

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
SAN FRANCISCO COMMUNITY EMPOWER CENTER,)
Appellant(s))
vs.)
SAN FRANCISCO PUBLIC WORKS)
BUREAU OF STREET USE & MAPPING,)
Respondent

Appeal No. **21-071**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on July 30, 2021, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on July 15, 2021 to GTE Mobilnet of California, LP, of a Wireless Box Permit (Installation of a Personal Wireless Service Facility in a Zoning Protected Location) at 500 Felton Street.

APPLICATION NO. 21WR-00002

FOR HEARING ON October 6, 2021

Address of Appellant(s):

Address of Other Parties:

San Francisco Community Empower Center, Appellant(s)
c/o Teresa Duque, Agent for Appellant(s)
2875 San Bruno Avenue
San Francisco, CA 94134

GTE Mobilnet of California, LP, Determination
Holder(s)
c/o Melanie Sengupta, Attorney for Determination
Holder(s)
Mackenzie & Albritton LLP
155 Sansome Street, Suite 800
San Francisco, CA 94104



Date Filed: July 30, 2021

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 21-071

I / We, **San Francisco Community Empower Center**, hereby appeal the following departmental action: **ISSUANCE** of **Wireless Box Permit No. 21WR-00002** by the **San Francisco Public Works, Bureau of Street Use & Mapping** which was issued or became effective on: **July 15, 2021**, to: **GTE Mobilnet of California, LP**, for the property located at: **500 Felton Street**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **September 16, 2021, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, scott.sanchez@sfgov.org and m.sengupta@mallp.com

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **September 30, 2021, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy should be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, scott.sanchez@sfgov.org and teresadunque@sfcec.org

The Board's physical office is closed to the public and hard copies of the brief do NOT need to be submitted.

Only photographs and drawings may be submitted by the parties at the hearing.

Hearing Date: **Wednesday, October 6, 2021, 5:00 p.m.**, via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

Not Submitted.

Appellant or Agent (Circle One):

Signature: Via Email

Print Name: Teresa Duque, agent for appellant



City and County of San Francisco

San Francisco Public Works - Bureau of Street Use and Mapping
49 South Van Ness Ave, Suite 300 - San Francisco, CA 94103
sfpublicworks.org - tel (628) 271-2000



21WR-00002

Wireless Box Permit

Address : 500 FELTON ST

Cost: \$3,405.00

Block:5929 Lot: 001 Zip: 94134

GTE Mobilnet of California, Limited Partnership

Name: GTE Mobilnet of California, Limited Partnership

MANDATORY COORDINATION WITH CONFLICTING PERMITS IS REQUIRED. PERMIT HOLDER SHALL NOT COMMENCE WORK WITHOUT FIRST PROPERLY COORDINATING WITH EXISTING PERMIT HOLDERS AS NOTED ON THE EXCEPTION PAGE(S) OF THIS PERMIT. IF THIS PERMIT CONFLICTS WITH A CITY PROJECT OR OTHER APPROVED PERMIT, THE PERMIT HOLDER OF THIS PERMIT SHALL BE RESPONSIBLE FOR THE PROPER COORDINATION AND EVALUATION OF THE SITE PRIOR TO COMMENCING WORK.

Conditions	
Contact247	Refer to Agent
Permit Comments	
Service Address	
Wireless Machine Type	
Wireless Tier	TierC
Permit Pole Location	West side of Somerset St from Silliman St to Felton St
Permit Wireless Antenna	3
Permit Wireless AntMakeModel	Ericsson 6701
Permit Planning Location	
Permit Tier Comments	
Permit Wireless DPH	Applicant is using equipment for the first time. Attached is an original verified statement from a registered engineer that: (i) potential human exposure to radio frequency emissions from the proposed Personal Wireless Service Facility is within the FCC guidelines; and (ii) noise at any time of the day or night from the proposed Personal Wireless Service Facility is not greater than forty-five (45) dBA as measured at a distance three (3) feet from any residential building facade.
Permit Planning Approval	The proposed Personal Wireless Service Facility is in Zoning Protected Location.
Permit Utility Conditions	Applicant has a valid Utility Conditions Permit
Permit Tier3 Std	
Permit Tier3 Std1	
Permit Tier3 Std2	
Permit Wireless Documents	
Permit_Auto_StartDate_Ind	Y

The undersigned Permittee hereby agrees to comply with all requirements and conditions noted on this permit

Approved Date : 07/15/2021

Applicant/Permittee

Date

Printed : 7/15/2021 12:17:24 PM Plan Checker

Lulu Brien

Conditions

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.
3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of stickers shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted

to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated ancillary equipment will be encased within rectangular enclosures.
- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

Permit Addresses

21WR-00002

*RW = RockWheel, SMC = Surface Mounted Cabinets, S/W = Sidewalk Work, DB = Directional Boring,
 BP= Reinforced Concrete Bus Pad, UB = Reinforced Concrete for Utility Pull Boxes and Curb Ramps
 Green background: Staging Only

Number of blocks: 1 Total repair size:0 sqft Total Streetspace:0 Total Sidewalk: sqft

ID	Street Name	From St	To St	Sides	*Other	Asphalt	Concrete	Street Space Feet	Sidewalk Feet
1	SOMERSET ST	SILLIMAN ST	FELTON ST	West	RW : False SMC : False S/W Only : False DB: False BP: False UB: False	0	0	0	
Total						0	0	0	

Exceptions - Coordination

It is mandatory that you coordinate your permit with the following jobs listed. You will be required to call each contact listed and create a note including the date contact was made, agreed coordination, name of contact, or date message(s) left if unable to reach a contact.

Street Use Conflicts:

Job #	Activity	Contact	
21EXC-02364	MCIMetro Access Transmission Services Corp. - Conflict with existing excavation permit. It is mandatory that you coordinate all work for joint paving.	Refer to Agent - Refer to Agent	<input type="checkbox"/>
Your Notes:			
Streets:	SOMERSET ST / SILLIMAN ST - FELTON ST -		

Permit Conflicts:

permit	Dates	Agency	Contact	
Your Notes:				
Streets:				



APPELLANT(S) DID NOT SUBMIT A BRIEF

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

MACKENZIE & ALBRITTON LLP
155 SANSOME STREET, SUITE 800
SAN FRANCISCO, CALIFORNIA 94104

TELEPHONE 415 / 288-4000
FACSIMILE 415 / 288-4010

September 28, 2021

VIA EMAIL

President Darryl Honda
Vice-President Rick Swig
Commissioners Ann Lazarus,
Tina Chang, and Jose Lopez
San Francisco Board of Appeals
49 South Van Ness Ave., Suite 147
San Francisco, CA 94103

Re: Appeal No. 21-071,
San Francisco Community Empowerment Center v. SFPW-BSM
For Verizon Wireless Personal Wireless Service Facility,
Wireless Site Permit 21WR-00002 (500 Felton Street)
Board of Appeals Hearing, October 6, 2021

Dear President Honda, Vice-President Swig, and Commissioners:

We submit this letter on behalf of our client GTE Mobilnet of California LP d/b/a Verizon Wireless (“Verizon Wireless”) and its contractor, Modus, LLC (“Modus”), in opposition to the appeal referenced above. The appeal challenges Wireless Site Permit 21WR-0002 (the “Permit”), which authorized Modus to install a small, unobtrusive wireless communications facility on a replacement wooden utility pole on Somerset Street between Felton and Silliman Streets (the “Approved Facility”). As we explain below, the Approved Facility has been carefully designed to avoid any significant adverse impacts. Multiple departments of the City thoroughly reviewed the Approved Facility and correctly found that it meets all standards for approval. San Francisco

Community Empowerment Center (the “Appellant”) has not presented any grounds for this Board to overturn DPW’s decision. We respectfully ask that you deny this appeal and allow Verizon Wireless to bring improved wireless service to the neighborhood.

I. Description of the Approved Facility

Verizon Wireless has been improving its network performance throughout the City. To provide new, ultra-wideband 5G service, Verizon Wireless needs to install small wireless facilities around San Francisco, including near 500 Felton Street.

While meeting this vital communications need, the Approved Facility has been carefully designed to be as unobtrusive as possible and avoid any adverse impacts on the surrounding neighborhood. The approved location, at 500 Felton Street, is ideal because it allows Verizon Wireless to replace an existing wooden utility pole owned by PG&E, avoiding the visual impact of a new pole. *See* Photosimulations attached as Exhibit A. As approved by DPW, the Approved Facility consists of a new crossbar with three integrated antennas attached at either end of the crossbar. *See* Plans, attached as Exhibit B, p. A-2. The Approved Facility also includes a small smart meter and fiber demarcation box. *Id.* The height of the pole will increase by three feet and two inches. *Id.*

II. The City Thoroughly Reviewed The Approved Facility

Before DPW issued the Permit, the Approved Facility was independently reviewed by four City departments, pursuant to Article 25 of the Public Works Code.

A. The Approved Facility Complies With Federal Radio Frequency Emission Standards

DPW Order No. 201970 requires an application to include “proof of compliance with the Public Health Compliance Standard” in the form of a “Verified Statement from a registered engineer to the effect that the Applicant complies with the Public Health Compliance Standard.” DPW Order 201970, Section 5(E)(1).

To fulfill this requirement, Verizon Wireless submitted a radiofrequency report prepared by Hammett & Edison, Inc., Consulting Engineers (the “RF Report”), attached as Exhibit C. The maximum effective radiated power is 193 watts. The maximum calculated exposure level at any nearby building is 2.1% of the public exposure limit established by the Federal Communications Commission (“FCC”). Exhibit C, p. 2. The maximum RF exposure on the ground is 0.9%. Exhibit F, p. 3. The RF Report demonstrates that the calculated exposure levels are well below the FCC’s thresholds. Hammett & Edison’s results are conservative, as they include several “worst-case” assumptions, and therefore are expected to overstate the emissions. Exhibit C, p. 1.

The RF Report was then submitted to the Department of Public Health (“DPH”), pursuant to Section 1507 of Article 25. DPH reviewed the RF Report and confirmed that the Approved Facility “would be in compliance with the FCC standards and would not produce radio frequency energy exceeding the FCC public exposure limits.” See DPH Approval attached as Exhibit D, p. 1. DPH also concluded that “the installation of the equipment would be in compliance with the noise standards as outlined in the DPW Code, Article 25.” *Ibid.*

DPH also imposed conditions to ensure compliance. DPH Special Condition Number 3 requires that “[o]nce the antenna is installed, Verizon Wireless must take RF power density measurements with the antenna operating at full power to verify the level reported in the Hammett & Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.” Exhibits D, H. This condition ensures that the Approved Facility will not exceed FCC limits on RF emissions.

The City may not consider RF emissions as a ground upon which to grant the Appeal because the Approved Facility complies with FCC guidelines. The federal Telecommunications Act provides that “[n]o State or local government may regulate personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the [FCC’s] regulations concerning such emissions.” 47 U.S.C. § 332(c)(7)(B)(iv). The City’s own Article 25 defines the “Public Health Compliance Standard” as compliance with the FCC guidelines. Public Works Code § 1502. The Approved Facility meets this standard, and the City’s inquiry under Article 25 ends at this point.

