

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
ANN HEDGES,

Appellant(s)

VS.

DEPARTMENT OF BUILDING INSPECTION,

PLANNING DEPARTMENT APPROVAL	Respondent
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Appeal No. **21-012**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on February 22, 2021, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on February 8, 2021 to Scott Olson, of a Site Permit (remodel existing deck at basement level with new tile at patio; replace & enlarge existing deck at first floor with new stair to patio below; new deck at second floor with new doors from dining room) at 41 Kronquist Court.

APPLICATION NO. 2019/06/18/3764

FOR HEARING ON April 14, 2021

Address of Appellant(s):

Address of Other Parties:

Ann Hedges, Appellant(s)
c/o Michael Mazzocone, Attorney for Appellant(s)
601 Montgomery Street, Suite 850
San Francisco, CA 94111

Scott Olson, Paige Olson, Determination Holder(s)
41 Kronquist Court
San Francisco, CA 94131



Date Filed: February 22, 2021

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 21-012

I / We, **Ann Hedges**, hereby appeal the following departmental action: **ISSUANCE** of **Site Permit No. 2019/06/18/3764** by the **Department of Building Inspection** which was issued or became effective on: **February 8, 2021**, to **Scott and Page Olson**, for the property located at: **41 Kronquist Court**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **March 25, 2021, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, scott.sanchez@sfgov.org and solson@vedderprice.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **April 8, 2021, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, scott.sanchez@sfgov.org and michael@mazzlaw.com.

The Board's physical office is closed to the public and hard copies of the brief do NOT need to be submitted.

Only photographs and drawings may be submitted by the parties at the hearing.

Hearing Date: **Wednesday, April 14, 2021, 5:00 p.m.**, via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant or Agent (Circle One):

Signature: Via Email

Print Name: Michael Mazzocone, Attorney for appellant

BOARD OF APPEALS, CITY AND COUNTY OF SAN FRANCISCO

SUMMARY OF REASONS OR GROUNDS FOR APPEAL
AND WHAT ACTION IS BEING REQUESTED OF THE BOARD:

Ann S. Hedges (hereafter "Appellant") appeals the issuance of Permit Number 201906183764 for work proposed at 41 Kronquist Court, San Francisco.

On January 3, 2020 the San Francisco Commission conducted a public hearing on Discretionary Review Application 2019-013041DRP. The Commission found that there were extraordinary or exceptional circumstances and took Discretionary Review and approved the Building Permit with the following conditions:

1. That the Project Sponsor relocate the stair to the rear of the deck and;
2. That the Project Sponsor provide a planter on the deck outside of the railing to provide a screen for privacy and to keep people from the edge of the deck.

Subsequently, the Project Sponsor submitted revised plans to the Planning Department. While the revised plans did properly relocate the stair to the rear of the deck, they did not provide for a planter box on the deck outside of the railing of sufficient size to provide the screening required by the Planning Commission. Instead, the revised plans called for window boxes 5 inches wide and 8½ inches high to be hung off the top of the railing on Appellant's side of the property, which will not provide a screen for privacy.

Appellant tried on numerous occasions to engage the Planning Department in dialogue to address the deficiency of the revised plans so that they would meet the requirements outlined in DRA-0681. The Planning Department refused to respond substantively to Appellant's inquiries and arguments and, instead, instructed Appellant to appeal to the Board. The Planning Department approved the plans on October 20, 2020.

By this appeal, Appellant requests that the Board order the Planning and Building Departments to rescind approval of the permit and direct the Project Sponsor to submit a revised plan depicting the planter on the deck of sufficient size to create a screen on the outbound side of the railing.

APPROVED
Dept. of Building Insp.

FEB 08 2021

PATRICK O'RIORDAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT

JUN 18 2019

THIS APPLICATION SUBMITTED FOR
SITE PERMIT ONLY. NO WORK MAY BE
STARTED UNTIL CONSTRUCTION PLANS
HAVE BEEN APPROVED.

BUILDING ENLARGEMENT
DESCRIPTION
☐ VERTICAL
☒ HORIZONTAL

APPROVED FOR ISSUANCE

BLDG. 3/8
FORM

APPLICATION NUMBER
2019-0618-31649

OSHA APPROVAL REQ. ☐
APPROVAL NUMBER

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☒ OTHER AGENCIES REVIEW REQUIRED
FORM 8 ☐ OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED 0.10.19	FILING FEE RECEIPT NO. 19065913	(1) STREET ADDRESS OF JOB 41 KRONQUIST COURT	BLOCK & LOT 6582 / LOT 10
PERMIT NO. 20210205-139	ISSUED 2-8-2021	(2A) ESTIMATED COST OF JOB 30,000.00	(2B) REVISED COST: \$30,000 DATE: 1/11/2021

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. ✓	(5A) NO. OF STORIES OF OCCUPANCY: 2	(6A) NO. OF BASEMENTS AND CELLARS: 1	(7A) PRESENT USE: SINGLE FAMILY RESIDENCE	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS: 1
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. ✓	(5) NO. OF STORIES OF OCCUPANCY: 2	(6) NO. OF BASEMENTS AND CELLARS: 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY RESIDENCE	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS: 1
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
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(14) GENERAL CONTRACTOR BEAMER CONSTRUCTION	ADDRESS 12037 HAT HOLLOW	ZIP 94945	PHONE 415-786-4909	CALIF. LIC. NO. 807423	EXPIRATION DATE 12/31/2020
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(15) OWNER - LESSEE (CROSS OUT ONE) OWNER	ADDRESS 41 KRONQUIST COURT	ZIP 94131	BTRC# -	PHONE (FOR CONTACT BY DEPT.) 415-553-0090
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(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

REMODEL EXISTING DECK
AT MAYEMENT LEVEL WITH NEW TILE AT PATIO, REPLACE AND ELIMINATE EXISTING DECK AT
FIRST FLOOR WITH NEW STAIR TO PATIO BELOW. NEW DECK AT SECOND FLOOR WITH NEW
DOOR FROM DINING ROOM

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA 190	SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	

(25) ARCHITECT OR ENGINEER (DESIGN <input checked="" type="checkbox"/> CONSTRUCTION <input type="checkbox"/> JAMES STAVOY ARCHITECT	ADDRESS 679 HANCHEZ STREET	CALIF. CERTIFICATE NO. C-12722
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(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") UNKNOWN	ADDRESS
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IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

- ☐ OWNER
☐ LESSEE
☐ CONTRACTOR
☒ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
- Carrier _____
Policy Number _____
- () III. The cost of the work to be done is \$100 or less.
- () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- X V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

OFFICE COPY

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED: <div>David Jones, DBI</div> <div>JAN 08 2021</div> <div>BUILDING INSPECTOR, DEPT. OF BLDG. INSP.</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: APPROVED PLANS WITH DESIGN CHANGES BASED ON DR BROWN MEMO DROGGI SWEET FAMILY. <div>10/20/20</div> <div>DEPARTMENT OF CITY PLANNING Dept. Cathleen Campbell</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <div>BUREAU OF FIRE PREVENTION & PUBLIC SAFETY</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <div>MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <div>CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (415) 554-7149 TO SCHEDULE 626-27-3000 <div>6/11/2021</div> <div>Michael D. Jensen</div> <div>2/12/2021 SFPW/BSM</div> <div>BUREAU OF ENGINEERING</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <div>DEPARTMENT OF PUBLIC HEALTH</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <div>REDEVELOPMENT AGENCY</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <div>HOUSING INSPECTION DIVISION</div>	DATE: _____ REASON: _____ NOTIFIED MR. _____

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING



6	DPW-BSM	1/12/21	1/12/21			1/12/21	GUZMAN MIGUEL	bsmpermitdivision@sfdpw.org (sidewalk) and/or urbanforestry@sfdpw.org (trees/landscaping) Only new trees can be applied ONLINE and UPLOAD plans through http://bsm.sfdpw.org/buftrees2/treeplanting.aspx. Your construction addendum will be ON-HOLD until all necessary permit(s) are approved or the assigned BSM plan checker(s) may recommend sign off to the satellite office via email. Please call the office at (628) 271-2000 or email at bsmpermitdivision@sfdpw.org for more information. -MG
7	PPC	1/13/21	1/13/21			1/13/21	EAKIN MIGUEL	01/13/2021: To CPB; ME 01/12/2021: To BSM; ME 10/21/20: to BLDG; am 6/18/19: to DCP; am
8	CPB	2/8/21	2/8/21			2/8/21	ROBINSON CHARLES	approved by CR

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Online Permit and Complaint Tracking](#) home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our [FAQ area](#).

BRIEF(S) SUBMITTED BY APPELLANT(S)

1 **MICHAEL A. MAZZOCONE, SBN 183209**
2 **MICHAEL A. MAZZOCONE, ATTORNEY AT LAW**
3 601 Montgomery Street, Suite 850
4 San Francisco, California 94104
Telephone: (415) 399-0800
Facsimile: (415) 399-0900

5 Attorneys for Appellant Ann S. Hedges

6
7
8 CITY AND COUNTY OF SAN FRANCISCO
9 BOARD OF APPEALS
10

11 ANN S. HEDGES,)	APPEAL NO: 21-012
12 Appellant,)	
13 vs.)	BRIEF OF APPELLANT ANN S. HEDGES
14)	HEARING DATE: APRIL 14, 2021
15 SAN FRANCISCO PLANNING)	HEARING TIME: 5:00 P.M.
16 DEPARTMENT AND SAN FRANCISCO)	
17 DEPARTMENT OF BUILDING)	SUBJECT PROPERTY: 41 KRONQUIST COURT
18 INSPECTION,)	PERMIT TYPE: SITE PERMIT
19 Respondents.)	PERMIT NO.: 2019/06/18/3764
20)	

21 **I. INTRODUCTION AND SUMMARY OF FACTS**

22 Ann S. Hedges (hereafter "Appellant" or "Ms. Hedges") and the project sponsors, Scott
23 and Paige Olson (hereafter "the Olsons" or "Project Sponsor") are adjacent neighbors on
24 Kronquist Court in San Francisco.

25 The Olsons applied for permits to, among other things, construct exterior decks on the
26 rear of their property with a stairway on the property line shared with Ms. Hedges. The
27 location of the stairs on the property line would have necessitated the construction of a high
28 fire rated wall on the shared property line. Ms. Hedges, an artist who works from home, took
exception to the plans submitted to the Planning Department and the parties attempted to
resolve their differences through settlement discussions directly and at the Planning

1 Department with the Planning Department's architect. Those efforts failed.

2 The Planning Department rejected Appellant's objections to the plans and her
3 underlying arguments. Appellant timely applied for discretionary review with the San
4 Francisco Planning Commission. As she asserted at the Planning Department, Appellant again
5 argued that the placement of the stairs on the property line violated the residential design
6 guidelines and that the construction of the large decks would interfere with the existing mid-
7 block open space. She sought to have the stairs relocated to the rear of the property and the
8 size of the proposed decks reduced or set off further from the shared property line in order to
9 afford her privacy in her home.

10 At the January 30, 2020 Discretionary Review ("DR") hearing, the commissioners were
11 persuaded by Appellant's arguments regarding the placement of the stairs on the property line
12 and sought to craft a compromise between the parties. The commissioners obtained the
13 agreement of the Project Sponsor to relocate the proposed stairway to the rear of the property
14 to obviate the need for the fire rated wall. Additionally, the commissioners obtained the
15 agreement of the parties to have the Project Sponsor locate a planter on the deck, on the
16 outbound side of the railing, in order to provide a "green screen" to allow for privacy.
17 Commissioner Moore, who proposed the idea, pointed out to the Project Sponsor that the
18 compromised solution would enable the Olsons to maintain the size and placement of the deck.
19 She also pointed out to Appellant that, since the railing would be located be on the Olsons'
20 side of the planter, it would serve to keep people away from the edge of the deck and thereby
21 further promote privacy between the parties.

22 After obtaining this compromise solution, the commissioners found that there were
23 extraordinary or exceptional circumstances and voted unanimously to take DR. They thereby
24 approved the permit subject to the conditions that the Project Sponsor relocate the stair to the
25 rear of the deck and provide a planter located on the deck outside of the railing of sufficient
26 size to house a privacy screen.

27 After the hearing, the Project Sponsor initially submitted a sketch of its proposed
28 planter to the Planning Department. A copy of that sketch is attached as **Exhibit A**. The

1 Appellant also submitted a sketch of a proposed revised plan depicting the planter on the deck
2 with the railing moved to accommodate the planter. A copy of that sketch is attached as
3 **Exhibit B.**

4 Appellant's counsel repeatedly wrote to the Planning Department's Principal Architect
5 requesting to know what position the Planning Department would take on the issue.

6 Ultimately, the Project Sponsor submitted revised plans which are attached as **Exhibit C.**

7 While the revised plans did properly relocate the stair to the rear of the property, they did not
8 provide for a planter box on the deck outside of the railing. Instead, the revised plans only
9 provided for small flower boxes with interior dimensions of approximately 10.5 inches wide
10 and 14 inches tall to be hung off the top of the railing on Appellant's side of the property. The
11 detail related to the flower boxes may be found at pages A-8 and A-9 of **Exhibit C.** The
12 proposed flower boxes are simply not of sufficient size for housing the privacy screen agreed
13 upon by the parties at the DR hearing and contemplated by the conditions imposed by the
14 Planning Commission

15 Appellant's counsel attempted on numerous occasions to address this deficiency with
16 the Planning Department and requested that the Project Sponsor be required to comply with the
17 requirements imposed by the Planning Commission. The Planning Department refused to
18 respond substantively to Appellant's arguments, approved the revised plans and, simply
19 directed the Appellant to appeal to this Board. A sample of that correspondence is attached
20 hereto as **Exhibit D.** This appeal ensued.

21 By this appeal, Appellant requests that the Board issue an order placing the condition
22 on the issuance of the subject permit that the Project Sponsors include a planter located on the
23 deck as contemplated by the Planning Commission. Namely, that the planter be located on the
24 upper deck and be of sufficient size to host plantings to created a complete privacy screen (e.g.
25 2 feet wide x 6 feet long x 2'6" feet high), and that the railing be placed on the inbound side of
26 the planter.

II. ARGUMENT

1. Standard of Review is De Novo.

Because this appeal is from the issuance of a site permit, the Board of Appeals reviews this appeal *de novo* pursuant to its Special Instructions to the Parties. Accordingly, it need not defer to the findings of fact or determinations made by the Planning Department challenged by this appeal.

2. The Proposed Plans at Issue Do Not Satisfy all of the Terms Imposed by The Planning Commission at the January 30, 2020 Discretionary Review Hearing.

As noted above, the Planning Commission took DR and imposed two terms in order for the subject permit to be issued. The revised plans, attached hereto as **Exhibit C** satisfy the first term that the stairs be relocated from the shared property line and be placed in the rear of the house in order to obviate the need for a firewall.

However, the plans do not meet the second term, which required the project sponsor to locate the planter on the deck of sufficient size to house a planting capable of creating a green screen to promote privacy between the parties. Further, the plans fail to relocate the railing to the interior of the planter such that the planter would be located outside of the railing in order to keep people from the edge of the deck along the shared property line.

3. The Planning Department Arbitrarily Ignored the Intent of the Planning Commission in Taking the DR By Approving the Project Sponsors' Plans Which Failed to Include a Planter Box on the Deck Capable of Housing a Privacy Screen.

The intent of the Planning Commission in connection with requiring the planter to create a privacy screen can be clearly discerned from viewing a few minutes of the hearing where the issue was discussed with the Project Sponsor, the Appellant, and among the Commissioners. While the board may view all or part of the hearing on the Planning Commissions website (Item 23 on January 30, 2020), Appellant has excised the relevant portion of the hearing pertinent to the issues in this Appeal which may be viewed here:

<https://www.dropbox.com/s/dxr9ke2mshf6hb2/Planning%20Commission%20DR%20Hearing.>

[mp4?dl=0](#)

In an attempt to reach a compromised solution between the Parties in connection with the size and the placement of the deck to address the privacy issue, the following discussion took place between Vice President Moore and Mr. Olson, one of the Project Sponsors:

Vice President Moore: “I would like to ask the applicant if you would be comfortable having a green planter on the edge of your deck but have the planter outbound and the railing inbound, so when the D.R. Requester looks out, she basically looks over green into the garden beyond. We often do that. That is not reducing your deck. It just, instead of putting up a opaque screen, which I think further exacerbates the problem, you are creating a green wall for yourself but is outbound of the railing. So it leaves your deck at the same size but it makes it, I think, far more softer for the adjoining property owner.”

Scott Olson: “If I understand, your comment is to include a planter on the deck. I think that -- I think that that would be something we would certainly be willing to do. Thank you for your suggestion.”

Mr. Olson fully understood that he was agreeing to locate the planter *on* the deck itself for the purpose of housing the privacy screen, what Commissioner Moore called a “green wall.”

Vice President Moore next discussed with the Appellant another key benefit of the locating the planter on the deck with the railing on the inbound side of the planter with the Appellant.

Vice President Moore: “The planter keeps the person away from the edge. That’s what it does.”

Appellant: “That’s a good point. It’s a mitigating factor worth considering”

These discussions clarify that what the Commission had in mind was a planter on the deck, not only to provide structural support for one of sufficient size to create a complete green screen wall, but also to keep people away from the edge of the deck by relocating the railing to the interior of the planter.

1 The proposal of the Project Sponsors to attach small flower boxes to the railing on the
2 side of the shared property line accomplishes none of these goals. First, the proposed flower
3 boxes to be supported by the railing simply are not of sufficient size to provide the screening
4 contemplated by the Commission.

5 Second, hanging flower boxes off of the side of the railing will not serve to keep people
6 away from the edge of the deck.

7 Third, hanging flower boxes from the railing of the deck only encroaches closer to the
8 shared property line, enhancing and not diminishing the mass of the deck and its proximity to
9 Appellant's home. This was certainly not the intent of the Commission since the Appellant
10 was requesting to reduce and not augment the mass of the deck.

11 Fourth, no one, at any time, discussed the use of a flower box attached to the railing.

12 Consequently, the small flower boxes proposed by the Project Sponsor do not satisfy
13 what was agreed to by the Project Sponsor at the DR hearing. Nor do they begin to meet the
14 purpose of the planter contemplated by the Commission in taking DR.

15 **4. The Conditions Voted on by The Planning Commission When it Took DR**
16 **Contemplated the Planter on the Deck With the Railing Outbound of The**
Planter of Sufficient Size to Provide Complete Green Screening Wall.

17 Appellant anticipates the Planning Department may argue that the Appeals Board need
18 not consider the actual intent of the Planning Commission in taking DR, but instead only
19 consider the "decision rendered as read into the motion" at the hearing. The Planning
20 Department's Principal Architect said as much in email correspondence to Appellant's counsel
21 dated July 20, 2020. See **Exhibit D** attached.

22 However, a review of the record at the Planning Commission does not support this
23 argument. Below is a verbatim recitation of the motion that was made by Vice President
24 Moore and seconded by President Koppel in connection with the planter, after the issue of
25 moving the stairs was addressed:

26 **"Vice President Moore:** ...and the second is to place a planter at the edge of the
27 balcony with a condition that the planter is outbound of the railing of the deck to create
28 a green, fully maintained landscape screen against the adjoining property.

1 **President Koppel:** Second.”

2 Based on this, the clerk summarized the motion by the Commission as follows:

3 **“Clerk:** Very good, commissioners. There's a motion that has been seconded to take
4 D.R., approve this matter, with moving the stairs to the rear and providing a planter
5 outside the existing railing location for a privacy screen.”

6 It is clear from the above that what the Commission voted on was a resolution for
7 issuance of the permit to be conditioned upon the planter being located on the deck and of
8 sufficient size to create a “green, fully maintained landscaped screen”. What cannot be
9 disputed it that at no point in the DR hearing does anyone even mention the use of a flower box
10 or attaching anything to the deck’s railing as proposed by the Project Sponsors.

11 One of the purposes of allowing a party to seek discretionary review of plans approved
12 by the Planning Department is obviously to provide an avenue of appeal of the determination
13 of Planning Department. In this instance, the Planning Department initially rejected
14 Appellant’s objections to the plans and Appellant exercised her rights to seek DR from the
15 Planning Commission. The Planning Commission disagreed with the Planning Department’s
16 initial approval, took DR, and imposed conditions on the issuance of permit. Should the
17 Appeals Board fail to impose the Planning Commission’s conditions on the issuance of the
18 subject permit, it would serve to encourage the Planning Department to ignore the Planning
19 Commission’s directives, and thereby undermine the due process rights of those who invite the
20 oversight of the Planning Commission through the DR procedure.

21 Further, the Appeals Board should not place form over substance by limiting its inquiry
22 to a summary of what was read into the record by the Clerk of the Planning Commission at the
23 end of a very long day for the Planning Commission¹. The Appeals board has the full record
24 of proceedings in the Planning Commission available to it in order to determine the intent of
25 the Planning Commission.

26 **III. CONCLUSION**

27 The intent of the Planning Commission to have the planter placed on the deck in order
28

¹This was the 23rd matter on the calendar and the hearing did not begin until evening.

to house a privacy screen is inescapable if one simply views the hearing. Furthermore, the Project Sponsor himself acknowledged that he was agreeable to placing the planter on the deck for this purpose.

Despite this, the Planning Department chose to ignore the clear intent of the Planning Commission and approve the Project Sponsor's proposal to attach a small flower box to the deck's railing which will accomplish little to provide the privacy screening the Planning Commission was attempting to achieve.

The Board should issue an order conditioning the issuance of the permit on the Project Sponsors' complying with the terms intended by the Planning Commission; that the planter be located on the deck, be of sufficient size to host plantings to create a complete, green, privacy screen (at least 2 feet wide x 6 feet long x 2'6" feet high), and relocating the railing on the inbound side of the planter.

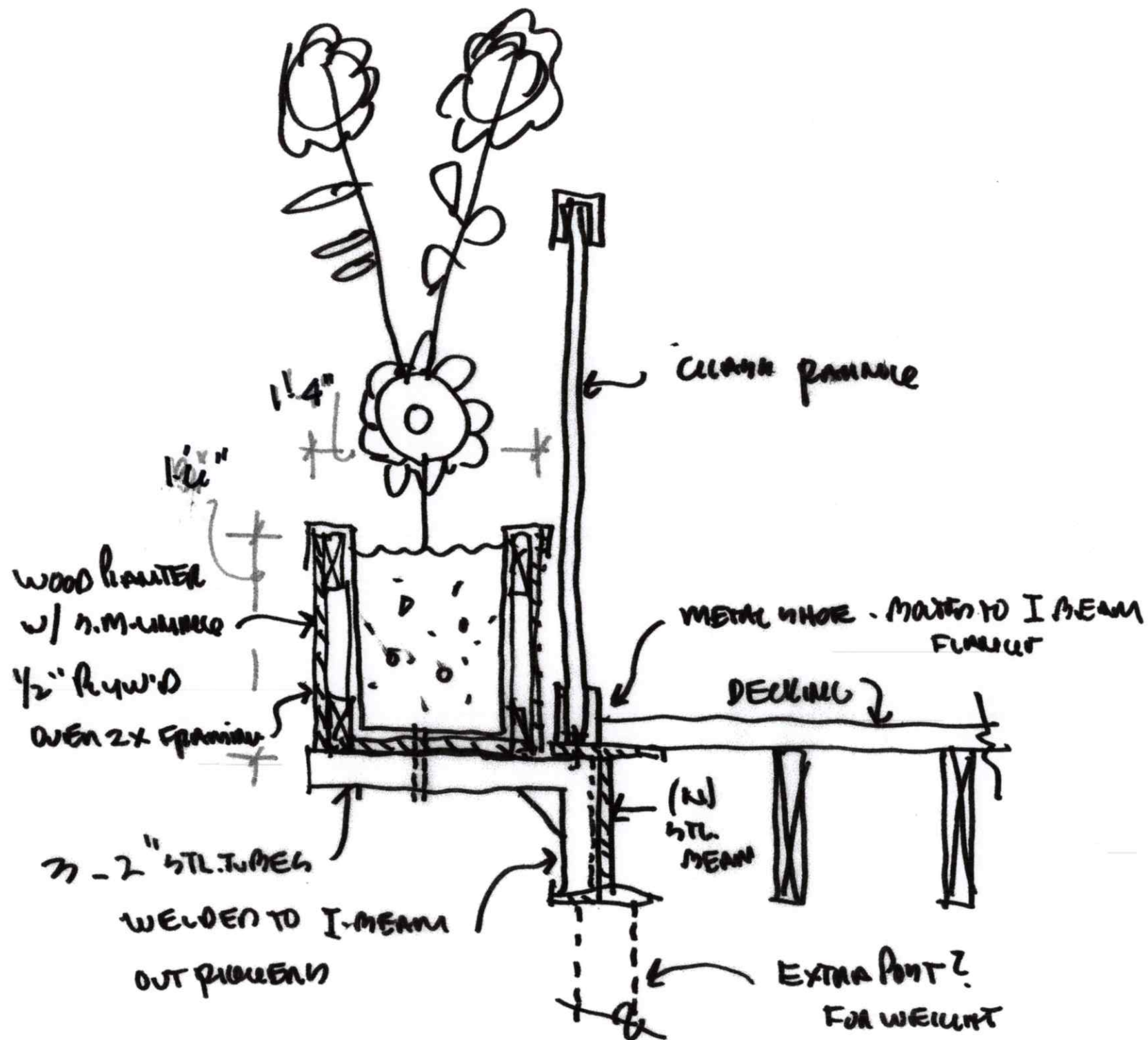
To do otherwise would undermine the intent of the compromised solution reached by the Planning Commission and would encourage the Planning Department to place form over substance in carrying out the directives of the Planning Commission.

Dated: March 25, 2021

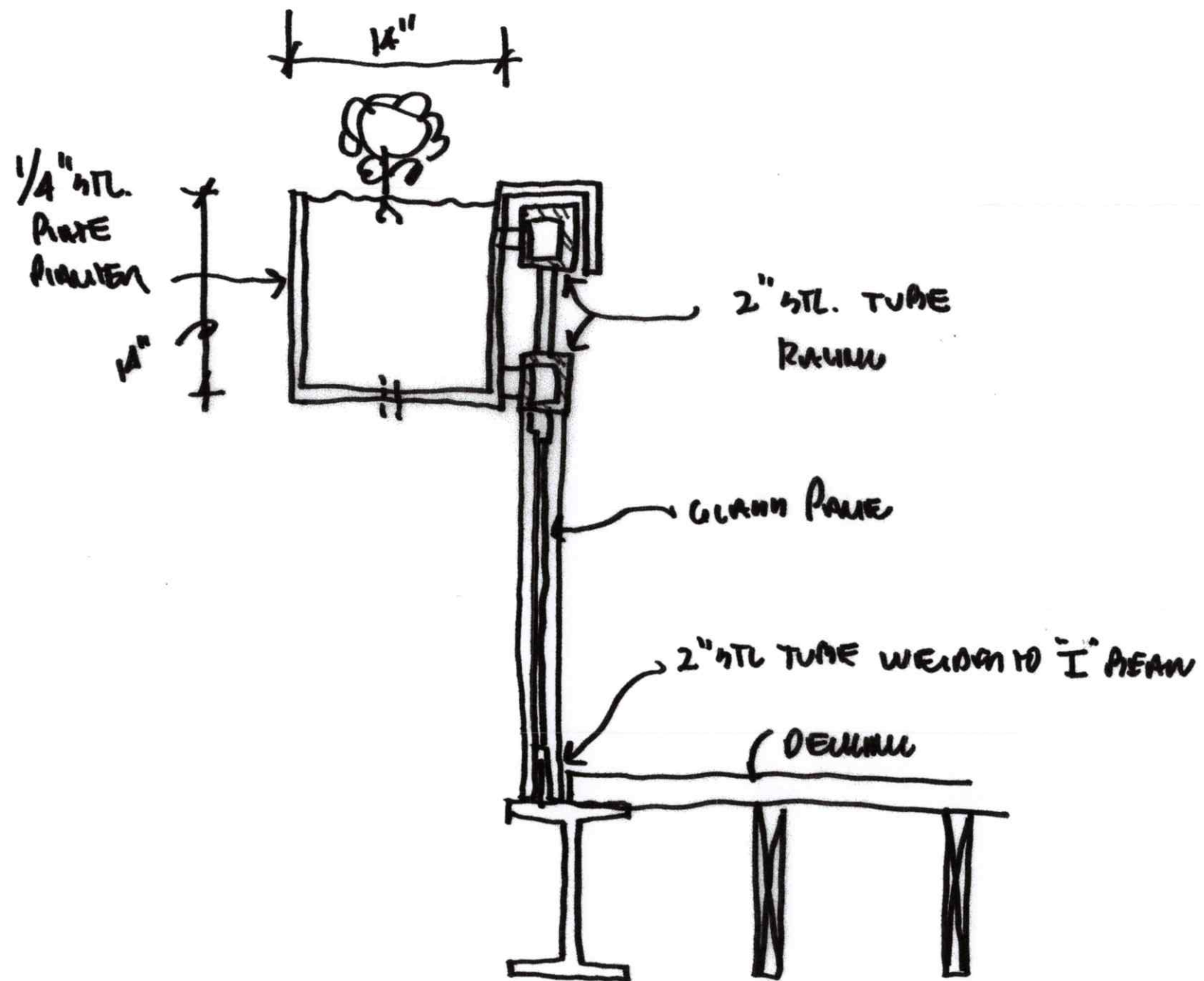
MICHAEL A. MAZZOCONE, ATTORNEY AT LAW

By: Michael A. Mazzocone
Attorneys for Appellant Ann S. Hedges

EXHIBIT A



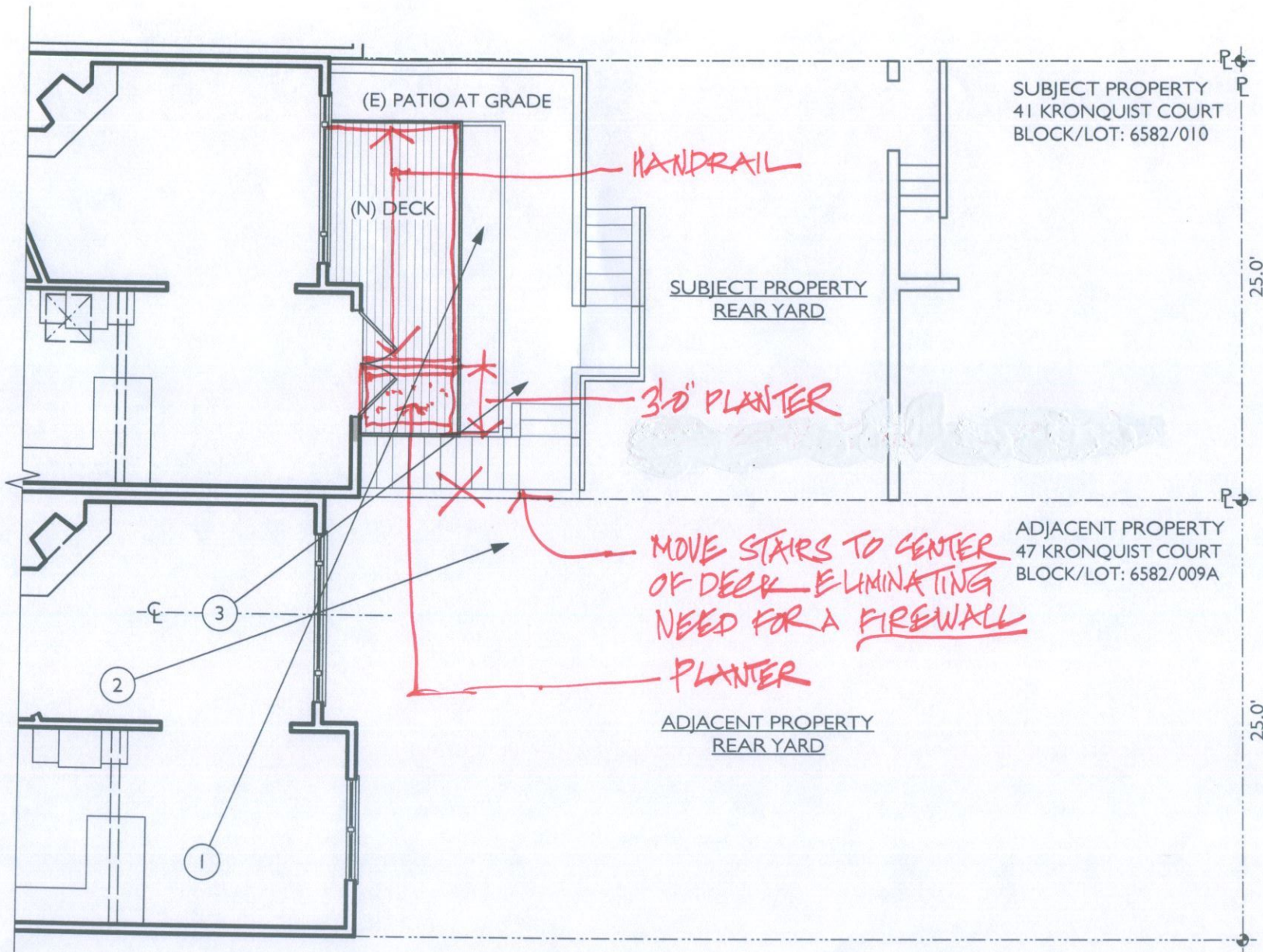
OPTION A: PLANTER ON OUT RIGIDITY
NO SCALE 2.0.20



