

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
MONICA ORTEGA,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **22-024**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on March 30, 2022, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the issuance on March 17, 2022 to 1026 Capp LLC, of an Alteration Permit (Construction of a new accessory dwelling unit (ADU); building in rear to the west of the property) at 1024 Capp Street.

APPLICATION NO. 2021/0224/5270

FOR HEARING ON May 18, 2022

Address of Appellant(s):

Address of Other Parties:

Monica Ortega, Appellant(s)
1020 Capp Street
San Francisco, CA 94110

1026 Capp LLC, Permit Holder(s)
c/o Gary Varum, Agent for Permit Holder(s)
634 Las Barrancas Drive
Danville, CA 94526



Date Filed: March 30, 2022

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 22- 024

I / We, **Monica Ortega**, hereby appeal the following departmental action: **ISSUANCE of Alteration Permit No. 2021/0224/5270** by the **Department of Building Inspection** which was issued or became effective on: **March 17, 2022**, to: **1026 Capp LLC**, for the property located at: **1024 Capp Street**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **April 28, 2022, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, garyvarum@gmail.com and espamiol@gmail.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **May 12, 2022, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, tina.tam@sfgov.org, corey.teague@sfgov.org and mort3ga@yahoo.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, May 18, 2022, 5:00 p.m., in Room 416 of SF City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal

Appellant or Agent:

Signature: Via Email

Print Name: Monica Ortega, appellant

March 28, 2021

To Whom it May Concern,

I am writing to appeal the decision of a working permit at 1026 Capp Street for the 3 story AUD unit on Lilac Street. As a native to the Mission District community, I am concerned with the new construction that is in process on Lilac Street. My grandmother is the owner of the property and resides in the upper unit. She loves her balcony with plants and her natural light that she gets into her kitchen. I live downstairs and rent from my grandmother, where I have natural light in my living room and kitchen, and from the backyard . My family and I live next door to the constcution property, and the new 3 story AUD unit on Lilac Street. This new construction will take away the majority of our natural light in the backyard / back part of the household. We are concerned with the limited natural sunlight that we will no longer obtain by building the new 3 story AUD. As well as the privacy concerns of having windows facing into the rear of the new construction that face our backyard. Please understand that we have lived on our property for more than 50 years, natives to the Mission District. And we are very worried how this new AUD 3 story unit will impact our property.

Application Number: 202102245270, Address(es): 6528 / 005 / 0 1024 CAPP ST., Description: CONSTRUCTION OF NEW ACCESSORY DWEEELING UNIT (ADU) BUILDING IN THE RE (WEST) OF THE PROPERTY.

Thank you,

Monica Ortega

Address: 1020 Capp Street, San Francisco, CA 94110

Phone number: 415-670-0790

Email address: mort3ga@yahoo.com

Permit Details Report

Report Date: 3/30/2022 12:07:58 PM

Application Number: 202102245270
 Form Number: 2
 Address(es): 6528 / 005 / 0 1024 CAPP ST
 Description: CONSTRUCTION OF NEW ACCESSORY DWEELING UNIT (ADU) BUILDING IN THE RE (WEST) OF THE PROPERTY.
 Cost: \$175,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
2/24/2021	TRIAGE	
2/24/2021	FILING	
2/24/2021	FILED	
3/17/2022	APPROVED	
3/17/2022	ISSUED	

Contact Details:

Contractor Details:

License Number: OWNER
 Name: OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CP-GEN	2/24/21	2/24/21	2/24/21	2/26/21	2/26/21	BAEZA ROGELIO	PLANNING PERMIT INTAKE. Please contact rogelio.baeza@sfgov.org for any questions. 2/25 AWAITING PAYMENT. 2/26/2021: APPLICA ACCEPTED; INVITE SENT TO APPLICANT & AGENCIES TO JOIN BLUEBEAM SESSION.
2	CP-ZOC	2/26/21	3/11/21	3/31/21	11/17/21	11/23/21	HUGHEN WILL	11/23/21: Approved the addition of one ADU in building at the rear of the lot per ord. 162-16. will.hughen@sfgov.org No requests for DR filed Notice in process. 8/5/21: Ready to approve/sta plans, in hold pending updated plans added to bluebeam. will.hughen@sfgov.org 3/4/21: assign planner; contact will.hughen@sfgov.org - NK.
3	CP-NP	9/22/21	9/22/21			9/24/21	HUGHEN WILL	11/17/21: No requests for DR filed. will.hughen@sfgov.org 9/22/21: Emailed the 31 letter. (Jennifer) 9/24/21: Mailed the 311 notice 10/5/21; expires on 11/4/21. (Jennifer)
4	BLDG	2/26/21	7/9/21	1/19/22	2/23/22	2/23/22	LIU CHU	Approved
5	MECH	2/26/21	3/17/21	3/17/21	12/28/21	12/28/21	TAN (PETER) JIA JIAN	12/28/2021: Approved 12/21/2021: Reviewed re PDF. Ready to approve 9/22/2021: Placed in Hold pending comments 3/17/2021: Placed in Hold p comments
6	SFFD	2/26/21	3/1/21	3/1/21	8/17/21	8/17/21	G. Chris Gauer	reviewed in Blue Beam left comments in BB 3/1, Property is R-3 review for fire access and fire flo 8/17/2021-CG R-3 reviewed Rev2 for fire cces at flow only-12/28/2021-CG gerald.gauer@sfgov.o
7	DPW-BSM	2/26/21	3/15/21	3/15/21		3/23/21	CHOY CLINTON	Approved. 3/23/21: BSM sign off on Job Card re prior to DBI final. Subject to all conditions of BS #21CN-00043. -CC On hold (EPR). 3/15/21: Ne Inspection Right-of-Way Conformity (final insp Download the app at https://sfpublicworks.org/services/permits/app forms and submit its required contents to bsmpermitdivision@sfdpw.org. -CC
8	DPW-BSM	9/23/21	9/23/21			9/23/21	CHOY CLINTON	Approved *revision*. 9/23/21: BSM sign off on . required prior to DBI final. Subject to all conditi BSM: #21CN-00043. -CC
8	DPW-BUF	2/26/21	3/2/21			3/2/21	KELLER STEPHEN	Approved.No room for new trees, In-lieu fees as PTS
8	DPW-						CHOY	Approved *revision*. 12/27/21: BSM sign off on

9	BSM	12/27/21	12/27/21			12/27/21	CLINTON	Card required prior to DBI final. Subject to all conditions of BSM: #21CN-00043. -CC
9	SFPUC	2/26/21	3/16/21			3/16/21	CHUNG DIANA	EPR - Permit has been assessed a Capacity Charge will collect. See Invoice attached to application. 03/16/21.
10	SFPUC	12/28/21	12/28/21			12/28/21	CHUNG DIANA	RESTAMP. EPR - Permit has been assessed a Capacity Charge. DBI will collect. See Invoice attached to application. - 12/28/21.
11	CP-ZOC	8/5/21	10/8/21			10/8/21	HUGHEN WILL	Recorded documents received. Do not route back for planning. will.hughen@sfgov.org.
12	DFCU	3/4/22	3/4/22			3/4/22	BLACKSHEAR JOHN	3/4/22: Planning entered an Eastern Neighborhood Child Care impact fee on this permit. The DPW will collect a Street Tree in lieu fee. These fees will be collected at permit issuance. The project may request an impact report from john.blackshear@sfgov.org
13	CP-GEN	3/1/22	3/1/22	3/1/22	3/14/22	3/14/22	BAEZA ROGELIO	3/4/22: routed to DFCU for review. 3/3/22: BLI reviewer to add the revised cost. 3/1/2022: Required missing materials from applicant, emailed SFUCS for fee assessment, and emailed dbi.addressing@sfgov.org
14	CPB	3/14/22	3/14/22	3/14/22	3/17/22	3/17/22	BAEZA ROGELIO	3/17/22: Confirmed Payment - RB 3/14/22: Invoice emailed to payor for issuance fees - RB

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			19	SHEAR WALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS	with nail spaced @ 4"oc or less
0			20	HOLDOWNS	
0			24A	FOUNDATIONS	
0			24E	WOOD FRAMING	
0			IB1	CF2R-ENV-01-E - FENESTRATION INSTALLATION	
0			IB3	CF2R-ENV-03-E - INSULATION INSTALLATION	
0			IE18	CF2R-PVB-01-E PHOTOVOLTAIC SYSTEMS	
0			IB63	CF2R-MCH-27-H - INDOOR AIR QUALITY AND MECHANICAL VENTILATION	
0			VB54	CF3R-MCH-27-H - INDOOR AIR QUALITY AND MECHANICAL VENTILATION	
0			IP5	CF2R-PLB-02-E - SINGLE DWELLING UNIT HOT WATER SYSTEM DISTRIBUTION	

12

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

BRIEF(S) SUBMITTED BY APPELLANT(S)

**In Re: Appellant's Brief under Appeal No. 22-024 (1024 Capp Street)
Permit No. 202102245270 with Issue Date of March 17, 2022**

Dear San Francisco Board of Appeals,

As resident of 1020 Capp Street, I am writing to appeal the construction of a new 3-story ADU unit with a roof top deck at 1024 Capp Street (the "Project"), as the work in this permit will greatly impact the current level of natural sunlight and create significant privacy impacts. Thus, I ask the Board of Appeals to deny the permit or to make modifications which will include: decrease the height of the 3-story ADU unit, slope roof to allow for the continuance of natural sunlight to my backyard, and make changes to the windows facing the rear of the backyard.

1. STATEMENT OF FACTS

In the late 1950s, my grandmother, who is the landlord of 1018 – 1020 Capp Street, purchased the property with my grandfather. We are a native family who has lived in the Mission District community for the past 50 years. My aunt, Marisela McCourtie and Guillermina Ortega live at 1018 Capp Street. My son and I live at 1020 Capp Street, and we also have an in-law unit that is currently occupied by a small family.

On March 29, 2019, the property at 1026-1028 Capp Street sold for \$1,310,000. Two tenants were paid out, and I believe that the owner resided in the downstairs unit for one year.

At one time prior to the pandemic, my aunt Marisela and I spoke with someone on plans for the permit. I voiced my concerns about the natural light and how it would affect our backyard, but my comment was simply disregarded. I was previously informed that there would be no windows to the ADU unit, and now have privacy issues with the plans showing windows that will face the rear of the backyard.

Recently, I have been in contact with Yvonne Wang, who I believe is the Construction Project Manager. She sent me a text message stating that they started construction in the rear. At that time, I mentioned we have ongoing damage issues during the construction to our properties

which were not resolved (two cracked tiles in my bathroom, and loss of electricity in the downstairs in-law unit at 1020 Capp Street). Once I realized they started breaking cement to the backyard, I made several calls to SF Department of Building Inspection and spoke to Planner, Will Hughen.

On March 24, 2022, I emailed Planner Hughen (will.hughen@sfgov.org) requesting to review the project location and details for 1026-1028 Capp Street which had a November 2, 2021 response deadline and for a phone call to discuss my concerns. I mentioned that I lived next door and never received a notice. I also asked Planner Hughen if a shadow analysis can be requested for this planning and was informed that the project does not require shadow analysis.

2. LEGAL ARGUMENT

A. The Project Violates Residential Design Guidelines by Creating Unreasonable Privacy Impacts

The Residential Design Guidelines require for building expansions into rear yards to “minimize impacts on light and privacy to adjacent properties”¹. Similarly, the Guidelines cite SF Planning Code Section 101, with the purpose of the Planning Code to provide adequate light, air, privacy, and convenience of access to property in San Francisco. (*Id.*, page 16). For instance, the Guidelines provide that while “the Planning Code allows a three-story addition extending into the rear yard, the addition [can be] substantially out of scale with surrounding buildings and impacts the rear yard open space” (*Id.*, page 27).

The Project does not comply with these principles as the 3-story ADU unit will have an unusual impact on privacy. Further, habitants of the Project will be able to easily view my property from the windows facing the rear of my backyard. In addition, these windows of the Project that face the rear of my backyard will also only be only a few feet of our property on the 2nd and 3rd

¹ San Francisco Residential Design Guidelines (December 2003), Page 16.

floor. My privacy issues also extend to residents at 1030 – 1032 Capp Street, in which the windows would face directly into their 2nd and 3rd floor bedrooms.

The Project will also extensively impact our backyard’s current capacity in receiving natural sunlight. Further, our residing neighbors at 1030 – 1032 Capp Street will also lose majority of natural sunlight coming into their backyard and bedrooms.

B. The Project Does Not Comply with Overall Neighborhood Context and Visual Character

In other residential properties on Capp Street, there are no 3-story ADU units extending into other neighbors’ rear yards with what appears in the plans a roof top deck and wrap around extended decks. The design for this Project will disrupt the ongoing visual character of the neighborhood along Capp Street. The Guidelines provide that “though each building will have its own unique features, proposed projects must be responsive to the overall neighborhood context. A sudden change in the building pattern can be visually disruptive.” (*Id.* at page 7). Further, Section 101.1 of the Planning Code establishes priority policies to conserve and protect existing neighborhood character.

Specifically, the Guidelines provide “design rooflines to be compatible with those found on surrounding buildings” (*Id.* at page 30). Specifically, the Guidelines state the following: “Predominant rooflines found on buildings in San Francisco include front gabled, multi-gabled, hipped, or flat. In some cases, a building may have a parapet at the front that obscures a flat or gabled roof behind it. Within a block, the collection of roofs create a “roofline,” which is the profile of the buildings against the sky.” The Guidelines also provide that “the placement and scale of architectural details” should be designed to “be compatible with the building and the surrounding area”. (*Id.* at page 43).

C. The Project Does Not Comply with SF Ordinance for Adding an ADU

The Accessory Dwelling Unit Program per Ordinance 162-16 requires that “an application may not be filed to add an ADU to a building that has had an owner move-in eviction in the last five years or other no-fault evictions in the last 10 years”². SF Ordinance 162-16 and 162-17 specifically state that for projects that require administrative waivers to add an ADU, buildings that have pursued no-fault evictions with the Rent Board must wait either 5 or 10 years before applying to construct an ADU (**5 years for an owner move-in eviction**; 10 years for certain other no-fault evictions). With exception are some temporary evictions for capital improvements.

As provided in the above facts, the property at 1026-1028 Capp Street was sold for \$1,310,000 on March 29, 2019. Two tenants were paid out of residing at the property, and I believe that the owner resided in the downstairs unit of the property for one year. The Project does not comply with SF Ordinance, as it did not meet the requirements to add an ADU in the first place.

D. No Opportunity to Negotiate with Permit Holders Regarding Concerns of Project

Prior to submitting this appeal, I did not receive written notice regarding the current permit for the Project. Prior to the pandemic, my aunt Marisela and I spoke with someone on plans to build, and I had voiced my concerns on how the Project would block the majority of natural sunlight received in our backyard. At that time, I was previously informed that there would be no rear windows to the ADU unit. Now, I have privacy issues with the plans showing windows that will face the rear of our backyard, as opposed to when we have been able to enjoy the privacy of our backyard for the past 50 years.

3. CONCLUSION

Therefore, on behalf of my family, I respectfully request that the permit be revoked or modified to reduce the size of the 3-story ADU unit. The modifications would include lowering the height of

² <https://sfdbi.org/adu>

the 3-story ADU unit, sloping roof to allow for continuance of natural sunlight in my backyard, and making changes to the windows facing the rear of the backyard.

Sincerely,

Monica Ortega

Appellant

From: Monica Ortega <mort3ga@yahoo.com>
Subject: Re: APPEAL FILED NO. 22-024 @ 1026 CAPP STREET
Date: April 27, 2022 at 8:16:35 PM PDT
To: "Herrera, Ana (BOS)" <ana.herrera@sfgov.org>
Cc: "RonenStaff (BOS)" <ronenstaff@sfgov.org>

Hello Ana,

I am very confused on how the all the permit passed requirements the Accessory Dwelling Unit Program per Ordinance 162-16 requires that “an application may not be filed to add an ADU to a building that has had an owner move-in eviction in the last five years or other no-fault evictions in the last 10 years”[\[1\]](#). SF Ordinance 162-16 and 162-17 specifically state that for projects that require administrative waivers to add an ADU, buildings that have pursued no-fault evictions with the Rent Board must wait either 5 or 10 years before applying to construct an ADU (**5 years for an owner move-in eviction**; 10 years for certain other no-fault evictions). With exception are some temporary evictions for capital improvements.

As provided in the above facts, the property at 1026-1028 Capp Street was sold for \$1,310,000 on March 29, 2019. Two tenants were paid out of residing at the property, and I believe that the owner resided in the downstairs unit of the property for one year. The Project does not comply with SF Ordinance, as it did not meet the requirements to add an ADU in the first place.

[\[1\] https://sfdbi.org/adu](https://sfdbi.org/adu)

Monica Ortega
415-670-0790

On Apr 27, 2022, at 2:31 PM, Herrera, Ana (BOS) <ana.herrera@sfgov.org> wrote:
Hi Monica,

I spoke with the Planning Department about this site and their proposal passed all permitting requirements, and unfortunately the period for discretionary review before the Planning Commission has passed. I am very sorry that this is outside the scope of services our office can provide or has historically provided. Some appeals can come to Board of Supervisors and we need to maintain neutrality, and in this case while that does not apply and the Board of Appeals is the last arbiter before litigation, we do not have the resources to get involved in every dispute. Your concerns are legitimate and I wish you very good luck with the Board of Appeals. Again, I'm sorry we couldn't do more.

Ana

Ana Herrera
Legislative Aide
Office of Supervisor Hillary Ronen
ana.herrera@sfgov.org
<https://sfbos.org/supervisor-ronen-district-9>

From: Monica Ortega <mort3ga@yahoo.com>
Sent: Monday, April 25, 2022 12:30 PM
To: RonenStaff (BOS) <ronenstaff@sfgov.org>; Lerma, Santiago (BOS) <santiago.lerma@sfgov.org>; Saini, Nikita (BOS) <nikita.saini@sfgov.org>; Herrera, Ana (BOS) <ana.herrera@sfgov.org>; Ferrigno, Jennifer (BOS) <jennifer.ferrigno@sfgov.org>
Subject: Re: APPEAL FILED NO. 22-024 @ 1026 CAPP STREET

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hello,

Just checking back with you to see if you have given any thoughts to assist me on my case?

I have done some research and here are some findings that I think would help my case / briefing:

- The new construction doesn't fit the criteria of The Residential Design Guidelines - doesn't fit the neighborhood character. Defined visual character Guideline: in areas with a defined visual character, design buildings to be compatible with the patterns and architecture features of surrounding buildings.
- building an ADU, owner move-in eviction in the last 5 years - which did occur (as the new owner lived in the in-law and paid out the two tenants)

This is a flip home investment, not for native long term residence.

Thank you,
Monica Ortega
415-670-0790

On Apr 11, 2022, at 1:59 PM, Monica Ortega <mort3ga@yahoo.com> wrote:

Hello Hillary Ronen & legislative aids,

I'm reaching out for to you as my district supervisor in the Mission District.

I really need any assistance to proceed with with my brief statement needed by 4/28 to appeal construction of a new 3 story unit with a roof top deck on Lilac St. behind Capp St.

What it will do to our property: we will no longer have any natural sun light in our backyard. Privacy issues as there will be additional windows to the back of the new unit to our backyard.

Next door to where I live they are doing construction in two parts of the home.
Demolition to the front structure on Capp St.
And a new 3 story AUD unit to the back part of the building which will be on Lilac St.

This all feels overwhelming and unsure how to proceed with my appeal. I just know trying to fight for my family building whom we are natives to San Francisco and owned the building since the late 1950's.

I have a short window to provide my briefing back to the board. Due by April 28th & the hearing regarding this matter has been scheduled for May 18, 2022, at 5:00 p.m., and

will be held in Room 416 of SF City Hall, 1 Dr. Carlton B. Goodlett Place. The parties may also attend remotely via the Zoom video platform.

Thank you,

Monica Ortega
415-670-0790

Begin forwarded message:

From: "Longaway, Alec (BOA)" <alec.longaway@sfgov.org>
Date: March 30, 2022 at 1:51:52 PM PDT
To: Monica Ortega <mort3ga@yahoo.com>, espamiol@gmail.com,
garyvarum@gmail.com
Cc: "Atijera, Evamarie (CPC)" <evamarie.atijera@sfgov.org>, "CROSSMAN, BRIAN (CAT)" <Brian.Crossman@sfcityatty.org>, "Burke, Kenneth (DBI)" <kenneth.burke@sfgov.org>, "Kim, Bonnie (DBI)" <bonnie.kim@sfgov.org>, "Duffy, Joseph (DBI)" <joseph.duffy@sfgov.org>, "Gasparac, Christine (DBI)" <christine.gasparac@sfgov.org>, "Hannan, Patrick (DBI)" <patrick.i.hannan@sfgov.org>, "Lau, Anita (BOA)" <anita.lau1@sfgov.org>, "Longaway, Alec (BOA)" <alec.longaway@sfgov.org>, "Ho, Gary (DBI)" <gary.ho@sfgov.org>, "Man, Ben (DBI)" <ben.man@sfgov.org>, "Mejia, Xiomara (BOA)" <xiomara.mejia@sfgov.org>, "Murray, John (DBI)" <john.patrick.murray@sfgov.org>, "Hasbun, Carmen (DBI)" <carmen.hasbun@sfgov.org>, "O'Riordan, Patrick (DBI)" <patrick.oriordan@sfgov.org>, "Panelli, Steven (DBI)" <steven.panelli@sfgov.org>, "Pei, Carrie (DBI)" <carrie.pei@sfgov.org>, "Pereira, Neville (DBI)" <neville.pereira@sfgov.org>, "RUSSI, BRAD (CAT)" <Brad.Russi@sfcityatty.org>, "Samarasinghe, Giles (DBI)" <giles.samarasinghe@sfgov.org>, "Sider, Dan (CPC)" <dan.sider@sfgov.org>, "Tam, Tina (CPC)" <tina.tam@sfgov.org>, "Teague, Corey (CPC)" <corey.teague@sfgov.org>, "Walls, Mark (DBI)" <mark.walls@sfgov.org>, "Wong, Suzanna (DBI)" <suzanna.l.wong@sfgov.org>, "Watty, Elizabeth (CPC)" <elizabeth.watty@sfgov.org>, "Greene, Matthew (DBI)" <matthew.greene@sfgov.org>, "Birmingham, Kevin (DBI)" <kevin.birmingham@sfgov.org>, "Rosenberg, Julie (BOA)" <julie.rosenberg@sfgov.org>, "Hughen, Will (CPC)" <will.hughen@sfgov.org>
Subject: APPEAL FILED NO. 22-024 @ 1026 CAPP STREET

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152

Cell: 1-415-746-0119

The Board's physical office is open to the public by appointment only. Please email boardofappeals@sfgov.org or call 628-652-1150 if you would like to meet with a staff member.

From: "Hughen, Will (CPC)" <will.hughen@sfgov.org>
Subject: Re: 1026-1028 Capp St
Date: April 27, 2022 at 12:05:31 PM PDT
To: Monica Ortega <mort3ga@yahoo.com>

Hi Monica -

DBI is the "keeper" of the final permit and drawings/plans. My understanding is the Records Management Divisions is responsible for coordinating records requests for DBI: <https://sfdbi.org/RMD>

I do have access to a digital copy of the reviewed plans, please see attached.

I do not have access to the final building permit (called Form 3/8).

Best -- Will

Will Hughen, Senior Planner

Environmental Planning Division

San Francisco Planning

49 South Van Ness Avenue, Suite 1400, San Francisco, CA 94103

Direct: 628.652.7310 | www.sfplanning.org

[San Francisco Property Information Map](#)

From: Monica Ortega <mort3ga@yahoo.com>^[1]^[SEP] **Sent:** Monday, April 25, 2022 9:08 PM^[1]^[SEP] **To:** Hughen, Will (CPC) <will.hughen@sfgov.org>^[1]^[SEP] **Subject:** Re: 1026-1028 Capp St

Hello Will,

Can you please provide the permit to this location and the drawing plans?

Thank you,

Monica Ortega

On Apr 21, 2022, at 2:10 PM, Hughen, Will (CPC)
<will.hughen@sfgov.org> wrote:

Shadow analysis is completed for certain types of projects. Per our procedures this project does not require shadow analysis.

You are welcome to consult with a private shade/shadow consultant to review the proposed project if desired. The Board of Appeals would then review any information provided at the scheduled hearing.

Thanks - Will

Will Hughen, Senior Planner

Environmental Planning Division

San Francisco Planning

49 South Van Ness Avenue, Suite 1400, San Francisco, CA 94103

Direct: 628.652.7310 | www.sfplanning.org

[San Francisco Property Information Map](#)

From: Monica Ortega <mort3ga@yahoo.com>
Sent: Wednesday, April 20, 2022 11:04 AM
To: Hughen, Will (CPC) <will.hughen@sfgov.org>
Subject: Re: 1026-1028 Capp St

This message is from outside the City email system. Do not open links or attachments from untrusted sources. Hello Will, Can a shadow analysis be requested to this planning? Thank you, Monica Ortega > On Apr 20, 2022, at 11:50 AM, Hughen, Will (CPC) <will.hughen@sfgov.org> wrote: > Planning Code Section 295

From: [Monica Ortega](#)
To: [BoardofAppeals \(PAB\)](#); [Rosenberg, Julie \(BOA\)](#); [Teague, Corey \(CPC\)](#); [Tam, Tina \(CPC\)](#); [garyvarum@gmail.com](#); [espamiol@gmail.com](#); [Longaway, Alec \(BOA\)](#)
Subject: APPEAL FILED NO. 22-024 @ 1026 CAPP STREET
Date: Wednesday, April 27, 2022 10:16:53 PM
Attachments: [Re APPEAL FILED NO. 22-024 @ 1026 CAPP STREET.rtf](#)
[Re 1026-1028 Capp St.rtf.zip](#)
[Draft - Appellant Brief Statement.docx](#)

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Hello,

Attached is my appellant brief that is due by 4/28/2022

Thank you,
Monica Ortega



Backyard of 1018-1020 Capp St

4/26/2022 at 12p





4/26/2022 at 12p · The "Project"



The "Project"

4/26/2022 at 12p





The "Project"

4/26/2022 at 12p





Backyard of 1018-1020 Capp St

4/26/2022 at 12p



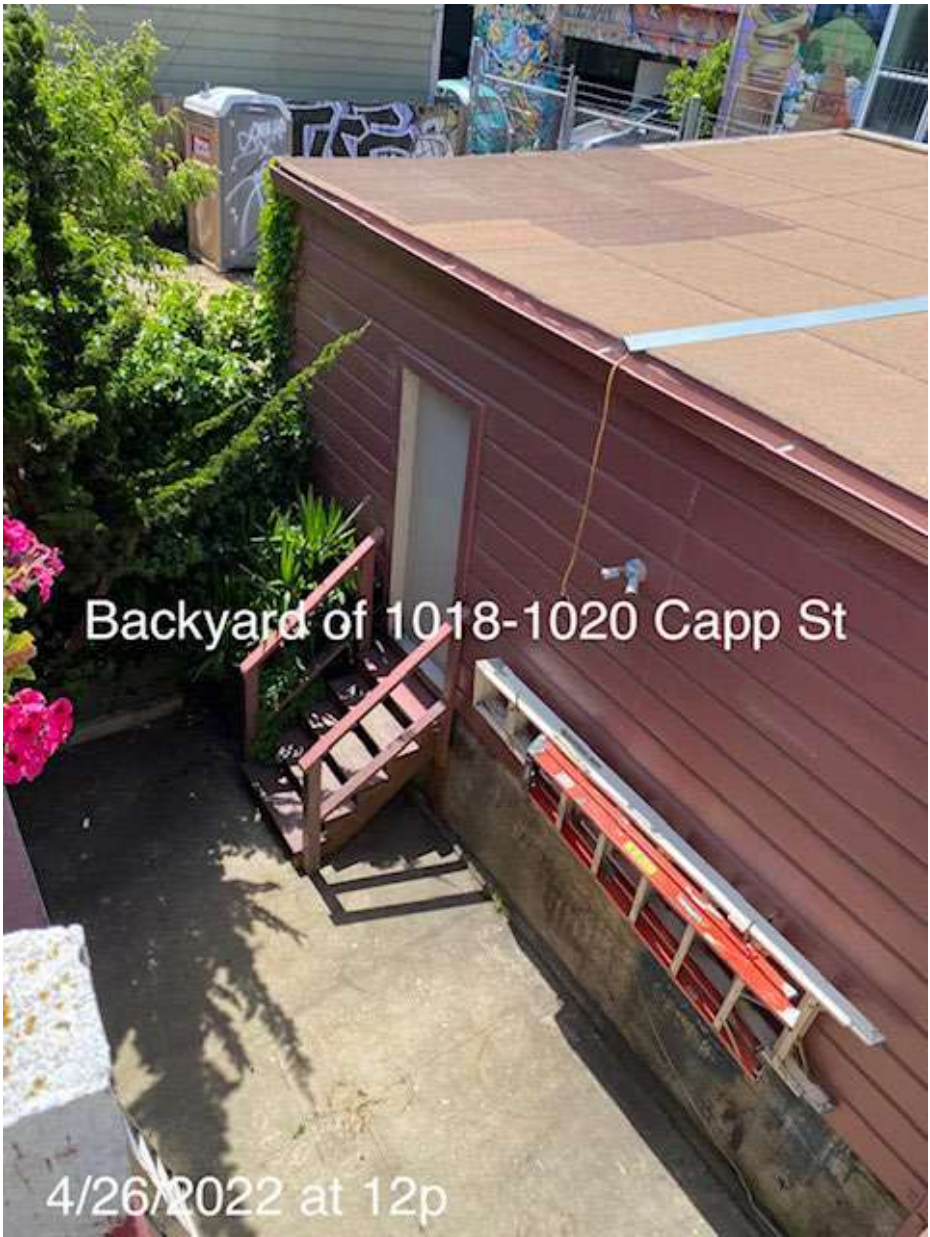
Backyard of 1018-1020 Capp St

4/26/2022 at 12p



Backyard of 1018-1020 Capp St

4/26/2022 at 12p



Backyard of 1018-1020 Capp St

4/26/2022 at 12p



Backyard of 1018-1020 Capp St
4/26/2022 at 3p



Backyard of 1018-1020 Capp St

4/26/2022 at 3p







The "Project"

4/26/2022 at 3p



The "Project"

4/26/2022 at 3p







Backyard of 1018-1020 Capp St

4/26/2022 at 4p











The "Project"

4/26/2022 at 6p



The "Project"

4/26/2022 at 6p



The "Project"

4/26/2022 at 6p



The "Project"

4/26/2022 at 6p



Backyard of 1018-1020 Capp St

4/26/2022 at 6p



Backyard of 1018-1020 Capp St

4/26/2022 at 6p



Backyard of 1018-1020 Capp St

4/26/2022 at 6p





Backyard of 1018-1020 Capp St

4/26/2022 at 6p



Backyard of 1018-1020 Capp St

4/26/2022 at 6p

PERMIT HOLDER(S) BRIEF

1 Aleksandr A. Volkov (SBN 277850)
2 VOLKOV LAW FIRM, INC.
3 1200 Mount Diablo Blvd., Ste. 205
4 Walnut Creek, CA 94596
5 Tel. (415) 987-7000
6 Fax (415) 276-6376
7 *alex@volff.com*

8 Attorney for
9 1026 Capp LLC, Ari Shpanya

10 BOARD OF APEALS
11 FOR THE CITY AND COUNTY OF SAN FRANCISCO

12 MONICA ORTEGA,
13 Appellant,
14 v.
15 DEPARTMENT OF BUILDING INSPECTION,
16 Respondent,
17 and
18 1026 CAPP LLC, a permit holder,
19 ARI SHpanya,
20 an agent for the permit holder

21 APPEAL CASE No. **22-024**

22 PERMIT HOLDER'S RESPONDING BRIEF

23 Application: 2021/02/24/5270

24 Hearing Date: May 18, 2022

25 Property Address: 1024 Capp Street,
26 San Francisco, CA 94110

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1026 CAPP LLC hereby opposes and objects to the unfounded allegations of the appellant MONICA ORTEGA. The appeal still should be denied and the permit allowed, in the light of the permit's satisfying applicable code requirements, as more particularly addressed below.

1 **INTRODUCTION.**

2 This appeal involves a property located at 1024–1028 Capp Street, San Francisco, California,
3 postal code 94110 (“Subject Property”). The appeal is regarding the approved Building Permit
4 Application No. 2021/02/24/5270. The proposed project had not yet broken ground, its permit being
5 appealed in this case. The appeal comes from the occupant of the building located at 1018–1020 Capp
6 Street (“Appellant’s Property”), which parcel is adjacent to the Subject Property from the north side,
7 i.e., the Appellant’s Property runs alongside the Subject Property and is located immediately to the
8 north of it. See, Permit Holder’s Exhibit 1, for the bird’s-eye view of the properties and the
9 surrounding area.

10 The Subject Property and the Appellant’s Property are two duplex buildings, constructed in a
11 similar style and size and of similar height, next to each other. (Permit Holder’s Exhibit 1.) Both
12 parcels run almost exactly along the East-West line, which results in the sun going over the entire
13 length of each building in the course from its sunrise to sunset. The Appellant’s own garage (the
14 structure facing the Lilac street) is the main source of the shadow over the narrow open area of the
15 Appellant’s Property.

16 On February 24, 2021, the Permit Holder applied for the permit for construction of the
17 additional dwelling unit (“ADU”) at the rear / West area of the Subject Property’s parcel, and on
18 March 17, 2022, the permit was issued. Prior to applying for the permit, the Permit Holder’s
19 representative had issued a Notice of Pre-Application Meeting, and on March 26, 2020, had met with
20 Messes. Irma Ortega and the Appellant Monica Ortega at the property. (Permit Holder’s Exhibit 4.)
21 The Pre-Application Notice provided the details of the anticipated project, and the log from that
22 meeting does not reflect any raised questions or concerns. (*Id.*)

23 The proposed ADU is permitted for construction of a single-residency unit of 30 feet in height,
24 with a flat roof going only over the ADU unit’s space, not extending beyond the property lines to
25 occupy any additional space. The proposed building is evidently going to improve the neighborhood
26 and the appearance of Lilac Street, as both the approved drawings and the current street view
27 photographs reflect. (Permit Holder’s Exhibit 5.)
28

1 Reducing “delays and restraints upon expeditiously completing housing projects” is a legisla-
2 tively recognized policy. (Cal. Gov-t Code, § 65009(a)(1).) The Appellant failed to present a valid
3 reason why this policy has to be set aside to allow the Appellant to delay this particular permit from its
4 realization, let alone a valid reason from a complete prevention of the proposed construction.

