

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
PAUL SHINN & KATE PRATT,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **17-028**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on February 17, 2017, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on February 07, 2017 to Manouch Moshayedi, of a Site Permit (horizontal and vertical addition of one story and roof deck; new interior layout; new electrical; new plumbing; finish part of garage level into conditioned space; addition of bedrooms and bathrooms) at 435 Marina Boulevard.

APPLICATION NO. 2015/11/06/1988S

FOR HEARING ON April 19, 2017

Address of Appellant(s):

Address of Other Parties:

Paul Shinn & Kate Pratt, Appellants 465 Avila Street San Francisco, CA 94123	Manouch Moshayedi, Permit Holder c/o Vin Leger, Agent for Permit Holder EAG Studio 2443 Fillmore Street San Francisco, CA 94115
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CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS

Date Filed:

BOARD OF APPEALS

FEB 17 2017

APPEAL # 17-028

PRELIMINARY STATEMENT OF APPEAL

I / We, **Paul Shinn & Kate Pratt**, hereby appeal the following departmental action: **ISSUANCE** of **Site Permit No. 2015/11/06/1988S** by the **Department of Building Inspection** which was issued or became effective on: **February 07, 2017**, to: **Manouch Moshayedi**, for the property located at: **435 Marina Boulevard**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: **March 30, 2017, (no later than three Thursdays prior to the hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible. *[Signature]*

Respondent's and Other Parties' Briefs are due on or before: **April 13, 2017, (no later than one Thursday prior to hearing date)**, up to 12 pages in length, doubled-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible.

Only photographs and drawings may be submitted by the parties at hearing.

Hearing Date: **Wednesday, April 19, 2017, 5:00 p.m., City Hall, Room 416**, One Dr. Carlton B. Goodlett Place.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should submit eleven (11) copies of all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection at the Board's office. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

If you have any questions please call the Board of Appeals at 415-575-6880

The reasons for this appeal are as follows:

See attached statement.

Appellant or Agent (Circle One):

Signature: *Paul Shinn*

Print Name: PAUL SHINN

PRELIMINARY STATEMENT OF APPEAL

Date
Filed **BOARD OF APPEALS**

FEB 17 2017

APPEAL # 17-008

SUMMARY OF REASONS OR GROUNDS FOR APPEAL CONTINUED:

We received a notice of structural addition, dated Feb 7, 2017. This was the first official notice of the plans that we received. We would like to appeal the addition of the additional vertical story and roof deck to 435 Marina Blvd. The proposed addition would block our view (our home is 465 Avila Street) of the San Francisco Bay. The proposed addition would materially, negatively, impact the use and enjoyment of our home and diminish our property values. We respectfully request that the permit be denied and that the owners of 435 Marina Blvd re-submit plans that would not infringe on the use and enjoyment of our home.

FEB 17 2017



Capacity Charges
Water: 1956.00
Wastewater: 6648.00
Total: 8604.00
Jan 13 2016

APPEAL 17-028
APPROVED
Dept. of Building Inspection
FEB 07 2017

SFUSD

SITE PERMIT

NOV 06 2015

THIS APPLICATION SUBMITTED FOR THE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

APPROVED FOR ISSUANCE

Bldg. 3/8
FORM 3/8

APPLICATION NUMBER
2015-11-06-1988

OSHA APPROVAL REQ'D
APPROVAL NUMBER

N

SFUSD
2834

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

FORM 3 OTHER AGENCIES REVIEW REQUIRED

FORM 8 OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED 11.9.15	FILING FEE RECEIPT NO. N114559	(1) STREET ADDRESS OF JOB 435 MARINA BLVD	BLOCK & LOT 0417A / 014
PERMIT NO. 1416421	ISSUED FEB 07 2017	(2A) ESTIMATED COST OF JOB \$249,000	(2B) REVISED COST: BY: \$1,100,000 DATE: 12/21/16

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V-B	(5A) NO. OF STORIES OF OCCUPANCY: 2	(6A) NO. OF BASEMENTS AND CELLARS: 0	(7A) PRESENT USE: SINGLE FAMILY RESIDENTIAL	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS: 1
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. V-B	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 0	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY RESIDENTIAL	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS: 1
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? NO	(12) ELECTRICAL WORK TO BE PERFORMED? NO	(13) PLUMBING WORK TO BE PERFORMED? NO
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(14) GENERAL CONTRACTOR CITYWEST CONSTRUCTION, INC	ADDRESS 254 36TH AVE, SF, CA 94110	ZIP 94110	PHONE 927193	CALIF. LIC. NO. 927193	EXPIRATION DATE
---	---------------------------------------	--------------	-----------------	---------------------------	-----------------

(15) OWNER - LESSEE (CROSS OUT ONE) OWNER	ADDRESS MANOUC MOSHAYEDI 435 MARINA BLVD, SAN FRANCISCO, CA 94123	ZIP 94123	BTRC#	PHONE (FOR CONTACT BY DEPT.) (415) 300-0985
--	--	--------------	-------	--

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

HORIZONTAL ADDITION,
VERTICAL ADDITION OF 1 STORY + ROOF DECK, NEW INTERIOR LAYOUT, NEW ELECTRICAL, NEW PLUMBING, FINISH GARAGE LEVEL INTO CONDITIONED SPACE, ADDITION OF BEDROOMS & BATHROOMS

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? NO	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT 35'-0"	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? NO	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA 1427 SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? NO	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? NO	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) NO	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? NO

(25) ARCHITECT OR ENGINEER (DESIGN CONSTRUCTION) EA4 STUDIO 2443 FILLMORE STREET #215 SAN FRANCISCO, CA 94115	ADDRESS	CALIF. CERTIFICATE NO.
--	---------	------------------------

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") UNKNOWN	ADDRESS
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IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

- OWNER
- LESSEE
- CONTRACTOR
- ARCHITECT
- AGENT
- ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier: _____
Policy Number: _____
- () III. The cost of the work to be done is \$100 or less.
- () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- () V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent
Date: 11.5.15

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED: <u>Matthew Ralls, DBI</u> DEC 21 2016 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: De facto demo. of SFD (per 2015-0160 BDEH) 3rd story vert. addition with roof deck and horiz. expansion. <u>A. Kirby</u> 10/26/16 DEPARTMENT OF CITY PLANNING	DATE: <u>AK</u> REASON: <u>Revisions dated 12/21/16</u> NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (415) 554-7149 TO SCHEDULE By <u>Clinton Choy, SFPW/BSM</u> BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <u>SFPUC</u> <u>Monica S. Whitney</u> (DEVELOPMENT AGENCY) SFPUC	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT

HD 4/19/17

FILE

**APPELLANT'S BRIEF CONTESTING
THE ISSUANCE OF A BUILDING PERMIT
FOR 435 MARINA BLVD.**

BOARD OF APPEALS
MAR 30 2017 *ofo*
APPEAL #17-028

March 30, 2017

The real estate developer of 435 Marina Boulevard has applied for a building permit for a project that, if completed, would demolish the current single family home on the site and replace it with a massive, modern structure that violates Section 311(c)(1) of the San Francisco Planning Code and the Residential Design Guidelines promulgated by the City Planning Commission. The project does not reflect the character of the neighborhood or the input of the surrounding homeowners impacted by the project. This brief respectfully requests that the Board of Permit Appeals reject the permit application for 435 Marina Boulevard and instruct the developers to submit a new plan that better reflects the character of the neighborhood and minimizes the impact to the surrounding homes.

The Proposal at 435 Marina Boulevard

The developers have proposed to tear down one of the early homes in the San Francisco Marina District that faces the Marina Green and waterfront. The new project would dramatically increase the horizontal and vertical footprint of the structure, introducing a modern, massive cube to a boulevard characterized predominantly by elegant, architecturally consistent buildings. The scale and modern features of the proposal are out of character with the topography of the site, and placement of surrounding buildings. (See Exhibit 1, comment 1.)

Light and Privacy

The residential design guidelines require that when expanding a building the impact on light and privacy must be considered. The proposed project would add a third vertical floor, further extended by a roof deck on top of the new third floor. This expansion would significantly impact the available light and privacy for Appellant. The new third floor addition would block the sky and light currently available to the Appellant's third floor bedroom and deck. Appellant's privacy would further be invaded as the proposed project would provide multiple rooms from the proposed third floor and the roof deck with direct line of sight into Appellant's bedroom. (See Exhibit 1, comment 2 and Exhibit 2.) The developers (and Planning Commission in considering the project) erred in not considering the impact on light and privacy to Appellant.

Building Scale and Form

The design guidelines require the scale of the building be compatible with the height and depth of surrounding buildings, including the existing scale at the street level. Respondents own design plan, particularly the renderings on page A7.0, make it clear that the dramatic new scale will dwarf the surrounding buildings. Pursuant to the existing guidelines, Respondent should be required to modify the existing height and depth to maintain the existing scale.

Not only does the project fail the scale and form guidelines at the street level, the project violates the scale and form guidelines at the mid-block open space. The mid-block, visual open space in the subject neighborhood is a unique and significant community amenity that would be negatively impacted by the proposal. As the

residential guidelines make clear, “Even when permitted by the Planning Code, building expansions in to the rear yard may not be appropriate if they are uncharacteristically deep or tall, depending on the context of the other buildings that define the mid-block open space.” The proposed height and depth of the addition would dramatically impact the open space for the surrounding neighbors as well as the public space from the sidewalk that is actively travelled by both neighbors and non-residents in this popular neighborhood. (See Exhibit 3)

CONCLUSION

The proposed project at 435 Marina Boulevard, while perhaps well intentioned, reflects a design and development philosophy that does not understand the unique characteristics of the surrounding neighborhood or the Marina waterfront more generally. The new house is too large, too tall and not in keeping with the unique Marina design aesthetic. The impact on the street front, on the neighbors and on the overall character of the community will be significant if this project is approved in its current form. We again respectfully request that the Board reject this permit and direct the developers to modify their proposals accordingly.

Appellants would welcome the opportunity to discuss their concerns with the developer and other impacted neighbors to come to a mutually agreeable conclusion.

Respectfully submitted,

EXHIBIT 1

COMMENT #1: Out of character with topography of site



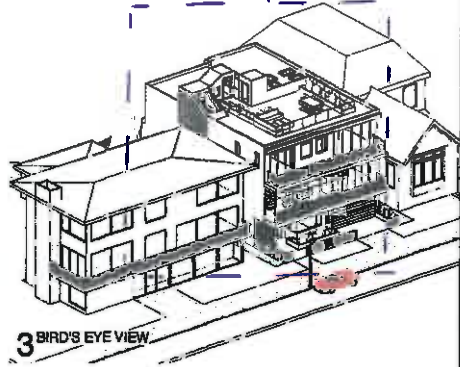
STREET VIEW



PHOTOS OF REAR OF BUILDING



4 REAR FACADE



3 BIRD'S EYE VIEW

COMMENT #2: Direct line of sight to Appellant bedroom



1 EXISTING STREET VIEW



2 PROPOSED STREET VIEW

EAG STUDIO

ARCHITECTURE INTERIORS
LANDSCAPE ARCHITECTURE
307 FALCON BLVD. #100
SAN FRANCISCO, CA 94114

1	OWNER	DATE
2	PERMITTING	DATE
3	CONSTRUCTION	DATE
4	POST-OCCUPANCY	DATE
5	FINAL	DATE

MARINA BOULEVARD REMODEL
400 MARINA BLVD. #100
SAN FRANCISCO, CA 94114

PHOTOGRAPHS

A7.0

PHOTOGRAPH BY EAG STUDIO

EXHIBIT 2



UP

DOWN



COMMENT: Projects
third floor addition
will impact light and
privacy of Appellant.
Third floor and roof
deck will have direct
line of sight to
Appellant bedroom.



Exhibit 3



REUBEN, JUNIUS & ROSE, LLP

April 13, 2017

Sent Via Messenger

President Darryl Honda
San Francisco Board of Appeals
1650 Mission Street, Room 304
San Francisco, CA 94103

Re: Project Sponsor's Brief in Opposition to Appeal No. 17-028
435 Marina Boulevard
Our File No.: 10518.03

Dear President Honda and Commissioners:

Our office represents Manouch Moshayedi in connection with the renovation of his home at 435 Marina Boulevard (the "**Property**"). Mr. Moshayedi purchased the home in July of 2014 with the goal of renovating the home to accommodate his family. He and his family have lived in the home since its purchase.

I. The Approved Project

The proposed project is relatively simple and modest. The existing building at the Property is a two-story, single-family home and Mr. Moshayedi proposes to add a single story with a roof deck on top, adding roughly 10 feet of height to the building. The only horizontal expansion proposed is a 3-foot expansion towards the rear of the Property on the second floor only. The proposed project is 100% compliant with the Planning Code, and no variances or exceptions have been requested. (Approved Project plans attached as **Exhibit A.**)

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin
Tuija I. Catalano | Jay F. Drake | Matthew D. Visick | Lindsay M. Petrone | Sheryl Reuben¹
Thomas Tunny | David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight
Chloe V. Angelis | Louis J. Sarmiento, Jr. | Corie A. Edwards | Jared Eigerman^{2,3} | John McInerney III²

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

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tel: 510-257-5589

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II. The Project is Consistent with the Existing Neighborhood Character

Despite Appellants' claims to the contrary, the proposed renovation and expansion will result in a home that is completely consistent with the existing character of the neighborhood.

Height

The project will result in a 35-foot-tall home. This is virtually identical to the height of the building to its left and is 2 feet, 9 inches shorter than the top of the pitched roof on the building to the right. All buildings on this block are 3 stories, with the exception of one 4-story building and one 2-story building that is taller than the project (the building adjacent to the right). **Once built, there will be only one other building shorter than the project on this block.** (See height comparison diagram, attached as Exhibit B.)

Rear Yard

As discussed above, the only horizontal expansion proposed is a 3-foot expansion towards the rear at the second floor only and for only half the width of the building. The third floor will extend another six inches for only half the width of the building. The project will be fully compliant with the rear yard requirement. Both adjacent buildings are more than 15 feet deeper than the proposed project. **Once built, all but one of the existing buildings will be deeper than the project on this block.** (See rear yard comparison diagram, attached as Exhibit C.)

Both the height and depth of the proposed project will be smaller in size than the vast majority of homes on this block. The project is objectively not out of scale or oversized compared to the existing neighborhood.

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III. The Project is Will Not Negatively Impact Appellant

Appellant claims the project will negatively impact their light and air (Appellant's home is located directly behind the Property). Since the project is directly north of the Appellant's home, and sunlight comes from the south in San Francisco, it will not create any significant shading on Appellant's property. Further, the project would be separated from the Appellant's property line by 23 feet, further minimizing any potential shade that it could cast towards the Appellant's home. A sun study prepared by the project architect shows that the proposed project is not located within the path of the sun where it could have any shading impacts on the Appellants' property. (See study attached as **Exhibit D**)

Privacy is also not an issue here. The proposed roof deck has been located at the front of the project towards Marina Boulevard, specifically to eliminate any potential sight lines towards Appellants' home. With regard to the rear facing windows, these are consistent with the existing home's windows, as well as the windows on the adjacent two properties (including on the third floor of the building to the left). The project will result in sight lines that are no worse than what exists currently and are well within the reasonable expectations of San Francisco.

IV. Private Views Are Not Protected

The Appellants' true concern with the project appears to have been expressed in their initial appeal filing: "The proposed addition would block our view (our home is 465 Avilla Street) of the San Francisco Bay. The proposed addition would materially, negatively impact the use and enjoyment of our home and diminish our property value." The Residential Design Guidelines are very clear with respect to a project's effect on private views: "The General Plan,

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President Honda and Commissioners

April 13, 2017

Page 4

Planning Code and these Guidelines do not provide for protecting views from private property.”

(Residential Design Guidelines, Page 18.)

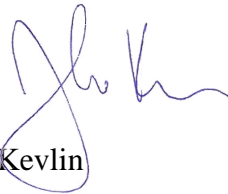
Concerns regarding private views are wholly inappropriate when considering a project on discretionary review or a permit appeal. The Guidelines require focus on whether a project is consistent with the existing neighborhood character and has no unreasonable impacts on adjacent properties – neither of which are present with the proposed project.