OPTION B: PLANTER HUNG OFF TOP HANGRAIL
 NO HANGRAIL

2.0.20

EXHIBIT B



1

PROPOSED - SECOND FLOOR DECK PLAN

Scale: 1/8" = 1'-0"

0 5 10 FT



OLSON RESIDENTIAL REMODEL
41 KRONQUIST COURT
SAN FRANCISCO, CA 94131

01.09.20

PLAN VIEW OF 3D VIEWS FROM NEIGHBOR

EXHIBIT C

OLSON RESIDENTIAL DECK REMODEL

41 KRONQUIST COURT, SAN FRANCISCO, CA 94131

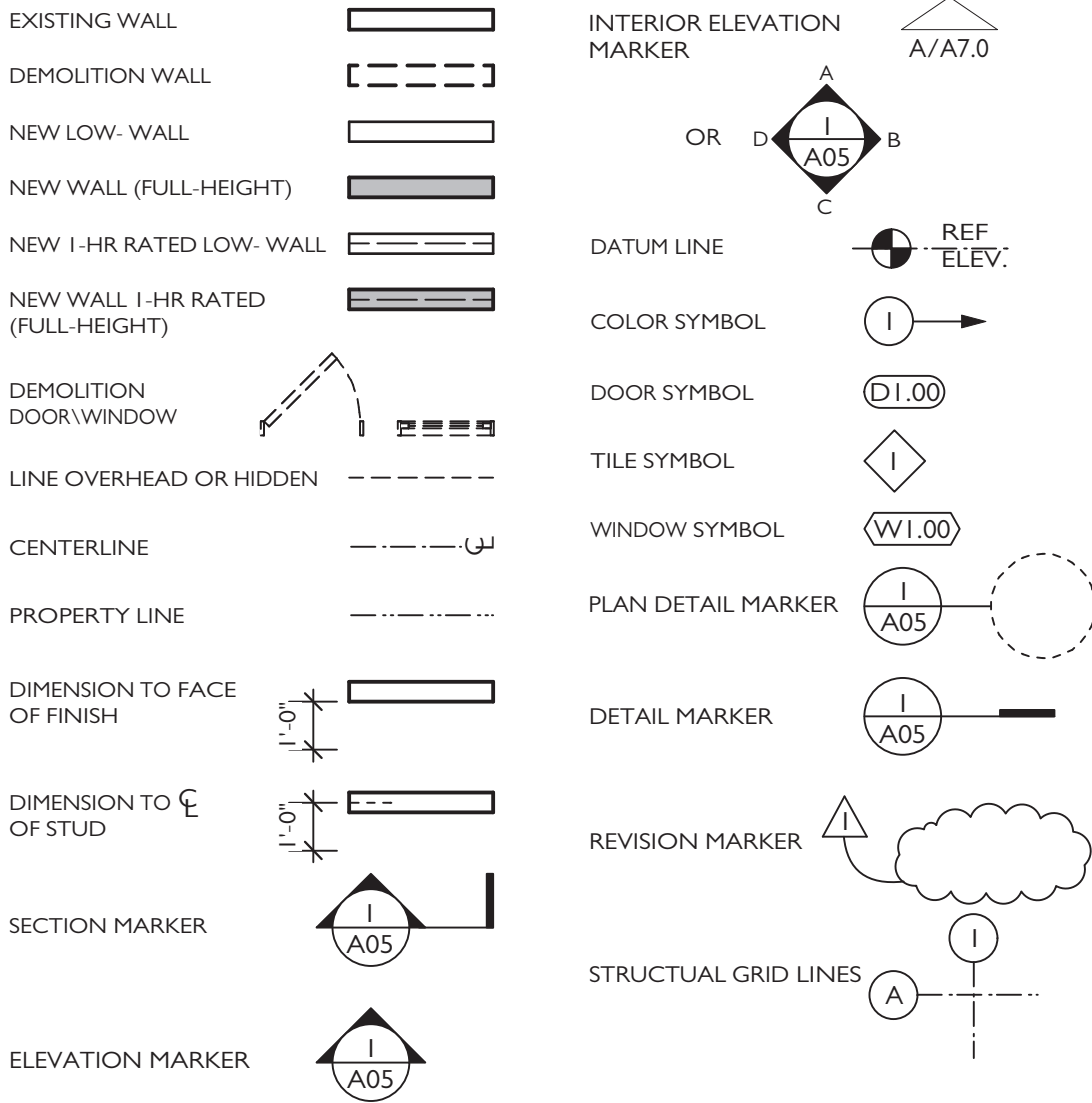
ABBREVIATIONS:

ABV.	ABOVE	KIT.	KITCHEN
AC	AIR CONDITIONING		
A.D.	AREA DRAIN	LAM.	LAMINATED
ADA	AMERICANS W/ DISABILITIES ACT	LAV.	LAVATORY
		LB.	POUND
ADJ.	ADJACENT		
A.F.F.	ABOVE FINISHED FLOOR	MATL.	MATERIAL
ALUM.	ALUMINUM	MAX.	MAXIMUM
ALT.	ALTERNATE	M.D.F.	MEDIUM DENSITY FIBER-BOARD
APPROX. &	APPROXIMATE		
ARCH.	ARCHITECTURE	MECH.	MECHANICAL
		MFG.	MANUFACTURER
BD.	BOARD	MIN.	MINIMUM
BASE BD.	BASE BOARD	MISC.	MISCELLANEOUS
BIT.	BITUMINOUS	MTD.	MOUNTED
BLDG.	BUILDING	MTL.	METAL
BLK'G	BLOCKING		
B.O.	BOTTOM OF	(N)	NEW
		N	NORTH
		NA	NOT APPLICABLE
C.-J.	CONTROL JOINT	N.I.C.	NOT IN CONTRACT
C.L.	CENTER LINE	NO. OR #	NUMBER
CLG.	CLEAR	NOM.	NOMINAL
CLR.	CLEAR	N.S.F.	NET SQUARE FOOTAGE
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
CNTR.	CENTER	O/	OVER
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	O.D.	OUTSIDE DIMENSION
CONST.	CONSTRUCTION	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
CONT.	CONTINUOUS		
C.R.S.	COLD ROLL STEEL	O.H.	OPPOSITE HAND
CTOP.	COUNTERTOP	OPN'G	OPENING
CUST.	CUSTOM		
		P.C.	PLUMBING CHASE
D	DRYER	PL.	PLATE
DBL.	DOUBLE	PLYVD.	PLYWOOD
(D)	DEMOLITION	PT.	PRESSURE TREATED
D.F.	DOUGLAS FIR	PL	PROPERTY LINE
DIA.	DIAMETER	PLAM	PLASTIC LAMINATE
DIM.	DIMENSION		
DN.	DOWN	(R)	REPLACE
D.S.	DOWN SPOUT	R.A.	RETURN AIR
DTL.	DETAIL	RAD.	RADIUS
DWG.	DRAWING	RCP	REFLECTED CEILING PLAN
		RD	ROOF DRAIN
		RDWD	REDWOOD
E	EAST	REF	REFERENCE
EA.	EACH	REFR	REFRIGERATOR
ELEC.	ELECTRICAL	REQ'D	REQUIRED
ELEV.	ELEVATION	REV	REVISION
E.P.	ELECTRICAL PANEL	ROOM	ROOM
EQ.	EQUAL	R.O.	ROUGH OPENING
EQUIP.	EQUIPMENT	R.W.L.	RAIN WATER LEADER
(E)	EXISTING		
EXP.	EXPOSED	S	SOUTH
EXT.	EXTERIOR	S.A.	SUPPLY AIR
		SC	SOLID CORE
FAB.	FABRICATED/FABRICATOR	SD	SMOKE DETECTOR
F.A.U.I.	FLOOR UNIT	S.O.G.	SLAB ON GRADE
FDR.	FLOOR DRAIN	S.S.D.	SEE STRUCTURAL DRAWINGS
FDN.	FOUNDATION	SQ. FT.	SQUARE FOOT
F.F.	FINISHED FLOOR	SHT.	SHEET
F.F.E.	FINISHED FLOOR ELEV.	SIM.	SIMILAR
F.G.	FINISHED GRADE	SPEC.	SPECIFICATIONS
FIN.	FINISH	SQ.	SQUARE
FIXT.	FIXTURE	S.S.T.	STAINLESS STEEL
FLR'L'RG	FLOOR FLOORING	STD.	STANDARD
FLUOR.	FLUORESCENT	STL.	STEEL
F.O.	FACE OF		
F.O.C.	FACE OF CONCRETE	T.B.D.	TO BE DETERMINED
F.O.S.	FACE OF STUD	T&B	TOP AND BOTTOM
F.O.P.	FACE OF PLYWOOD	T&G	TONGUE AND GROOVE
F.O.W.	FACE OF WALL	TEMP.	TEMPERED
F.P.	FIRE PLACE	T.O.	TOP OF
FT.	FOOT/FEET	T.O.P.	TOP OF PLATE
FURN.	FURNACE	T.O.S.	TOP OF SLAB
FUR.	FURRING	T.O.F.F.	TOP OF FINISHED FLOOR
		T.O.W.	TOP OF WALL
		TYP.	TYPICAL
GA.	GAUGE		
GALV.	GALVANIZED	UL	UNDERWRITER'S
G.C.	GENERAL CONTRACTOR		LABORATORY
GL.	GLASS OR GLAZING		UNLESS OTHERWISE
GRND.	GROUND	U.O.N.	NOTED
G.S.F.	GROSS SQUARE FOOTAGE		
G.S.M.	GALVANIZED SHEET MTL.		
GYP.	GYPSUM WALLBOARD		
		VAR.	VARIES
H.C.	HOLLOW-CORE	V.C.T.	VINYL COMPOSITE TILE
HDR.	HEADER	VENT.	VENTILATION
HDBD.	HARD BOARD	VERT.	VERTICAL
HDWD.	HARD WOOD	V.G.	VERTICAL GRAIN
H.G.	HORIZONTAL GRAIN	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	VOL.	VOLUME
HR.	HOUR		
H.R.S.	HOT ROLLED STEEL	W	WEST
HT.	HEIGHT	WIND.	WINDOW
H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING	W/	WITH
		W.C.	WATER CLOSET
		WO.	WITHOUT
		WD	WOOD
		WP	WATER PROOF
I.D.	INSIDE DIMENSION	WPM	WATER PROOF MEMBRANE
IN.	INCH/INCHES	W.H.	WATER HEATER
INCL.	INCLUDING		
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		

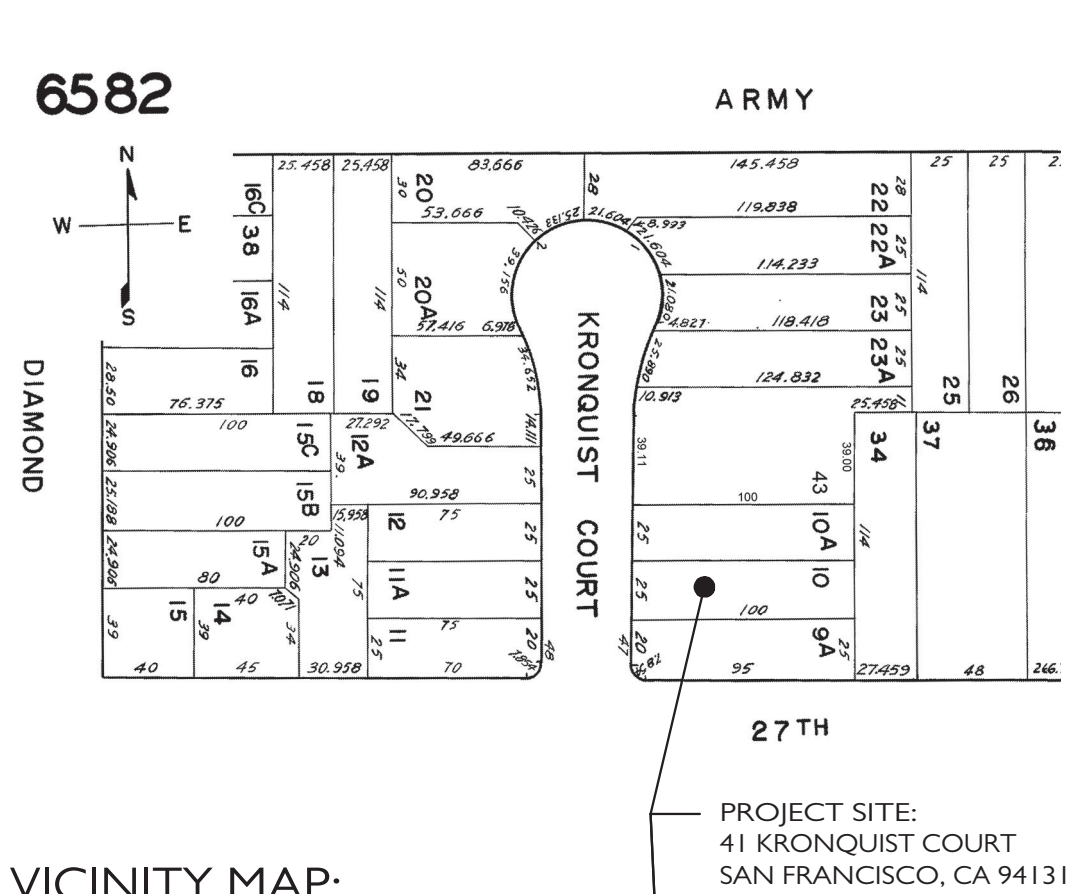
GENERAL NOTES:

- All work shall be done in conformance with the California Building Code currently adopted, as well as all applicable code and pertinent federal, state, county and municipal ordinances.
 - The Contractor shall verify all dimensions and coordinate the scope of all work with the contract documents and existing conditions before starting construction. Discrepancies between Architect's, Engineer's or Manufacturer's construction details shall be resolved to satisfy the most stringent requirement. Notify the Architect or Engineer of special or unusual conditions before proceeding with the work.
 - All dimensions take precedent over scale. The Contractor shall not scale the drawings with the intent of determining exact placement or location of particular assemblies. All plan dimensions indicated are to column centerline, to face of concrete, to finished face of gypsum board, or to face of masonry U.O.N.
 - Details as shown are typical. All conditions not specifically detailed on the drawings shall be similar to those shown or implied or shall match existing conditions.
 - The Contractor shall complete and perform all work in a good, professional manner at a level, quality and tolerance consistent with the standards of the construction industry. The Construction Documents are provided to illustrate the design and general intent of construction desired and imply the finest quality of construction, material and workmanship throughout.
 - The Contractor shall maintain the integrity of all scaffolding, shoring and bracing systems as required for the installation of new work and shall provide permanent stability for existing and new facilities.
 - Contractor shall provide all necessary blocking, backing, framing, hangers and/or other supports for all fixtures, equipment, casework, furnishing and all other items requiring same.
 - When penetrating eXisting soil substrate, verify depths and locations of adjacent piping and foundation systems. All stumps, roots and vegetation shall be removed from the soil to a depth of at least 12" below grade in an area to be occupied by the building. All wood concrete forms shall be removed from the site. Before completion, loose or casual wood shall be removed from direct ground contact under the building.
 - Contractor shall take suitable measures to prevent interaction between dissimilar metals.
 - Mechanical, Plumbing and Electrical sectors of the work shall comply with the CBC, as well as all applicable reference codes (CMC, CEC and CPC) and ordinances appertaining. Gauges and sizes, construction methods, and specifications of materials and equipment shown, noted or detailed shall be in accordance with all applicable standards. All fixtures and fittings shall be properly plumbed and vented. The Contractor shall trace all new and existing electrical circuitry falling within the scope of work detailed herein back to the breaker box to ensure proper loading and convenient grouping per leg of service. Where applicable, the contractor shall coordinate with local utility agencies all work entailing additional service and connection, off-and on-site, and do so in a manner that will neither delay nor encumber the orderly execution of dependent work. Energy Conservation methods and materials shall comply with California administrative code, Title 24.
 - All revisions, addenda and Change Orders must be reviewed by the Architect and approved by the Owner. Submittals for such review shall be scheduled and coordinated by the Contractor so as not to delay or encumber the orderly execution of all work falling within the scope of the project herein documented.
 - The Contractor shall be solely responsible for safety on the Project Site and shall adhere to all Federal, State, County, Municipal and O.S.H.A. safety regulations.
 - The Contractor shall maintain all proper Worker's Compensation and Liability Insurance throughout the duration of construction.
- ### ELECTRICAL NOTES:
- E1: PRIMARY LIGHT SOURCE ON FIRST SWITCH TO BE FLOURESCENT.
- E2: GFCI PROTECTION REQ'D ON ANY RECEPT. WITHIN 6'-0" OF SINK.
- E3: PROVIDE ELEC. OUTLETS IN KITCHEN SO THAT NO POINT ALONG A COUNTER IS MORE THAN 2' FROM AN OUTLET PER CEC-21 0-52. PROVIDE ACCESSIBLE OUTLET AT ISLAND.
- E4: SEPARATE KITCHEN CIRCUITS TO BE PROVIDED FOR COUNTERTOP OUTLETS, REFRIGERATOR, AND DISHWASHER/DIPOSAL. PROVIDE MIN. 2-20 AMP SMALL APPLIANCE BRANCH CIRCUITS (PER CEC SECT 210-52 & 220-4).
- ### MECHANICAL NOTES:
- M1: PROVIDE 200 SQ. IN. NET OPENING FOR GARAGE VENTILATION PER CMC.
- M2: PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR W.H PER CPC-507. (FURNACE PER CMC-CH. 7). ANY APPLIANCE W/ FLAME SOURCE TO BE MOUNTED MIN. 18" ABOVE FLOOR PER CMC-308 (W.H. PER CPC-510.1)
- M3: PROVIDE APPROVED SEISMIC STRAPS W.H. TO WALL PER CPC-510.5.
- M4: TERMINATE GAS VENT 4'-0" FROM P.L. AND 2'-0" ABOVE ANY PORTION OF A BLDG WITHIN 10'-0" & PER CMC 806.4.
- M5: TERMINATE ALL ENVIRONMENTAL AIR EXHAUST DUCTS (KITCHEN RANGE HOOD, BATHROOM FAN, DRYER) MIN. 3FT. FROM ANY OPENING OR PROPERTY LINE PER CMC SECT 504. PROVIDE BACK DRAFT DAMPER (B.D.D.)
- M6: DRYER EXHAUST DUCT: 14'-0" MAX. W/ 2-90° PER CMC-504.3 OR PER MANUF. VENT TO EXT.
- M7: PER CBC 1203.3, PROVIDE MECH. VENTILATION SYSTEM (EXHAUST FAN W/ BACK DRAFT DAMPER - B.D.D.) CONNECTED DIRECTLY TO THE EXTERIOR CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR WITH A POINT OF DISCHARGE AT LEAST 3 FT FROM ANY P.L. OR OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- ### PLUMBING NOTES:
- P1: INSTALL GREY WATER SYSTEMS PER CITY OF BURLINGAME REQUIREMENTS.

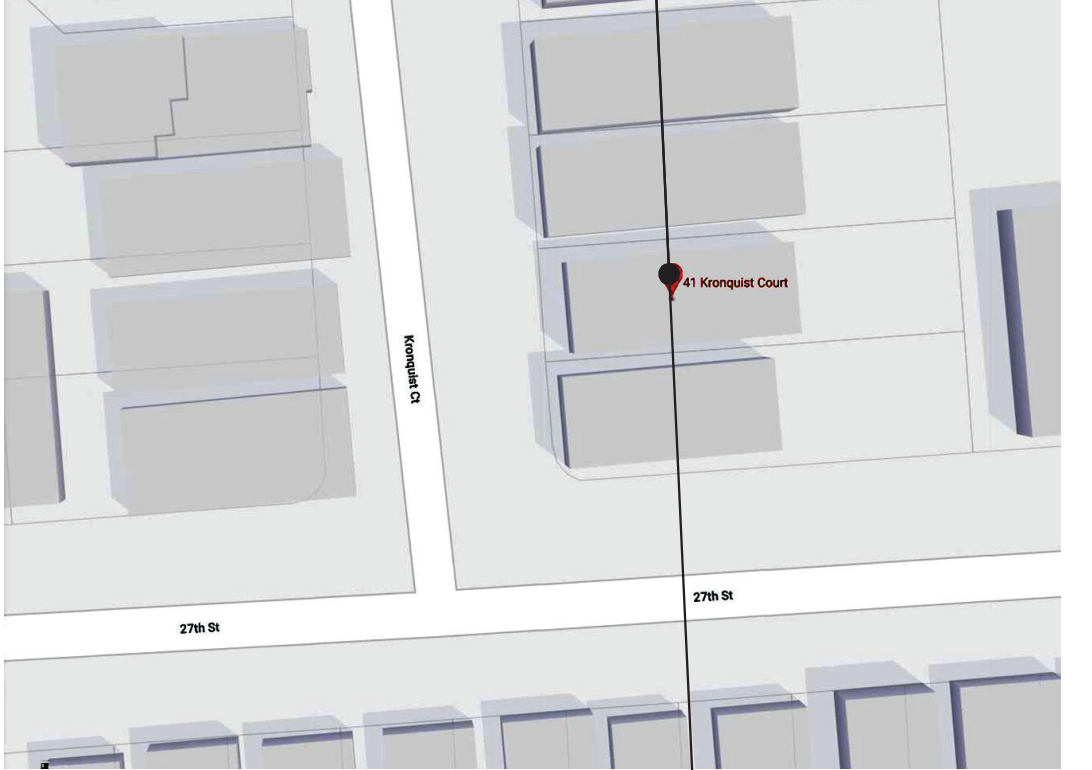
SYMBOLS:



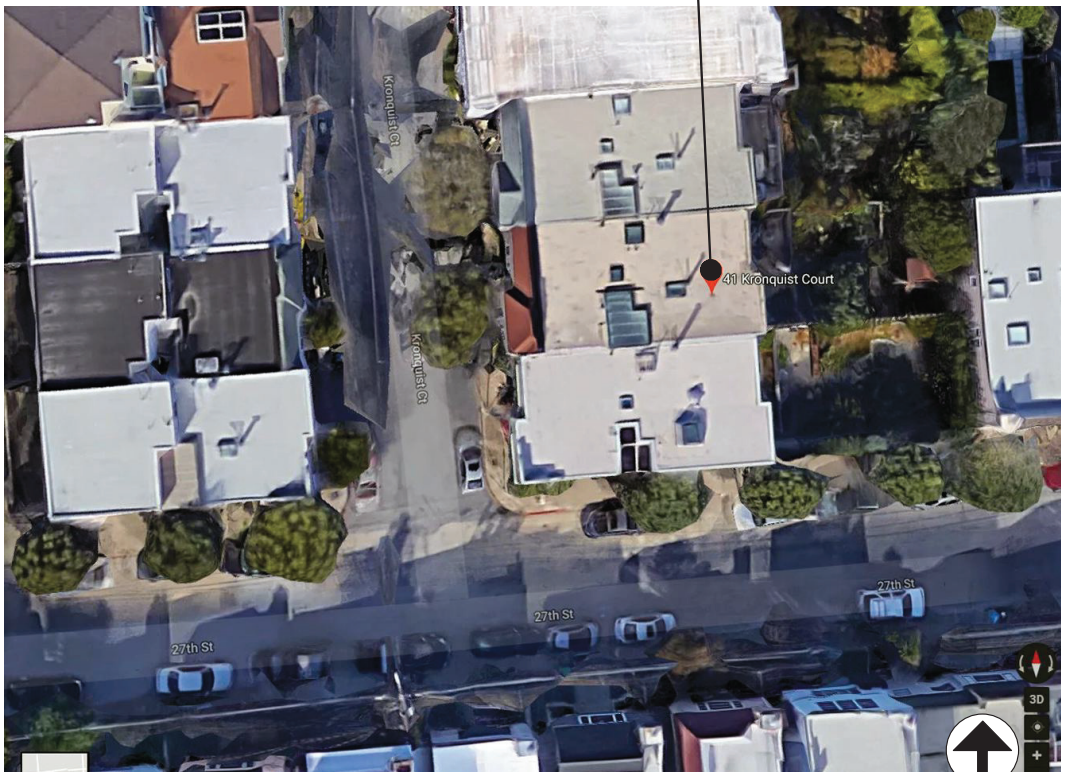
LOT MAP:



VICINITY MAP:



AERIAL VIEW:



PROJECT DATA:

CODES:	
2016 CALIFORNIA BUILDING CODE	
2016 CALIFORNIA PLUMBING CODE	
2016 CALIFORNIA MECHANICAL CODE	
2016 CALIFORNIA ELECTRICAL CODE	
2016 GREEN BUILDING CODE	
2016 CALIFORNIA ENERGY CODE	
ALL APPLICABLE CODE AMENDMENTS	
PROJECT ADDRESS:	
41 KRONQUIST COURT	
SAN FRANCISCO, CA 94131	
BLOCK / LOT:	
6582 / 10	
LOT SIZE / AREA:	
25.0' X 100.0' / 2,500.0 SQ. FT.	
PROJECT DESCRIPTION:	
SINGLE-FAMILY RESIDENTIAL BUILDING	
SCOPE OF WORK:	
REMODEL (E) DECK AT BASEMENT LEVEL W/ (N) TILE AT PATIO, REPLACE AND ENLARGE (E) DECK AT 1ST FLOOR WITH (N) STAIR TO PATIO BELOW, (N) DECK AT 2ND FLOOR WITH (N) DOORS FROM (E) DINING ROOM.	
ZONING:	10
PARCEL #	
ZONING	RH-1
OCCUPANCY:	GROUP R, DIVISION 3
CONSTRUCTION TYPE:	(TABLE 5-B) TYPE-V N
LOT COVERAGE:	2,500.0 SQ. FT. / 1,134.0 (BLDG) = 45%
USEABLE OPEN SPACE:	1,365.65 SQ. FT.
BUILDING AREA:	
CONDITIONED AREA: NON-CONDITIONED AREA:	
1ST FLOOR	(E) 538 SQ. FT. (E) 596 SQ. FT. = 1,134 SQ. FT.
2ND FLOOR	(E) 1,178 SQ. FT. (E) 35 SQ. FT. = 1,213 SQ. FT.
TOTAL (E)	1,716 SQ. FT. 631 SQ. FT. = 2,347 SQ. FT.

DRAWING INDEX:

ARCHITECTURAL	
1. A1	TITLE SHEET, PROJECT DATA, SCOPE OF WORK
2. A2	EXISTING\PROPOSED SITE\LANDSCAPING & ROOF PLAN
3. A3	EXISTING\DEMOLITION & PROPOSED BASEMENT FLOOR PLAN
4. A4	EXISTING\DEMOLITION & PROPOSED 1ST FLOOR PLAN
5. A5	EXISTING\DEMOLITION & PROPOSED 2ND FLOOR PLAN
6. A6	EXISTING EXTERIOR ELEVATIONS
7. A7	PROPOSED EXTERIOR ELEVATIONS
8. A8	SECTIONS\DETAILS
9. A9	SECTIONS\DETAILS

PROJECT PARTICIPANTS:

OWNER:	ENGINEER:
MR. & MRS. SCOTT OLSON	ALTOS STRUCTURAL ENGINEERING
41 KRONQUIST COURT	1865 GOLDEN GATE AVENUE, #2
SAN FRANCISCO, CA 94131	SAN FRANCISCO, CA 94115
	(415) 497-2668
ARCHITECT:	
JAMES G. STAVOY ARCHITECT, AIA	
679 SANCHEZ STREET	
SAN FRANCISCO, CA 94114	
(415) 553 - 8696	

OLSON RESIDENTIAL REMODEL
41 KRONQUIST COURT
SAN FRANCISCO, CA 94131

TITLE SHEET,
DRAWING INDEX,
PROPERTY MAPS

DATE:	ISSUE:	BY:
06/17/19	SITE PERMIT SUBMITTAL	png
04/10/20	REVISIONS	
07/01/2020	REV. PER PLANNING	
08/10/20	REV. PER PLANNING	
	COMMISSION D.R. HEARING	
	OF 01.30.20	

A1

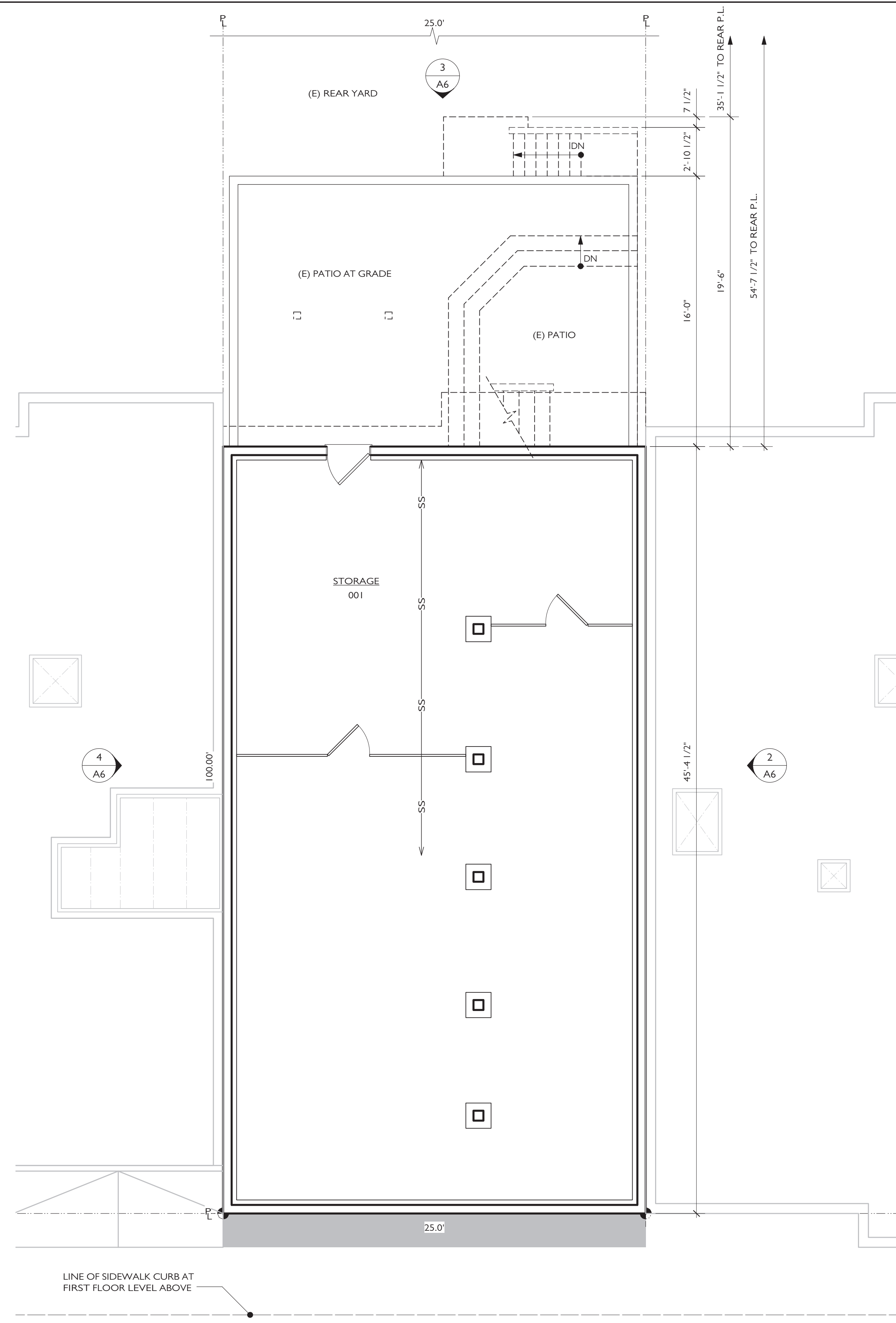


EXISTING SITE PLAN

DATE:	ISSUE:	BT:
06.17.19	SITE PERMIT SUBMITTAL	pmg
04.10.20	REV. PER PLANNING	pmg
	COMMISSION D.R. HEARING	-
	OF 01.30.20	-
	△	-
	-	-
	-	-
	-	-
	-	-
	-	-