5 Obtaining a building permit is the step securing in the property owner a vested right to comp-
6 lete construction in accordance with the terms of the permit. (*Avco Community Developers, Inc. v.*
7 *South Coast Regional Com.* (1976) 17 Cal.3d 785, cert. denied (1977) 429 US 1083; *Consaul v. City*
8 *of San Diego* (1992) 6 Cal.App.4th 1781.) Even when the right under the permit is not yet vested, the
9 city is still estopped against affecting the rights of landowners, “those who secured every necessary
10 permit for a conversion project that required no further construction, and thus no additional govern-
11 ment approvals.” (*City of West Hollywood v. Beverly Towers, Inc.* (1991) 52 Cal.3d 1184, 1193.) Here,
12 all project’s necessary approvals have been secured, and as the further analysis demonstrates, the
13 Appellant failed to present any valid reason for preventing this project from going forward.

14 I. THE PROJECT DOES NOT PREVENT THE SUNLIGHT TO THE APPELLANT’S
15 PROPERTY.

16 The shadow impact analysis is not required for the project of this type. (S. F. Planning Code
17 Section 295; S. F. Planning Dept. Memo from July 2014.¹) It is only required when the project casts a
18 new shadow “on a property under the jurisdiction of the Recreation and Park Department, per San
19 Francisco Planning Code Section 295” and/or “new shadow on a park or open space such that the use
20 or enjoyment of that park or open space could be adversely affected.” (*Id.*) The project itself would
21 have to be either over 40 feet tall or subject to review under CEQA. (*Id.*) None of these conditions
22 apply to this project, where the proposed ADU is only 30 feet tall and is not going to cast a shadow on
23 any park.

24 The project also does not cause any extensive blocking of the sun from the Appellant’s
25 property, for several reasons. First, the main shadow-causing factors for that property are Appellant’s
26 own main building, the garage structure, and the vegetation growing between the properties in
27 question. (See, Permit Holder’s Exhibit 1, and Appellant’s own offered images of her backyard.) The

28 ¹ https://default.sfplanning.org/publications_reports/Shadow_Analysis_Memo-07-10-14.pdf

1 second reason is the geositioning of these properties, which are both oriented East-West, making the
2 structures to receive the majority of the sunlight directly, independently from neighboring buildings.
3 The two existing buildings facing Capp Street are of similar height, plan dimensions, and composition.
4 (Exhibit 1.) The structure at the back of the Appellant’s Property appears to be a garage, in that it
5 shows no windows from any side, and therefore does not take part in taking-in the sunlight, instead
6 playing a role in blocking the same for the Appellant’s backyard, when the sun is on the West side.
7 What the Appellant refers to as an “in-law unit” (App. Brief, Statement of Fact, Par. 1) seems to be
8 located “downstairs” of her front building (*Id.*, par. 3) and does not appear to be a unit built with the
9 benefit of any permits. The DBI website does not reflect any construction permits issued for the
10 Appellant’s Property (Exhibit 2), and the property’s record shows only two units for the parcel, with
11 only two bathrooms, and no reference of two permitted buildings (Exhibit 3), while the Appellant
12 describes her property as three units: one for her aunt, one for herself, and the rented “in-law.” (App.
13 Brief, Statement of Fact, Pars. 1 & 3.) Thus, in its essence, this Appeal is a complaint by an owner who
14 has built, and benefits from renting out, an *illegal* additional unit, against the neighbor who proceeds
15 with the *legal* route of building the additional unit, the subject ADU permit. From any policy
16 standpoint, an illegal construction should not benefit at the expense of the construction proceeded
17 under the legally approved ADU process.

18 However, as mentioned above, even if the Appellant’s additional unit and the garage structure
19 were legal, the geo-position of the buildings in question provides for the Appellant’s Property to
20 receive the majority of the sunlight irrespective of the height of the Subject Property’s ADU, while this
21 ADU was applied for, and approved, for being built within the allowed height limits, as established by
22 San Francisco Planning Code Section 261.1(d)(1). Surely, if the Appellant were not to have a garage
23 structure on her property’s backyard, the Appellant’s Property would then have more light and open
24 space at her disposal, but this is not the result of the impact coming from the proposed project.

25 II. THE PROJECT DOES NOT CREATE UNREASONABLE PRIVACY CONCERNS.

26 Appellant argues a loss of privacy in the future (Appellant’s Brief, Sec. 2(A)., 2d & 3d pars.),
27 however, no such privacy intrusion is expected with this project. “As with light, some loss of privacy
28 to existing neighboring buildings can be expected with a building expansion.” (S.F. “Residential

1 Design Guidelines,” December 2003, p. 17.) The question for this inquiry is whether the proposed
2 project creates an *unreasonable* privacy invasion. This project does not provide grounds for such
3 concern.

4 Notably, the images provided by the Appellant show no particular area of any residents’ con-
5 gregation, which could become additionally or unreasonably exposed. The whole area in question is a
6 narrow space between the main building on the Appellant’s Property and the garage structure in the
7 rear of her parcel that faces Lilac Street. This is a bare concrete-paved area between the two structures,
8 *already* openly available to the Subject Property’s main building’s windows on its west side. (Permit
9 Holder’s Exhibit 6, page 1.) The trees and vegetation on the border between the properties also provide
10 both the privacy coverage and the shade over the Appellant’s backyard (see photo 1 from the Appel-
11 lant’s file). Beyond that, the rest is visible from the existing windows from the Subject Property’s main
12 building. The same is true about the backyard of the neighboring parcel on the other side of the Subject
13 Property, i.e., its backyard is similarly viewable. (Permit Holder’s Exhibit 6, page 2.)

14 The approved drawings readily reveal that absolutely no windows are planned to be installed on
15 the north and south walls of the ADU along the property lines. (Permit Holder’s Exhibit 7, Sheets 1 &
16 2.) After the ADU is constructed, it will in fact provide for a *lesser* observation space, angle, and
17 opportunity than what exists now. This follows from the simple geometrical equation, due to the fact
18 that the open space of the backyard area of the Subject Property currently allows a person to stand in
19 any spot there and look to the neighbor’s side. Once the ADU is built, that opportunity will be
20 considerably reduced by the walls of said ADU, so that the person standing within the same perimeter
21 and being inside the ADU unit won’t be able to look to the sides the way it is available for the
22 observation presently. Further, the area is exposed to the view from the already existing windows of
23 the original structure, those windows provide the observation into the neighboring backyard, and from
24 the elevated level above the ground.

25 As far the deck’s observation point, the roof deck is designed to be looking over the West side
26 of the building, i.e., only facing Lilac Street. It is not going to affect privacy of any portion of the
27 Appellant’s backyard. (Permit Holder’s Exhibit 7, page 2, West (Front) Elevation.) The plans readily
28 reveal that the proposed deck also has a set-off of 5 feet from each of the property’s sidelines,

1 providing for additional privacy. (*Id.*) At the same time, the deck adds an attractive appeal to the
2 building and the street-line view of the block, is not invasive and serves only one unit for its access.

3 As mentioned above, the small backyard area left on the lot of the Appellant's Property (i.e.,
4 the area between the main building and the garage structure) is shielded from the Subject Property's lot
5 by the trees and other vegetation, as the Appellant's provided photographs readily reflect. The garage
6 also does not have any windows on the side in question, or on its only other wall facing the backyard,
7 nor its roof has any openings or rooftop windows, so the elevation at the Subject Property above
8 garage's height would not cause any decrease in that structure's privacy or light-related positions.

9 III. THE PROJECT CONFORMS TO THE NEIGHBORHOOD CONTEXT AND VISUAL
10 CHARACTER.

11 As the street views for Lilac Street show, the neighborhood in question is of mixed character.
12 (Permit Holder's Exhibits 1 & 5; Appellant's Images.) Moreover, the subject block of Lilac Street is
13 visually asking for an improvement, currently looking more like a graffiti art-festival rather than a
14 unified and maintained neighborhood. (*Id.*) There are buildings of different architecture in that area,
15 different width, height, style, rooflines, with both residential and commercial buildings present. (*Id.*)
16 The Capp Street's line looks more unified and well kept in that regard, yet the subject project only
17 affects the Lilac Street side of the parcel. (Permit Holder's Exhibit 7.)

18 Moreover, the images presented by the Appellant show that, presently, both sides of the
19 structures at the Appellant's Property and at the 1030–1032 Capp Street's property are painted over
20 with graffiti. Filling-in the void between those properties by the subject ADU will physically prevent
21 the opportunity for further defacing and vandalism of those surfaces and will cover the existing graffiti
22 from the plain view, thus improving the overall presentation of the block and neighborhood.

23 The appellant also complains about the project's roofline, without giving any specifics.
24 (Appellant's Brief, Sec. 2(B), 2d par.) The roof on the proposed ADU is flat (Permit Holder's Exhibit
25 7, page 2, the 3 bottom drawings), just like the adjacent building at 1030–1032 Capp Street, as well as
26 several others, including those directly positioned on the other side of Lilac Street. (Permit Holder's
27 Exhibits 1 & 5.) Accordingly, this argument fails, as the proposed project is in line with the guidelines
28 contemplated by the S. F. Planning Code Sections 101.1 and 311, subdivision (c)(1).

1 IV. THE PROJECT IS IN COMPLIANCE WITH S.F. ORDINANCES 162-16 and 162-17.

2 In what appears to be a “kitchen-sink” approach, the Appellant also offers a speculation that
3 this ADU project did not comply with the San Francisco Ordinances Nos. 162-16² and 162-17.³
4 (Appellant’s Brief, Sec. 2(C), 2d par.) The Appellant “believe[s]” that someone was “paid out” from
5 the Subject Property, yet no argument or evidence is presented that anyone was evicted from the
6 Subject Property, on any grounds. As a side comment, the Ordinances’ language seems to be only
7 concerned with non-fault evictions (e.g., those effectuated under S.F. Admin. Code, sec. 37.9(a)(8)–
8 (14)), and does not mention the buyouts, regulated under a different statute. (S.F. Admin. Code, sec.
9 37.9E.)

10 V. APPELLANT HAD A PRE-FILING MEETING.

11 Appellant argues that she had no prior opportunity “to negotiate” with the permit holders
12 (Appellant’s Brief, Sec. 2(D), 2d par.); however, the Appellant confirms that the meeting in fact took
13 place. (*Id.*) Not only the pre-filing meeting was notified on the Appellant, but the Appellant in fact had
14 such meeting, before the application for the subject permit was submitted. (Permit Holder’s Exhibit 4.)

15 The record reflects that no concerns were raised at the time of the meeting. (*Id.*, page 6.)
16 However, even assuming that Ms. Ortega had her concerns back then, there is no explanation why she
17 did not pursue them until this appeal was filed, over two years later. If she had a question about the
18 windows, for example, why she did not make as minimal effort as obtaining and reviewing the plans.
19 If the Appellant opted to sit on her hands and not to exercise her rights promptly, considering this
20 appeal at this stage would simply reward the Appellant’s lack of diligence, her doing nothing while
21 being on full advanced notice about the proposed project. This is an observation made independently
22 from the fact that Appellant’s objections are not justified, as presented above.

23 VI. APPELLANT HAS NO STANDING TO ARGUE FOR ANOTHER PROPERTY.

24 The Appellant attempts to argue privacy issue on behalf of the other neighboring property, at
25 1030–1032 Capp Street. (Appellant’s Brief, Sec. 2(A), 2d & 3d pars.) The owners and residents of that
26 property’s building did not raise any concerns and did not appeal the subject permit. The images

27 _____
28 ² <https://sfgov.legistar.com/View.ashx?M=F&ID=4617538&GUID=2625970B-6704-46C2-A972-68BF0C206D9C>
³ <https://sfbos.org/sites/default/files/o0162-17.pdf>

1 provided by the Appellant show that said property's rear building at the level of the proposed ADU has
2 no windows toward the Subject Property, and the proposed ADU also has no windows planned on the
3 side of that property either. The Appellant simply attempts to invent an argument where none exists.

4 Furthermore, the same exposure from the view through the existing windows of the Subject
5 Property is already present for this property, just as it is with the Appellant's property on the other side.
6 (Permit Holder's Exhibit 6, page 2.)

7 VII. PROPOSED PROJECT IS IN LINE WITH THE OVERALL GOAL OF ADDING MORE
8 HOUSING IN THE CITY.

9 The proposed project is also in line with the overall general goal of adding more housing in the
10 City, and in a distressed neighborhood too, i.e., the subject block of Lilac Street. By doing so, the
11 project does not present a risk of losing any existing housing, or any existing parking, and adheres to
12 the applicable planning regulations and design principles.

13 This plan does not push the envelope of the lot perimeter, has no negative effect on neither the
14 existing buildings' outlook, nor on the block, nor on the city community as a whole. As specified above
15 and exhibited in the applicable drawings, the proposed project will preserve and improve the Subject
16 Property, without any negative effects on the neighborhood, but rather contributing substantially to that
17 neighborhood's improvement.

18 CONCLUSION.

19 For the reasons addressed above, and based on the available evidence so presented, subject
20 permit application No. 2021/02/24/5270 should be allowed.

21 Respectfully submitted,

22
23
24 
25
26
27
28
Aleksandr A. Volkov

Search Google Maps

- Groceries
- Restaurants
- Takeout
- Hotels
- Gas
- Pharmacies
- Coffee



APPELLANT'S PROPERTY

SUBJECT PROPERTY

Layers

You selected:

Address: **1018 CAPP ST** Block/Lot: **6528 / 004**

Please select among the following links, the type of permit for which to view address information:

[Electrical Permits](#) [Plumbing Permits](#) [Building Permits](#) [Complaints](#)

Sorry, no existing building permits were found for this address.

[Online Permit and Complaint Tracking](#) home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

[Contact SFGov](#) [Accessibility](#) [Policies](#)
City and County of San Francisco © 2022

Subject Property Location

Report Date: 05/04/2022
Order ID: R81467614

Property Address 1018-1020 CAPP ST
City, State & Zip SAN FRANCISCO, CA 94110-3919
County SAN FRANCISCO COUNTY
Mailing Address 1018 CAPP ST, SAN FRANCISCO, CA 94110-3919
Census Tract 0209.00
Thomas Bros Pg-Grid

Property Use Duplex (2 units, any combination)
Parcel Number 6528 -004
Latitude 37.750345
Longitude -122.417466

Legal Description Details

Current Ownership Information

Primary Owner Name(s)	ORTEGA, GUILLERMINA; SURVIVORS TR UNDER RAFAEL M & GUILLERMIN,	Sale Price	
		Transfer Date	03/26/2021
		Recording Date	04/16/2021
Vesting	Trust	Recorder Doc #	2021064017
		Book/Page	


Latest Full Sale Information

Details beyond coverage limitations



Financing Details at Time of Purchase

No financing details available

Property Characteristics

	Bedrooms		Year Built	1902	Living Area (SF)	7,171
	Bathrooms/Partial	2	Garage/No. of Cars		Price (\$/SF)	
	Total Rooms	9	Stories/Floors	2 Stories	Lot Size (SF/AC)	2,874/.07
	Construction Type	Wood	No. of Units	2	Fireplace	
	Exterior Walls		No. of Buildings		Pool	
	Roof Material/Type		Basement Type/Area		Heat Type	
	Foundation Type		Style		A/C	
	Property Type	Multi-Family (Residential)	View		Elevator	
	Land Use	Duplex (2 units, any combination)			Zoning	RH3

Assessment & Taxes

	Assessment Year	2021	Tax Year	2021	Tax Exemption	
	Total Assessed Value	\$69,524	Tax Amount	\$1,453.02	Tax Rate Area	1-000
	Land Value	\$36,041	Tax Account ID			
	Improvement Value	\$33,483	Tax Status	No Delinquency Found		
	Improvement Ratio	48.16%	Delinquent Tax Year			
	Total Value		Market Improvement Value			
	Market Land Value		Market Value Year			

Lien History

Trans. ID	Recording Date	Lender	Amount	Purchase Money
No details available				

Loan Officer Insights

No details available

**1026 CAPP STREET – PROPOSED REAR BUILDING
MAILING LIST FOR MEETING MARCH 26, 2020**

Name	Organization	Address	Block and Lot	Comments
Ortega, Raphael & Guillermina	Property immediately to the north	1020 Capp Street San Francisco 94110	6528-004	Neighbor to north
Resident		1018 Capp Street San Francisco 94110	6528-004	
West, Blake & Ettenger, Allison	Property immediately to the south	1030 Capp Street San Francisco 94110	6528-077	Neighbor to south
Hollister, Jeremy & Ventresca, Fernando		1032 Capp Street San Francisco 94110	6528-079	
Trutner, Kurt	Property across Lilac Street Graham Generation Skipping Trust	P.O. Box 133 Corte Madera 94976	6528-037	Neighbor to west across Lilac Street
Pacific Telephone Co.	Property across Capp Street Pacific Telephone Co.	470 Valencia Street #280 San Francisco 94103	6527-045	Neighbor to east across Capp Street
Gary Varum	Applicant	80 Blake Street San Francisco 94118	6528-005	Subject property
Edward Stiel	2887 Folsom St. Concerned Residents	2887 Folsom St. San Francisco 94110		
Neighborhood Organizations				
Donna Twarog	19 th Street/Oakwood Neighborhood Association	3641 19 th Street San Francisco 94110		
Hillary Ronen	Supervisor	1 Dr. Carlton B. Goodlett Pl. #244 San Francisco 94102		
Erick Arguello	Calle 24 Latino Cultural District	1065 Hampshire Street San Francisco 94110		
Zoe Astrahan	Central 26 th Street Neighborhood Coalition	3443 26 th Street San Francisco 94114		
Peter Papadopoulos	Cultural Action Network	2940 16 th Street #200-1 San Francisco 94103		
Bruce Johnson	Constituent Services Lead	1 Dr. Carlton B. Goodlett Pl. #272 San Francisco 94102		
Planning and Land Use	Dolores Heights Improvement Club DSRC	PO Box 14426 San Francisco 94114		
Judith Berkowitz	East Mission Improvement Association	1322 Florida Street San Francisco 94110		
Moises Garcia	Golden Gates Performing Arts	170 Valencia Street San Francisco 94103		
Crain Hamburg	Hayes Valley Neighborhood Association	400 Grove Street #E San Francisco 94102		
John Barbey	Liberty Hill Resident Association	50 Liberty Hill San Francisco 94110		
Jason Henderson	Market/Octavia Community Advisory Committee	300 Buchanan Street #503 San Francisco 94102		
Ted Olsson	Market/Octavia Community Advisory Committee	30 Sharon Street San Francisco 94114		
Lucia Bogatay	Mission Dolores Neighborhood Association	3676 20 th Street San Francisco 94110		
Luis Grandados	Mission Economic Development Association	2301 Mission Street #301 San Francisco 94110		
Julian Mark	Mission Local	2301 Mission Street #104 San Francisco 94110		
Philip Lesser	Mission Merchants Association	55 Laurel Avenue #501 San Mateo 94401		
Podge Thomas	Native American Health Center	333 Valencia Street #240 San Francisco 94103		
Peter Cohen	Noe Street Neighbors	33 Noe street San Francisco 94114		
Roberto Hernandez	Our Mission No Eviction	1333 Florida Street San Francisco 94110		
Antonio Diaz	PODER	474 Valencia Street #125 San Francisco 94103		
JR Eppler	Potrero Booster Neighborhood Association	1206 Mariposa Street San Francisco 94107		
Keith Goldstein	Potrero-Dogpatch Merchants Association	800 Kansas Street San Francisco 94107		
Jaime Whitaker	SOMA Leadership Council	201 Harrison Street San Francisco 94105		
Eric Lopez	SOMA Leadership Council	PO Box 410805 San Francisco 94141		
Sean Quigley	Valencia Corridor Merchant Association	766 Valencia Street 3 rd Floor San Francisco 94110		
Brent Plater	Wild Equity Institute	474 Valencia Street #295 San Francisco 94103		

NOTICE OF PRE-APPLICATION MEETING

Date: March 10, 2020

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 1026 Capp St. (rear section of lot), cross street(s) 25th Street (Block/Lot#: 6528-005; Zoning: RTO-M), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process serves as the first step in the process prior to filing a Project Application with the Planning Department. Those contacted as a result of the Pre-Application process will also receive formal notification from the city after the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction subject to Section 311;
- Any vertical addition of 7 feet or more subject to Section 311;
- Any horizontal addition of 10 feet or more subject to Section 311;
- Decks over 10 feet above grade or within the required rear yard subject to Section 311;
- All Formula Retail uses subject to a Conditional Use Authorization;
- PDR-1-B, Section 313;
- Community Business Priority Processing Program (CB3P).

The development proposal is to: construct a single family ADU building in the rear section of the property facing Lilac Street

	Front building	Rear bldg.	
Existing # of dwelling units:	<u>2</u>	<u>1</u>	Permitted: <u>3 (with ADU)</u>
Existing bldg square footage:	<u>3700</u>	<u>1618</u>	Permitted: <u>N/A</u>
Existing # of stories:	<u>3</u>	<u>3</u>	Permitted: <u>4</u>
Existing bldg height:	<u>40</u>	<u>30'-6"</u>	Permitted: <u>40'</u>
Existing bldg depth:	<u>50</u>	<u>25'-6"</u>	Permitted: <u>25'-6"</u>

MEETING INFORMATION:

Property Owner(s) name(s): 1026 Capp LLC
 Project Sponsor(s): Gary Varum
 Contact information (email/phone): garyvarum@gmail.com (510) 508-8262
 Meeting Address*: 1026 Capp Street rear end (access from Lilac Street)
 Date of meeting: March 26, 2020 Time of meeting**: 6:00 pm - 7:00 pm

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m, unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

AFFIDAVIT OF CONDUCTING A PRE-APPLICATION MEETING

I, Gary Varum, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction, alteration or other activity prior to submitting a Project Application with the Planning Department in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 1026 Capp Street (location/address) on 03-26-20 (date) from 6:00 PM (time).
3. I have included the mailing list, meeting invitation and postmarked letter, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, March 27, 2020 IN SAN FRANCISCO.


Signature

Gary Varum
Name (type or print)

Relationship to Project (e.g. Owner, Agent)
(if Agent, give business name & profession)
Structural Engineer

Agent 1026 Capp St.
Project Address

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PRE-APPLICATION MEETING SIGN-IN SHEET

Meeting Date: March 26, 2020
 Meeting Time: 6:00 PM
 Meeting Address: 1026 Capp St.
 Project Address: 1026 Capp ST.
 Property Owner Name: 1026 Capp LLC
 Project Sponsor/Representative: Representative Gary Varum, SE

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1.	Ortega, Irma	1018 Capp	415 285 3483		<input type="checkbox"/>
2.	Ortega, Monica	1020 Capp	415 670 0790		<input type="checkbox"/>
3.				mort3ga@yahoo.com	<input type="checkbox"/>
4.					<input type="checkbox"/>
5.					<input type="checkbox"/>
6.					<input type="checkbox"/>
7.					<input type="checkbox"/>
8.					<input type="checkbox"/>
9.					<input type="checkbox"/>
10.					<input type="checkbox"/>
11.					<input type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>
15.					<input type="checkbox"/>
16.					<input type="checkbox"/>

SUMMARY OF DISCUSSION FROM THE PRE-APPLICATION MEETING

Meeting Date: March 26, 2020
 Meeting Time: 6:00 PM
 Meeting Address: 1026 Capp St.
 Project Address: 1026 Capp St.
 Property Owner Name: 1026 Capp LLC
 Project Sponsor/Representative: Gary Varum, S.E. Representative

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): None

Project Sponsor Response:

Question/Concern #2: None

Project Sponsor Response:

Question/Concern #3: None

Project Sponsor Response:

Question/Concern #4: None

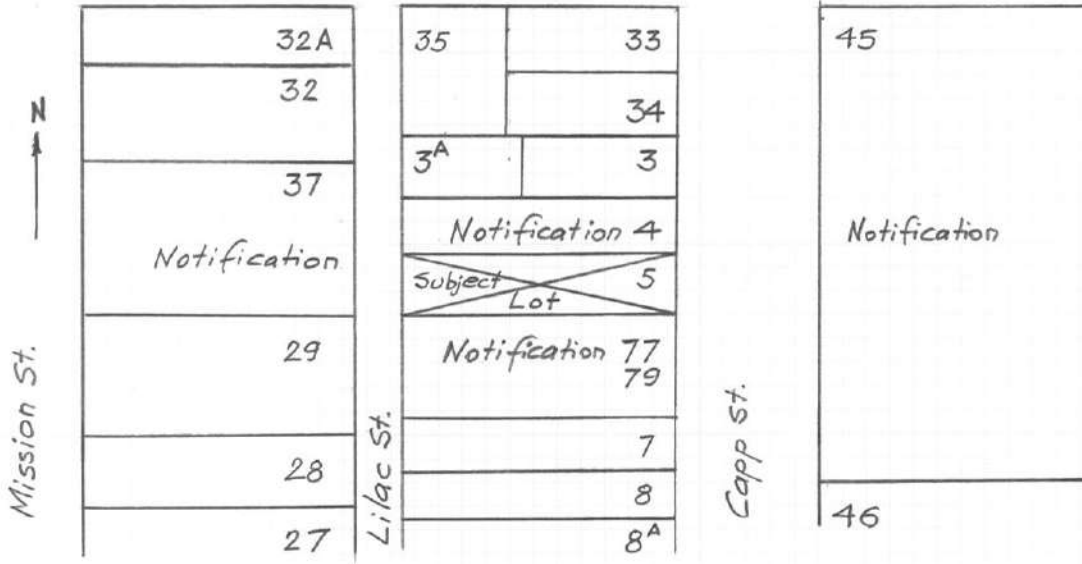
Project Sponsor Response:

	Project:	By:	Sheet No.:
	Location:	Date:	
	Client:	Checked:	Project No.:
		Date:	

25th Street

Block 6528

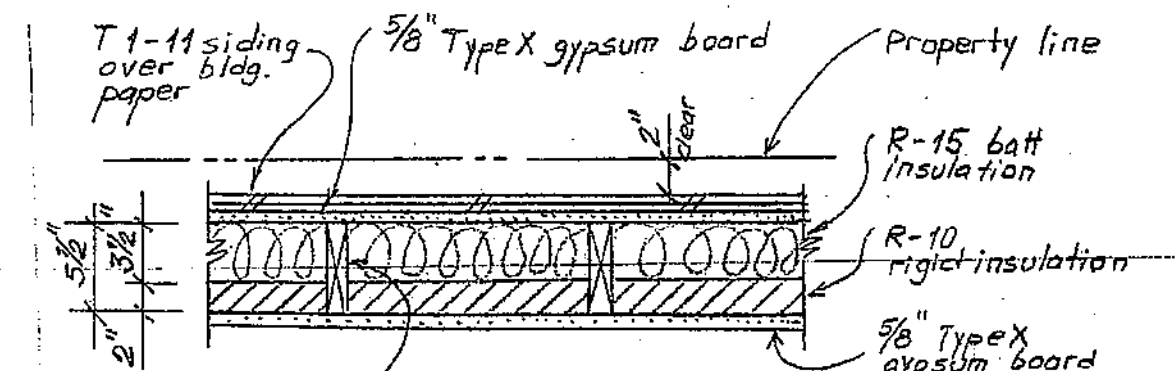
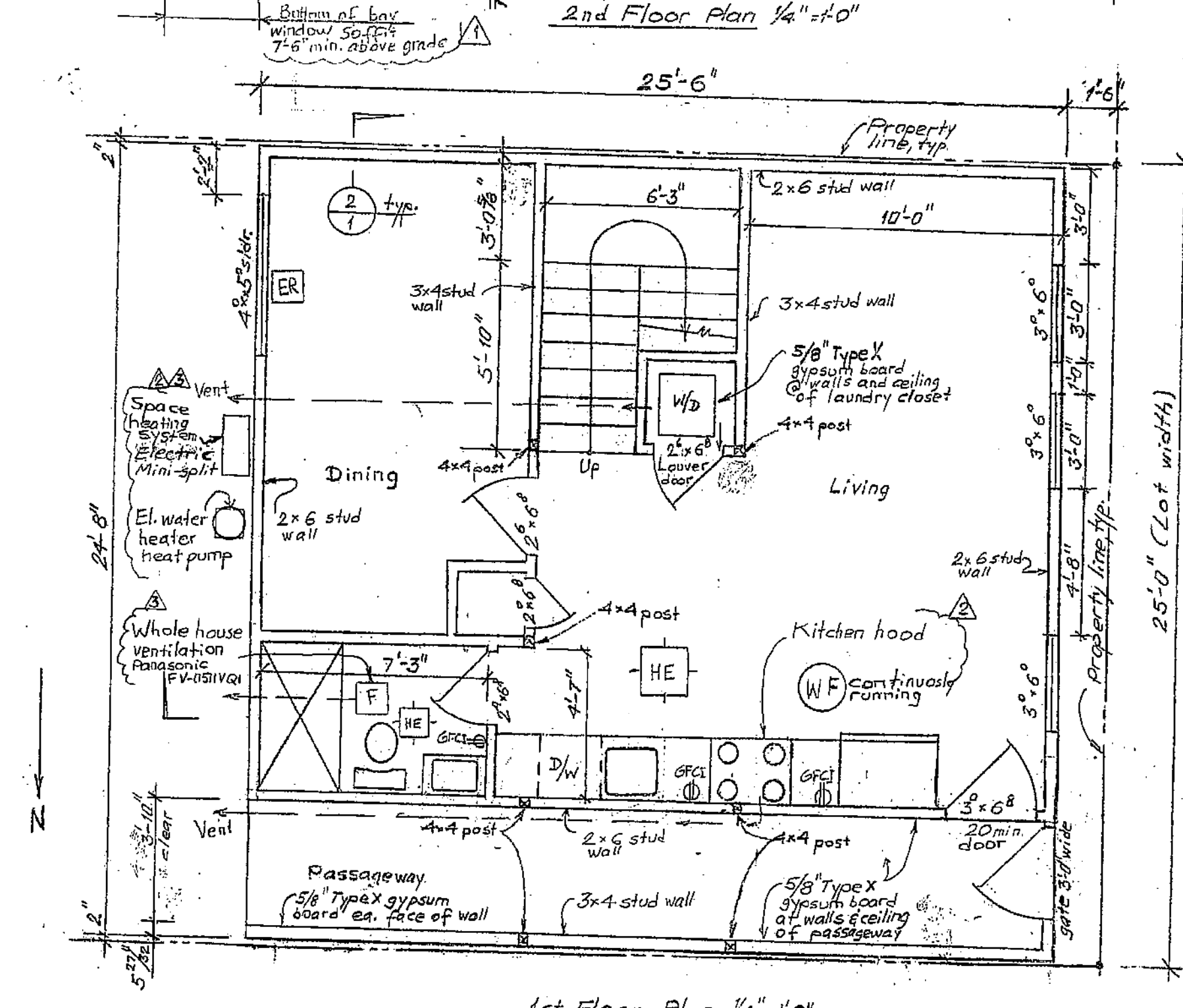
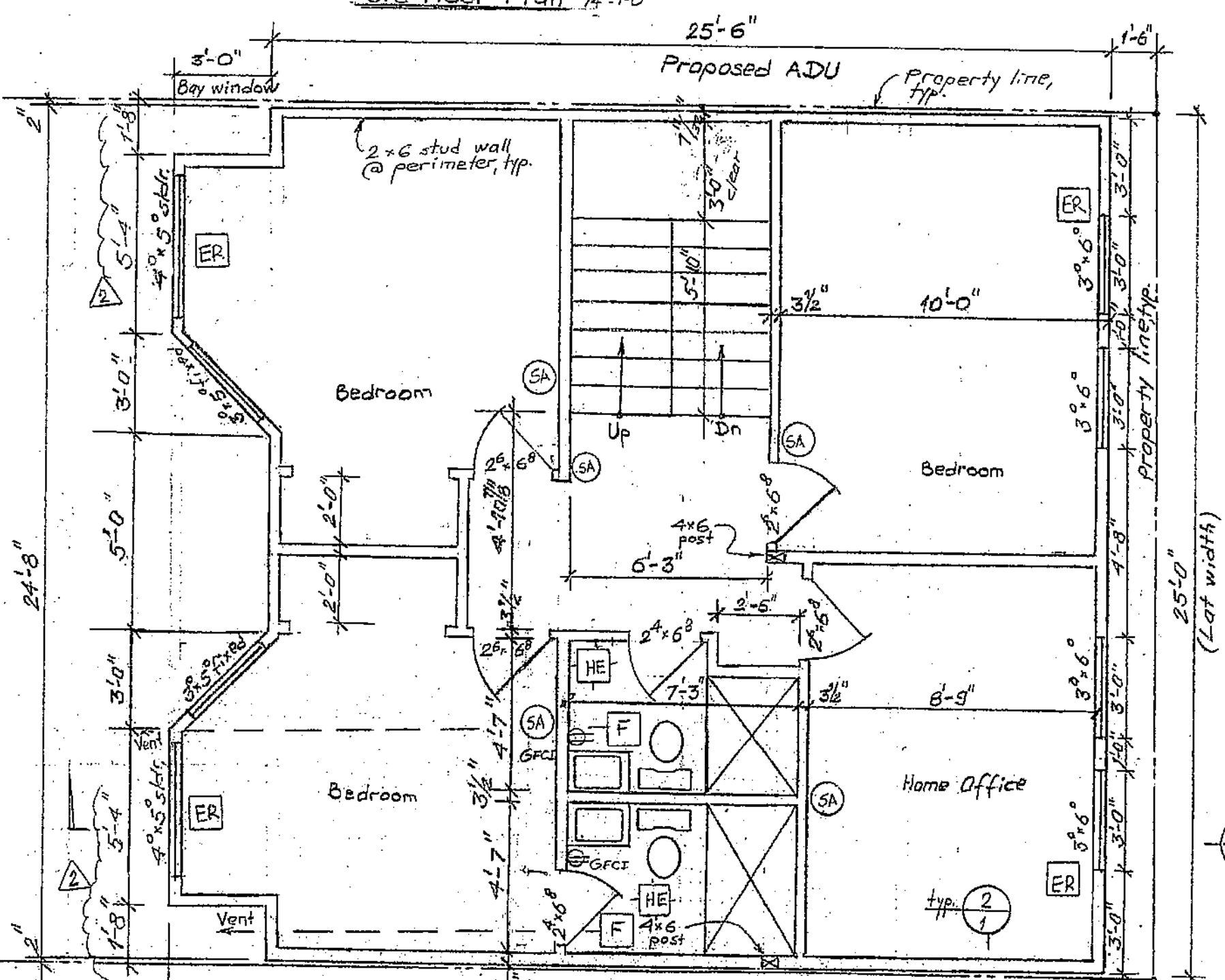
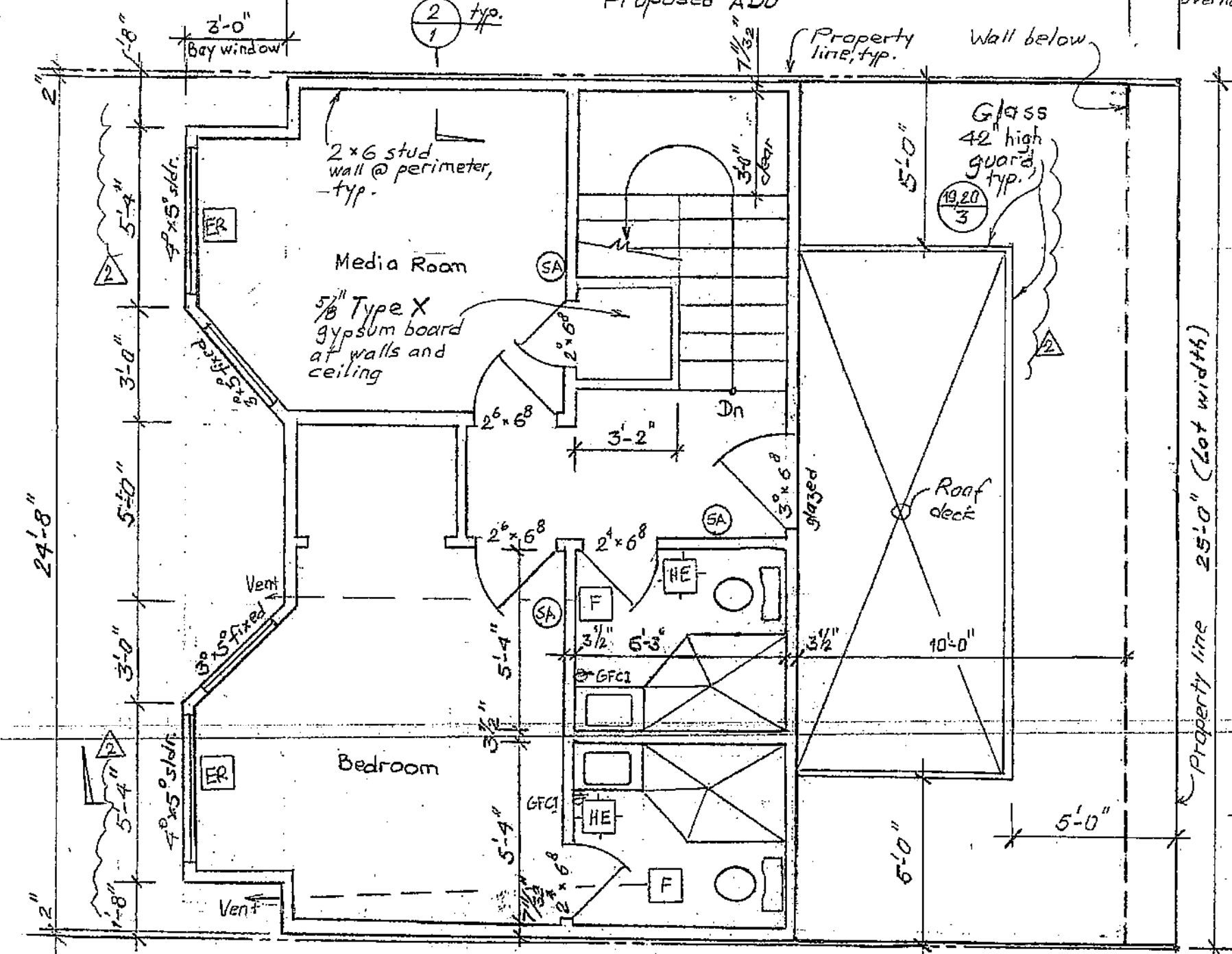
Block 6527



Notification Map for 1026 Capp Street







Exterior Wall Detail
 (a) North and South Property Line

Wall Framing Notes
 1. All wall studs to be spaced @ 16" c. max.
 2. All wall studs not specifically specified to be 2x4, UNO.