V. Conclusion

Mr. Moshayedi has proposed a project that will result in a home that is on the smaller end of homes on the subject block and will accommodate him and his family. The project will have no unreasonable adverse impacts on its neighbors. As such, we respectfully request that the Board deny the appeal of the building permit.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



John Kevlin

Enclosures

cc: Paul Shinn

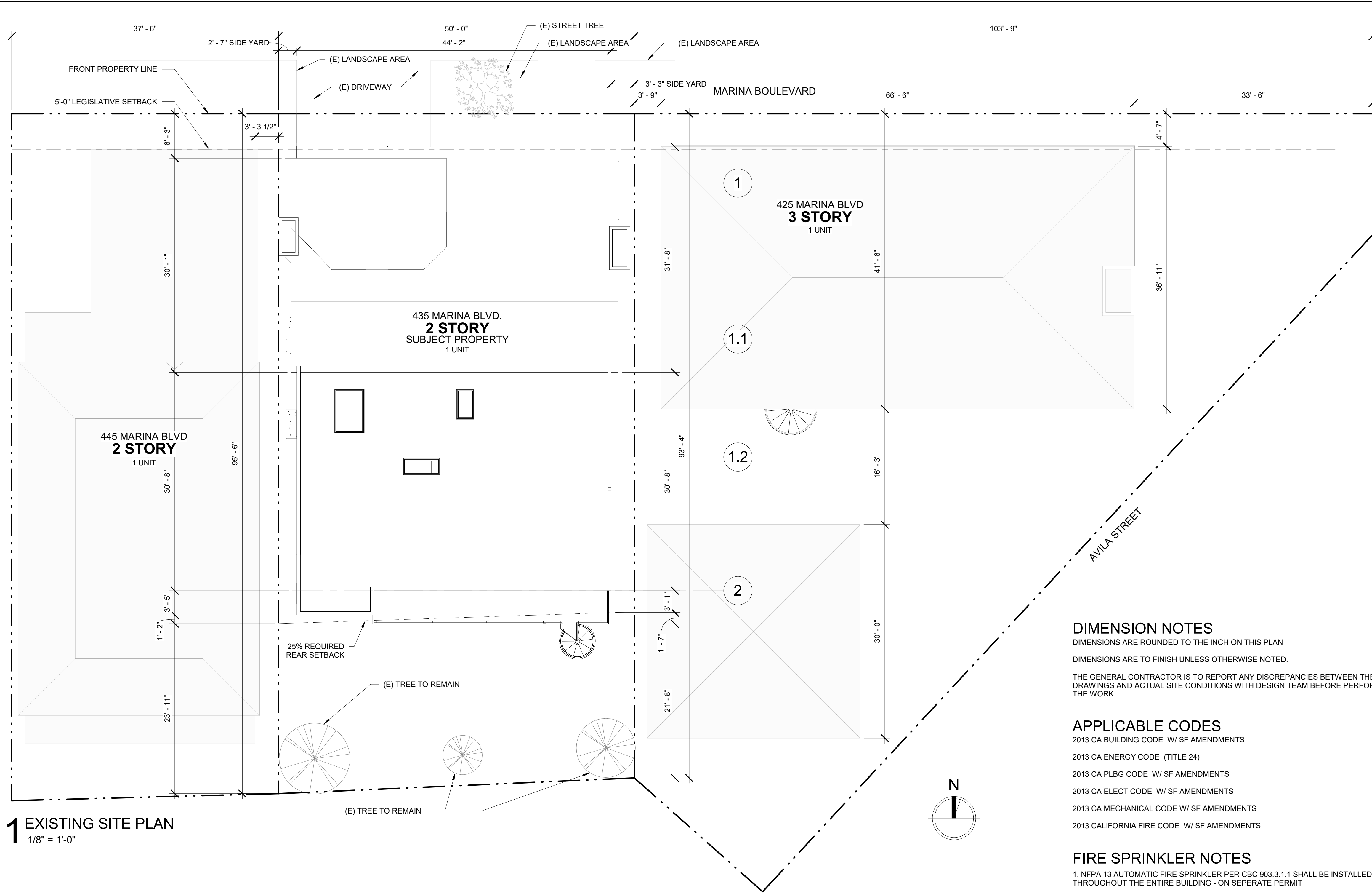
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EXHIBIT

A



1 EXISTING SITE PLAN
1/8" = 1'-0"

GENERAL NOTES

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL WORK PERFORMED COMPLIES WITH THE CBC, CFC, CMC, CPC, CEC, ALL LOCAL AMENDMENTS AND CONFORMS WITH INDUSTRY BEST PRACTICES
- THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES & REGULATIONS OF ALL GOVERNING AGENCIES
- THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE & MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CERTIFICATIONS SHALL NAME THE OWNER AS ADDITIONALLY INSURED.
- DRAWINGS & SPECIFICATIONS ARE INTENDED AS ASSISTANCE AND GUIDANCE BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS & SHALL BE CHECKED BY CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK INCLUDING BUT NOT LIMITED TO THE PROTECTION OF PEDESTRIANS & ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO OBTAIN AUTHORIZATION FROM THE OWNER OR THE OWNER'S REPRESENTATIVE MAY INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
- SHOP & FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN & WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST ESTABLISHED PRACTICE OF THE INDUSTRY.
- THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND REPORT DISCREPANCIES WITH THIS PLAN'S AUTHOR WHENEVER APPROPRIATE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE WORK PERFORMED AND FOR THE METHODS AND MATERIALS USED.

GENERAL NOTES (CONT.)

- CONTRACTOR SHALL SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. ANY OVERTIME REQUIRED SHALL BE INCLUDED IN THE BID. NO CHANGES TO THE CONTRACT AMOUNT WILL BE AUTHORIZED AS A RESULT OF OVERTIME INCURRED.
- CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING & PREVENT DUST & DEBRIS FROM EMANATING FROM THE CONSTRUCTION AREA. REMOVE AND LAWFULLY DISPOSE OF ALL RUBBISH AND DEBRIS RESULTING FROM CONTRACTOR'S OPERATIONS DAILY. REMOVE RUBBISH AND DEBRIS AS IT ACCUMULATES AND KEEP AREA BROOM CLEAN. CONTRACTOR SHALL NOT STORE RUBBISH ON SITE FOR ANY EXTENDED PERIOD OF TIME.
- WHEN WORK IS PERFORMED WITHIN OR IN PROXIMITY OF OCCUPIED BUILDINGS, THE CONTRACTOR SHALL EMPLOY ALL AVAILABLE TECHNIQUES FOR NOISE ABATEMENT, INCLUDING BUT NOT LIMITED TO MUFFLERED AIR COMPRESSORS AND NOISE SUPPRESSED PNEUMATIC & ELECTRIC TOOLS.
- CONTRACTOR SHALL PROVIDE PROTECTION TO FINISHES & FIXTURES TO REMAIN OR NEWLY INSTALLED FINISHES & FIXTURES SO AS TO KEEP THEM IN THEIR BEST POSSIBLE CONDITION AT DELIVERY OF THE CONCLUDED PROJECT.
- THE CONTRACTOR SHALL FAVOR GREEN BUILDING METHODS AND ENVIRONMENTALLY PREFERRED PRODUCTS AND MATERIALS.
- ALL PRODUCTS AND MATERIALS ARE TO BE STORED IN MOISTURE-FREE ENVIRONMENT DURING THE ENTIRE CONSTRUCTION PROCESS.
- THE CONTRACTOR SHALL INFORM THE OWNER AND THE OWNER'S REPRESENTATIVE OF THE TIMELINE DURING CONSTRUCTION IN SUCH A WAY THAT CONSTRUCTION DOCUMENTS AND ORDER SHEETS CAN BE UPDATED AND PRODUCED IN ADVANCE TO ASSIST THE CONTRACTOR.

GENERAL NOTES (CONT.)

- TO ENSURE GOOD COORDINATION, CONTRACTOR SHALL PROVIDE THIS PLAN'S AUTHOR APPROXIMATELY NO MORE AND NO LESS THAN 10 DAYS OF NOTICE TO REQUEST ROUGH PLUMBING FIXTURE ORDER SHEET, ROUGH ELECTRICAL FIXTURE SELECTION SHEET, APPLIANCE ORDER SHEET, FINISH PLUMBING ORDER SHEET, BATH HARDWARE ORDER SHEET, LIGHTING FIXTURES ORDER SHEET, GROUT AND PAINT/STAIN COLOR SELECTION SHEET, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER CONTRACTOR'S SUPERVISION AND SHALL MAINTAIN CURRENT CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
- FINAL LOCATIONS OF ALL EQUIPMENT, SERVICES, PANEL BOARDS, FIXTURES, SWITCHES AND OUTLETS, WATER HEATER, FURNACES, BOILERS, ETC. SHALL BE APPROVED BY THIS PLAN'S AUTHOR PRIOR TO INSTALLATION.
- ALL INSTALLED PLUMBING, MECHANICAL & ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY & FREE OF VIBRATION. SEE MANUFACTURERS' RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONSTRUCTION METHODS.
- CONTRACTOR IS TO DISCUSS WITH OWNER OR THE OWNER'S REPRESENTATIVE THE VARIOUS INSULATION OPTIONS PRIOR TO ENGAGING THE SUB, INCLUDING BUT NOT LIMITED TO BATS, FOAM AND CELLULOSE. THE OWNER OR THE OWNER'S REPRESENTATIVE SHOULD BE ENABLED TO VALUE-ENGINEER THEIR DECISION GIVEN THAT WHILE CONCEALED, INSULATION MATTERS IN THE LONG-TERM ENERGY PERFORMANCE OF THE BUILDING.
- CONTRACTOR IS TO ENSURE THAT INSULATION IS INSTALLED SO THAT IT IS THE MOST EFFECTIVE. PRIOR TO CLOSING UP THE WALLS, INSULATION INSTALLATION IS TO BE VERIFIED BY A THIRD-PARTY PROFESSIONAL AND/OR THIS PLAN'S AUTHOR.
- THE CONTRACTOR SHALL FURNISH TO THE OWNER AN OWNER MANUAL FOR THE HOME, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO MANUFACTURER'S INSTRUCTION, OPERATION & MAINTENANCE MANUALS FOR PRODUCTS & EQUIPMENT, SPECIAL TOOLS, ACCESSORIES, SPARE PARTS, ETC.

DIMENSION NOTES

DIMENSIONS ARE ROUNDED TO THE INCH ON THIS PLAN
DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED.

THE GENERAL CONTRACTOR IS TO REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS WITH DESIGN TEAM BEFORE PERFORMING THE WORK

APPLICABLE CODES

- 2013 CA BUILDING CODE W/ SF AMENDMENTS
- 2013 CA ENERGY CODE (TITLE 24)
- 2013 CA PLBG CODE W/ SF AMENDMENTS
- 2013 CA ELECT CODE W/ SF AMENDMENTS
- 2013 CA MECHANICAL CODE W/ SF AMENDMENTS
- 2013 CALIFORNIA FIRE CODE W/ SF AMENDMENTS

FIRE SPRINKLER NOTES

- NFPA 13 AUTOMATIC FIRE SPRINKLER PER CBC 903.3.1.1 SHALL BE INSTALLED THROUGHOUT THE ENTIRE BUILDING - ON SEPERATE PERMIT

GENERAL NOTES (CONT.)

- UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE CONTRACTOR SHALL DIRECT THE OWNER AND THE OWNER'S REPRESENTATIVES (ARCHITECT, DESIGNER, ENGINEERS) TO PREPARE PUNCH LIST OF CORRECTIONS.
- ALL WORK SHALL ACCOUNT FOR MATERIAL EXPANSION & CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS, ETC. SUFFICIENT TO PREVENT CRACKS, BUCKLING, WARPING OR OTHER DEFORMATION DUE TO HUMIDITY & TEMPERATURE CHANGE & NORMAL LOADING.
- MOISTURE BARRIERS AND MOISTURE REDUCTION SYSTEMS SHALL BE USED WHENEVER APPROPRIATE, ACCORDING TO INDUSTRY'S BEST PRACTICE AND/OR MANUFACTURER'S RECOMMENDATIONS.
- ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE.

MOISTURE PREVENTION NOTES

- SEAL ALL PLUMBING, ELECTRICAL AND OTHER PENETRATIONS OF WALLS AND FLOORS
- WATER-RESISTANT FLORING WITHIN 3 FEET OF ALL EXTERIOR DOORS
- WATER-RESISTANT FLORING IN THE KITCHEN, BATHROOM, LAUNDRY ROOMS
- CONVENTIONAL CLOTHES DRYERS EXHAUSTED DIRECTLY TO OUTDOORS
- USE ONLY STAINLESS STEEL METAL FLASHINGS BEHIND CEMENTATIONS
- INCLUDE NO WOOD-TO-CONCRETE CONNECTIONS OR SEPARATE CONNECTIONS WITH DIVIDERS



2 PERSPECTIVE FROM STREET

OWNER	
MANOUCH MOSHAYEDI 435 MARINA BLVD, SAN FRANCISCO, CA 94123	
TEAM	
ARCHITECT EAG STUDIO 2443 FILLMORE #215, SAN FRANCISCO, CA 94115 PHONE: (415) 300-0585 EMAIL@EAGSTUDIO.COM	ENGINEER GREG WALLACE 5865 DOYLE STREET EMERYVILLE CA 94608 PHONE: (510) 654-6903 GREGORY@GPWSE.COM
PROJECT DATA	
ADDRESS	435 MARINA BLVD SAN FRANCISCO, CA 94132
BLOCK	0417A
LOT	014
ZONING	RH-1
YEAR BUILT	1986
OCCUPANCY	R3
HEIGHT LIMIT	40X
LEGISLATIVE SETBACKS	5' - 0"
STORIES	2
RESTRICTIONS	NONE
TYPE	V

PROJECT FEATURES			
	EXISTING	NET NEW	PROJECT TOTALS
DWELLING UNITS	1	0	1
PARKING SPACES	2	0	2
NUMBER OF BUILDINGS	1	0	1
HEIGHT OF BUILDING(S)	25' - 3"	9' - 9"	35' - 0"
NUMBER OF STORIES	2	1	3
GROSS SQUARE FOOTAGE			
	EXISTING	NET NEW	PROJECT TOTALS
FIRST LEVEL	654	970	1624
SECOND LEVEL	2587	-70	2517
THIRD LEVEL	0	2572	2572
TOTAL GROSS SQUARE FOOTAGE	3241	3472	6713
GARAGE	1587	-792	795
SUMMARY			
NEW SQUARE FOOTAGE	3472		
LOT SIZE	4720		

SHEET LIST			
PAGE	SHEET NAME		
A1.0	SITE PLAN/COVER SHEET		
A1.1	PROPOSED SITE PLAN / BLOCK PLAN		
A2.0	EXISTING FLOOR PLANS		
A2.1	DEMOLITION CALCULATIONS		
A3.0	PROPOSED FLOOR PLANS		
A3.1	PROPOSED FLOOR PLANS		
A4.0	EXISTING ELEVATIONS		
A5.0	PROPOSED ELEVATIONS		
A6.0	SECTIONS		
A7.0	PHOTOGRAPHS		

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A3.1	PROPOSED FLOOR PLANS
A4.0	EXISTING ELEVATIONS
A5.0	PROPOSED ELEVATIONS
A6.0	SECTIONS
A7.0	PHOTOGRAPHS

SCOPE OF WORK

HORIZONTAL ADDITION, VERTICAL ADDITION OF ONE STORY AND ROOF DECK, NEW INTERIOR LAYOUT, NEW ELECTRICAL, NEW PLUMBING, NEW ROOF DECK, FINISHING OF GARAGE LEVEL.

FRAMING LUMBER

- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR - LARCH GRADED PER WCLB OR WWPA GRADING RULES AND MEET THE FOLLOWING MINIMUM GRADES:
ALL POSTS AND BEAMS AND HEADERS (44X AND THICKER) - #1
ALL ROOF JOISTS: (2X & 3X) - #2
ALL FLOOR JOISTS: (2X & 3X) - #2
ALL STUDS: (2X & 3X) - STUD GRADE
ALL PLATES AND MISCELLANEOUS LUMBER: CONSTRUCTION GRADE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. USE G185 DOUBLE GALVANIZED NAILS, BOLTS, AND HARDWEAR AT PREASURE TREATED LUMBER (SIMPSON Z-MAX)

#	REVISIONS	DATE
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MARINA BOULEVARD REMODEL
 435 MARINA BLVD.
 SAN FRANCISCO, CA
 94123
 BLOCK 0417A LOT 014