A2





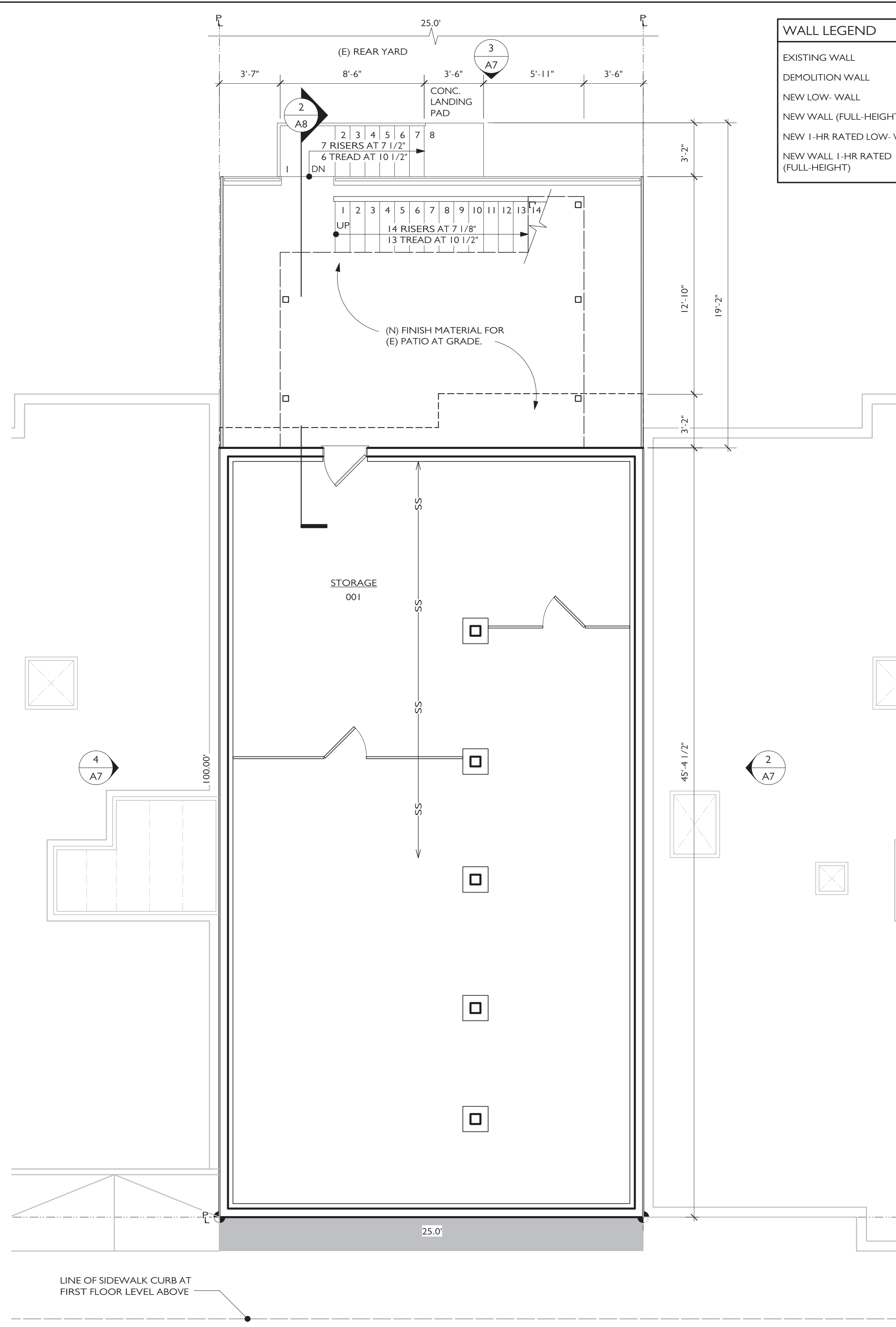
1
A3

EXISTING\DEMO - BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

0 5 10 FT

1
A6

2
A6



2
A3

PROPOSED - BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

0 5 10 FT

1
A7

2
A7

WALL LEGEND	
EXISTING WALL	
DEMOLITION WALL	
NEW LOW- WALL	
NEW WALL (FULL-HEIGHT)	
NEW 1-HR RATED LOW- WALL	
NEW WALL 1-HR RATED (FULL-HEIGHT)	

JAMES G STAVOY
ARCHITECT
AIA

679 Sanchez Street
San Francisco, California
94114
415 • 553 • 8696

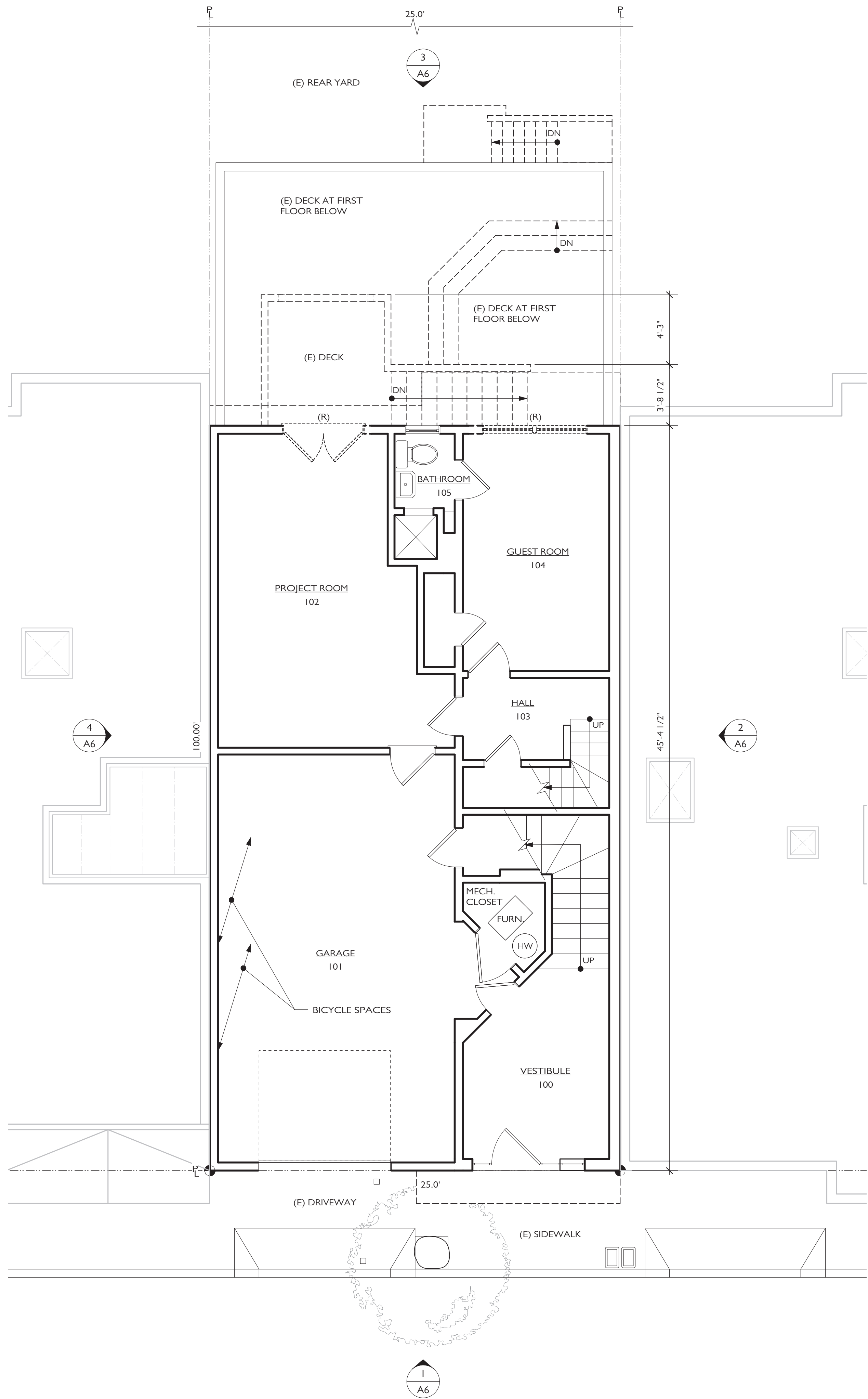
OLSON RESIDENTIAL REMODEL
411 KRONQUIST COURT
SAN FRANCISCO, CA 94131

EXISTING\DEMO &
PROPOSED
BASEMENT FLOOR
PLAN

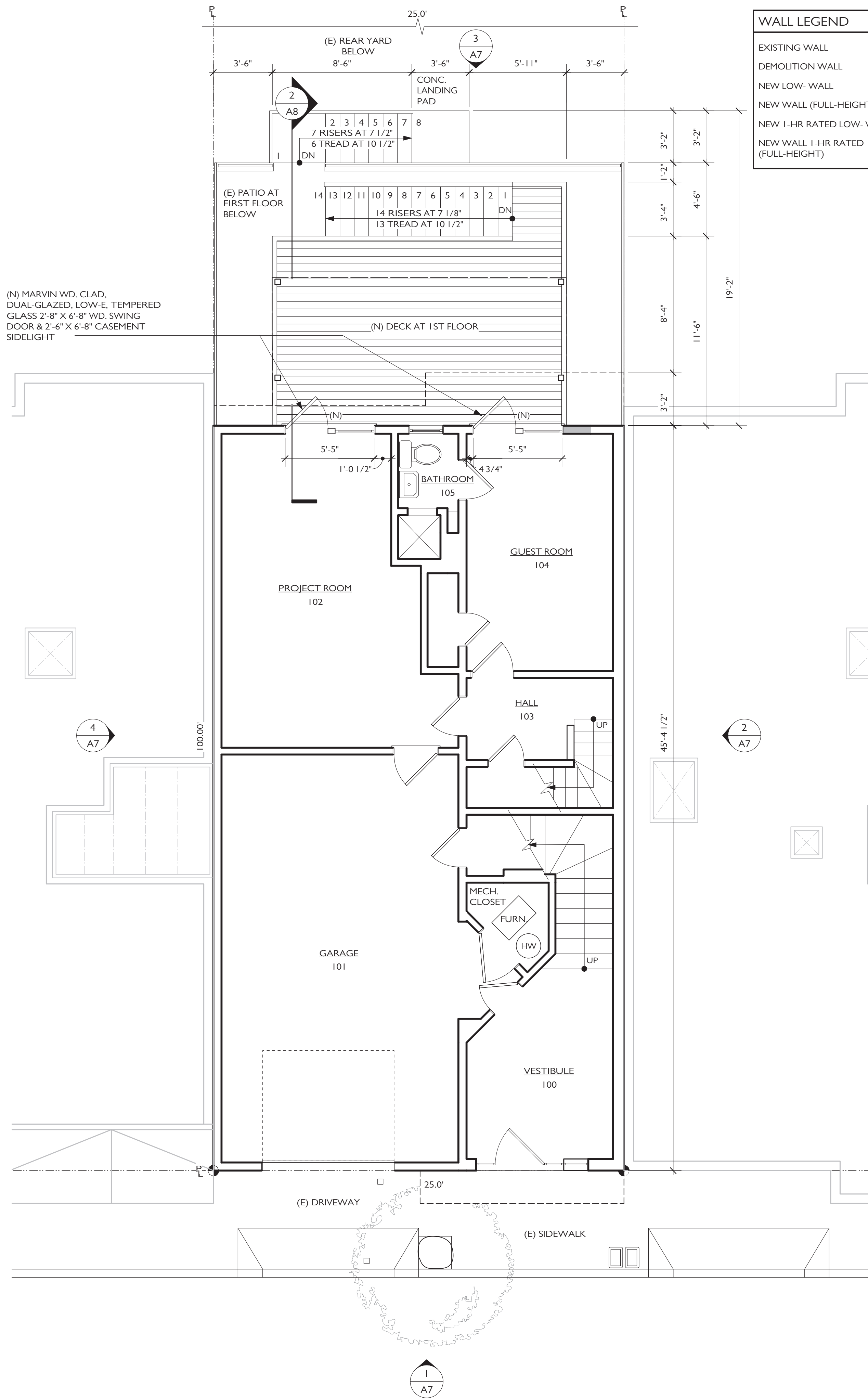
DATE: 06.17.19
ISSUE: 04.10.20
BY: SITE PERMIT SUBMITTAL
FOR PLANNING
COMMISSION
OF 01.30.20

DATE: 06.17.19
ISSUE: 04.10.20
BY: SITE PERMIT SUBMITTAL
FOR PLANNING
COMMISSION
OF 01.30.20

A3

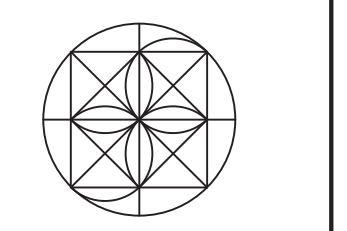


1 A6 EXISTING\DEMO - FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 A7 PROPOSED - FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

WALL LEGEND	
EXISTING WALL	
DEMOLITION WALL	
NEW LOW- WALL	
NEW WALL (FULL-HEIGHT)	
NEW 1-HR RATED LOW- WALL	
NEW WALL 1-HR RATED (FULL-HEIGHT)	



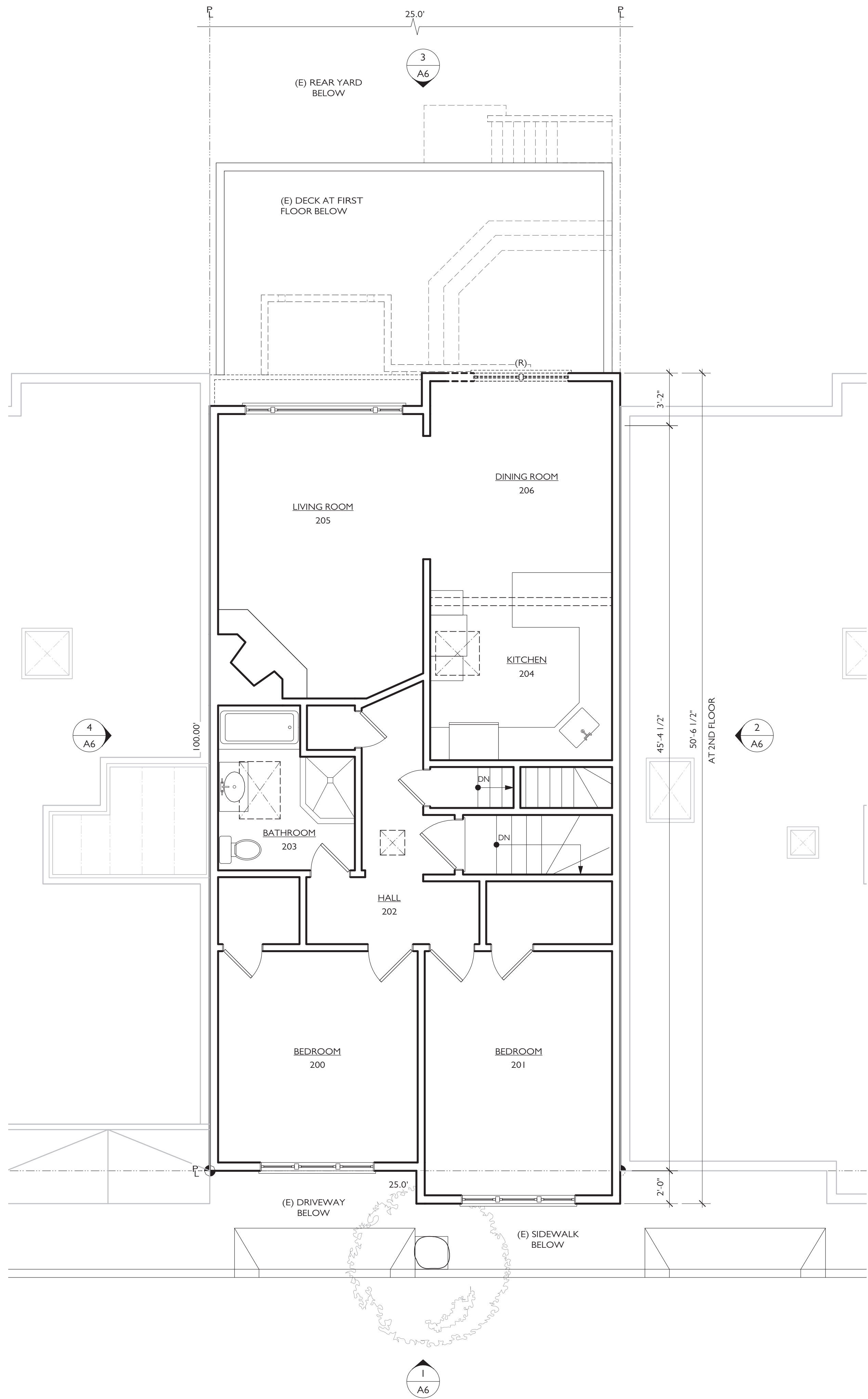
JAMES G STAVOY
ARCHITECT
AIA

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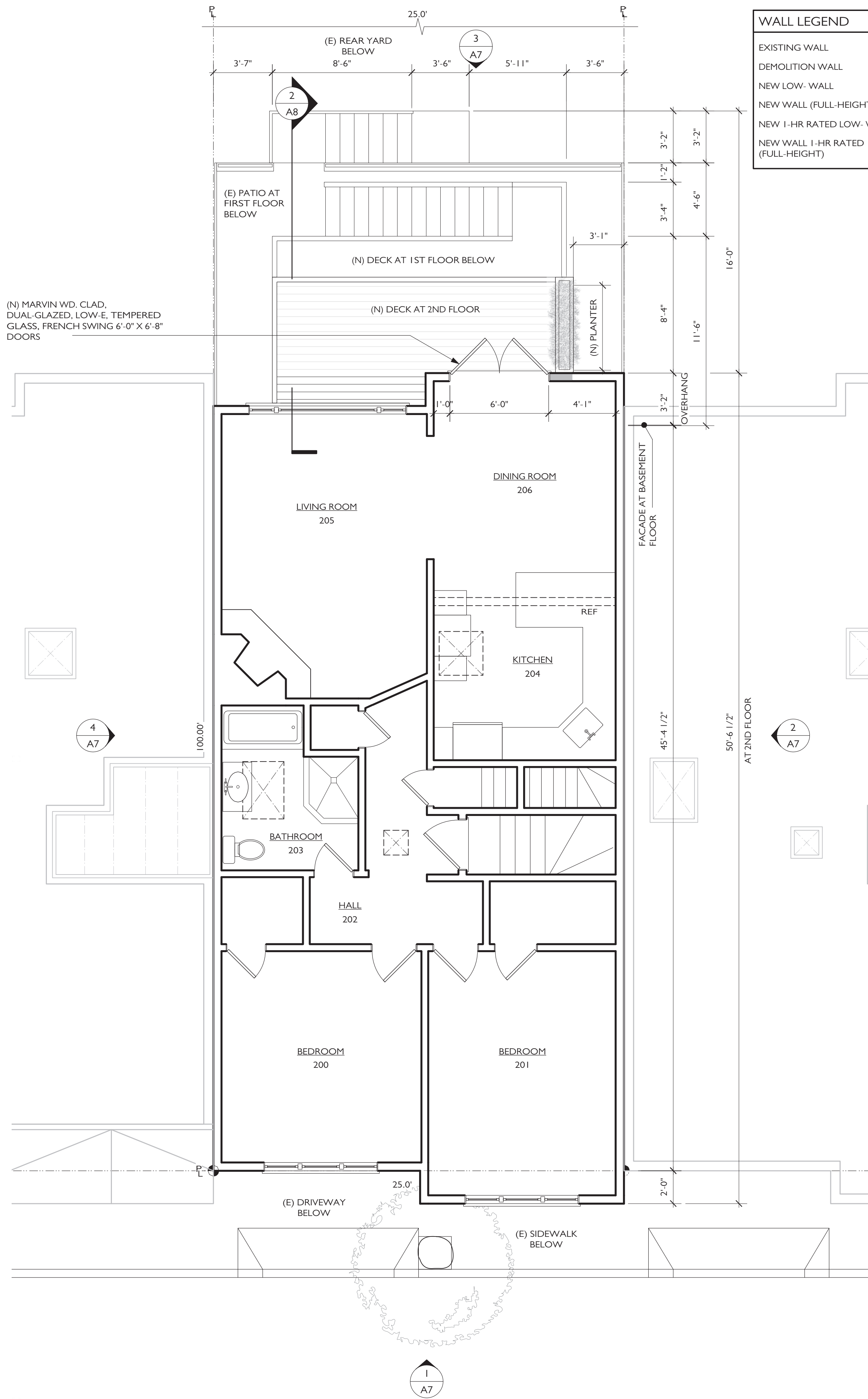
OLSON RESIDENTIAL REMODEL
411 KRONQUIST COURT
SAN FRANCISCO, CA 94131

EXISTING\DEMO &
PROPOSED FIRST
FLOOR PLAN

DATE:	ISSUE:	BY:
06.17.19	SITE PERMIT SUBMITTAL	png
04.10.20	REDESIGN PLAN	png
	COMMISSIONER HEARING	
	07.01.2020	



1 A5 EXISTING\DEMO - SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



2 A5 PROPOSED - SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

WALL LEGEND	
EXISTING WALL	
DEMOLITION WALL	
NEW LOW- WALL	
NEW WALL (FULL-HEIGHT)	
NEW 1-HR RATED LOW- WALL	
NEW WALL 1-HR RATED (FULL-HEIGHT)	

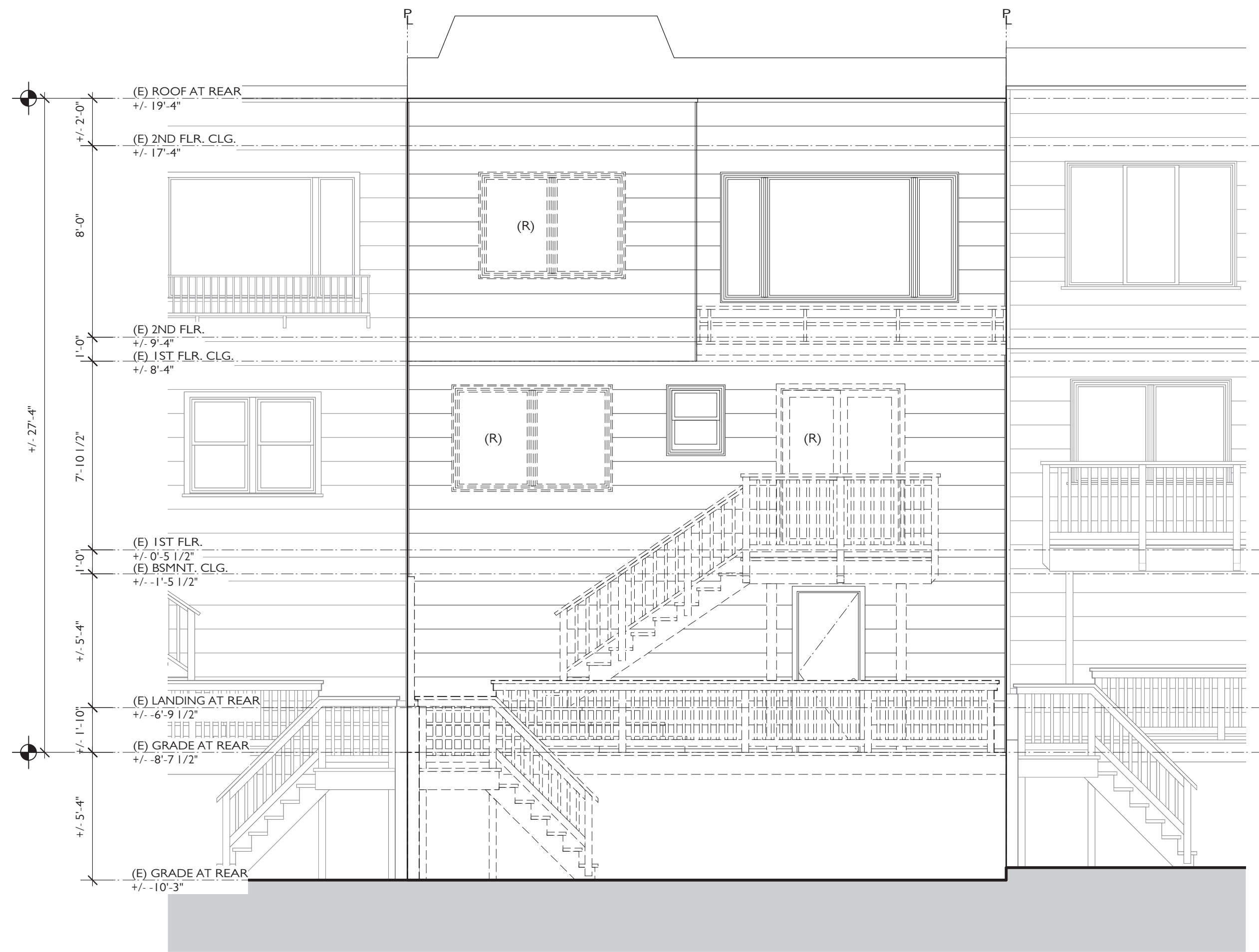
JAMES G STAVOY
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AIA
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94114
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41 KRONQUIST COURT
SAN FRANCISCO, CA 94131

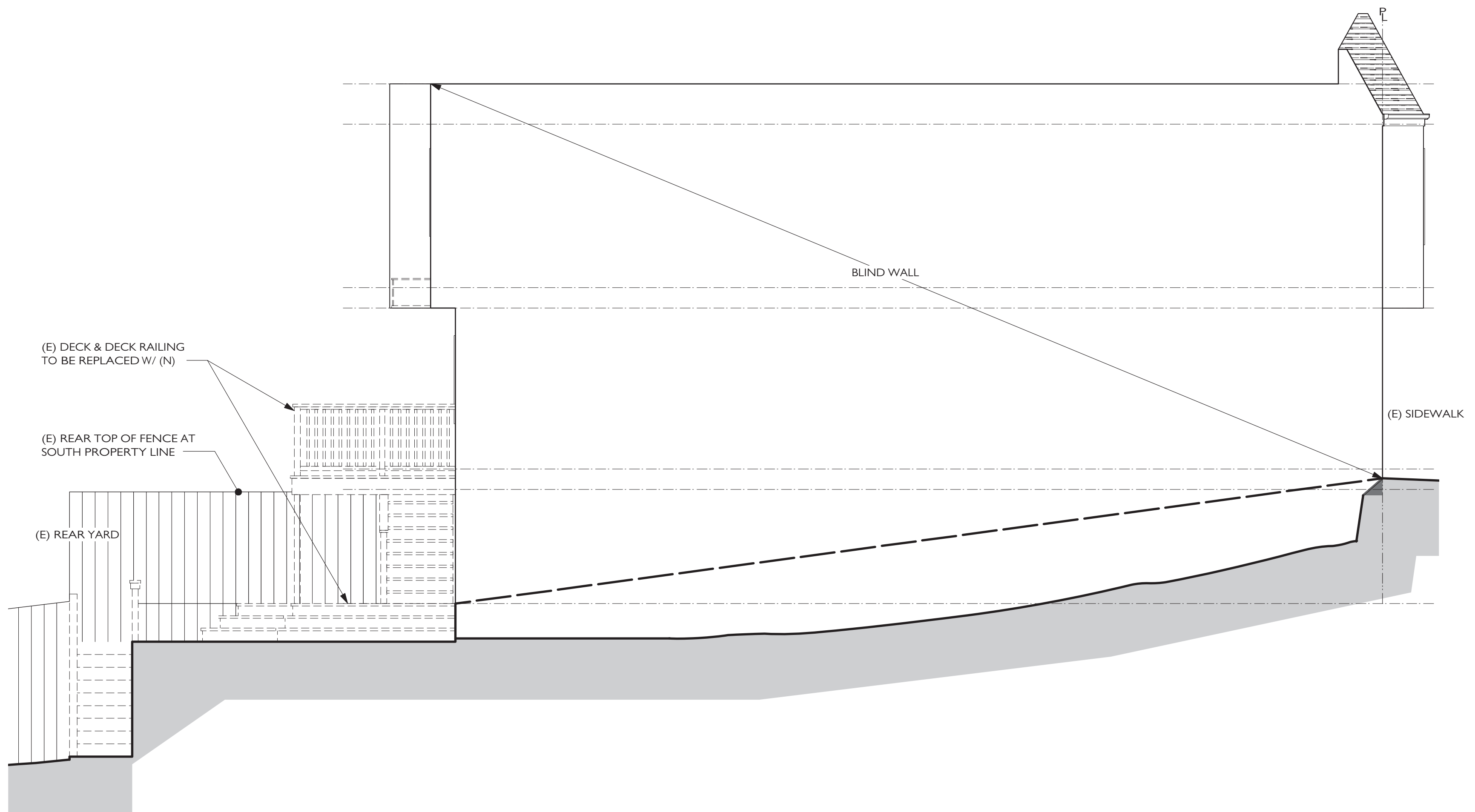
EXISTING\DEMO &
PROPOSED FIRST
FLOOR PLAN

DATE:	ISSUE:	BY:
06/17/19	SITE PERMIT SUBMITTAL	png
04/10/20	REV. PER PLANNING	png
	COMMISSION D.R. HEARING	
	OF 01.30.20	
08/10/20	REV. PER PLANNING	
	COMMISSION D.R. HEARING	
	OF 01.30.20	