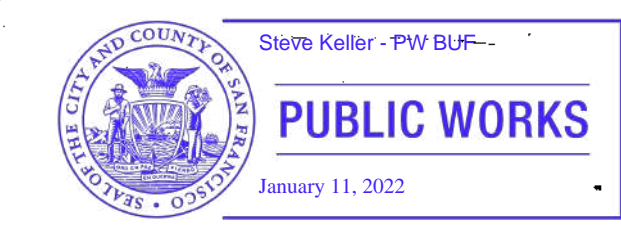
MECHANICAL NOTES
 1) Dryer vent installation shall comply with CMC 502.2.1, 504.3 and 504.4.
 2) Range hood vents shall comply with CMC 504.1, Table 403.7 and California Energy Code.

TOTAL VENTILATION RATE CALCULATIONS
 $Q_{tot} = 0.03 A_{floor} + 7.5 (N_{br} + 1)$
 $A_{floor} = 1611 \text{ ft}^2 \quad N_{br} = 6$
 $Q_{tot} = 0.03 \times 1611 + 7.5 (6 + 1) = 101 \text{ CFM}$

Use bathroom fan 110 CFM
 Panasonic FV-051VQ1 (110 CFM with Smart Flow)
 Key Specifications:
 • CFM: 110
 • Duct Size: 6" Round
 • Installation Type: Ceiling Mount
 • Sones: 0.3
 • Voltage: 120

ANALYSIS OF 2ND STORY WALL WITH WINDOW OPENINGS (2ND STORY SIMILAR)
 Wall 14'-0" from imaginary east property line (Fire separation distance 10 to 15 feet)
 Windows 2'-4"x5' + 2'-3"x5'; $A = (4x5 + 3x5) \times 2 = 70 \text{ ft}^2$
 Wall area 25' x 10'; $A = 250 \text{ ft}^2$
 $70 / 250 = 0.28$
 $0.28 \times 100 = 28\%$
 Allowable per CBC Table 705.8
 $45\% > 28\%$

ANALYSIS OF 1ST STORY LIVING ROOM NATURAL LIGHT AND VENTILATION
 Floor area (including kitchen) 10 x 20 + 6.5 x 11 = 271.5 ft²
 Windows 3' x 6' x 0.8 x 3 = 43.2 ft² (glass area - single-hung)
 Light $43.2 / 275 = 0.177 > 0.08$
 Ventilation $43.2 \times 0.5 / 275 = 0.078 > 0.04$



LIST OF DRAWINGS

No.	Title
1	Existing 1 st Floor Plan, Proposed 1 st Floor Plan, Existing 2 nd Floor Plan, Proposed 2 nd Floor Plan, Proposed Site Plan, List of Drawings, Statistics.
2	Existing Rear and Side Elevations, Proposed Rear and Side Elevations, Kitchen, Bathroom and Laundry Requirements.
3	Partial Foundation Plan, Partial 2 nd Floor Framing Plan, Structural Details, Fire Separation Details, General Structural Notes, Finish Notes.
4	Title 24 Analysis.
5	Existing Site Plan, Schematic Block Map, Existing Diagrams, Electrical and Plumbing Notes.
6	Attachments RB, RE, RP
G-1	Green Building Form
G-2	Green Building Standards
G-3	Green Building Standards
GRP-1	Green Point Rated Checklist
GRP-2	Green Point Rated Checklist

SFPUC - Please be advised
 Your plans and fixture count indicate a new water meter is required. Please apply for a water meter at SFPUC New Service Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102. Tel: (415) 551-2900.

SFPUC - Capacity Charges
 See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges.

Capacity Charges
 Water: \$ 2,860.00
 Wastewater: \$ 7,505.00
 DC 12/28/21

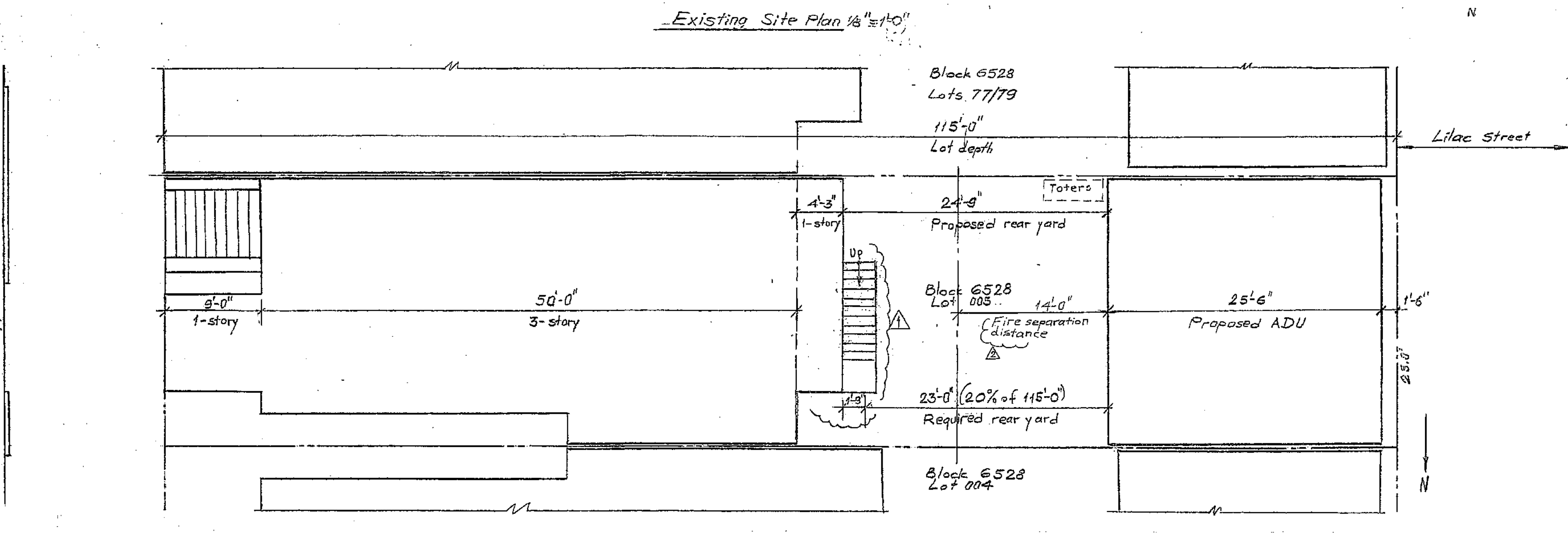
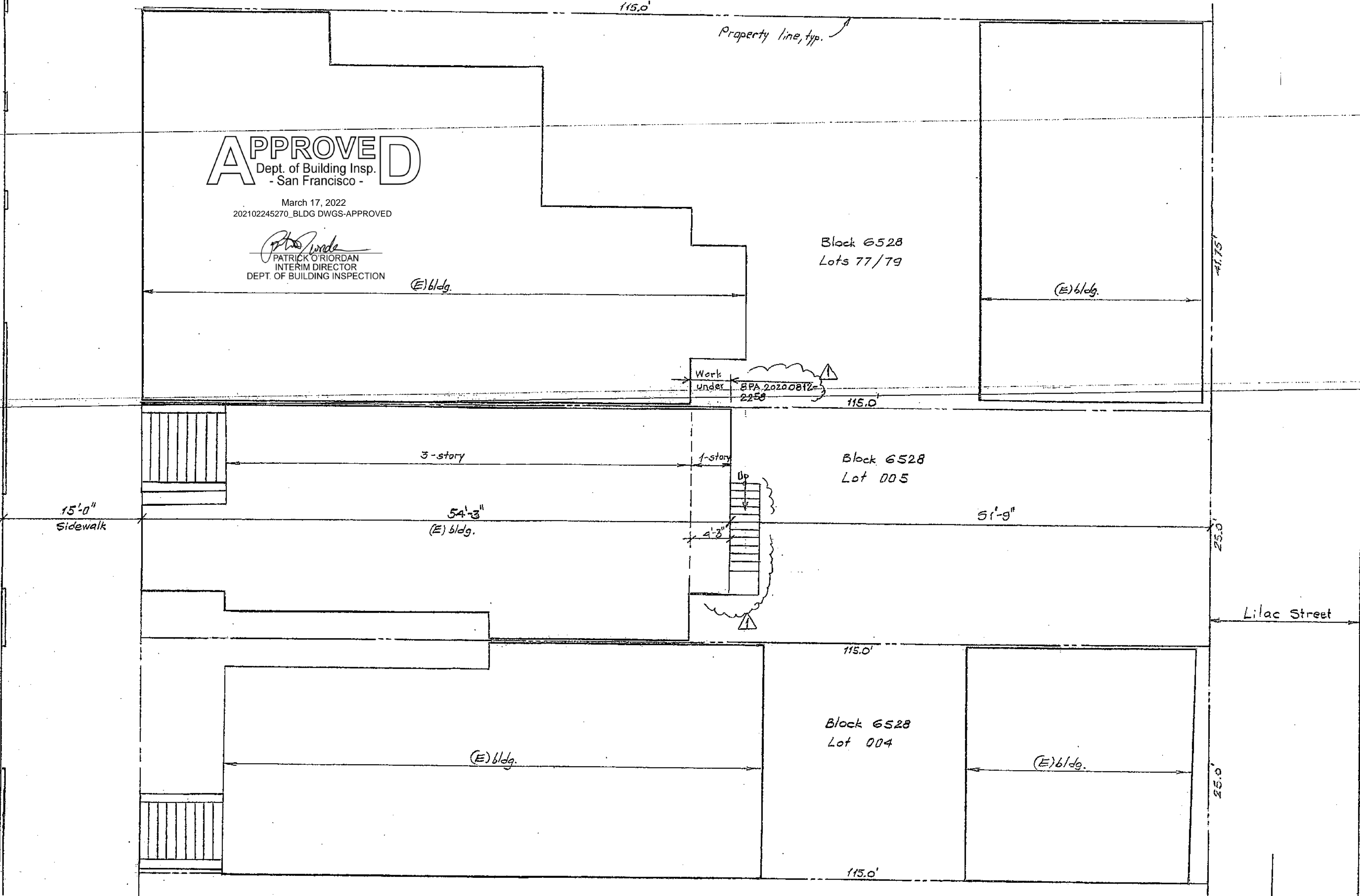


APPROVED
 Dept. of Building Insp.
 - San Francisco -

March 17, 2022
 202102245270_BLDG DWGS-APPROVED

PATRICK O'RORDAN
 INTERIM DIRECTOR
 DEPT. OF BUILDING INSPECTION

Block 6528
 Lots 77/79



1024 CAPP ST

SCOPE OF PROJECT
 THE PROJECT INCLUDES CONSTRUCTION OF A NEW ACCESSORY DWELLING UNIT (ADU) BUILDING IN THE REAR (WEST) OF THE PROPERTY. THE REAR PORTION OF THE EXISTING BUILDING IN THE FRONT (EAST) OF THE PROPERTY WILL BE MODIFIED TO MEET THE APPLICABLE REQUIREMENTS OF THE SAN FRANCISCO PLANNING CODE.

PLAN REVIEW BY SFPD LIMITED TO:
 1. FIRE DEPARTMENT

SFPWBSM sign off on Job Card required prior to DBI final. Call (628) 271-2000 / dpw-bsminspect@sfpw.org (sidewalk) & (628) 652-8733 / urbanforestry@sfpw.org (trees) to schedule. Subject to all conditions of SFPWBSM: 21CN-00043.



CODES AND REGULATIONS

Code	Edition
SAN FRANCISCO BUILDING CODE	2019 EDITION
SAN FRANCISCO PLUMBING CODE	2019 EDITION
SAN FRANCISCO ELECTRICAL CODE	2019 EDITION
SAN FRANCISCO MECHANICAL CODE	2019 EDITION

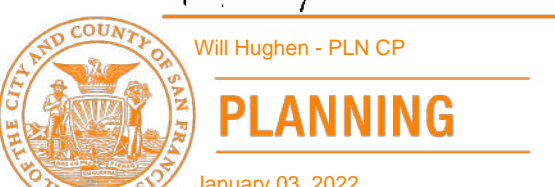
STATISTICS

Block and Lot	6528 - 005
Zoning	RTO-M
Type of Construction	VB
Occupancy Group	R-3
Number of Stories	3
Number of proposed residential units (ADU)	1
Floor area of proposed ADU building	1611 sq ft

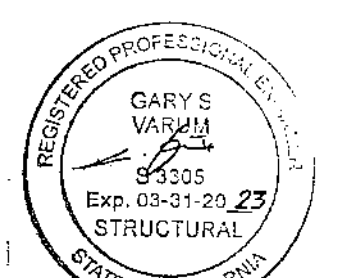
GARY S. VARUM STRUCTURAL ENGINEER
 80 BLAKE STREET, SAN FRANCISCO, CA 94118

1026 CAPP STREET
 San Francisco, CA
 REAR BUILDING ADU

SHEET 1



SPRINKLER SYSTEM: THE ENTIRE BUILDING IS TO BE EQUIPPED WITH A SPRINKLER SYSTEM CONFORMING TO NFPA 13D SPECIFICATIONS. PLANS AND CALCULATIONS FOR THE SPRINKLER SYSTEM ARE TO BE SUBMITTED UNDER A SEPARATE PERMIT APPLICATION.

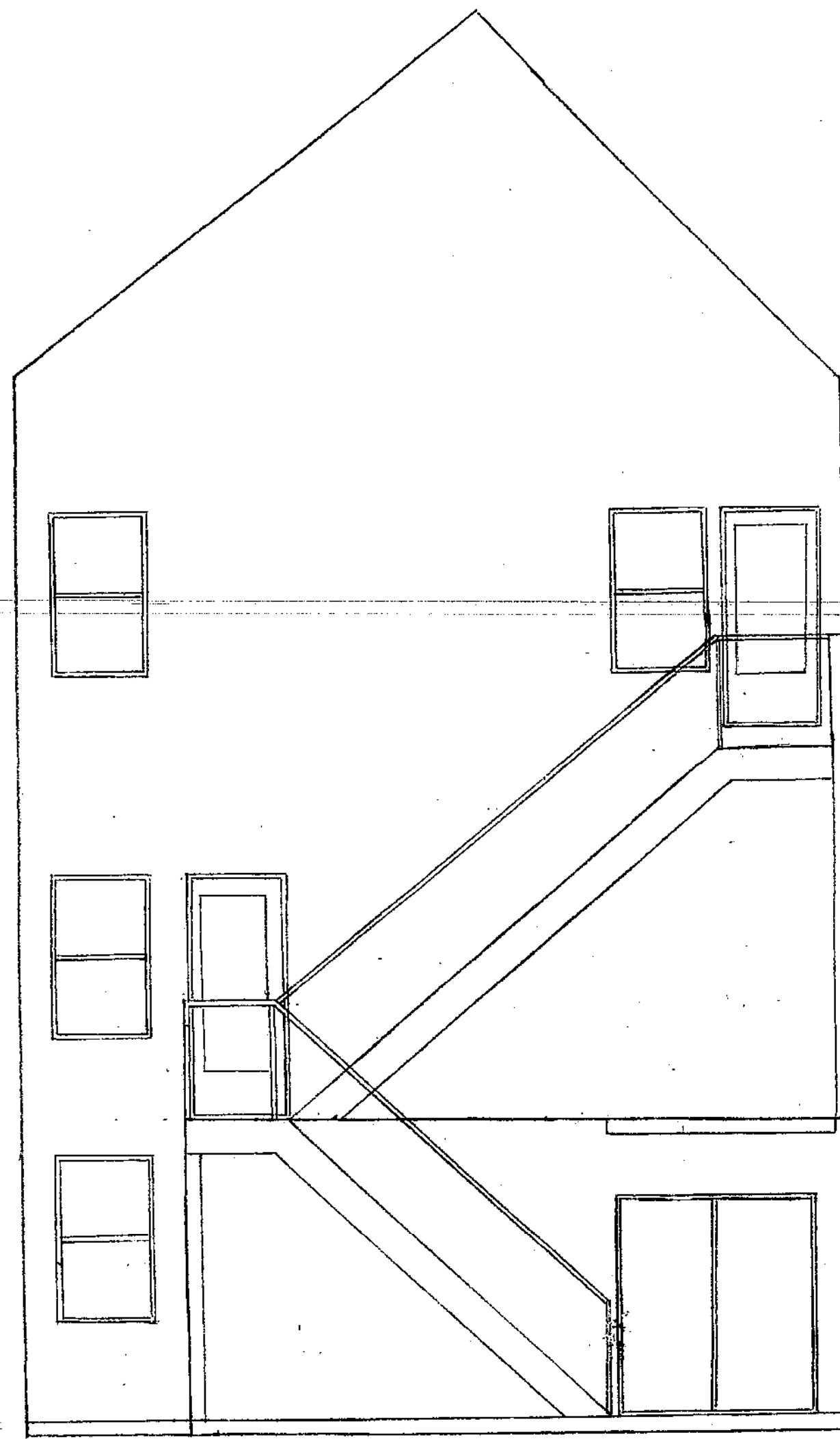


02-03-21
 06-15-21
 12-20-21
 March 3, 2020

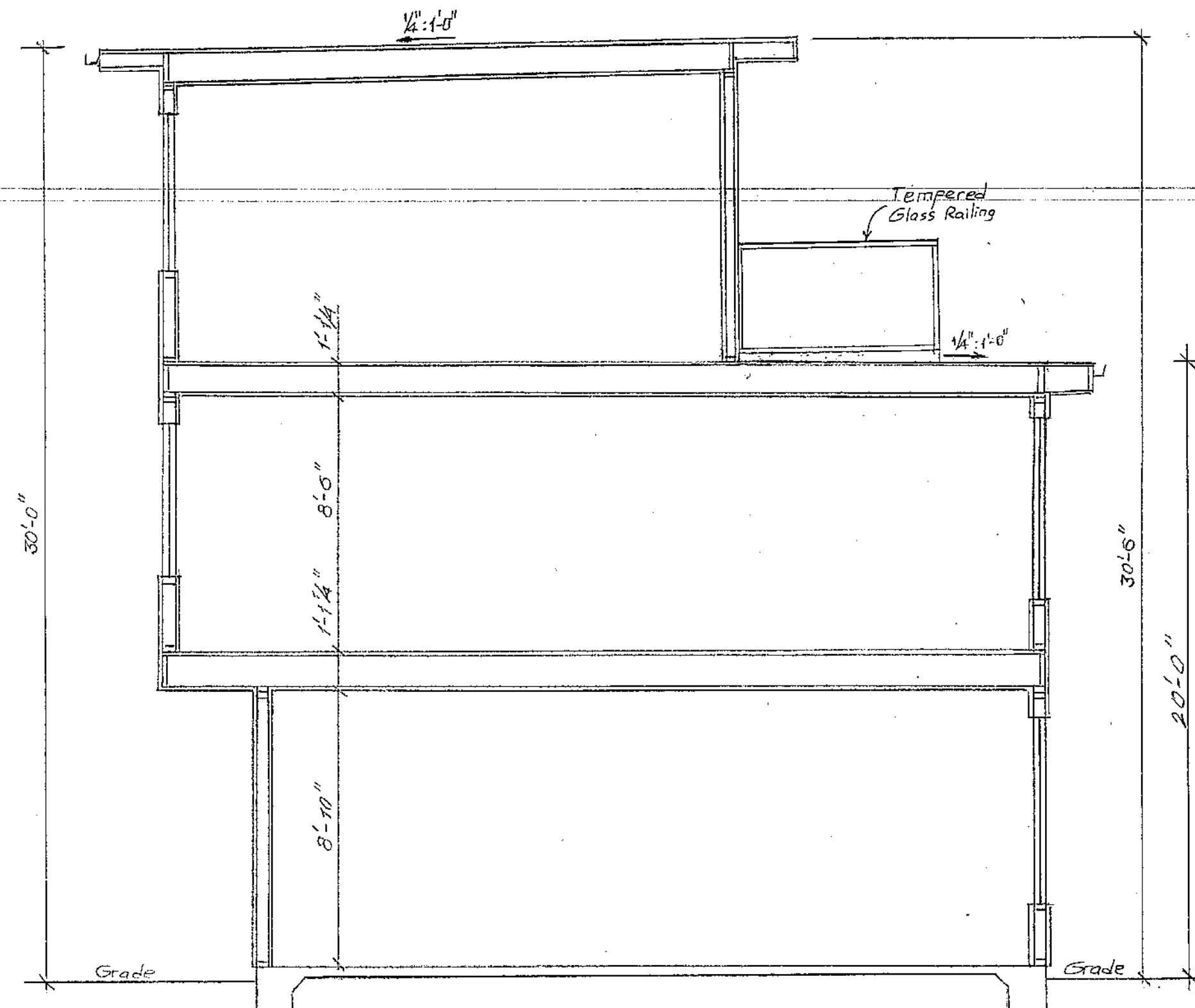
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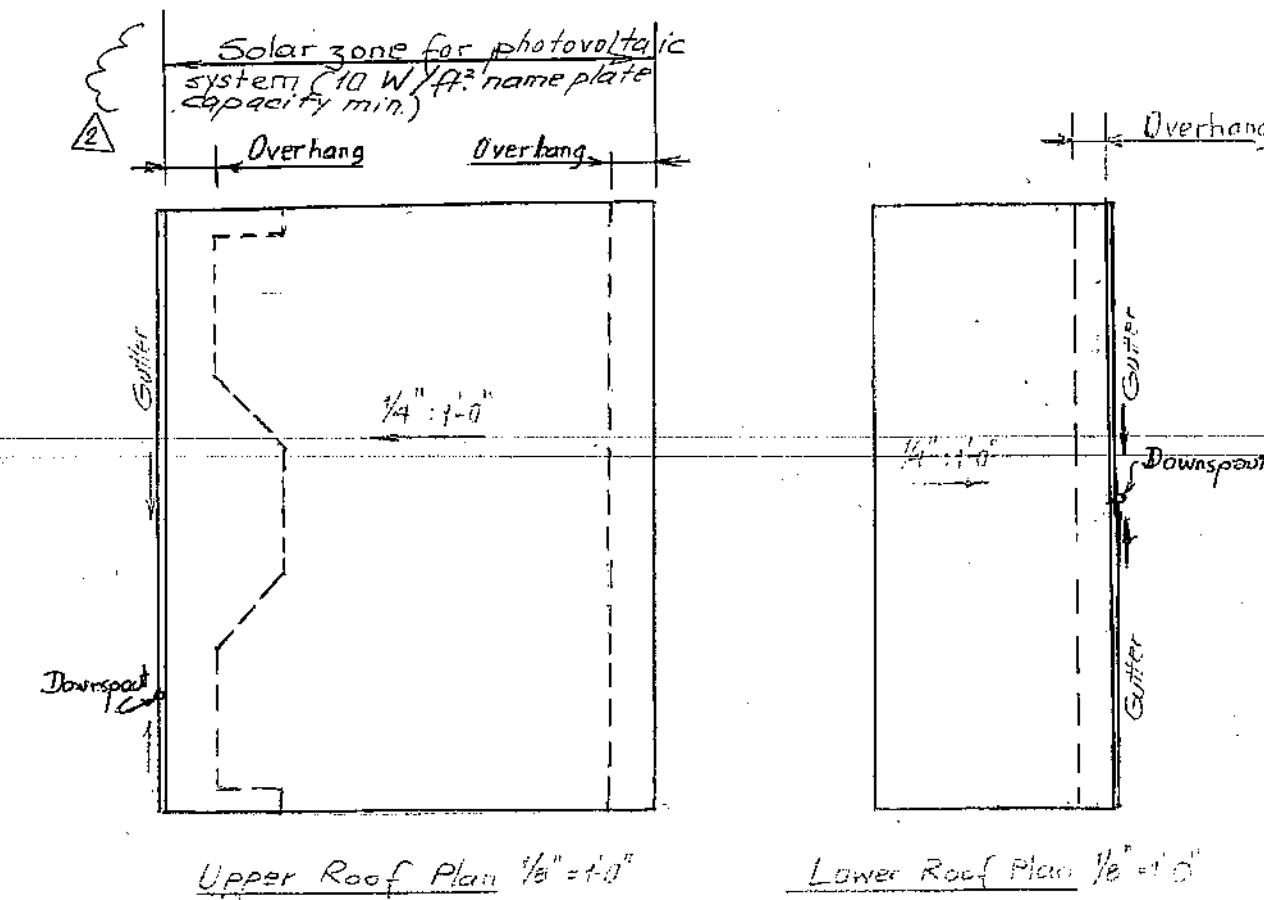
P. D. Varum
 PATRICK O'RORDAN
 INTERIM DIRECTOR
 DEPT. OF BUILDING INSPECTION



West (Rear) Elevation of Front Building 1/4"=1'-0"

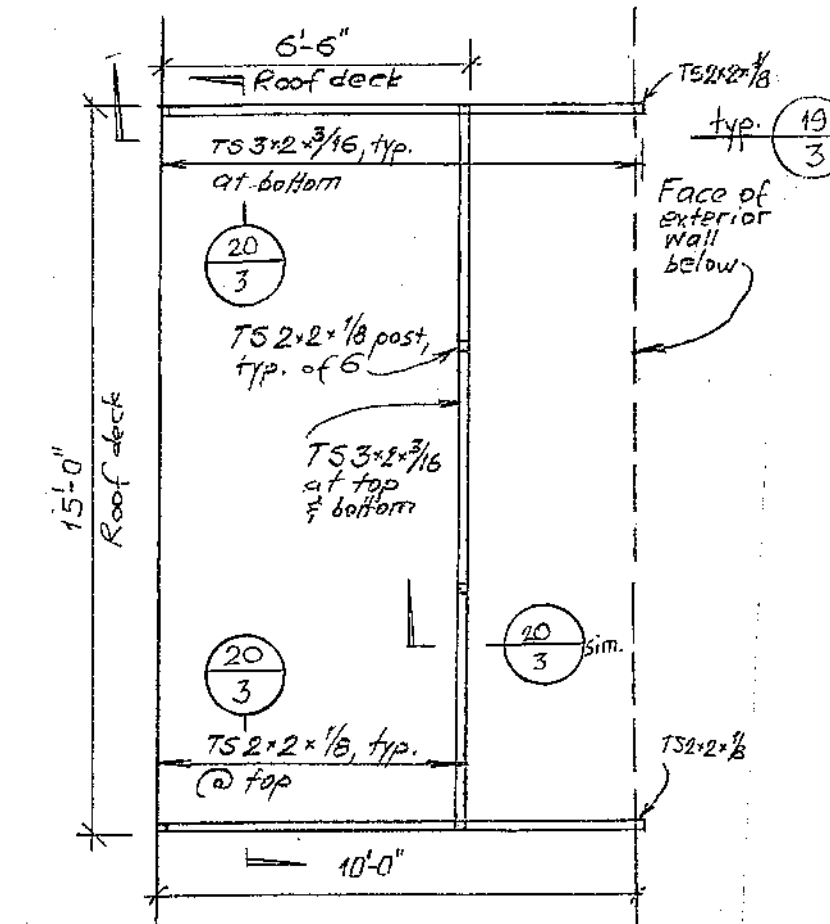


Cross-Section of Proposed ADU 1/4"=1'-0"

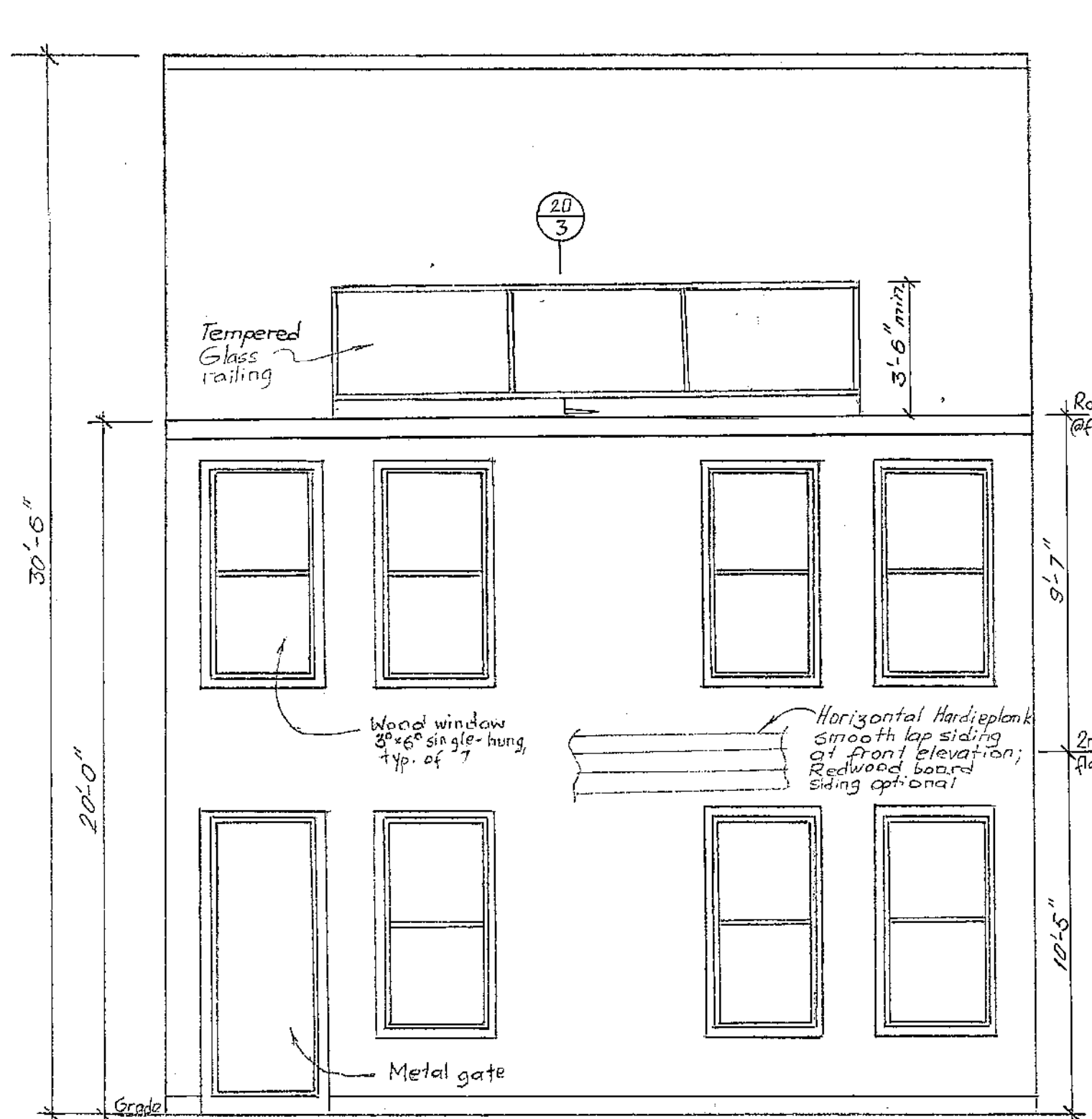


Upper Roof Plan 1/4"=1'-0"