Moreover, Verizon Wireless has provided a third-party expert report, to demonstrate – and ensure – that the Approved Facility will comply with all applicable health standards. DPH independently reviewed the information and confirmed its conclusion. The RF exposure from the Approved Facility is far below the federal limit, and therefore irrelevant to the City’s review. *See* 47 U.S.C. §332(c)(7)(B)(iv). Concerns regarding RF emissions cannot affect the Board’s decision-making process.

B. The Planning Department Properly Recommended Approval of the
Approved Facility

The Planning Department found that the Approved Facility, located in a Planning Protected Location with average street views, complies with the applicable compatibility standard under Article 25 and would not significantly detract from the character of the adjacent residential/commercial/mixed-use Districts, Scenic Vistas, or potential and/or known historic Buildings/Districts. Planning Department Approval attached as Exhibit E, p. 1.

The Planning Department thoughtfully considered the potential impacts of the Approved Facility, and its conclusions are supported by substantial evidence. The Approved Facility is proposed to be in the Public Use (“P”) district. The Planning Department properly analyzed the Approved Facility under the Planning Protected Compatibility Standard. The Planning Protected Location Compatibility Standard applies to poles that are adjacent to “a national historic landmark, California landmark, San Francisco landmark, structure of merit, architecturally significant building, or locally significant building.” Public Works Code §1502.¹ The proposed pole is near the Palega Recreation Center. The Palega Recreation Center is eligible for listing in the California Register of Historical Resources due to its history (early surviving recreational facility) and architecture (a work of master architect Gardiner Dailey). Historic Resource Evaluation Response attached as Exhibit F.

¹ Section 1502 defines “adjacent” to mean “[o]n the same side of the street and in front of the building or the next building on either side, when used in connection with a national historic landmark, California landmark, San Francisco landmark, structure of merit, architecturally significant building, or locally significant building.” While the subject pole is around the corner and not in front of the building, Planning still evaluated the Approved Facility under this more stringent standard.

Under the Planning Protected Location Compatibility Standard, the Planning Department considers whether the proposed Personal Wireless Service Facility would “significantly degrade or detract from the aesthetic attributes that were the basis for the special designation of the building.” Public Works Code §1502.

Bearing these standards in mind, the Planning Department correctly determined that the Facility “**WOULD NOT** significantly detract from the character of the adjacent residential/commercial/mixed-use Districts, Scenic Vistas; or potential and/or known historic Buildings; Districts.” Exhibit E (emphasis in original). These conclusions are based on substantial evidence. The Planning Department rendered its recommendation based upon review of the site permit application, including the plans and photosimulations. Exhibit E, p. 1.

The photosimulations show the Approved Facility and its surroundings from multiple angles. Exhibit A. As described above, the Approved Facility will replace an existing wooden utility pole at the same location. It adds less than four feet in height and a crossbar with equipment. The photosimulations of the Approved Facility (Exhibit A) and the plans (Exhibit B) show that the shrouded design will conceal the antennas. Furthermore, there is no possibility that the Approved Facility will “significantly degrade or detract from the aesthetic attributes that were the basis for the special designation of the building,” which is considered historic due its history and architectural styles. Rather, it is proposed to be located on an existing utility pole in the public right-of-way. The subject pole itself is a standard utility pole; not historic, architecturally significant, decorative, nor a landmark. The Approved Facility does not detract from the historic

nature or architecture of the Palega Recreation Center in any way, as it is not located in front of or on the side of the building.

The Planning Department's findings included the following:

- Planning has determined that the proposed Verizon Wireless personal wireless service facility is designed in a streamlined manner, as proposed it will be located on a replacement pole in the exact location of an existing light pole which would not significantly detract from any of the defining characteristics of the historic resource, average street view P (Public Use) district.
- The project has been designed to reduce, to the best extent possible, the blocking or other impairment of pleasing street views, and preserves an important characteristic of the unique setting and quality of the city.
- The project has been designed to maintain, to the best extent possible, views from streets which can provide a means for orientation, and preserves the ability for an observer to perceive the City and its districts clearly.
- The project has been designed as a minimally visible facility to be attached to an existing light/utility pole extant in the public sidewalk. The facility components are designed as an extension to the pole and equipment boxes, with requirements to be painted or shrouded to match the pole further reducing their visibility and any conflicts with the building frontages within the Public Use district.

Exhibit E, pp. 2-3.

The Planning Department also attached thirteen conditions to the Approved Facility to ensure that any potential impact would be minimized to the extent feasible. Exhibit E, pp. 3-4. These conditions range from requiring a street tree to minimizing equipment size and configuration to regulating paint colors. *Ibid.* Indeed, the conditions go so far as to regulate the size of an equipment sticker (4” by 6”), the background color of the sticker (must match the surface to which it adheres), and the color of the logo and font (white). Exhibit E, p. 4, Condition No. 4. Consequently, the Planning Determination, based on substantial must be upheld as well.

C. The Department of Recreation and Parks Properly Recommended

Approval of the Approved Facility

Because the Approved Facility is adjacent to the Palega Recreation Center, the Department of Recreation and Parks (“RPD”) also reviewed the Approved Facility to ensure that it met the Tier C Park Protected Location Compatibility Standard. Public Works Code §§1502, 1510. It found that the Approved Facility “would not ‘significantly impair the views of a City park or open space or significantly degrade or detract from the aesthetic or natural attributes that define the City park or open space.’” RPD Determination, attached as Exhibit G.

RPD made its determination based on the following:

- The project’s massing profile will be minimally visible in that it will consist of three 21” tall x 8” wide x 5” deep side-mounted integrated antennas on the upper portion of the pole outside of lines of sight into or from the park.

- The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- The visual impact of the project will be minimized in that all antennas and associated ancillary equipment will be encased within rectangular enclosures.
- the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

Exhibit G, pp.1-2.

The Approved Facility substantially complies with the Tier C objective standards in DPW Order No. 204901 as close as possible without violating PG&E General Order 95. The Board should uphold RPD's determination.

D. DPW Properly Issued a Final Determination

Finally, DPW approved the Approved Facility and issued the Final Determination (Exhibit H). As the approvals of all four agencies confirm, the Approved Facility is well-designed, unobtrusive, will not have any significant impacts, and meets all requirements for approval. The departmental decisions were all based on substantial evidence and consistent with applicable law, including Article 25. The Board should uphold them.

III. All Noticing Requirements Were Met

Verizon Wireless has met all noticing requirements for this site. Unlike buildings, utility poles, which are located in public rights-of-way, do not have addresses assigned to

them. Rather, they are identified by number, which would have no meaning to the general public. To fulfill San Francisco's Article 25 noticing requirements, DPW and the Planning Department direct the applicant to use the address of the closest parcel, in this case 500 Felton Street, even though the subject pole is located on Somerset. The notice also includes photosimulations of the Approved Facility, which clearly identifies the subject pole. Additionally, notices are posted on and around the subject pole. Regardless of the address on the notice, all notice requirements were met, as is also evidenced by a timely appeal.

Article 25 requires Verizon Wireless to mail notices to: "(i) any Person who owns property that is within 300 feet of the approved location for the Personal Wireless Service Facility; (ii) any Person who is a tenant in any residential property that is within 300 feet of the approved location for the Personal Wireless Service Facility; (iii) any neighborhood association identified by the Planning Department for any neighborhood that is within 600 feet of the approved location for the Personal Wireless Service Facility; and (iv) the member of the Board of Supervisors who represents the district in which the approved Personal Wireless Service Facility would be located." Public Works Code §1514(a)(1)(A). The affidavit attached as Exhibit J confirms compliance with these mailing requirements.

Verizon Wireless must also "promptly post notice of the Department's final determination to approve an Application for a Personal Wireless Service Facility Site Permit on the Utility Pole to be used for the proposed Personal Wireless Service Facility and on a minimum of four other Utility Poles, other poles, or other conspicuous places located within 300 feet of the approved location for the Personal Wireless Service

Facility.” Public Works Code §1514(a)(1)(B). The affidavit attached as Exhibit K confirms compliance with these posting requirements.

Finally, though not required by code, Verizon Wireless emails a courtesy notice to interested parties listed on the Planning Department’s website. See Exhibit L and Exhibit M. Consequently, Verizon Wireless has gone above and beyond the code’s requirements to ensure that the public and relevant parties receive proper notice.

IV. Conclusion

In conclusion, this Board should deny the Appeal and allow Verizon Wireless to move forward with construction. Representatives of Verizon Wireless, Modus, and Hammett & Edison will be present at the hearing to answer any questions.

Very truly yours.



Paul B. Albritton

cc: William K. Sanders, Esq.
Scott Sanchez, AICP
Leoncio Palacios, DPW

Schedule of Exhibits:

Exhibit A – Photosimulations

Exhibit B – Plans

Exhibit C – Hammett & Edison, Inc., Consulting Engineers Report

Exhibit D – Department of Public Health Determination

Exhibit E – Planning Department Determination

Exhibit F – Historic Resource Evaluation Response

Exhibit G – Department of Recreation and Parks Determination

Exhibit H – Final Determination

Exhibit I – Alternative Site Analysis

Exhibit J – U.S. Mail Noticing Affidavit

San Francisco Board of Appeals

September 28, 2021

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Exhibit K – Posting Noticing Affidavit

Exhibit L – Courtesy Email Notice

Exhibit M – Courtesy Email Notice to Supervisor Ronen

view from Somerset Street looking northwest at site

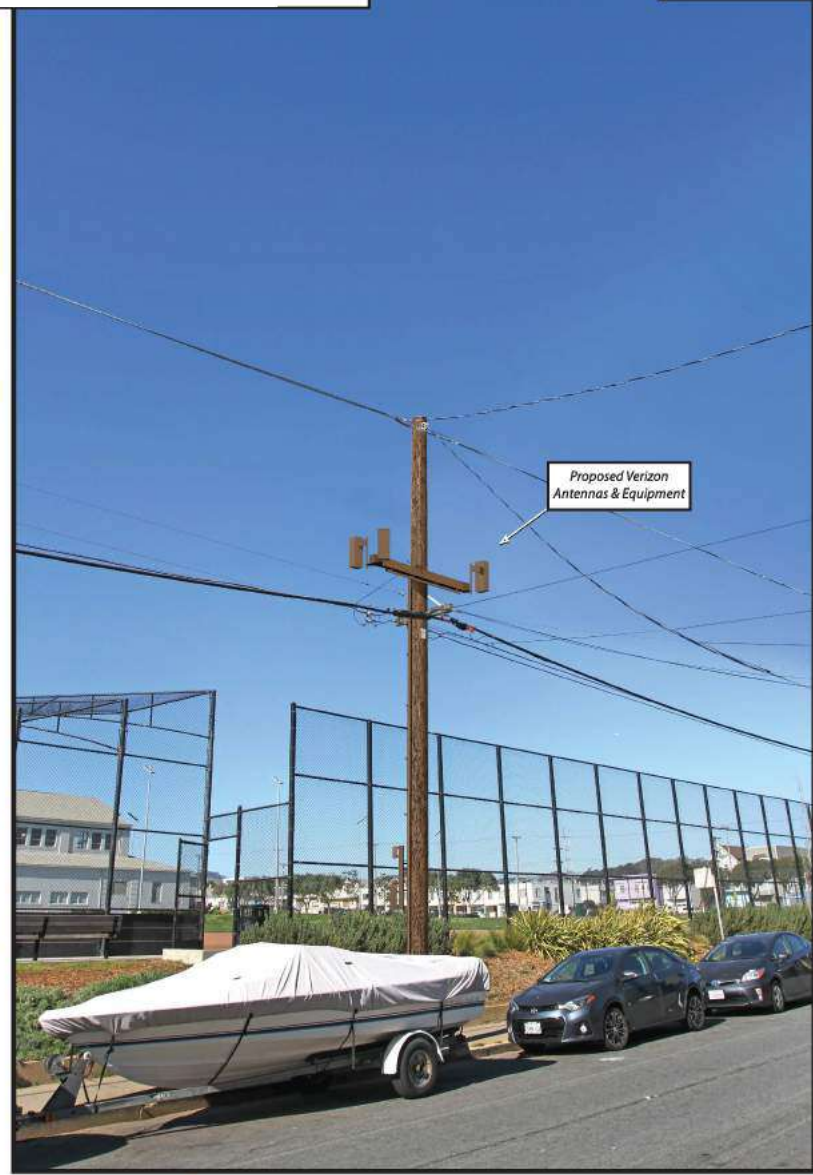


SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing



Proposed



Proposed Verizon
Antennas & Equipment



view from Somerset Street looking southwest at site

verizon✓

SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing

Proposed





EXCELSIOR 025

(ADJ. TO) 500 FELTON STREET
SAN FRANCISCO, CA 94134

SITE ID: EXCELSIOR 025
LOCATION CODE: 454198
CX PROJECT ID: 20171612561
SITE TYPE: WOOD PG&E UTILITY POLE
POLE #: 110031817
COUNTY: SAN FRANCISCO