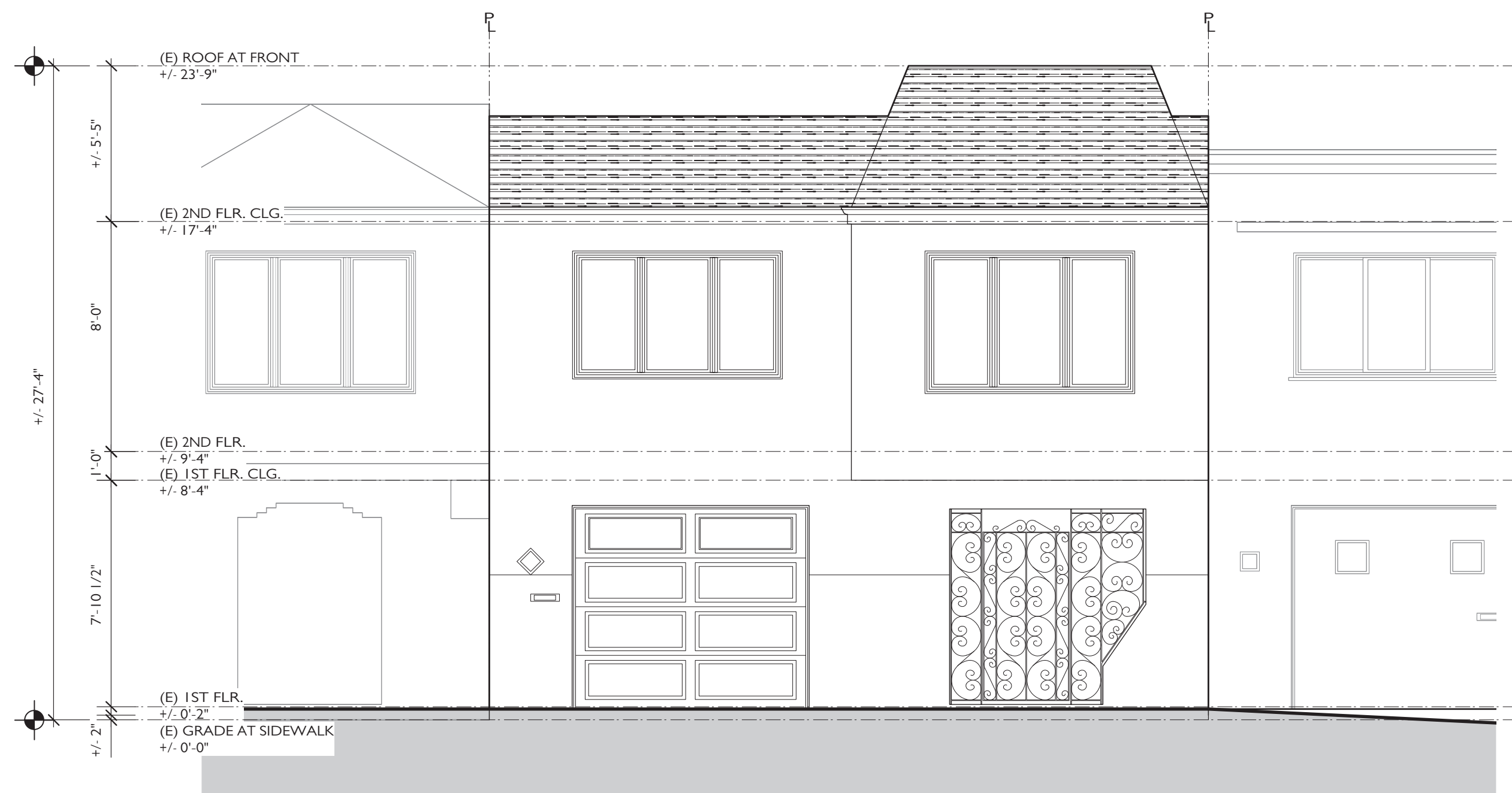
A5



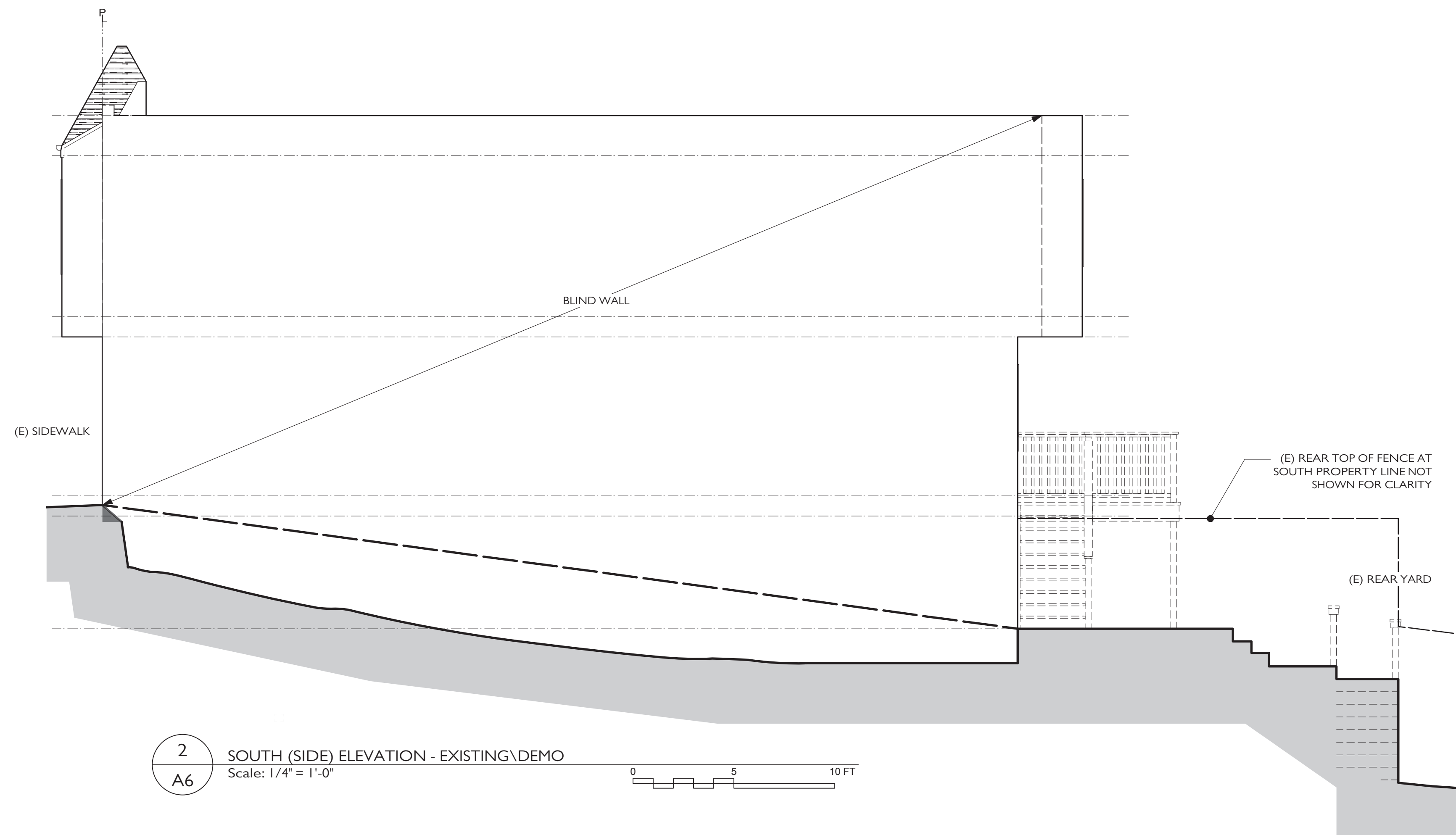
3 EAST (REAR) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



4 NORTH (SIDE) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



1 WEST (FRONT) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



2 SOUTH (SIDE) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



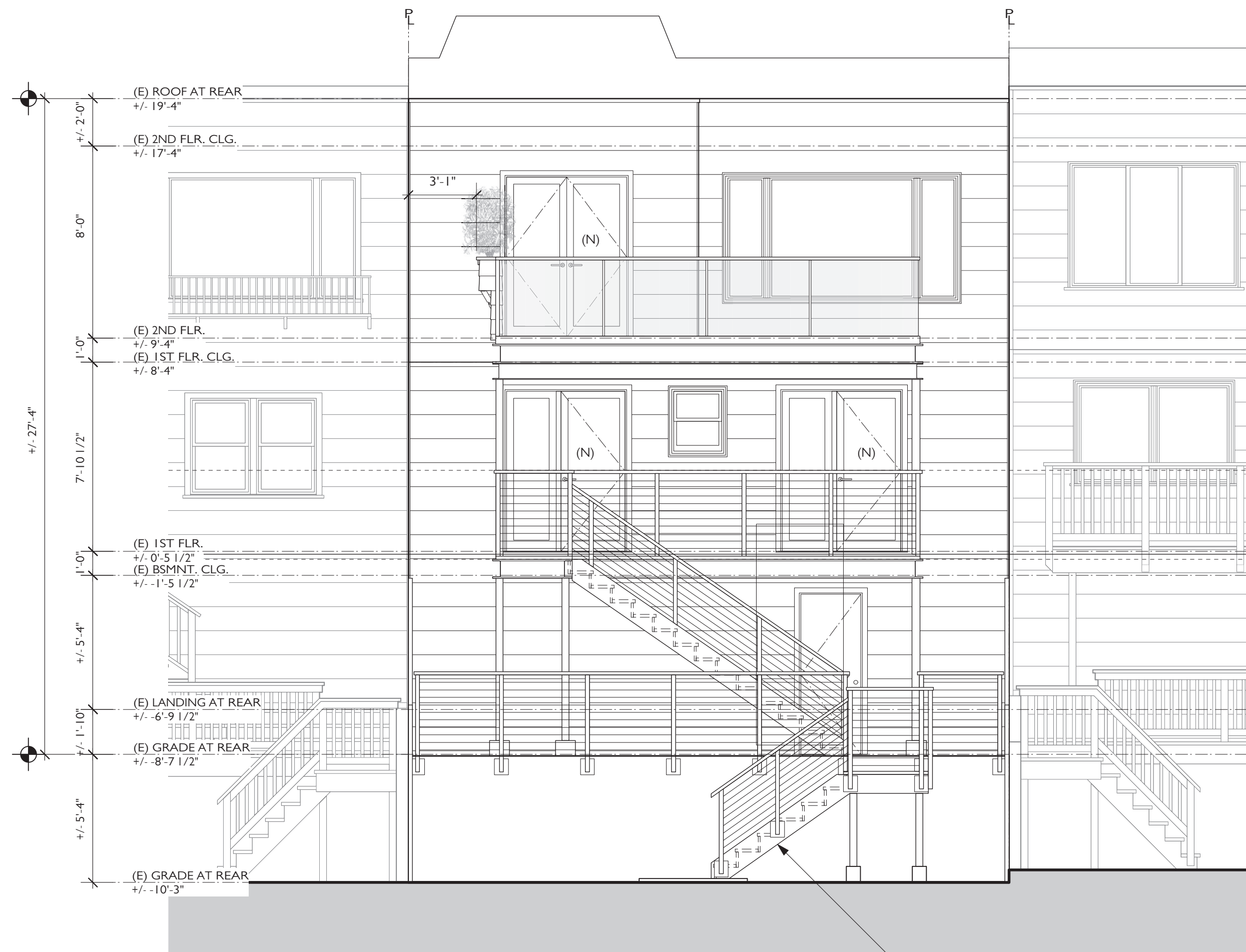
JAMES G STAVOY
ARCHITECT
AIA
679 Sanchez Street
San Francisco, California
94114
415 • 553 • 8696

OLSON RESIDENTIAL REMODEL
411 KRONQUIST COURT
SAN FRANCISCO, CA 94131

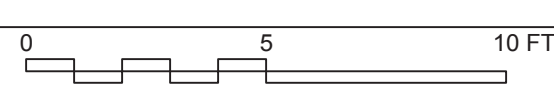
EXISTING ELEVATIONS

BY :	png
DATE :	06.17.19
ISSUE :	SITE PERMIT SUBMITTAL
DATE :	04.10.20
ISSUE :	REVISIONS FOR PLANNING
DATE :	07.01.2020
ISSUE :	COMMISSIONER HEARING

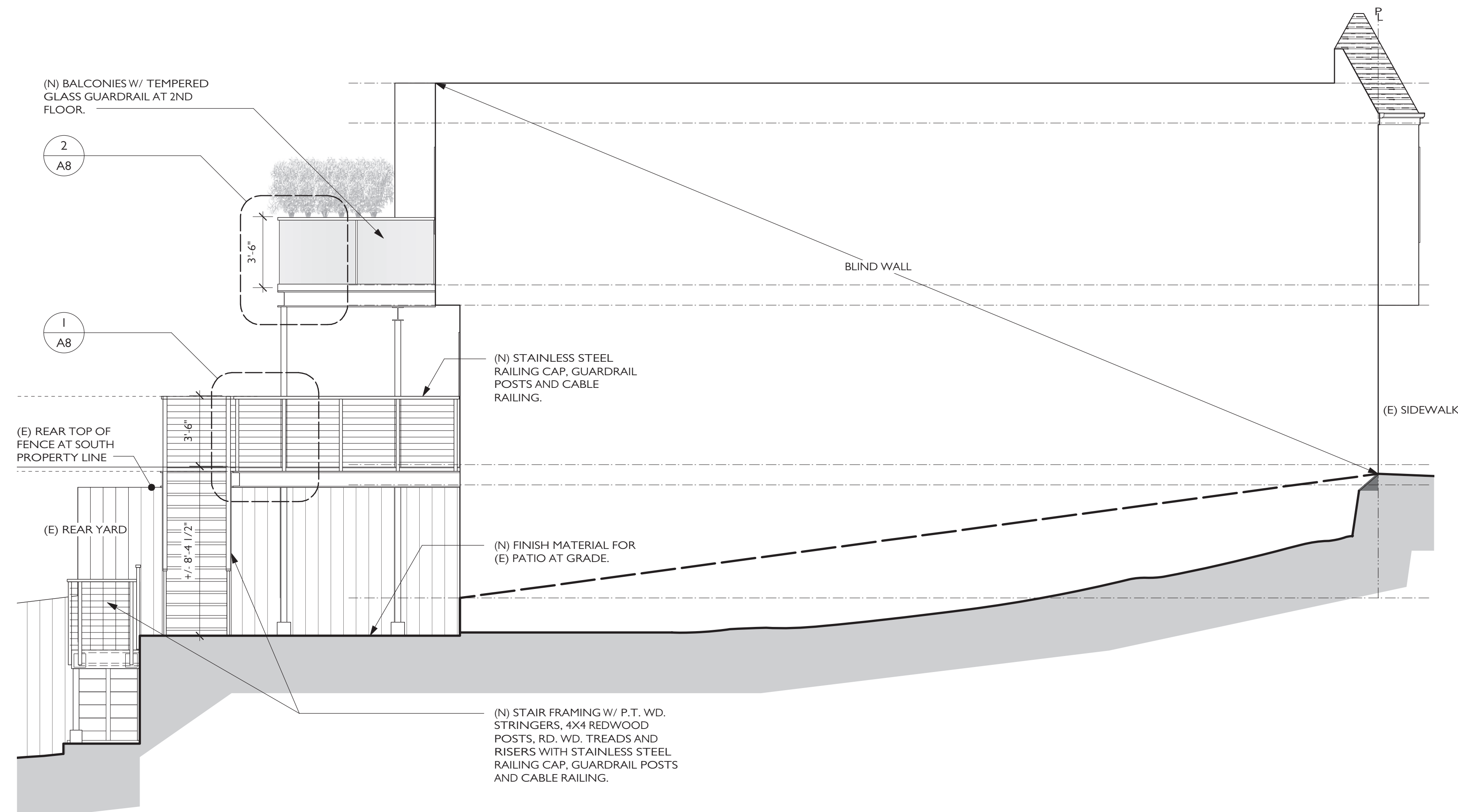
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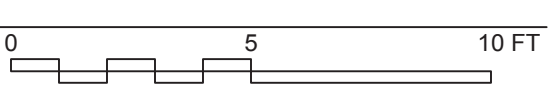
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A7
EAST (REAR) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



(N) STAIR FRAMING W/ P.T. WD. STRINGERS, 4X4 REDWOOD POSTS, RD. WD. TREADS AND RISERS WITH STAINLESS STEEL RAILING CAP, GUARDRAIL POSTS AND CABLE RAILING.

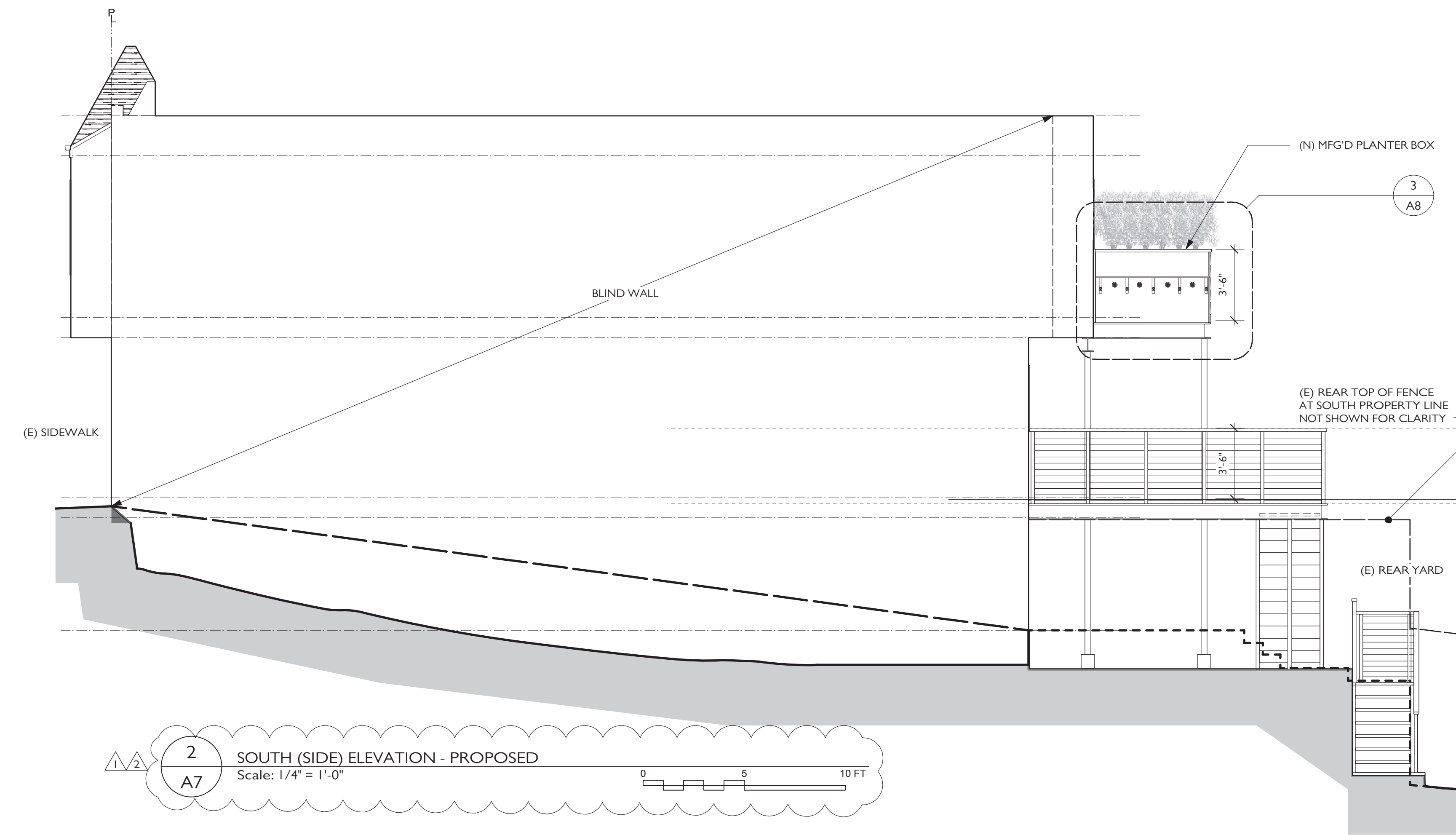
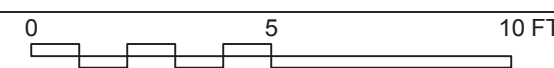


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NORTH (SIDE) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

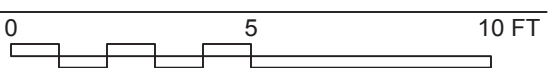


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A7
WEST (FRONT) ELEVATION - EXISTING/DEMO
Scale: 1/4" = 1'-0"

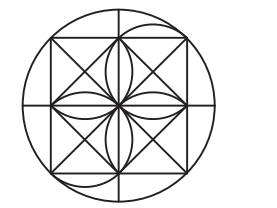
NO NEW WORK ON THIS FACADE



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SOUTH (SIDE) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



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06.17.19	SITE PERMIT SUBMITTAL	pmg
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	OF 01.30.20	
08.10.20	REV. PER PLANNING	
	COMMISSION D.R. HEARING	
	OF 01.30.20	



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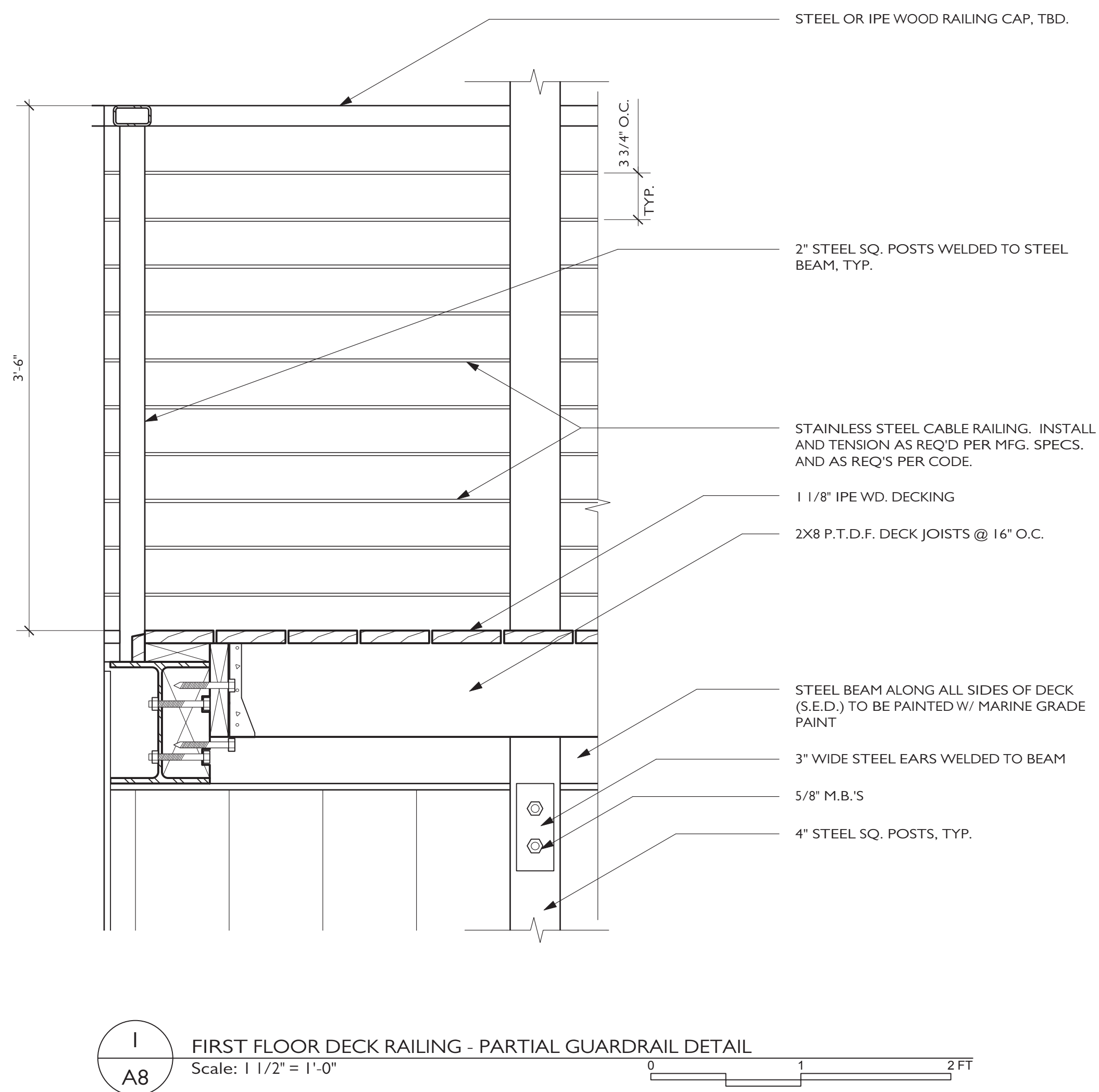
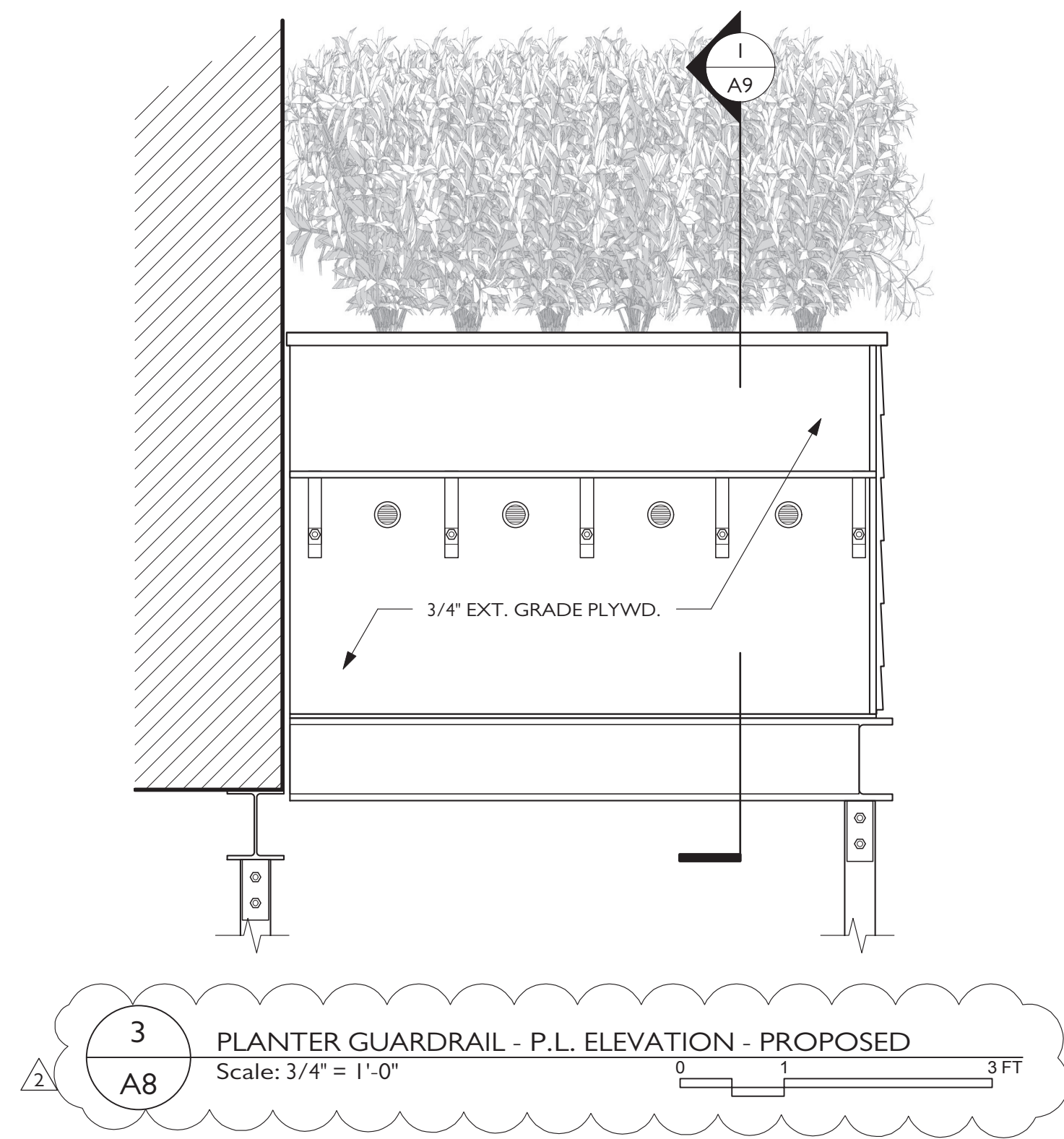
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SAN FRANCISCO, CA 94131

SECTION DETAILS

DATE:	ISSUE:	BY:
06.17.19	SITE PERMIT SUBMITTAL	png
04.10.20	REV. PER PLANNING	png
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08.10.20	REV. PER PLANNING	△
	COMMISSION D.R. HEARING	
	OF 01.30.20	△

A8

no.00317



(N) S.S. RAILING CAP WITH
STAINLESS STEEL CABLE RAILING
AT STAIR AND BASEMENT LEVEL.

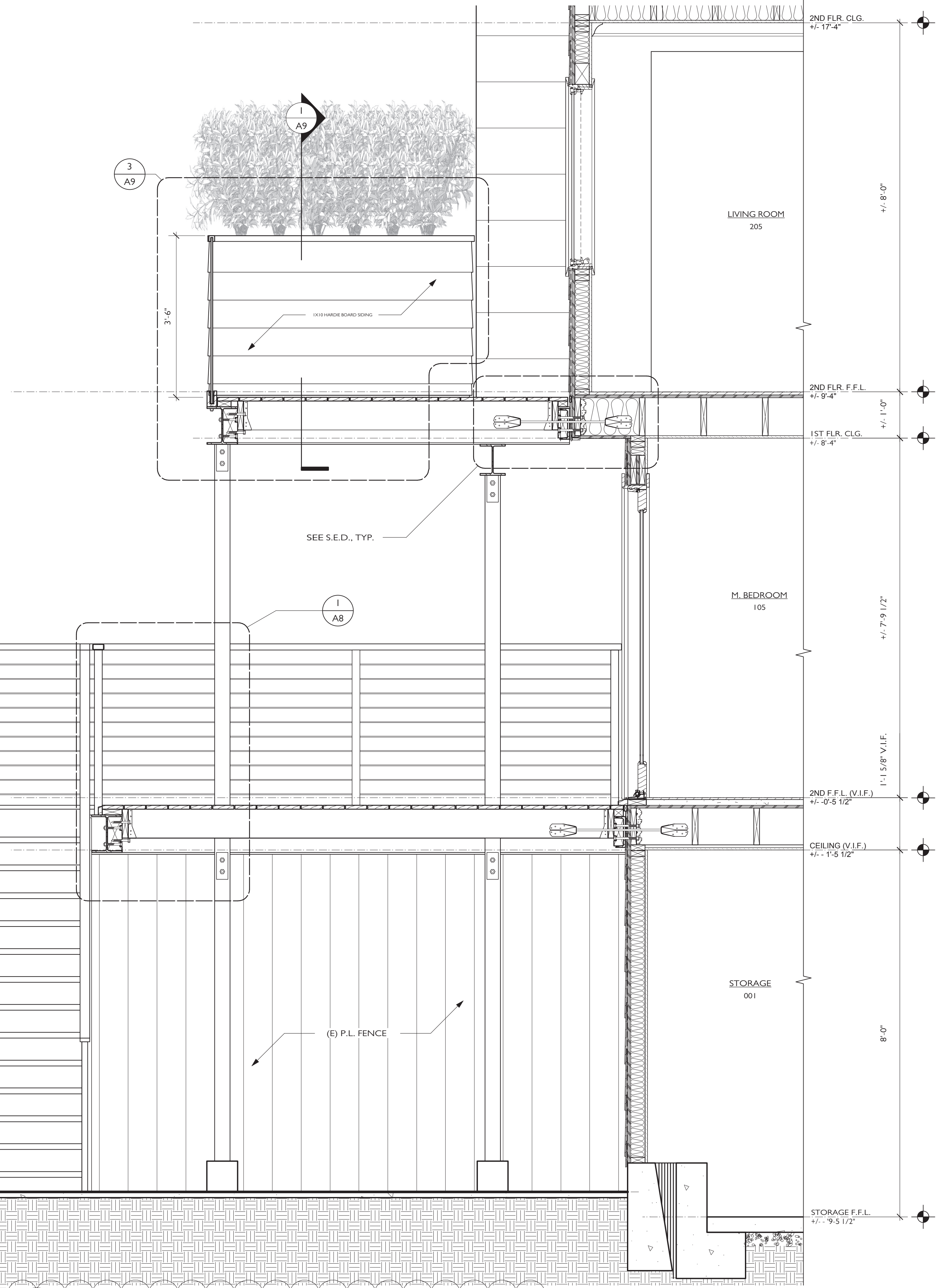
14 RISERS AT 7 1/8"
13 TREAD AT 10 1/2"

(N) STAIR FRAMING W/ P.T. WD.
STRINGERS, 4X4 REDWOOD
POSTS, RD. WD. TREADS AND
RISERS WITH STAINLESS STEEL
RAILING CAP, GUARDRAIL POSTS
AND CABLE RAILING.

7 RISERS AT 7 1/2"
6 TREAD AT 10 1/2"



2
A8
'ALTERNATE' DECK RAILING - PROPOSED
Scale: 3/4" = 1'-0"



41 KRONQUIST COURT
SAN FRANCISCO, CA 94131

SECTION\DETAILS

Page	Commission D.R. Hearing of	mg
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A9

no.00317

PROPERTY
JUST COURT
6582/010

1/2" LOW-WALL AIR GAP BETWEEN
PLYWD. AND SOLE PLATE

2X8 P.T.D.F. DECK JOISTS @ 16" O.C.

4" STEEL SQ. POSTS, TYP

3 2ND FLR. DECK - GUARDRAIL\ PLANTER BOX ELEVATION\ SECTION
A9 Scale: 1 1/2" = 1'-0" 0 1

4" STEEL SQ. POSTS, TYP

2ND FLR. DECK - GUARDRAIL \ PLANTER BOX DETAIL
Scale: 1 1/2" = 1'-0"

EXHIBIT D



Michael Mazzocone <michael@mazzlaw.com>

FW: DR 41 Kronquist Court, Matter Number: 2019-013041DRP (January 30, 2020 hearing)

Winslow, David (CPC) <david.winslow@sfgov.org>

Mon, Jul 20, 2020 at 12:11 PM

To: Michael Mazzocone <michael@mazzlaw.com>

Cc: "Ionin, Jonas (CPC)" <jonas.ionin@sfgov.org>

Dear Mr. Mazzarcone,

I have reviewed the January Commission hearing as has the Commission Secretary. The decision rendered as read into the motion was to provide planter on the outside of the existing deck sufficient to provide for visual screening. We are working with the project sponsor to ensure the detail of the planter affords that.

If you have any questions about the Commission's decision, please contact myself or the Director of Commission Affairs Mr. Ionin.

David Winslow

Principal Architect

Design Review | Citywide and Current Planning
San Francisco Planning Department

1650 Mission Street, Suite 400 | San Francisco, California, 94103

T: (415) 575-9159

The Planning Department is open for business during the Shelter in Place Order. Most of our staff are working from home and we're available by e-mail. Our Public Portal, where you can file new applications, and our Property Information Map are available 24/7. The Planning Commission is convening remotely and the public is encouraged to participate. The Board of Appeals and Board of Supervisors are accepting appeals via e-mail despite office closures. All of our in-person services at 1650 and 1660 Mission Street are suspended until further notice. [Click here for more information.](#)



Michael Mazzocone <michael@mazzlaw.com>

FW: DR 41 Kronquist Court, Matter Number: 2019-013041DRP (January 30, 2020 hearing)

Michael Mazzocone <michael@mazzlaw.com>

Mon, Jul 20, 2020 at 6:52 PM

To: "Winslow, David (CPC)" <david.winslow@sfgov.org>

Dear Mr. Winslow,

Thanks so much for your e-mail.

The decision rendered by the Commission was not, as you say, "to provide planter on the outside of the existing deck" but instead "to provide a planter outside the railing for privacy." This distinction is important because it demonstrates that everyone understood that the railing was to be moved to the interior of the planter, not the exterior. In addition, it was made abundantly clear that the planter was to be located on the deck. Commissioner Moore expressly asked the project sponsor if he had any objection to placing the planter on the deck and he said he had none. I do agree that the purpose of the planter, as you point out, was to provide sufficient screening to provide privacy. The placement of the planter on the deck is obviously critical to providing sufficient screening.