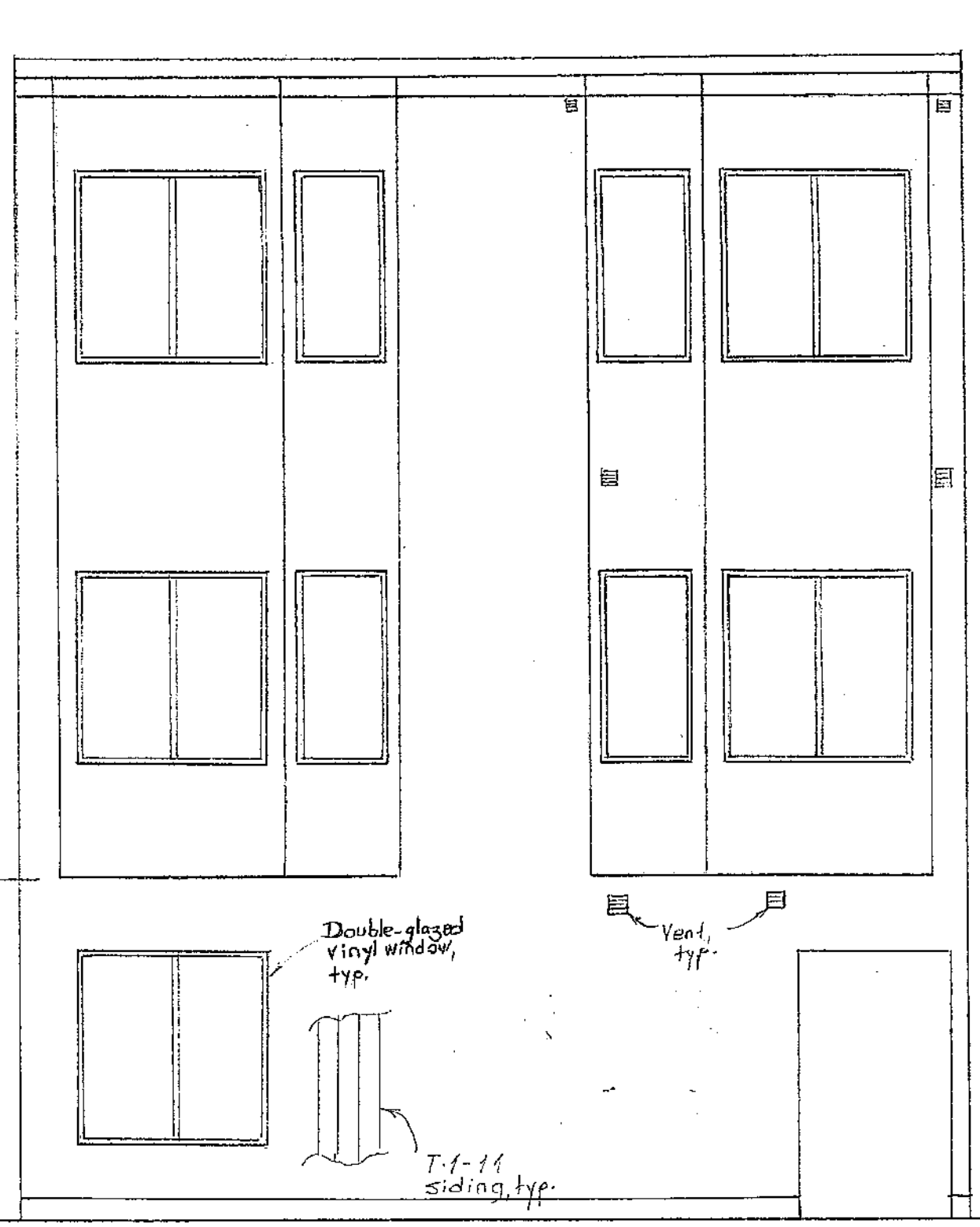
Lower Roof Plan 1/4"=1'-0"



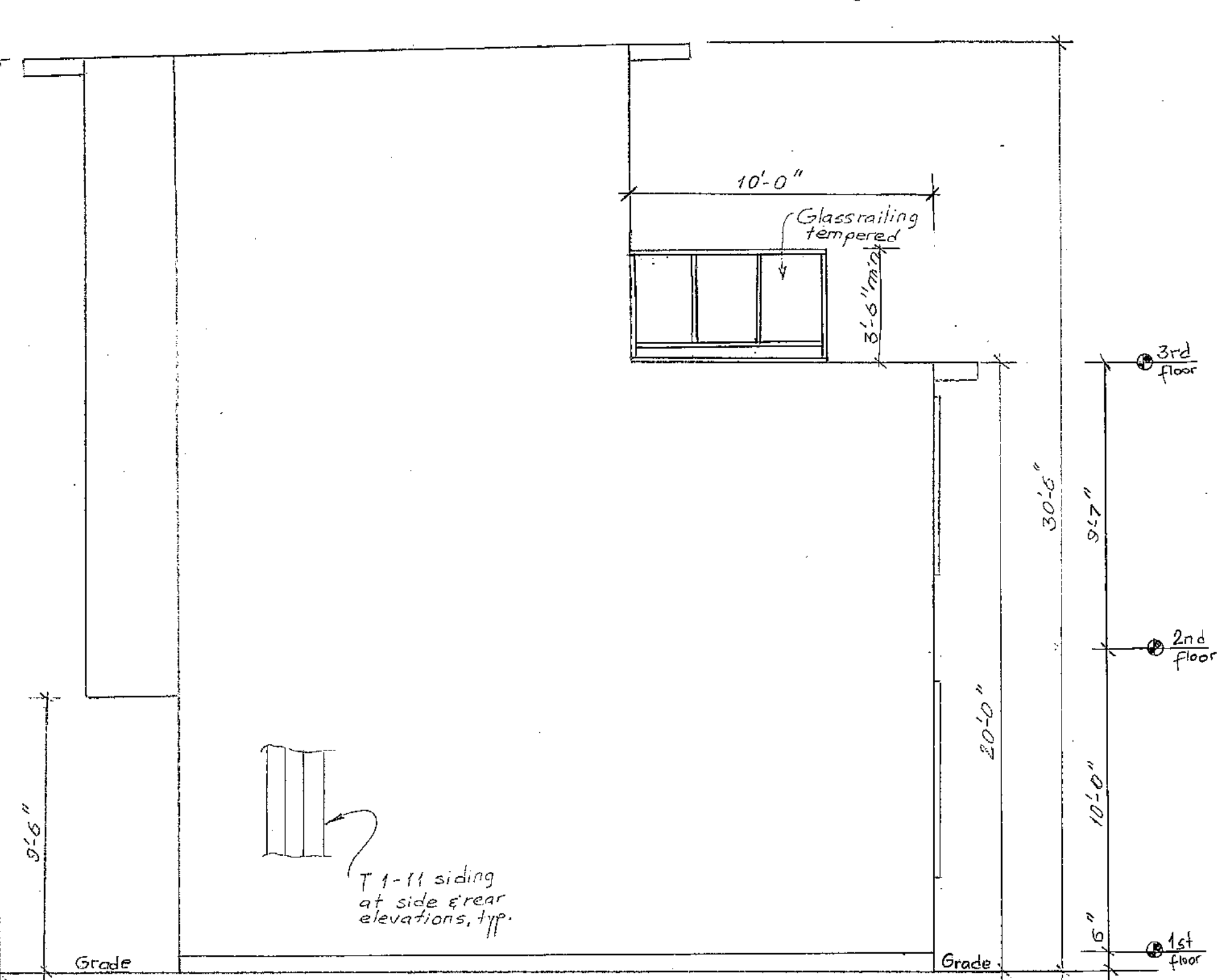
Roof Deck Railing Plan 1/4"=1'-0" for Roof Deck Plan see Sheet 1



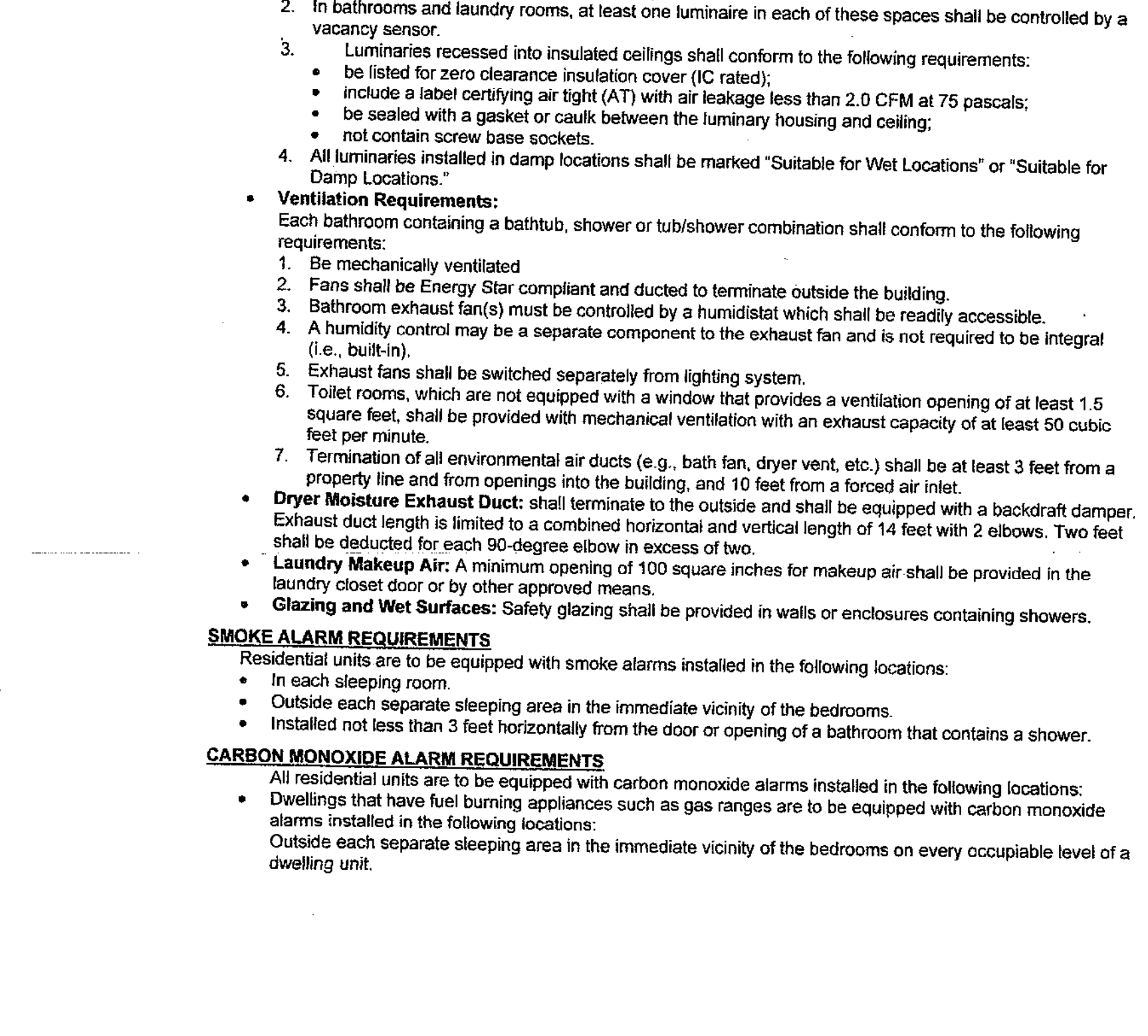
West (Front) Elevation of Proposed ADU 1/4"=1'-0"



East (Rear) Elevation of Proposed ADU 1/4"=1'-0"

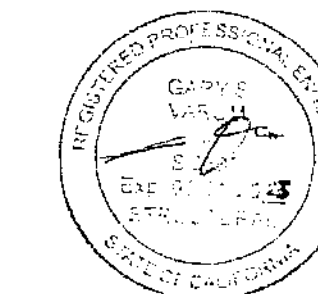


North (Side) Elevation of Proposed ADU 1/4"=1'-0"



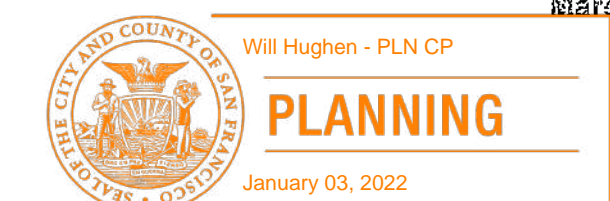
South (Side) Elevation of Proposed ADU 1/4"=1'-0"

- KITCHEN REQUIREMENTS**
- WATER CONSERVING PLUMBING FIXTURES REQUIREMENTS**
- Faucets shall have a maximum flow rate of 1.8 gallons per minute. Flow may temporarily increase to 2.2 gallons per minute, but must default to a maximum of 1.8 gallons per minute.
- ELECTRICAL REQUIREMENTS**
- Install receptacle outlets such that no point along the wall countertop is more than 24 inches from a receptacle in that space.
 - Install at least one receptacle outlet at the open end of peninsula counter space.
 - All electrical outlets serving kitchen countertops and dishwashers shall be GFCI protected. Ground fault circuit interrupters shall be located in a readily accessible location.
 - At least two separate 20-ampere branch circuits shall be provided for small kitchen appliances. These circuits are limited to supplying wall and counter space outlets only and cannot serve dishwasher, microwave, range hood, garbage disposal, etc.
 - All receptacles shall be listed tamper-resistant receptacles and shall be arc fault protected.
- LIGHTING REQUIREMENTS**
- All luminaires shall be high efficacy.
 - Luminaires recessed into insulated ceilings shall conform to the following requirements:
 - be listed for zero clearance insulation cover (IC rated);
 - include a label certifying air tight (AT) with air leakage less than 2.0 CFM at 75 pascals;
 - be sealed with a gasket or caulk between the luminaire housing and ceiling;
 - not contain screw base sockets.
- VENTILATION REQUIREMENTS**
- Termination of all environmental air ducts shall be at least 3 feet from property line and from openings into the building.
 - Whole-Building Ventilation: In the kitchens install ventilation air flow at 100 cubic feet per minute or more for intermediate systems or 5 air changes per hour for continuous systems.
- ALARM INTERCONNECTION AND POWER**
- Smoke alarms shall be interconnected such that activation of one alarm will activate all of the alarms and shall receive their primary power from the building wiring.
- BATHROOM AND LAUNDRY REQUIREMENTS**
- Water Closet Setting:** Water closets shall be installed no closer than 15 inches from their center to any side wall or obstruction nor closer than 30 inches center to center to any other plumbing fixture.
 - Water Closet Clearance:** The minimum clear space in front of the water closet shall be not less than 24 inches.
 - Shower Size:**
 - Shower compartment shall have a minimum finished interior of 1,024 square inches and shall also be capable of encompassing a 30-inch diameter circle.
 - The minimum required area and dimensions shall be measured at a height equal to the top of the threshold. The area and dimensions shall be maintained to a point of not less than 70 inches above the shower drain outlet with no protrusions other than the fixture valve or valves, showerhead, soap dishes, shelves and safety grab bars or rails.
 - Shower Doors:** Shower doors shall open outward so as to maintain a 22-inch unobstructed opening width.
 - Backing Board Materials:** Shower walls shall be provided with a moisture resistant underlayment (e.g., fiber-cement backer board, fiber-reinforced gypsum panel, glass mat gypsum backing panel, or fiber mat reinforced cementitious backer units) to a minimum height of 72 inches above the floor.
 - Water Conserving Plumbing Fixtures:**
 - Maximum flow rate for water closets is 1.28 gallons per flush.
 - Maximum flow rate for showerheads is 1.8 gallons per minute. For multiple showerheads serving one shower, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 pounds per square inch, or the shower shall be designed to allow only one shower outlet to be in operation at a time. A handheld shower is considered a showerhead.
 - Flow rate for lavatory faucets is 1.2 gallons per minute maximum and 0.8 gallons per minute minimum.
 - Ventilation Requirements**
 - Termination of all environmental air ducts shall be at least 3 feet from property line and from openings into the building, and 10 feet from a forced air inlet.
 - Electrical Requirements:**
 - At least one 120-Volt, 20-Ampere circuit shall be provided for bathroom receptacle outlets or provide a dedicated 20-Ampere circuit for each individual bathroom being altered. Bathroom lighting shall not be on an outlet circuit.
 - At least one 20-Ampere circuit shall be provided for laundry appliances. Laundry lighting shall not be on an outlet circuit.
 - At least one receptacle outlet shall be provided within 3 feet of the outside edge of each basin. The receptacle outlet shall be located on a wall that is adjacent to the basin, or on the side or face of the basin cabinet not more than 12 inches below the counter top.
 - All receptacle outlets in the bathrooms and in laundry area shall be GFCI protected. Ground fault circuit interrupters shall be located in a readily accessible location.
 - Receptacles that are installed within 6 feet of the outside edge of a sink, bathtub or shower stall shall be GFCI protected.
 - All added/replaced receptacles shall be listed tamper-resistant.
 - Lighting Requirements:**
 - All installed luminaires shall be high efficacy.
 - In bathrooms and laundry rooms, at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.
 - Luminaires recessed into insulated ceilings shall conform to the following requirements:
 - be listed for zero clearance insulation cover (IC rated);
 - include a label certifying air tight (AT) with air leakage less than 2.0 CFM at 75 pascals;
 - be sealed with a gasket or caulk between the luminaire housing and ceiling;
 - not contain screw base sockets.
 - All luminaires installed in damp locations shall be marked "Suitable for Wet Locations" or "Suitable for Damp Locations."
 - Ventilation Requirements:**
 - Each bathroom containing a bathtub, shower or tub/shower combination shall conform to the following requirements:
 - Be mechanically ventilated
 - Fans shall be Energy Star compliant and ducted to terminate outside the building.
 - Bathroom exhaust fan(s) must be controlled by a humidistat which shall be readily accessible.
 - A humidity control may be a separate component to the exhaust fan and is not required to be integrated (i.e., built-in).
 - Exhaust fans shall be switched separately from lighting system.
 - Toilet rooms, which are not equipped with a window that provides a ventilation opening of at least 1.5 square feet, shall be provided with mechanical ventilation with an exhaust capacity of at least 50 cubic feet per minute.
 - Termination of all environmental air ducts (e.g., bath fan, dryer vent, etc.) shall be at least 3 feet from a property line and from openings into the building, and 10 feet from a forced air inlet.
 - Dryer Moisture Exhaust Duct:** shall terminate to the outside and shall be equipped with a backdraft damper. Exhaust duct length is limited to a combined horizontal and vertical length of 14 feet with 2 elbows. Two feet shall be deducted for each 90-degree elbow in excess of two.
 - Laundry Makeup Air:** A minimum opening of 100 square inches for makeup air shall be provided in the laundry closet door or by other approved means.
 - Glazing and Wet Surfaces:** Safety glazing shall be provided in walls or enclosures containing showers.
 - SMOKE ALARM REQUIREMENTS**
 - Residential units are to be equipped with smoke alarms installed in the following locations:
 - In each sleeping room.
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - Installed not less than 3 feet horizontally from the door or opening of a bathroom that contains a shower.
 - CARBON MONOXIDE ALARM REQUIREMENTS**
 - All residential units are to be equipped with carbon monoxide alarms installed in the following locations:
 - Dwellings that have fuel burning appliances such as gas ranges are to be equipped with carbon monoxide alarms installed in the following locations:
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms on every occupiable level of a dwelling unit.