VERIZON WIRELESS
2785 MITCHELL DRIVE, SUITE 9
WALNUT CREEK, CA
94598

MODUS, LLC
240 STOCKTON ST., 3RD FLOOR
SAN FRANCISCO, CA
94108

PROJECT TEAM

APPLICANT:
VERIZON WIRELESS
2785 MITCHELL DRIVE, SUITE 9
WALNUT CREEK, CA 94598
CONTACT: ROBERT CHOB0
PHONE: (925) 462-9920
EMAIL: ROBERT.CHOB0@VERIZONWIRELESS.COM

MODUS PROJECT MANAGER:
MODUS, LLC
240 STOCKTON ST., 3RD FLOOR
SAN FRANCISCO, CA 94108
PHONE: (415) 989-1102
EMAIL: VERIZONPOLYGONTEAM@MODUS-CORP.COM

SITE ACQUISITION:
MODUS, LLC
240 STOCKTON ST., 3RD FLOOR
SAN FRANCISCO, CA 94108
PHONE: (415) 989-1102
EMAIL: VERIZONPOLYGONTEAM@MODUS-CORP.COM

LAND USE PLANNER:
MODUS, LLC
240 STOCKTON ST., 3RD FLOOR
SAN FRANCISCO, CA 94108
PHONE: (415) 989-1102
EMAIL: VERIZONPOLYGONTEAM@MODUS-CORP.COM

ALL PROJECT MANAGER:
MODUS, LLC
240 STOCKTON ST., 3RD FLOOR
SAN FRANCISCO, CA 94108
PHONE: (415) 989-1102
EMAIL: VERIZONPOLYGONTEAM@MODUS-CORP.COM

CONSTRUCTION/IMPLEMENTATION MANAGER:
MODUS, LLC
240 STOCKTON ST., 3RD FLOOR
SAN FRANCISCO, CA 94108
PHONE: (415) 989-1102
EMAIL: VERIZONPOLYGONTEAM@MODUS-CORP.COM

PROJECT DESCRIPTION

VERIZON WIRELESS PROPOSES TO INSTALL A NEW WIRELESS COMMUNICATION SITE ON A REPLACEMENT WOOD PG&E UTILITY POLE IN THE PUBLIC RIGHT-OF-WAY.

SCOPE:

- REMOVE EXISTING WOOD UTILITY POLE AND REPLACE WITH NEW WOOD UTILITY POLE
- INSTALL (3) NEW INTEGRATED ANTENNA UNITS ON SIDE OF UTILITY POLE
- INSTALL NEW MOUNTING BRACKET ON SIDE OF UTILITY POLE
- INSTALL NEW POLE SMART METER / DISCONNECT & FIBER BOX ON SIDE OF UTILITY POLE
- ALL VERIZON ADDED APPURTENANCES SHALL BE PAINTED TO MATCH POLE COLOR*

*NOTE: INTEGRATED ANTENNA UNITS CANNOT BE PAINTED

DRAWING INDEX

SHEET NO.	SHEET TITLE
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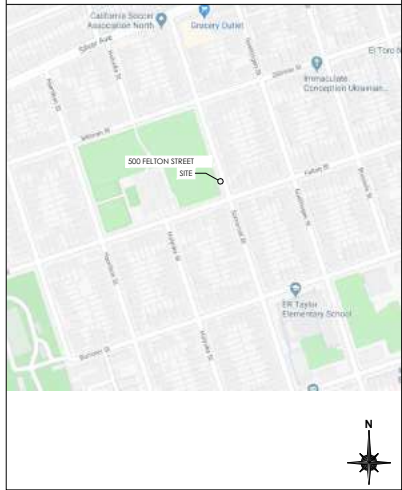
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APPROVED BY: LIB

REV	DATE	DESCRIPTION
A	12/29/20	90% CD
0	12/30/20	100% CD

POLE PHOTO



VICINITY MAP



SITE INFORMATION

SITE ADDRESS: (ADJ. TO) 500 FELTON STREET
SAN FRANCISCO, CA 94134

OWNER: PG&E
1 MARKET STREET, SPEAR TOWER
SAN FRANCISCO, CA 94105-1126

APPLICANT: VERIZON WIRELESS
2785 MITCHELL DRIVE, SUITE 9
WALNUT CREEK, CA 94598

LATITUDE: N 37° 43' 45.149" NAD83

LONGITUDE: W 122° 54' 31.435" NAD83

COUNTY: SAN FRANCISCO

ASSESSORS PARCEL NUMBER: PUBLIC RIGHT OF WAY
ADJACENT TO: S09-001

ZONING: ADJ. TO P-PUBLIC

ELEVATION: 1102.3 AMSL



**CALL 811 BEFORE YOU DIG
IT'S THE LAW**

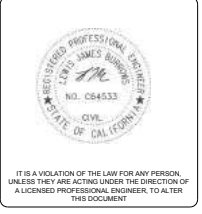
THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL THE UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E) UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2019 CALIFORNIA CODE
- 2019 CALIFORNIA BUILDING CODE (CBC), BASED ON THE 2018 IBC
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC), BASED ON THE 2018 IBC
- 2019 CALIFORNIA ELECTRICAL CODE (CEC), BASED ON THE 2017 NEC
- 2019 CALIFORNIA MECHANICAL CODE (CMC), BASED ON THE 2018 IMC
- 2019 CALIFORNIA PLUMBING CODE (CPC), BASED ON THE 2018 UPC
- 2019 CALIFORNIA GREEN BUILDINGS STANDARDS CODE (CALGREEN)
- 2019 CALIFORNIA FIRE CODES WITH ALL LOCAL AMENDMENTS
- ANY LOCAL BUILDING CODE AMENDMENTS TO THE ABOVE
- CITY / COUNTY ORDINANCES

ACCESSIBILITY REQUIREMENTS FOR PERSONS WITH DISABILITIES:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY IS NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE STATE CODE PART 2, TITLE 24, CHAPTER 118, SECTION 11038.



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

EXCELSIOR 025
(ADJ. TO) 500 FELTON STREET
SAN FRANCISCO, CA 94134

TITLE SHEET

T-1

GENERAL NOTES

GENERAL CONSTRUCTION NOTES

- PLANS ARE INTENDED TO BE DIAGRAMMATIC ONLY. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE TURNING MATERIALS, EQUIPMENT, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT USA NORTH #11 (UNDERGROUND SERVICE ALERT) AT (800) 642-2444 FOR UTILITY LOCATIONS, 2 WORKING DAYS BEFORE PROCEEDING WITH ANY EXCAVATION, SEE WORK OR CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, FRINGE, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWINGS AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DETERMINED ON THE FIELD SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT / ENGINEER.
- THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK. THE PERMITS OBTAINING IS OBLIGATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE AREA LINES, UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS, THE ARCHITECT / ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATIONS OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY THE WORKING SCHEDULES RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER FOR RESOLUTION. CONSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT / ENGINEER. FAILURE TO SECURE SUCH RESOLUTION MEANS CONTRACTOR WILL WORK AT HIS/HER OWN RISK AND EXPENSE.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- ANY EXISTING COMPONENTS DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON 'AS-BUILT' DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT / ENGINEER AT COMPLETION OF PROJECT.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL HAVE PROTECTIVE SYSTEMS INSTALLED IN ACCORDANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

GENERAL WIRELESS FACILITY NOTES

- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- ANY CONSTRUCTION WORK BY CONTRACTOR SHALL NOT DERIVE THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
- ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUT DOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGERS. PERSONAL OR EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
- CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND TI CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWINGS. CONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD (N) TRAYS AS NECESSARY. CONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.

EQUIPMENT LOCATION

- ALL DRAWINGS INDICATE DIAGRAMMATICALLY THE DESIRED LOCATIONS OR ARRANGEMENTS OF CONDUIT RUNS, OUTLETS, EQUIPMENT, ETC., AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. PROPER JUDGMENT MUST BE EXERCISED IN EXECUTING THE WORK SO AS TO SECURE THE BEST POSSIBLE INSTALLATION IN THE AVAILABLE SPACE AND TO OVERCOME LOCAL DIFFICULTIES DUE TO SPACE LIMITATIONS OR INTERFERENCE OF STRUCTURE CONDITIONS ENCOUNTERED.
- IN THE EVENT CHANGES IN THE INDICATED LOCATIONS OR ARRANGEMENTS ARE NECESSARY, DUE TO FIELD CONDITIONS IN THE BUILDING CONSTRUCTION OR REARRANGEMENT OF EQUIPMENT, SUCH CHANGES SHALL BE MADE WITHOUT COST, PROVIDING THE CHANGE IS ORDERED BEFORE THE CONDUIT RUNS, ETC., AND WORK DIRECTLY CONNECTED TO THE SAME IS INSTALLED AND NO EXTRA MATERIALS ARE REQUIRED.
- COORDINATE THE WORK OF THE SECTION WITH THAT OF ALL OTHER TRADES, WHERE CONFLICTS OCCUR. CONSULT WITH THE PROSPECTIVE CONTRACTOR AND COME TO AGREEMENT AS TO CHANGES NECESSARY. OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER FOR THE PROPOSED CHANGES BEFORE PROCEEDING.

TESTS

BEFORE FINAL ACCEPTANCE OF WORK, THE CONTRACTOR SHALL ENSURE THAT ALL EQUIPMENT, SYSTEMS, FITURES, ETC., ARE WORKING SATISFACTORILY AND TO THE INTENT OF THE DRAWINGS.