PROPOSED SITE PLAN / BLOCK PLAN

A1.1

HEATING AND VENTILATION NOTES

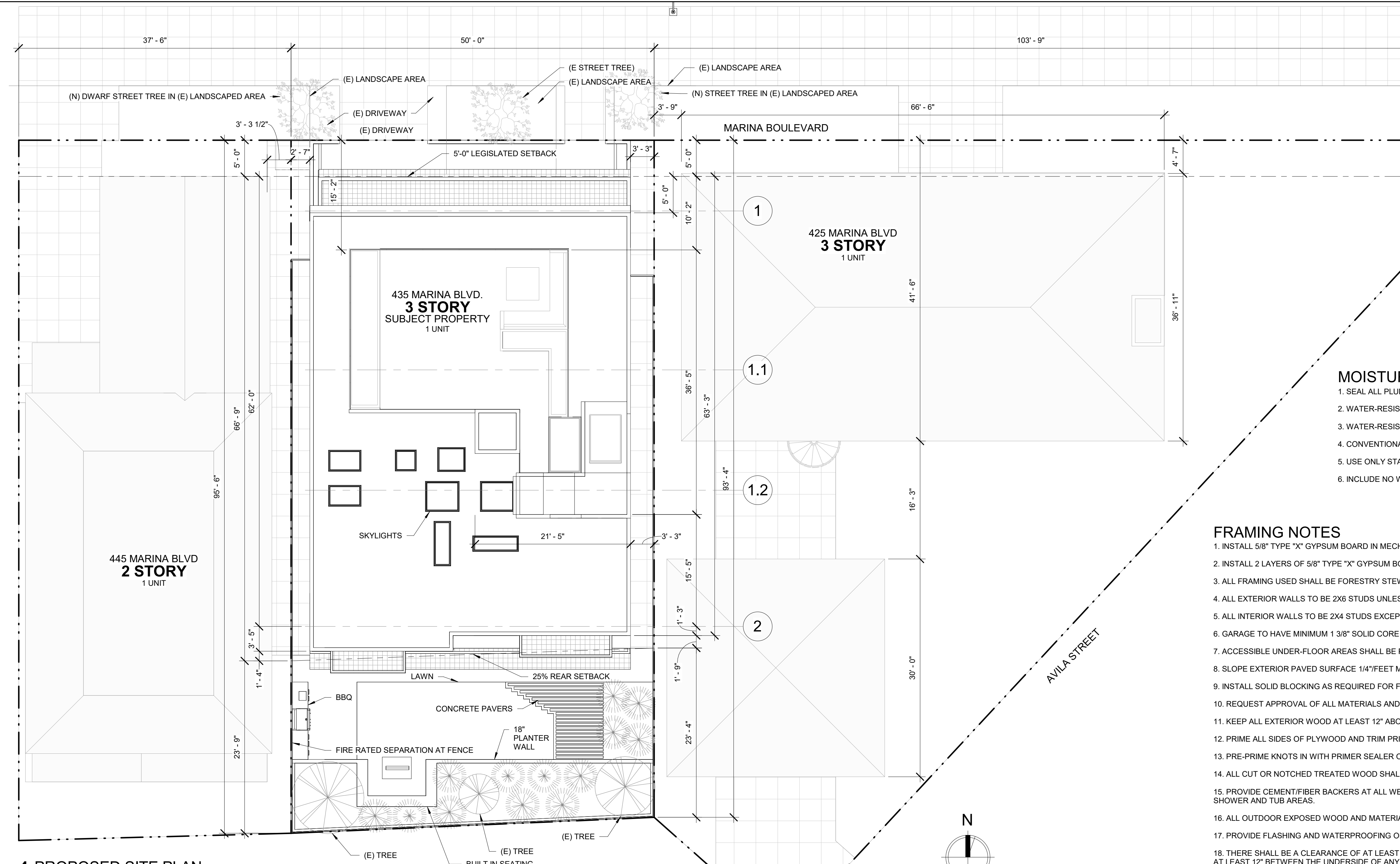
1. PROVIDE MIN 150 SQ INCHES EACH UPPER & LOWER COMBUSTION AIR CLEAR OPENINGS FOR WATER HEATER HEATERS, BOILERS, FURNACES AND OTHER GAS BURNING APPLIANCES.
2. LOCATE OPENINGS WITHIN 12" FROM FLOOR & 12" FROM CEILING.
3. PROVIDE ENERGY STAR VENTILATION FOR BATHROOMS AS SPECIFIED IN FIXTURE LIST
4. FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS INTO THE UNDER-FLOOR AREA WALLS NOT LESS THAN 1 SQUARE FOOT FOR EACH 25 LINEAR FEET OF EXTERIOR WALL. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. THEIR OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION.
5. INTERSTITIAL SPACES ARE NEVER TO BE USED TO SUPPLY OR RETURN FORCED AIR
6. PROVIDE GARAGE VENTILATION MINIMUM 200 SQUARE INCHES AS PER SFBC 406.1.3
7. WATER HEATER TO BE PROVIDED WITH A SEISMIC STRAP AND RAISED 18" ABOVE GARAGE FLOOR
8. ENSURE THAT COMBUSTION AIR MEETS REQUIREMENTS OF CMC CHAPTER 7
9. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
10. DUCT LEAKAGE TO THE OUTDOORS LIMITED TO 6 CFM / 100 SQ.FT.
11. THE REQUIRED VOLUME OF INDOOR COMBUSTION AIR FOR GAS WATER HEATER SHALL COMPLY WITH CMC 701.4.
12. GAS VENT PASSING THROUGH A ROOF SHALL EXTEND THROUGH THE ENTIRE ROOF FLASHING, ROOF JACK, OR ROOF THIMBLE AND SHALL BE TERMINATED WITH A LISTED TERMINATION CAP. PER MCM 802.6

MOISTURE PREVENTION NOTES

1. SEAL ALL PLUMBING, ELECTRICAL AND OTHER PENETRATIONS OF WALLS AND FLOORS
2. WATER-RESISTANT FLOORING WITHIN 3 FEET OF ALL EXTERIOR DOORS
3. WATER-RESISTANT FLOORING IN THE KITCHEN, BATHROOM, LAUNDRY ROOMS
4. CONVENTIONAL CLOTHES DRYERS EXHAUSTED DIRECTLY TO OUTDOORS
5. USE ONLY STAINLESS STEEL METAL FLASHINGS BEHIND CEMENTATIONS
6. INCLUDE NO WOOD-TO-CONCRETE CONNECTIONS OR SEPARATE CONNECTIONS WITH DIVIDERS

FRAMING NOTES

1. INSTALL 5/8" TYPE "X" GYPSUM BOARD IN MECHANICAL ALCOVE OF WATER HEATER FOR ONE HOUR RATED PARTITION AT WALLS AND CEILING.
2. INSTALL 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD AT ALL AREAS UNDER STAIRS, CEILINGS TO ACHIEVE 1-HR RATED PARTITIONS
3. ALL FRAMING USED SHALL BE FORESTRY STEWARDSHIP (FSC) COUNCIL DRY LUMBER
4. ALL EXTERIOR WALLS TO BE 2X6 STUDS UNLESS OTHERWISE NOTED
5. ALL INTERIOR WALLS TO BE 2X4 STUDS EXCEPT AT PLUMBING WALLS, BEHIND PLUMBING FIXTURES, OR AS SPECIFIED
6. GARAGE TO HAVE MINIMUM 1 3/8" SOLID CORE SELF-CLOSING INTERIOR DOOR TO HOUSE
7. ACCESSIBLE UNDER-FLOOR AREAS SHALL BE PROVIDED WITH AN 18" X 24" ACCESS PANEL.
8. SLOPE EXTERIOR PAVED SURFACE 1/4"/FEET MINIMUM AWAY FROM BUILDING
9. INSTALL SOLID BLOCKING AS REQUIRED FOR FINISH HARDWARE, CABINETS, TRIM, AND FIXTURES.
10. REQUEST APPROVAL OF ALL MATERIALS AND CHEMICALS USED DURING CONSTRUCTION AND DOCUMENT FOR BUILDING RECORDS
11. KEEP ALL EXTERIOR WOOD AT LEAST 12" ABOVE SOIL
12. PRIME ALL SIDES OF PLYWOOD AND TRIM PRIOR TO INSTALLATION.
13. PRE-PRIME KNOTS IN WITH PRIMER SEALER OR EQUIVALENT
14. ALL CUT OR NOTCHED TREATED WOOD SHALL BE SEALED WITH WOOD PRESERVATIVE SEALER
15. PROVIDE CEMENT/FIBER BACKERS AT ALL WET LOCATIONS. INSTALL ALL THE WAY TO CEILING. WATER-RESISTANT GYPSUM SHALL NOT BE USED IN SHOWER AND TUB AREAS.
16. ALL OUTDOOR EXPOSED WOOD AND MATERIALS ARE TO BE RATED FOR EXTERIOR USE
17. PROVIDE FLASHING AND WATERPROOFING ON ROOF, SIDING, OVERHANGS, DECKS AND PARAPETS
18. THERE SHALL BE A CLEARANCE OF AT LEAST 18" BETWEEN UNDERSIDE OF WOOD FLOOR JOISTS AND THE FINISHED SURFACE OF THE GROUND, AND AT LEAST 12" BETWEEN THE UNDERSIDE OF ANY OTHER WOOD HORIZONTAL FRAMING MEMBER AND THE FINISHED SURFACE OF THE GROUND.
19. *OPENINGS AROUND VENTS, PIPES, DUCTS, FLUES & SIMILAR AREAS WHICH ALLOW THE PASSAGE OF FIRE AT THE ROOF & FLOOR LEVELS SHALL BE FIRE STOPPED. FIRE STOPPING & BLOCKING SHALL COMPLY WITH CBC CHAPTER 7. THE EXTENT & COORDINATION OF FIRE BLOCKING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.*



1 PROPOSED SITE PLAN
1/8" = 1'-0"



2 BLOCK PLAN
1" = 60'-0"

ABBREVIATIONS

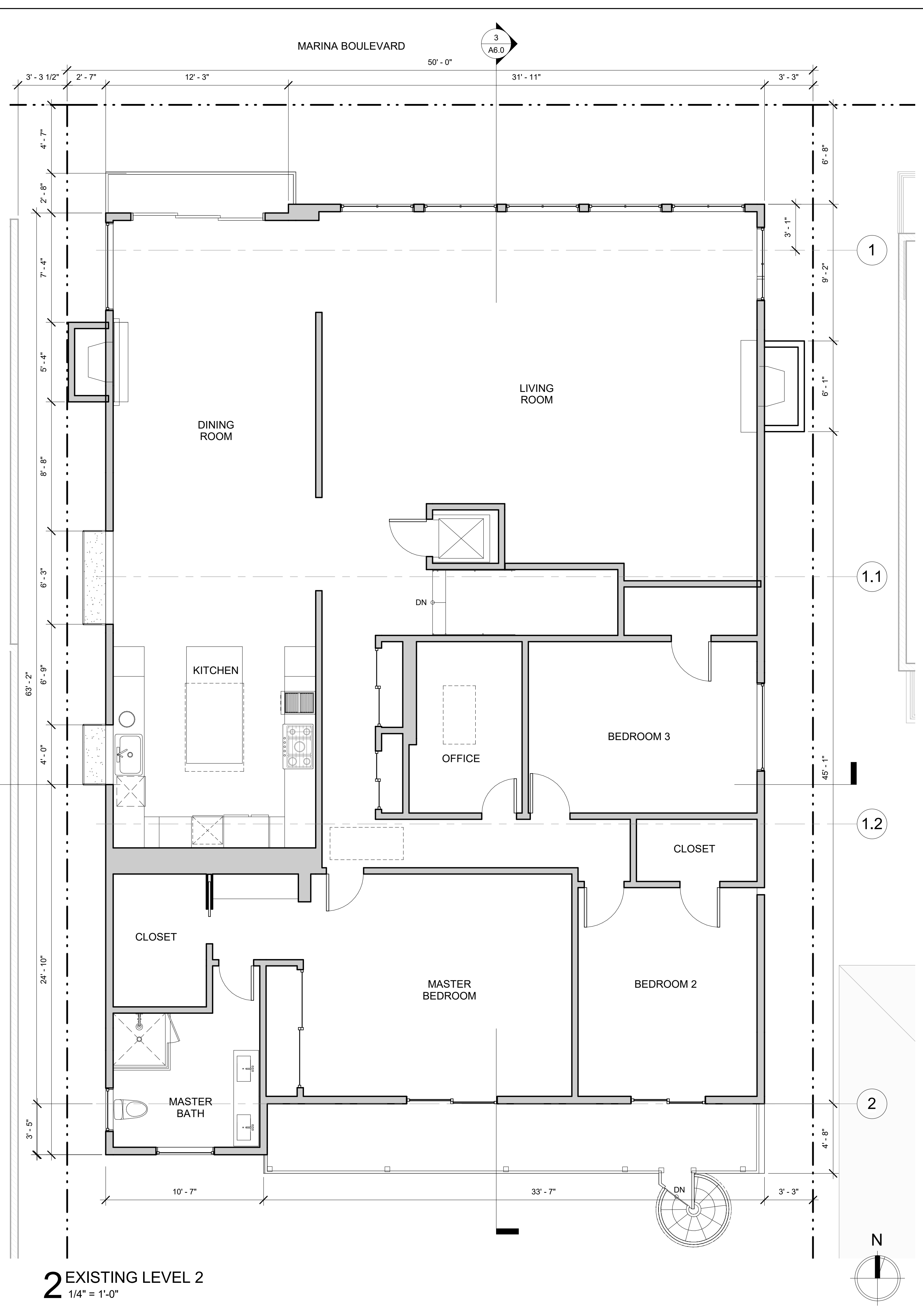
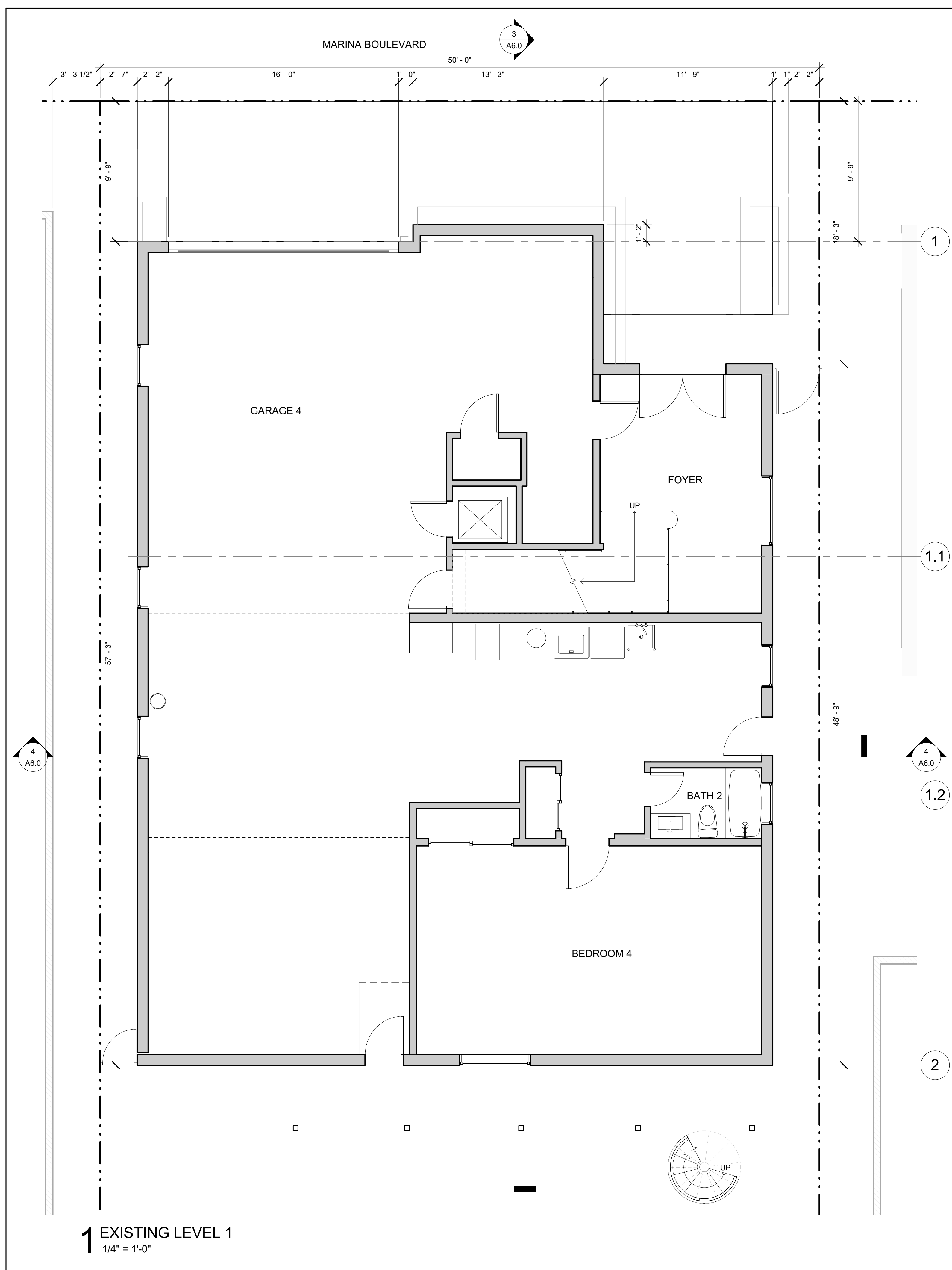
AB ANCHOR BOLT	DBL DRYER	GA GAUGE, GAGE	LAV LAVATORY	PLAS PLASTER	SCHED SCHEDULE	TOC TOP OF CONCRETE
AD AREA DRAIN	DOUBLE DIAMETER	GALV GALVANIZED	LB POUND	PLY PLYWOOD	SD SMOKE DETECTOR	TOP TOP OF PLATE
ADJ ADJUSTABLE	DIA DIAMETER	GC GENERAL CONTRACTOR	LN LINEAR	PNL PANEL	SEC SECTION	TOS TOP OF SLAB
ALT ALTERNATE	DIM DIMENSION	GD GARBAGE DISPOSAL	LN LINEAR	PR PAIR	SEE ELECTRICAL DRAWINGS	TOW TOP OF WALL
ARCH ARCHITECTURAL	DSP DISPOSAL	GFI GROUND FAULT INTERRUPT	LONG LONGITUDINAL	PRF PRE-FABRICATED	SHT SHEET, SHEETING	TV TELEVISION
ASPH ASPHALT	DIST DISTANCE	GFRK GLASS FIBER REINF CONC	LT LIGHT	PROJ PROJECT	SHR SHOWER	TYP TYPICAL
AUTO AUTOMATIC	DN DOWN	GL GLASS	LT WT LIGHT WEIGHT	PROP PROPERTY	SIM SIMILAR	UG UNDERGROUND
AVG AVERAGE	DR DOOR	GL BK GLASS BLOCK	MACH MACHINE	PSF POUNDS PER SQUARE FOOT	SK-L SKYLIGHT	UNEXC UNEXCAVATED
BD BOARD	DWG DRAWING	GLU LAM GLUE LAMINATED	MATL MATERIAL	PSI POUNDS PER SQUARE INCH	SLD SLIDING/SLIDER	UNFIN UNFINISHED
BIT BITUMINOUS	EP EXISTING CONDITION	GLZ GLAZING	MAX MAXIMUM	PT PRESSURE TREATED	SEE LANDSCAPE DRAWINGS	UL UNDERWRITER'S LAB
BLDG BUILDING	EJ EXPANSION JOINT	GRND GROUND	MECH MECHANICAL	PTD PAINT(ED)	SEE MECHANICAL DRAWINGS	UNO UNLESS OTHERWISE NOTED
BLK BLOCK	EL ELEVATION	GR GRADE	MEMB MEMBRANE	PVC POLYVINYL CHLORIDE	SOG SLAB ON GRADE	VAR VARIES
BLKG BLOCKING	ELEC ELECTRICAL	GSM GALVANIZED SHEET METAL	MFR MANUFACTURER	PWR POWER	SPD SEE PLUMBING DRAWINGS	VB VAPOR BARRIER
BM BEAM	ELEV ELEVATOR	GWD GYPSUM WALL BOARD	MIN MINIMUM	QT QUARRY TILE	SP SPACE	VCT VINYL COMPOSITION TILE
BMT BASEMENT	ENCL ENCLOSURE	HB HOSE BIB	MIR MIRROR	QTR QUARTER	SPE SPECIFICATION(S)	VENT VENTILATION
BTWN BETWEEN	EP ELECTRICAL PANEL	HC HOLLOW CORE	MISC MISCELLANEOUS	QTY QUANTITY	SPKR SPEAKER	VERT VERTICAL
BYND BEYOND	EQU EQUIVALENT	HD HEAD	MTD MOUNTED	RIS RISER	SQ SQUARE	VEST VESTIBULE
C CHANNEL	EXH EXHAUST	HDBD HEADBOARD	MTG MOUNTING	RA RETURN AIR	SQ FT SQUARE FOOT (FEET)	VG VERTICAL GRAIN
CAB CABINET	EXP EXPANSION	HDWD HARDWOOD	MTL METAL	RAD RADIUS	SO IN SQUARE INCH	VIF VERIFY IN FIELD
CEM CEMENT	EXT EXTERIOR	HDWE HARDWARE	(N) NEW	RCP REFLECTED CEILING PLAN	SSD SEE STRUCTURAL DRAWINGS	VOL VOLUME
CFL COMPACT FLUORESCENT	FAB FABRICATED	HG HORIZONTAL GRAIN	NA NOT APPLICABLE	RD ROOF DRAIN	SS STAINLESS STEEL	W WASHER
CJT CONTROL JOINT	FAST FASTEN(ER)	HM HOLLOW METAL	NIC NOT IN CONTRACT	REC RECESSED	ST STREET	W/ WITH
CL CENTER LINE	FD FOUNDATION	HR HORIZONTAL	NO NUMBER	REF REFERENCE	STD STANDARD	W/O WITHOUT
CLG CEILING	FF FINISHED FLOOR	HR HOUR	NSF NET SQUARE FOOTAGE	REFL REFLECTED	STL STEEL	WC WATER CLOSET
CLO CLOSET	FIN FINISH(ED)	HRS HOT ROLLED STEEL	NTS NOT TO SCALE	REFR REFRIGERATOR	STOR STORAGE	WD WOOD
CLR CLEAR	FIXT FIXTURE	HT HEIGHT	OBS OBSOLETE	REG REGISTER	STRUCT STRUCTURAL	WDW WINDOW
CMU CONCRETE MASONRY UNIT	FL FLOOR	HW HOT WATER	OC ON CENTER	REINF REINFORCE(D)(ING)(MENT)	SUSP SUSPENDED	WP WEATHERPROOF
CNTR COUNTER	FLG FLASHING	HWH HOT WATER HEATER	OD OUTSIDE DIAMETER	REQD REQUIRED	SW SWITCH	WPM WATERPROOF MEMBRANE
COL COLUMN	FLUR FLUORESCENT	ID INSIDE DIAMETER	OH OPPOSITE HAND	RES RESILIENT	SYM SYMMETRICAL	WT WEIGHT
CONC CONCRETE	FO FACE OF	IN INCH	OPER OPERABLE	RET RETURN	SYS SYSTEM	
CONT CONTINUOUS	FOC FACE OF CONCRETE	INCL INCLUDE INCLUDING	OPNG OPENING	REV REVISION	T TREAD	
CPT CARPET	FOF FACE OF FINISH	INS INSULATION	OPP OPPOSITE	RM ROOM	TBS TO BE SPECIFIED	
CRS COLD ROLL STEEL	FOS FACE OF STUD	INT INTERIOR	PAR PARALLEL	RND ROUND	T&B TOP AND BOTTOM	
CT CERAMIC TILE	FOW FACE OF WALL	JOIST JOIST	PART PARTITION	RO ROUGH OPENING	T&G TONGUE AND GROOVE	
CTP COUNTERTOP	FT FOOT, FEET	JT JOINT	PERF PERFORATED	RWL RAIN WATER LEADER	TEL TELEPHONE	
CUST CUSTOM	FTG FOOTING	KIT KITCHEN	PERIM PERIMETER	SASM SELF-ADHERING SHEET MEMBRANE	TEMP TEMPERED	
CW COLD WATER	FURN FURNACE	LAM LAMINATED	PL PLATE	SC SOLID CORE	THK THICKNESS	
	FUR FURRING	LDY LAUNDRY	PLAM PLASTIC LAMINATE	SCD SEE CIVIL DRAWINGS	THRU THROUGH	