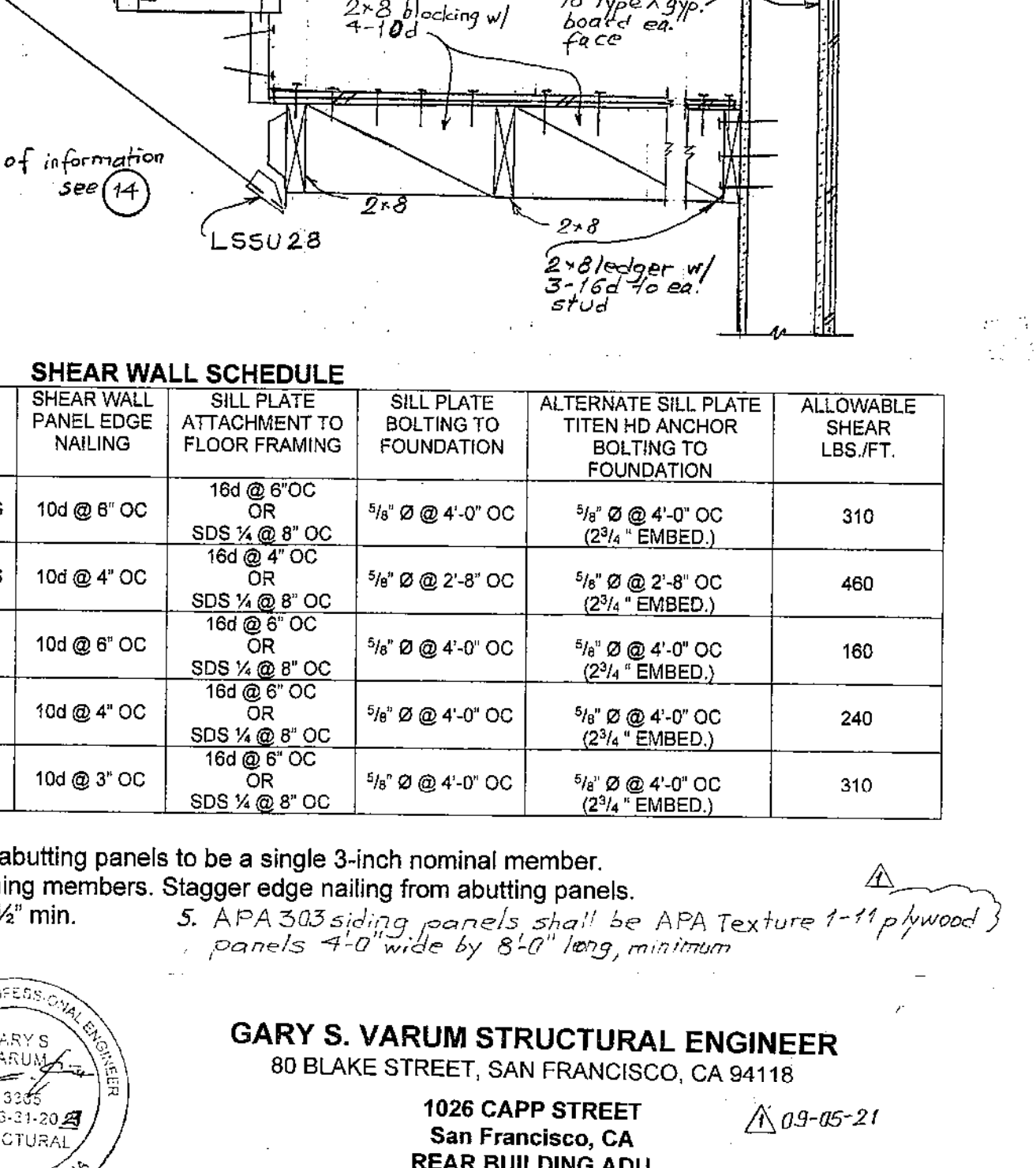
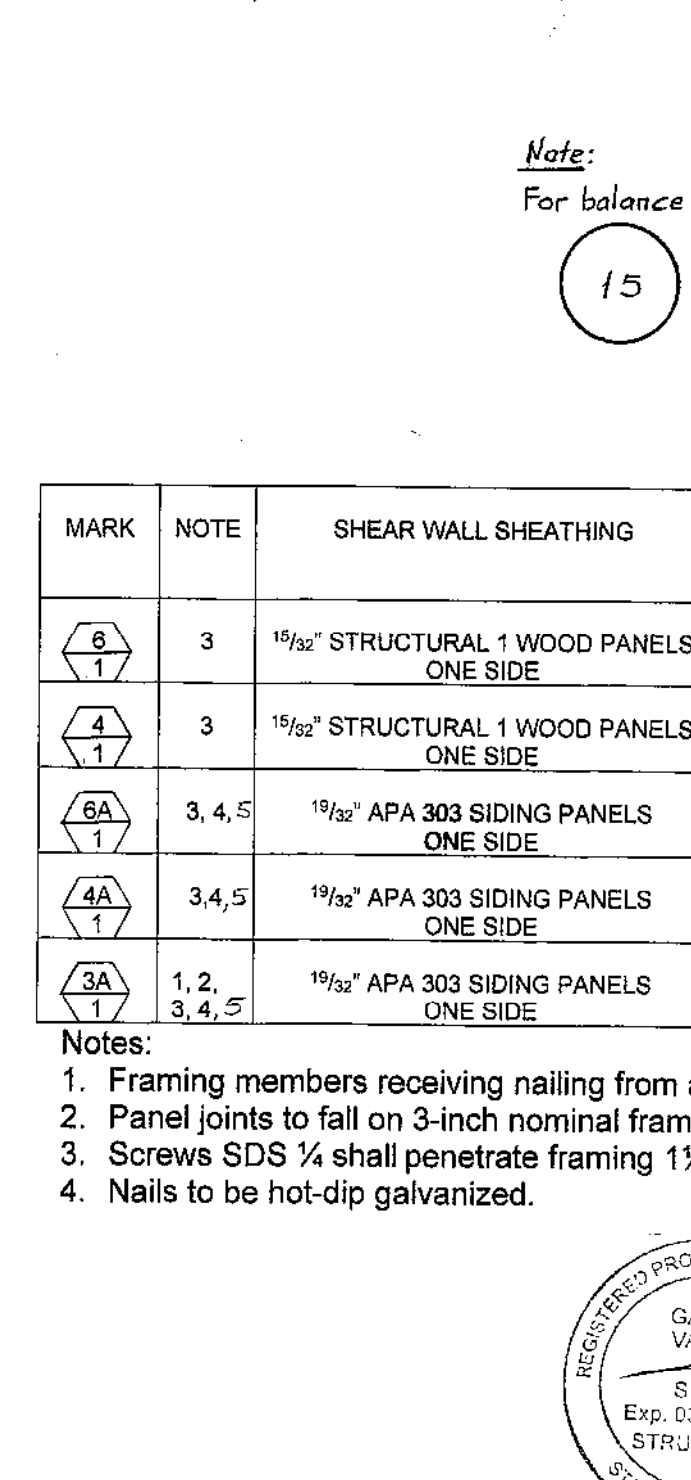
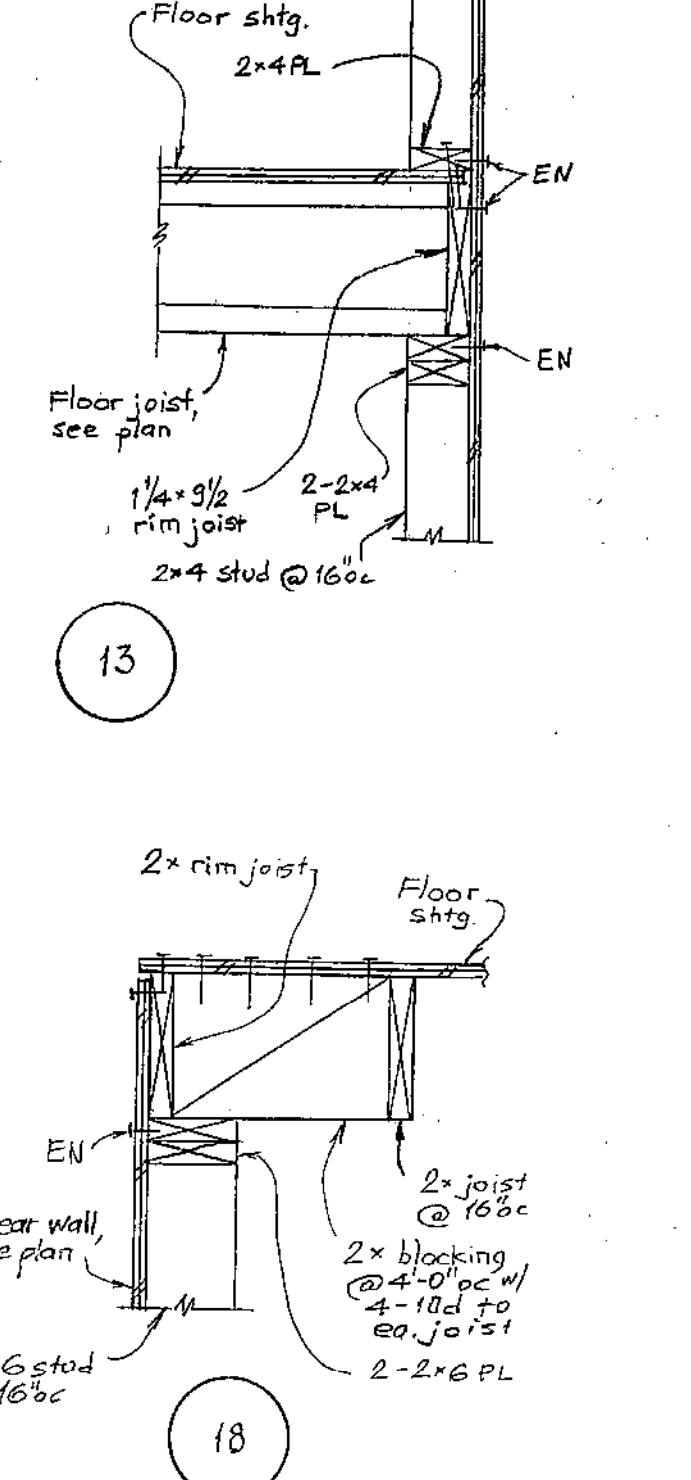
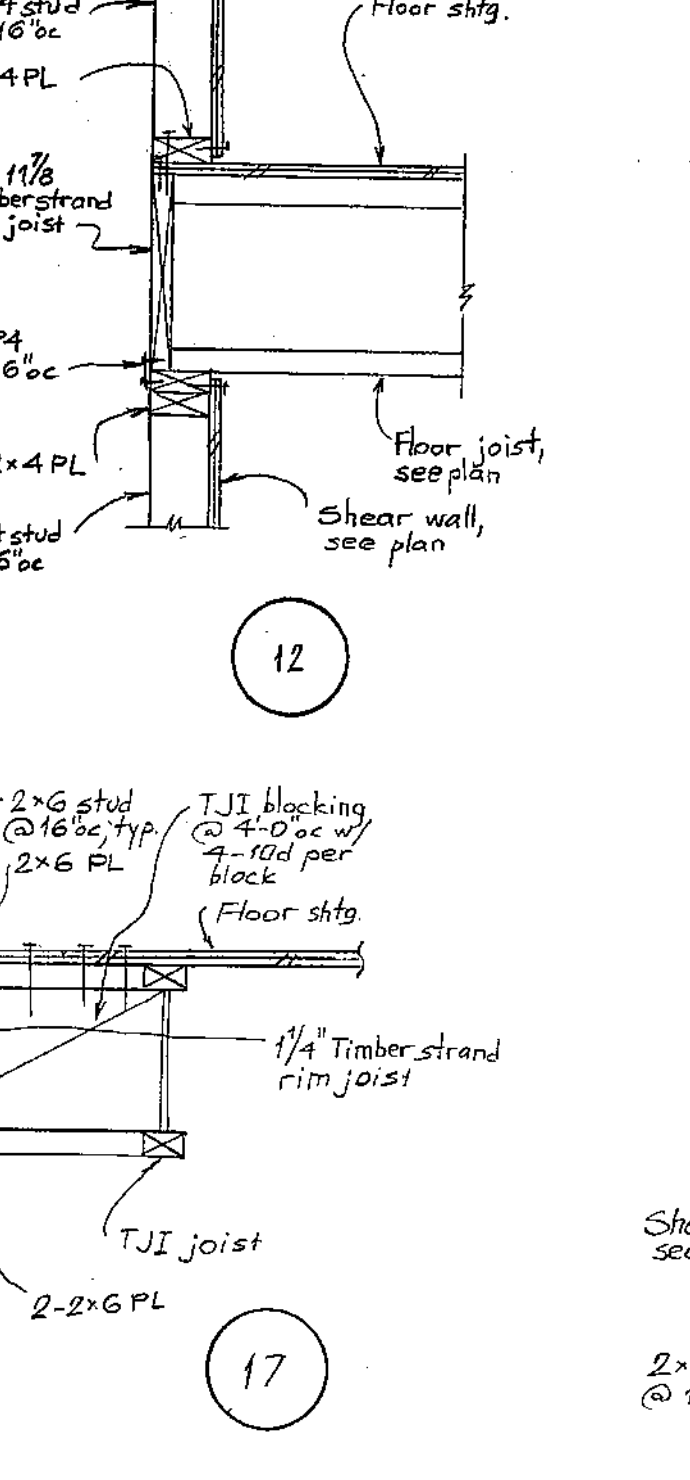
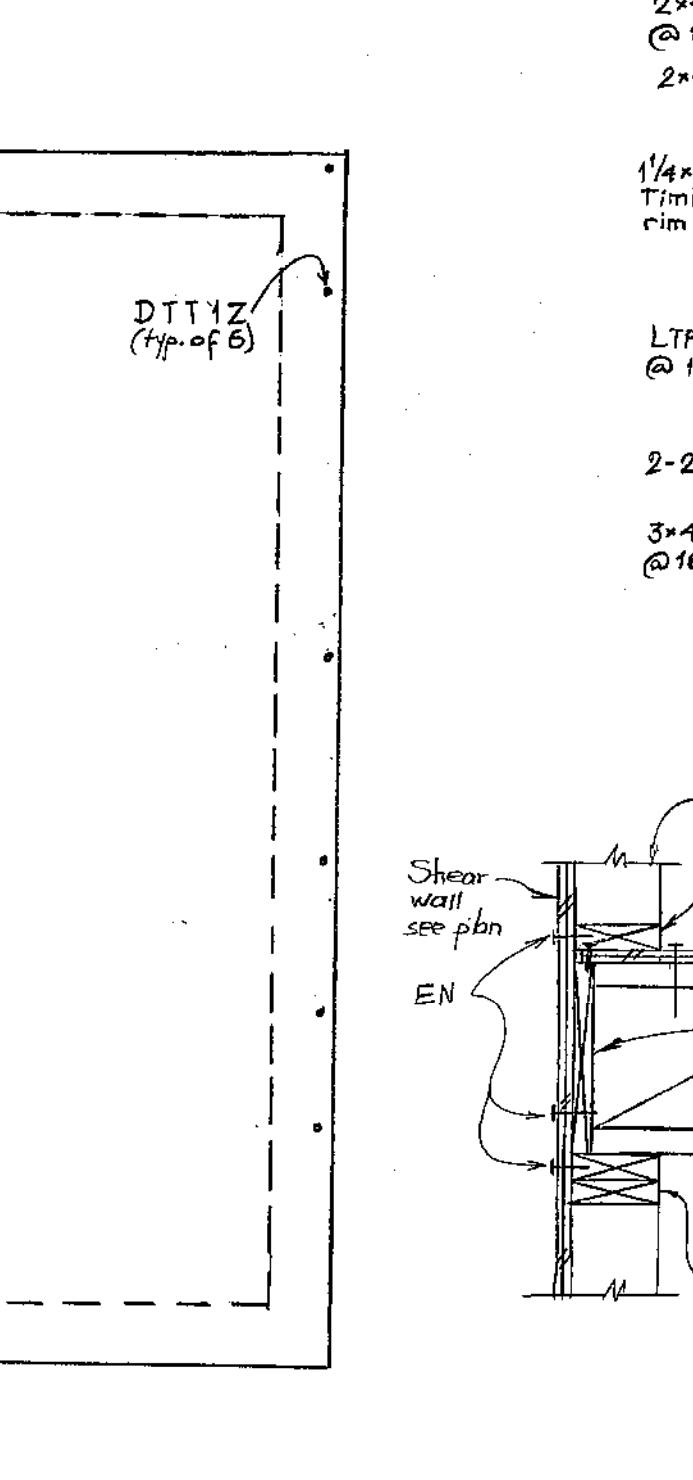
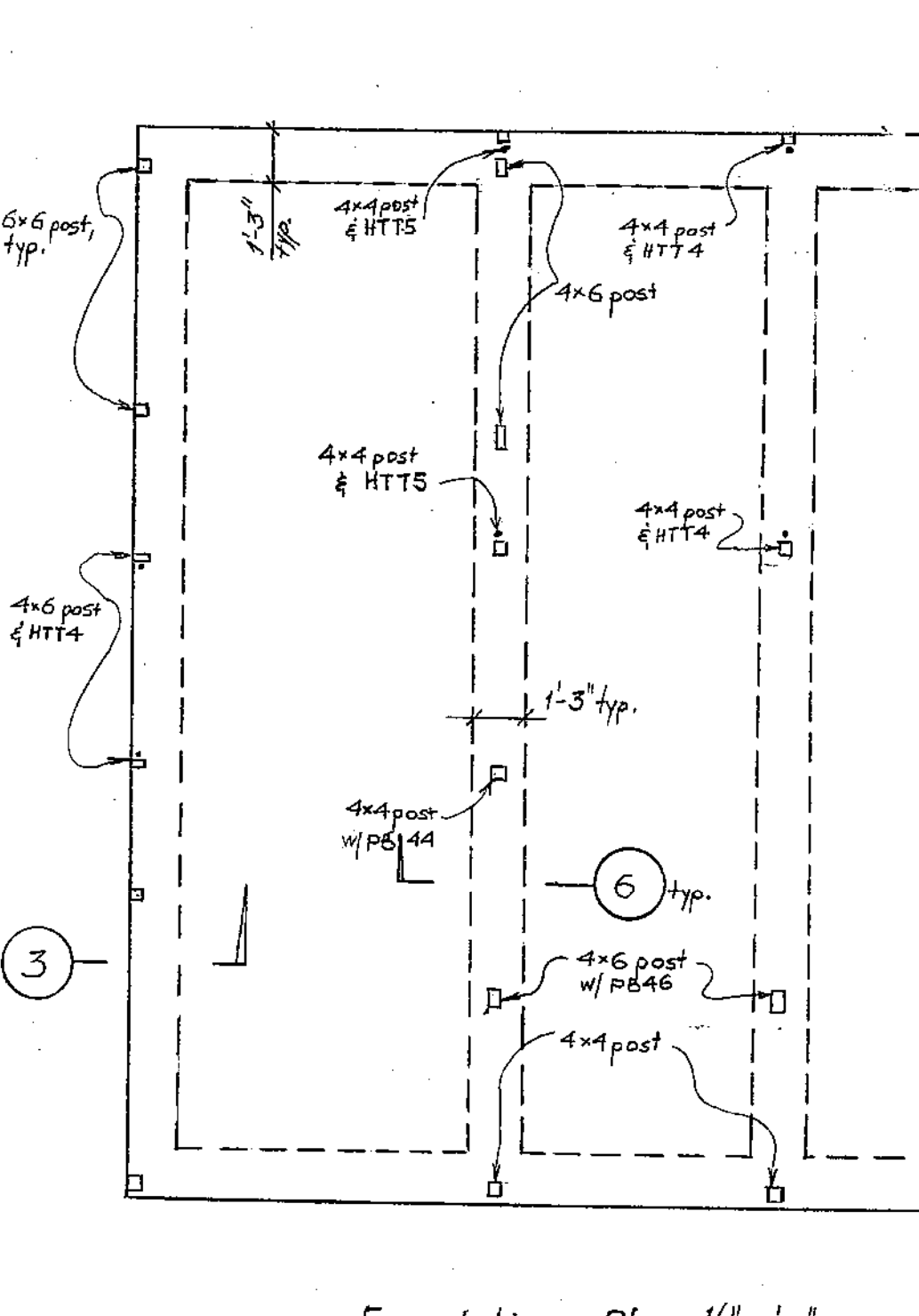
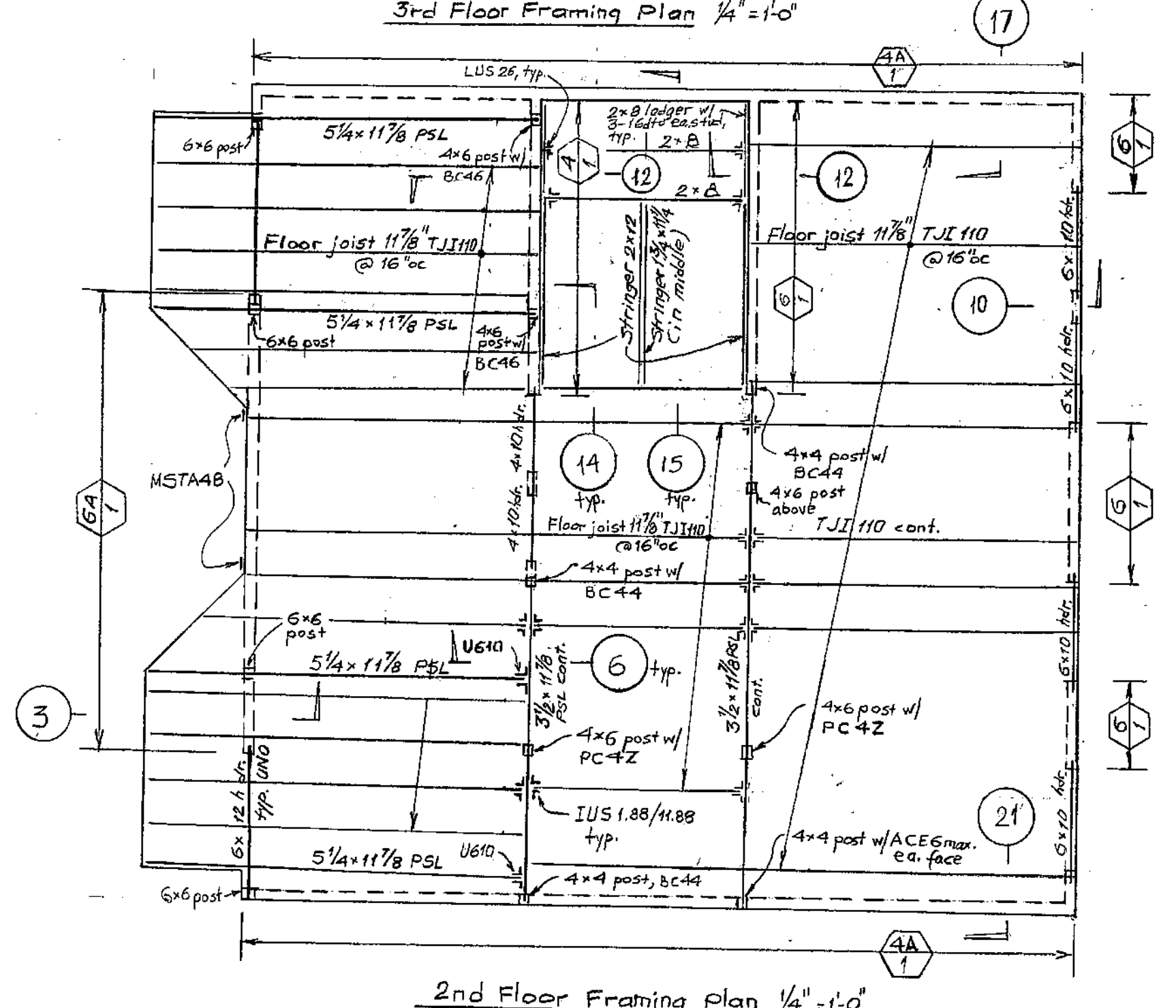
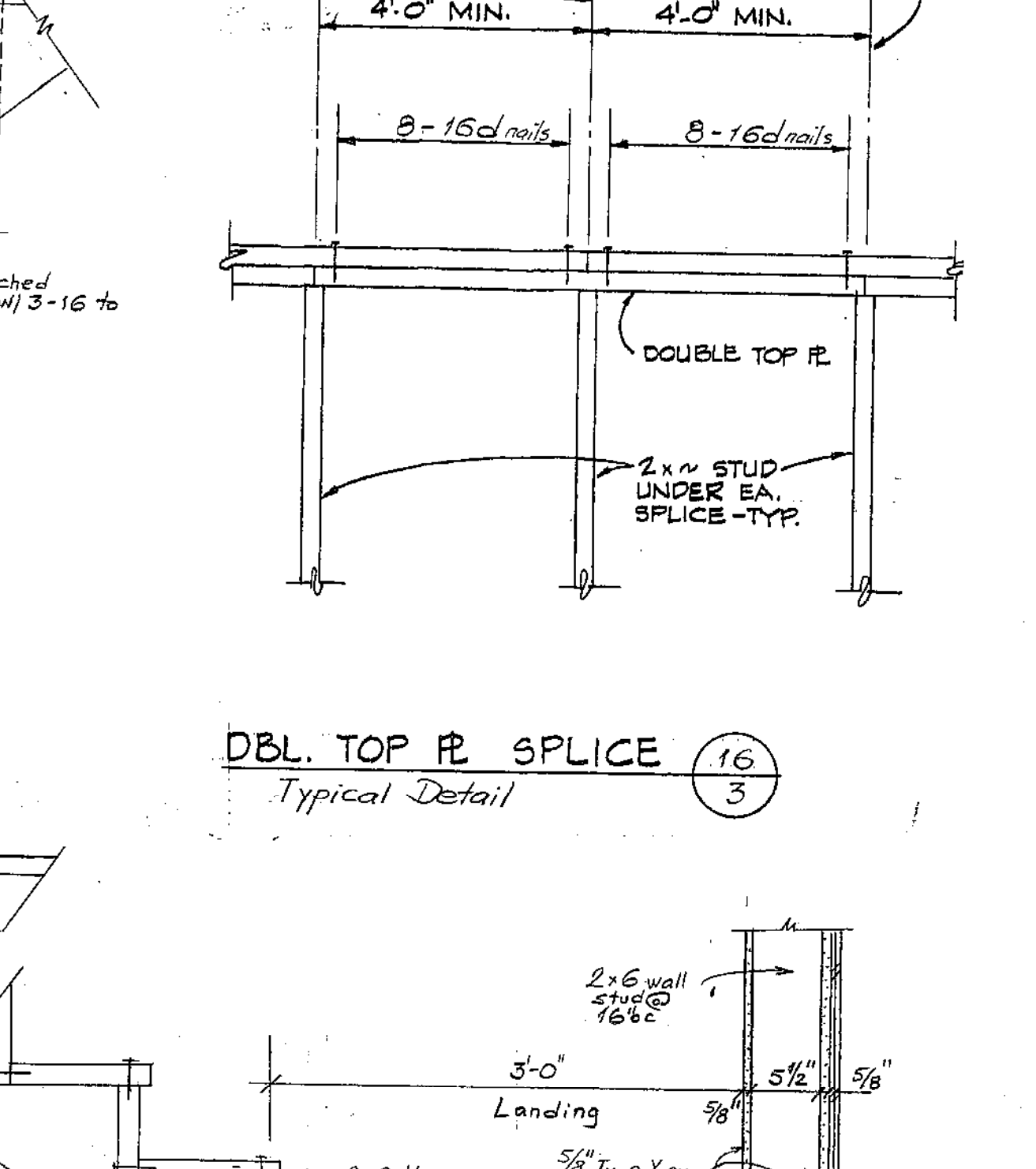
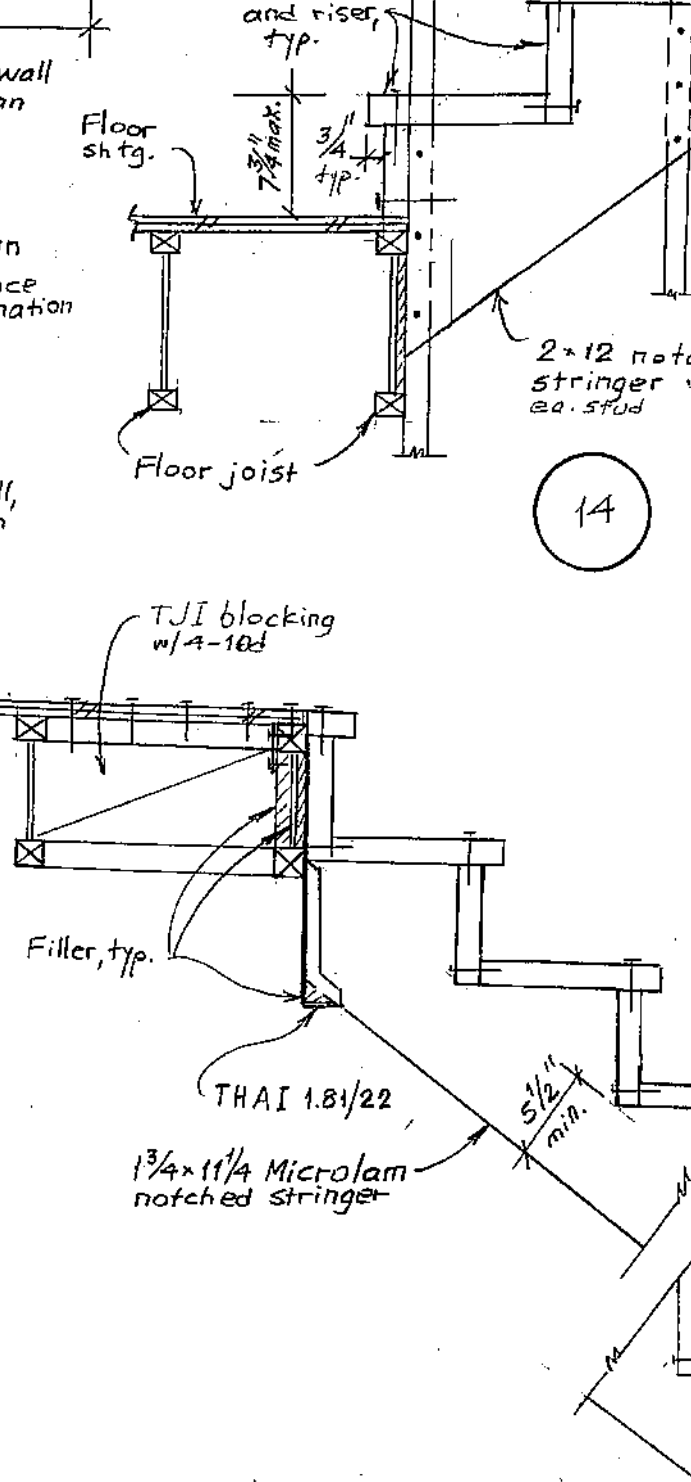
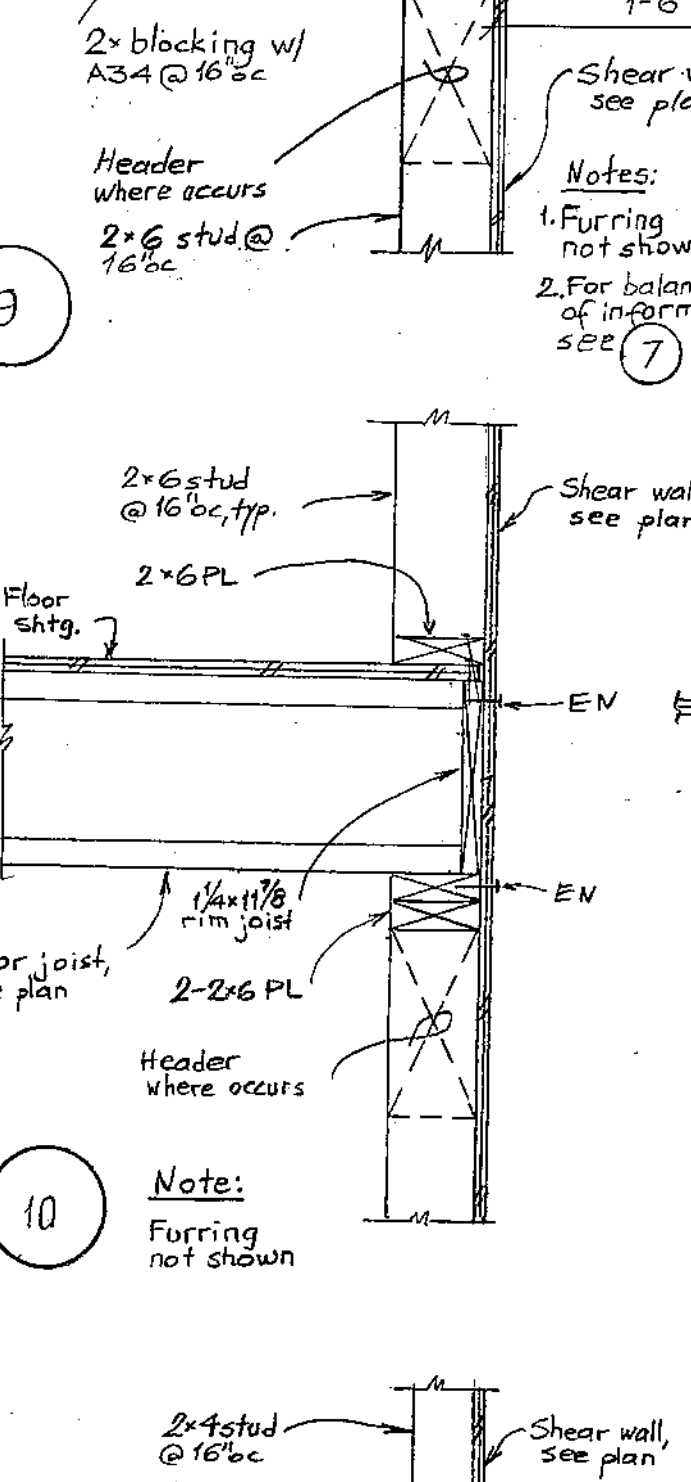
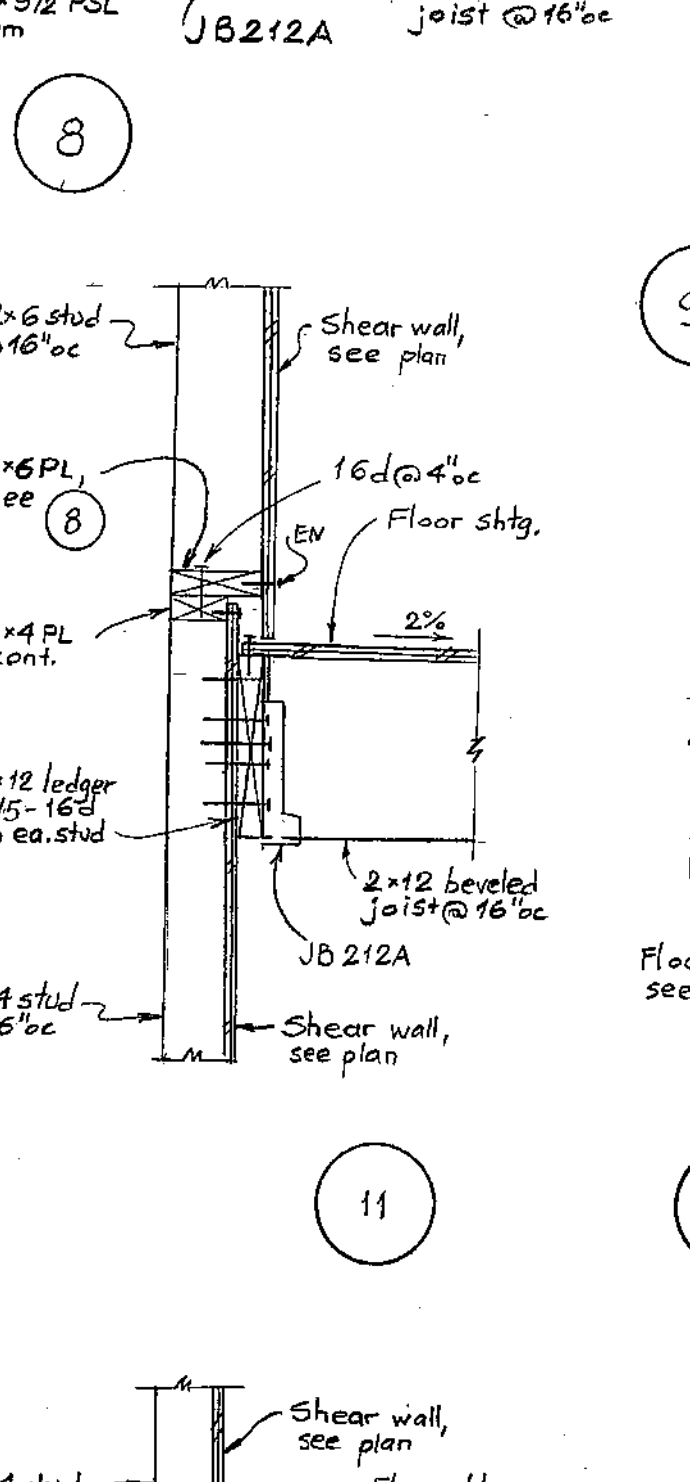
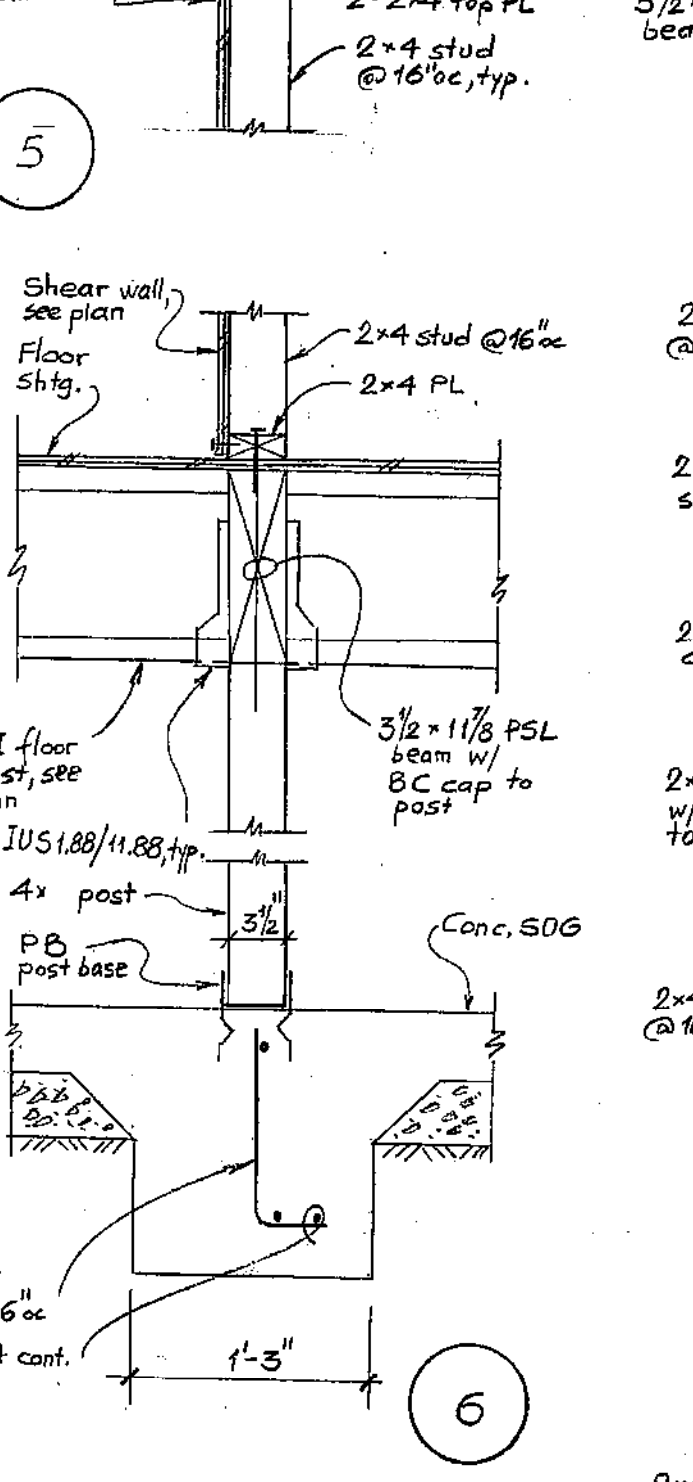
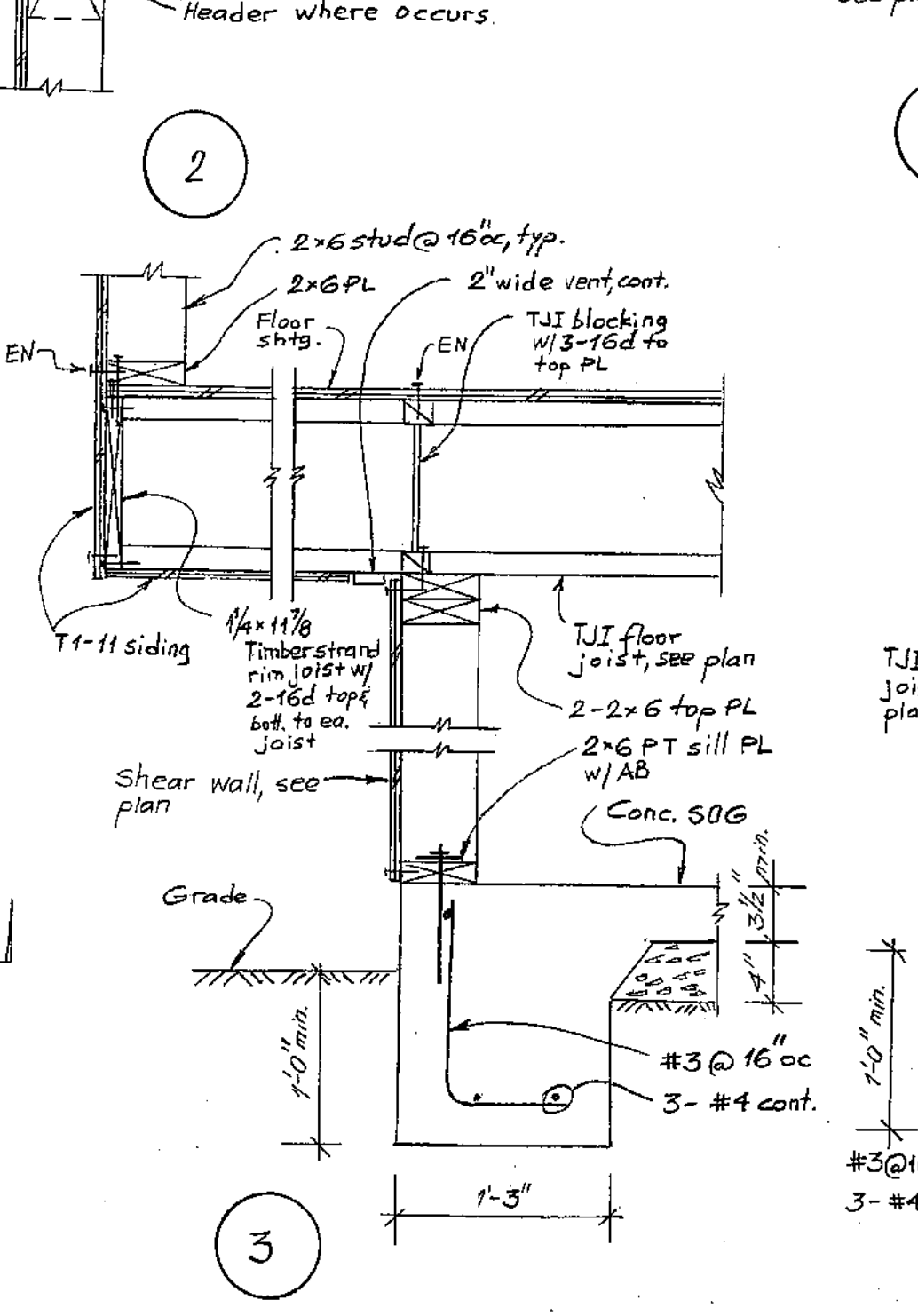
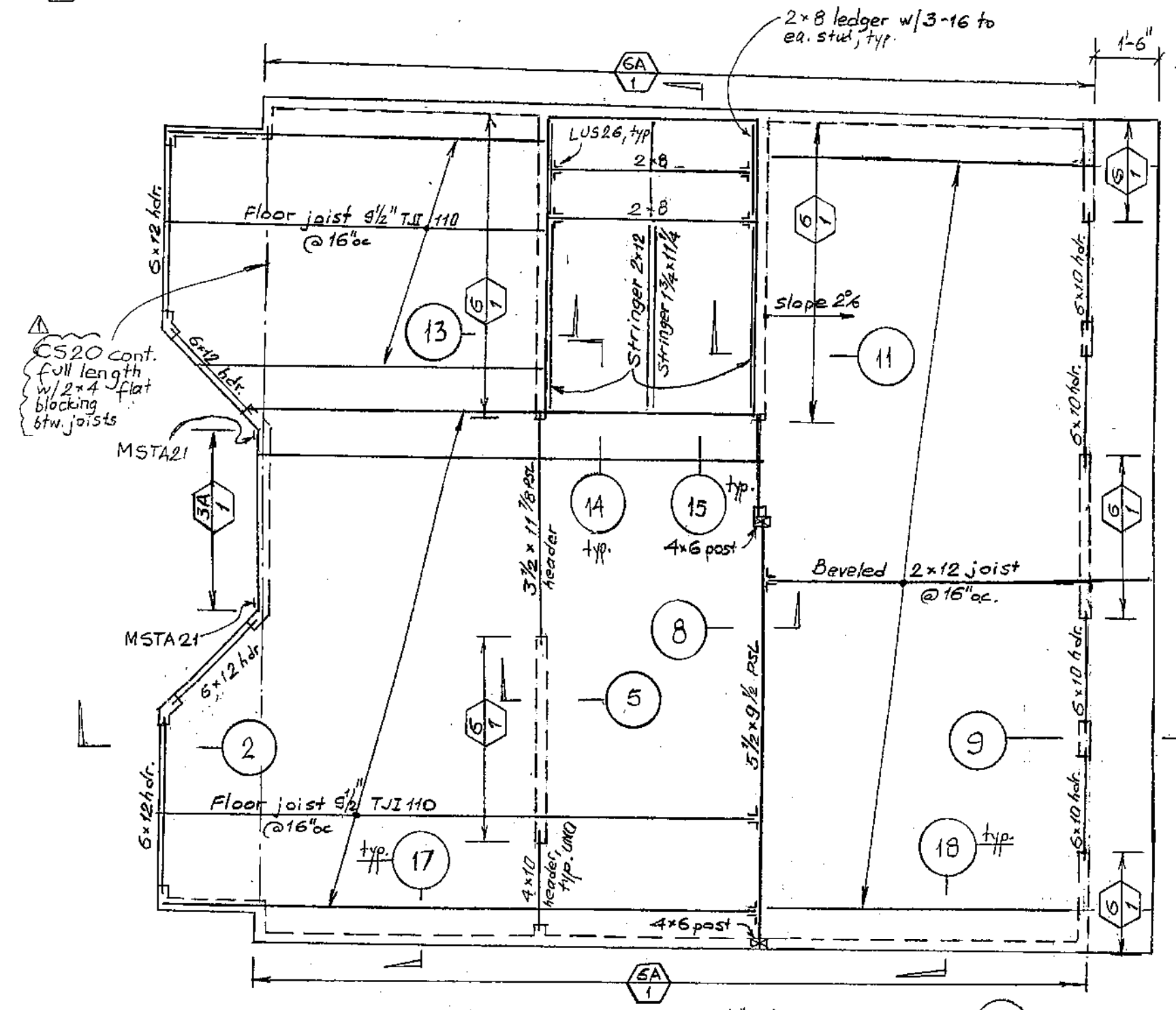
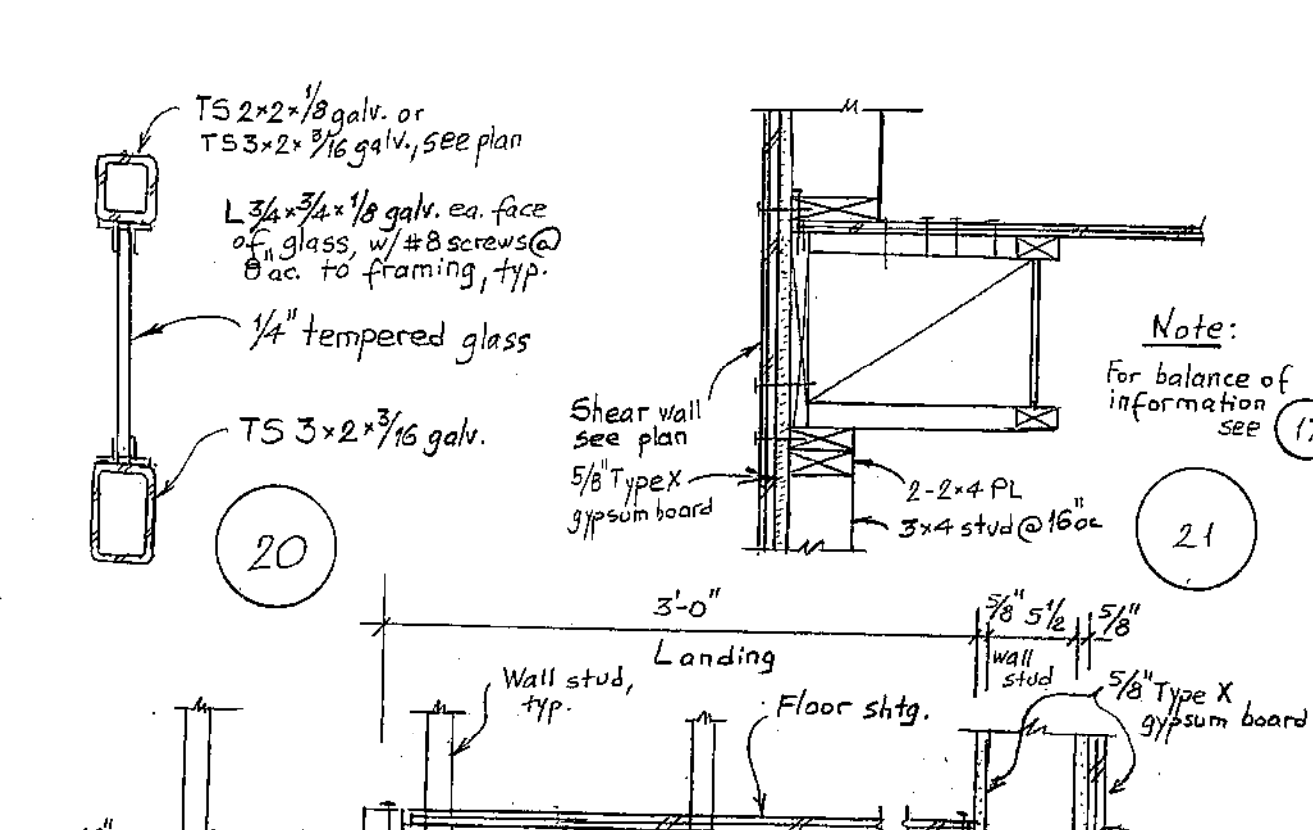
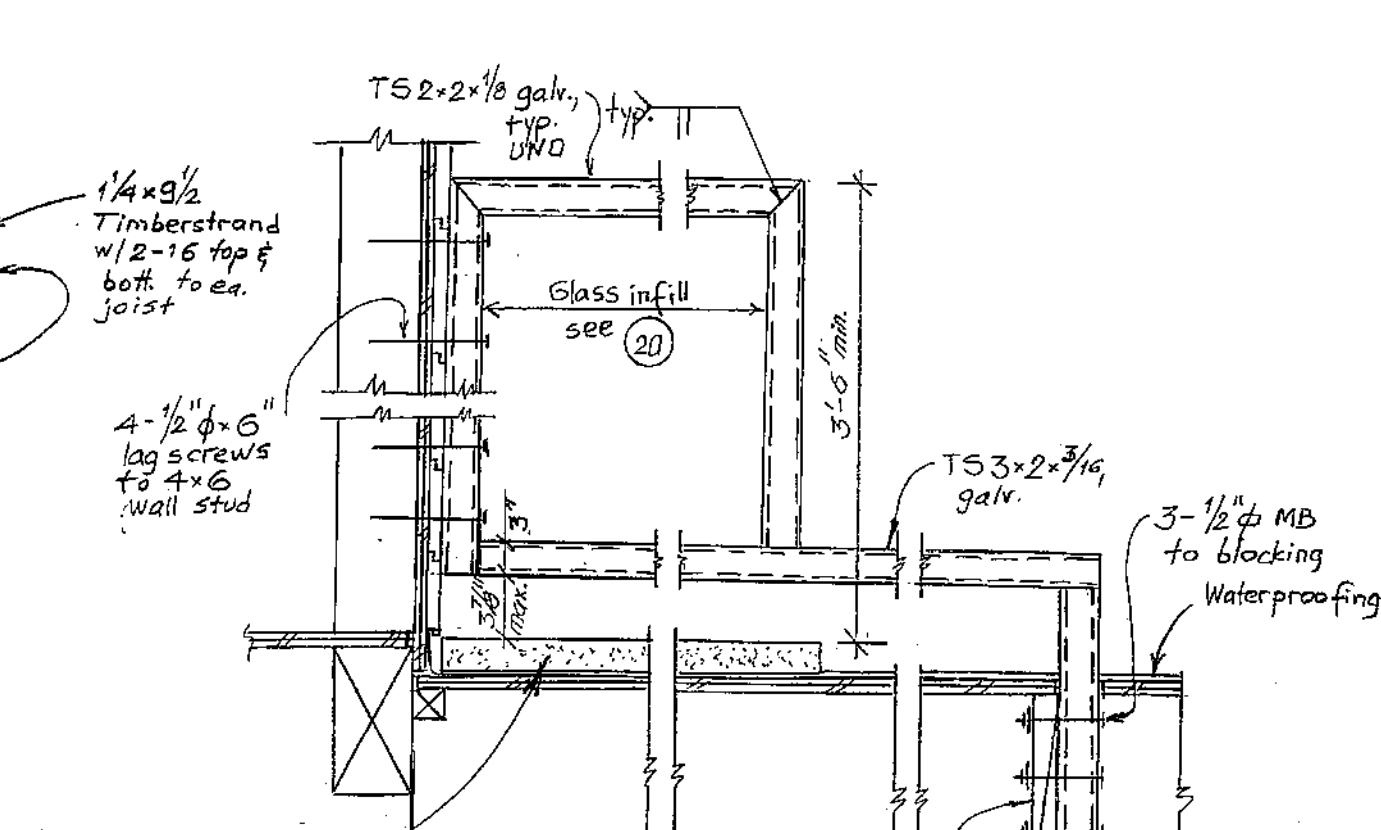
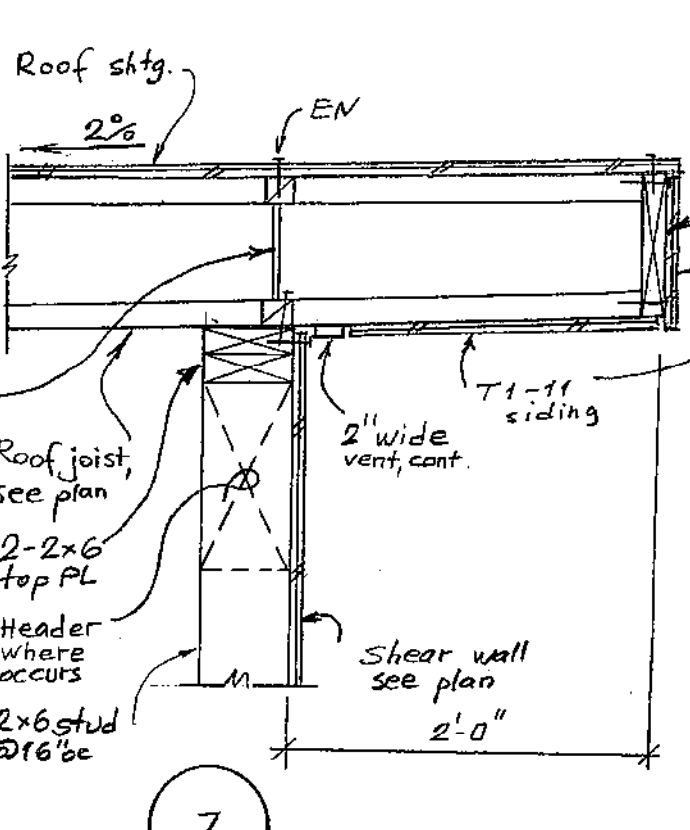
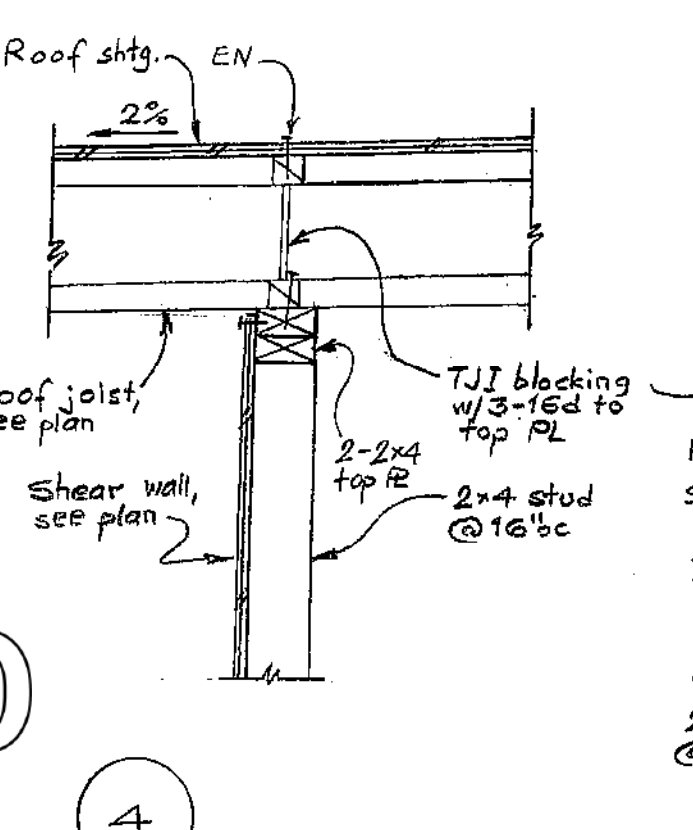
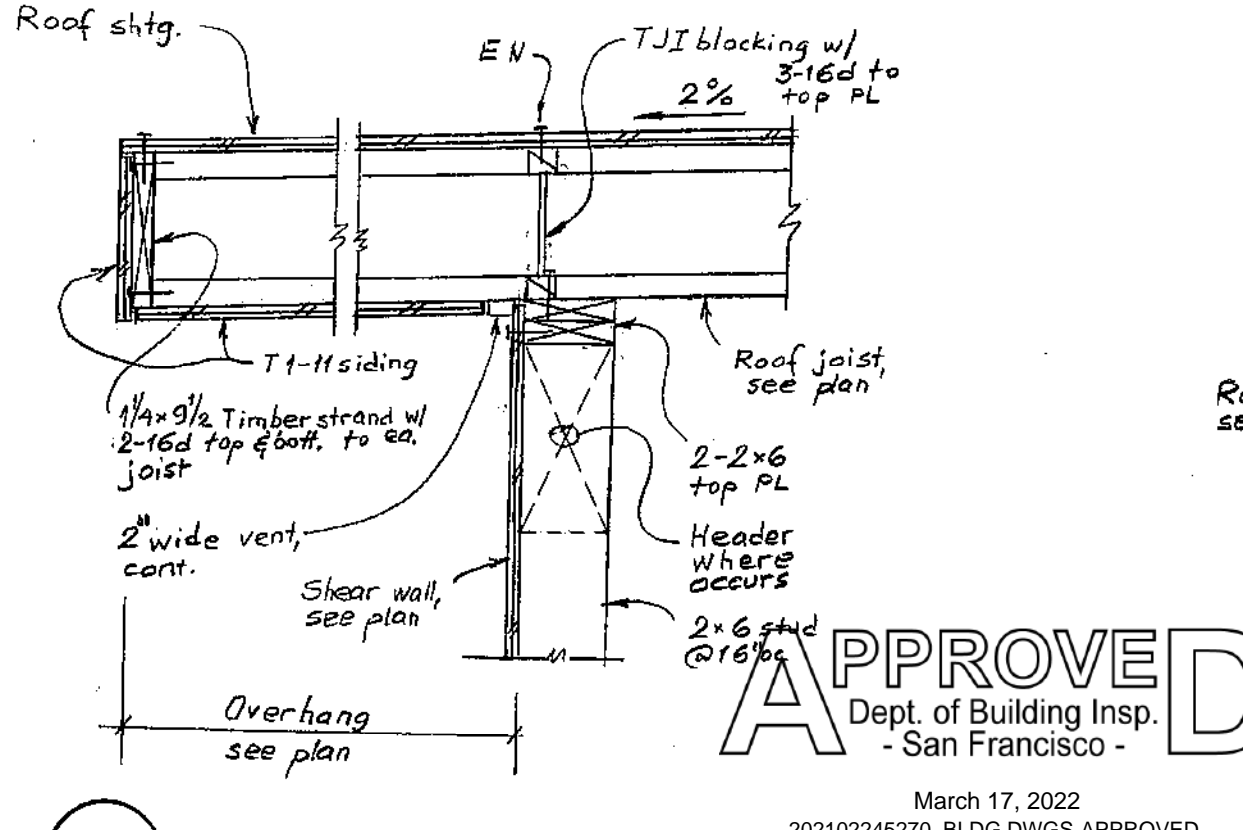
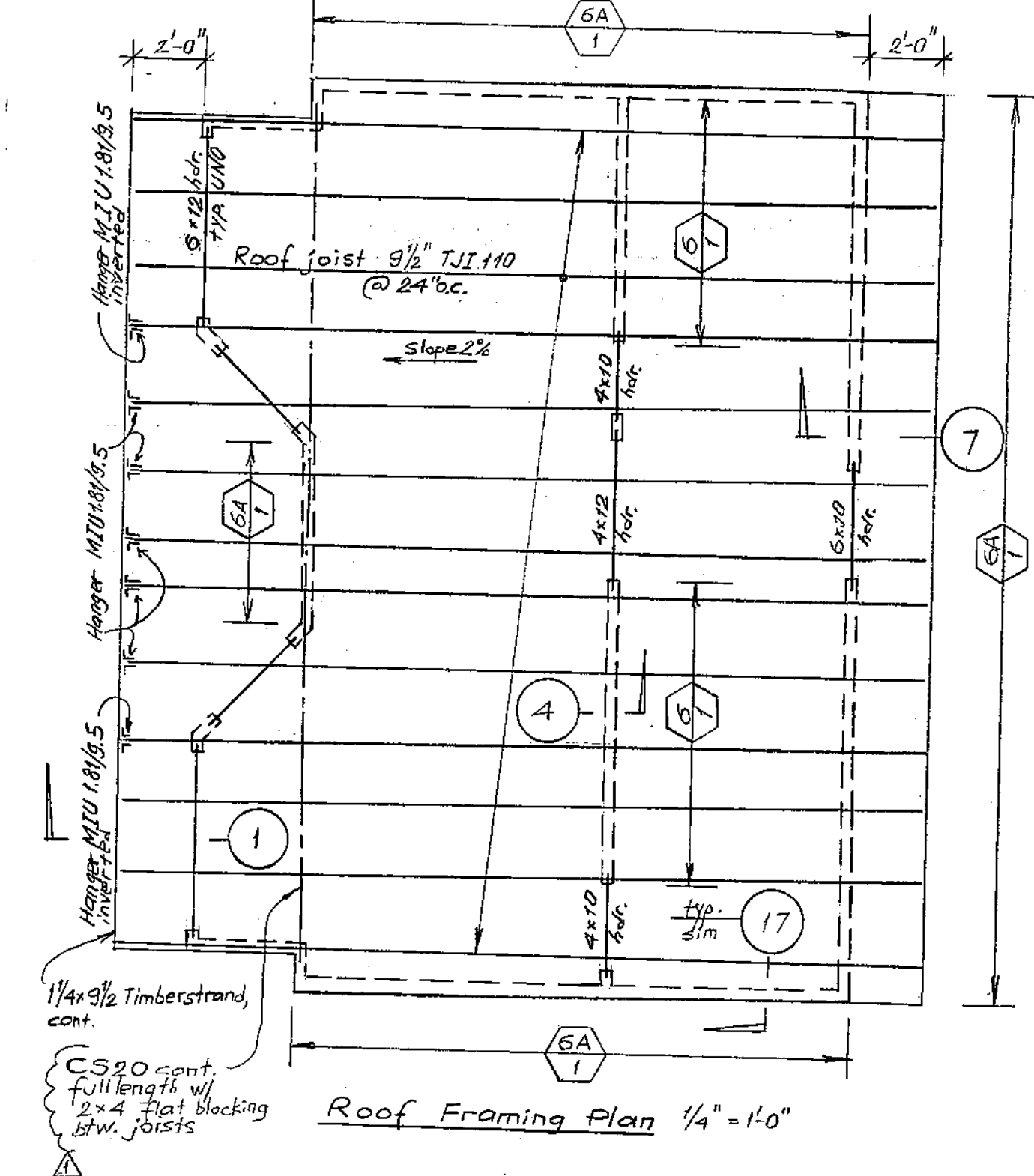
GARY S. VARUM STRUCTURAL ENGINEER
 80 BLAKE STREET, SAN FRANCISCO, CA 94118
 1026 CAPP STREET
 San Francisco, CA
 REAR BUILDING ADU
 02-03-21
 09-05-21