May I please get some clarification from you as well. You state "we are working with the project sponsor to ensure the detail of the planter affords" sufficient visual screening. Will you kindly confirm that this means that the most recently submitted plans by the project sponsor are unacceptable in their current form? The revised plans effectively call for a 5-inch wide flower box to be hung off of the deck's railing. The planter is not located on the deck. The railing has not been moved to the interior of the planter. It is obvious that a 5-inch wide flower box attached to the top of the railing is not physically capable of affording effective screening. The revised plans do not comply with either the wording or the purpose of the decision of the Commission.

I look forward to your clarification and appreciate your attention to this matter.

Many thanks,

Michael Mazzocone

[Quoted text hidden]



Michael Mazzocone <michael@mazzlaw.com>

FW: DR 41 Kronquist Court, Matter Number: 2019-013041DRP (January 30, 2020 hearing)

Michael Mazzocone <michael@mazzlaw.com>

Thu, Jul 23, 2020 at 4:55 PM

To: "Winslow, David (CPC)" <david.winslow@sfgov.org>, "Campbell, Cathleen (CPC)" <cathleen.campbell@sfgov.org>

Dear Mr. Winslow,

Thanks so much for referring me to the proceedings at the DR hearing. Based on your suggestion, I looked at the video again. Below is a verbatim recitation of the motion that was made by Vice President Moore and seconded by President Koppel in connection with the planter, after the issue of moving the stairs was addressed:

"Vice President Moore: ...and the second is to place a planter at the edge of the balcony with a condition that the planter is outbound of the railing of the deck to create a green, fully maintained landscape screen against the adjoining property.

President Koppel: Second."

Prior to the offering the motion, the following conversation took place between Vice President Moore and the project sponsor:

"Vice President Moore: I would like to ask the applicant if you would be comfortable having a green planter on the edge of your deck but have the planter outbound and the railing inbound, so when the D.R. Requester looks out, she basically looks over green into the garden beyond. We often do that. That is not reducing your deck. It just, instead of putting up an opaque screen, which I think further exacerbates the problem, you are creating a green wall for yourself but is outbound of the railing. So it leaves your deck at the same size but it makes it, I think, far more softer for the adjoining property owner.

Response of Project Sponsor: If I understand, your comment is to include a planter on the deck. I think that -- I think that that would be something we would certainly be willing to do. Thank you for your suggestion."

Just prior to making the motion, Vice President Moore explained to my client why placing the planter on the deck will protect privacy indicating that "the planter keeps the person away from the edge. That's what it does."

Based on this, the clerk summarized the motion by the Commission as follows:

"Clerk: Very good, commissioners. There's a motion that has been seconded to take D.R., approve this matter, with moving the stairs to the rear and providing a planter outside the existing railing location for a privacy screen."

It is abundantly clear from the above that the Commission intended for the planter to be on the deck and large enough to create a green, landscaped screen, what Vice President Moore called a "green wall". The size of the planter with the railing being placed on the interior of the planter will serve to keep people away from the edge of the deck and thereby enhance privacy between the neighbors. The small flower box proposed in the project sponsor's revised plans accomplishes none of this. You yourself, at the hearing, said that implementing this would require the good faith of the project sponsor. The revised plans submitted by the project sponsor do not exhibit any of the good faith you expected from the project sponsor. They simply do not comply with the determination of the Commission outlined above.

If you disagree with this analysis, please explain why? Also, your previous e-mail did not address any of the questions I asked, so I would also appreciate it if either you or Ms. Cambell would respond to them.

I realize that you are dealing with much larger issues in your office. However, ever since the time of the DR hearing last January, I have been trying to have a dialogue about this matter with both Ms. Campbell and, originally, with you. No one in your office seems to want to either speak with me or respond to my e-mail. As I have pointed out to Ms. Campbell, it is obvious that there is a dispute between the project sponsor and my client about this issue. I am simply attempting to learn the position of the Planning Department. The courtesy of a substantive reply would, therefore, be most appreciated so we may dispose of this issue.

Thanks again for your assistance.

3/25/2021

Mazzlaw.com Mail - FW: DR 41 Kronquist Court, Matter Number: 2019-013041DRP (January 30, 2020 hearing)

Best,

Michael Mazzocone

[Quoted text hidden]



Michael Mazzocone <michael@mazzlaw.com>

FW: DR 41 Kronquist Court, Matter Number: 2019-013041DRP (January 30, 2020 hearing)

Winslow, David (CPC) <david.winslow@sfgov.org>
To: Michael Mazzocone <michael@mazzlaw.com>

Fri, Jul 24, 2020 at 5:02 PM

If you believe the record reflects the decision incorrectly you are welcome to file an appeal with the board of appeals.

The Planning Department is open for business during the Shelter in Place Order. Most of our staff are working from home and we're available by e-mail. Our Public Portal, where you can file new applications, and our Property Information Map are available 24/7. The Planning Commission is convening remotely and the public is encouraged to participate. The Board of Appeals and Board of Supervisors are accepting appeals via e-mail despite office closures. All of our in-person services at 1650 and 1660 Mission Street are suspended until further notice. Click here for more information.

[Quoted text hidden]

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

1 Scott and Paige Olson
Homeowners
2 41 Kronquist Court
San Francisco, California
3 T: +1 415 305 2967
Emails: solson@vedderprice.com
4 Paige.olson@yahoo.com

5 Respondents

6 CITY AND COUNTY OF SAN FRANCISCO

7 BOARD OF APPEALS

9 ANN S. HEDGES,

10 Appellant,

11 v.

12 SAN FRANCISCO PLANNING
DEPARTMENT AND SAN FRANCISCO
13 DEPARTMENT OF BUILDING
INSPECTION,

14 Respondents.
15

APPEAL NO: 21-012

RESPONSE BRIEF OF HOMEOWNERS TO
BRIEF OF APPELLANT ANN S. HEDGES

HEARING DATE: APRIL 14, 2021

HEARING TIME: 5:00 P.M.

SUBJECT PROPERTY: 41 KRONQUIST COURT

PERMIT TYPE: SITE PERMIT

PERMIT NO.: 2019/06/18/3764

16 **I. INTRODUCTION**

17 We have been fortunate to live at our home at 41 Kronquist Court since 2008 with our two
18 daughters, and were excited to undertake a modest deck project to improve our home for our family.
19 While we considered a more major house buildout, we instead pivoted to a smaller project primarily
20 out of consideration to our immediate neighbors. The deck project is modest in scope, designed to
21 minimize impact to neighbors, and fully complies with all City rules, the Residential Design
22 Guidelines, and architectural standards.

23 The issued Site Permit fully complies with the ruling at the January 30, 2020 Discretionary
24 Review (“DR”) hearing, where the Commissioners issued a ruling approving the project “with
25 moving the stairs to the rear and providing a planter outside the existing railing location for a
26 privacy screen.” For the reason set forth herein, the purported objections of the Appellant to the
27 planter design are wholly without merit and we respectfully request that this appeal be denied
28 without further delay.

II. BACKGROUND FACTS

For reference, attached as Exhibit A hereto is our brief submitted in connection with the DR hearing. After the DR hearing, we worked diligently with the SF Planning Department on numerous iterations and revisions to the drawings to meet the conditions of the DR and avoid unnecessary objections of the Appellant. The Appellant objected to an initial drawing of a overhanging planter off the glass railing. In order to address Appellant's concerns, our architect, James Stavoy, significantly revised the plans to include a wood railing with a sizeable and permanent wood planter built into the railing that is solid all the way down to the deck, with dimensions of 13 inches in width and 16 inches in height. As demonstrated in the drawings attached as Exhibit B hereto, the planter is sufficient to provide a full privacy screen.

III. ARGUMENT

A. The Deck Plans and Site Permit Fully Comply with Terms Set Forth at DR Hearing.

At the DR hearing, the Commissioners issued a ruling approving the deck project with two minor adjustments: (i) moving the stairs to the rear, and (ii) providing a planter "outside the existing railing location for a privacy screen." While the Appellant acknowledges the first condition has been satisfied, Appellant purportedly argues that the second condition has not been satisfied. Contrary to the Appellant's assertions, the Site Permit properly provides for a permanent, fixed wood planter that will function as an effective privacy screen and is fully consistent with the ruling at the DR hearing.

B. The Appellant Misreads and/or Mischaracterizes the Planter Design.

The Appellant's preliminary statement mistakenly states that the planter is only 5 inches wide and 8 ½ inches high. The Appellant's brief also incorrectly states that the planter is "hung off the top railing" and is 10 ½ inches wide and 14 inches high. The correct dimensions of the planter are contained in the site permit drawing attached as Exhibit B hereto, which provides for a planter with an approximate width of 13 inches and height of 16 inches.

Contrary to Appellant's assertions, the planter is a permanent wood structure which is partially built into the width of the railing. This design actually provides a significant benefit to

1 the Appellant because it utilizes the width for the railing to accommodate the planter instead of
2 extending the planter further towards the Appellant's property line. In addition, the planter design
3 with plantings provides for a full privacy screen.

4 On April 2, 2021, prior to filing this Response brief, we reached out to counsel for Appellant
5 via email offering to meet to explain the deck plans with the hopes of resolving any disputes. A
6 copy of the e-mail is attached as Exhibit C hereto.

7 **C. The Appellant Misinterprets the DR Ruling.**

8 The Appellant appears to make the false and disingenuous argument that the DR ruling
9 required the existing deck railing to be relocated. The doors accessing the deck would be rendered
10 unusable if the railing was relocated. Rather, the DR ruling specifically and clearly provided that
11 the planter would be located "outside the existing railing location". As noted by the
12 Commissioners, "this doesn't take away from the deck space". Instead, the Appellant appears to
13 now be utilizing this appeal process to advocate for changes to the size and function of the deck
14 which arguments were specifically rejected by the Commissioners.

15 The issued Site Permit and related drawings are well designed and fully comply with the
16 DR ruling. For reference, the site permit drawings are attached as Exhibit D hereto.

17 **IV. CONCLUSION**

18 We commenced the subject deck plans approximately two years ago and believe the project
19 is modest in scope, specifically designed to have minimal impact on neighbors, and complies with
20 all relevant City rules, Residential Design Guidelines and architectural standards. Further, the
21 issued Site Permit is fully consistent with the conditions set forth in the DR ruling. As such, we
22 respectfully request that the Board of Appeals reject the Appeal and deny any and all relief required
23 by the Appellant.

24 Dated: April 8, 2021

25 /s/ Scott H. Olson

26 Scott H. Olson

26 Paige A. Olson

27 Homeowners/Respondents

EXHIBIT A

Paige and Scott Olson
41 Kronquist Ct.
San Francisco, CA 94131

January 9, 2020

VIA E-MAIL

San Francisco Planning Commission
c/o David Winslow (david.winslow@sfgov.org)
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: Owner's Brief in Support of Deck Project at 41 Kronquist Ct.

Dear San Francisco Planning Commission:

We submit this letter and supporting exhibits in connection with the Discretionary Review hearing currently scheduled for Thursday, January 30, 2020 and respectfully request that the Commission approve our deck project.

I. INTRODUCTION

After living at our home at 41 Kronquist Ct. for over eleven years, we were excited to undertake some updates to our home to make it a bit nicer for our family, which includes our daughters Alison (11) and Brooke (8), and our dog Bella (3). We believe the proposed project is a modest deck project specifically designed to minimize any impact to neighbors, which is consistent with and fully complies with any and all City rules, the Residential Design Guidelines, and architectural standards. In fact, we chose to add and replace decks, rather than a more major buildout of our house, primarily out of consideration to our immediate neighbors.

II. PROJECT DESIGN AND FEATURES

A copy of Site Permit Submittal Drawings is attached hereto as **Exhibit A**. The design of the proposed decks is similar to others in the neighborhood, including the same block, and is kept well within the planning codes rear yard setback requirements and staggered in depth to step down gracefully into the rear yard. For reference, 3-D images of the proposed finished decks are attached hereto as **Exhibit B**. Photographs of existing conditions and decks of neighbors on Kronquist Ct. and 27th Street are attached hereto as **Exhibit C**.

III. DR REQUEST

Given the small scope of our deck project, we were certainly surprised to receive a DR Request from our adjacent neighbor at 47 Kronquist Ct. (the "DR Requestor") particularly given the recent

history of major buildouts on our street. We have met multiple times with the DR Requestor to address her concerns, including in-person meetings with the DR Requestor and her lawyer and a subsequent mediation led by the Chief Architect at the Planning Commission, David Winslow. As a courtesy to the DR Requestor, we previously proposed (i) to build (at our additional expense) a frosted glass privacy screen to address her professed privacy concerns, (ii) to reduce the length of our first floor deck by one foot and (iii) to pay for a new fence at our mutual property line. Unfortunately, we have been unable to resolve issues with the DR Requestor despite our good faith efforts to do so.

The DR Requestor continues to object to the upper deck based on privacy concerns even though our proposal to address with frosted glass was rejected. The upper deck was specifically designed approximately 3'6" off the property line of the DR Requestor, extends only 5'10" from our house, and was done with glass railings to minimize any obstruction of view and avoid blocking light and air (which is less of an issue since we are located on the North side of DR Requestor's Property).

In addition, as a courtesy to the DR Requestor, we did not include a stairway from our top floor deck so as not to block her view. As shown on **Exhibit C**, there are multiple upper decks on our block, including the massive combined home at 23/29 Kronquist Ct., a multi-year project which ironically the DR Requestor went on record supporting. The deck at 23/29 Kronquist Ct. is closer to the property line of its adjacent neighbor and also extends further out than our proposed deck.

We believe our upper deck has minimal impact on the DR Requestor and is consistent with all applicable City rules and neighborhood guidelines. As mentioned, we designed the upper deck with glass railings and over three feet off property line to preserve the view of the DR Requestor. A 3-D model of interior views from the home of the DR Requestor is attached hereto as **Exhibit D**. The 3-D model demonstrates the limited impact on the view of the DR Requestor and likewise her privacy.

It is unclear to what extent the DR Requestor also objects to the first floor deck but it's worth noting that the size of the first floor deck is smaller than that of our other immediately adjacent neighbor at 35 Kronquist Ct. and has little impact on the DR Requestor. The DR Requestor also objects to the location of the stairway off the first floor deck. The stairway at the property line from the first floor deck is a common design feature consistent with our neighborhood and the required firewall will be designed so that the substantial majority of the firewall will be below the existing fence line and is less than 10 feet at its highest point.

IV. LETTERS OF SUPPORT

We have made an effort to reach out to our neighbors to be transparent and ensure they support our deck project. Attached at **Exhibit E** are e-mails to the Planning Commission of full support by our neighbors at 35 Kronquist Ct. and 18 Kronquist Ct., respectively. We note that the supporting property owners at 35 Kronquist Ct. are our immediately adjacent neighbors to the North and that the proposed decks have a similar setback from their property line. They do not share the concerns of the DR Requestor.

V. CONCLUSION

We believe our proposed deck project is modest in scope, is specifically designed to have minimal impact on neighbors, and complies with all relevant City rules, Residential Design Guidelines, and architectural standards. We have invested heavily in our San Francisco community (Scott works in San Francisco and chairs the Board of Directors at the family homeless shelter Raphael House, Paige serves on the Board of Directors at Edgewood Family Center, and our children attend elementary school in San Francisco), which is why we decided to make some small improvements to our home instead of following the trend of other families moving outside our great city. We love our street, neighborhood and larger San Francisco community. We respectfully request that the Commissioners approve our deck project and thank you in advance for your consideration.

Sincerely,



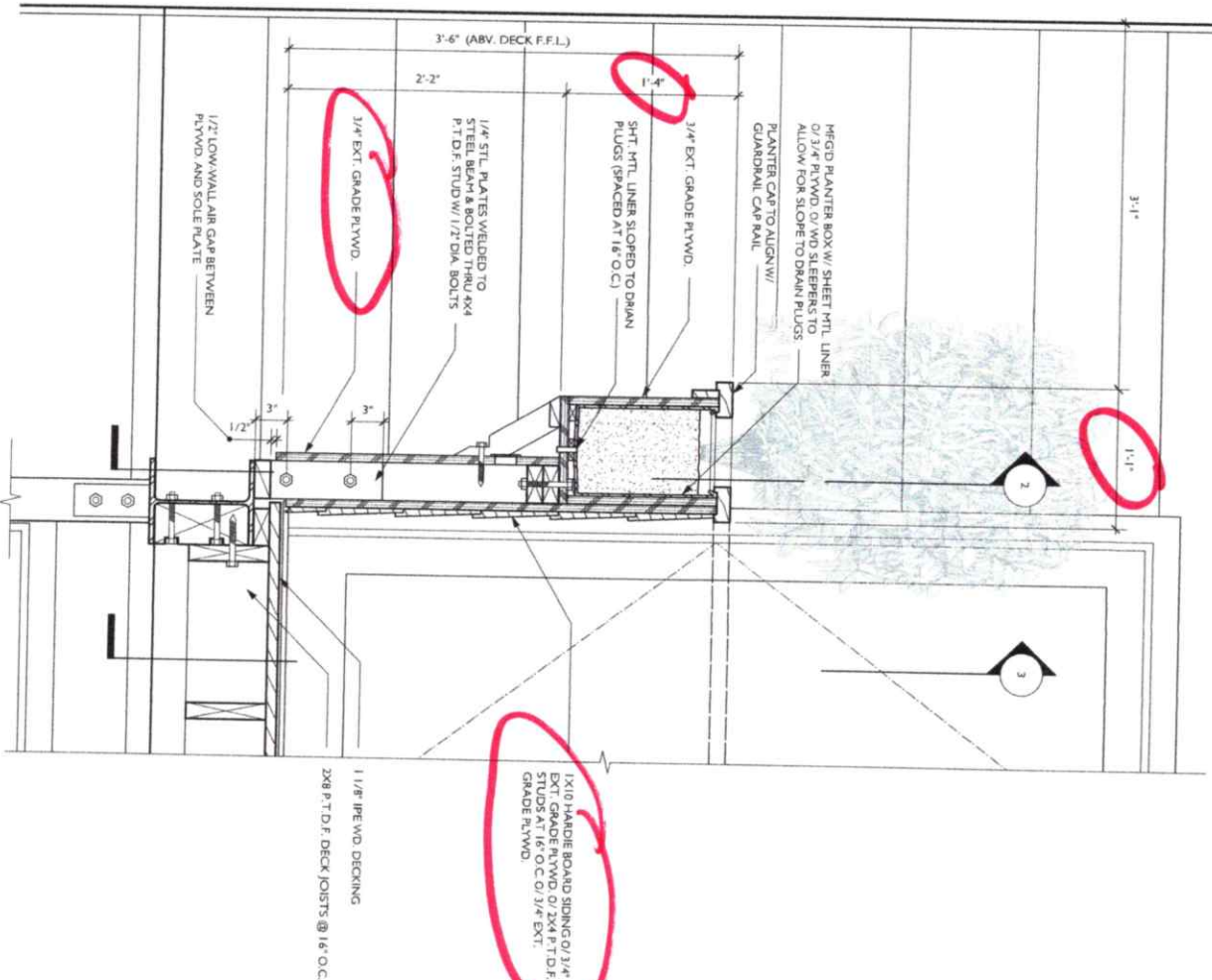
Paige and Scott Olson

Attachments

EXHIBIT B

ADJACENT PROPERTY
47 KRONQUIST COURT
BLOCK/LOT: 6582/009A

SUBJECT PROPERTY
41 KRONQUIST COURT
BLOCK/LOT: 6582/010



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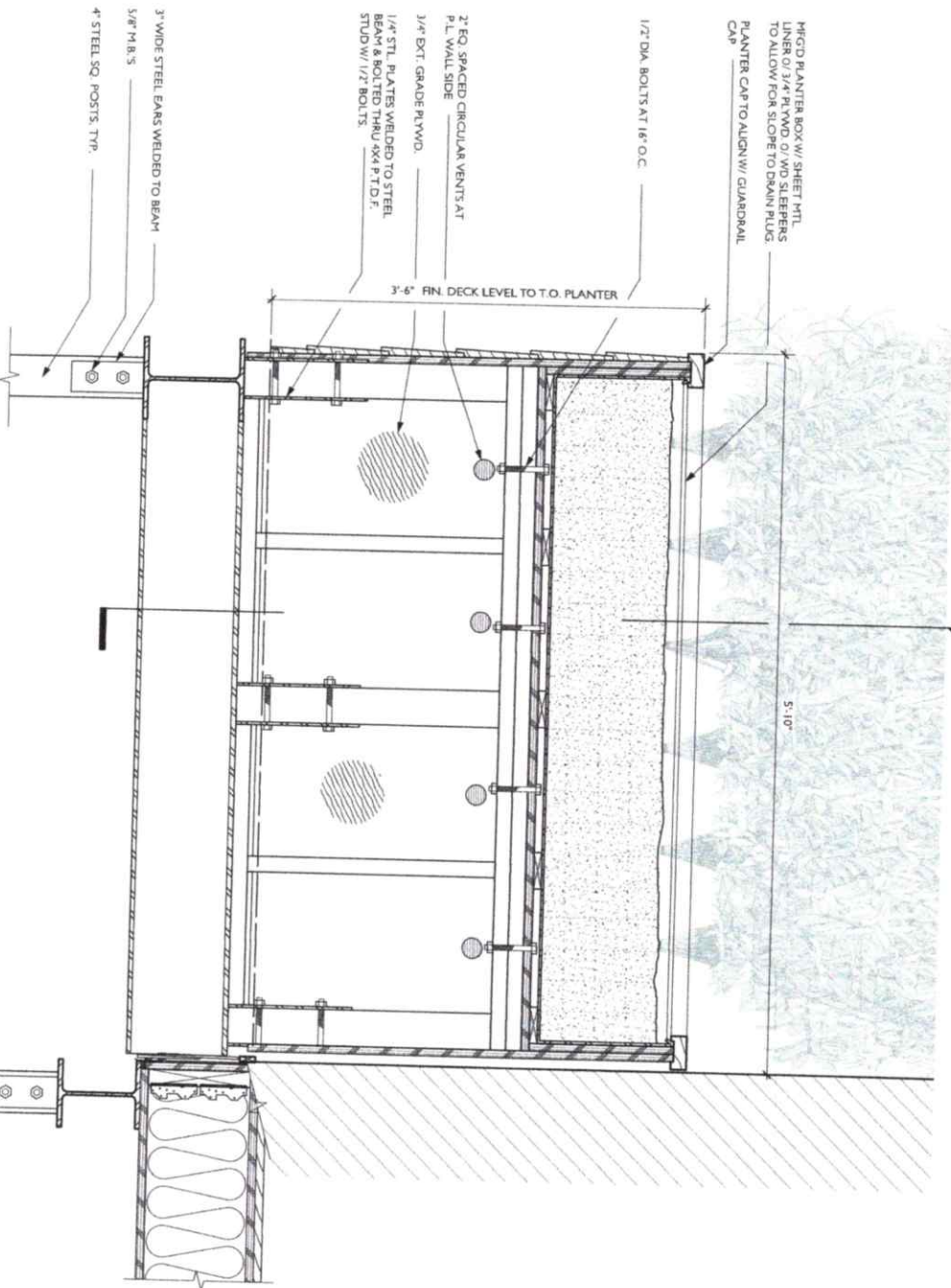
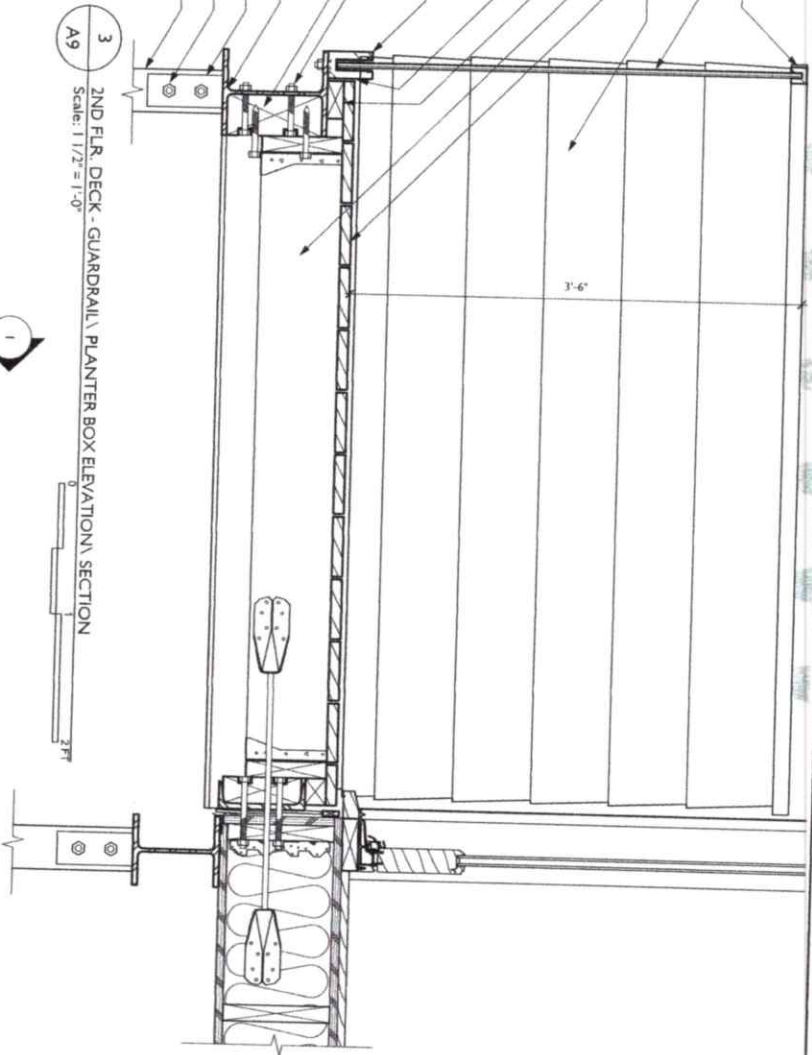
2ND FLR. DECK - GUARDRAIL \ PLANTER BOX DETAIL
Scale: 1 1/2" = 1'-0"

A9

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2ND FLR. DECK - GUARDRAIL \ PLANTER BOX ELEVATION SECTION
Scale: 1 1/2" = 1'-0"

A9



2

2ND FLR. DECK - GUARDRAIL \ PLANTER BOX DETAIL
Scale: 1 1/2" = 1'-0"

A9



JAMES G. STAVOY
ARCHITECT
AIA

679 Sutter Street
San Francisco, California
415-553-8696

OLSON RESIDENTIAL REMODEL
41 KRONQUIST COURT
SAN FRANCISCO, CA 94131

SECTION \ DETAILS

DATE	ISSUE	BY
08.10.20	REV. PER PLANNING	pmg
01.10.20	COMMISSION D.R. HEARING OF	pmg

A9

EXHIBIT C

From: Olson, Scott H.
Sent: Friday, April 2, 2021 2:27 PM
To: michael@mazzlaw.com
Cc: olson@stanfordalumni.org; paige.olson@yahoo.com
Subject: 41 Kronquist Court

Michael,

We have received an appeal you filed on behalf of Ms. Hedges with respect to the issuance of a site permit for the decks at 41 Kronquist Ct. Prior to responding to the appeal, I wanted to reach out to discuss whether Ms. Hedges would be willing to withdraw her appeal given that the plans issued provide for a planter with a full privacy screen. I want to make sure to explain the issued plans to you with the hopes of obtaining the support of Ms. Hedges, as the Preliminary Statement that was filed did not appear to be citing to the issued plans. In any event, it is our strong preference to resolve any disputes if possible rather than go through a time consuming and costly proceeding. As such, please advise of a convenient time for a call on Monday morning should you wish to discuss. Thank you for your time and consideration.

Best,

Scott and Paige Olson

Scott Olson, Shareholder

VedderPrice

T +1 415 749 9513

275 Battery Street, Suite 2464, San Francisco, CA 94111

Assistant: Ilda Reiner T +1 415 749 9543

[web](#) | [email](#) | [offices](#) | [biography](#)

EXHIBIT D

OLSON RESIDENTIAL DECK REMODEL

41 KRONQUIST COURT, SAN FRANCISCO, CA 94131

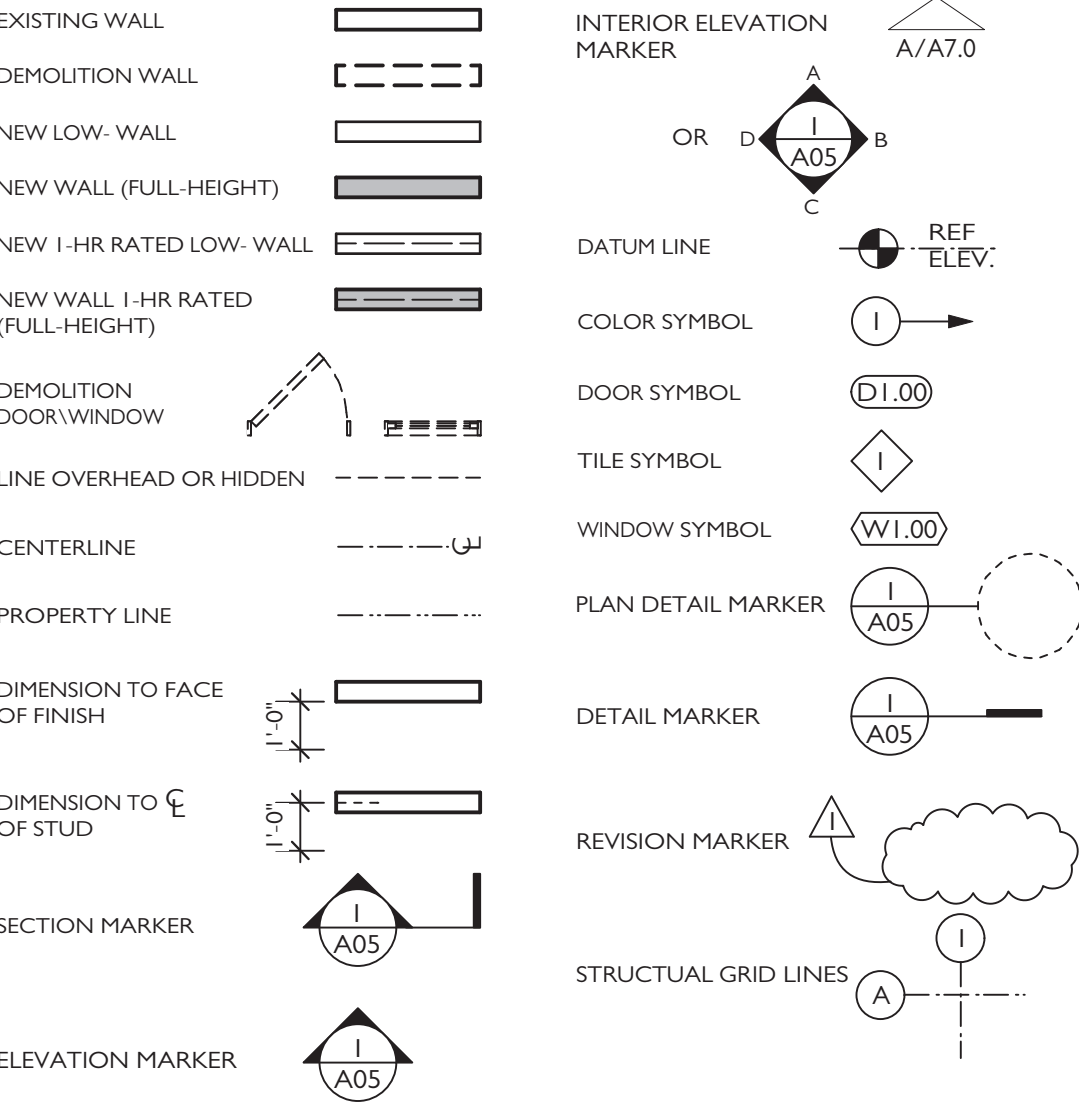
ABBREVIATIONS:

ABV.	ABOVE	KIT.	KITCHEN
AC	AIR CONDITIONING		
A.D.	AREA DRAIN	LAM.	LAMINATED
ADA	AMERICANS W/ DISABILITIES ACT	LAV.	LAVATORY
		LB.	POUND
ADJ.	ADJACENT		
A.F.F.	ABOVE FINISHED FLOOR	MATL.	MATERIAL
ALUM.	ALUMINUM	MAX.	MAXIMUM
ALT.	ALTERNATE	M.D.F.	MEDIUM DENSITY FIBER-BOARD
APPROX. &	APPROXIMATE		
ARCH.	ARCHITECTURE	MECH.	MECHANICAL
		MFG.	MANUFACTURER
BD.	BOARD	MIN.	MINIMUM
BASE BD.	BASE BOARD	MISC.	MISCELLANEOUS
BIT.	BITUMINOUS	MTD.	MOUNTED
BLDG.	BUILDING	MTL.	METAL
BLK'G	BLOCKING		
B.O.	BOTTOM OF	(N)	NEW
		N	NORTH
		NA	NOT APPLICABLE
C.-J.	CONTROL JOINT	N.I.C.	NOT IN CONTRACT
C.L.	CENTER LINE	NO. OR #	NUMBER
CLG.	CLEAR	NOM.	NOMINAL
CLR.	CLEAR	N.S.F.	NET SQUARE FOOTAGE
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
CNTR.	CENTER	O/	OVER
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	O.D.	OUTSIDE DIMENSION
CONST.	CONSTRUCTION	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
CONT.	CONTINUOUS		
C.R.S.	COLD ROLL STEEL	O.H.	OPPOSITE HAND
CTOP.	COUNTERTOP	OPN'G	OPENING
CUST.	CUSTOM		
		P.C.	PLUMBING CHASE
D	DRYER	PL.	PLATE
DBL.	DOUBLE	PLYVD.	PLYWOOD
(D)	DEMOLITION	PT.	PRESSURE TREATED
D.F.	DOUGLAS FIR	PL	PROPERTY LINE
DIA.	DIAMETER	PLAM	PLASTIC LAMINATE
DIM.	DIMENSION		
DN.	DOWN	(R)	REPLACE
D.S.	DOWN SPOUT	R.A.	RETURN AIR
DTL.	DETAIL	RAD.	RADIUS
DWG.	DRAWING	RCP	REFLECTED CEILING PLAN
		RD	ROOF DRAIN
		RDWD	REDWOOD
E	EAST	REF	REFERENCE
EA.	EACH	REFR	REFRIGERATOR
ELEC.	ELECTRICAL	REQ'D	REQUIRED
ELEV.	ELEVATION	REV	REVISION
E.P.	ELECTRICAL PANEL	ROOM	ROOM
EQ.	EQUAL	R.O.	ROUGH OPENING
EQUIP.	EQUIPMENT	R.W.L.	RAIN WATER LEADER
(E)	EXISTING		
EXP.	EXPOSED	S	SOUTH
EXT.	EXTERIOR	S.A.	SUPPLY AIR
		SC	SOLID CORE
FAB.	FABRICATED/FABRICATOR	SD	SMOKE DETECTOR
F.A.U.I.	FLOOR UNIT	S.O.G.	SLAB ON GRADE
FDR.	FLOOR DRAIN	S.S.D.	SEE STRUCTURAL DRAWINGS
FDN.	FOUNDATION	SQ. FT.	SQUARE FOOT
F.F.	FINISHED FLOOR	SHT.	SHEET
F.F.E.	FINISHED FLOOR ELEV.	SIM.	SIMILAR
F.G.	FINISHED GRADE	SPEC.	SPECIFICATIONS
FIN.	FINISH	SQ.	SQUARE
FIXT.	FIXTURE	S.S.T.	STAINLESS STEEL
FLR'L'RG	FLOOR FLOORING	STD.	STANDARD
FLUOR.	FLUORESCENT	STL.	STEEL
F.O.	FACE OF		
F.O.C.	FACE OF CONCRETE	T.B.D.	TO BE DETERMINED
F.O.S.	FACE OF STUD	T&B	TOP AND BOTTOM
F.O.P.	FACE OF PLYWOOD	T&G	TONGUE AND GROOVE
F.O.W.	FACE OF WALL	TEMP.	TEMPERED
F.P.	FIRE PLACE	T.O.	TOP OF
FT.	FOOT/FEET	T.O.P.	TOP OF PLATE
FURN.	FURNACE	T.O.S.	TOP OF SLAB
FUR.	FURRING	T.O.F.F.	TOP OF FINISHED FLOOR
		T.O.W.	TOP OF WALL
		TYP.	TYPICAL
GA.	GAUGE		
GALV.	GALVANIZED	UL	UNDERWRITER'S
G.C.	GENERAL CONTRACTOR		LABORATORY
GL.	GLASS OR GLAZING		UNLESS OTHERWISE
GRND.	GROUND	U.O.N.	NOTED
G.S.F.	GROSS SQUARE FOOTAGE		
G.S.M.	GALVANIZED SHEET MTL.		
GYP.	GYPSUM WALLBOARD		
		VAR.	VARIES
H.C.	HOLLOW-CORE	V.C.T.	VINYL COMPOSITE TILE
HDR.	HEADER	VENT.	VENTILATION
HDBD.	HARD BOARD	VERT.	VERTICAL
HDWD.	HARD WOOD	V.G.	VERTICAL GRAIN
H.G.	HORIZONTAL GRAIN	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	VOL.	VOLUME
HR.	HOUR		
H.R.S.	HOT ROLLED STEEL	W	WEST
HT.	HEIGHT	WIND.	WINDOW
H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING	W/	WITH
		W.C.	WATER CLOSET
		WO.	WITHOUT
		WD	WOOD
		WP	WATER PROOF
I.D.	INSIDE DIMENSION	WPM	WATER PROOF MEMBRANE
IN.	INCH/INCHES	W.H.	WATER HEATER
INCL.	INCLUDING		
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		

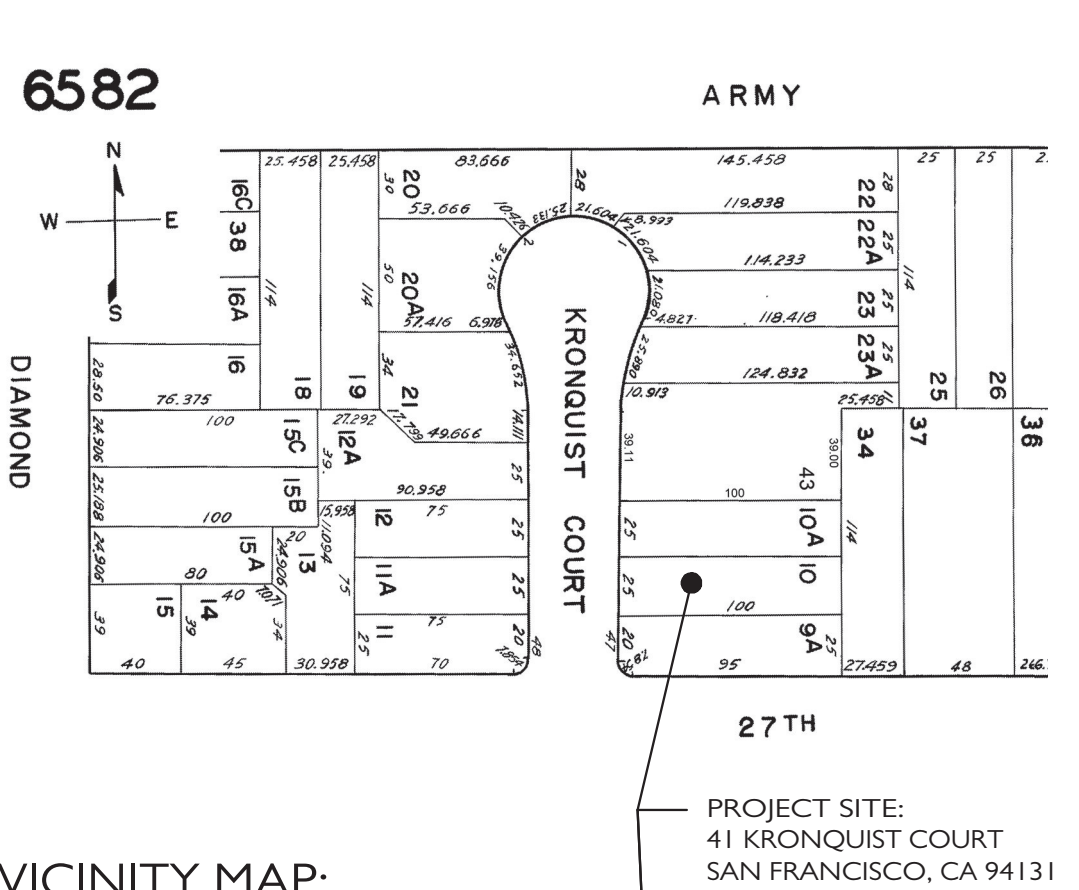
GENERAL NOTES:

- All work shall be done in conformance with the California Building Code currently adopted, as well as all applicable code and pertinent federal, state, county and municipal ordinances.
 - The Contractor shall verify all dimensions and coordinate the scope of all work with the contract documents and existing conditions before starting construction. Discrepancies between Architect's, Engineer's or Manufacturer's construction details shall be resolved to satisfy the most stringent requirement. Notify the Architect or Engineer of special or unusual conditions before proceeding with the work.
 - All dimensions take precedent over scale. The Contractor shall not scale the drawings with the intent of determining exact placement or location of particular assemblies. All plan dimensions indicated are to column centerline, to face of concrete, to finished face of gypsum board, or to face of masonry U.O.N.
 - Details as shown are typical. All conditions not specifically detailed on the drawings shall be similar to those shown or implied or shall match existing conditions.
 - The Contractor shall complete and perform all work in a good, professional manner at a level, quality and tolerance consistent with the standards of the construction industry. The Construction Documents are provided to illustrate the design and general intent of construction desired and imply the finest quality of construction, material and workmanship throughout.
 - The Contractor shall maintain the integrity of all scaffolding, shoring and bracing systems as required for the installation of new work and shall provide permanent stability for existing and new facilities.
 - Contractor shall provide all necessary blocking, backing, framing, hangers and/or other supports for all fixtures, equipment, casework, furnishing and all other items requiring same.
 - When penetrating eXisting soil substrate, verify depths and locations of adjacent piping and foundation systems. All stumps, roots and vegetation shall be removed from the soil to a depth of at least 12" below grade in an area to be occupied by the building. All wood concrete forms shall be removed from the site. Before completion, loose or casual wood shall be removed from direct ground contact under the building.
 - Contractor shall take suitable measures to prevent interaction between dissimilar metals.
 - Mechanical, Plumbing and Electrical sectors of the work shall comply with the CBC, as well as all applicable reference codes (CMC, CEC and CPC) and ordinances appertaining. Gauges and sizes, construction methods, and specifications of materials and equipment shown, noted or detailed shall be in accordance with all applicable standards. All fixtures and fittings shall be properly plumbed and vented. The Contractor shall trace all new and existing electrical circuitry falling within the scope of work detailed herein back to the breaker box to ensure proper loading and convenient grouping per leg of service. Where applicable, the contractor shall coordinate with local utility agencies all work entailing additional service and connection, off-and on-site, and do so in a manner that will neither delay nor encumber the orderly execution of dependent work. Energy Conservation methods and materials shall comply with California administrative code, Title 24.
 - All revisions, addenda and Change Orders must be reviewed by the Architect and approved by the Owner. Submittals for such review shall be scheduled and coordinated by the Contractor so as not to delay or encumber the orderly execution of all work falling within the scope of the project herein documented.
 - The Contractor shall be solely responsible for safety on the Project Site and shall adhere to all Federal, State, County, Municipal and O.S.H.A. safety regulations.
 - The Contractor shall maintain all proper Worker's Compensation and Liability Insurance throughout the duration of construction.
- ### ELECTRICAL NOTES:
- E1: PRIMARY LIGHT SOURCE ON FIRST SWITCH TO BE FLOURESCENT.
- E2: GFCI PROTECTION REQ'D ON ANY RECEPT. WITHIN 6'-0" OF SINK.
- E3: PROVIDE ELEC. OUTLETS IN KITCHEN SO THAT NO POINT ALONG A COUNTER IS MORE THAN 2' FROM AN OUTLET PER CEC-21 0-52. PROVIDE ACCESSIBLE OUTLET AT ISLAND.
- E4: SEPARATE KITCHEN CIRCUITS TO BE PROVIDED FOR COUNTERTOP OUTLETS, REFRIGERATOR, AND DISHWASHER/DIPOSAL. PROVIDE MIN. 2-20 AMP SMALL APPLIANCE BRANCH CIRCUITS (PER CEC SECT 210-52 & 220-4).
- ### MECHANICAL NOTES:
- M1: PROVIDE 200 SQ. IN. NET OPENING FOR GARAGE VENTILATION PER CMC.
- M2: PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR W.H PER CPC-507. (FURNACE PER CMC-CH. 7). ANY APPLIANCE W/ FLAME SOURCE TO BE MOUNTED MIN. 18" ABOVE FLOOR PER CMC-308 (W.H. PER CPC-510.1)
- M3: PROVIDE APPROVED SEISMIC STRAPS W.H. TO WALL PER CPC-510.5.
- M4: TERMINATE GAS VENT 4'-0" FROM P.L. AND 2'-0" ABOVE ANY PORTION OF A BLDG WITHIN 10'-0" & PER CMC 806.4.
- M5: TERMINATE ALL ENVIRONMENTAL AIR EXHAUST DUCTS (KITCHEN RANGE HOOD, BATHROOM FAN, DRYER) MIN. 3FT. FROM ANY OPENING OR PROPERTY LINE PER CMC SECT 504. PROVIDE BACK DRAFT DAMPER (B.D.D.)
- M6: DRYER EXHAUST DUCT: 14'-0" MAX. W/ 2-90° PER CMC-504.3 OR PER MANUF. VENT TO EXT.
- M7: PER CBC 1203.3, PROVIDE MECH. VENTILATION SYSTEM (EXHAUST FAN W/ BACK DRAFT DAMPER - B.D.D.) CONNECTED DIRECTLY TO THE EXTERIOR CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR WITH A POINT OF DISCHARGE AT LEAST 3 FT FROM ANY P.L. OR OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- ### PLUMBING NOTES:
- P1: INSTALL GREY WATER SYSTEMS PER CITY OF BURLINGAME REQUIREMENTS.

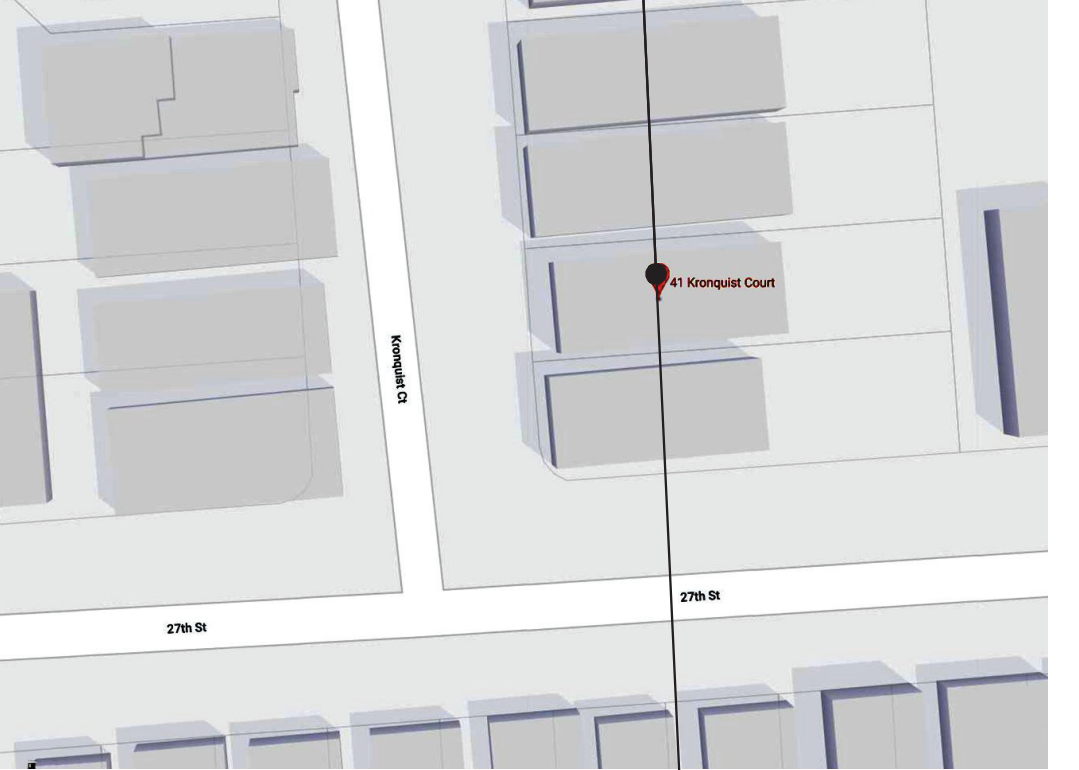
SYMBOLS:



LOT MAP:



VICINITY MAP:



AERIAL VIEW:



PROJECT DATA:

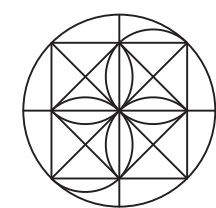
CODES: 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 GREEN BUILDING CODE 2016 CALIFORNIA ENERGY CODE ALL APPLICABLE CODE AMENDMENTS			
PROJECT ADDRESS: 41 KRONQUIST COURT SAN FRANCISCO, CA 94131			
BLOCK / LOT: 6582 / 10			
LOT SIZE / AREA: 25.0' X 100.0' / 2,500.0 SQ. FT.			
PROJECT DESCRIPTION: SINGLE-FAMILY RESIDENTIAL BUILDING			
SCOPE OF WORK: REMODEL (E) DECK AT BASEMENT LEVEL W/ (N) TILE AT PATIO, REPLACE AND ENLARGE (E) DECK AT 1ST FLOOR WITH (N) STAIR TO PATIO BELOW, (N) DECK AT 2ND FLOOR WITH (N) DOORS FROM (E) DINING ROOM.			
ZONING:	PARCEL #	10	
ZONING	RH-1		
OCCUPANCY:	GROUP R, DIVISION 3		
CONSTRUCTION TYPE:	(TABLE 5-B) TYPE-V N		
LOT COVERAGE:	2,500.0 SQ. FT. / 1,134.0 (BLDG) = 45%		
USEABLE OPEN SPACE:	1,365.65 SQ. FT.		
BUILDING AREA:			
CONDITIONED AREA:			
1ST FLOOR	(E) 538 SQ. FT.	(E) 596 SQ. FT.	= 1,134 SQ. FT.
2ND FLOOR	(E) 1,178 SQ. FT.	(E) 35 SQ. FT.	= 1,213 SQ. FT.
TOTAL (E)	1,716 SQ. FT.	631 SQ. FT.	= 2,347 SQ. FT.

DRAWING INDEX:

ARCHITECTURAL		
1.	A1	TITLE SHEET, PROJECT DATA, SCOPE OF WORK
2.	A2	EXISTING\PROPOSED SITE\LANDSCAPING & ROOF PLAN
3.	A3	EXISTING\DEMOLITION & PROPOSED BASEMENT FLOOR PLAN
4.	A4	EXISTING\DEMOLITION & PROPOSED 1ST FLOOR PLAN
5.	A5	EXISTING\DEMOLITION & PROPOSED 2ND FLOOR PLAN
6.	A6	EXISTING EXTERIOR ELEVATIONS
7.	A7	PROPOSED EXTERIOR ELEVATIONS
8.	A8	SECTIONS\DETAILS
9.	A9	SECTIONS\DETAILS

PROJECT PARTICIPANTS:

OWNER: MR. & MRS. SCOTT OLSON 41 KRONQUIST COURT SAN FRANCISCO, CA 94131	ENGINEER: ALTOS STRUCTURAL ENGINEERING 1865 GOLDEN GATE AVENUE, #2 SAN FRANCISCO, CA 94115 (415) 497-2668
ARCHITECT: JAMES G. STAVOY ARCHITECT, AIA 679 SANCHEZ STREET SAN FRANCISCO, CA 94114 (415) 553 - 8696	



JAMES G STAVOY
ARCHITECT
AIA

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San Francisco, California
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OLSON RESIDENTIAL REMODEL
41 KRONQUIST COURT
SAN FRANCISCO, CA 94131


TITLE SHEET,
DRAWING INDEX,
PROPERTY MAPS

DATE:	ISSUE:	BY:	
06/17/19	SITE PERMIT SUBMITTAL	png	
04/10/20	REVISIONS	png	
07/01/2020	REV. PER PLANNING		
08/10/20	REV. PER PLANNING		
	COMMISSION D.R. HEARING		

A1

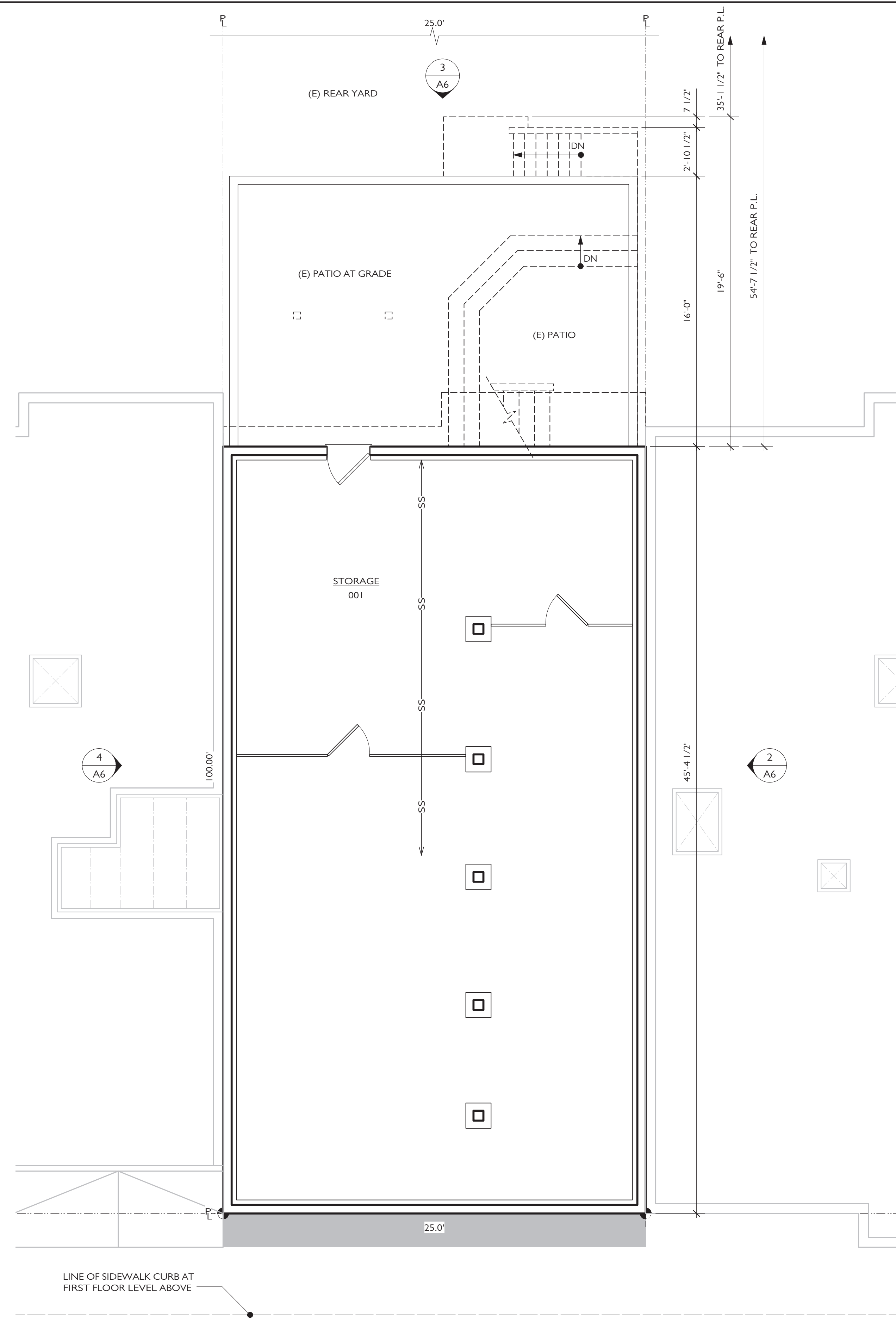


EXISTING SITE PLAN

DATE:	ISSUE:	BY:
06.17.19	SITE PERMIT SUBMITTAL	pmg
04.10.20	REV. PER PLANNING	pmg
-	COMMISSION D.R. HEARING	-
-	OF 01.30.20 	-
-	-	-
-	-	-

A2



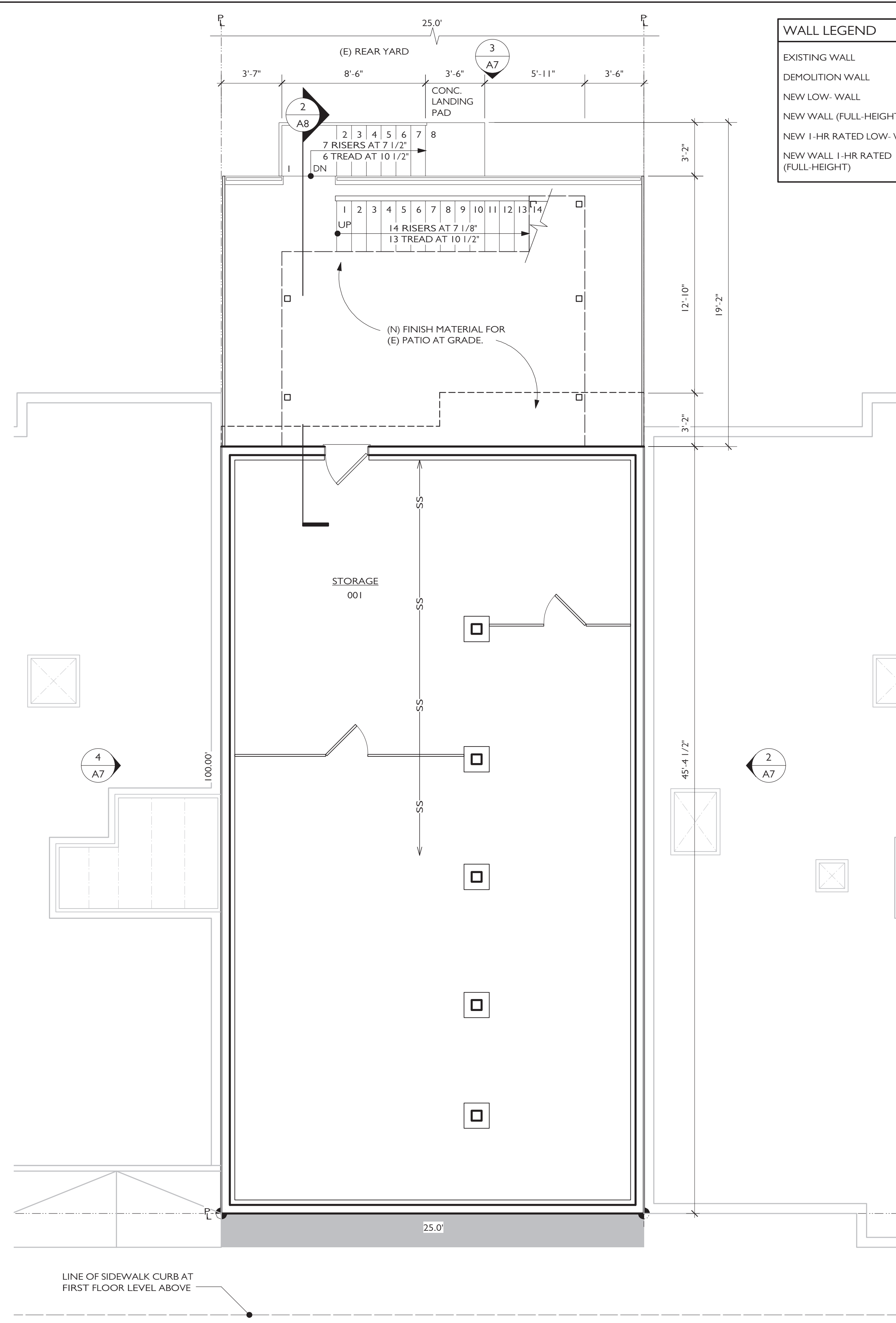


1
A3

EXISTING\DEMO - BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

0 5 10 FT

←



2
A3

PROPOSED - BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

0 5 10 FT

←

WALL LEGEND	
EXISTING WALL	
DEMOLITION WALL	
NEW LOW- WALL	
NEW WALL (FULL-HEIGHT)	
NEW 1-HR RATED LOW- WALL	
NEW WALL 1-HR RATED (FULL-HEIGHT)	



JAMES G STAVOY
ARCHITECT
AIA

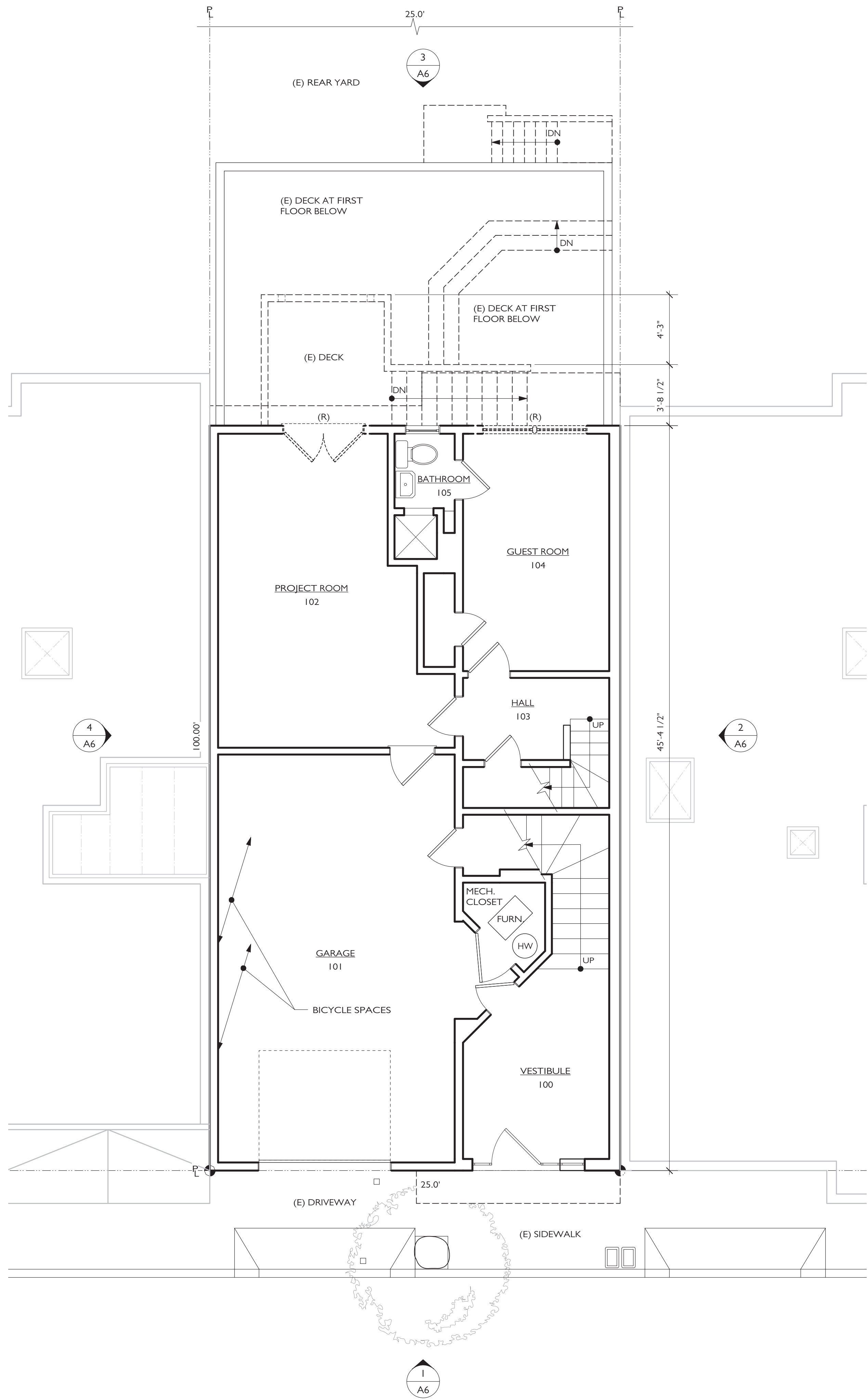
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SAN FRANCISCO, CA 94131