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MARINA BOULEVARD REMODEL
435 MARINA BLVD.
SAN FRANCISCO, CA
94123
BLOCK 0417A LOT 014

**EXISTING FLOOR
PLANS**

A2.0

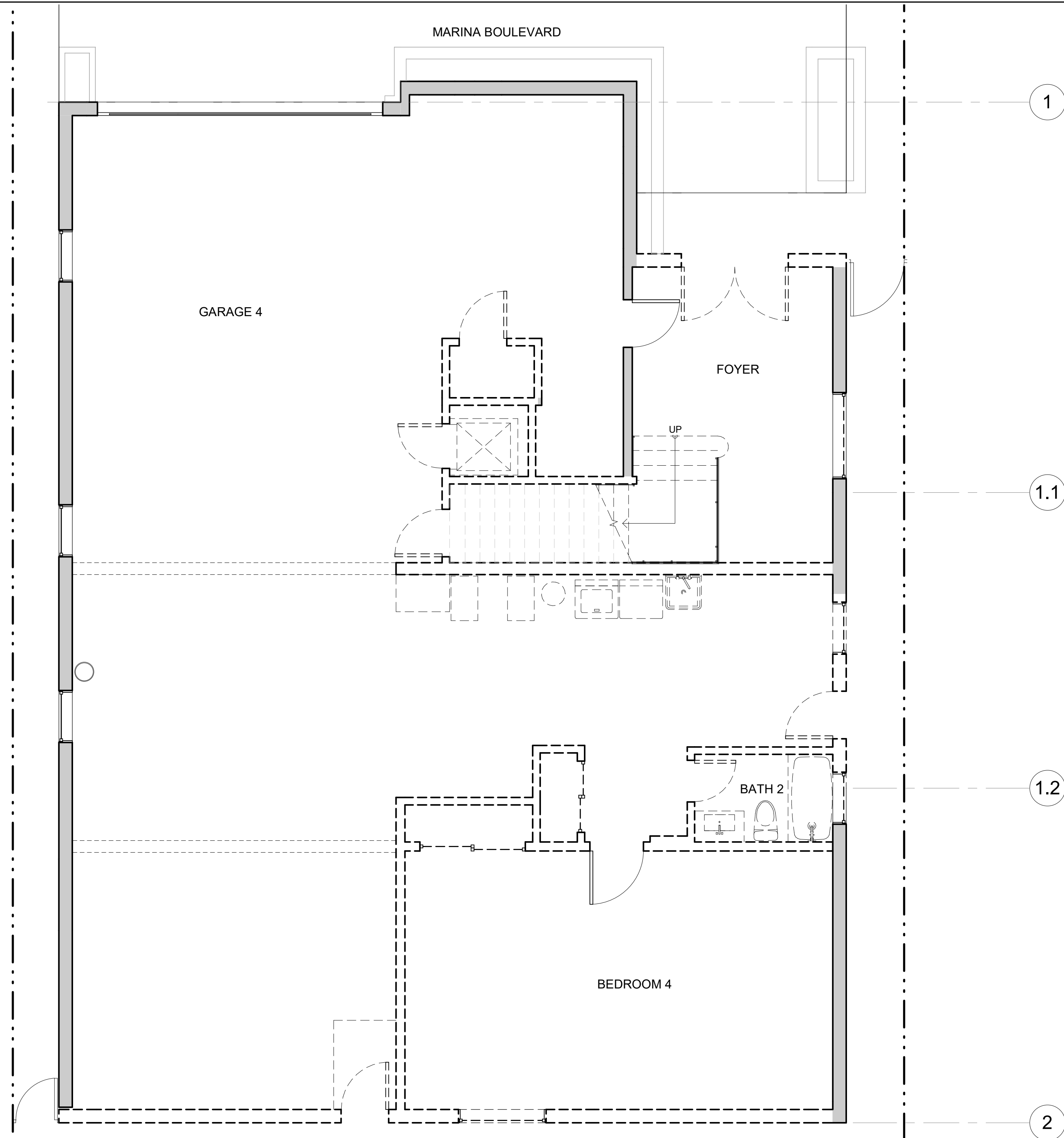


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**DEMOLITION
CALCULATIONS**

A2.1

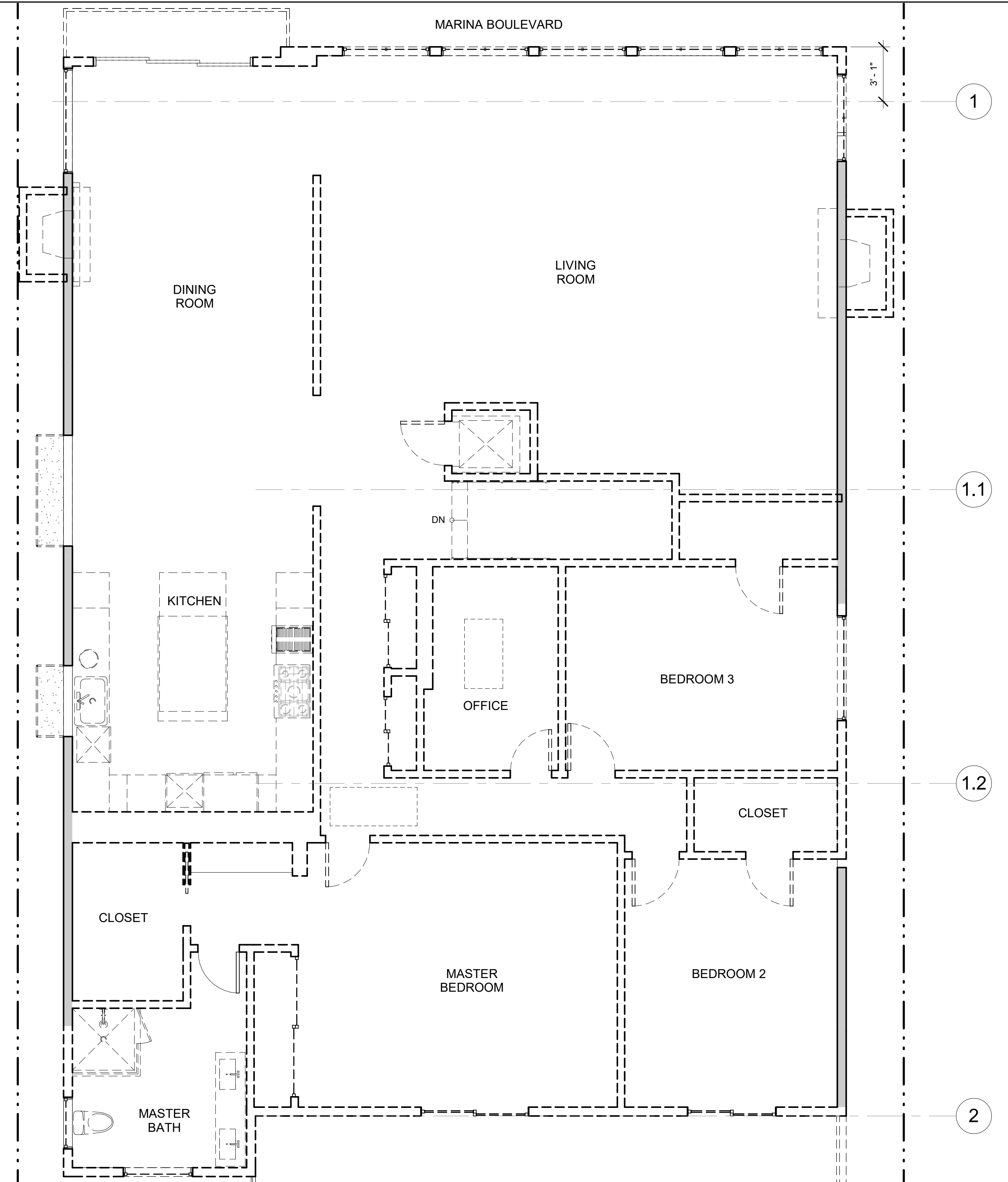


1 LEVEL 1 DEMO PLAN
1/4" = 1'-0"

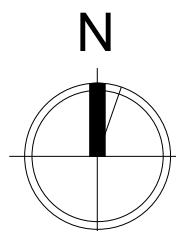
DEMOLITION NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND MEANS FOR TEMPORARY SHORING AS NEEDED TO PREVENT DAMAGE AND MINIMIZE SETTLEMENT OF EXISTING AND ADJACENT STRUCTURE(S).
2. EFFORTS SHALL BE EXERCISED TO PROTECT THE BUILDING FINISHES AND OTHER ITEMS TO REMAIN.
3. THE CONTRACTOR SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.
4. THE PROPERTY IS KEPT DRY FROM THE RAIN AND ALL BUILDING MATERIALS ARE TO BE STORED IN DRY AREAS.
5. ALL MATERIALS, FIXTURES, DEBRIS REMOVED DURING DEMOLITION ARE TO BE DOCUMENTED. EXTENSIVE EFFORTS ARE TO BE MADE TO RECYCLE EVERYTHING. THE DESIGN TEAM IS TO REVIEW SUBCONTRACTOR BID FOR DEMOLITION IN ADVANCE TO VERIFY ANTICIPATED DIVERSION RATE.
6. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL CONDUCT A PRE-DEMOLITION JOB SITE MEETING TO SCHEDULE THE WORK WITH THE DESIGN TEAM AND KEY SUBCONTRACTORS.
7. CONTRACTOR IS TO TAKE PRECAUTIONS TO ADEQUATELY PROTECT ANYONE FROM POSSIBLE INJURY.
8. DEMOLITION IS TO BE CONDUCTED SO AS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES.

