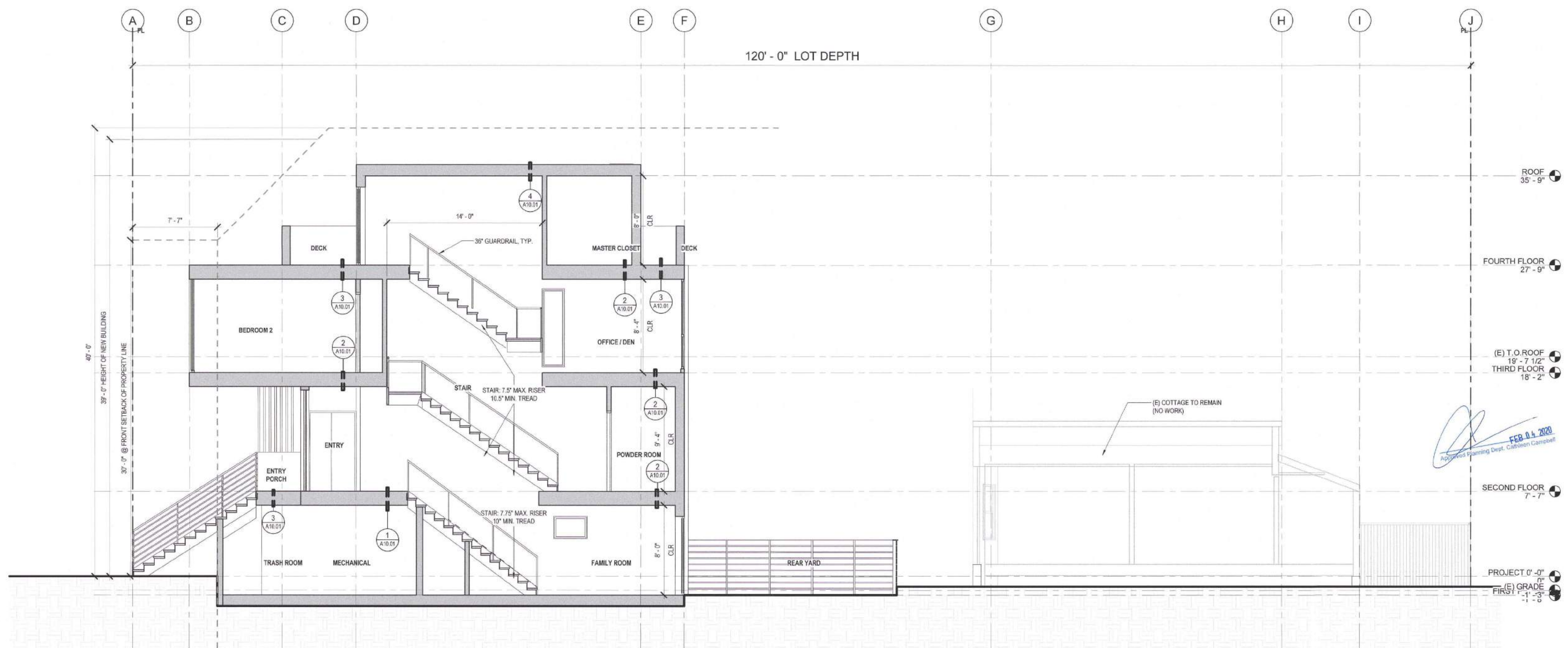
SCALE 1/4" = 1'-0"

DRAWN BY Author

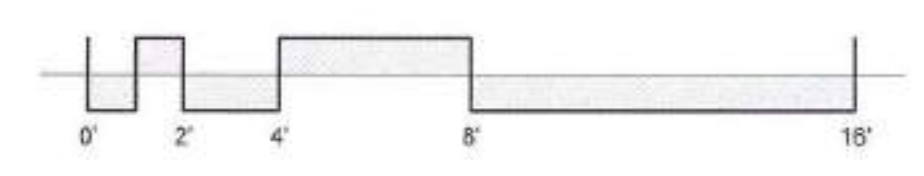
CHECKED BY Checker

JOB NO.

**A7.02**



**1 SECTION B - B**  
 1/4" = 1'-0"



**APPROVED**  
 Dept. of Building Insp.  
 - San Francisco -  
 AUG 04 2021

Bruce Samson, SFPD  
 MAY 27 2021

David Jones, DBI  
 MAY 06 2021

**SITE PERMIT REVISION**  
 FEB 19 2020  
 THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PERMITS HAVE BEEN APPROVED.

Revisions	
R1	11/4/2019



**1222/ FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDBI BPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS FAMILY INVESTMENTS, LP

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The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerian Morris Architects prior to the commencement of any work.

These drawings are an industry standard habitant set for building permit and to assist the contractor in construction. The drawings show limited and only representative typical details.