PERMITS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING OUT AND PAYING FOR ALL THE REQUIRED PERMITS, INSPECTION AND EXAMINATION WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

DEFINITIONS

- "TYPICAL" OR "TYP" MEANS THAT THIS ITEM IS SUBSTANTIALLY THE SAME ACROSS SIMILAR CONDITIONS. "TYP" SHALL BE UNDERSTOOD TO MEAN "TYPICAL WHERE OCCURS" AND SHALL NOT BE CONSIDERED AS WITHOUT EXCEPTION OR CONSIDERATION OF SPECIFIC CONDITIONS.
- "SIMILAR" MEANS COMPARABLE TO CHARACTERISTICS FOR THE CONDITION NOTED, VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- "AS REQUIRED" MEANS AS REQUIRED BY REGULATOR REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERALLY ACCEPTED CONSTRUCTION PRACTICE, OR BY THE CONTRACT DOCUMENTS.
- "ALLOT" MEANS ACCURATELY LOCATE FINISH FACES OF MATERIALS IN THE SAME PLANE.
- THE TERM "VERIFY" OR "V.F." SHALL BE UNDERSTOOD TO MEAN "VERIFY IN FIELD WITH ENGINEER" AND REQUIRES THAT THE CONTRACTOR CONFIRM INTENTION REGARDING NOTED CONDITION AND PROCEED ONLY AFTER RECEIVING DIRECTION.
- WHERE THE WORDS "OR EQUAL" OR WORDS OF SIMILAR INTENT FOLLOW A MATERIAL SPECIFICATION, THEY SHALL BE UNDERSTOOD TO REQUIRE SIGNED APPROVAL OF ANY DEVIATION TO SAS SPECIFICATION PRIOR TO CONTRACTORS ORDERING OR INSTALLATION OF SUCH PROPOSED EQUAL PRODUCT.
- FURNISH SUPPLY ONLY, OTHERS TO INSTALL. INSTALL ITEMS FURNISHED BY OTHERS, PROVIDE FURNISH AND INSTALL.

APPLICABLE CODES, REGULATIONS AND STANDARDS:

- CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AAJ) FOR THE LOCATION.
- THE EDITION OF THE AAJ ADOPTED CODES AND STANDARDS IN EFFECT AT THE TIME OF PERMITTING SHALL GOVERN THE DESIGN.
- CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
 - AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
 - INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) B1, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM (IEEE 1100-1999)
 - IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "CS" AND "HIGH SYSTEM EXPOSURE")
- TA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
 - TELCORDIA GR-475 NETWORK EQUIPMENT-BUILDING SYSTEM (NEBS): PHYSICAL PROTECTION
 - TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING
 - TELCORDIA GR-122 GENERAL INSTALLATION REQUIREMENTS
 - TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS
- ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS
- FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

GENERAL TRENCHING NOTES

- MAINTAIN 24" MINIMUM COVER FOR ALL ELECTRICAL CONDUITS, 18" FOR MAINTENANCE OF ALL TELECOMMUNICATIONS CONDUITS.
- MINIMUM 1" SAND SHADING BELOW CONDUITS, AND 6" COVERING ON TOP OF CONDUITS REQUIRED.
- REFER TO SHEET E-1 FOR ADDITIONAL REQUIREMENTS

GENERAL GROUNDING NOTES

- GROUNDING SHALL BE TESTED AT 5 OHMS OR LESS.
- WOOD HOLDINGS, SPACED EVERY 3" @ AND AT EACH END.

GENERAL CONDUIT NOTES

- ALL CONDUITS WILL BE MANDED AND EQUIPPED WITH 3/8" PULL ROPE.
- SCHEDULE 80 CONDUIT FOR UNDERGROUND USE.
- SCHEDULE 80 CONDUIT FOR RER USE AND ELSEWHERE AS NOTES. TRANSITION FROM SCHEDULE 40 PVC OR RIGID STEEL CONDUIT TO SCHEDULE 80 USING APPROVED FITTINGS DESIGNED TO PROVIDE A SMOOTH INTERIOR WALL. TRANSITION TO THE REDUCED INTERIOR DIAMETER OF SCHEDULE 80, ADJUST CONDUIT USE IF NECESSARY TO MAINTAIN THE INTERIOR AREA REQUIRED FOR THE WRING SPECIFIED.
- GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 3" STUB UP 10" THEN CONVERT TO SCHEDULE 80.
- CONTRACTOR TO STUB UP POLE 12" w/ 3" POWER CONDUIT, POWER COMPANY TO CONVERT FROM 3" STUB SCHEDULE 80 TO 2" SCHEDULE 80 FROM TOP OF STUB UP.
- 2KG COLD GALVANIZING COMPOUND OR EQUIVALENT IS REQUIRED ON EXPOSED THREADS IN RIGID STEEL CONDUIT AND THE CUT ENDS OF SUPPORT STRUTS, ETC., TO PREVENT RUSTING.

TYPICAL 8" O.W. POLE CONSTRUCTION NOTES

- CABLE NOT TO IMPIDE 15" CLEAR SPACE OFF POLE FACE.
- ALL CLAMP STEPS NEXT TO CONDUIT SHALL HAVE EXTENDED STEPS.
- NO BOLT THREADS TO PROTRUDE MORE THAN 1/2"
- ALL HOLES IN POLE LEFT FROM REARRANGEMENT OF CLAMP STEPS TO BE FILLED.
- 90° SHORT SWEEPS UNDER ANTENNA ARM, ALL CABLES MUST TRANSITION ON THE INSIDE OR BOTTOM OF THE ARM (NO CABLE ON TOP OF ARM).
- USE 90° CONNECTOR AT CABLE CONNECTION FOR DOWN DOWN ANTENNAS.
- USE CABLE CLAMPS TO SECURE CABLE TO ARMS, PLACE 2" CABLE I.D. TAGS ON BOTH SIDES OF ARMS.
- USE 1/2" DA, CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
- PLACE GIPS ON ARM OF SOUTHERN SKY DISPOSE AT MINIMUM 4' FROM TRANSMIT ANTENNA WHICH IS 24' AWAY FROM CENTER OF POLE.
- FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.

CONTRACTOR REQUIREMENTS

DO NOT SCALE OFF DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

ABBREVIATIONS

A.B.	ANCHOR BOLT	G.L.B.	GLUE LAMINATED BEAM
ABV.	ABOVE	(GUL-LAM)	
ACCA	ANTENNA CABLE COVER ASSUMED	GPS	GLOBAL POSITIONING SYSTEM
ADDL.	ADDITIONAL	GRND.	GROUND
A.F.F.	ABOVE FINISHED FLOOR	HDR.	HANGER
A.F.G.	ABOVE FINISHED GRADE	HGR.	HANGER
AGL.	ABOVE GRAOUND LEVEL	HST.	HANGER
ALUM.	ALUMINUM	ICCB.	ISOLATED COPPER GROUND BUS (INCHES)
ALT.	ALTERNATE	IN-(T)	INTERIOR
AN.T.	ANTENNA	IN-(F)	INTERIOR POSITIONING
ANT.	APPROXIMATELY	L.B.	LAG BOLTS
ARCH.	ARCHITECTURAL	LE-F	LINEAR REINFORCEMENT
AWC.	AMERICAN WIRE GAUGE	L.	LONGITUDINAL
B.L.D.G.	BUILDING	M.	MASONRY
B.L.C.	BLOCK	MAX.	MAXIMUM
B.C.G.	BLOCKING	M.B.	MACHINE BOLT
BA.	BEAM	MECH.	MECHANICAL
B.N.	BOUNDARY NAILING	MFR.	MANUFACTURER
BN	BACK-UP CABINET	MN.	MINIMUM
BCH.W.	BARE-TINNED COPPER WIRE	MISC.	MISCELLANEOUS
B.O.	BOTTOM	MT.	METAL
B.O.F.	BOTTOM OF FOOTING	NO-(F)	NOT TO SCALE
CAB.	CABINET	NO.	NUMBER
CANT.	CANTILEVERED	N.I.S.	NOT TO SCALE
CL.F.	CASE IN PLACE	NEW.	NEW
CLG.	CEILING	O.C.	ON CENTER
CEN.	CENTERLINE	OPEN.	OPENING
COL.	COLUMN	P.C.	PRE CAST CONCRETE
CONC.	CONCRETE	PLATE	PLATE
CONC.	CONCRETE	PLY.	PLYWOOD
CONN.	CONNECTION(OR)	P.S.I.	POUNDS PER SQUARE FOOT
CONSTR.	CONSTRUCTION	P.S.F.	POUNDS PER SQUARE INCH
CONT.	CONTINUOUS	P.T.	PRESSURE TREATED
COU.	COURT (FRAMES)	QTY.	QUANTITY
DBL.	DOUBLE	RAD.(R)	RADIUS
DBT.	DOUBLE	REF.	REFERENCE
D.F.	DOUGLAS FIR	RENF.	REINFORCING
DI.	DIAMETER	RETD.	REQUIRED
DIAG.	DIAGONAL	RCS.	RIGID GALVANIZED STEEL
DM.	DIVISION	R.O.W.	RIGHT OF WAY
DNG.	DRAWINGS(S)	SCH.	SCHEDULE
DWL.	(DOWELS)	SH.	SHEET
EA.	EACH	SM.	SIMILAR
E.L.	ELEVATION	SPIC.	SPECIFICATION(S)
ELEC.	ELECTRICAL	SQ.	SQUARE
ELEV.	ELEVATOR	STD.	STANDARD
EMT.	ELECTRICAL METALLIC TUBING	STL.	STEEL
EN.	EDGE NAIL	STRUC.	STRUCTURAL
ENG.	ENGINEER	TEMP.	TEMPORARY
EQ.	EQUAL	THK.	THICKNESS
EXP.	EXPANSION	TL.	TOP NAIL
EXT.(E)	EXISTING	T.O.A.	TOP OF ANTENNA
EXT.	EXTERIOR	T.O.C.	TOP OF CURB
FAB.	FABRICATION(OR)	T.O.F.	TOP OF FOUNDATION
F.F.	FINISH FLOOR	T.O.P.	TOP OF PLASTER(PAPER)
F.G.	FINISH GRADE	T.O.S.	TOP OF STEEL
FN.	FINISH	T.O.W.	TOP OF WALL
FDN.	FOUNDATION	TY.	TYPICAL
FIR.	FLOOR	U.S.	UNDER GROUND
F.O.C.	FACE OF CONCRETE	U.L.	UNDERWRITES LABORATORY
F.O.M.	FACE OF MASONRY	UN.F.O.	UNLESS NOTED OTHERWISE
F.O.S.	FACE OF STUD	V.F.	VERIFY IN FIELD
F.O.W.	FACE OF WALL	W.	WIDE(WIDTH)
F.S.	FINISH SURFACE	W.(F)	WIDE(WIDTH)
FTI	FOOTPRINT	WD.	WOOD
FIG.	FIGURING	W.P.	WETATHERPROOF
G.	GALVANIZED	WT.	WEIGHT
GA.	GAUGE		
GL.	GALVANIZED		
G.F.L.	GROUND FAULT CIRCUIT INTERRUPTER		

LEGEND

	SPOT ELEVATION		STEEL
	REVISION		GROUT
	DETAIL REFERENCE		CONCRETE
	ELEVATION REFERENCE		EARTH
	SECTION REFERENCE		SAND
	--- T ---		PROPERTY
	--- E ---		GROUND CONDUCTOR
	--- I ---		CHAIN LINK FENCING
	--- A ---		FENCING
	--- O/H ---		OVERHEAD TELEPHONE/ OVERHEAD POWER
	--- X ---		OVERHEAD TELEPHONE
	--- W/P ---		OVERHEAD POWER LINE