PROJECT IS TANTAMOUNT TO DEMOLITION, SEE SUBMITTED APPRAISAL



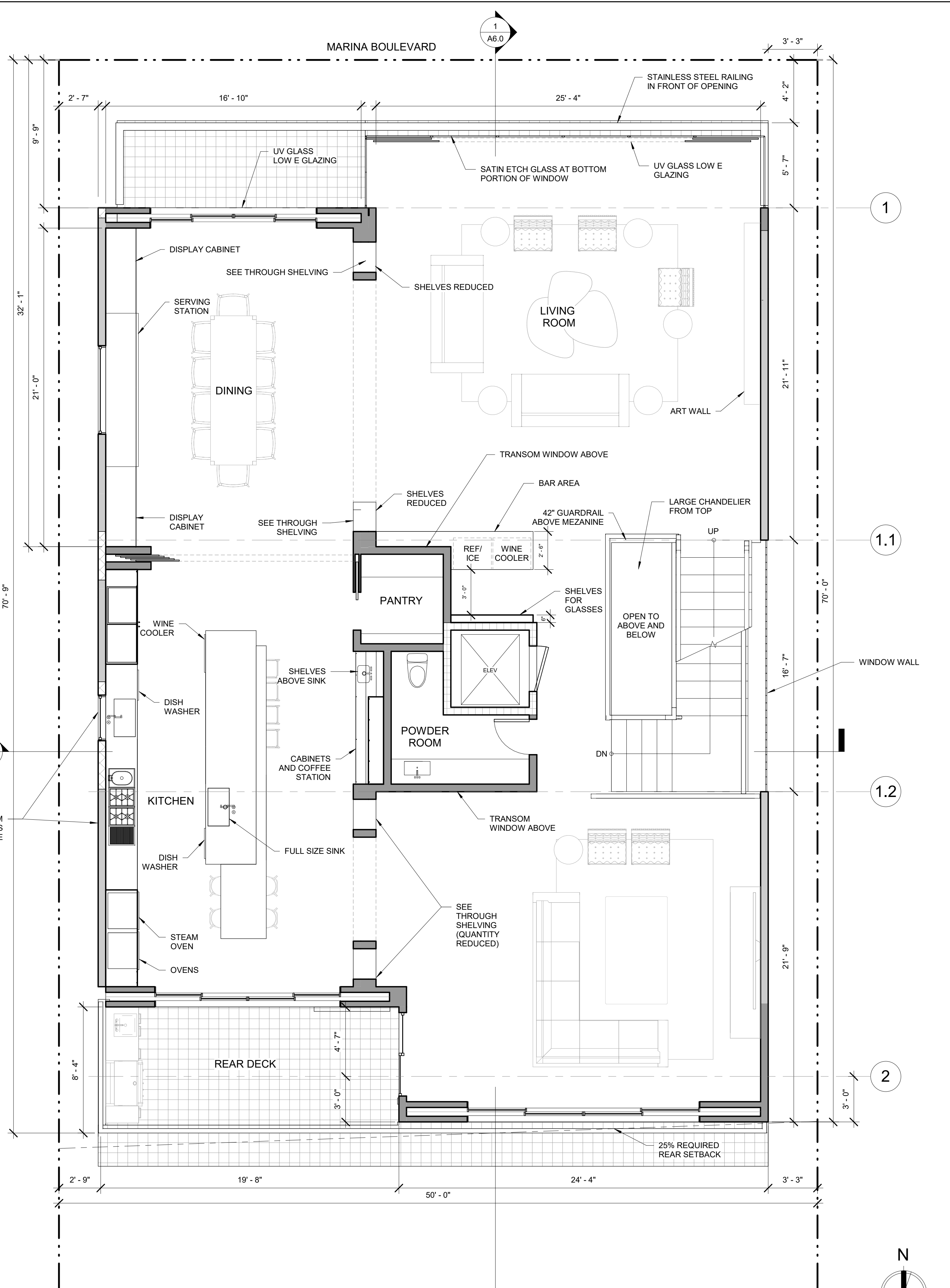
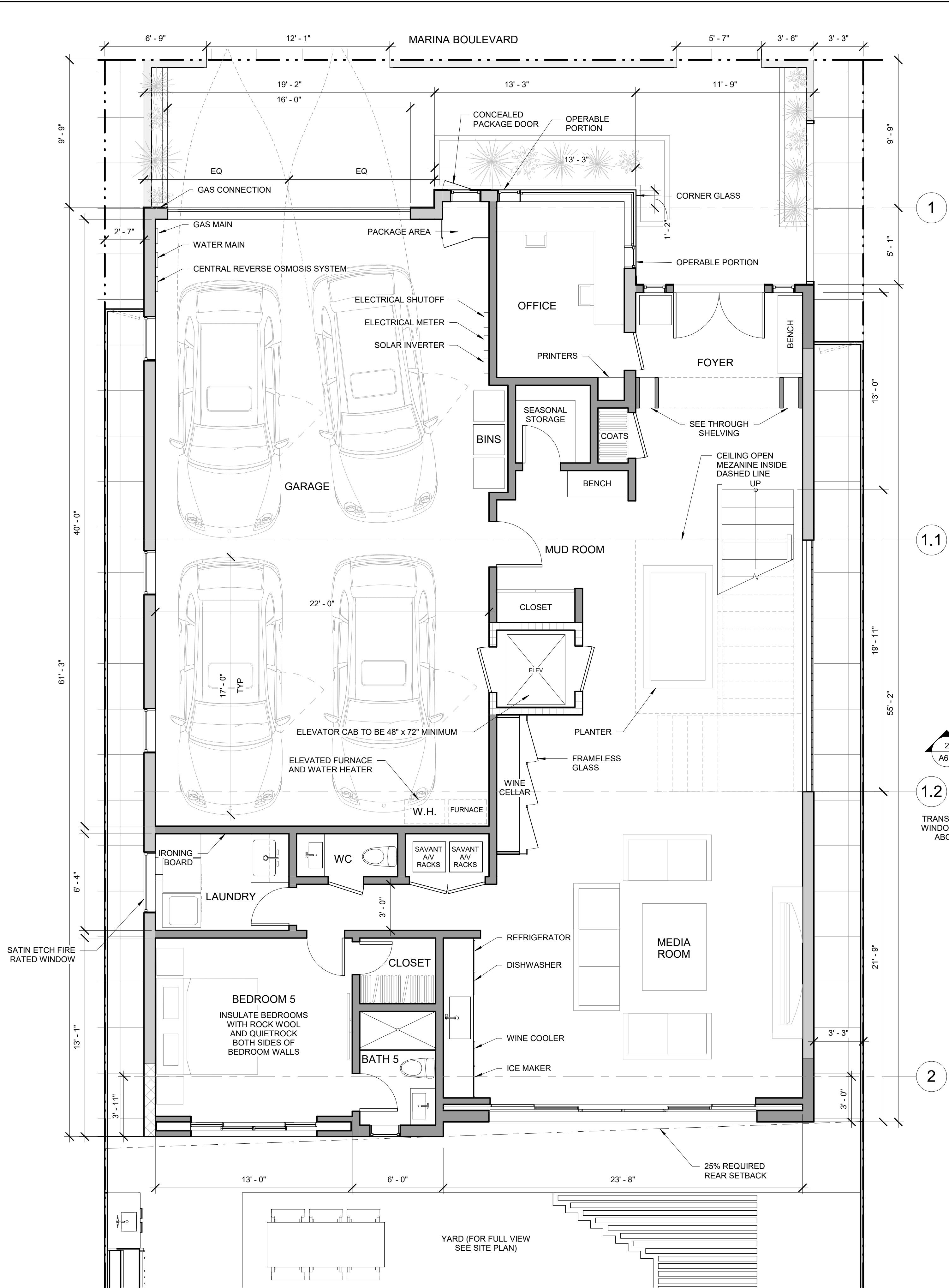
2 LEVEL 2 DEMO PLAN
1/4" = 1'-0"



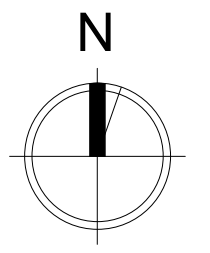
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**PROPOSED FLOOR
PLANS**



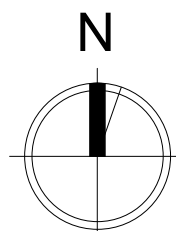
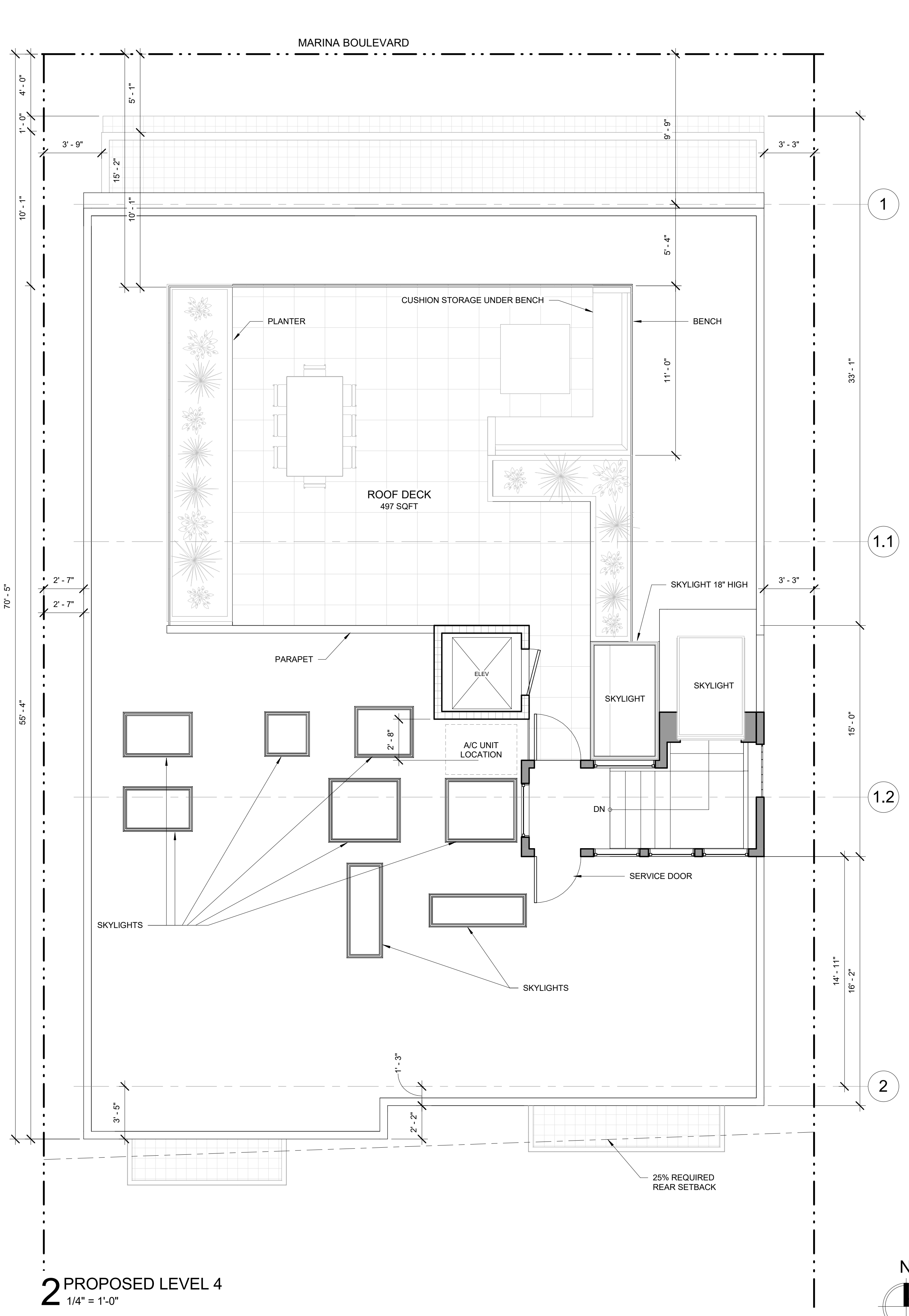
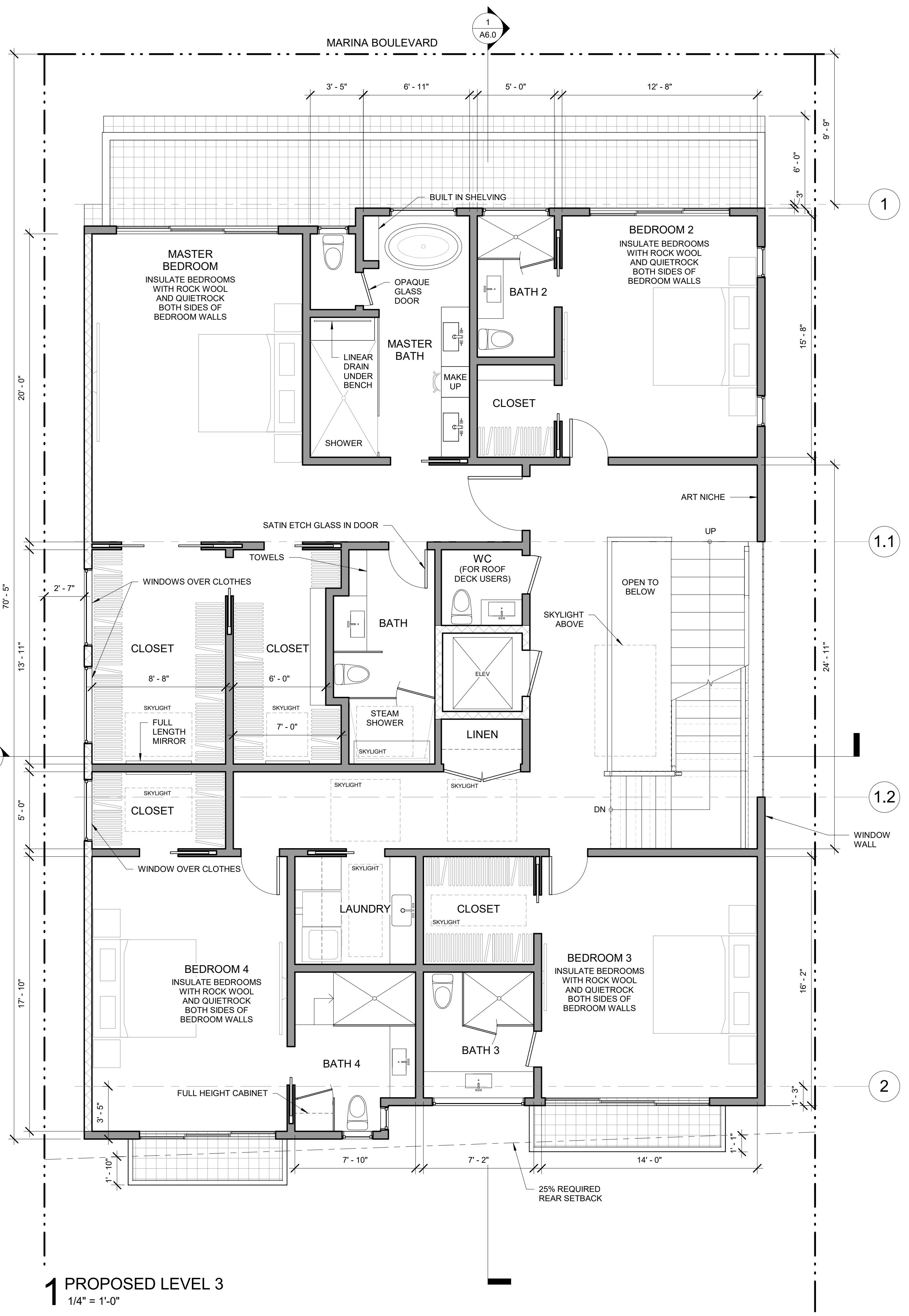
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#	REVISIONS	DATE
	INITIAL LAYOUT	04/29/15
	EEA APPLICATION	01/19/16
	RESPONSE TO RDT COMMENTS	04/05/16
	SETBACK CORRECTION	05/12/16

MARINA BOULEVARD REMODEL
435 MARINA BLVD.
SAN FRANCISCO, CA
94123
BLOCK 0417A LOT 014

**PROPOSED FLOOR
PLANS**

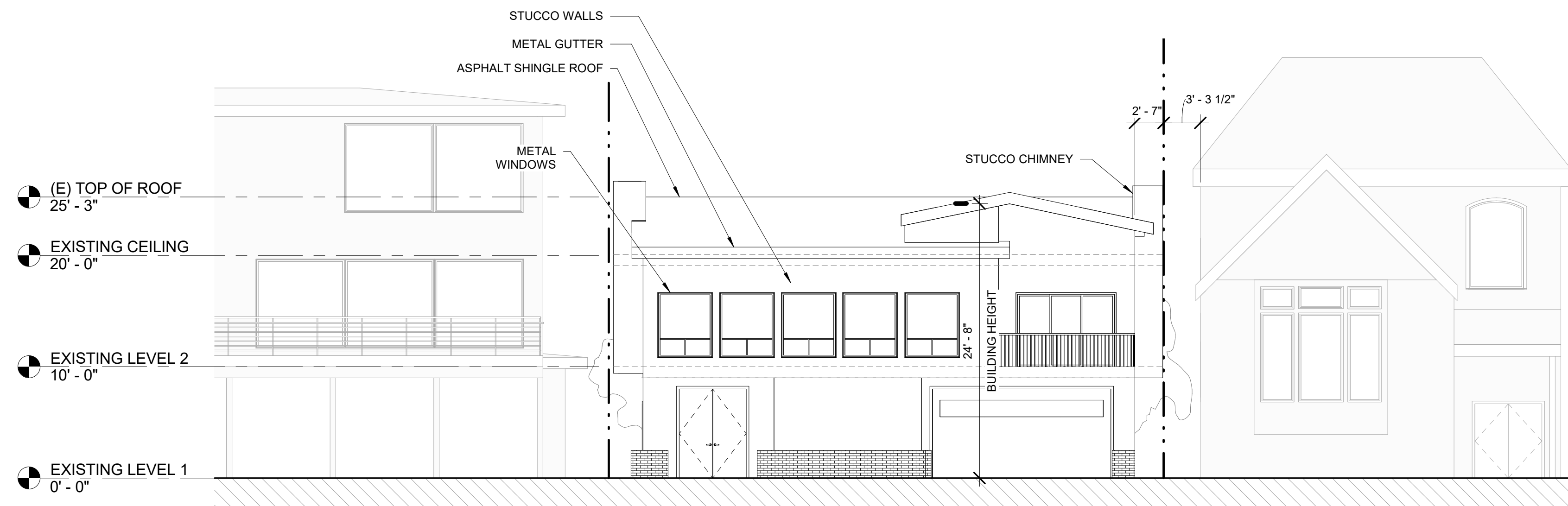


#	REVISIONS	DATE
	INITIAL LAYOUT	04/29/15
	EEA APPLICATION	01/19/16
	RESPONSE TO RPT COMMENTS	04/09/16
	SETBACK CORRECTION	05/12/16