All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**BUILDING SECTIONS**

DATE 11/20/2018

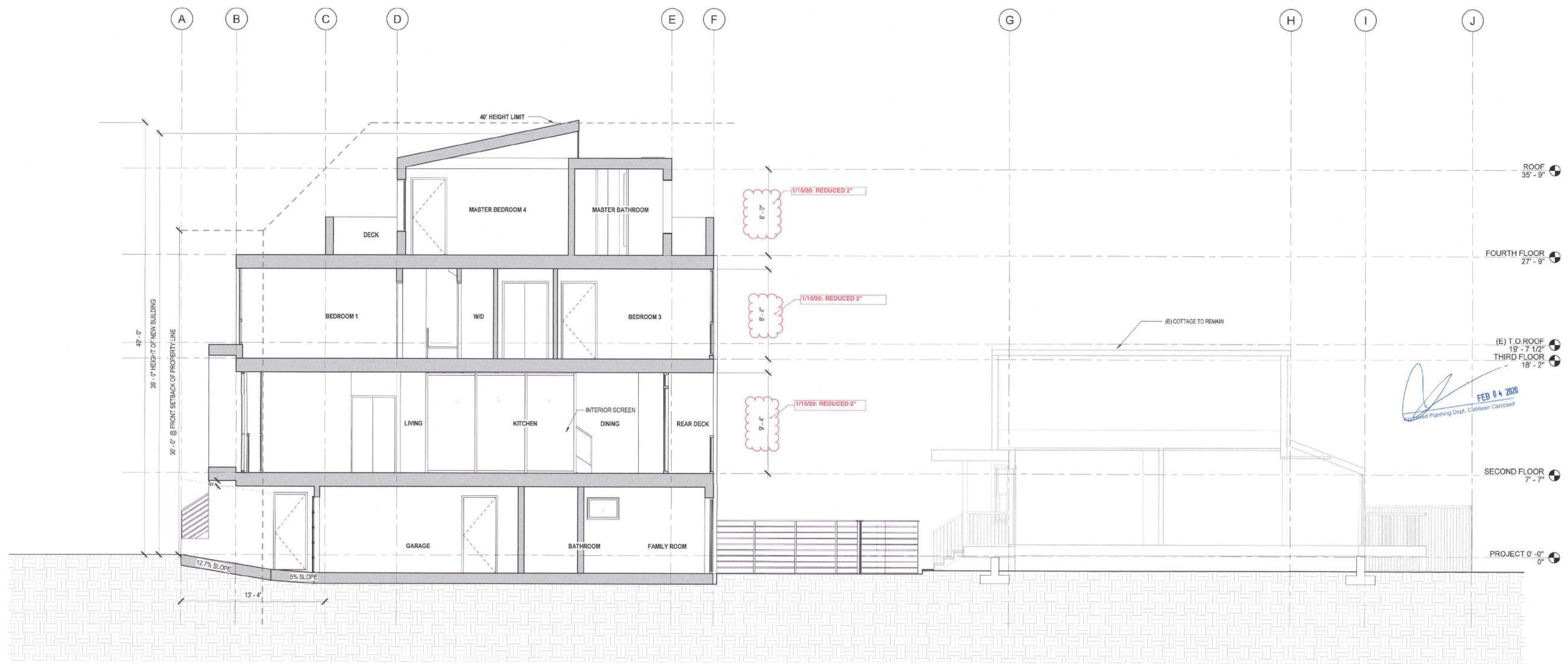
SCALE 1/4" = 1'-0"

DRAWN BY Author

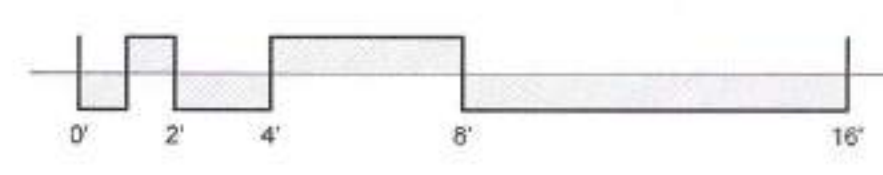
CHECKED BY Checker

JOB NO.

**A7.03**



1 SECTION C - C  
1/4" = 1'-0"



**APPROVED**  
Dept. of Building Inspection  
San Francisco  
AUG 04 2021

Bruce Samson, SFFD  
MAY 27 2021  
David Jones, DBI  
MAY 06 2021

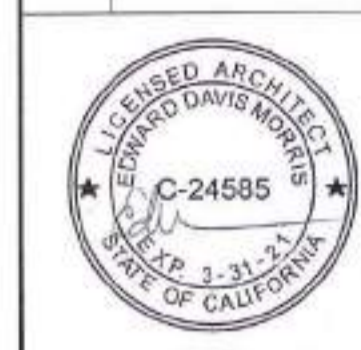
**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPROVED/REVISIONED PERMIT IS VALID ONLY FOR THE DATE, TIME, AND CONSTRUCTION PLANS HEREON APPROVED.

*Handwritten signature*

**SITE PERMIT REVISION**  
FEB 19 2020  
THIS APPLICATION IS GUARANTEED FOR SITE PERMIT ONLY. NO OTHER PERMITS OR CONSTRUCTION PLANS HAVE BEEN APPROVED.

Revisions

R1	11/4/2019
----	-----------



**1222<sup>1/2</sup>**  
**FUNSTON AVE**

BLOCK 1738 / LOT 040  
SFDDBI EPA: 201812118001

A NEW SINGLE FAMILY HOME

KIERAN WOODS, WOODS  
FAMILY INVESTMENTS, LP

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The Contractor shall verify all existing conditions. Written dimensions take precedence over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of KernanMorris Architects prior to the commencement of any work.