EXISTING\DEMO &
PROPOSED
BASEMENT FLOOR
PLAN

DATE:	ISSUE:	BY:
06.17.19	SITE PERMIT SUBMITTAL	png
04.10.20	REDESIGN PLAN	png
	COMMISSIONED FOR HEARING	
	07.01.2020	

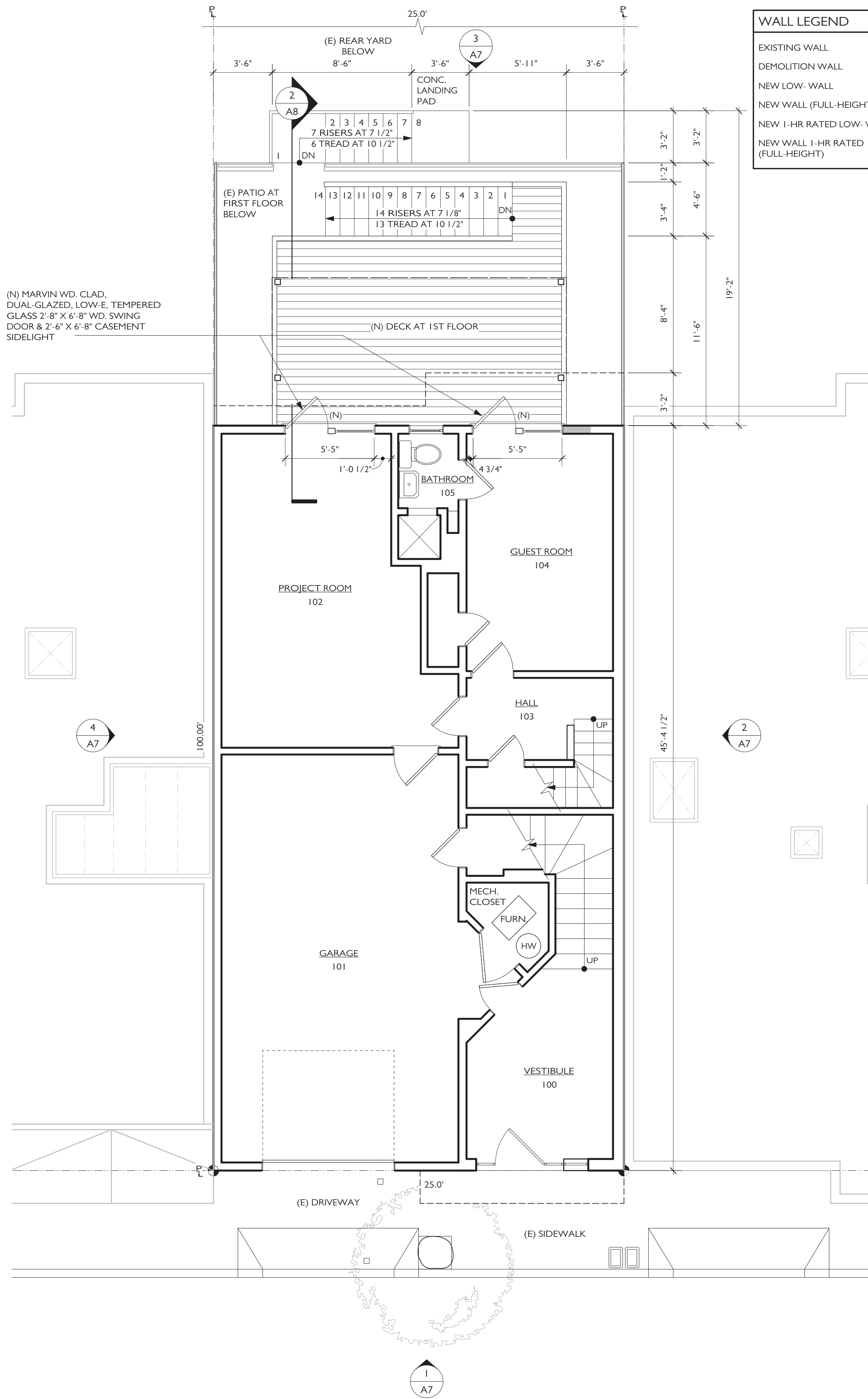
A3



1
A4

EXISTING\DEMO - FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

0 5 10 FT

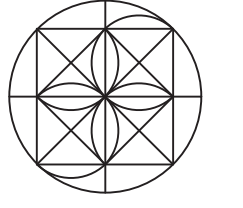


2
A4

PROPOSED - FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

0 5 10 FT

WALL LEGEND	
EXISTING WALL	
DEMOLITION WALL	
NEW LOW- WALL	
NEW WALL (FULL-HEIGHT)	
NEW 1-HR RATED LOW- WALL	
NEW WALL 1-HR RATED (FULL-HEIGHT)	



JAMES G STAVOY
ARCHITECT
AIA

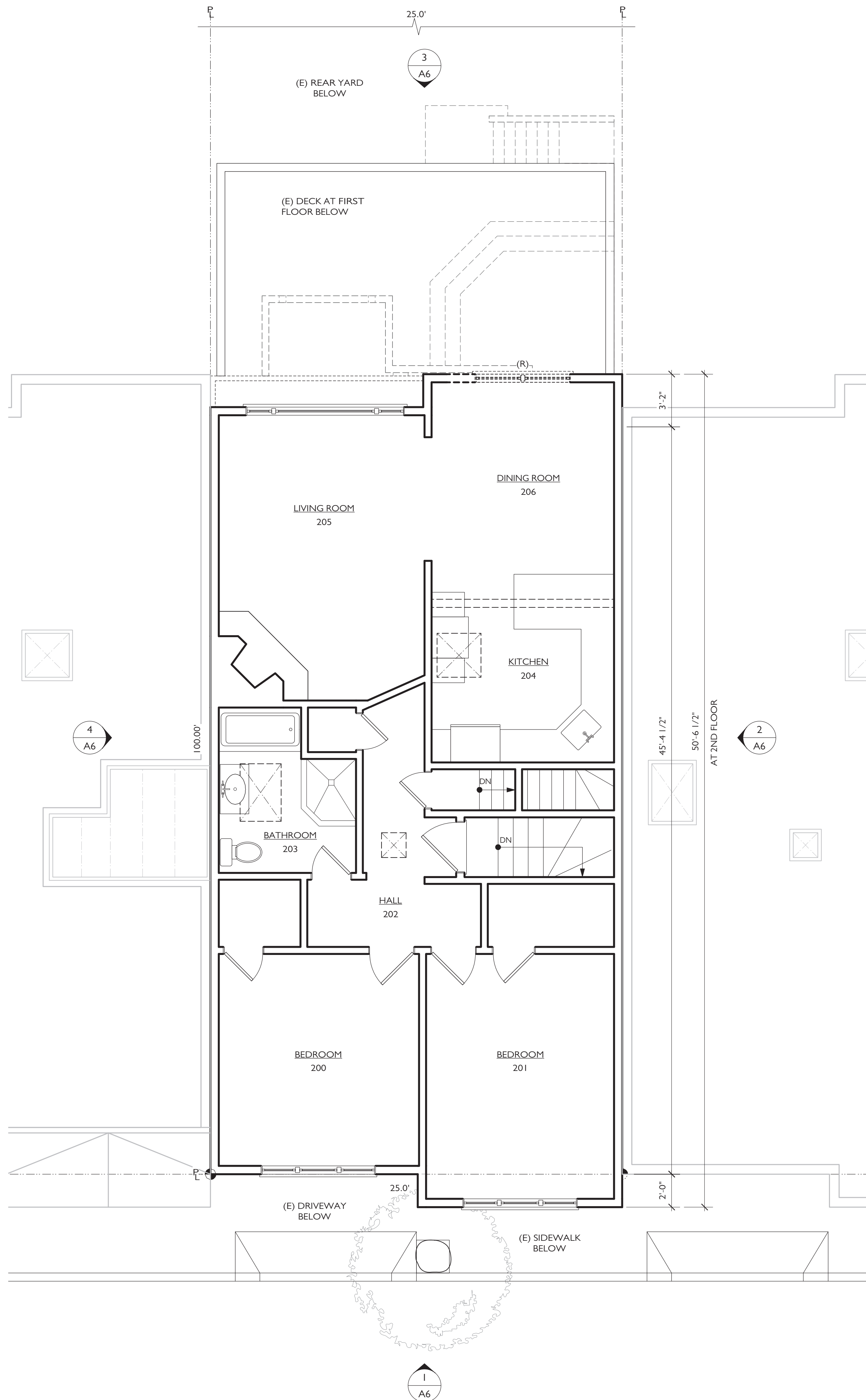
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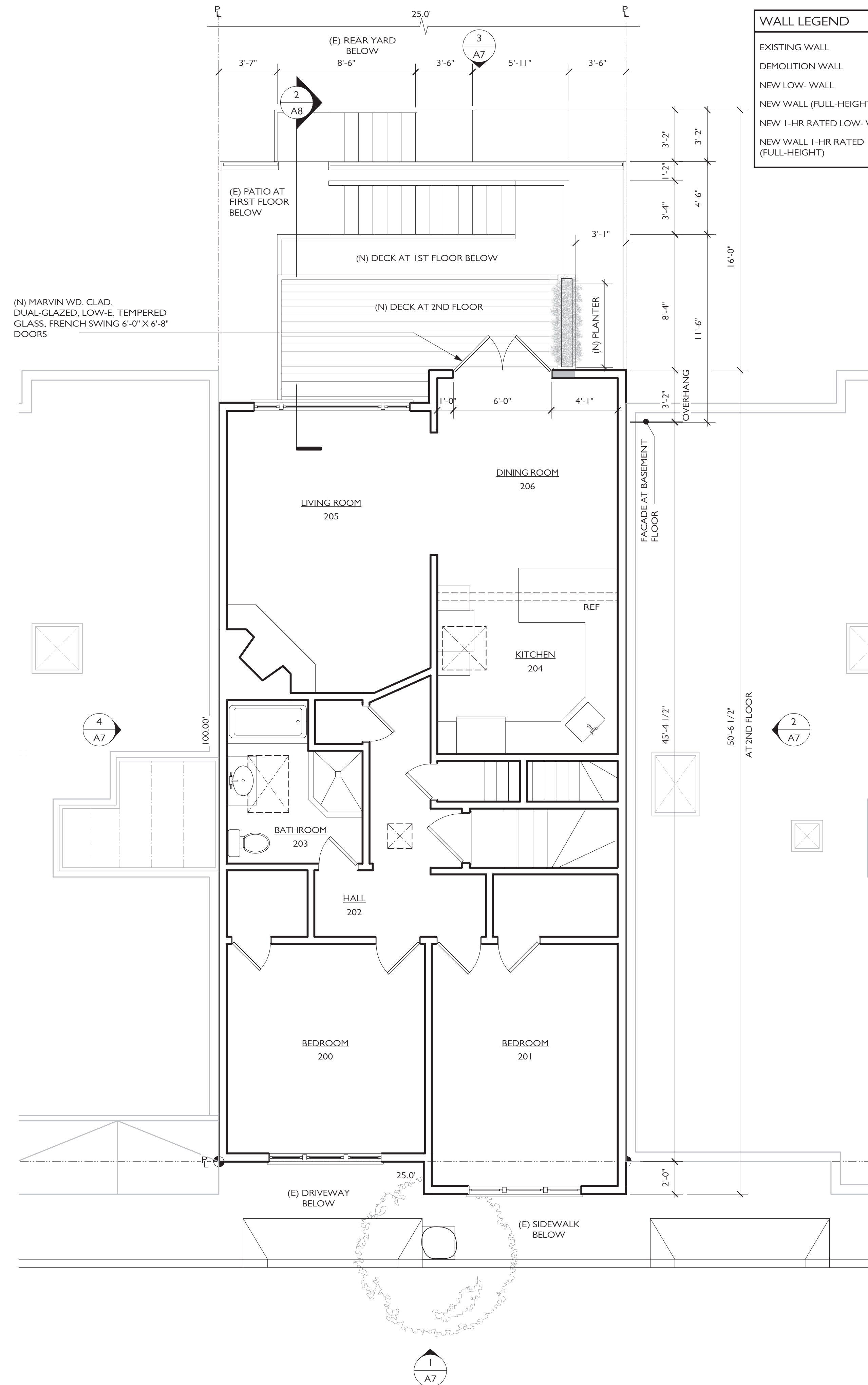
EXISTING\DEMO &
PROPOSED FIRST
FLOOR PLAN

DATE:	ISSUE:	BY:
06.17.19	SITE PERMIT SUBMITTAL	png
04.10.20	REDESIGN PLAN	png
	COMMISSIONER HEARING	
	07.01.2020	

A4



1
A5
EXISTING\DEMO - SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



2
A5
PROPOSED - SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

WALL LEGEND	
EXISTING WALL	
DEMOLITION WALL	
NEW LOW- WALL	
NEW WALL (FULL-HEIGHT)	
NEW 1-HR RATED LOW- WALL	
NEW WALL 1-HR RATED (FULL-HEIGHT)	

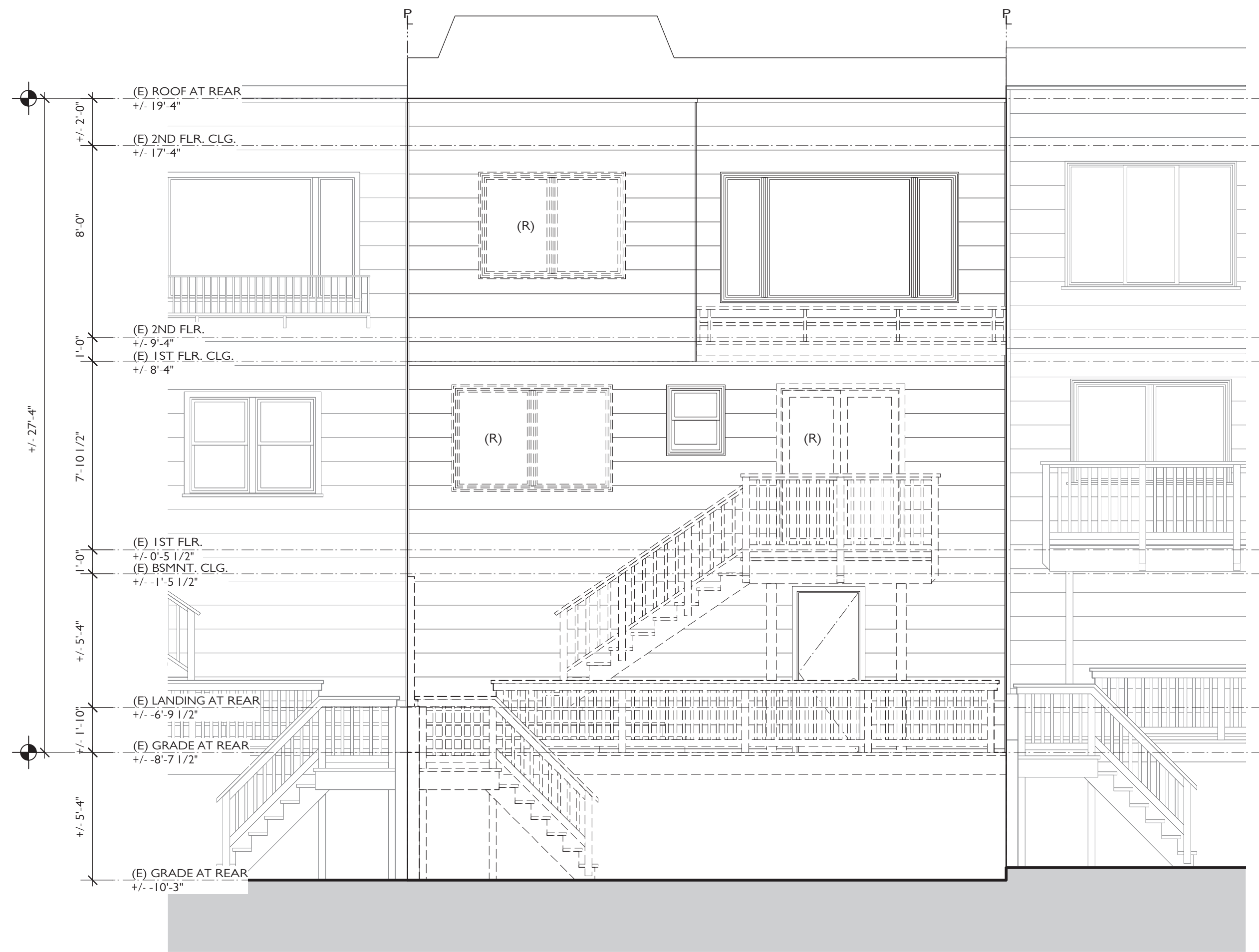
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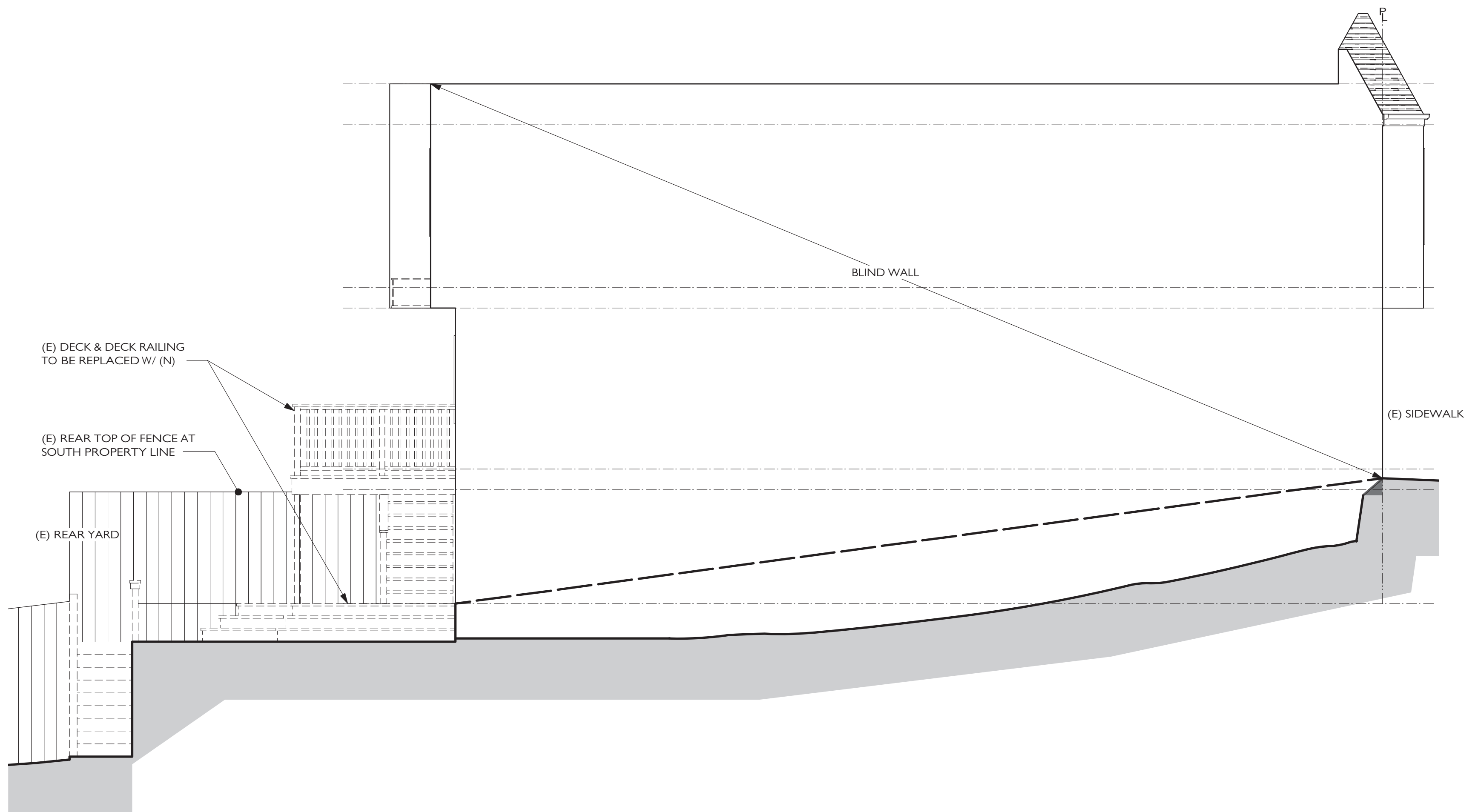
EXISTING\DEMO &
PROPOSED FIRST
FLOOR PLAN

DATE:	ISSUE:	BY:
06/17/19	SITE PERMIT SUBMITTAL	png
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	OF 01.30.20	
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	COMMISSION D.R. HEARING	
	OF 01.30.20	

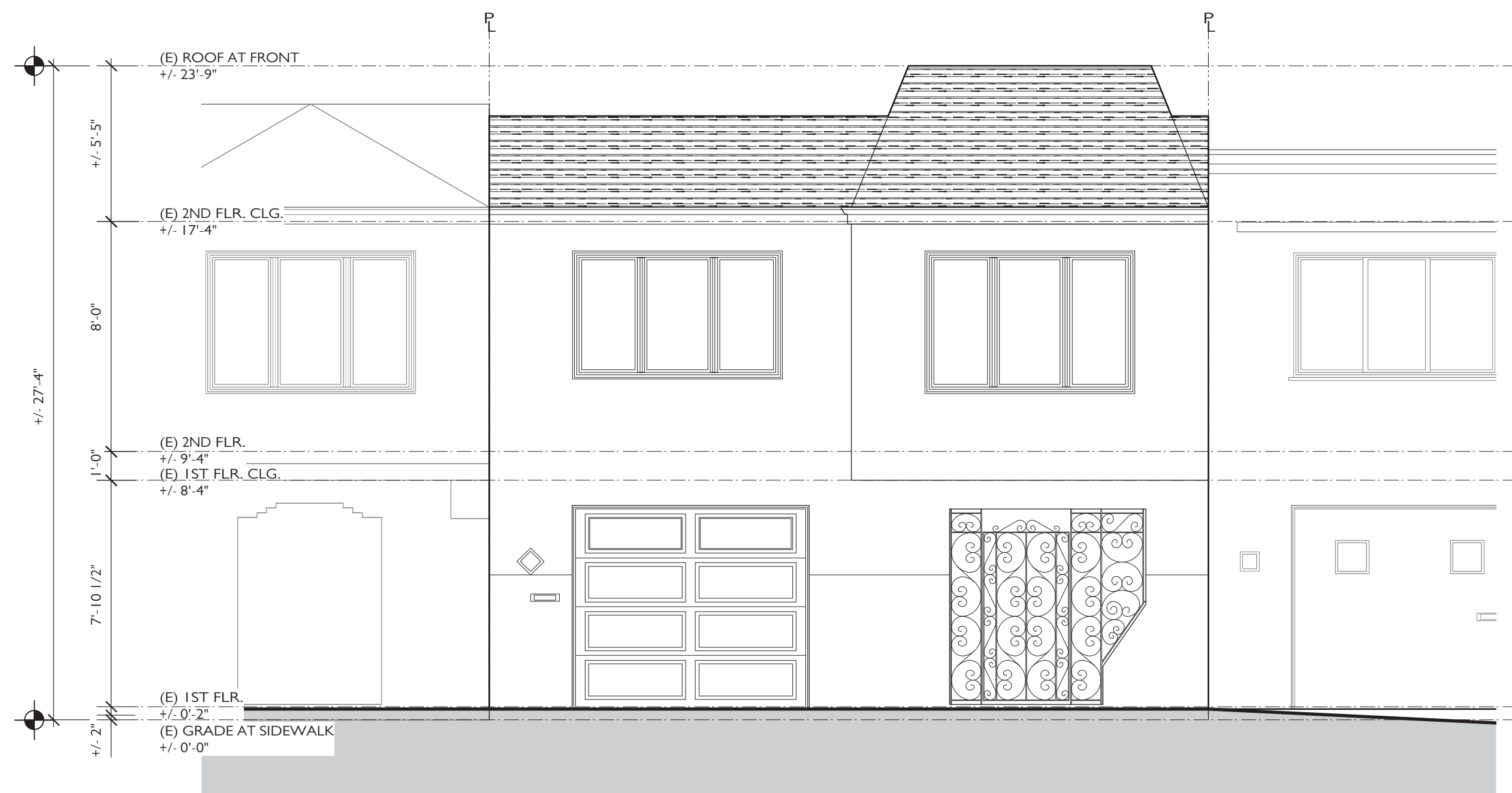
A5



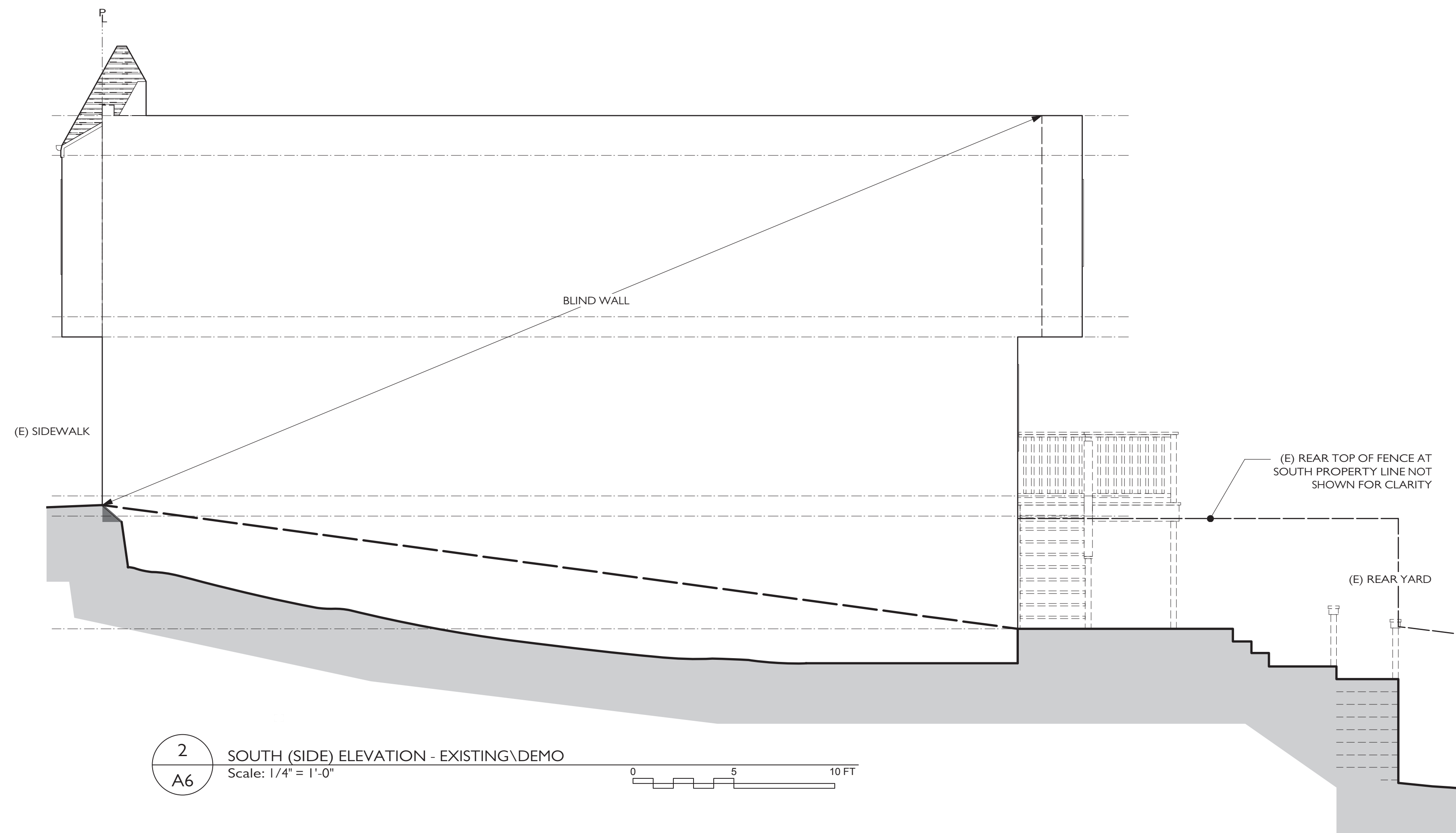
3 EAST (REAR) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



4 NORTH (SIDE) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



1 WEST (FRONT) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



2 SOUTH (SIDE) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



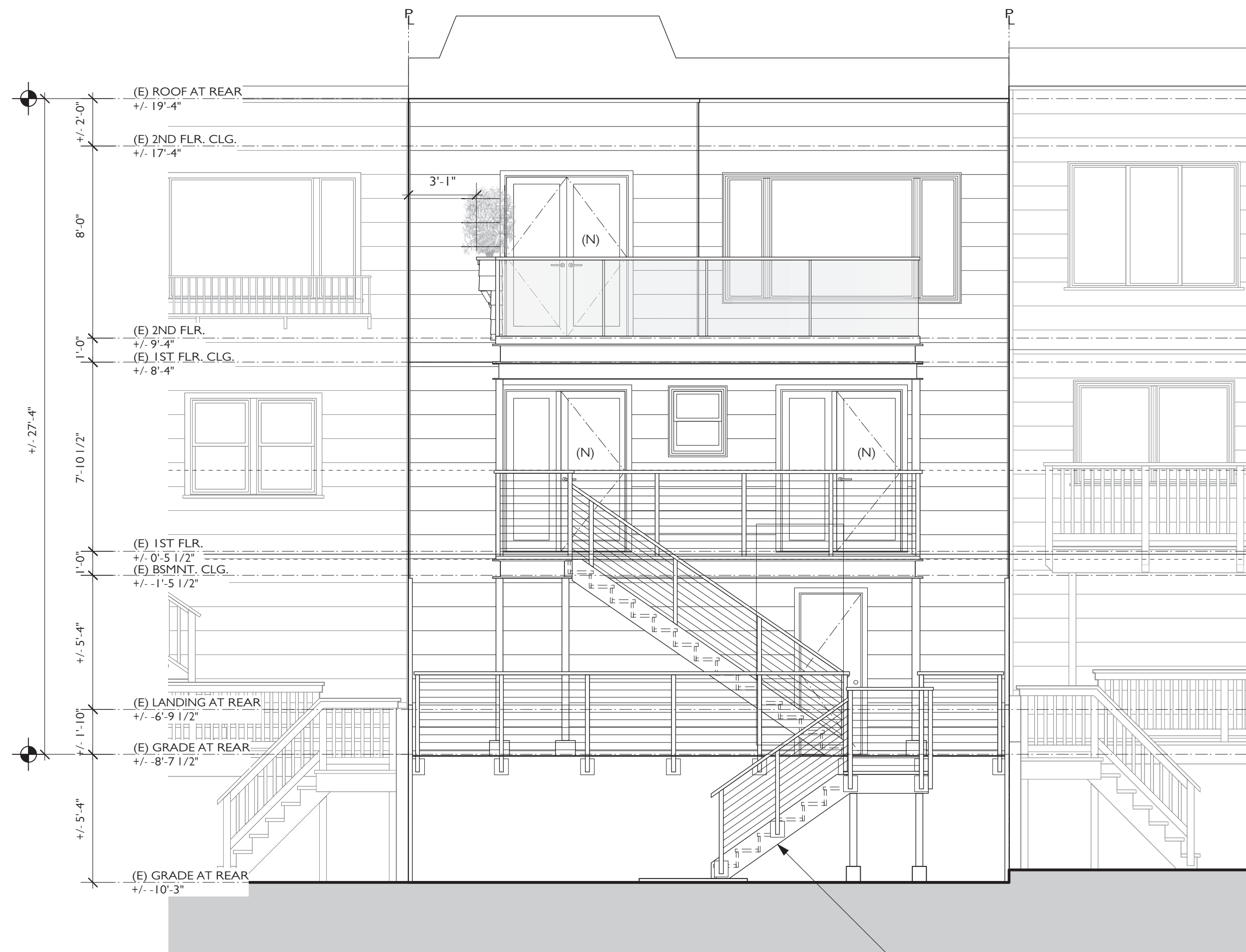
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OLSON RESIDENTIAL REMODEL
411 KRONQUIST COURT
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EXISTING ELEVATIONS