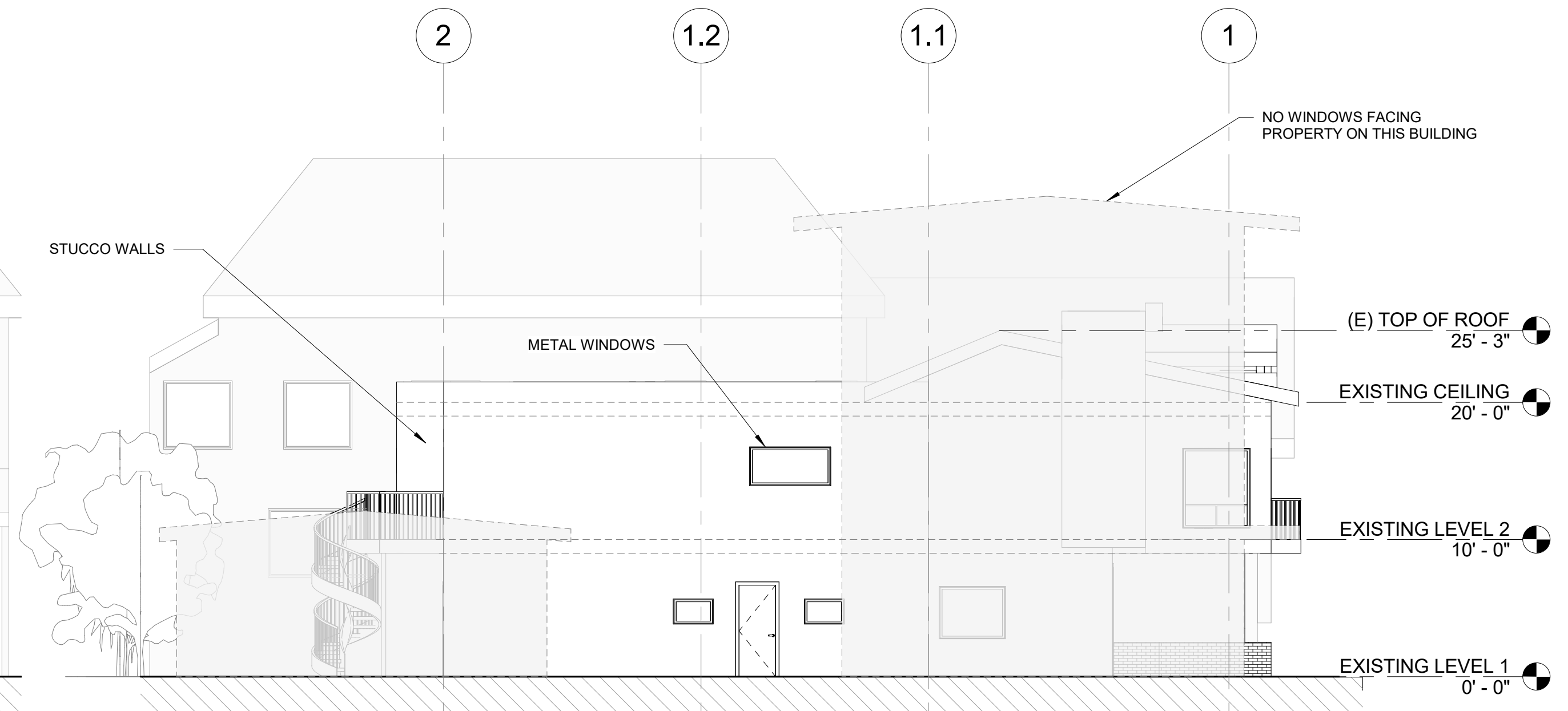
MARINA BOULEVARD REMODEL
 435 MARINA BLVD.
 SAN FRANCISCO, CA
 94123
 BLOCK 0417A LOT 014

EXISTING
ELEVATIONS

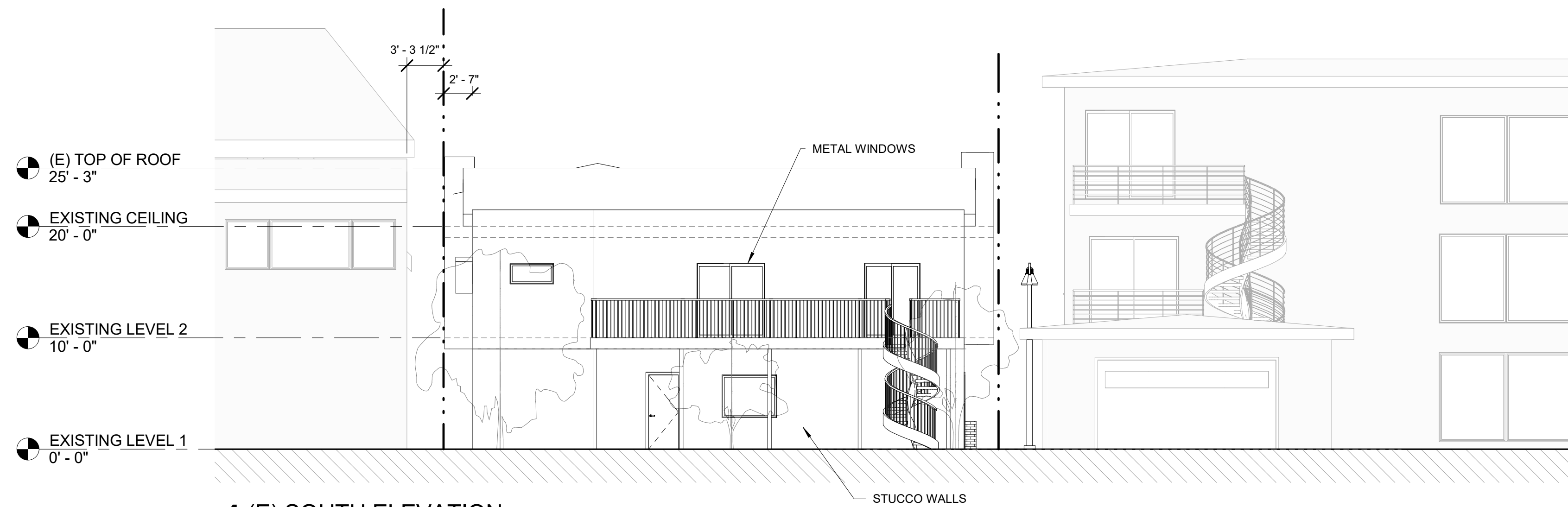
A4.0



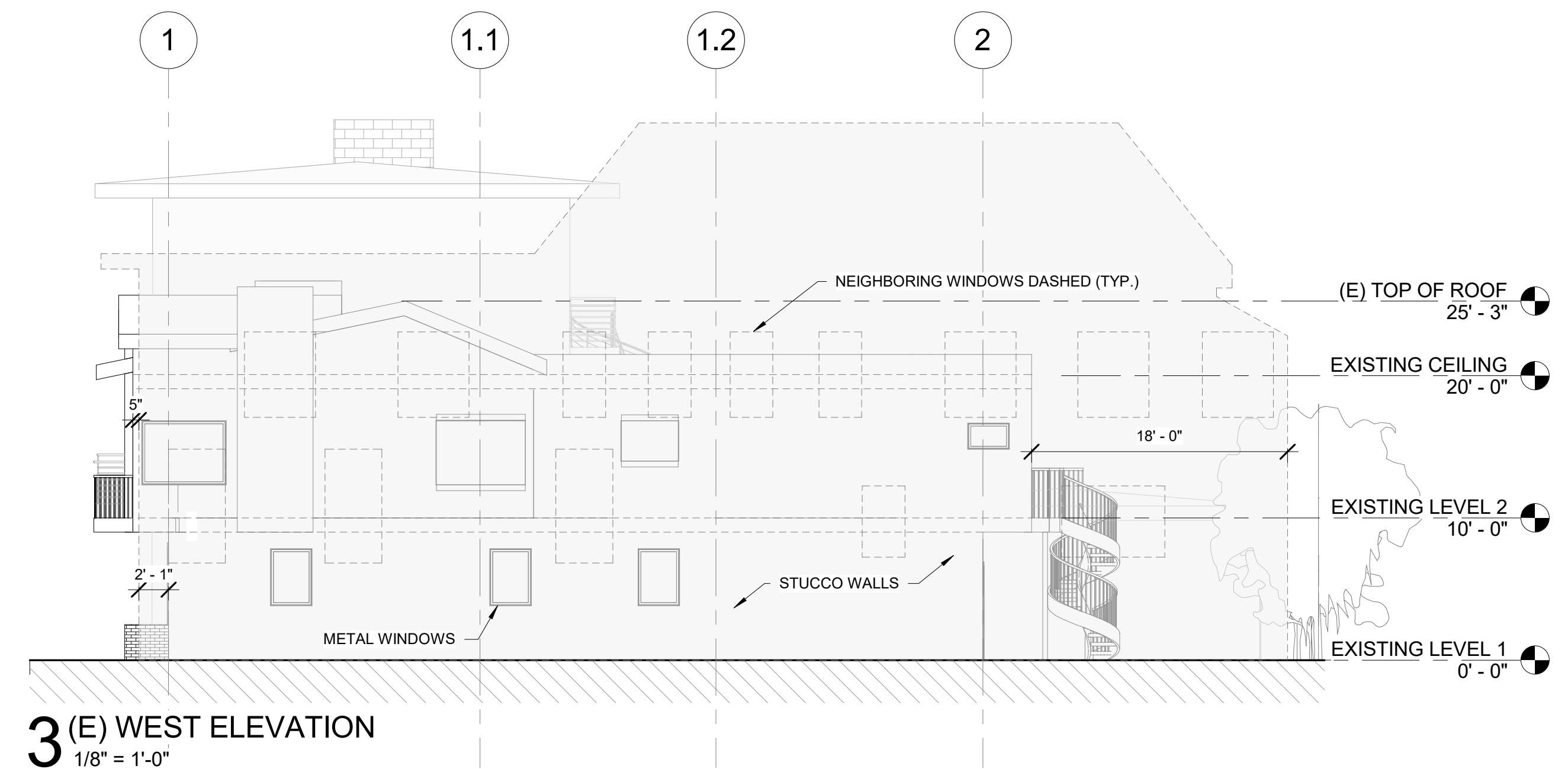
1 (E) NORTH ELEVATION
 1/8" = 1'-0"



2 (E) EAST ELEVATION
 1/8" = 1'-0"



4 (E) SOUTH ELEVATION
 1/8" = 1'-0"



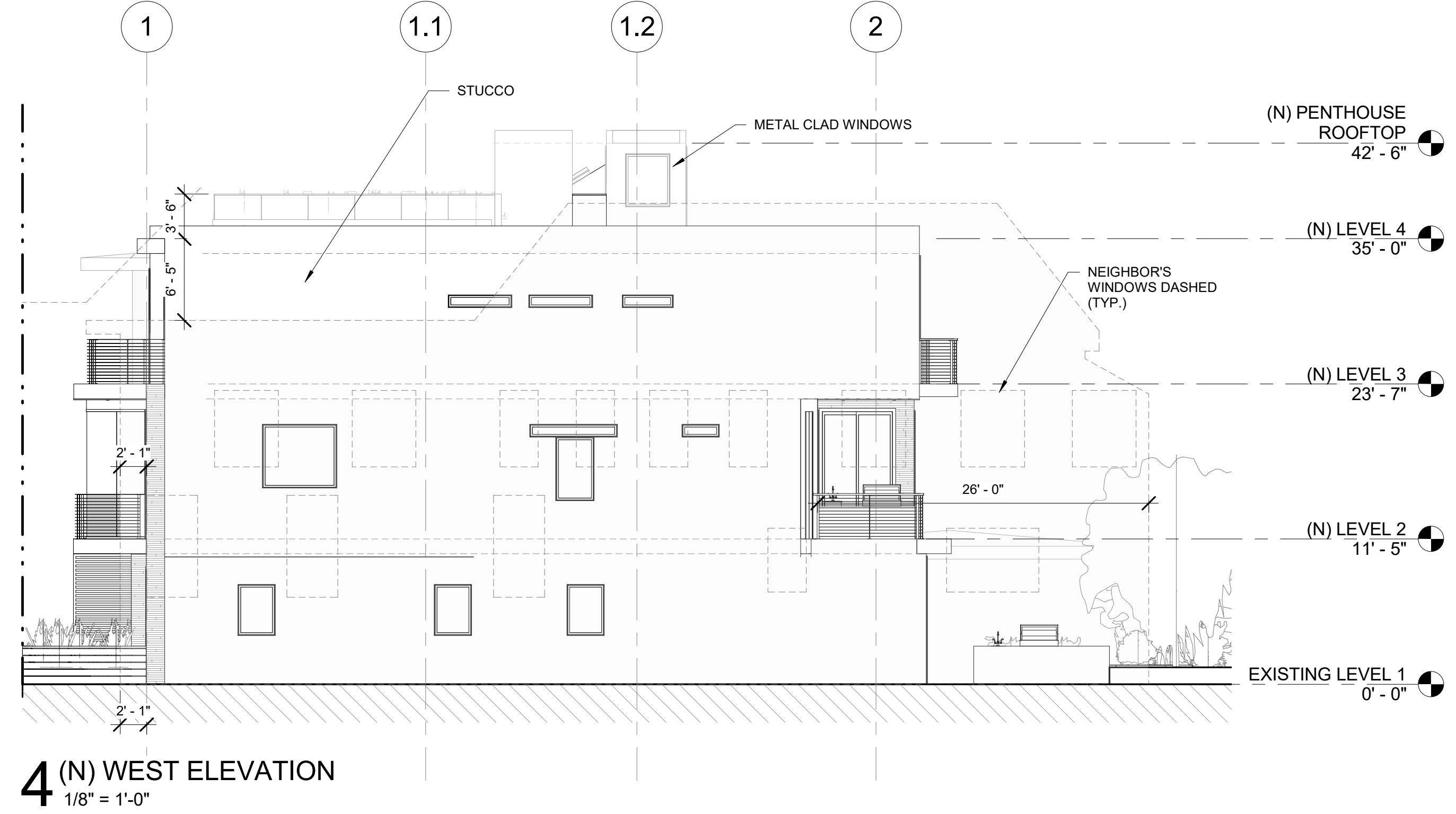
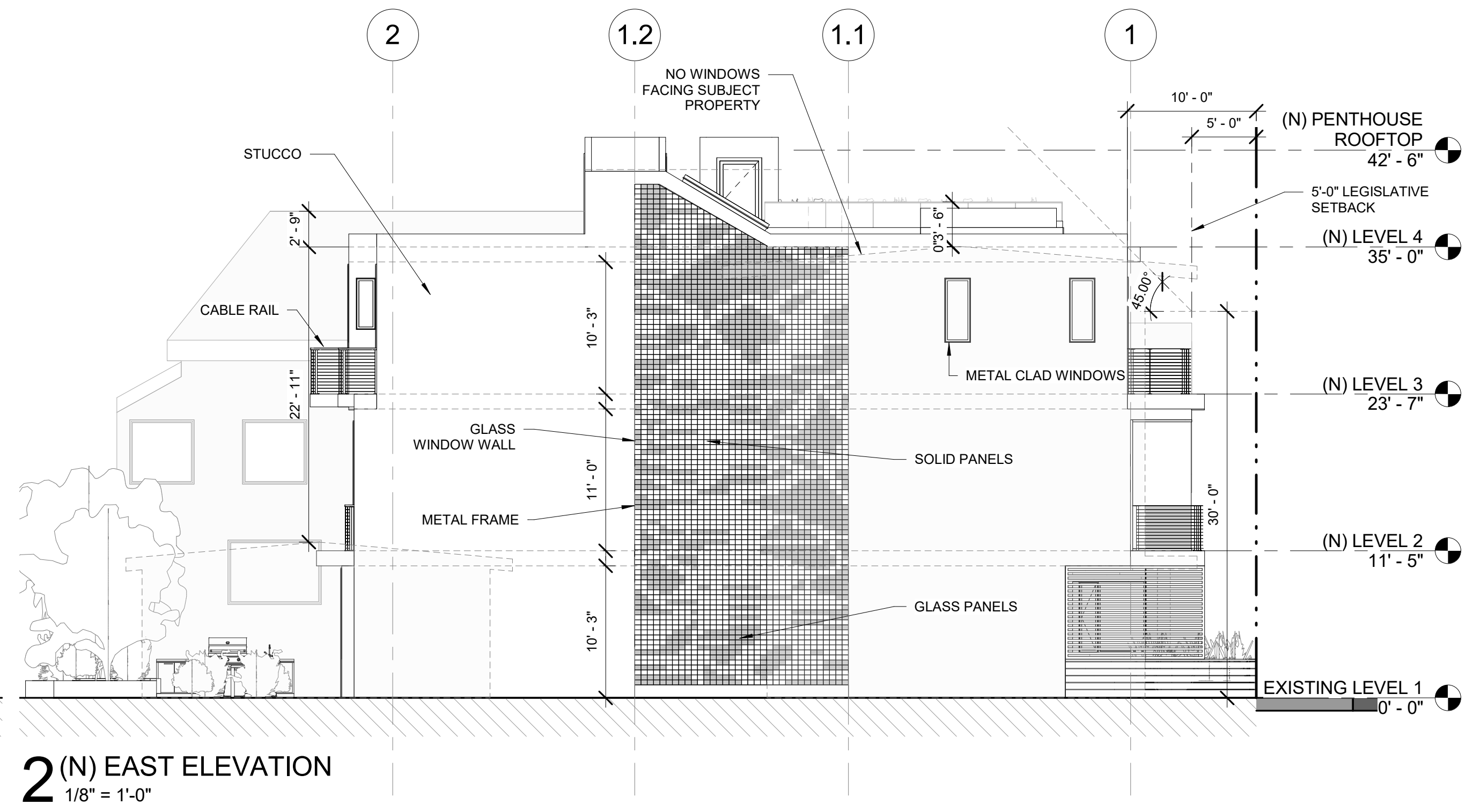
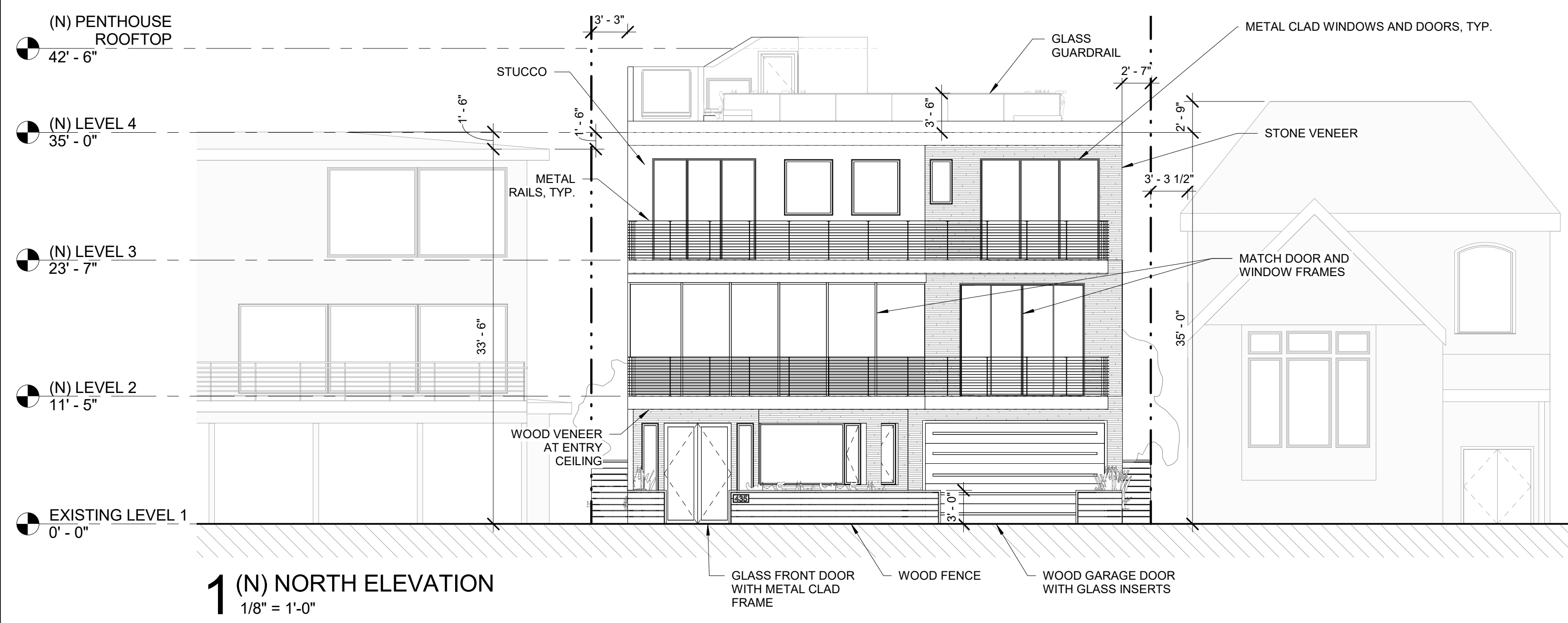
3 (E) WEST ELEVATION
 1/8" = 1'-0"