These drawings are an industry standard. Builders are to be properly permitted and to assist the contractor in construction. The drawings show limited and only representational details.

All attachments, connections, fasteners, etc. are to be properly secured in accordance with best practice, and the Contractor shall be responsible for providing and installing them.

**WALL PARTITIONS**

DATE 11/20/2018

SCALE 3" = 1'-0"

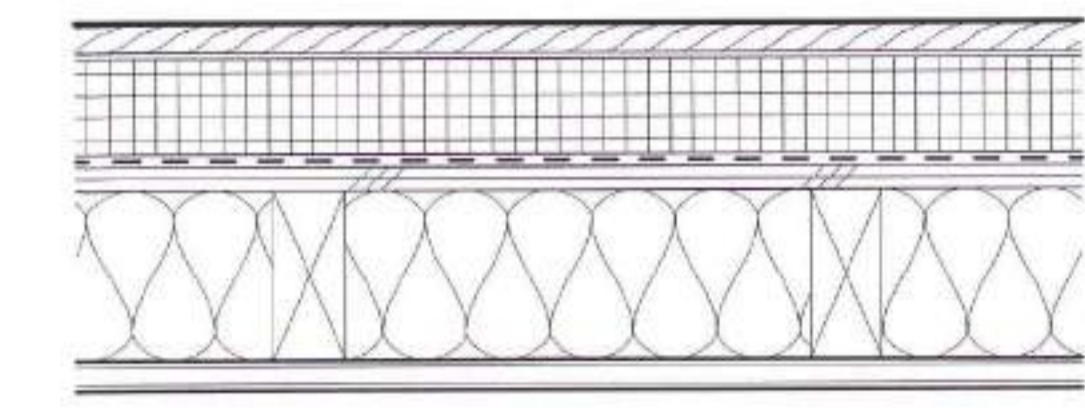
DRAWN BY Author

CHECKED BY Checker

JOB NO.

David Jones, D.J.  
MAY 16 2021

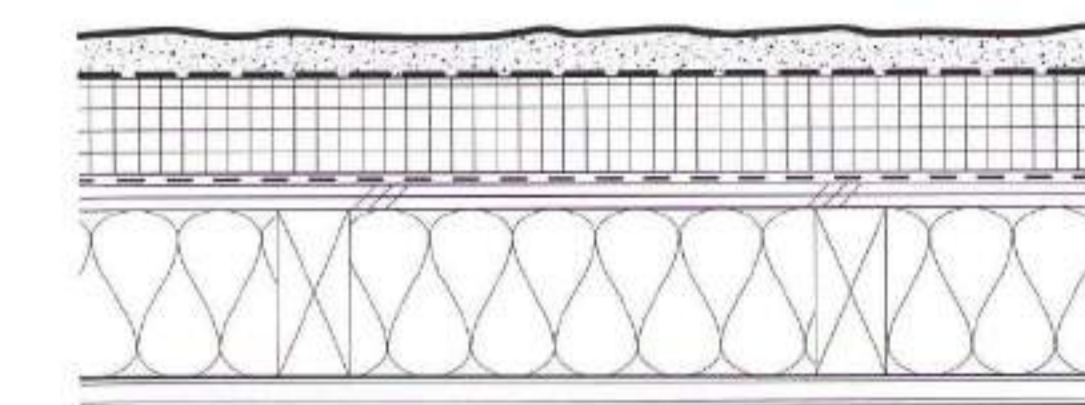
**A10.01**



WOOD PANEL SIDING  
-2" CONTINUOUS RIGID INSULATION  
-WRB  
-PLYWOOD SHEATHING S.S.D.  
-WOOD STUDS (PT OR FIRE TREATED AS REQ'D)  
INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT  
(1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:  
C 2x6

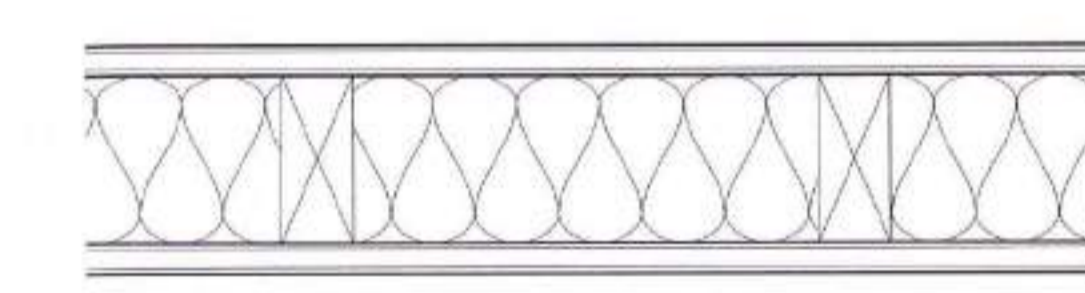
**C EXT. WALL - WOOD SIDING**  
1-HR (SIM. TO GA FILE NO: WP 8105)