VERIZON WIRELESS
2785 MITCHELL DRIVE, SUITE 9
WALNUT CREEK, CA
94598

MODUS, LLC
240 STOCKTON ST., 3RD FLOOR
SAN FRANCISCO, CA
94108

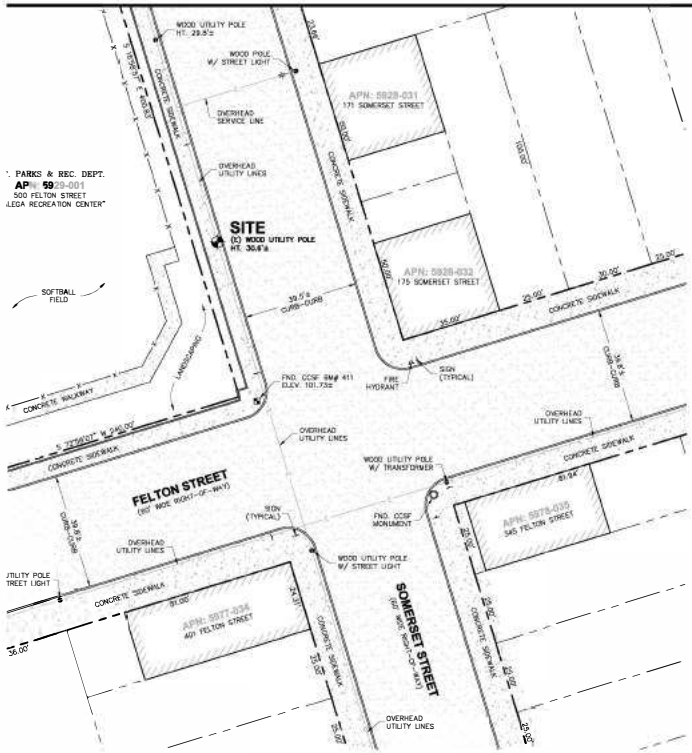
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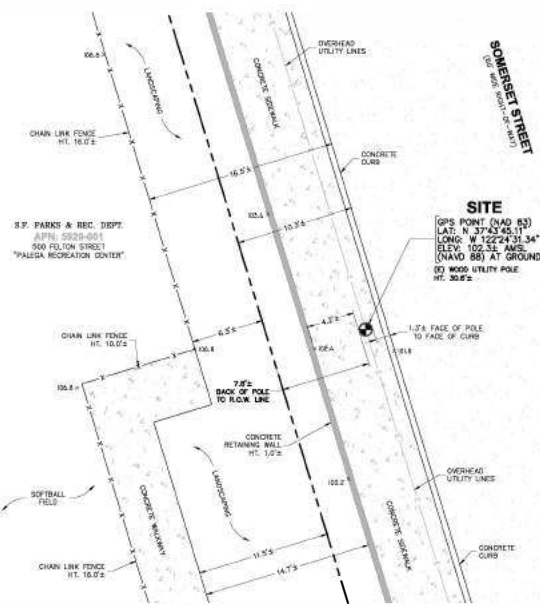
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

EXCELSIOR 025
(ADJ. TO) 500 FELTON STREET
SAN FRANCISCO, CA 94134

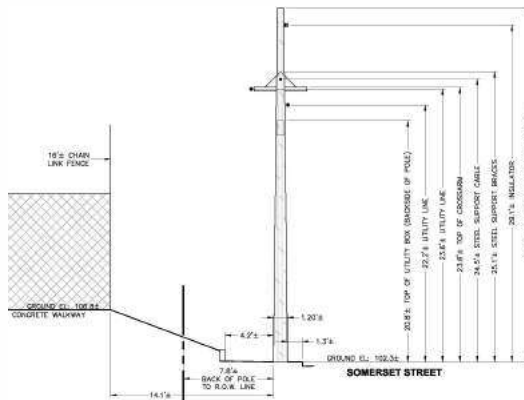
GENERAL NOTES



1 SITE PLAN
SCALE: 1" = 20'



2 ENLARGED SITE PLAN
SCALE: 1" = 5'



3 UTILITY POLE ELEVATION
SCALE: 1" = 5'

SUFFICIENT SURVEY EVIDENCE WAS NOT RECEIVED TO ESTABLISH THE POSITION OF THE BOUNDARY LINES SHOWN HEREON. THE BOUNDARY REPRESENTATION OF THIS MAP IS BASED ON COMPILED RECORD DATA AND BEST FIT DATA EXISTING APPROXIMATELY. IT IS POSSIBLE THAT THE LOCATION OF THE SUBJECT PROPERTY TO PART FROM THE PLACEMENT SYSTEM HEREON MAY VARY FROM THE ACTUAL LOCATION. THEREFORE, ANY SPATIAL REFERENCE MADE ON THIS MAP BETWEEN THE BOUNDARY LINES AND OTHER FEATURES SHOWN HEREON IS INTENDED TO BE APPROXIMATE AND IS SUBJECT TO VERIFICATION BY RECONSTRUCTING THE POSITION OF THE BOUNDARY LINES.



QUIET RIVER
Land Services Inc.
SCALE IN INCHES
1" = 20'
MAGNETIC DECLINATION = 19.4°
PER NOAA-NMOC

VICINITY MAP
NOT TO SCALE



DATE: JANUARY 17, 2018

DRAWN BY: RD

FILE NO.: MDCS1830

REVISIONS	
DATE	DESCRIPTION
1/17/18	NOIR ISSUE

PROPERTY INFORMATION

OWNER: SAN FRANCISCO PUBLIC RIGHT-OF-WAY
Address: 175 SOMERSET STREET, SAN FRANCISCO, CA 94133
SITE: EXCISIOR 025
Address: ACROSS FROM 175 SOMERSET STREET, SAN FRANCISCO, CA 94134
Assessor's Parcel Number: PUBLIC RIGHT-OF-WAY
Height of Building/Tower: 38.6' A.G.L. TOP OF WOOD UTILITY POLE
Title Report: NO TITLE REPORT FURNISHED. PUBLIC RIGHT-OF-WAY

Legal Description:
PROPERTY SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

FEMA FLOOD ZONE DESIGNATION National Flood Insurance Program
County: SAN FRANCISCO
Community-Panel Number:
San Francisco does not participate in the FEMA program.

SURVEY DATA
WAD 83 Datum
Lat: 37°42'51.14" N Long: 122°24'31.34" W
Datum: NAD 83, Equipment Used: Topcon HiPerite Receiver (See Note 2)
Site Ground Elevation: 102.34 AMSL (NAUG80) AT BASE OF SITE POLE
Basis of Elevations:
GLOBAL POSITIONING SYSTEM (GPS)
(SEE NOTE 2)
Basis of Bearings:
C.C.P.F. PUBLIC WORKS DEPARTMENT DIGITAL BASEMAP CAD FILES, SP08S CALIFORNIA COORDINATE SYSTEM, ZONE 10, AND BEST FIT WITH EXISTING IMPROVEMENTS
Date of Field Survey: JANUARY 15, 2018

NOTES

- This is not a boundary survey. This is a specialized topographic map with property lines and easements being a secondary addition to a primary site plan. The site plan was prepared by a licensed professional land surveyor. The site plan was prepared by a licensed professional land surveyor. The site plan was prepared by a licensed professional land surveyor.
- The latitude, longitude and elevation shown herein were derived from post-processed L1/L2 data collected using a real-time kinematic (RTK) system and a Topcon HiPerite Receiver. These specifications require accurate real-time correction data to be properly collected and processed. (Checkmark = 0.30 m.)
- Unless otherwise noted, no underground utility locating services were conducted prior to this map being prepared. Therefore, there may be responsible or future utilities existing on the property not shown on this map. - SEE BEFORE YOU DIG.
- Any electronic digital maps provided by Quiet River Land Services, Inc. to our client is a secondary one and is not to be reproduced, distributed, sold, copied, revised, altered or printed without the express written consent of our office of Quiet River Land Services, Inc. Further, any of the electronic digital maps provided herein may be subject to our survey or map is considered to be our legally recognized product.

SURVEYOR'S STATEMENT

I, the undersigned, a Registered Professional Land Surveyor licensed under the laws of the State of California, do hereby state that the information, measurements, computations, reports, surveys, maps, drawings and distances on these plans were based upon a field survey on which I was personally and directly engaged and were collected in a true and correct manner. Furthermore, the latitude and longitude coordinates are reported in NAD 83 datum and the accuracy is within the horizontal and vertical accuracy reported in the L-1-A Accuracy Code description as listed in the ASAC Information Sheet 21003, and are accurate to the best of my knowledge and belief.

SIGNATURE: _____ DATE: _____

LEGEND

APN:	ASSASSOR'S PARCEL NUMBER	ASPHALT
CP:	CONTROL POINT	CONCRETE
EL:	ELEVATION	CONTROL POINT
FH:	FIRE HYDRANT	FOUND MONUMENT
FOUN:	FOUND	GPS POINT
HT:	HEIGHT	PARAPET/ROOF ELEVATIONS
MON:	MONUMENT	SPOT ELEVATION
RO-WAY:	MONUMENT TO MONUMENT	TEMPORARY BENCHMARK
P.O.B.:	POINT OF BEGINNING	
P.O.C.:	POINT OF COMMENCEMENT	
PP:	POWER POLE	
(TYP):	TYPICAL	