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MARINA BOULEVARD REMODEL
435 MARINA BLVD.
SAN FRANCISCO, CA
94123
BLOCK 0417A LOT 014

PROPOSED ELEVATIONS

A5.0

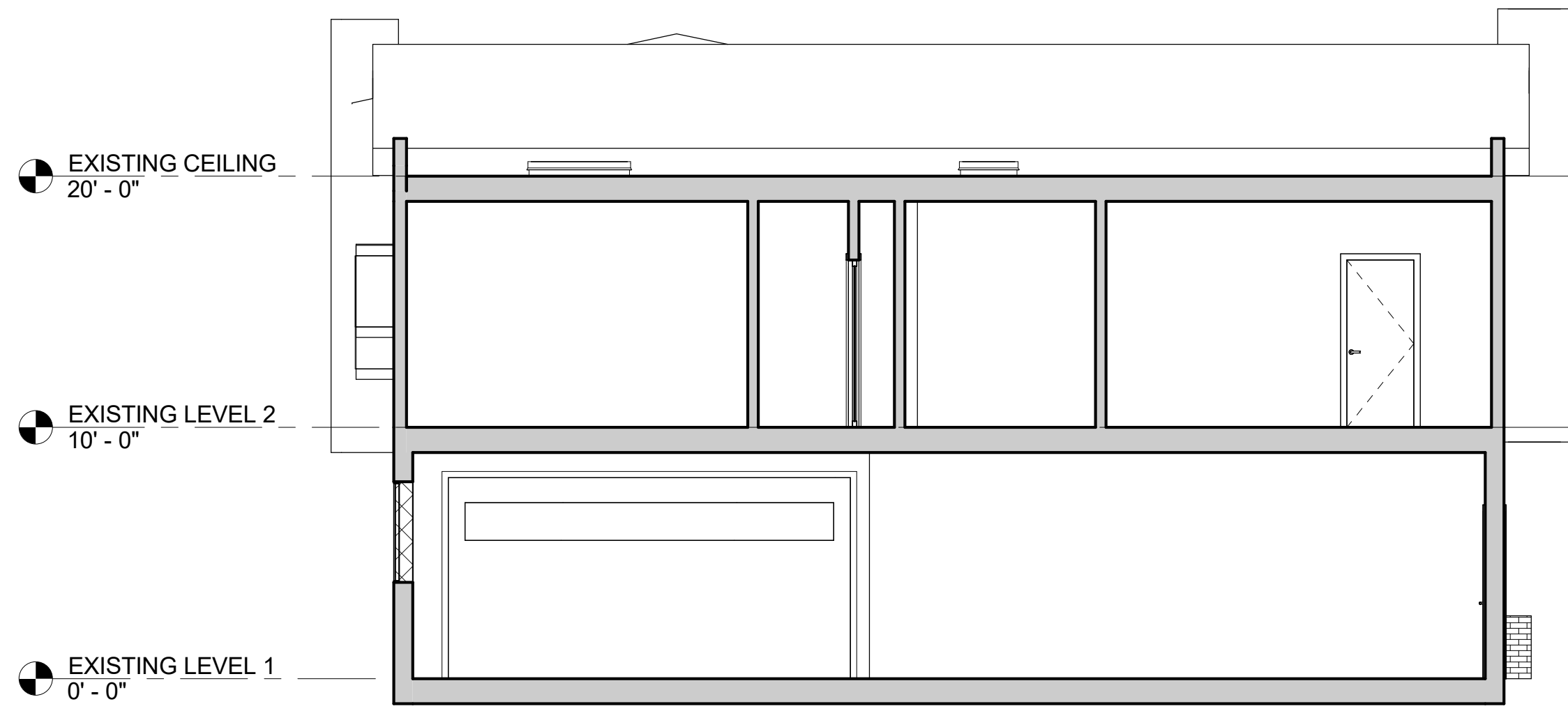


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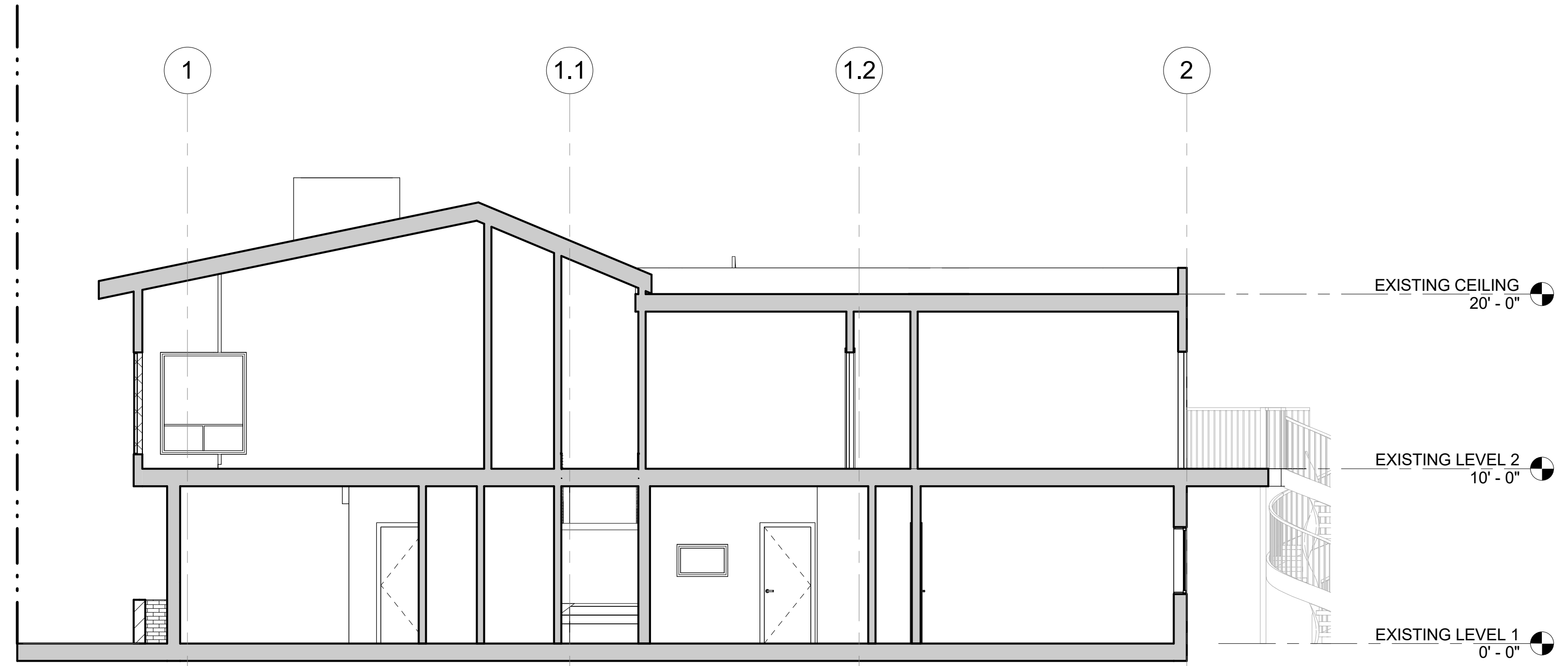
MARINA BOULEVARD REMODEL
 435 MARINA BLVD.
 SAN FRANCISCO, CA
 94123
 BLOCK 0417A LOT 014

SECTIONS

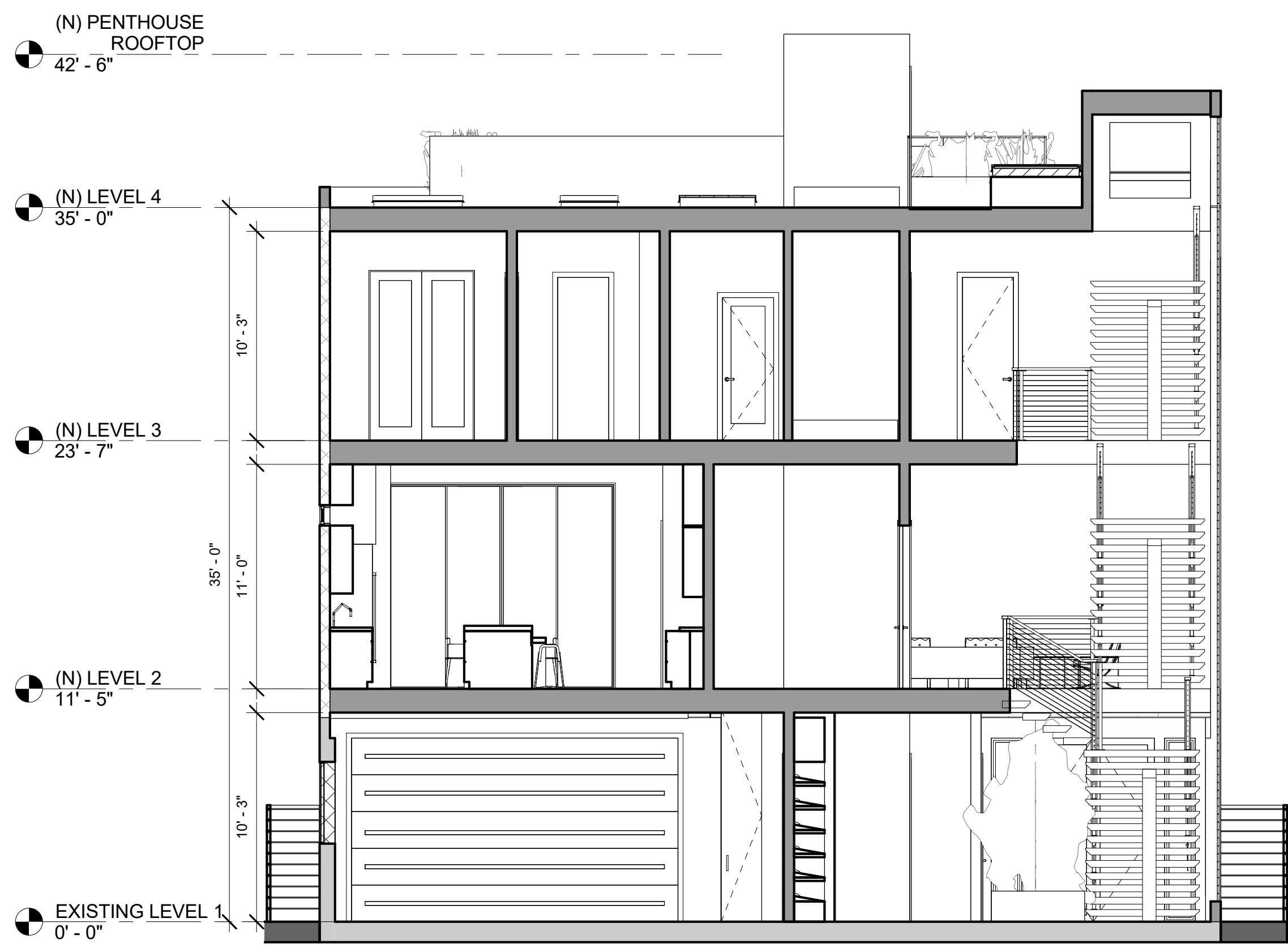
A6.0



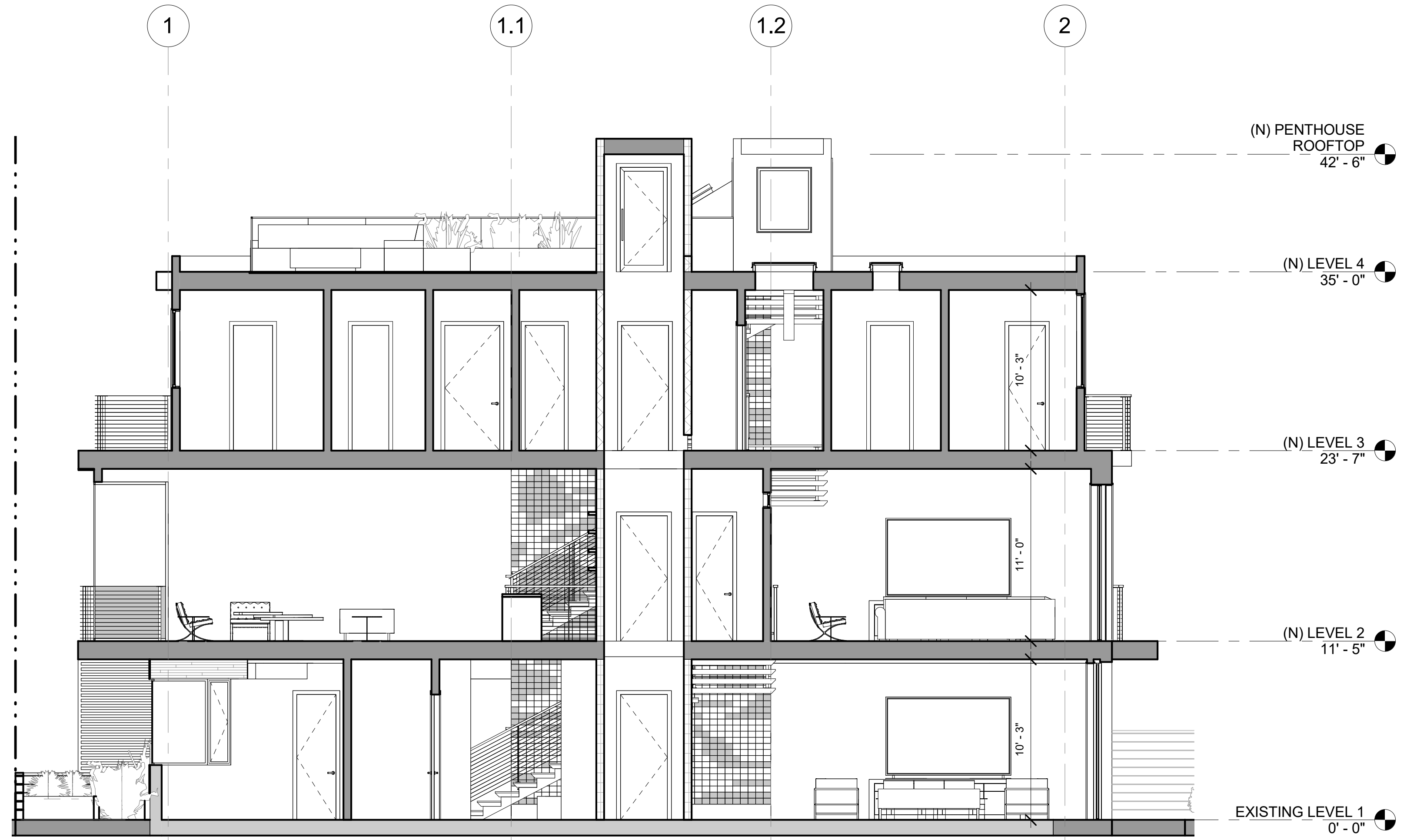
4 SECTION 2 EXISTING
3/16" = 1'-0"