3-COAT CEMENT PLASTER OVER SELF-FURRING LATH  
-2" CONTINUOUS RIGID INSULATION W/ NAILERS  
-WRB  
-PLYWOOD SHEATHING S.S.D.  
-WOOD STUDS (PT OR FIRE TREATED AS REQ'D)  
INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT  
(1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:  
B 2x6

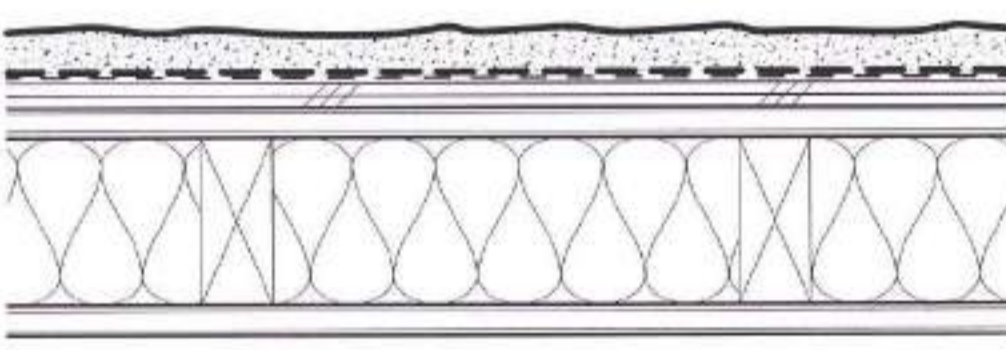
**B EXT. WALL - CEMENT PLASTER**  
1-HR (SIM. TO GA FILE NO: WP 8105)



1/2" BLINDWALL SHEATHING (CEDAR, HEART REDWOOD OR P.T.) - FASTEN W/ HOT DIPPED GALVANIZED FASTENERS  
-WRB  
(1) LAYER 5/8" TYPE 'X' GYP. SHEATHING  
-WOOD STUDS (PT OR FIRE TREATED AS REQ'D)  
INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT  
(1) LAYER 5/8" TYPE 'X' GYP. SHEATHING  
-PLYWOOD SHEATHING S.S.D.  
-3-COAT CEMENT PLASTER OVER SELF-FURRING LATH

STUD SIZES:  
F 2x6

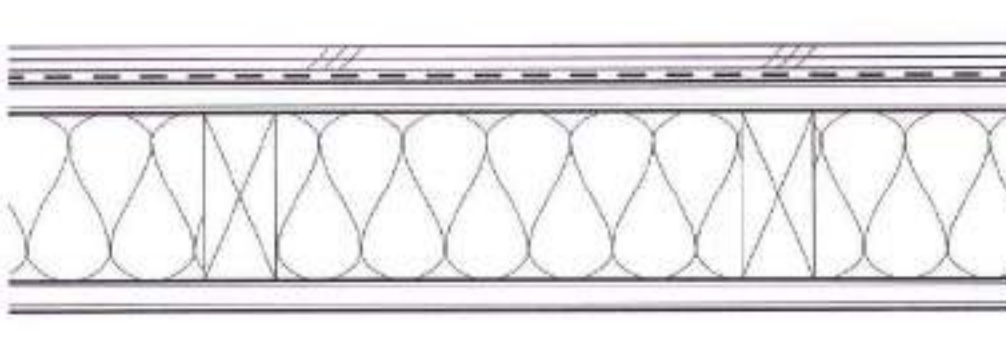
**F EXT. WALL - BLIND WALL & SIDING**  
1-HR (SIM. TO GA FILE NO: WP 8105)



3-COAT CEMENT PLASTER OVER SELF-FURRING LATH  
-WRB  
-PLYWOOD SHEATHING S.S.D.  
(1) LAYER 5/8" TYPE 'X' GYP. SHEATHING  
-WOOD STUDS (PT OR FIRE TREATED AS REQ'D)  
INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT  
(1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:  
E 2x6