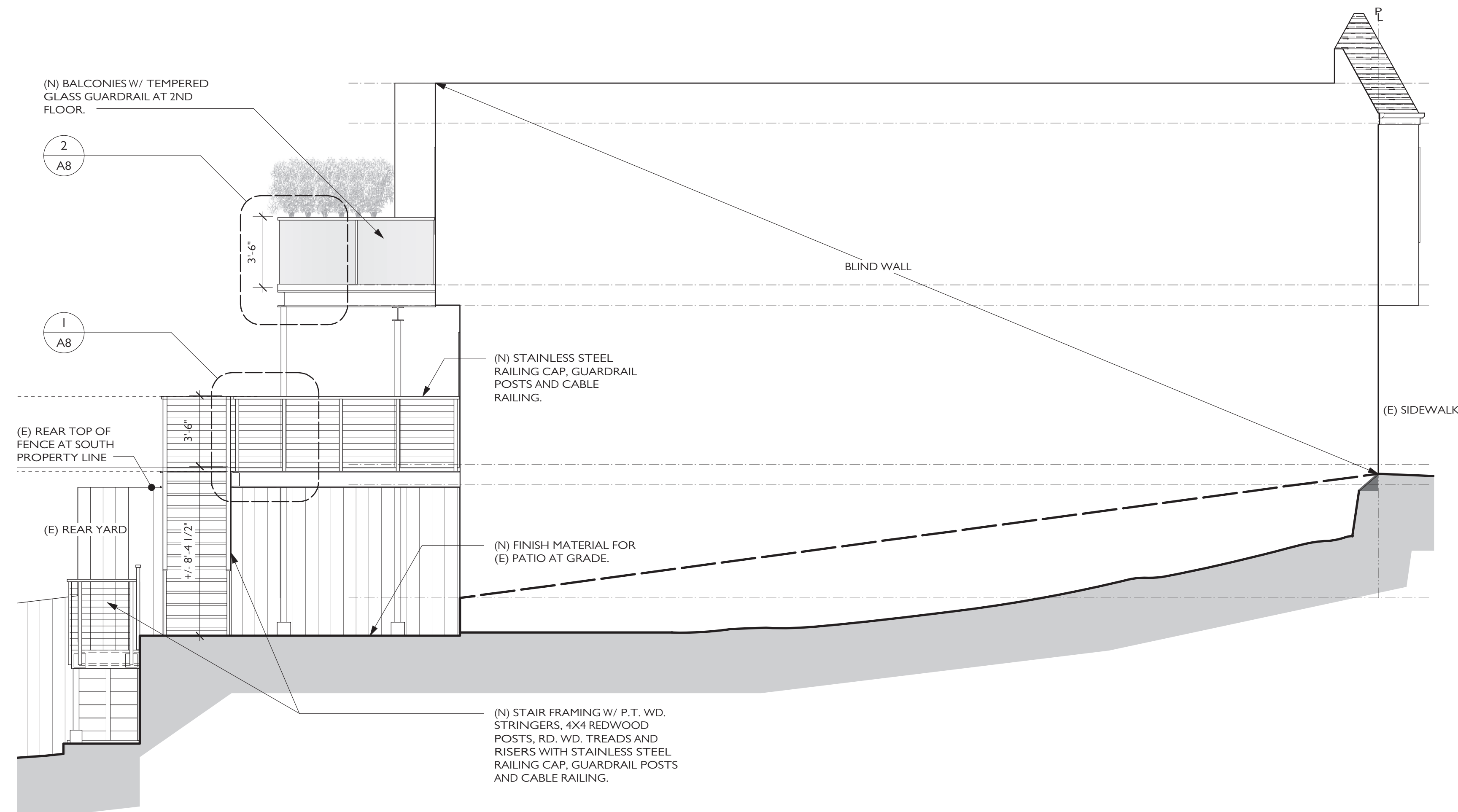
BY :	png
DATE :	06.17.19
ISSUE :	SITE PERMIT SUBMITTAL
DATE :	04.10.20
ISSUE :	REVISIONS FOR PLANNING
DATE :	07.01.2020
ISSUE :	COMMISSIONER'S HEARING

A6

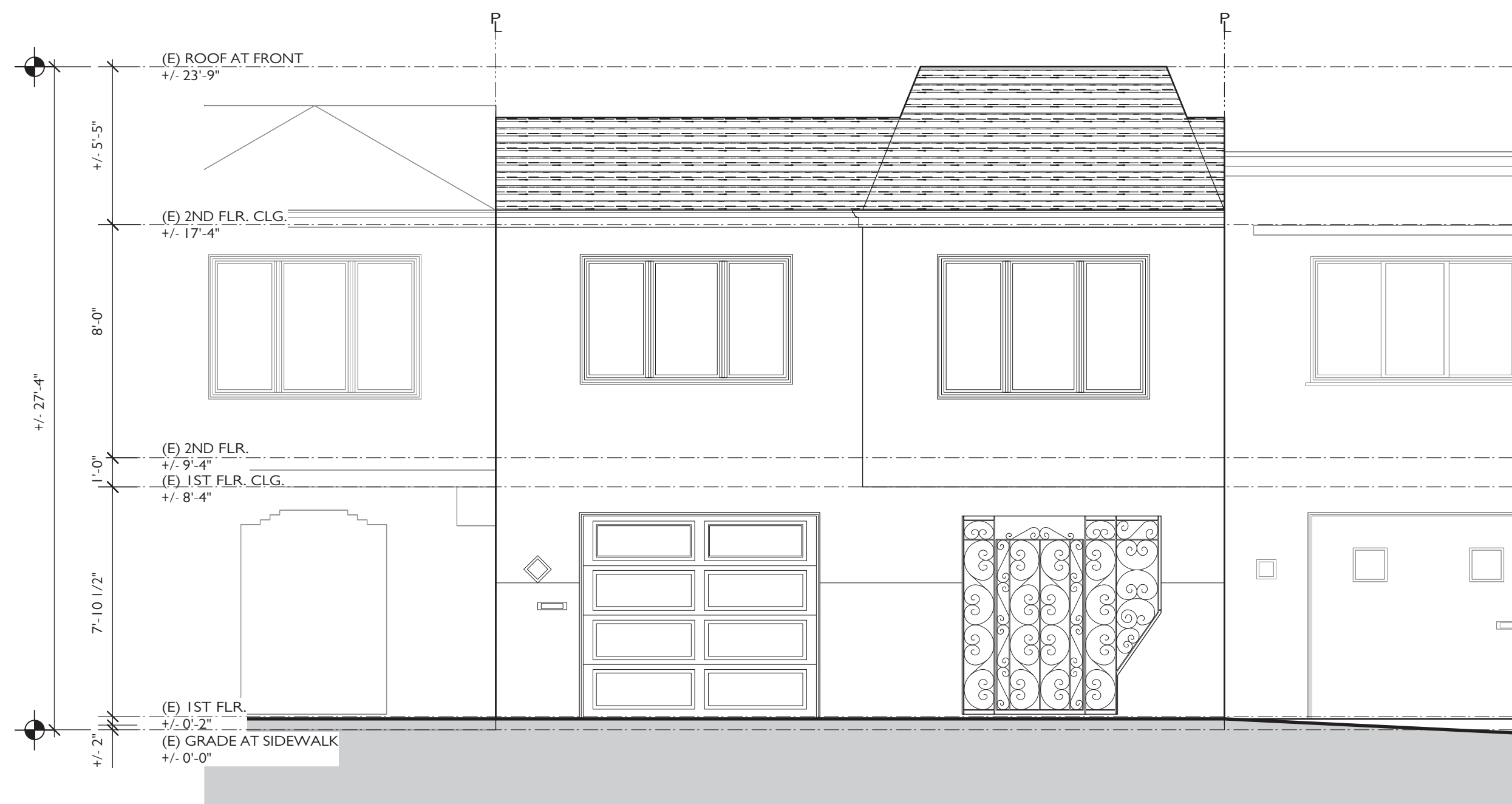


3
A7 EAST (REAR) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

(N) STAIR FRAMING W/ P.T. WD. STRINGERS, 4X4 REDWOOD POSTS, RD. WD. TREADS AND RISERS WITH STAINLESS STEEL RAILING CAP, GUARDRAIL POSTS AND CABLE RAILING.

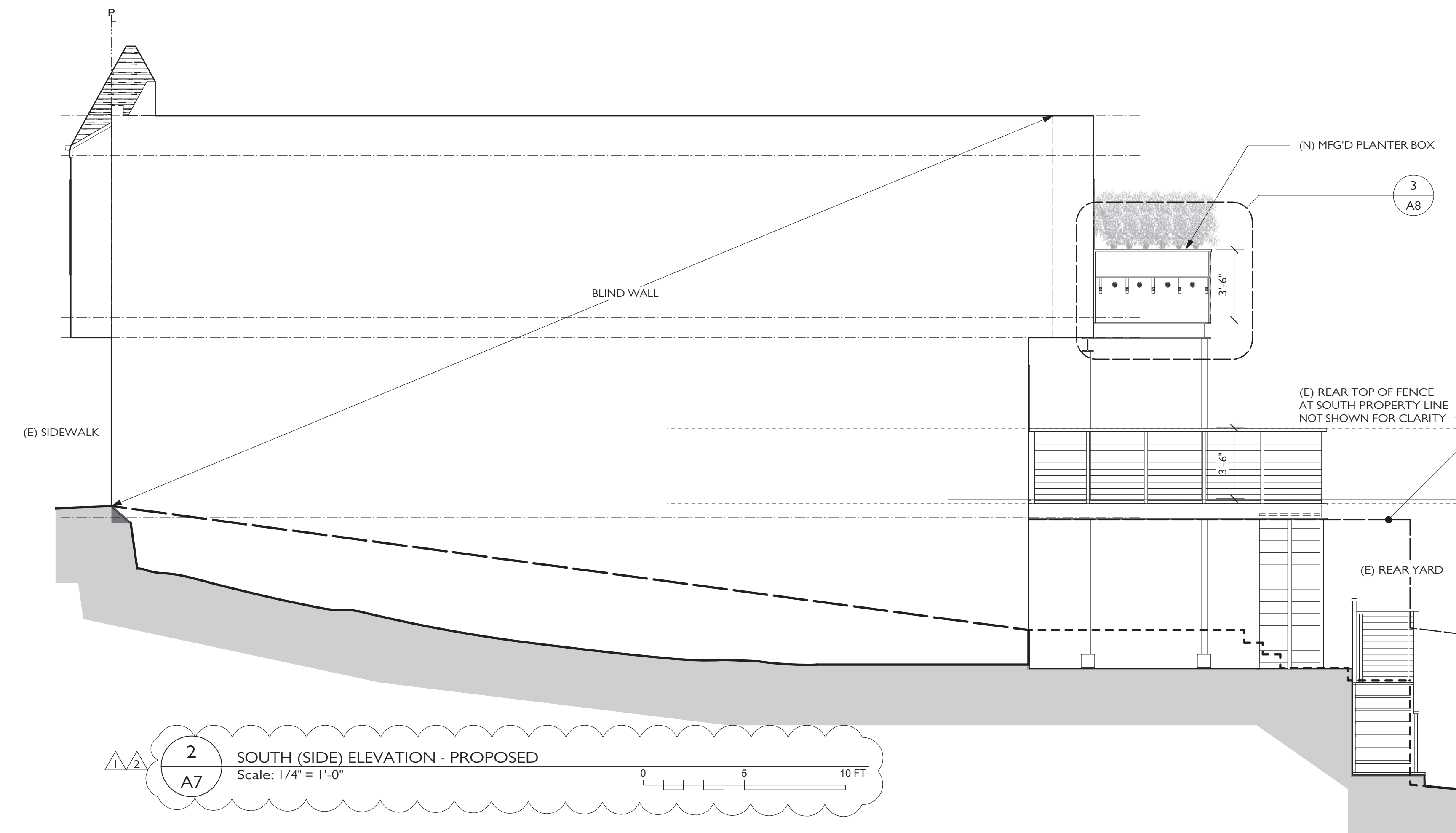


4
A7 NORTH (SIDE) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



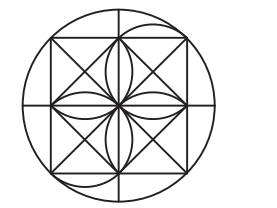
1
A7 WEST (FRONT) ELEVATION - EXISTING/DEMO
Scale: 1/4" = 1'-0"

NO NEW WORK ON THIS FACADE



2
A7 SOUTH (SIDE) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

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	OF 01.30.20	
08.10.20	REV. PER PLANNING	
	COMMISSION D.R. HEARING	
	OF 01.30.20	



JAMES G STAVOY
ARCHITECT
AIA
679 Sanchez Street
San Francisco, California
94114
415 • 553 • 8696

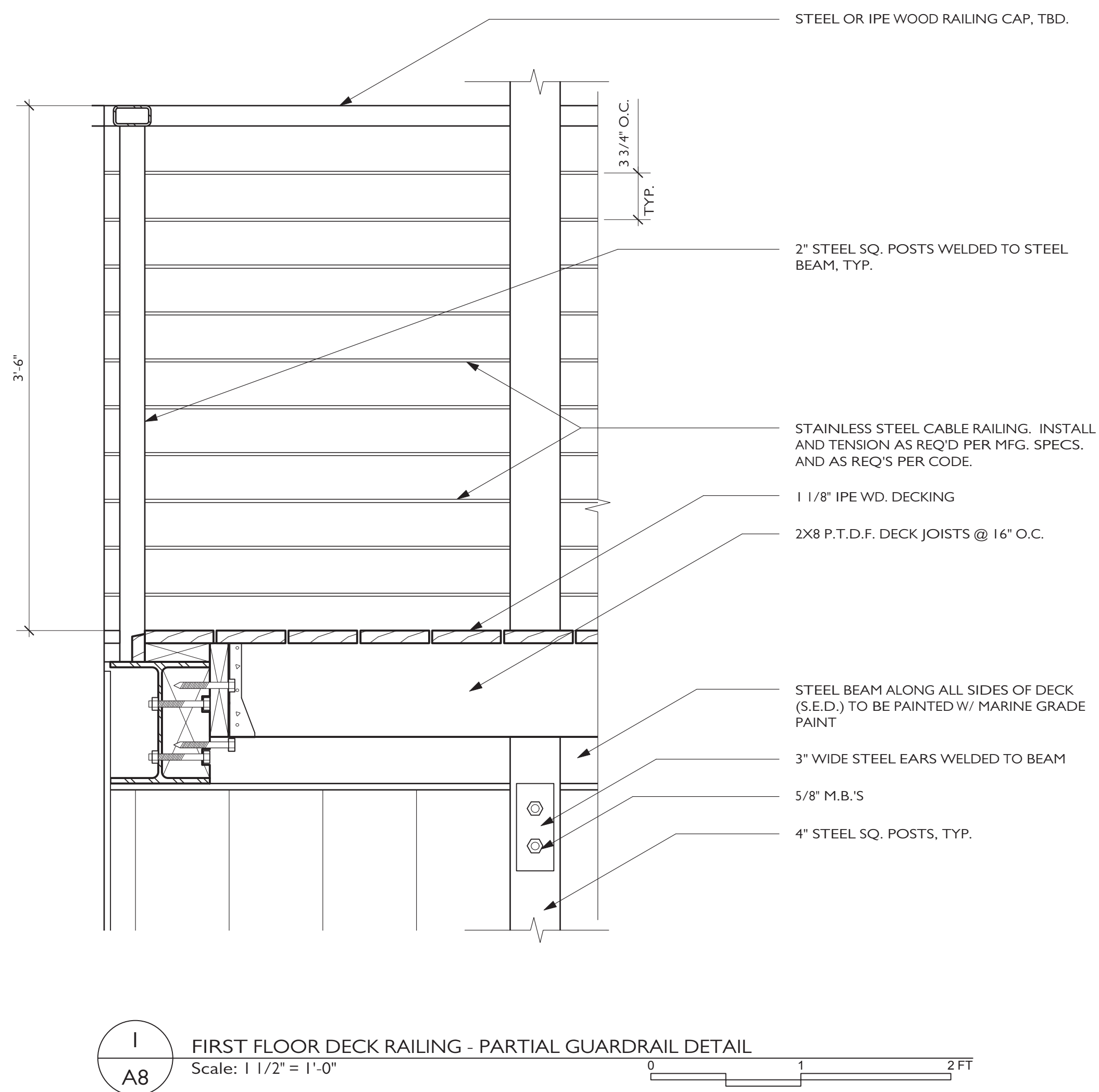
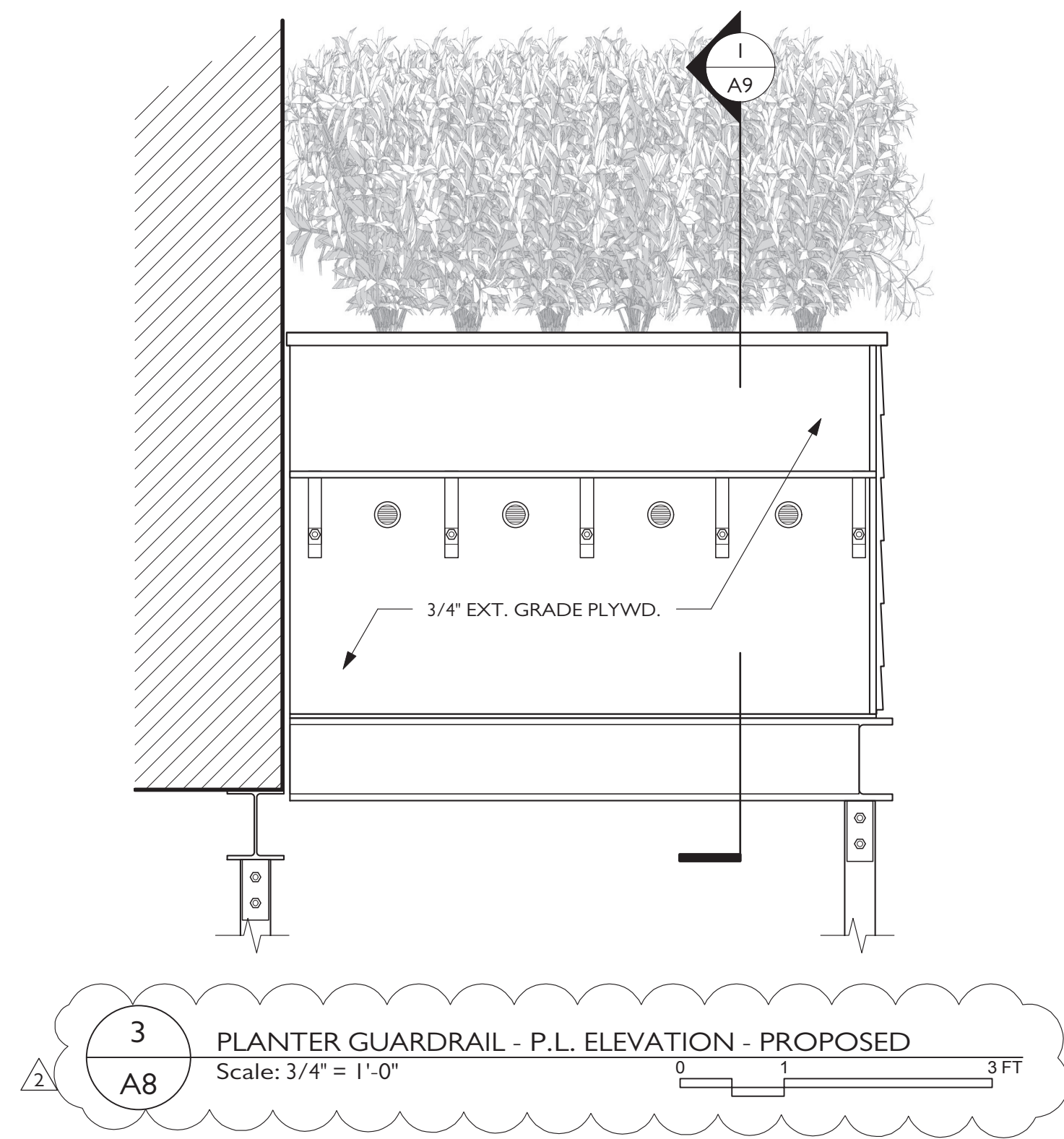
OLSON RESIDENTIAL REMODEL
41 KRONQUIST COURT
SAN FRANCISCO, CA 94131

SECTION DETAILS

DATE:	ISSUE:	BY:
06.17.19	SITE PERMIT SUBMITTAL	png
04.10.20	REV. PER PLANNING	png
	COMMISSION D.R. HEARING	
	OF 01.30.20	Δ
08.10.20	REV. PER PLANNING	Δ
	COMMISSION D.R. HEARING	
	OF 01.30.20	Δ

A8

no.00317



(N) S.S. RAILING CAP WITH
STAINLESS STEEL CABLE RAILING
AT STAIR AND BASEMENT LEVEL.

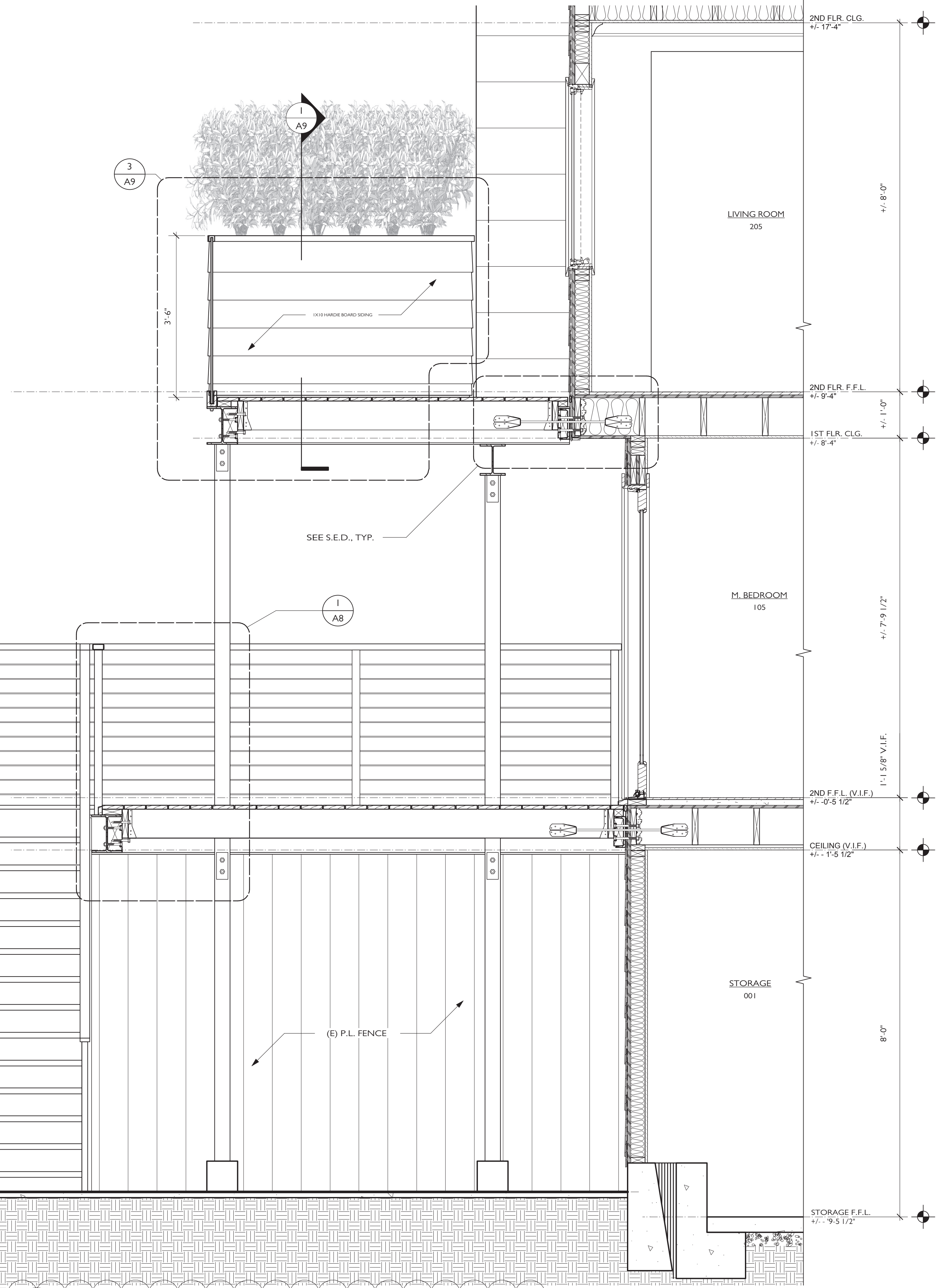
14 RISERS AT 7 1/8"
13 TREAD AT 10 1/2"

(N) STAIR FRAMING W/ P.T. WD.
STRINGERS, 4X4 REDWOOD
POSTS, RD. WD. TREADS AND
RISERS WITH STAINLESS STEEL
RAILING CAP, GUARDRAIL POSTS
AND CABLE RAILING.

7 RISERS AT 7 1/2"
6 TREAD AT 10 1/2"



2
A8
'ALTERNATE' DECK RAILING - PROPOSED
Scale: 3/4" = 1'-0"



41 KRONQUIST COURT
SAN FRANCISCO, CA 94131

SECTION DETAILS

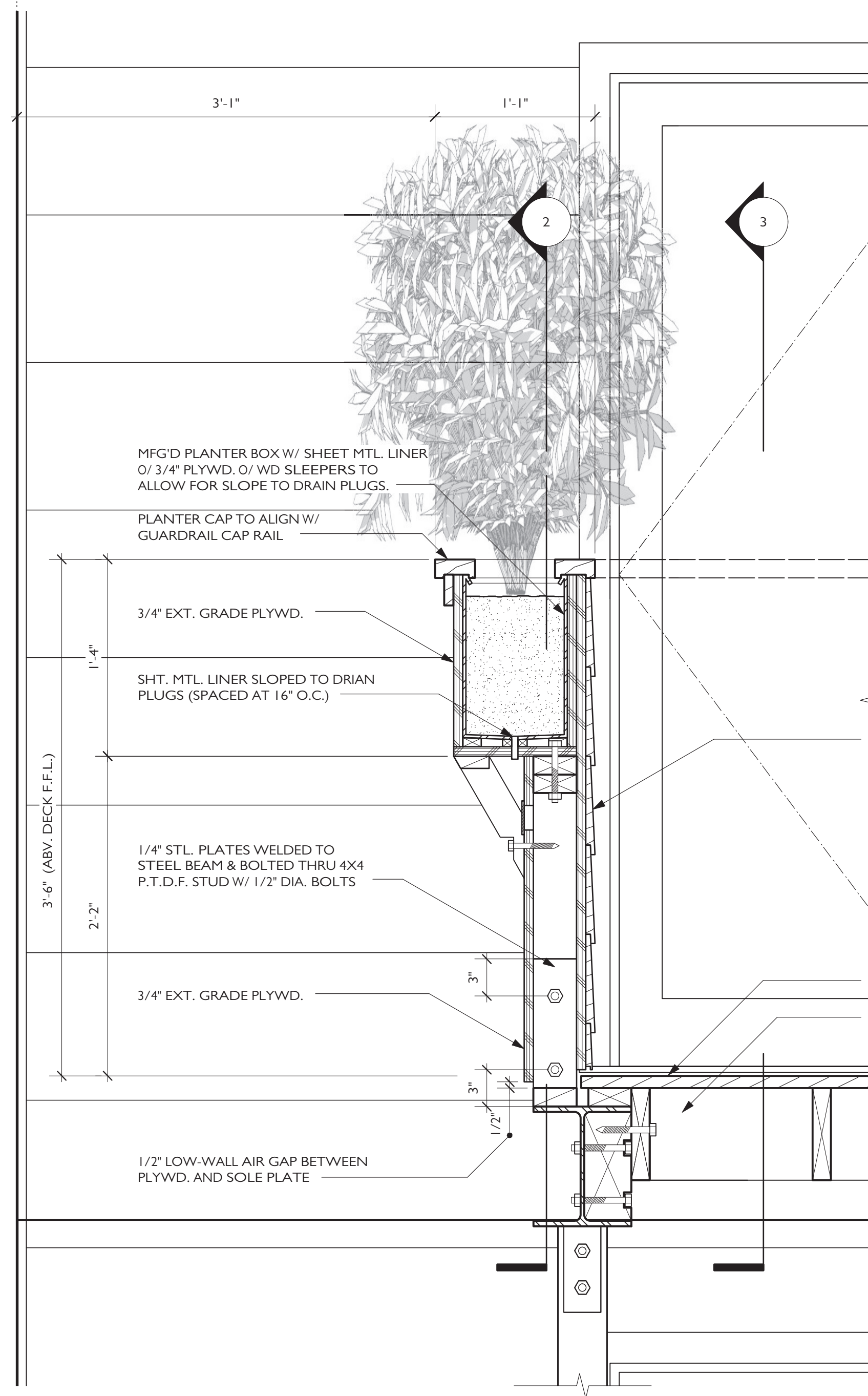
DATE	ISSUE	BT
08.10.20	REV. PER PLANNING COMMISSION D.R. HEARING OF 01.30.20	2
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

2

A9

no.00317

ADJACENT PROPERTY		SUBJECT PROPERTY
47 KRONQUIST COURT	P	41 KRONQUIST COURT
BLOCK/LOT: 6582/009A	---	BLOCK/LOT: 6582/010



2ND FLR. DECK - GUARDRAIL \ PLANTER BOX DETAIL

Scale: 1 1/2" = 1'-0"

0 1 2 FT

ALUMINUM 1 7/16" X 1 7/16" RAIL CAP _____

1/2" TEMPERED GLASS _____

1X10 HARDIE BOARD SIDING _____

1 1/8" IPE WD. DECKING _____

2X8 P.T.D.F. DECK JOISTS @ 16" O.C. _____

SETTING BLOCK, RE: MFG. SPECS. _____

CAULK JOINT (CONTINUOUS) _____

ALUMINUM SHOE MOULDING TO BE
INSTALLED PER MFG. SPECS., MFG. TBD.

1/2" CAP SCREW 12" O.C. ———

2X4 P.T.D.F. BLOCKING (CONT.)

STEEL BEAM ALONG ALL SIDES OF DECK
(S.E.D.) TO BE PAINTED W/ MARINE GRADE
PAINT

3" WIDE STEEL EARS WELDED TO BEAM —

5/8" M.B.'S _____

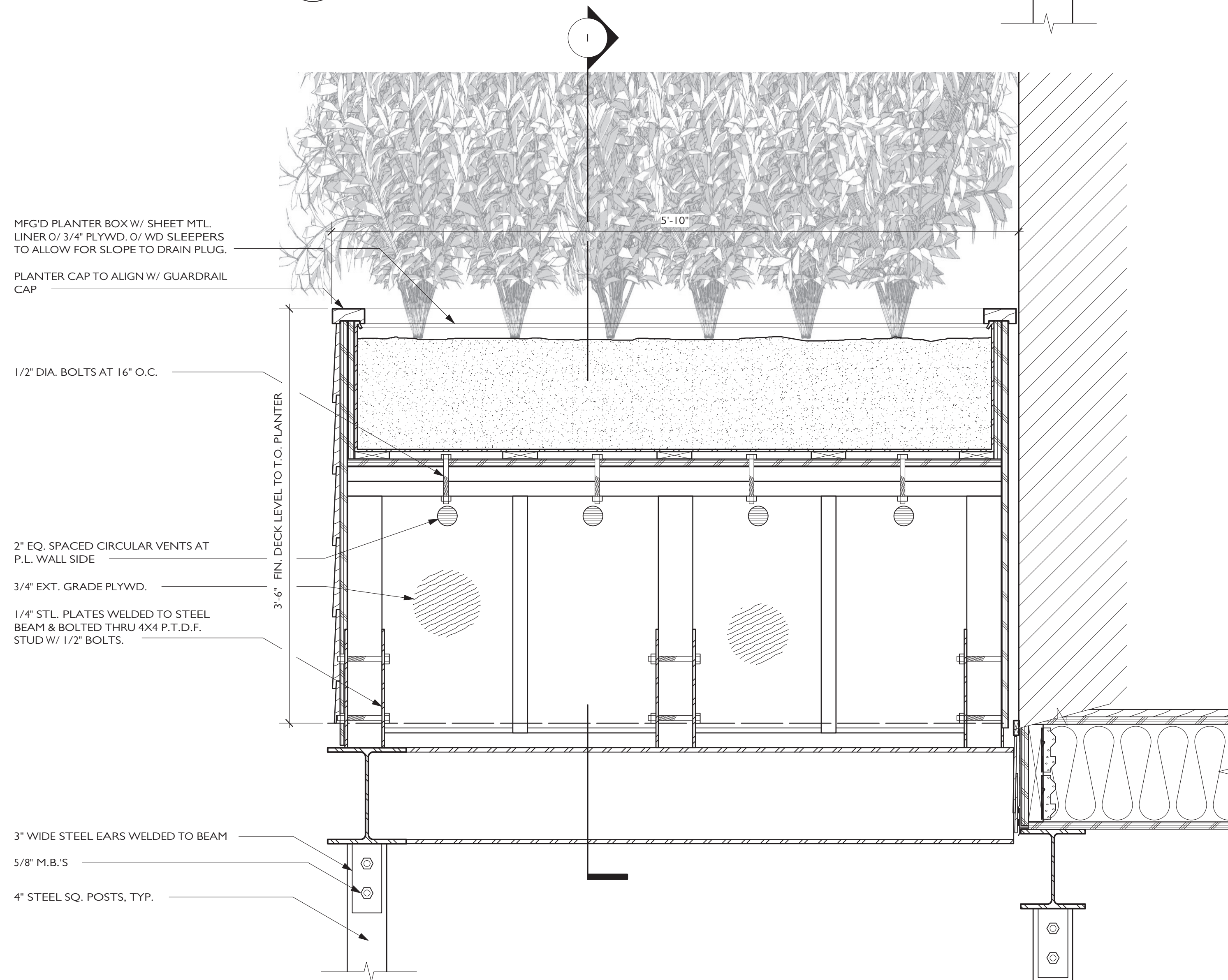
4" STEEL SQ. POSTS, TYP

3
A9

2ND FLR. DECK - GUARDRAIL \ PLANTER BOX ELEVATION \ SECTION

Scale: 1 1/2" = 1'-0"

0 1 2 FT



2ND FLR. DECK - GUARDRAIL \ PLANTER BOX DETAIL

Scale: 1 1/2" = 1'-0"

0 1 2 FT