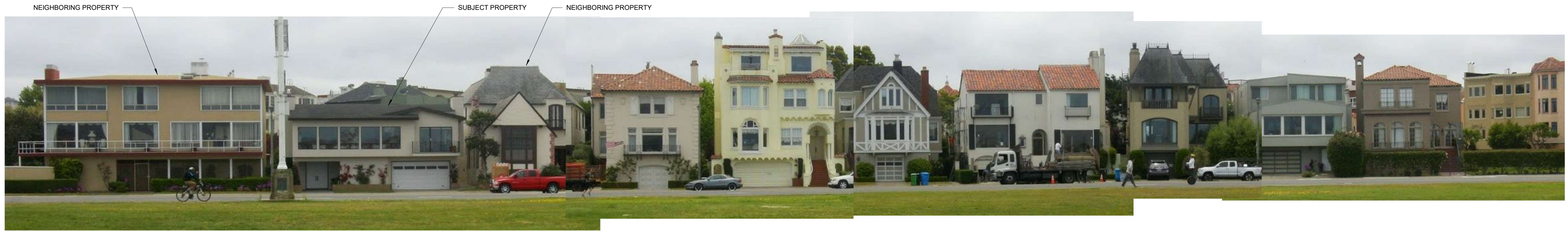
3 SECTION 1 EXISTING
3/16" = 1'-0"



2 SECTION 2
3/16" = 1'-0"



1 SECTION 1
3/16" = 1'-0"



STREET VIEW



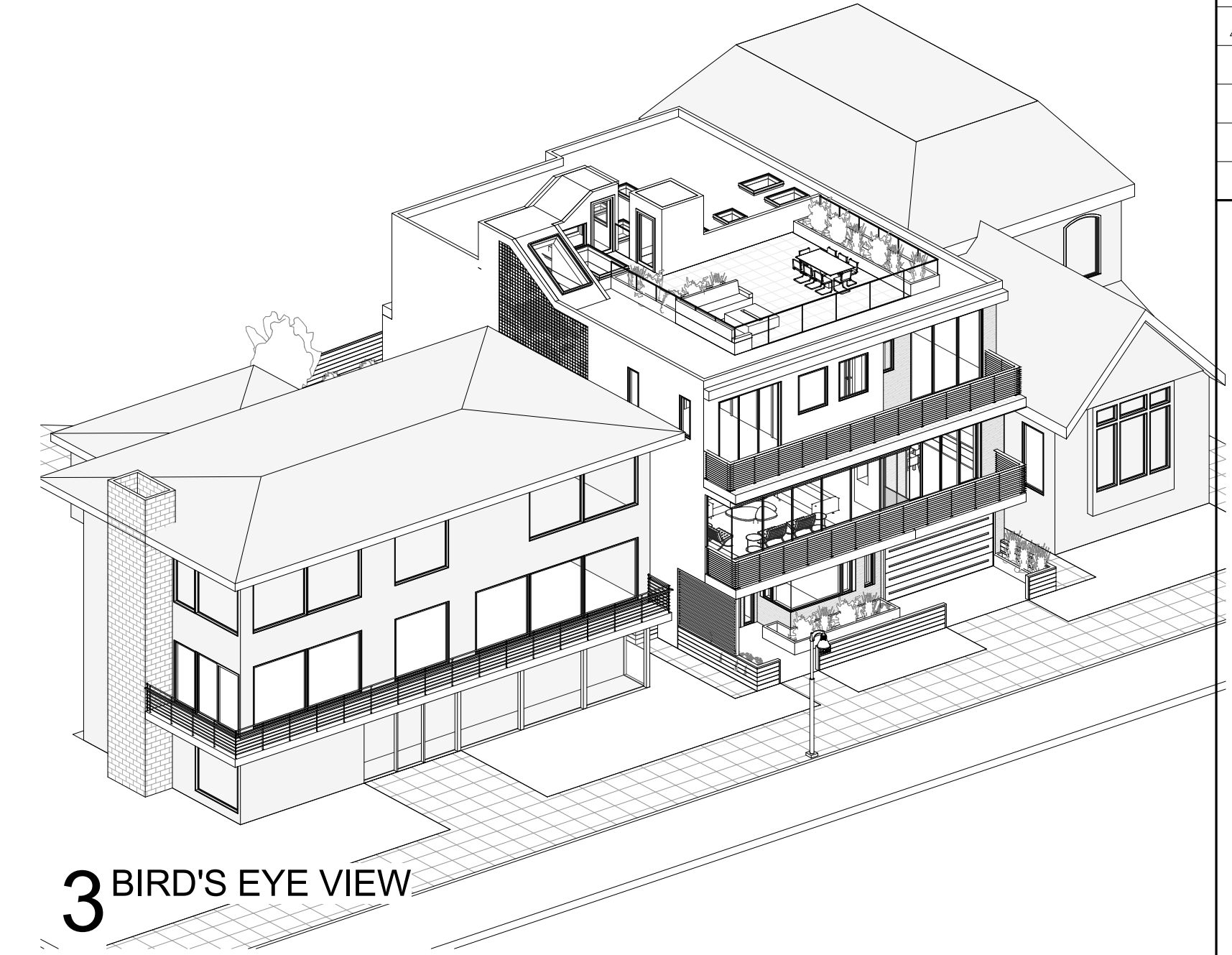
PHOTOS OF REAR OF BUILDING



SUBJECT PROPERTY



4 REAR FACADE



3 BIRD'S EYE VIEW



1 EXISTING STREET VIEW



2 PROPOSED STREET VIEW

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MARINA BOULEVARD REMODEL
435 MARINA BLVD.
SAN FRANCISCO, CA
94123
BLOCK 0417A LOT 014

PHOTOGRAPHS

A7.0

EXHIBIT
B

MOST HOMES ROUGHLY THE SAME HEIGHT

PROPOSED PROPERTY HEIGHT

SUBJECT PROPERTY



MIDCENTURY MODERN

TUDOR REVIVAL

SPANISH REVIVAL

MEDITERRANEAN REVIVAL

MEDITERRANEAN REVIVAL

EDWARDIAN

TUDOR REVIVAL

MEDITERRANEAN REVIVAL

MIDCENTURY MODERN

LEGEND

- PORTION OF NEIGHBORING BUILDING HIGHER THAN PROPOSED SUBJECT ADDITION
- GAP BETWEEN NEIGHBORING BUILDING HEIGHT AND THE HIGHT OF THE PROPOSED SUBJECT ADDITION
- PROPOSED BUILDING HEIGHT

NEARBY BUILDINGS SURVEYED = 9
(SUBJECT EXCLUDED)

ABOVE PROPOSED ADDITION	7
BELOW PROPOSED ADDITION	2

MOST TYPICAL AT STREETFRONT

EXHIBIT
C

THE ONLY BUILDING ON THE STREETFACE TO BE SHALLOWER THAN THE PROPOSED PROJECT IS ALSO THE ONLY 4 STORY BUILDING ON THE STREETFACE



SUBJECT PROPERTY

PROPOSED PROPERTY DEPTH

APPELLANTS' HOME

BUILDING LEGEND

- PORTION OF NEIGHBORING BUILDING DEEPER THAN PROPOSED SUBJECT ADDITION
- PORTION OF NEIGHBORING YARD BETWEEN REAR WALL AND PROPOSED SUBJECT ADDITION
- PROPOSED REAR WALL

NEARBY BUILDINGS SURVEYED = 9 (SUBJECT EXCLUDED)	
DEEPER THAN SUBJECT PROPOSED ADDITION	8
SHALLOWER THAN SUBJECT PROPOSED ADDITION	1

MOST TYPICAL AT STREETFRONT

EAG
STUDIO

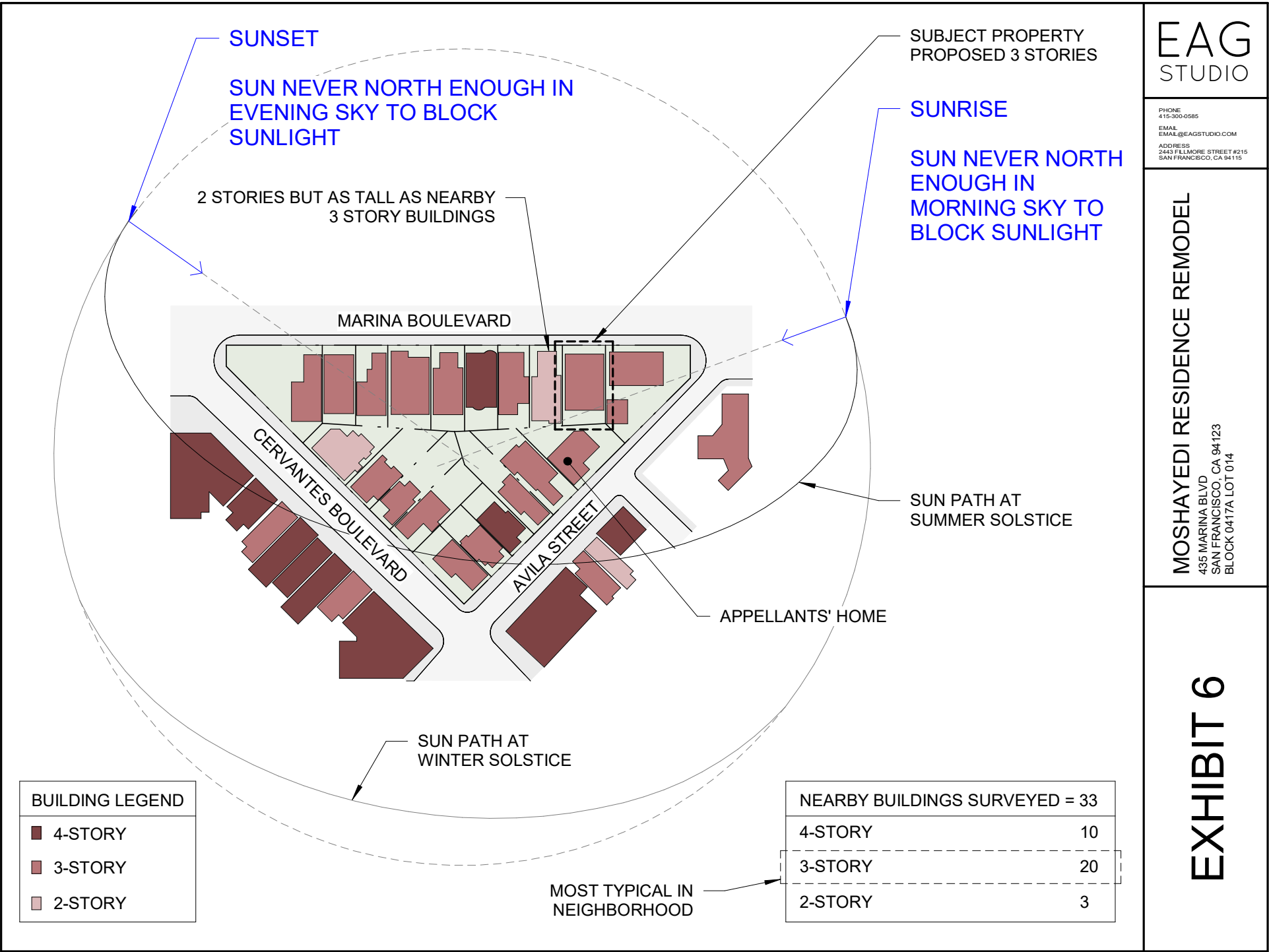
PHONE: 415-300-0565
 EMAIL: EMAIL@EAGSTUDIO.COM
 ADDRESS: 2443 FILLMORE STREET #215
 SAN FRANCISCO, CA 94115

MOSHAYEDI RESIDENCE REMODEL

435 MARINA BLVD
 SAN FRANCISCO, CA 94123
 BLOCK 0417A LOT 014

EXHIBIT 8

EXHIBIT
D





**SAN FRANCISCO
PLANNING DEPARTMENT**

MEMO

HD 4/19/17

APPEAL # 17-028

**Zoning Administrator Action Memo
Administrative Review of Dwelling Unit Demolition**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: October 11, 2016
Address: 435 Marina Boulevard
Case No.: 2015-016013DRM
Building Permit: 2014.0912.6168
Zoning: RH-1 (Residential-House, One Family)
40-X Height and Bulk District
Block/Lot: 0417A/014
Project Sponsor: Virginie Manichon
EAG Studio
2443 Fillmore St, #215
San Francisco, CA 94115
Staff Contact: Alexandra Kirby - (415) 575-9133
alexandra.kirby@sfgov.org

BOARD OF APPEALS

FEB 22 2017 *oab*

APPEAL # 17-028

PROJECT DESCRIPTION

The project is to demolish the existing two-story, single-family building and construct a two-story, single-family building within an RH-1 (Residential, House, One-Family) Zoning District and 40-X Height and Bulk District.

The proposed *de facto* demolition of a single-family dwelling is subject to Planning Code Section 317, which allows the Planning Department to administratively approve dwelling unit demolitions that are demonstrably not affordable or financially inaccessible within RH-1 Zoning Districts. Applications for which the residence proposed for demolition has a value greater than at least 80% of the combined land and structure values of single-family homes in San Francisco as determined by a credible appraisal, made within six months of the application to merge, are not subject to a Mandatory Discretionary Review hearing.

ACTION

Upon review of the Applicant's appraisal for 435 Marina Boulevard, which was appraised at \$5.3M, on July 8, 2015, by Carlee McCarty & Associates, the Zoning Administrator AUTHORIZED ADMINISTRATIVE APPROVAL of Building Permit Application No. 2015.11.06.1988 proposing the *de facto* demolition of a single-family residence, resulting in a one-unit building.

FILE

FINDINGS

The Zoning Administrator took the action described above because the proposed merger would not result in the loss of any dwelling-units that are valued at or under 80% of the combined land and structure values of single-family homes in San Francisco. The residence proposed for demolition qualifies as financially inaccessible housing. Because a major intent of Planning Code Section 317 is to preserve existing sound housing stock and thus conserve its affordability, the Code exempts the most expensive (least affordable) single-family homes from the hearing requirements pertaining to this Code Section.

The Zoning Administrator took the action described above because the proposed demolition meets the criteria outlined in Planning Code Section 317(d) as follows:

1. ~~No permit to demolish a Residential Building in any zoning district shall be issued until a building permit for the replacement structure is finally approved, unless the building is determined to pose a serious and imminent hazard as defined in the Building Code.~~

The project applicant submitted Building Permit Application 2015.11.06.1988 for the alteration of the subject building. The alteration was determined to exceed the de facto demolition calculations outlined in Section 317(b)(2) of the Planning Code. This permit was noticed per Planning Code Section 311 on 8/3/2016 and the notification expired on 9/1/2016. No requests for Discretionary Review were filed during the notification period.

2. If Conditional Use authorization is required for approval of the permit to Demolish a Residential Building by other sections of this Code, the Commission shall consider the replacement structure as part of its decision on the Conditional Use application. If Conditional Use authorization is required for the replacement structure by other sections of this Code, the Commission shall consider the demolition as part of its decision on the Conditional Use application. If neither permit application is subject to Conditional Use authorization, then separate Mandatory Discretionary Review cases shall be heard to consider the permit applications for the demolition and the replacement structure.

Conditional Use is not required by any other part of the Planning Code for this proposal. The applicant filed a Mandatory Discretionary Review application for demolition of the subject building.

3. Single-Family Residential Buildings on sites in RH-1 Districts that are demonstrably not affordable or financially accessible, that is, housing that has a value greater than at least 80% of the combined land and structure values of single-family homes in San Francisco as determined by a credible appraisal, made within six months of the application to demolish, are not subject to a Mandatory Discretionary Review hearing.

The existing single-family building is located in a RH-1 zoning district and was appraised on July 8, 2015 at a value of \$5.3 million. The property is therefore determined to be "not affordable or financially accessible housing" under the Planning Code and thereby not subject to a Discretionary Review hearing.

4. Residential Buildings of two units or fewer that are found to be unsound housing are exempt from Mandatory Discretionary Review hearings and may be approved administratively. "Soundness" is an economic measure of the feasibility of upgrading a residence that is deficient with respect to habitability and Housing Code requirements, due to its original construction. The "soundness factor" for a structure shall be the ratio of a construction upgrade cost to the replacement cost expressed as a percent. A building is unsound if its soundness factor exceeds 50%.

The subject building is a single-family house and eligible to be exempted from a Mandatory Discretionary Review hearing under this provision of the Planning Code; however, a soundness report was not required as the property qualified for administrative review due to its demonstrable unaffordability.

You can appeal the Zoning Administrator's action to the Board of Appeals by appealing the issuance of the above-referenced Building Permit Application. For information regarding the appeals process, please contact the Board of Appeals located at 1650 Mission Street, Room 304, San Francisco, or call (415) 575-6880.

cc: Zoning Administrator Files