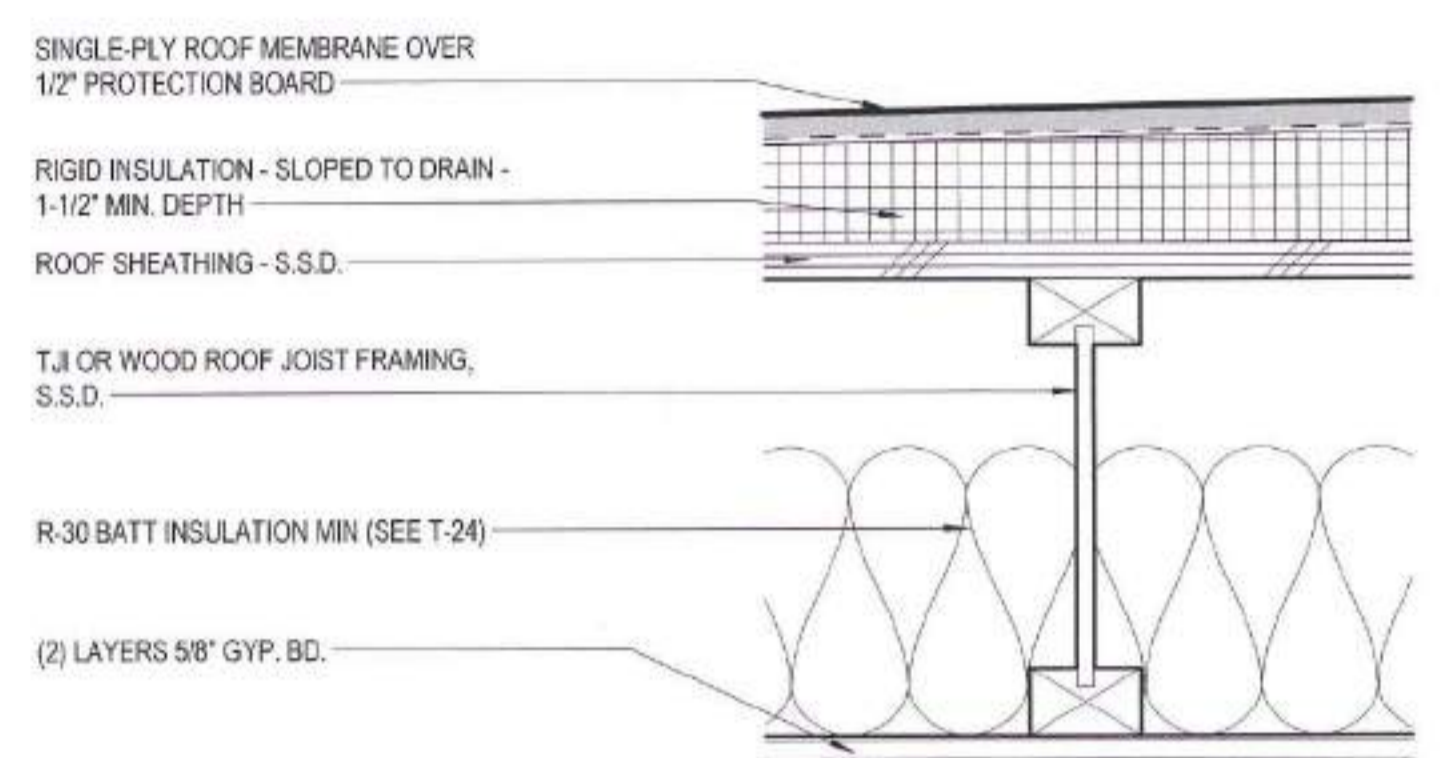
**E EXT. WALL - BLIND WALL W/ SIDING**  
1-HR (SIM. TO GA FILE NO: WP 8105)



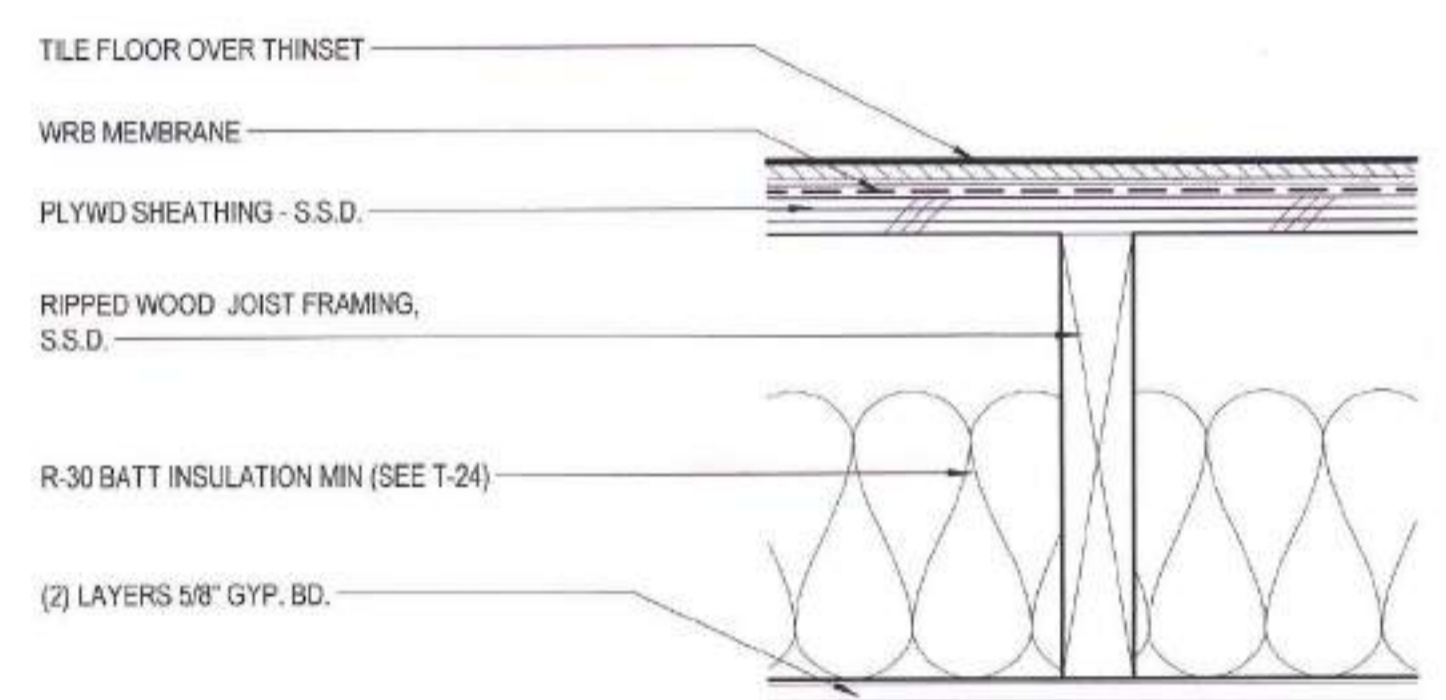
1/2" BLINDWALL SHEATHING (CEDAR, HEART REDWOOD OR P.T.) - FASTEN W/ HOT DIPPED GALVANIZED FASTENERS  
-WRB  
(1) LAYER 5/8" TYPE 'X' GYP. SHEATHING  
-WOOD STUDS (PT OR FIRE TREATED AS REQ'D)  
INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT  
(1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:  
D 2x6