SHEET 2



Will Hughson - PLN CP
PLANNING
 January 03, 2022

March 3, 2020

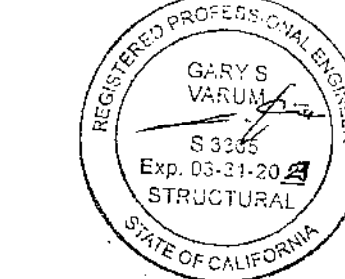


APPROVED
 Dept. of Building Insp.
 - San Francisco -
 March 17, 2022
 202102245270_BLDG DWGS-APPROVED

PATRICK O. RYDAN
 INTERIM DIRECTOR
 DEPT. OF BUILDING INSPECTION

MARK	NOTE	SHEAR WALL SHEATHING	SHEAR WALL PANEL EDGE NAILING	SILL PLATE ATTACHMENT TO FLOOR FRAMING	SILL PLATE BOLTING TO FOUNDATION	ALTERNATE SILL PLATE ATTEN HD ANCHOR BOLTING TO FOUNDATION	ALLOWABLE SHEAR LBS./FT.
B 1	3	1 1/2" STRUCTURAL 1 WOOD PANELS ONE SIDE	10d @ 8" OC	16d @ 6" OC OR SDS 1/4" @ 8" OC	1/2" @ 4'-0" OC	1/2" @ 4'-0" OC (2 1/4" EMBED.)	310
4 1	3	1 1/2" STRUCTURAL 1 WOOD PANELS ONE SIDE	10d @ 4" OC	16d @ 4" OC OR SDS 1/4" @ 8" OC	1/2" @ 2'-8" OC	1/2" @ 2'-8" OC (2 1/4" EMBED.)	480
6A 1	3, 4, 5	1 1/2" APA 303 SIDING PANELS ONE SIDE	10d @ 8" OC	16d @ 6" OC OR SDS 1/4" @ 8" OC	1/2" @ 4'-0" OC	1/2" @ 4'-0" OC (2 1/4" EMBED.)	180
4A 1	3, 4, 5	1 1/2" APA 303 SIDING PANELS ONE SIDE	10d @ 4" OC	16d @ 4" OC OR SDS 1/4" @ 8" OC	1/2" @ 4'-0" OC	1/2" @ 4'-0" OC (2 1/4" EMBED.)	240
3A 1	1, 2, 3, 4, 5	1 1/2" APA 303 SIDING PANELS ONE SIDE	10d @ 3" OC	16d @ 6" OC OR SDS 1/4" @ 8" OC	1/2" @ 4'-0" OC	1/2" @ 4'-0" OC (2 1/4" EMBED.)	310

- Notes:
 1. Framing members receiving nailing from abutting panels to be a single 3-inch nominal member.
 2. Panel joints to fall on 3-inch nominal framing members. Stagger edge nailing from abutting panels.
 3. Screws SDS 1/4" shall penetrate framing 1 1/2" min.
 4. Nails to be hot-dip galvanized.
 5. APA 303 siding panels shall be APA Texture 1-11 plywood panels 4'-0" wide by 8'-0" long, minimum



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 1026 CAPP STREET
 San Francisco, CA
 REAR BUILDING ADU
 03-05-21

GENERAL STRUCTURAL NOTES

CONFORM TO THE FOLLOWING, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED. COMPLY WITH ALL FEDERAL, STATE, AND LOCAL RULES AND REGULATIONS AS APPLICABLE.

GENERAL

00701 TYPICAL CONDITIONS: TYPICAL DETAILS APPLY TO ALL CONSTRUCTION EXCEPT WHERE SHOWN DIFFERENTLY ELSEWHERE.

00702 SPECIFICATIONS: THE SPECIFICATIONS SHALL GOVERN WHERE INFORMATION IS NOT GIVEN IN THESE GENERAL STRUCTURAL NOTES OR ON THE DRAWINGS. WHERE REFERENCE IS MADE TO STANDARD SPECIFICATIONS, THE LATEST ADOPTED REVISIONS SHALL BE USED.

00703 SIMILARITY: IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.

00704 EQUIPMENT SUPPORTS: PROVIDE MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, ANCHORAGES, OPENINGS, RECESSES AND REVEALS AS REQUIRED. AT CONCRETE, PROVIDE THESE ITEMS PRIOR TO CASTING CONCRETE.

00705 EXISTING CONDITIONS: CONTRACTOR SHALL INSPECT ALL EXISTING CONDITIONS THAT AFFECT THE WORK SHOWN AND SHALL NOTIFY ENGINEER OF ANY EXISTING CONDITIONS WHICH CONFLICT WITH OR DIFFER FROM THE NEW WORK SHOWN. CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL THESE CONFLICTS AND/OR DIFFERENCES ARE RESOLVED.

00706 SUBMITTALS: ITEMS SUBMITTED FOR REVIEW SHALL HAVE CONTRACTOR'S APPROVAL AND DATE INDICATED ON EACH COPY. SUBMIT TWO COPIES IN ADDITION TO COPIES DESIRED TO BE RETURNED TO CONTRACTOR.

00708 BRACING AND SHORING: THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE CONDUCT OF THE WORK, INCLUDING ALL CONSTRUCTION METHODS AND PROCEDURES; SITE SAFETY; AND METHODS, DESIGN, AND MATERIALS FOR TEMPORARY VERTICAL AND LATERAL SUPPORT OF EXISTING AND NEW STRUCTURES. ENGINEER'S SITE OBSERVATION VISITS SHALL NOT BE INTERPRETED AS A REVIEW OF CONTRACTOR'S SAFETY MEASURES.

01001 CODE: SAN FRANCISCO BUILDING CODE, 2019 EDITION.

01040 COORDINATION: COORDINATE ARCHITECTURAL AND STRUCTURAL REQUIREMENTS. NOTIFY THE STRUCTURAL ENGINEER AND OWNER OF ANY CONFLICTS AND DO NOT PROCEED WITH THE WORK UNTIL CONFLICTS ARE RESOLVED.

01065 INSPECTION: PROVIDE INSPECTION IN ACCORDANCE WITH REGULATIONS ADOPTED BY LOCAL JURISDICTION.

ABBREVIATIONS AND SYMBOLS:

Table with 2 columns: Abbreviation and Description. Includes entries like AB ANCHOR BOLT, ALT ALTERNATE, BLDG BUILDING, etc.



CONCRETE

03000 GENERAL: ALL CONCRETE SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301 - LATEST EDITION)," EXCEPT AS MODIFIED BELOW.

03200 CONCRETE REINFORCEMENT: REINFORCING BARS: CONFORM TO ASTM A615. LAP LONGITUDINAL REINFORCEMENT IN ACCORDANCE WITH ACI 318 - LATEST EDITION FOR CLASS B TENSION SPLICE, 18" MINIMUM. DO NOT WELD REINFORCEMENT.

CONCRETE PROTECTIVE COVER FOR REINFORCEMENT: CONCRETE CAST AGAINST EARTH: 3". CONCRETE EXPOSED TO EARTH OR WEATHER: 2".

03251 ADHESIVE ANCHOR BOLTS AND EPOXY DOWELS: AT SYSTEM (ICC REPORT ESR-1958) AS SUPPLIED BY SIMPSON STRONG-TIE, INC., INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

03253 EXPANSION ANCHORS: WEDGE-ALL ANCHORS (ICC REPORT ESR-1396) AS SUPPLIED BY SIMPSON STRONG-TIE, INC., INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

03254 POWDER-DRIVEN FASTENERS: AS MANUFACTURED BY SIMPSON STRONG-TIE, INC., INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

03300 CAST-IN-PLACE CONCRETE: GENERAL: MINIMUM COMPRESSIVE STRENGTH Fc AT 28 DAYS: 3,000 PSI. Note: structural design of the foundation elements is based on concrete compressive strength of Fc = 2,500 psi. MAXIMUM SLUMP: 4". USE NO CALCIUM CHLORIDE IN ANY CONCRETE.

03302 FORMWORK AND REMOVAL OF FORMS: CONFORM TO ACI 301.

03303 CURING: CONCRETE SURFACES EXPOSED TO THE ATMOSPHERE WITHIN 7 DAYS OF PLACEMENT SHALL BE PROTECTED AND CURED AS NECESSARY UNTIL SPECIFIED DESIGN STRENGTH HAS BEEN ACHIEVED.

03304 FOOTINGS: PLACE FOOTING CONCRETE DIRECTLY AGAINST THE SIDES OF FOOTING EXCAVATIONS. DO NOT FORM SIDES OF FOOTINGS BELOW GRADE.

03305 SLABS-ON-GRADE: PLACE SLABS ON VAPOR RETARDER OVER GRANULAR SUB-BASE. THE VAPOR RETARDER SHALL BE GRADE A MATERIAL COMPLYING WITH ASTM E1745. PLACE VAPOR RETARDER OVER PREPARED BASE MATERIAL. CONFORM TO RECOMMENDATIONS OF ASTM E1843. PROTECT FROM DAMAGE. INSPECT AND REPAIR ANY DAMAGE BREACHES AS RECOMMENDED BY THE MANUFACTURER PRIOR TO PLACEMENT OF CONCRETE.

03306 CONCRETE CRACK REPAIR AND MAINTENANCE: CONCRETE COMMONLY SHRINKS AFTER CONSTRUCTION. IT IS RECOMMENDED THAT A CRACK REPAIR AND MAINTENANCE PROGRAM BE IMPLEMENTED FOR SLABS AND CONCRETE ELEMENTS EXPOSED TO VIEW TO INCLUDE: INSPECTING SLABS AND CONCRETE ELEMENTS EXPOSED TO VIEW IDENTIFYING CRACKS TO BE REPAIRED REPAIRING CRACKS

ROUGH CARPENTRY

06000 FASTENERS AND ADHESIVES:

06051 HARDWARE: PROVIDE FRAMING HARDWARE AS SHOWN AND AT TOP AND BOTTOM OF ISOLATED POSTS; PROVIDE SIZES TO FIT MEMBERS; NAIL FULLY; AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. TIGHTEN ALL THROUGH-FLOOR BOLTS AND HOLD-DOWN ANCHOR BOLTS TO TIGHT FIT AS LATE AS POSSIBLE IN THE CONSTRUCTION PROCESS; DO NOT CRUSH THE WOOD. LAG SCREW HOLES: PREDRILL FULL SHANK DIAMETER FOR SHANK; PREDRILL 80 - 75 PER CENT OF SHANK DIAMETER FOR THREADED PORTION.

06053 MISCELLANEOUS STEEL: STEEL: ASTM A36, MINIMUM YIELD STRESS Fy = 36 KSI. ASTM A307, STANDARD PLATE WASHERS UNDER NUTS AND HEADS IN CONTACT WITH WOOD. ANSIA/SME STANDARD B18.2.1.

LAG SCREWS: FABRICATE PER AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS," LATEST EDITION. WELD PER AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE - STEEL (ANSIAWS D1.1)," CERTIFIED WELDERS.

ROUGH CARPENTRY:

06101 FRAMING LUMBER: DOUGLAS FIR-LARCH, GRADES AS FOLLOWS: 2x AND 3x STUDS: STUD GRADE. OTHER MEMBERS: No. 2. MAXIMUM MOISTURE CONTENT IN 2x MEMBERS: 19%.

06102 PARALLEL STRAND MEMBERS: CONFORM TO ICC ESR-1387; 2.0 E GRADE. MINIMUM STRESS VALUES: BENDING, Fb = 2,900 PSI. HORIZONTAL SHEAR, Fv = 290 PSI. COMPRESSION PERPENDICULAR TO GRAIN, FcL = 750 PSI. MODULUS OF ELASTICITY, E = 2,000,000 PSI.

06103 PREFABRICATED FLOOR AND ROOF JOISTS: TRUSS JOISTS (TJ) AS FABRICATED BY WEYERHAEUSER, OR APPROVED EQUAL. CONFORM TO THE MANUFACTURER'S SPECIFICATIONS.

06104 GENERAL FRAMING: CONFORM TO THE CONVENTIONAL LIGHT-FRAME CONSTRUCTION PROVISIONS OF THE CBC. KEEP ALL UNTREATED WOOD, INCLUDING WOOD STRUCTURAL-USE PANELS, 1/2" MINIMUM AWAY FROM CONCRETE OR MASONRY. PROVIDE STUDS OR POSTS FULL WIDTH OF BEAMS ENTERING WALLS; PROVIDE SOLID POSTS AND BLOCKING DOWN TO FOUNDATION. CONNECT TOP AND BOTTOM OF ISOLATED POSTS WITH PREFABRICATED METAL CONNECTORS.

AT BEARING WALL OPENINGS 4'-0" OR NARROWER: PROVIDE 4 x 8 MINIMUM HEADER. PROVIDE DOUBLE JOIST UNDER PARTITIONS PARALLEL TO JOIST. SOLID BLOCK BETWEEN JOISTS AT PARTITIONS, BEAMS, BEARING WALLS, AND OTHER SUPPORTS. STAGGER NAILS AS POSSIBLE WITHOUT VIOLATING MINIMUM EDGE DISTANCES

06105 FOUNDATION ANCHOR BOLTS: PROVIDE 1/2" DIAMETER MINIMUM ANCHOR BOLTS WITH 7" MINIMUM EMBEDMENT @ 4'-0" OC MAXIMUM, UON. HOLES IN SILL PLATES FOR FOUNDATION ANCHOR BOLTS SHALL NOT BE LARGER IN DIAMETER THAN THE BOLT BY MORE THAN 1/16". ANCHOR BOLTS SHALL TERMINATE WITH STEEL PLATE WASHERS 0.229" X 3" X 3" MINIMUM IN SIZE. FOR PLATE WASHERS WITH DIAGONALLY SLOTTED HOLES A STANDARD CUT WASHER SHALL BE PLACED BETWEEN THE PLATE WASHER AND NUT.

06106 SHEAR WALLS: BLOCK AT STRUCTURAL-USE PANEL JOINTS WITH BLOCKING SAME SIZE AS STUDS. USE ONLY COMMON TYPE NAILS OF SPECIFIED SIZE TO ATTACH STRUCTURAL-USE PANELS TO FRAMING MEMBERS AND BLOCKING. EDGE NAIL SHEATHING TO STUDS AT HOLD-DOWNS AND VERTICAL STRAPS. TIGHTEN HOLD-DOWNS AND SILL PLATE ANCHOR BOLTS IMMEDIATELY PRIOR TO COVERING WALL. EXTEND SHEAR WALLS THROUGH FLOOR AND ROOF SYSTEMS WITH BLOCKING EQUIVALENT TO SHEAR WALL SHEATHING.

SHEATHING:

06116 STRUCTURAL-USE PANELS: APA TRADEMARKED STRUCTURAL-USE PANELS CONFORMING TO APA PRP-108, PERFORMANCE STANDARDS AND POLICIES FOR STRUCTURAL-USE PANELS AND THE FOLLOWING STANDARDS: PS 1-09, PS 2-04, ANSI A208.1; GRADE AND THICKNESS AS SPECIFIED. PARTICLEBOARD SHALL NOT BE LESS THAN GRADE 2-MW USING EXTERIOR GLUE. CENTER PANEL JOINTS ON FRAMING MEMBER OR BLOCKING. SPACE PANELS 1/4" AT SIDES AND ENDS; DOUBLE THIS SPACING IN WET CONDITIONS. PROVIDE 1/2" SPACE BETWEEN UNTREATED PANELS AND CONCRETE OR MASONRY.

06117 STRUCTURAL-USE PANEL NAILING: NAIL ALL PANEL EDGES. PROVIDE 1/4" MINIMUM EDGE DISTANCES AT PANELS AND AT FRAMING MEMBERS. DRIVE NAILS FLUSH WITH PANEL SURFACE; DO NOT FRACTURE SURFACE BY OVERDRIVING NAILS; REPLACE OVERDRIVEN NAILS IN NEW HOLES. STAGGER NAILS AS POSSIBLE WITHOUT VIOLATING MINIMUM EDGE DISTANCES. FIELD NAIL TO INTERMEDIATE FRAMING MEMBERS AT 12" OC MAXIMUM.

06118 FLOOR SHEATHING: 23/32" MIN. STRUCTURAL-USE PANELS; APA RATED STURD-I-FLOOR WITH SPAN RATING OF 24'; TONGUE-AND-GROOVE EDGES. LAY WITH FACE GRAIN PERPENDICULAR TO JOIST; STAGGER PANELS 4'-0" LENGTHWISE; MINIMUM PANEL DIMENSION: 2'-0". GLUE PANELS TO ALL SUPPORTS, INCLUDING BLOCKING, WITH 3/4" MINIMUM BEADS OF APPROVED ADHESIVE MEETING APA SPECIFICATION AFG-01 APPLIED PER NER-108.

NAIL WITH 10d ring SHANK OR SCREW SHANK NAILS SPACED AS FOLLOWS: EN: 6" OC AT PANEL EDGES, BEAMS, BEARING WALLS AND WHERE INDICATED; FN: 12" OC AT INTERIOR SUPPORTS.