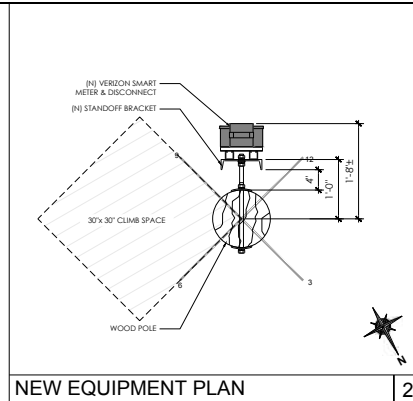
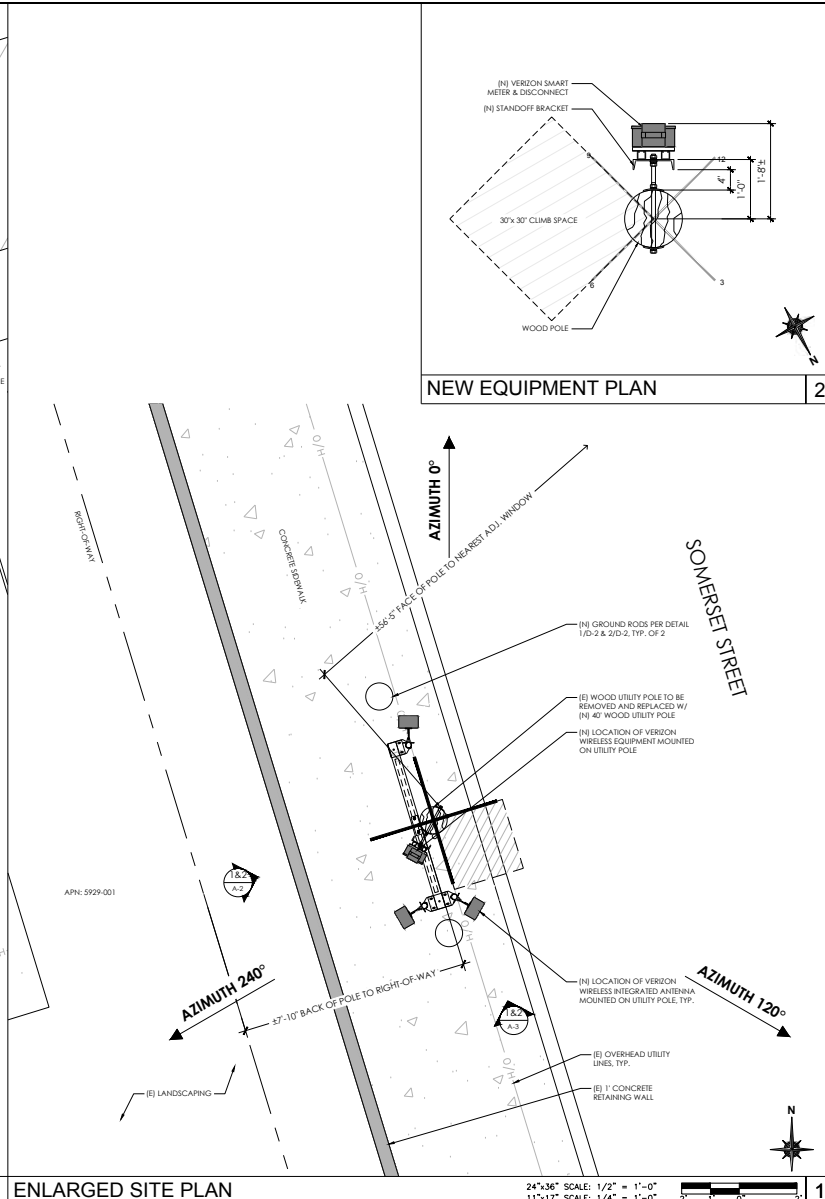
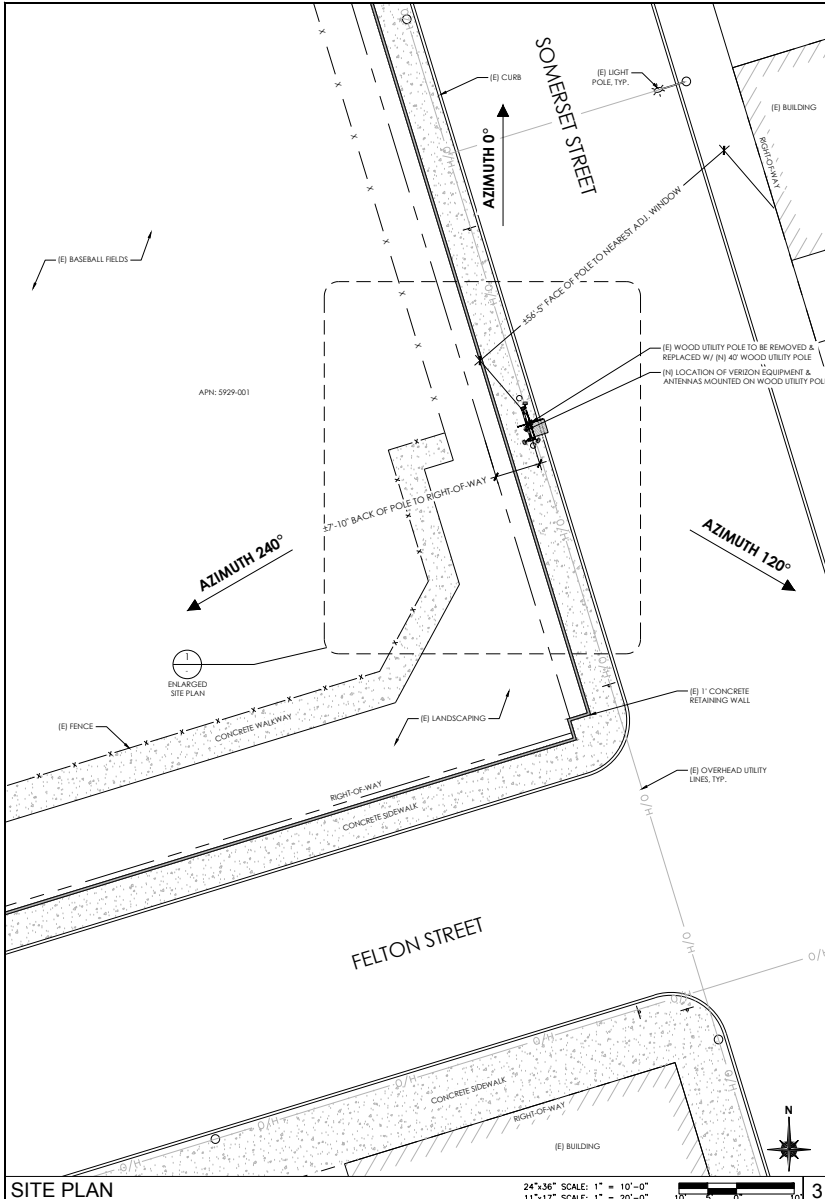
verizon wireless
2785 MITCHELL DRIVE
WALNUT CREEK, CA 94598
TEL: (925) 278-4539 FAX: (925) 278-4365

QUIET RIVER
Land Services Inc.
8747 Sierra Court, Suite K
Dublin, CA 94568

EXISTING SITE CONDITIO

EXCISIOR 025
PUBLIC RIGHT-OF-WAY A1
ACROSS FROM:
175 SOMERSET STREET
SAN FRANCISCO, CA 94133

C1
OF 1 SHEET



verizon

VERIZON WIRELESS
 2785 MITCHELL DRIVE, SUITE 9
 WALNUT CREEK, CA
 94598

MODUS

MODUS, LLC
 240 STOCKTON ST., 3RD FLOOR
 SAN FRANCISCO, CA
 94108

DRAWN BY:	APE
CHECKED BY:	BPM
APPROVED BY:	LIB

REV	DATE	DESCRIPTION
A	12/29/20	90% CD
0	12/30/20	100% CD

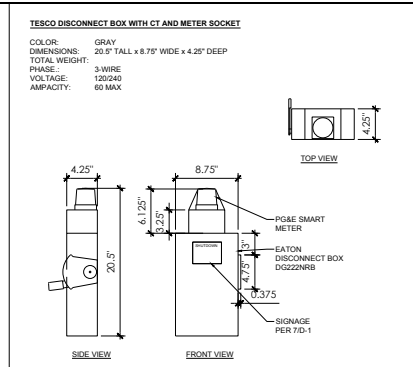
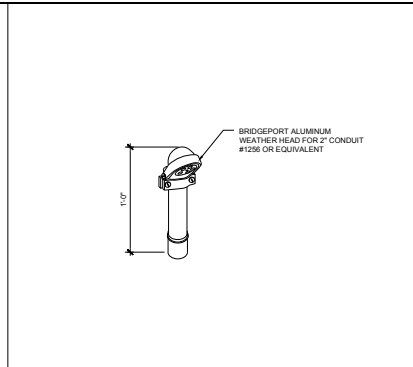
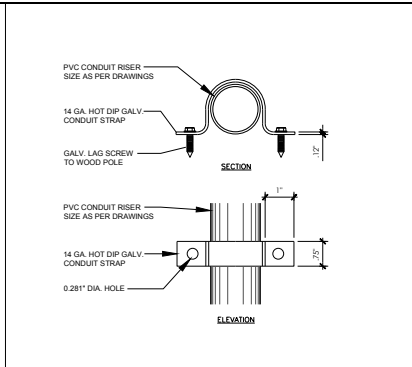
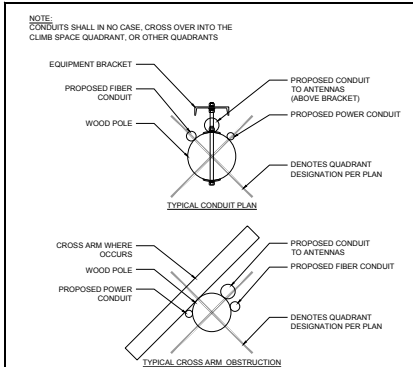
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

EXCELSIOR 025

(ADJ. TO) 500 FELTON STREET
 SAN FRANCISCO, CA 94134

SITE PLAN

A-1



TYP CROSS ARM OBSTRUCTION

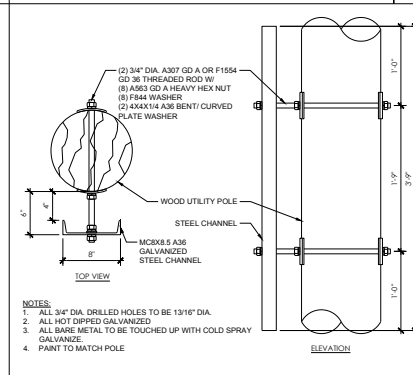
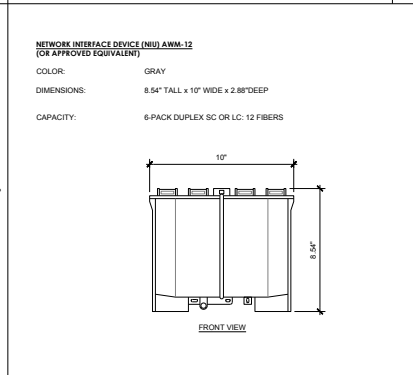
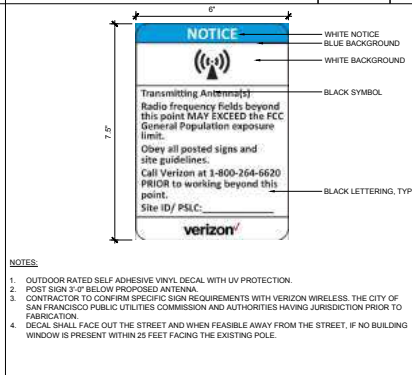
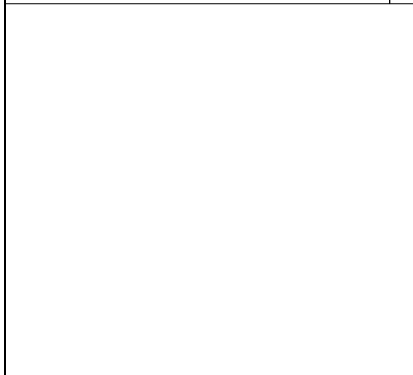
12 CONDUIT BRACKET