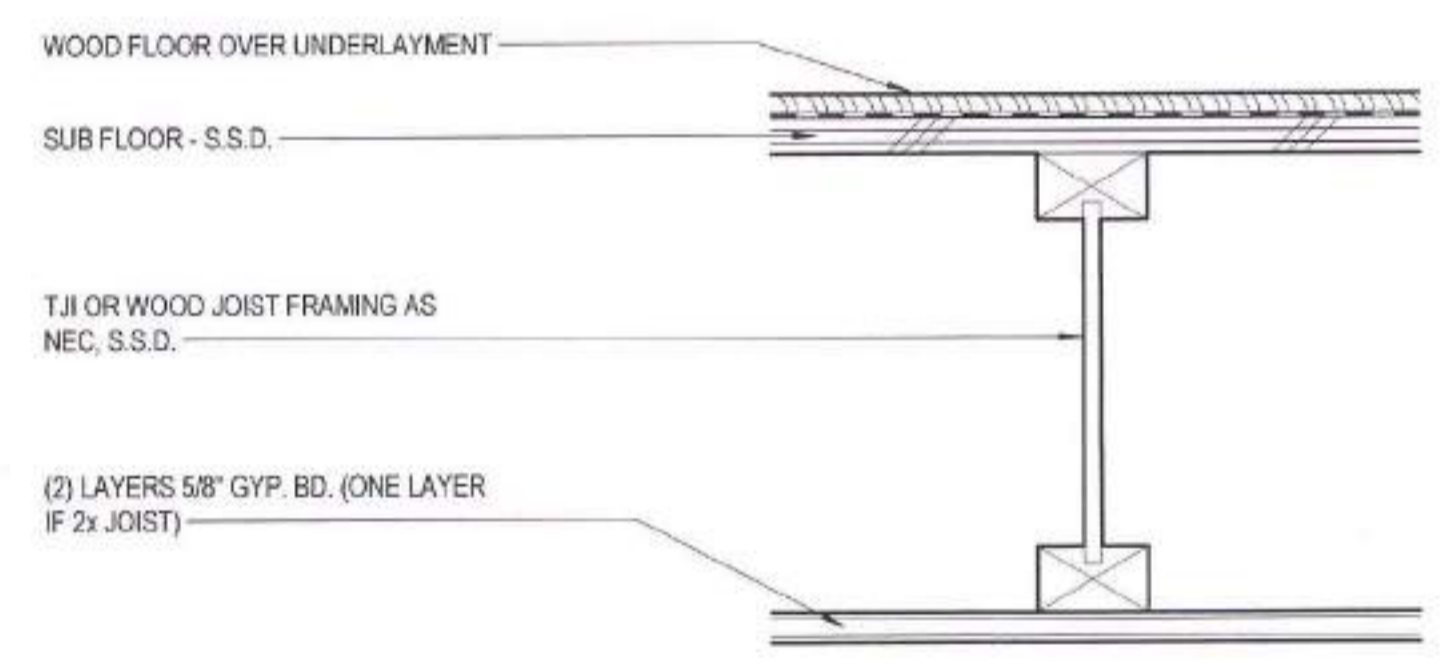
**D EXT. WALL - BLIND WALL**  
1-HR (SIM. TO GA FILE NO: WP 8105)