06119 ROOF SHEATHING: 15/32" MINIMUM STRUCTURAL-USE PANELS; MINIMUM PANEL SPAN RATING 32/16. LAY WITH LONG PANEL DIMENSION PERPENDICULAR TO JOIST; STAGGER PANELS 4'-0" LENGTHWISE; MINIMUM PANEL DIMENSION: 2'-0". NAIL WITH 8d COMMON NAILS SPACED AS FOLLOWS: EN: 6" OC AT PANEL EDGES, AND WHERE INDICATED; FN: 12" OC AT OTHER SUPPORTS.

06120 SHEAR WALL SHEATHING: 15/32" MINIMUM STRUCTURAL-USE PANELS; MINIMUM PANEL SPAN RATING 32/16; APPLY DIRECTLY TO STUDS AND OTHER FRAMING. BLOCK JOINTS WITH BLOCKING SAME SIZE AS STUDS, MINIMUM. NAIL AS SPECIFIED IN SHEAR WALL SCHEDULE. EDGE NAIL SHEATHING TO ALL STUDS ANCHORED WITH HOLD-DOWN HARDWARE, INCLUDING VERTICAL SHEET METAL STRAPS.

06130 EXTERIOR WALLS WITH PLYWOOD PANEL SIDING: 15/32" MINIMUM APA 303 SIDING PANELS (COMMONLY KNOWN AS T-11 SIDING PANELS) CONFORMING TO ICC RESEARCH REPORT ESR-2586; APPLY DIRECTLY TO STUDS AND OTHER FRAMING. BLOCK JOINTS WITH BLOCKING SAME SIZE AS STUDS, MINIMUM. NAIL WITH 10d HOT-DIP GALVANIZED BOX NAILS AT 6" OC ALONG ALL PANEL EDGES AND AT 12" OC IN THE FIELD, UON.

06200 MISCELLANEOUS CARPENTRY: PROVIDE MISCELLANEOUS BLOCKING, NAILERS, GROUNDS, AND FRAMING AS SHOWN AND AS REQUIRED FOR SUPPORT OF FINISH MATERIALS, FIXTURES, SPECIALTY ITEMS, AND TRIM. CUT TO THE REQUIRED SIZE. PROVIDE IN LOCATIONS REQUIRED BY OTHER WORK.

06210 WOOD FURRING: INSTALL WOOD FURRING PLUMB AND LEVEL; SHIM AS NECESSARY TO BRING TRUE TO PLANE; INSTALL CLOSURE STRIPS AT ENDS PERPENDICULAR TO MAIN FURRING DIRECTION. INSTALL 1 x 2 FURRING AT 16" OC MAXIMUM FOR GYPSUM WALLBOARD.

06310 TREATED WOOD: WOOD IN CONTACT WITH CONCRETE OR MASONRY: PRESERVATIVE-PRESSURE-TREAT PER AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARDS, AWPB QUALITY MARK. ALTERNATIVELY, USE FOUNDATION GRADE REDWOOD. SUPPLIER PROVIDE CERTIFICATE OF COMPLIANCE INDICATING COMPLIANCE WITH THESE SPECIFICATIONS. BORINGS AND CUT-OFFS: TREAT PER AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARDS. ALL STEEL BOLTS AND NAILS IN CONTACT WITH TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED MEETING ASTM A153 REQUIREMENTS. ALL SHEET STEEL CONNECTORS IN CONTACT WITH TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED MEETING ASTM A653 CLASS G185 SHEET REQUIREMENTS. ALTERNATIVELY, STAINLESS STEEL FABRICATIONS MAY BE USED.

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE PROVISIONS OF THE 2019 EDITION OF SAN FRANCISCO BUILDING CODE
2. AT LEAST ONE OPENING IN ALL BEDROOMS SHALL MEET EMERGENCY ESCAPE AND RESCUE PROVISION OF CBC SECTION 1030. CLEAR OPENING SIZE SHALL BE 20" CLEAR WIDE 24" CLEAR HIGH MINIMUM, AND NOT LESS THAN 5.7 SQUARE FEET IN AREA. BOTTOM OF WINDOW CLEAR OPENING SHALL BE 44" MAX. ABOVE FLOOR.
3. ALL WINDOWS SHALL HAVE FIXED GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 18", AND THAT GLAZING SHALL BE MADE WITH TEMPERED GLASS.
4. ALL GLAZED DOORS SHALL HAVE GLAZING MADE WITH TEMPERED GLASS.
5. ELECTRICAL SYSTEM SHALL CONFORM TO PROVISIONS OF THE 2019 EDITION OF CEC.
6. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER PER CEC ART. 210.2.
7. GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) SHALL BE INSTALLED IN THE BATHROOMS AND KITCHENS.
8. INSTALL HARD-WIRED SMOKE ALARM DEVICES (SD) IN THE FOLLOWING LOCATIONS:
- ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. [CBC SECTION 907.2.10.2.1]
- IN EACH ROOM USED FOR SLEEPING PURPOSES. [CBC SECTION 907.2.10.2.2]
9. INSTALL HARD-WIRED CARBON MONOXIDE ALARM DEVICE COMBINED WITH SMOKE ALARM DEVICE (SD-CM) WHERE INDICATED.
10. PLUMBING SYSTEM SHALL CONFORM TO PROVISIONS OF THE 2019 EDITION OF SAN FRANCISCO PLUMBING CODE.
11. THE HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE FLOOR IN ALL HABITABLE ROOMS.
12. BATHROOM VENTILATION: PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING 5 AIR EXCHANGES PER HOUR.
13. FLUES FOR GAS APPLIANCES SUCH AS WALL HEATERS, WATER HEATERS AND FIRE PLACES, ETC., SHALL TERMINATE 4'-0" MIN. FROM PROPERTY LINES AND 3'-0" MIN. LOCATED WITHIN 10'-0". CHIMNEYS AND HEATING APPARATUS SHALL CONFORM TO THE REQUIREMENTS OF SFBC.

DESIGN VALUES

Table with 2 columns: Loads and Foundations. Lists values for roof live loads, wind pressure, exposure, basic wind speed, earthquake loads, seismic design category, site class, importance factor, spectral response acceleration parameter, redundancy factor, seismic response coefficient, concrete, and reinforcing bars.

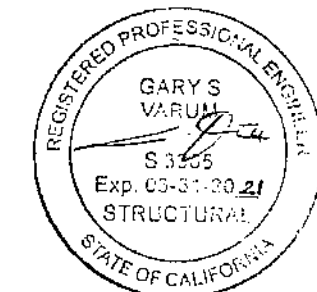
CONSTRUCTION NOTES

- 1. THE GENERAL CONTRACTOR SHALL COORDINATE WORK OF ALL SUBCONTRACTORS.
2. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF ELECTRICAL, TELECOMMUNICATIONS, PLUMBING, AND MECHANICAL WORK. ESTABLISH ROUTING FOR PIPING, WIRING, DUCTWORK, AND CONDUIT PARALLEL WITH THE LINE OF BUILDING. UTILIZE SPACE EFFICIENTLY TO MAXIMIZE ACCESSIBILITY FOR OTHER INSTALLATIONS, FOR MAINTENANCE, AND FOR REPAIRS.
3. ALL WORK SHALL BE DONE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY REGULATIONS, ORDINANCES AND BUILDING CODES, AND REQUIREMENTS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS IN CASE OF CONFLICT, MOST STRINGENT REQUIREMENTS SHALL APPLY.
4. THE CONTRACTOR SHALL APPLY FOR AND OBTAIN, AT HIS EXPENSE, ALL PERMITS REQUIRED BY REGULATORY AGENCIES. THE CONTRACTOR'S COSTS SHALL INCLUDE THE COST OF PROPER INSURANCE AS REQUIRED BY STATE AND LOCAL LAWS, NATIONAL BUILDING REGULATIONS OR CODES TO ADEQUATELY PROTECT PERSONS AND PROPERTY. A COPY OF SUCH INSURANCE COVERAGE SHALL BE FURNISHED TO THE OWNER PRIOR TO COMMENCEMENT OF ANY WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, COORDINATION, AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES, AND PROVIDE PEDESTRIAN PROTECTION AS REQUIRED FOR SAFETY OF PEDESTRIANS AND JOBSITE PERSONNEL.
6. CONSTRUCTION OPERATIONAL PROCEDURES AND METHODS ARE OPTIONAL. INsofar AS THEY DO NOT PRESENT HAZARDS TO PERSONNEL OR PROPERTY, OR INFRINGE ON WORK SCHEDULES FOR NORMAL SITE ACTIVITIES, OTHER CONTRACTORS, VENDORS AND THE BUILDING STANDARDS FOR CONSTRUCTION ACTIVITIES.
7. SCHEDULE ALL WORK FOR REGULAR BUILDING HOURS UNLESS OTHERWISE NOTED BY BUILDING REGULATIONS OR THE CONTRACT DOCUMENTS.
8. DIMENSIONS ARE INDICATED BETWEEN FRAMING MEMBERS, UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
9. HEIGHTS ARE DIMENSIONS FROM FINISHED FLOOR, UNLESS OTHERWISE NOTED.
10. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT PRIOR APPROVAL FROM THE DESIGN PROFESSIONAL OF RECORD.
11. UNDERCUT ALL DOORS TO CLEAR TOP OF FINISHED FLOOR AS APPLICABLE BY 1/4" MAXIMUM, UNLESS OTHERWISE NOTED.
12. MAINTAIN ALL BUILDING LIFE SAFETY AND FIRE PROTECTION SYSTEMS AT ALL TIMES. DO NOT BLOCK EXITS.
13. REPORT ANY HAZARDOUS MATERIALS ENCOUNTERED TO THE OWNER.
14. ALL WORK SHALL BE PLUMB, LEVEL, IN PROPER ALIGNMENT, AND SECURELY FASTENED.
15. WHERE PRODUCTS ARE SPECIFIED BY MANUFACTURER AND MODEL, IT IS TO ESTABLISH A QUALITY STANDARD. USE MATERIALS SPECIFIED OR APPROVED SUBSTITUTION. PRODUCTS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS, UNLESS OTHERWISE NOTED.
16. REMOVE AND LEGALLY DISPOSE OFF SITE ALL RUBBISH AND DEBRIS FROM CONTRACTOR OPERATIONS DAILY. KEEP PROJECT AREA BROOM CLEAN.
17. CONTRACTOR SHALL COMPLETE THE CLOSURE AND PROTECTION OF PENETRATIONS IN ROOFS, WALLS, CEILINGS AND FLOORS BY SEALING ALL CRACKS AROUND DOORS, LOUVERS, CONDUIT PIPES, DUCTS AND THE LIKE, WITH FIRE SEALANT, FIRE SAFING, FIRESTOP FOAM OR OTHER FIRE-RESISTIVE MATERIALS ACCEPTABLE TO THE FIRE MARSHAL, BUILDING OFFICIAL AND THE DESIGN PROFESSIONAL OF RECORD TO CONTAIN ROOM ENVIRONMENTS, COMPLETE FIRE RATED ASSEMBLIES, AND PROVIDE WEATHERTIGHT ENCLOSURE.
18. PROVIDE BACKING AND/OR BLOCKING FOR WALL-MOUNTED ACCESSORIES AND ITEMS.
FINISH NOTES
1. PAINT AND FINISH ITEMS AND SURFACES NOT INDICATED TO BE PREFINISHED. PRIMING AND COATS OF PAINT ARE IN ADDITION TO SHOP PRIMING AND SPECIFIED ELSEWHERE. USE PAINT AND PRIMER IN ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS.
2. MASK UL LABELS ON DOORS, FRAMES AND FINISHES. DO NOT APPLY FINISHES TO DOOR OR FRAME LABELS, UNLESS OTHERWISE NOTED.
3. FINISH VERTICAL EDGES OF PAINT GRADE DOORS TO MATCH FACES. SEAL TOP AND BOTTOM EDGES.
4. SUBMIT BRUSHOUT SAMPLES OF EACH PAINT COLOR AND SHEEN.
5. PREPARE AND PAINT ALL EXPOSED PANEL BOXES, CONDUITS, SURFACE RACEWAYS, LOUVERS, GRILLES, ETC., NOT PREFINISHED, TO MATCH COLOR TO BE DETERMINED.

- EXTERIOR WALLS
1. FLASHING AND SHEET METAL SHALL BE ASTM A526 COPPER BEARING GALVANIZED SHEET STEEL, 26 GA. MINIMUM. AT BUILDING PAPER CONCEALED LOCATIONS USE G30 GALVANIZED COATING. FABRICATE AND INSTALL IN ACCORDANCE WITH SMACNA ARCHITECTURAL SHEET METAL MANUAL, USING HOT DIP GALVANIZED FASTENERS MINIMUM G30 AND BUTYL TYPE SEALANTS AND GASKETS, SUITABLE FOR USE IN CONJUNCTION WITH THE INSTALLATION OF THE SHEET METAL, NON-STAINING, NON-CORROSIVE, NON-SHRINKING AND NON-SAGGING ULTRAVIOLET AND OZONE-RESISTANT FOR EXTERIOR USE. PROVIDE FLASHING AND SHEET METAL WITH REGLETS AND ACCESSORIES AS REQUIRED FOR COMPLETE WEATHERTIGHT INSTALLATION. COORDINATE WITH BUILDING PAPER EXTERIOR TRIM AND ROOFING SYSTEM INSTALLATIONS.
2. PROVIDE BUILDING PAPER UNDERLAYMENT AT EXTERIOR WALLS WITH ACCESSORIES AS REQUIRED FOR COMPLETE WEATHERPROOF INSTALLATION. COORDINATE WITH METAL FLASHING INSTALLATION. BUILDING PAPER SHALL BE GRADE D, 60-MINUTE PERMEATION BUILDING PAPER. INSTALL TWO LAYERS. WEATHERLAP HORIZONTAL JOINTS 4" MINIMUM. STAGGER JOINTS BETWEEN LAYERS. LAP ENDS 6" MINIMUM. STAGGER END JOINTS SECURE WITH GALVANIZED FASTENERS. APPLY ADDITIONAL LAYER EXTENDING 18" FROM PENETRATIONS THROUGH WALLS, STARTING AT BOTTOM FOR DIRECTING WATER TO EXTERIOR. LAP OVER FLASHING AT HEAD OF PENETRATION.

NATURAL STONE AND CERAMIC TILE INSTALLATION
CONFORM TO THE RECOMMENDATION OF 2015 TCNA HANDBOOK FOR CERAMIC, GLASS, AND STONE TILE INSTALLATION BY TCNA (TILE COUNCIL OF NORTH AMERICA).

BATHROOMS AND KITCHENS
1. PROVIDE SILICONE RUBBER-BASED SEALANT, ONE-PART, NON-SAG ELASTOMERIC SEALANT RESISTANT TO MILDEW. USE AT LAVATORIES, SINKS, COUNTERTOPS, AND SPLASHES.



GARY S. VARUM STRUCTURAL ENGINEER
80 BLAKE STREET, SAN FRANCISCO, CA 94118
1026 CAPP STREET
San Francisco, CA
REAR BUILDING ADU

CERTIFICATE OF COMPLIANCE
 Project Name: New ADU
 Calculation Description: Title 24 Analysis
 Calculation Date/Time: 2020-03-12T08:33:30-07:00
 Input File Name: varum 1026 capp adu.rbd19x
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GENERAL INFORMATION	
01	Project Name: New ADU
02	Run Title: Title 24 Analysis
03	Project Location: 1026 Capp Street
04	City: San Francisco
05	Standards Version: 2019
06	Zip code: 94110
07	Software Version: EnergyPro 8.0
08	Climate Zone: 3
09	Front Orientation (deg/ Cardinal): 265
10	Building Type: Single/Family
11	Number of Dwelling Units: 1
12	Project Scope: New/Construction
13	Number of Bedrooms: 6
14	New Cond. Floor Area (ft²): 0
15	Number of Stories: 3
16	Existing Cond. Floor Area (ft²): n/a
17	Fenestration Average U-factor: 0.3
18	Total Cond. Floor Area (ft²): 1343
19	Glazing Percentage (%): 23.01%
20	ADU Bedroom Count: 0
21	ADU Conditioned Floor Area: 0

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

CERTIFICATE OF COMPLIANCE
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ENERGY DESIGN RATING				
Energy Design Ratings	Energy Design Ratings		Compliance Margins	
	Efficiency ¹ (EDR)	Total ² (EDR)	Efficiency ¹ (EDR)	Total ² (EDR)
Standard Design	60.3	29.7		
Proposed Design	57.5	0	2.8	29.7

RESULT: ³ COMPLIES

¹ Efficiency EDR includes improvements to the building envelope and more efficient equipment
² Total EDR includes efficiency and demand response measures such as photovoltaic (PV) systems and batteries
³ Building complies when efficiency and total compliance margins are greater than or equal to zero

- Standard Design PV Capacity: 3.37 kWdc
- Proposed PV kWh output exceeds proposed electricity use by 58% which may violate NEM rules. Contact local utility.
- PV System resized to 8.95 kWdc (a factor of 8.952) to achieve "Maximum PV for Compliance Credit" PV scaling
- EDR is capped at zero

ENERGY USE SUMMARY				
Energy Use (kTDU/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	25.68	21.06	4.62	18
Space Cooling	0.26	1.4	-1.14	-438.5
IAQ Ventilation	16.39	16.39	0	0
Water Heating	34.36	29.24	5.12	14.9
Self Utilization Credit	n/a	0	0	n/a
Compliance Energy Total	76.69	68.09	8.6	11.2

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REQUIRED PV SYSTEMS										
01	02	03	04	05	06	07	08	09	10	11
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt (deg)	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)
8.95	NA	Standard	Fixed (roof mount)	DC Power Optimizers	false	350	TiltDeg rees	0	0	96

Registration Number: 220-P010049879A-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Registration Date/Time: 2020-03-12 08:44:10
 Report Version: 2019.1.100
 Schema Version: rev 20190401
 HERS Provider: CaCERTS inc.
 Report Generated: 2020-03-12 08:33:48

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ENERGY DESIGN RATING BATTERY INPUTS					
01	02	03	04	05	06
Control	Capacity (kWh)	Efficiency	Rate (kW/Rate (kW))	Efficiency	Rate (kW/Rate (kW))
Basic	5	0.97	n/a	0.97	n/a

REQUIRED SPECIAL FEATURES
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- PV System: 8.95 kWdc
- Battery System: 5 kWh
- Indoor air quality, balanced fan
- Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed

HERS FEATURE SUMMARY
 The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Building-level Verifications:
 • Quality insulation installation (QII)
 • Building air leakage/reduced infiltration
 • Indoor air quality ventilation
 • Kitchen range hood
 Cooling System Verifications:
 • -- None --
 Heating System Verifications:
 • -- None --
 HVAC Distribution System Verifications:
 • -- None --
 Domestic Hot Water System Verifications:
 • -- None --

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BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
New ADU	1343	1	6	1	0	1

Registration Number: 220-P010049879A-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Registration Date/Time: 2020-03-12 08:44:10
 Report Version: 2019.1.100
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ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Whole	Conditioned	Electric Heaters1	1343	9	DHW Sys 1	N/A

OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)
Front	Whole	R-15 Wall + R-10	265	Front	600	125	90
Front+45	Whole	R-15 Wall + R-10	310	n/a	100	30	90
Left	Whole	R-15 Wall + R-10	355	Left	700	0	90
Rear	Whole	R-15 Wall + R-10	85	Back	700	124	90
Right	Whole	R-15 Wall + R-10	175	Right	700	0	90
Right+45	Whole	R-15 Wall + R-10	220	n/a	100	30	90
Roof	Whole	R-30 Roof Attic	n/a	n/a	565	n/a	n/a
Raised Floor	Whole	R-19 Floor No Crawlspace	n/a	n/a	94	n/a	n/a

ATTIC							
01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic Whole	Attic Roof/Whole	Ventilated	4	0.1	0.85	Yes	No

FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Front	Front	265			1	125	0.3	NFRC	0.3	NFRC	Bug Screen
Window 2	Window	Front+45		310			1	30	0.3	NFRC	0.3	NFRC	Bug Screen

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HVAC - HEATING UNIT TYPES				
01	02	03	04	05
Name	System Type	Number of Units	Heating Efficiency Type	Efficiency
Heating Component 1	Electric	10		3.41

HVAC - COOLING UNIT TYPES							
01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER	Efficiency SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	No Cooling	10			Not Zonal	Single Speed	n/a

HVAC - FAN SYSTEMS			
01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.45	n/a

Registration Number: 220-P010049879A-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
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FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window 3	Window	Rear	Back	85			1	124	0.3	NFRC	0.3	NFRC	Bug Screen
Window 4	Window	Right+45		220			1	30	0.3	NFRC	0.3	NFRC	Bug Screen

SLAB FLOORS						
01	02	03	04	05	06	07
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	Whole	471	100	None	80%	No

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-15 Wall + R-10	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / R-10	0.045	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Sheathing / Insulation: R-10 Sheathing Exterior Finish: 3 Coat Stucco
Attic Roof/Whole	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

CERTIFICATE OF COMPLIANCE
 Project Name: New ADU
 Calculation Description: Title 24 Analysis
 Calculation Date/Time: 2020-03-12T08:33:30-07:00
 Input File Name: varum 1026 capp adu.rbd19x
 CF1R-PRF-01E (Page 9 of 9)

BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Required	Not Required	Required	402.9

WATER HEATING SYSTEMS						
01	02	03	04	05	06	07
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Fraction (%)	Compact Distribution	HERS Verification
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	0	None	n/a

WATER HEATERS											
01	02	03	04	05	06	07	08	09	10	11	12
Name	Heating Element Type	Tank Type	# Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff.	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model / Other	Tank Location or Ambient Condition
DHW Heater 1	Heat Pump Boiler	n/a	1	50	-NEEA	n/a	n/a	82	80\	Rheem/RheemXES 0T10	Outside

Registration Number: 220-P010049879A-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Registration Date/Time: 2020-03-12 08:44:10
 Report Version: 2019.1.100
 Schema Version: rev 20190401
 HERS Provider: CaCERTS inc.
 Report Generated: 2020-03-12 08:33:48

CERTIFICATE OF COMPLIANCE
 Project Name: New ADU
 Calculation Description: Title 24 Analysis
 Calculation Date/Time: 2020-03-12T08:33:30-07:00
 Input File Name: varum 1026 capp adu.rbd19x
 CF1R-PRF-01E (Page 7 of 9)

WATER HEATING - HERS VERIFICATION							
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

SPACE CONDITIONING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Heating Equipment Count	Cooling Equipment Count
Electric Heaters1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	None	Non-setback thermostat	10	10

CERTIFICATE OF COMPLIANCE
 Project Name: New ADU
 Calculation Description: Title 24 Analysis
 Calculation Date/Time: 2020-03-12T08:33:30-07:00
 Input File Name: varum 1026 capp adu.rbd19x
 CF1R-PRF-01E (Page 8 of 9)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT					
I, I certify that the information provided in this Declaration Statement is accurate and complete.					
Documentation Author Name: Robert Mao			Documentation Author Signature:		
Company: TECC			Signature Date: 2020-03-12 08:44:10		
Address: 6367 Swainland Road					
City/State/Zip: Oakland, CA 94611					
Phone: 510-387-2756					

RESPONSIBLE PERSON'S DECLARATION STATEMENT
 I certify the following under penalty of perjury, under the laws of the State of California:
 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
 3. The building design features and performance specifications identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Robert Mao
 Responsible Designer Signature:

Company: TECC
 Date Signed: 2020-03-12 08:44:10

Address: 6367 Swainland Road
 License: C70157
 City/State/Zip: Oakland, CA 94611
 Phone: 510-387-2756

CERTIFICATE OF COMPLIANCE
 Project Name: New ADU
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 Calculation Date/Time: 2020-03-12T08:33:30-07:00
 Input File Name: varum 1026 capp adu.rbd19x
 CF1R-PRF-01E (Page 9 of 9)

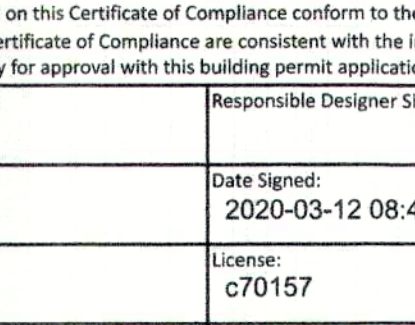
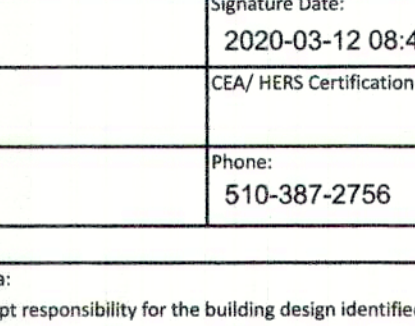
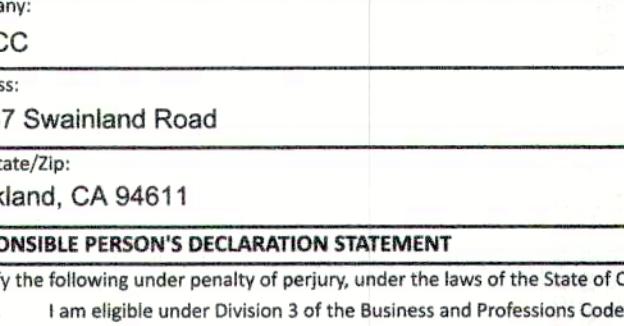
IAQ (INDOOR AIR QUALITY) FANS					
01	02	03	04	05	06
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness (%)	HERS Verification
Sfam IAQVentRpt 1-1	90	1	Balanced HRV	70	Yes

Registration Number: 220-P010049879A-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Registration Date/Time: 2020-03-12 08:44:10
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 Schema Version: rev 20190401
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 CF1R-PRF-01E (Page 9 of 9)

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 220-P010049879A-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Registration Date/Time: 2020-03-12 08:44:10
 Report Version: 2019.1.100
 Schema Version: rev 20190401
 HERS Provider: CaCERTS inc.
 Report Generated: 2020-03-12 08:33:48



GARY S. VARUM STRUCTURAL ENGINEER
 80 BLAKE STREET, SAN FRANCISCO, CA 94118
 1026 CAPP STREET
 San Francisco, CA
 REAR BUILDING ADU

Attachment RB

TITLE-24 LOW-RISE RESIDENTIAL ENERGY/GREEN INSPECTION (BUILDING)
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 1026 Capp St. APPLICATION NO. 2021 0224 5270 ADDENDUM NO.
ENGINEER/ARCHITECT NAME Gary S. Varum PHONE NO.

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater. Green Building Attachment E shall be completed as per Administrative Bulletin 093 (AB-093).

In accordance with the requirements of the 2019 California Energy Code, 2019 SFGBC and AB-093, the following documentation is required for the building elements in this project:

- 1. Installation
Addition and Alteration
CFZR-ADD-02-E Non HERS - Prescriptive Additions Simple (IB53)
CFZR-ALT-05-E Non HERS - Prescriptive Alterations Simple (IB54)
Envelope
CFZR-ENV-01-E Non HERS - Fenestration Installation (IB1)
CFZR-ENV-03-E Non HERS - Insulation Installation (IB3)
CFZR-ENV-04-E Non HERS - Roofing/Radiant Barrier (IB4)
CFZR-ENV-20-H HERS - Building Envelope Air Leakage Test (IB59)
CFZR-ENV-21-H HERS - Quality Insulation Installation (QII) - Framing Stage (IB64)
CFZR-ENV-22-H HERS - Quality Insulation Installation (QII) - Insulation Stage (IB65)
Solar Ready
CFZR-SRA-01-E - Solar Ready Buildings - New Constructions (IB68)
CFZR-SRA-02-E - Minimum Solar Zone Area Worksheet - New Constructions (IB69)
Mechanical
CFZR-MCH-01-E Non HERS - Space Conditioning Systems (IB57)
CFZR-MCH-02-E Non HERS - Whole house fan (IB13)
CFZR-MCH-20-H HERS - Duct Leakage (IB58)
CFZR-MCH-21-H HERS - Duct Location (IB18)
CFZR-MCH-22-H HERS - Space Conditioning System Fan Efficacy (IB59)
CFZR-MCH-23-H HERS - Space Conditioning System Airflow Rate (IB60)
CFZR-MCH-24-H HERS - Building Envelope Air Leakage Worksheet (IB61)
CFZR-MCH-25-H HERS - Refrigerant Charge Verification (IB62)
CFZR-MCH-25-E Non HERS - Refrigerant Charge Verification - New Package Unit with Factory Charge (IB26)
CFZR-MCH-26-H HERS - Verified SEER or SEER (IB27)
CFZR-MCH-27-H HERS - IAQ (IB63)
CFZR-MCH-28-H HERS - Return Duct Design and Air Filter Grille Device Sizing According to Tables 150.0-B or C (IB31)
CFZR-MCH-29-H HERS - Dust Surface Area Reduction; R-Value; Buried Ducts Compliance Credit (IB32)
CFZR-MCH-30-E HERS - Ventilation Cooling Compliance Credit (IB55)
CFZR-MCH-31-H HERS - Whole house fan (IB66)
CFZR-MCH-32-H HERS - Local Mechanical Exhaust (IB67)

Required information:
Prepared by: Gary Varum Date: 08-27-21
Engineer/Architect of Record Signature
Fax: garyvarum@gmail.com
Review by: DBI Engineer or Plan Checker Phone: (415) 558-

APPROVAL (Based on submitted reports)
DATE DBI Building Inspector or Energy Inspection Services Staff
QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org; or FAX (415) 558-6474

Attachment RE

TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (ELECTRICAL)
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 1026 Capp St. APPLICATION NO. 2021 0224 5270 ADDENDUM NO.
ENGINEER/ARCHITECT NAME Gary S. Varum PHONE NO. (510) 508-8262

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2019 California Energy Code, the following documentation is required for the electrical elements in this project:

- 1. Installation
Electrical
CFZR-LTG-01-E Lighting - Single Family Dwellings (IE1)
CFZR-LTG-02-E Lighting - Multi-Family Dwellings (IE2)
Solar
CFZR-PVB-01-E Photovoltaic Systems (IE14)
CFZR-PVB-02-E Battery Storage Systems (IE19)

Required information:
Prepared by: Gary Varum Date: (510) 508-8262
Engineer/Architect of Record Signature
Fax: garyvarum@gmail.com
Review by: DBI Engineer or Plan Checker Phone: (415) 558-

APPROVAL (Based on submitted reports)
DATE DBI Electrical Inspector or Energy Inspection Services Staff
QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org; or FAX (415) 558-6474

Attachment RP

TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (PLUMBING)
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 1026 Capp St. APPLICATION NO. 2021 0224 5270 ADDENDUM NO.
ENGINEER/ARCHITECT NAME Gary S. Varum PHONE NO. (510) 508-8262

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2019 California Energy Code, the following documentation is required for the plumbing work in this project:

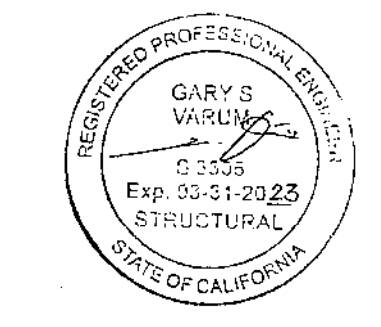
- 1. Installation
Plumbing
CFZR-PLB-01-E DHW Non-HERS - Multifamily Central Hot Water System Distribution (IP6)
CFZR-PLB-02-E DHW Non-HERS - Single Dwelling Unit Hot Water System Distribution (IP6)
CFZR-PLB-03-E DHW Non-HERS - Pool and Spa Heating System (IP7)
CFZR-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (IP6)
CFZR-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (IP6)
Solar
CFZR-STH-01-E Solar Water Heating System (IP1)
Mechanical
CFZR-MCH-04-E Non HERS - Evaporative coolers (IP2)
2. Verification
CFZR-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (IP7)
CFZR-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (IP3)

Required information:
Prepared by: Gary Varum Date: 08-27-21
Engineer/Architect of Record Signature
Fax: garyvarum@gmail.com
Review by: DBI Engineer or Plan Checker Phone: (415) 558-

APPROVAL (Based on submitted reports)
DATE DBI Plumbing Inspector or Energy Inspection Services Staff
QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org; or FAX (415) 558-6474



March 17, 2022
202102245270_BLDG DWGS-APPROVED
PATRICK O'BRIEN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION



GARY S. VARUM STRUCTURAL ENGINEER
80 BLAKE STREET, SAN FRANCISCO, CA 94118
1026 CAPP STREET
San Francisco, CA
REAR BUILDING ADU
Attachments RB, RE, RP September 5, 2021

Sheet 6

GS2: San Francisco Green Building Submittal Form for LEED or GreenPoint Rated Projects

INSTRUCTIONS:

- Select one (1) column to the right. For each applicable requirement in the column, indicate evidence of fulfillment in the References column. For items that are not applicable, indicate "N/A".
 - Provide project information in the Verification box at the right.
 - Attach LEED or GreenPoint Rated Scorecard on separate sheet.
- Submittal must be a minimum of 24" x 36". First-time tenant improvements consisting of multiple permits totalling 25,000 square feet or greater must fulfill New Large Commercial Interior requirements. This form is for permit applications submitted January 2020 through December 2022.

CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT →

	TITLE	SOURCE OF REQUIREMENT	FOR REFERENCE		DESCRIPTION OF REQUIREMENT	NEW CONSTRUCTION			ALTERATIONS + ADDITIONS			REFERENCES
			LEED v4	GPR v8		LOW-RISE RESIDENTIAL R 1-3 Floors	HIGH-RISE RESIDENTIAL R 4+ Floors	LARGE NON-RESIDENTIAL A,B,E,I,M 25,000 sq.ft. or greater	RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS R 25,000 sq.ft. or greater	NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS B,M 25,000 sq.ft. or greater	NEW LARGE COMMERCIAL INTERIORS B,M 25,000 sq.ft. or greater	DRAWING OR SPECIFICATION # (if not applicable, indicate "N/A")
LEED/GPR	Required LEED or GPR Certification Level	SFGBC 4.103.1.1, 4.103.2.1, 4.103.3.1, 5.103.1.1, 5.103.3.1 & 5.103.4.1			Project is required to achieve sustainability certification listed at right.	LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED GOLD (60+) CERTIFIED	LEED GOLD (60+) or GPR (75+) CERTIFIED	LEED GOLD (60+) CERTIFIED	LEED GOLD (60+) CERTIFIED	
	Adjustment for Retention/Demolition of Historic Features/Building	SFGBC 4.104, 4.105, 5.104 & 5.105			Enter any applicable adjustments to LEED or GPR point requirements in box at right.	0						
	Points on Current Scorecard				Enter current expected score in box at right as appropriate.	78						
MATERIAL EMISSIONS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.1.1-4, SFGBC 4.103.3.2, 5.103.1.9, 5.103.3.2 & 5.103.4.2	EQc2	K2, K3, L2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems that meet the requirements for GPR measures K2, K3 and L2 or LEED EQc2, as applicable. New large non-residential interiors and major alterations to existing residential and non-residential buildings must also use interior paints, coatings, sealants, and adhesives when applied on-site, flooring and composite wood that meet the requirements of LEED credit Low-Emitting Materials (EQc2).	4.504.2.1-5	4.504.2.1-5	LEED EQc2	LEED EQc2 or GPR K2, K3 & L2	LEED EQc2	LEED EQc2	See Sheets G-2 and G-3
	INDOOR WATER USE REDUCTION	CALGreen 4.303.1 & 5.303.3, SFGBC 5.103.1.2, SF Housing Code sec.12A10, SF Building Code ch.13A	WEp2, WEc2	G2	Meet flush/flow requirements for: toilets (1.28 gpf); urinals (0.125 gpf wall, 0.5gpf floor); showerheads (1.8 gpm); lavatories (1.2 gpm private, 0.5 gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8 gpm); metering faucets (0.2 gpc); food waste disposers (1 gpm/8 gpm). Residential projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10. Large non-residential interiors, alterations & additions must upgrade all non-compliant fixtures per SF Building Code ch.13A. New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEc2).	4.303.1	4.303.1	LEED WEc2 (2 pts)	SF Housing Code sec.12A10	SF Building Code ch.13A if applicable	SF Building Code ch.13A if applicable	See Sheet G-2
WATER	NON-POTABLE WATER REUSE	Health Code art.12C	WEc2		New buildings ≥40,000 sq.ft. must calculate a water budget. New buildings ≥250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage for toilet and urinal flushing and irrigation.	n/r	•	•	n/r	n/r	n/r	N/A
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	WEp1, WEc1		New construction projects with aggregated landscape area ≥500 sq.ft., or existing projects with modified landscape area ≥1,000 sq.ft., shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.	•	•	•	•	•	•	N/A
	WATER METERING	CALGreen 5.303.1, Plumbing Code 601.2.1	WEc4		Provide submeters or utility meters for: Nonresidential spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in buildings ≥ 50,000 sq. ft. AND each individual residential dwelling unit.	•	•	•	n/r	•	•	N/A
ENERGY	ALL-ELECTRIC CONSTRUCTION	SFBC 106A.1.17		J5	Application for Permit June 1, 2021 or after: Newly constructed buildings must be all-electric, with no gas piping systems or infrastructure. See Administrative Bulletin 112 for details.	•	•	•	n/r	n/r	n/r	Sheet 5 T-24 Report Specifies All Electric
	ENERGY PERFORMANCE	CA Energy Code SFGBC 4.201.3, 5.201 SFBC 106A.1.17	EAp2, c2	J5	Application for Permit Jan 2 through Feb 16, 2020: Comply with Title 24 Part 6 (2019) and meet GreenPoint Rated or LEED energy prerequisites. See Attachment H for details. Application for permit Feb 17, 2020 or after: All-Electric buildings of any occupancy: Comply with all provisions of Title 24 2019. In isolated situations where natural gas may be permitted per Admin Bulletin 112, comply with Electric Ready Design Guidelines which require wiring and electrical infrastructure for future conversion of all mixed-fuel loads to all-electric AND - New low-rise residential with natural gas: Demonstrate Total Energy Design Rating ≤14. - New buildings with natural gas of any occupancies excepting F, L, or H: Reduce energy use at least 10% compared to Title 24 2019.	•	•	•	•	•	•	Sheet 5 T-24 report
	BETTER ROOFS	SFGBC 4.201.2 & 5.201.1.2 CA Energy Code 110.10; 150.1(e)14; & 150.1(c)8.iv	EAc5, EAc2	I3	New non-residential buildings >2,000 square feet and ≤ 10 floors, and new residential buildings of ≥4 and ≤10 floors, must designate 15% of roof as Solar Ready, applying Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems. New single family buildings and residential buildings of ≤3 floors must install photovoltaics.	•	≤10 floors	•	n/r	n/r	n/r	N/A
	RENEWABLE ENERGY	SFGBC 5.201.1.3	EAc2		New commercial buildings ≥ 11 floors must Generate ≥1% of annual energy cost on-site with renewables (LEEDv4 EA05), OR Reduce energy use an additional ≥10% compared to Title 24 Part 6 2019, OR Purchase Green-E renewable energy for 50% of electricity use (LEEDv4 EA07).	n/r	n/r	•	n/r	n/r	n/r	N/A
PARKING	COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	EAp1, EAc1		For projects ≥10,000 sq.ft, include Owners Project Requirements, Basis of Design, and commissioning plan in design & construction. Perform commissioning. Alterations & additions with new HVAC equipment must test and adjust all equipment.	n/r	n/r	LEED EA01 opt. 1	n/r	•	•	N/A
	BICYCLE PARKING	CALGreen 5.106.4, Planning Code sec.155.1-2	LTc6	N3.5, N3.6	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater.	Planning Code 155.1-2	Planning Code 155.1-2	•	•	•	•	N/A
	DESIGNATED PARKING	CALGreen 5.106.5.2	LTc7		Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	n/r	n/r	•	•	•	•	N/A
RESOURCE RECOVERY	WIRING FOR EV CHARGERS	SFGBC 4.106.4 & 5.106.5.3	LTc8		Permit application January 2018 or after: Construct all off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE. Install service capacity and panelboards sufficient to provide ≥40A 208 or 240V to EV chargers at 20% of spaces. Install ≥40A 208 or 240V branch circuits to ≥10% of spaces, terminating close to the proposed EV charger location. Permit applications prior to January 2018 only: Install infrastructure to provide electricity for EV chargers at 6% of spaces for non-residential (CalGreen 5.106.5.3), 3% of spaces for multifamily with ≥17 units (CalGreen 4.106.4.2), and each space in 1-2 unit dwellings (CalGreen 4.106.4.1). All permit application dates: Installation of chargers is not required. Projects with zero off-street parking exempt.	•	•	•	applicable for permit application January 2018 or after	applicable for permit application January 2018 or after	n/r	N/A
	RECYCLING AND COMPOSTING BY OCCUPANTS	SF Building Code 106A.3.3, CalGreen 5.410.1, AB-088	MRp1	M4	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials. To help estimate adequate space for collection by hauler, see supporting materials including a design guide and calculator at: www.sfenvironment.org/refusecalculator.	•	•	•	•	•	•	Sheet 1
HVAC	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, CalGreen 4.408.2, 5.405.1.1 Environment Code ch.14, SF Building Code ch.13B	MRp2, MRc5	A2.1	100% of mixed debris must be taken by a Registered Transporter to a Registered Facility and be processed for recycling. Divert a minimum of 65% or 75% of total C&D debris as noted at right. See www.sfdbi.org for details.	≥65% diversion	≥75% diversion	≥75% diversion	≥65% diversion	≥65% diversion	≥75% diversion	See Sheet G-2
	HVAC INSTALLER QUALS	CALGreen 702.1			Installers must be trained and certified in best practices.	•	•	n/r	•	n/r	n/r	See Sheet G-3
	HVAC DESIGN	CALGreen 4.507.2			HVAC shall be designed to ACCA Manual J, D, and S.	•	•	n/r	•	n/r	n/r	See Sheet 5
GOOD NEIGHBOR	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	EAc6		Use no halons or CFCs in HVAC.	n/r	n/r	•	n/r	•	•	N/A
	LIGHT POLLUTION	CA Energy Code	SSc6		Comply with CA Energy Code for Lighting Zones 1-4.	n/r	n/r	•	n/r	•	•	N/A
	BIRD-SAFE BUILDINGS	Planning Code sec.139			Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•	•	•	•	•	•	N/A
	TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	EQp2		For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•	•	•	•	•	•	N/A
POLLUTION PREVENTION	SHADE TREES	CALGreen 5.106.12	SSc5		Plant trees to sufficient to provide shade within 15 years for 20% of landscape and hardscape area. Exclude shade structures covered by photovoltaics or cool roof materials from total area calculation.	•	•	•	•	•	•	N/A
	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	SSc4	A6	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	•	•	•	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	N/A
INDOOR ENVIRONMENTAL QUALITY	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	SSp1		Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. A Stormwater Pollution Prevention Plan is optional for GPR projects that disturb <5,000 sq.ft.	if disturbing ≥5,000 sq.ft.	•	if disturbing ≥5,000 sq.ft.	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	N/A
	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	EQc9		Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceilings between tenants). New residential projects' interior noise due to exterior sources shall not exceed 45dB.	•	•	•	n/r	•	•	N/A
	AIR FILTRATION - CONSTRUCTION	CALGreen 4.504.1 & 5.504.1-3	EQc3		Seal permanent HVAC ducts/equipment started onsite before installation.	•	•	•	•	•	•	See Sheet G-3
	AIR FILTRATION - OPERATIONS	CALGreen 5.504.5.3, Health Code art.38	EQc1		Non-residential projects must provide MERV-13 filters on HVAC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.	if applicable	if applicable	•	if applicable	•	•	N/A
RESIDENTIAL ONLY	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	EQc3		During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.	n/r	n/r	LEED EQc3	n/r	n/r	n/r	See Sheet G-3
	GRADING & PAVING	CALGreen 4.106.3			Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	•	•	n/r	if applicable	n/r	n/r	See Sheet 1
	RODENT PROOFING	CALGreen 4.406.1			Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•	•	n/r	•	n/r	n/r	See Sheet G-3
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1			Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	•	•	n/r	•	n/r	n/r	N/A
	CAPILLARY BREAK	CALGreen 4.505.2			Slab on grade foundation with vapor retarder requires capillary break, such as 4 inches 1/2-in aggregate & slab design by licensed professional.	•	•	n/r	•	n/r	n/r	See Sheets 3 and 4
	MOISTURE CONTENT	CALGreen 4.505.3			Wall and floor wood framing must have <19% moisture content before enclosure.	•	•	n/r	•	n/r	n/r	See Sheet 4
BATHROOM EXHAUST	CALGreen 4.506.1			Must be ENERGY STAR compliant, ducted to exterior, and humidistat shall be capable of adjusting between <50% to >80% (Humidistat may be separate.)	•	•	n/r	•	n/r	n/r	See Sheets 1, 5 and G-3	

VERIFICATION

1026 Capp St. ADU 6528 / 005
PROJECT NAME BLOCK/LOT

1026 Capp St. San Francisco, CA R-3
ADDRESS PRIMARY OCCUPANCY

1,611 sf
GROSS BUILDING AREA

Option 1:

Verification of compliance for this project will be provided via USGBC/GBCI certification under the LEED rating system, or Build It Green under the GreenPoint Rated system. Green Building Compliance Professional of Record is not required.

Option 2: LEED GBCPR

Green Building Compliance Professional of Record will verify compliance.

NAME FIRM

ARCHITECTURAL OR ENGINEERING LICENSE

I am a LEED Accredited Professional

I have completed one or more LEED projects

I have been retained by the project sponsor to review all submittal documents and verify that all approved construction documents and construction fulfill the requirements of the San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met for the above referenced project. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, or if I am no longer the Green Building Compliance Professional of Record for the project.

Option 3: GreenPoint Rated GBPCR

Green Building Compliance Professional of Record will verify compliance.

AFFIX STAMP BELOW:

LICENSED PROFESSIONAL (sign & date)

APPROVED
Dept. of Building Insp.
- San Francisco -
March 17, 2022
202102245270_BLDG DWGS-APPROVED

Patrick Jordan
PATRICK JORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

Option 3: GreenPoint Rated GBPCR

Green Building Compliance Professional of Record will verify compliance.

Gary Varum Gary S. Varum S.E.
NAME FIRM

S-3305
ARCHITECTURAL OR ENGINEERING LICENSE

I am a GreenPoint Rater I am not a GreenPoint Rater

I have completed one or more GreenPoint Rated projects

If the above licensed professional is not a Certified GreenPoint Rater, additional signature by a Certified GreenPoint Rater is required:

Viktoria Savtchouk 415-850-3942
GreenPoint Rater (print name) (contact phone #)

Savtchouk 09/15/21
(sign & date)

I have been retained by the project sponsor to review all submittal documents and verify that all approved construction documents and construction fulfill the requirements of the San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met for the above referenced project. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, or if I am no longer the Green Building Compliance Professional of Record for the project.

09-15-21 **AFFIX STAMP BELOW:**

LICENSED PROFESSIONAL (sign & date)

APPROVED
GARY S. VARUM
S 3305
Exp. 03-31-20 23
STRUCTURAL
STATE OF CALIFORNIA



0 DRAFT
C CONTRACTOR
E ENGINEER
Y NA RESPON. PARTY
X YES APPLICABLE
- NOT APPLICABLE
RESPONSIBLE PARTY (BY ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings or high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used. SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. Exceptions: 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations AN New APPROVED Dept. of Building Insp. - San Francisco - March 17, 2022 202102245270_BLDG DWGS-APPROVED PATRICIA JORDAN INTERIM DIRECTOR DEPT. OF BUILDING INSPECTION CHAPTER 4 RESIDENTIAL MANDATORY MEASURES SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no commercial power supply. 1.2 Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code. 4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number. Notes: 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 3. A parking space served by electric vehicle supply equipment or designated as a future EV charging space shall comply with the requirements of Section 4.106.4.3.1 through 4.106.4.3.4, and any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details. 4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents. 4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: 1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3. Note: Electric Vehicle charging stations serving public housing are required to comply with the California Building Code, Chapter 11B. 4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm). 2. The minimum width of each EV space shall be 9 feet (2743 mm). 3. In every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3655 mm). a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. 4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger, at the time of original construction in accordance with the California Electrical Code. 4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on ampere of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated ampere of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger, at the time of original construction in accordance with the California Electrical Code. 4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces. Notes: 1. Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 3. A parking space served by electric vehicle supply equipment or designated as a future EV charging space shall count as at least one standard automobile parking space for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details. 4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number. TABLE 4.106.4.3.1 TOTAL NUMBER OF PARKING SPACES NUMBER OF REQUIRED EV SPACES 0-9 0 10-25 1 26-50 2 51-75 4 76-100 5 101-150 7 151-200 10 201 and over 6 percent of total 4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486mm). 2. The minimum width of each EV space shall be 9 feet (2743mm) 4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3. 4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4. 4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5. 4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the California Building Code, Chapter 11B.

DIVISION 4.2 ENERGY EFFICIENCY 4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3 Showerheads. 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. 4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff. FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A). TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019 PRODUCT CLASS [spray force in ounce force (ozf)] MAXIMUM FLOW RATE (gpm) Product Class 1 (≤ 5.0 ozf) 1.00 Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 1.20 Product Class 3 (> 8.0 ozf) 1.28 Title 20 Section 1605.3 (h)(4)(A). Commercial pre-rinse spray valves manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. 4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. NOTES: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annual spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4. Notes: 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or its code. 11. Information from CAL Fire on maintenance of defensible space around residential structures. 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section. DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL 4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS 4.502.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. COMPOSITE WOOD PRODUCTS. Composite wood products does not include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardware, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1. DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all fuel gases to the outside atmosphere. GARY S. VARUM, S 2005, Exp. 03-31-2023, STRUCTURAL ENGINEER, STATE OF CALIFORNIA 12-20-21

Table with columns for compliance status (Y, NA, RESPON. PARTY) and text describing maximum incremental reactivity (MIR), moisture content, product-weighted MIR (PVMIR), reactive organic compound (ROC), VOC, fireplaces, pollutant control, finish material pollutant control, adhesives, sealants and caulks, paints and coatings, aerosol paints and coatings, verification, and adhesive VOC limits.

Table 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter) and Table 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS).

Table 4.504.5 - FORMALDEHYDE LIMITS (MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION) and Division 4.5 ENVIRONMENTAL QUALITY (continued) including carpet systems, carpet cushion, carpet adhesive, resilient flooring systems, composite wood products, interior moisture control, concrete slab foundations, capillary break, indoor air quality and exhaust, and environmental comfort.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS. 702 QUALIFICATIONS: 702.1 INSTALLER TRAINING, 702.2 SPECIAL INSPECTION [HCD]. 703 VERIFICATIONS: 703.1 DOCUMENTATION. Includes an 'APPROVED' stamp from the Dept. of Building Inspection - San Francisco, dated March 17, 2022, and a professional engineer seal for Gary S. Varum.

GreenPoint RATED
NEW HOME RATING SYSTEM, VERSION 8.0
SINGLE FAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points. Earn the following minimum points per category: Community (2), Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6), and meet the prerequisites CALGreen Mandatory, E5.2, H6.1, J6.1, O1, O7.

Directions for Use: Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the blue "points achieved" column.

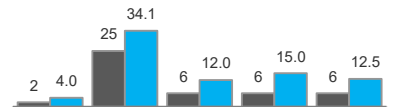
The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information please visit www.builditgreen.org/greenpointrated
Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater and certified by Build It Green.

New Home Single Family Version 8.0
 Project Name: 1026 Capp Street ADU
 Project Street: 1026 Capp Street
 Project City: San Francisco, CA
 Project Zip: 94110

Points Targeted: 78
 Certification Level Targeted: Certified
 Compliance Pathway Targeted: All Electric Compliance Efficiency EDR

POINTS REQUIRED
 #Minimum Points
 #Achieved Points



March 17, 2022
 202102245270_BLDG DWGS-APPROVED

Patrick Jordan
 PATRICK JORDAN
 INTERIM DIRECTOR
 DEPT. OF BUILDING INSPECTION

Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
MEASURES						
CALGreen						
Yes	CALGreen Res (REQUIRED)	4	1	1	1	
A. SITE						
TBD	A1. Construction Footprint			1		
A2. Job Site Construction Waste Diversion						
TBD	A2.1 70% C&D Waste Diversion (Including Alternative Daily Cover)			2		
TBD	A2.2 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility			1		
TBD	A3. Recycled Content Base Material			1		
TBD	A4. Heat Island Effect Reduction (Non-Roof)		1			
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out			1		
A6. Stormwater Control: Prescriptive Path (section capped at 3 points)						
TBD	A6.1 Permeable Paving Material				1	
TBD	A6.2 Filtration and/or Bio-Retention Features				1	
TBD	A6.3 Non-Leaching Roofing Materials				1	
TBD	A6.4 Smart Stormwater Street Design	1				
TBD	A7. Stormwater Control: Performance Path				3	
B. FOUNDATION						
TBD	B1. Fly Ash and/or Slag in Concrete			1		
TBD	B2. Radon-Resistant Construction			2		
TBD	B3. Foundation Drainage System			2		
TBD	B4. Moisture Controlled Crawlspace			1		
B5. Structural Pest Controls						
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections			1		
Yes	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	1			1	
C. LANDSCAPE						
1.00%	Enter the landscape area percentage. Points capped at 6 for less than 15%.					
TBD	C1. Plants Grouped by Water Needs (Hydrozoning)			1		
Yes	C2. Three Inches of Mulch in Planting Beds	1			1	
C3. Resource Efficient Landscapes						
Yes	C3.1 No Invasive Species Listed by Cal-IPC	1		1		
TBD	C3.2 Plants Chosen and Located to Grow to Natural Size			1		
TBD	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species				3	
C4. Minimal Turf in Landscape						
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2			2	
≤10%	C4.2 Turf on a Small Percentage of Landscaped Area	2			2	
TBD	C5. Trees to Moderate Building Temperature		1	1	1	
TBD	C6. High-Efficiency Irrigation System				2	
TBD	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil				2	
TBD	C8. Rainwater Harvesting System				3	
TBD	C9. Recycled Wastewater Irrigation System				1	
TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation				2	
TBD	C11. Landscape Meets Water Budget				1	
C12. Environmentally Preferable Materials for Site						
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing			1		
Yes	C13. Reduced Light Pollution	1	1			
TBD	C14. Large Stature Tree(s)		1			
TBD	C15. Third Party Landscape Program Certification			1		
TBD	C16. Maintenance Contract with Certified Professional				1	
D. STRUCTURAL FRAME AND BUILDING ENVELOPE						
D1. Optimal Value Engineering						
TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center		1		2	
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load				1	
TBD	D1.3 Advanced Framing Measures				2	

New Home Single Family Version 8.0

TBD	D2. Construction Material Efficiencies			1	
D3. Engineered Lumber					
TBD	D3.1 Engineered Beams and Headers			1	
TBD	D3.2 Wood Joists or Web Trusses for Floors			1	
TBD	D3.3 OSB for Subfloor			0.5	
TBD	D3.4 OSB for Wall and Roof Sheathing			0.5	
TBD	D4. Insulated Headers	1			
D5. FSC-Certified Wood					
TBD	D5.1 Dimensional Lumber, Studs, and Timber			6	
TBD	D5.2 Panel Products			3	
D6. Solid Wall Systems					
TBD	D6.1 At Least 90% of Floors			1	
TBD	D6.2 At Least 90% of Exterior Walls	1		1	
TBD	D6.3 At Least 90% of Roofs	1		1	
TBD	D7. Energy Heels on Roof Trusses	1			
TBD	D8. Overhangs and Gutters	1		1	
D9. Reduced Pollution Entering the Home from the Garage					
Yes	D9.1 Detached Garage	2		2	
TBD	D9.2 Mitigation Strategies for Attached Garage			1	
D10. Structural Pest and Rot Controls					
TBD	D10.1 All Wood Located At Least 12 Inches Above the Soil			1	
TBD	D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall Materials Other Than Wood			1	
TBD	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)		1	1	
E. EXTERIOR					
TBD	E1. Environmentally Preferable Decking			1	
TBD	E2. Flashing Installation Third-Party Verified			2	
TBD	E3. Rain Screen Wall System			2	
TBD	E4. Durable and Non-Combustible Cladding Materials			1	
E5. Durable Roofing Materials					
TBD	E5.1 Durable and Fire Resistant Roofing Materials or Assembly			1	
TBD	E6. Vegetated Roof	2	2		
F. INSULATION					
F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content					
TBD	F1.1 Walls and Floors			0.5	
TBD	F1.2 Ceilings			0.5	
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions					
TBD	F2.1 Walls and Floors			0.5	
TBD	F2.2 Ceilings			0.5	
F3. Low GWP Insulation That Does Not Contain Fire Retardants					
TBD	F3.1 Cavity Walls and Floors			1	
TBD	F3.2 Ceilings			1	
TBD	F3.3 Interior and Exterior			1	
G. PLUMBING					
G1. Efficient Distribution of Domestic Hot Water					
Yes	G1.1 Insulated Hot Water Pipes	1		1	
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution			1	
TBD	G1.3 Increased Efficiency in Hot Water Distribution			2	
G2. Install Water-Efficient Fixtures					
Yes	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve	2		2	
Yes	G2.2 WaterSense Bathroom Faucets 1.0 gpm	1		1	
≤1.28 gpf	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28 gpf OR 1.1 gpf	1		2	
TBD	G3. Pre-Plumbing for Graywater System			1	
TBD	G4. Operational Graywater System			3	
TBD	G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout			1	
H. HEATING, VENTILATION, AND AIR CONDITIONING					
H1. Sealed Combustion Units					
Yes	H1.1 Sealed Combustion Furnace	1		1	
Yes	H1.2 Sealed Combustion or Heat Pump Water Heater	2		2	
TBD	H2. High Performing Zoned Hydronic Radiant Heating System		1	1	
H3. Effective Ductwork					
TBD	H3.1 Duct Mastic on Duct Joints and Seams			1	
TBD	H3.2 Pressure Balance the Ductwork System			1	
TBD	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified			1	
H5. Advanced Practices for Cooling					
TBD	H5.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms			1	

REVISIONS	BY

1026 Capp Street. ADU San Francisco, Ca 94110

GreenPoint Rated Checklist

DATE
SCALE
DRAWN
JOB NO.
SHEET GPR 1
OF SHEETS

New Home Single Family Version 8.0									
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality									
Yes	H6.1 Meet ASHRAE 62.2-2016 Ventilation Residential Standards	Y	R	R	R	R	R		
TBD	H6.2 Advanced Ventilation Standards						2		
TBD	H6.3 Outdoor Air is Filtered and Tempered						1		
H7. Effective Range Hood Design and Installation									
TBD	H7.1 Effective Range Hood Ducting and Design						1		
TBD	H7.2 Automatic Range Hood Control						1		
TBD	H8. High Efficiency HVAC Filter (MERV 16+)						1		
TBD	H9. Advanced Refrigerants						1		
Yes	H10. No Fireplace or Sealed Gas Fireplace	1					1		
TBD	H11. Humidity Control Systems						1		Only applies to climate zones 1, 3, 5, 6, and 7.
TBD	H12. Register Design Per ACCA Manual T						1		
I. RENEWABLE ENERGY									
0%	I1. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)						25		
I2. Low Carbon Homes									
TBD	I2.1 Near Zero Energy Home						2		
TBD	I2.2 Low Carbon Home						4		
TBD	I3. Energy Storage						1		
TBD	I4. Solar Hot Water Systems to Preheat Domestic Hot Water						4		
J. BUILDING PERFORMANCE AND TESTING									
Yes	J1. Third-Party Verification of Quality of Insulation Installation	1					1		
TBD	J2. Supply and Return Air Flow Testing						1	1	
TBD	J3. Mechanical Ventilation Testing						1		
TBD	J4. All Electric or Combustion Appliance Safety Testing						1		
All Electric Compliance Efficiency EDR	J5. Building Performance Exceeds Title 24 Part 6								Option 1: Mixed Fuel - Minimum Delta EDR ranges from 6-10 based on climate zone. Pre-wiring requirements: Dryer - conductor rated for 40 amp, Range - conductor rated for 50 amp. PV and storage credit allowed. Option 2: All Electric Compliance - Meet Efficiency EDR based on climate zone (0-5). PV and Storage credit allowed. Option 3: Annual Energy Use - Minimum 20% compliance based on annual energy use. PV credit not allowed
3	Select Project Climate Zone								
3	J5.1 Home Outperforms Title 24 Part 6	28.6					25+		
Yes	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	1					1		
TBD	J7. Participation in Utility Program with Third-Party Plan Review						1		
TBD	J8. ENERGY STAR® for Homes						1		
No	J9. EPA Indoor airPlus Certification	0					2		
TBD	J10. Blower Door Testing						3		
K. FINISHES									
K1. Entryways Designed to Reduce Tracked-In Contaminants									
TBD	K1.1 Individual Entryways						1		
TBD	K2. Zero-VOC Interior Wall and Ceiling Paints						2		
Yes	K3. Low-VOC Caulks and Adhesives	1					1		
K4. Environmentally Preferable Materials for Interior Finish									
TBD	K4.1 Cabinets						2		
TBD	K4.2 Interior Trim						2		
TBD	K4.3 Shelving						2		
TBD	K4.4 Doors						2		
TBD	K4.5 Countertops						1		
K5. Formaldehyde Emissions in Interior Finish Exceed CARB									
TBD	K5.1 Doors						1		
TBD	K5.2 Cabinets and Countertops						2		
TBD	K5.3 Interior Trim and Shelving						2		
TBD	K6. Products That Comply With the Health Product Declaration Open Standard						2		
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion						2		
No	K8. Comprehensive Inclusion of Low Emitting Finishes						1		
L. FLOORING									
TBD	L1. Environmentally Preferable Flooring						3		
≥75%	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential	3					3		
Yes	L3. Durable Flooring	1					1		
TBD	L4. Thermal Mass Flooring						1		
M. APPLIANCES AND LIGHTING									
Yes	M1. ENERGY STAR® Dishwasher	1					1		
M2. Efficient Laundry Appliances									
CEE Tier 2	M2.1 CEE-Rated Clothes Washer	2					1		2
Yes	M2.2 ENERGY STAR® Dryer	2					1		
TBD	M2.3 Solar Dryer/ Laundry Lines						0.5		

New Home Single Family Version 8.0									
<25 cubic feet	M3. Size-Efficient ENERGY STAR® Refrigerator	1					2		
M4. Permanent Centers for Waste Reduction Strategies									
Yes	M4.1 Built-In Recycling Center	1					1		
TBD	M4.2 Built-In Composting Center						1		
M5. Lighting Efficiency									
TBD	M5.1 High-Efficacy Lighting						2		
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant						2		
N. COMMUNITY									
N1. Smart Development									
Yes	N1.1 Infill Site	2					1		1
TBD	N1.2 Designated Brownfield Site						1		1
TBD	N1.3 Conserve Resources by Increasing Density						2		2
TBD	N1.4 Cluster Homes for Land Preservation						1		1
TBD	N1.5 Home Size Efficiency						8		9
1611	Enter the area of the home, in square feet								
6	Enter the number of bedrooms								
N2. Home(s)/Development Located Near Transit									
TBD	N2.1 Within 1/2 Mile of a Major Transit Stop						1		
Yes	N 2.2. Within 1/2 mile of a Major Transit Stop	2					2		
N3. Pedestrian and Bicycle Access									
N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services									
	Enter the number of Tier 1 services						2		
	Enter the number of Tier 2 services								
TBD	N3.2 Connection to Pedestrian Pathways						1		
TBD	N3.3 Traffic Calming Strategies						2		
N4. Outdoor Gathering Places									
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents						1		
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services						1		
N5. Social Interaction									
TBD	N5.1 Residence Entries with Views to Callers						1		
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors						1		
TBD	N5.3 Porches Oriented to Street and Public Space						1		
N6. Passive Solar Design									
TBD	N6.1 Heating Load						2		
TBD	N6.2 Cooling Load						2		
N7. Adaptable Building									
TBD	N7.1 Universal Design Principles in Units						1		1
TBD	N7.2 Full-Function Independent Rental Unit						1		
N8. Resiliency									
TBD	N8.1 Assessment						1		1 1 1
TBD	N8.2 Strategies to Address Assessment Findings						1		1 1
N9. Social Equity in Community									
TBD	N9.1 Diverse Workforce						1		1
TBD	N9.2 Community Location						1		1
O. OTHER									
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R	R	R
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2					0.5		1 0.5
TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs						0.5	0.5	0.5 0.5
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals						0.5	0.5	0.5 0.5
O5. Home System Monitors									
TBD	O5.1 Energy Home System Monitors						1		
TBD	O5.2 Water Home System Monitors								1
O6. Green Building Education									
TBD	O6.1 Marketing Green Building						2		
TBD	O6.2 Green Building Signage						0.5		0.5
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R	R	R
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation								1
Summary									
Total Available Points in Specific Categories									
		285.5	30	75.5	50	82	49		
Minimum Points Required in Specific Categories									
		50	2	25	6	6	6		
Total Points Achieved									
		77.6	4.0	34.1	12.0	15.0	12.5		

REVISIONS	BY

1026 Capp Street. ADU San Francisco, Ca 94110

GreenPoint Rated Checklist

DATE
SCALE
DRAWN
JOB NO.
SHEET GPR 2
OF SHEETS

PUBLIC COMMENT

Andrew Booty and David Yin
1032a Capp Street
San Francisco, CA 94110

May 12th, 2022

Re: Appeal 22-024, 1024 Capp Street

To whom it may concern:

We are writing as the property owners of 1032a Capp Street, the ground floor unit of the three unit property adjacent to (south of) the above mentioned property. We also own the northern half of a four car garage on Lilac Street. The proposed ADU is to be constructed immediately to the north west of our residential unit and immediately adjacent to our garage. We have reviewed the initial schematics of the proposed ADU, as well as the appeal submitted by Monica Ortega and rebuttal to said appeal submitted by Aleksandr Volkov. We have several points to make:

We do not object to new construction.

- We recently wrote a letter in support of a new building at 2955 Mission Street and are, in general, supportive of new housing in California. We are not NIMBYs.
- Overall, we are in favor of construction of an ADU in the back half of the 1028 property, as it will increase foot traffic on Lilac Street and increase security for the adjacent back yards, including ours.

However, we do have several concerns regarding the project:

a) Given the topography of our adjacent lots, our unit rests approximately six feet below the base height of the new proposed ADU. This height difference is visible in any of the photos of the properties that show the stairs leading down to our yard from the walkway adjacent to our Lilac garage, the walkway of which is level with the base of the ADU. Therefore, the ADU's height will be approximately 36 feet above our unit, and a six foot tall person standing on the roof deck of the ADU will be approximately 42 feet above our unit. This is a significant blocking of light to our unit and yard.

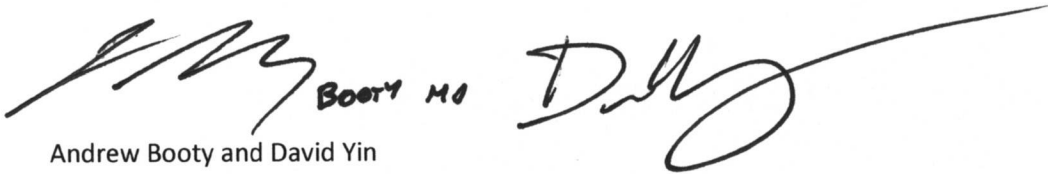
b) Given the above mentioned topography, the windows of *all three levels* of the ADU plus roof deck will look directly into our kitchen and bedroom, notably compromising our privacy.

Mr. Volkov mentions in his rebuttal that any comments Ms. Ortega makes re 1030-1032 Capp Street are conjecture ("The Appellant attempts to argue privacy issue on behalf of the other neighboring property, at 1030-1032 Capp Street."). **We would like to make it clear that we share her concerns and that they are not conjecture.**

In summary, we support Ms. Ortega's appeal.

We are in favor of a shorter ADU, optimally two floors maximum, without a roof deck. This structure will allow for ample living space for the residents of the new ADU, will much more closely match the height of the Lilac adjacent structures (one floor on Ms. Ortega's property, approximately one and a half floors on our (garage) property, and will afford our unit less of a reduction in light and privacy.

Sincerely,

The image shows two handwritten signatures in black ink. The signature on the left is for Andrew Booty, with the name 'Booty' written in a smaller font below the main signature. The signature on the right is for David Yin, featuring a large, stylized 'D' and 'Y'.

Andrew Booty and David Yin