9 WEATHERHEAD

6 DISCONNECT

VERIZON WIRELESS
2785 MITCHELL DRIVE, SUITE 9
WALNUT CREEK, CA
94598

MODUS, LLC
240 STOCKTON ST., 3RD FLOOR
SAN FRANCISCO, CA
94108



DRAWN BY: APE
CHECKED BY: BPM
APPROVED BY: LIB

REV	DATE	DESCRIPTION
A	12/29/20	90% CD
0	12/30/20	100% CD

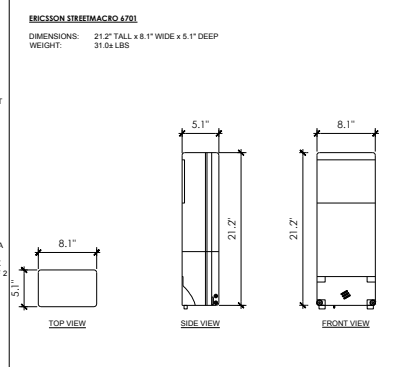
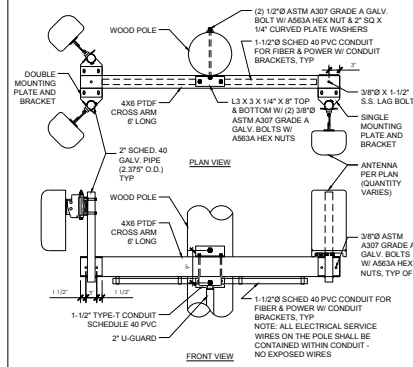
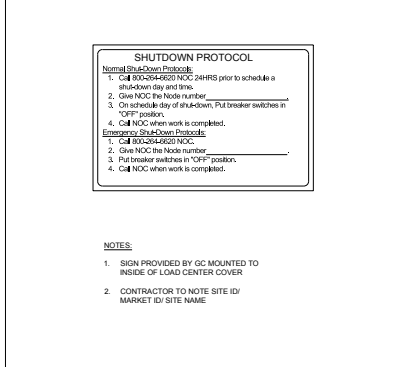
NOT USED

11 FCC SIGNAGE

8 FIBER DEMARC BOX

5 EQUIPMENT MOUNTING BRACKET

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT



EXCELSIOR 025

(ADJ. TO) 500 FELTON STREET
SAN FRANCISCO, CA 94134

DETAILS

D-1

NOT USED

10 SHUTDOWN SIGNAGE

7 SIDE MOUNT ANTENNA BRACKET

4 ERICSSON 6701

1

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate its small cell (No. 454198 “Excelsior 025”) proposed to be sited in San Francisco, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

Background

The San Francisco Department of Public Health has adopted an 11-point checklist for determining compliance of proposed WTS facilities or proposed modifications to such facilities with prevailing safety standards. The acceptable exposure limits set by the FCC are shown in Figure 1. The most restrictive limit for exposures of unlimited duration at several wireless service bands are as follows:

<u>Wireless Service Band</u>	<u>Transmit Frequency</u>	<u>“Uncontrolled” Public Limit</u>	<u>Occupational Limit (5 times Public)</u>
Microwave (point-to-point)	1–80 GHz	1.0 mW/cm ²	5.0 mW/cm ²
Millimeter-wave	24–47	1.0	5.0
Part 15 (WiFi & other unlicensed)	2–6	1.0	5.0
CBRS (Citizens Broadband Radio)	3,550 MHz	1.0	5.0
BRS (Broadband Radio)	2,490	1.0	5.0
WCS (Wireless Communication)	2,305	1.0	5.0
AWS (Advanced Wireless)	2,110	1.0	5.0
PCS (Personal Communication)	1,930	1.0	5.0
Cellular	869	0.58	2.9
SMR (Specialized Mobile Radio)	854	0.57	2.85
700 MHz	716	0.48	2.4
600 MHz	617	0.41	2.05
[most restrictive frequency range]	30–300	0.20	1.0

Power line frequencies (60 Hz) are well below the applicable range of these standards, and there is considered to be no compounding effect from simultaneous exposure to power line and radio frequency fields.

Checklist

Reference has been made to information provided by Verizon, including drawings by Modus, LLC, dated December 30, 2020. It should be noted that the calculation results in this Statement include several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operations. Figure 2 describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). This methodology is an industry standard for



**Verizon Wireless • Proposed Small Cell (No. 454198 “Excelsior 025”)
500 Felton Street • San Francisco, California**

evaluating RF exposure conditions and has been demonstrated through numerous field tests to be a conservative prediction of exposure levels.

1. The location, identity, and total number of all operational radiating antennas installed at this site.

There are reported no wireless base stations installed at the site, a utility pole in the public right-of-way on the west side of Somerset Street about 60 feet north of its intersection with Felton Street, adjacent to the Palega Recreation Center at 500 Felton Street.

2. List all radiating antennas located within 100 feet of the site that could contribute to the cumulative radio frequency energy at this location.

While there may be other WTS facilities near this site, the additive impact at this small cell location would be negligible in terms of compliance with the FCC public limit.

3. Provide a narrative description of the proposed work for this project.

Verizon proposes to remove the existing utility pole, to install a new pole in the same location, and to install three antennas on the new pole. This is consistent with the scope of work described in the drawings for transmitting elements.

4. Provide an inventory of the make and model of antennas or transmitting equipment being installed or removed.

Verizon proposes to install three Ericsson Model 6701, 2-foot tall, directional panel antennas with integrated radios on a sidearm to be added to the new utility pole. The antennas would be mounted at an effective height of about 27½ feet above ground and would be oriented toward 0°T, 120°T, and 240°T, to provide service in all directions.

5. Describe the existing radio frequency energy environment at the nearest walking/working surface to the antennas and at ground level. This description may be based on field measurements or calculations.

Because there are no antennas at the site presently, nor any direct access to the antenna location, existing RF levels for a person at the site are presumed to be well below the applicable public exposure limit.

6. Provide the maximum effective radiated power per sector for the proposed installation. The power should be reported in watts and reported both as a total and broken down by frequency band.

The maximum effective radiated power proposed in any direction is 193 watts in the 28 GHz band.

7. Describe the maximum cumulative predicted radio frequency energy level for any nearby publicly accessible building or area.

The maximum calculated level at any nearby building is 2.1% of the public exposure limit; this occurs at the three-story residential building at 175 Somerset Street, about 50 feet away.



**Verizon Wireless • Proposed Small Cell (No. 454198 “Excelsior 025”)
500 Felton Street • San Francisco, California**

8. Report the estimated cumulative radio frequency fields for the proposed site at ground level.

For a person anywhere at ground, the maximum RF exposure level due to the proposed operation is calculated to be 0.0090 mW/cm², which is 0.90% of the applicable public exposure limit. Cumulative RF levels at ground level near the site are therefore estimated to be well below the applicable public limit.

9. Provide the maximum distance (in feet) the three dimensional perimeter of the radio frequency energy level equal to the public and occupational exposure limit is calculated to extend from the face of the antennas.

The three-dimensional perimeters of RF levels equal to the public and occupational exposure limits are calculated to extend up to 8 and 2 feet out from the antennas, respectively, and to much lesser distances above, below, and to the sides; these do not reach any publicly accessible areas.

10. Provide a description of whether or not the public has access to the antennas. Describe any existing or proposed warning signs, barricades, barriers, rooftop striping or other safety precautions for people nearing the equipment as may be required by any applicable FCC-adopted standards.

Due to their mounting locations and height, the antennas would not be accessible to unauthorized persons, and so no measures are necessary to comply with the FCC public exposure guidelines. To prevent occupational exposures in excess of the FCC guidelines, it is recommended that appropriate RF safety training be provided to all workers who have access within 8 feet outward from the antennas. No access within 2 feet directly in front of the antennas should be allowed while the antennas are in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. It is recommended that explanatory signs* be posted at the antennas and/or on the pole below the antennas, readily visible from any angle of approach.

11. Statement of authorship and qualification.

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration No. E-21306, which expires on September 30, 2021. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

* Signs should comply with OET-65 color, symbol, and content recommendations. Contact information should be provided (e.g., a telephone number) to arrange for access to restricted areas. The selection of language(s) is not an engineering matter; the San Francisco Department of Public Health recommends that all signs be written in English, Spanish, and Chinese. Signage may also need to comply with the requirements of California Public Utilities Commission General Order No. 95.



**Verizon Wireless • Proposed Small Cell (No. 454198 “Excelsior 025”)
500 Felton Street • San Francisco, California**

Conclusion

Based on the information and analysis above, it is the undersigned’s professional opinion that operation of the small cell proposed by Verizon Wireless near 500 Felton Street in San Francisco, California, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating small cells. Training authorized personnel and posting explanatory signs are recommended to establish compliance with FCC guidelines.



Neil J. Olij

Neil J. Olij, P.E.
707/996-5200

February 5, 2021

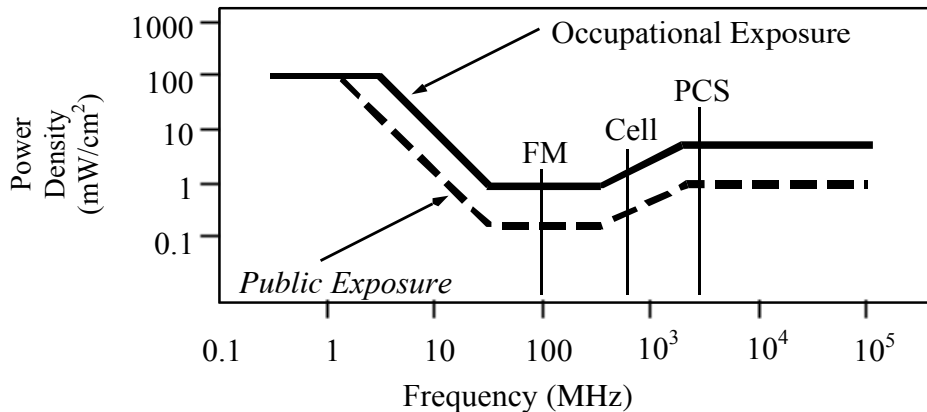


FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

Frequency Applicable Range (MHz)	Electromagnetic Fields (f is frequency of emission in MHz)					
	Electric Field Strength (V/m)		Magnetic Field Strength (A/m)		Equivalent Far-Field Power Density (mW/cm ²)	
0.3 – 1.34	614	<i>614</i>	1.63	<i>1.63</i>	100	<i>100</i>
1.34 – 3.0	614	<i>823.8/f</i>	1.63	<i>2.19/f</i>	100	<i>180/f²</i>
3.0 – 30	1842/f	<i>823.8/f</i>	4.89/f	<i>2.19/f</i>	900/f ²	<i>180/f²</i>
30 – 300	61.4	<i>27.5</i>	0.163	<i>0.0729</i>	1.0	<i>0.2</i>
300 – 1,500	3.54√f	<i>1.59√f</i>	√f/106	<i>√f/238</i>	f/300	<i>f/1500</i>
1,500 – 100,000	137	<i>61.4</i>	0.364	<i>0.163</i>	5.0	<i>1.0</i>



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has incorporated those formulas in a computer program capable of calculating, at thousands of locations on an arbitrary grid, the total expected power density from any number of individual radio frequency sources. The program allows for the inclusion of uneven terrain in the vicinity, as well as any number of nearby buildings of varying heights, to obtain more accurate projections.

RFR.CALC™ Calculation Methodology

Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

Near Field.

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$, in mW/cm²,

and for an aperture antenna, maximum power density $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$, in mW/cm²,

where θ_{BW} = half-power beamwidth of antenna, in degrees,

P_{net} = net power input to antenna, in watts,

D = distance from antenna, in meters,

h = aperture height of antenna, in meters, and

η = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

Far Field.

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

power density $S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}$, in mW/cm²,

where ERP = total ERP (all polarizations), in kilowatts,

RFF = three-dimensional relative field factor toward point of calculation, and

D = distance from antenna effective height to point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula is used in a computer program capable of calculating, at thousands of locations on an arbitrary grid, the total expected power density from any number of individual radio frequency sources. The program also allows for the inclusion of uneven terrain in the vicinity, as well as any number of nearby buildings of varying heights, to obtain more accurate projections.