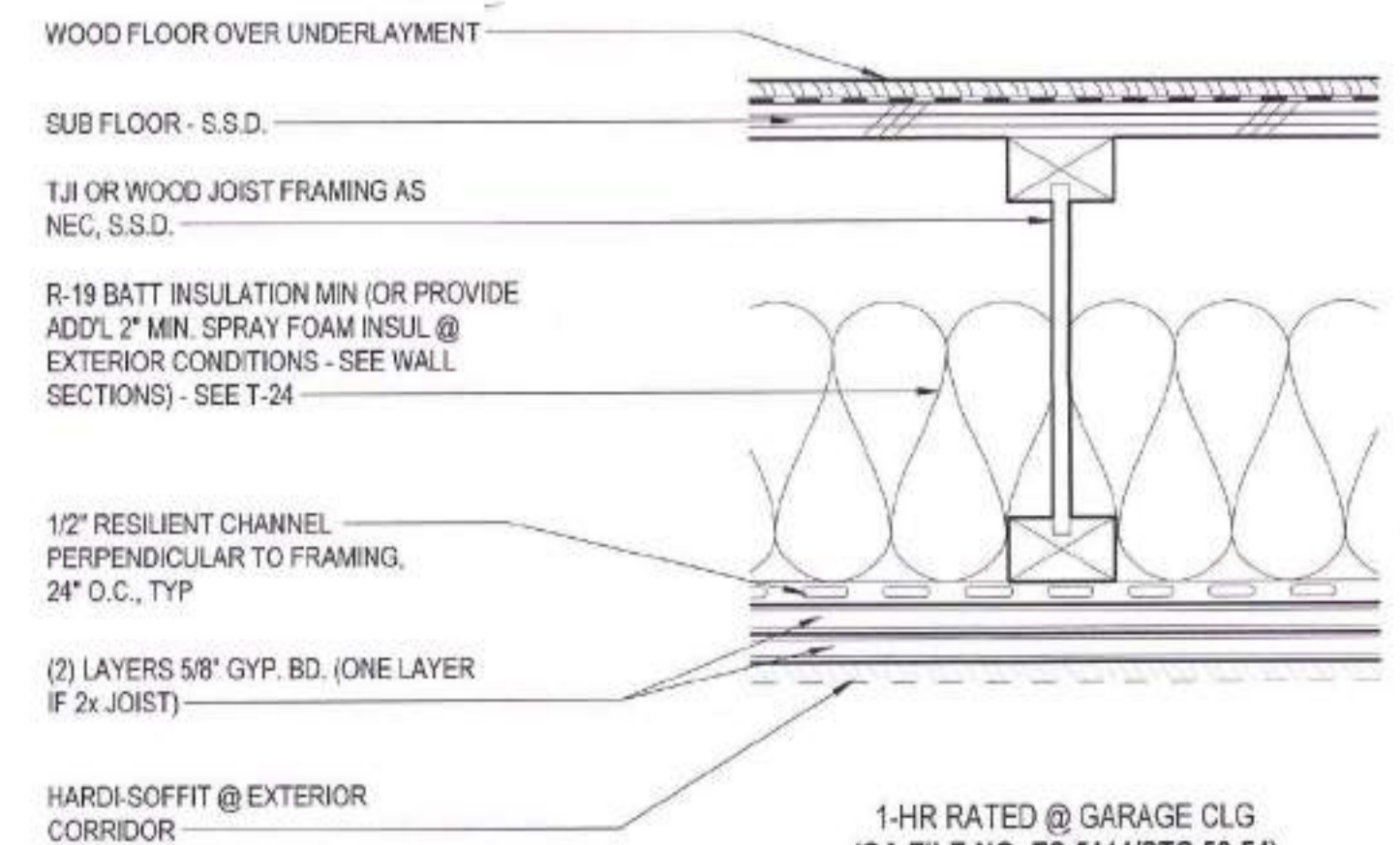
**4 ROOF / CLG - FLAT ROOF**  
3" = 1'-0"



**3 ROOF / CLG - DECK**  
3" = 1'-0"



**2 FLOOR / CLG - TYP.**  
3" = 1'-0"



**1 FLOOR / CLG - 1-HR**  
3" = 1'-0"

**APPROVED**  
AUG 04 2021  
DEPT. OF BUILDING INSPECTION

**APPROVED**  
AUG 04 2021  
DEPT. OF BUILDING INSPECTION

**APPROVED**  
AUG 04 2021  
DEPT. OF BUILDING INSPECTION

**PARTITION TYPES - GENERAL NOTES**

- ALL STANDARD STUD FRAMING SHALL BE 16" O.C. U.O.N. ALL SHAFT WALL STUD FRAMING SHALL BE 24" O.C. U.O.N.
- ALL GYP. BD. TO BE 5/8" THICK TYPE 'X' U.O.N. PAINT ALL EXPOSED FACES.
- PROVIDE TYPE 'X' GLASS-MAT WATER-RESISTANT BACKING BOARD IN LIEU OF FINAL LAYER OF GYP. BD. INDICATED ON SCHEDULED WALL TYPES AT INTERIOR FRAMED WET WALLS, INCLUDING LAUNDRY CLOSET.
- PROVIDE MOISTURE AND MOLD-RESISTANT TYPE 'X' GYP. BOARD AT ALL INTERIOR 'HUMID' LOCATIONS INCLUDING BATHROOMS.
- THE WALL TYPE ABOVE OR BELOW ANY OPENING IS TO BE THE SAME AS THAT SCHEDULED FOR EITHER SIDE OF THE OPENING.
- DIFFERING WALL TYPES SHALL ALIGN SO THAT WALL PLANES CONTINUE UNBROKEN IN ROOMS, UNLESS OTHERWISE NOTED.
- DIMENSION LOCATION FOR ALL INTERIOR WALLS IS TO THE FACE OF GYPSUM BOARD PANELS.
- WALLS INDICATED AS FIRE-RATED FORM A SEPARATION THAT SHALL BE CONTINUOUS FROM FLOOR TO FLOOR ABOVE WITH NO BREAKS AT COLUMNS, BEAMS, WALL TRANSITIONS, OR OTHER OBSTRUCTIONS. AT RATED CONDITIONS PENETRATIONS SHALL BE FIRE CALLED.
- ALL INSULATION SHALL BE UNFACED R-19 AT INTERIOR FURRING ADJACENT TO UNINSULATED EXTERIOR WALLS, SUCH AS CONCRETE, CMU, AND SPANDREL PANELS IN WINDOW/CURTAIN WALLS, TYP. U.O.N. FOR CLARITY, INSULATION IS NOT SHOWN ON MANY DETAILS. INSULATION IS TO RUN CONTINUOUS AROUND FURRED COLUMNS AND OTHER OBSTRUCTIONS TO FORM A CONTINUOUS ACUSTIC OR THERMAL BARRIER.
- ACUSTICAL WALLS SHALL INCLUDE BATT INSULATION FULL WIDTH OF STUDS AND BE SEALED AIR TIGHT, WITH ACUSTICAL SEALANT BETWEEN GYPSUM BOARD AND CONCRETE SLABS, BEAM COLUMNS, AND WALLS OR STRUCTURAL STEEL MEMBERS, AROUND ALL PENETRATIONS, AND AT DISSIMILAR MATERIALS. SEE WALL TYPES THIS SHEET INDICATING A NOISE-SENSITIVE SIDE - THE NOISE-SENSITIVE SIDE.
- WALLS SUPPORTING CASEWORK, SHELVING, GRAB BARS, EQUIPMENT AND OTHER WALL-MOUNTED FIXTURES SHALL BE REINFORCED PER THE FIXTURE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, WHICHEVER IS GREATER.



# PUBLIC COMMENT

## Longaway, Alec (BOA)

---

**From:** Austin Arensberg <austinarensberg@gmail.com>  
**Sent:** Friday, October 1, 2021 8:15 PM  
**To:** BoardofAppeals (PAB)  
**Subject:** Appeal No. 21-080 / 1224 Funston Ave. Letter of Support for construction / From resident of 1240 Funston Ave.

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hi

I am a resident of 1240 Funston Ave. My name is William Austin Arensberg and **I am in support** of building a new four-story single family residence on the 1224 Funston Ave. site. the site permit no. 2018/1211/9001.

San Francisco needs to build new and modern homes and increase the overall living space available.

Thanks  
William Austin Arensberg

## Longaway, Alec (BOA)

---

**From:** Allan Chalmers <allanchalmers@yahoo.com>  
**Sent:** Tuesday, October 12, 2021 1:45 PM  
**To:** BoardofAppeals (PAB)  
**Subject:** Appeal No. 21-080 1224 Funston Ave.

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

I wish to support the request that this project be cancelled. I am very surprised that it would have even been considered - the project will cause the people living at 1222 Funston to be living in what would amount to be a canyon. My understanding was that a project building next to an existing property at the back of a lot was required to be set back approximately halfway from the front of the lot to the front of the adjacent property. That is not what I understand to be the case on this project.

Allan Chalmers 1231 12th Ave.

*Jim Iwersen  
1216 Funston Avenue, #1  
San Francisco, CA 94122*

*ttlpar@me.com  
415-566-3014 text/call  
415-566-6564 land line*

*City & County of San Francisco  
Board Of Appeals*

*boardofappeals@sfgov.org*

*Members of the board of Appeals,  
Ladies & Gentlemen,*

*I am writing to ask you to reconsider the permits granted to 1224 Funston Avenue, San Francisco, 94122.*

*I am the immediate neighbor residing at 1216 Funston Avenue. I have naturally followed the progress of this permit process from the beginning.*

*This contentious situation is far from ideal, although it seems to follow a pattern ensuring the developers receive maximum profitability.*

*I consider this project too high. This already permitted structure should be three (3) floors instead of four (4). The home will add to our housing stock, yes, but for those at the luxury end only. The affordability is not here.*

*The issues of removing the garage are not well documented. Specifically, the security and proper entrance for the neighbors living at 1218 Funston Ave. will be compromised.*

*This permitted 4 story new construction has other design flaws, e.g., the windows on the north side.*

*Why was a three story apartment with two units, or even three never considered ? This would fit the needs of San Francisco, District 5, even better.*

***“More important: Sup. Myrna Melgar, a former planning commissioner, said that the need for a developer to make a tidy profit should not drive policy decisions. “That’s not something the city should take on,” she said. “That’s not what should guide an approval for us.”***

***It’s hard to described what a significant change that would be to city planning policy, which for at least half a century has been driven by the idea of enabling developer profits.”***

<https://48hills.org/2021/10/in-a-sign-of-major-planning-changes-supes-reject-tenderloin-tech-dorms/>

*This project is bad public housing policy. We need more truly affordable dwellings for middle income people here working regular jobs.*

*This present proposal will add to the poor reputation the planning board has earned. Next door at 1228 a luxury home sits unsold. Code violations are not addressed with impunity. Airbnb seems to be the beneficiary. How can this be good for the neighborhood ? Short term rentals benefits who ? Why allow more of this ?*

*Now it the time to step back and correct this mistaken approval.*

*Respectfully,*

*Jim Iwersen*