City and County of San Francisco
DEPARTMENT OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH SECTION

London N. Breed, Mayor
 Grant Colfax, MD, Director of Health
 Patrick Fosdahl, REHS, ME, Acting Director of EH

Exhibit D

May 24, 2021

TO: Leo Palacios, Dept. of Public Works, Bureau of Street Use and Mapping
FROM: Arthur Duque, Dept. Of Public Health, Environmental Health Branch *AD*
RE: Verizon Pole Mounted Antennas, (3) Ericsson 6701 antennas

<u>Location:</u>	<u>DPW Application:</u>	<u>Node#</u>
500 Felton St.	21WR-00002	454198 "Excelsior 025"

As requested, I have reviewed the documentation that you and Verizon have provided to me regarding the proposed installation of (3) Ericsson 6701 antennas, on a Verizon owned pole or similar structures located at the above listed location in the City and County of San Francisco.

This review includes February 5, 2021 radio frequency energy report prepared by Hammett and Edison Inc. for this site. The report states that (3) Ericsson 6701 antennas will be mounted on a Verizon owned pole near the location listed above. The Ericsson antennas will be 27½ feet above ground level and points in the north, southeast, and west directions along Somerset Street. Due to the mounting location, the antenna would not be accessible to the general public.

The maximum effective radiated power from this antenna is estimated to be 193 watts.

The maximum calculated exposure level at the ground level will not exceed 0.009 mW/cm², which is 0.9% of the FCC public exposure standard. The three-dimensional perimeter of the radio frequency (RF) levels equal to the public exposure limit is 8 feet from the Ericsson antennas, and does not reach any publicly accessible areas. The maximum calculated exposure level at the adjacent building is 2.1% of the FCC public limit, 50 feet away.

Based on the information provided in the Hammett and Edison report, I would agree that these Ericsson antennas, utility pole installation would be in compliance with the FCC standards and would not produce radio frequency energy exceeding the FCC public exposure limits.

In addition, a noise evaluation was done on the combination of equipment assumed to be installed at this location which was prepared by Hammett & Edison and was dated February 3, 2021. This evaluation found that the maximum noise level from three Ericsson Model 6701 units is 38.3 dBA at a reference distance of 5 feet meaning that the applicable noise limit would be met for the configuration described above when placed at least 5½ feet away from any building façade. As such, the installation of the equipment would be in compliance with the noise standards as outlined in the DPW Code, Article 25.

Approval Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce a noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.



Exhibit E

Date: May 7, 2021
DPW Permit No.: 21WR-00002
Planning Case No.: **2021-003820MIS**
Project Address: **500 Felton St - Wireless Verizon PROW WTS Facility Installation**
Wood Pole owned by PG&E
Project Sponsor: GTE Mobilnet of California, Limited Partnership (Verizon Wireless)
Agent – Modus LLC
240 Stockton St, 3rd Fl
San Francisco, CA - 94108
Staff Contact: Kalyani Agnihotri – 628-652-7454
Kalyani.Agnihotri@sfgov.org
Determination: Approved

Department of Public Works Code Article 25 and Order No. 183,440 require review by the Planning Department to determine that the Application for a Tier A or Tier B Personal Wireless Service Facility Site Permit satisfies the applicable Tier A or Tier B Compatibility Standard. An Application for a Tier B Personal Wireless Service Facility Site Permit shall satisfy the Tier B Compatibility Standard for a Zoning and/or a Planning Protected Location, and shall not obstruct the view from or the light into any adjacent residential window. A proposed Personal Wireless Service Facility shall be consistent with the public health, safety, convenience and general welfare and will not unreasonably affect, intrude upon or diminish any identified City resource.

Determination

The Planning Department determines that the proposed Personal Wireless Service Facility **WOULD NOT** significantly detract from the character of the adjacent residential/commercial/mixed-use Districts, Scenic Vistas; or potential and or known historic Buildings; Districts. The Planning Department recommends **APPROVAL WITH CONDITIONS** in conformance with architectural plans dated December 30, 2020 and photo simulations dated January 25, 2021, and associated with DPW Wireless Application No. 21WR-00002.

Findings

The proposed Tier B Personal Wireless Service Facility is to be located in the public right-of-way in a Planning Protected Location, adjacent to 500 Felton Street, and on a street with **Average Street Views**.

The proposed Personal Wireless Service Facility is, on balance, consistent with Article 25 of the Public Works Code and the Objectives and Policies of the General Plan, as follows:

Article 25 Compliance:

- I. The proposed Personal Wireless Service Facility would not significantly degrade the aesthetic attributes that were the basis for the special designation of the building. This site is located adjacent to a Category A – Historic Resource.

The proposed Verizon Wireless personal wireless service facility would be situated within the P (Public Use) district. Public Use District herein referred to as a "P District," is applied to land that is owned by a governmental agency and in some form of public use, including open space.

Planning has determined that the proposed Verizon Wireless personal wireless service facility is designed in a streamlined manner, as proposed it will be located on a replacement pole in the exact location of an existing light pole which would not significantly detract from any of the defining characteristics of the historic resource, average street view P (Public Use) district.

General Plan Compliance:**I. URBAN DESIGN ELEMENT**

The Urban Design Element concerns the physical character and order of the city, and the relationship between people and their environment. The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.1

Recognize and protect major views in the city, with particular attention to those of open space and water.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.9

Review proposals for the giving up of street areas in terms of all the public values that streets afford.

OBJECTIVE 4

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.14

Remove and obscure distracting and cluttering elements.

The project has been designed to reduce, to the best extent possible, the blocking or other impairment of pleasing street views, and preserves an important characteristic of the unique setting and quality of the city.

The project has been designed to maintain, to the best extent possible, views from streets which can provide a means for orientation, and preserves the ability for an observer to perceive the City and its districts clearly.

II. TRANSPORTATION ELEMENT

The Transportation Element concerns pedestrian movement in the city as to ensure the city is safe, convenient, and pleasant as pedestrian travel is an important component of the transportation system. The close-knit fabric of San Francisco, in junction with the dramatic hills and sweeping vistas, makes walking an ideal mode for exploring and moving about the city. The sidewalk is a shared space and provides a strong sense of the overall image of the city.

OBJECTIVE 23

IMPROVE THE CITY'S PEDESTRIAN CIRCULATION SYSTEM TO PROVIDE FOR EFFICIENT, PLEASANT, AND SAFE MOVEMENT.

Policy 23.5

Establish and enforce a set of sidewalk zones that provides guidance for the location of all pedestrian and streetscape elements, maintains sufficient unobstructed width for passage of people, strollers and wheelchairs, consolidates raised elements in distinct areas to activate the pedestrian environment, and allows sufficient access to buildings, vehicles, and streetscape amenities.

The project has been designed to maintain at least four (4) feet unobstructed width for pedestrian passage as outlined in the Pedestrian Network Streets and Design Guidelines of the Transportation Element.

OBJECTIVE 24

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

Policy 24.4

Preserve pedestrian-oriented building frontages.

The project has been designed as a minimally-visible facility to be attached to an existing light/utility pole extant in the public sidewalk. The facility components are designed as an extension to the pole and equipment boxes, with requirements to be painted or shrouded to match the pole further reducing their visibility and any conflicts with the building frontages within the Public Use district.

Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.
3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay

units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.

4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Sincerely,

Kalyani Agnihotri
Kalyani Agnihotri
Kalyani Agnihotri
Planner I



SAN FRANCISCO PLANNING DEPARTMENT

Exhibit F

Certificate of Determination EXEMPTION FROM ENVIRONMENTAL REVIEW

Case No.: 2010.0828E
 Project Title: Palega Recreation Center, 500 Felton Street
 Zoning: P (Public),
 OS (Open Space) Height and Bulk District
 Block/Lot: 5929/001 & 001A; 5930/001 & 001A
 Lot Size: 216,000 square feet
 Project Sponsor: Marvin Yee, San Francisco Recreation and Parks Department
 (415) 581-2541
 Planning Dept. Reviewer: Richard Sucre
 (415) 575-9108 | richard.sucre@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

The subject property is located on a rectangular shaped lot bordered by Silliman, Hamilton, Felton and Somerset Streets in the Portola neighborhood of the Excelsior District. The proposed project includes alterations to the existing two-story 17,161 square foot recreation center (referred to as the Palega Recreation Center) and construction of a 3000 sq. ft. horizontal addition on the west facade. The alterations would include interior renovations to the gymnasium and offices, as well as removal of the existing staircase on the south façade, infill of the south façade’s entrance arcade with glazing, and removal of the existing stair and doors on the west and east façades. The new addition would feature steel-frame construction, floor to ceiling glazing, and a projecting canopy to delineate the new entrance on the west façade. The proposed project also includes replacement of the existing play area, basketball court relocation, tennis court renovation, renovation of the baseball fields, new irrigation and landscaping. The alterations are planned as part of the 2008 “Clean and Safe” Park Bond, which requires an update to systems, seismic reinforcement to existing buildings, and ADA (Americans with Disabilities Act) compliance.

EXEMPT STATUS:

Categorical Exemption, Class 1 [State CEQA Guidelines Section 15301(e)(1)]

REMARKS:

See reverse side.

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and Local requirements.


BILL WYCKO

Environmental Review Officer


Date

REMARKS:

In evaluating whether the proposed project would be exempt from environmental review under the California Environmental Quality Act (CEQA), the Planning Department determined that the building located on the project site is a historical resource, because it appears individually eligible for listing in the California Register of Historical Resource. The existing building on the project site was constructed in 1930, which makes it a "Category B" (Properties Requiring Further Consultation and Review) property pursuant to the Planning Department's CEQA Review Procedures for Historic Resources. Category B properties are over 50 years of age and require review in order to determine whether they are historic resources. As described in the Historic Resource Evaluation Response (HRER) Memorandum¹ (attached), the Palega Recreation Center appears individually eligible for listing in the California Register under Criterion 1 (Events) and Criterion 3 (Architecture), as an early recreational facility in San Francisco representative of the early San Francisco Playground Commission (now San Francisco Recreation and Parks Department) and as a work of master architect Gardiner Dailey.

Constructed in 1930, the Palega Recreation Center (formerly known as the Portola Playground Field House) is a two-story over basement steel-frame building designed in the Spanish Eclectic style by architect Gardiner Dailey. The subject building is located on a large rectangular parcel containing an extensive playground, baseball diamonds, tennis courts, and a large open field. The building has a generally rectangular basilica plan, is clad in stucco and rests on a concrete foundation. The central "nave" portion is capped by a gable-roof, while a hip roof covers the lower "side aisle" portions that run along the sides and rear of the building. The building has had some alterations over its lifetime, including replacement of some wood-sash windows (1958), partitioning of interior auxiliary spaces (1958), and replacement of the tile roof with asphalt shingles (1958 and 1984).²

The exterior character-defining features of the Palega Recreation Center include: basilica-style floor plan; central double-height clerestory section surrounded by one-story "side-aisle" bays; gable and hip roofs; plaster/stucco exterior cladding; quoins; buttresses and corner pilasters; decorative chimney at southeast corner; arched loggia on south façade; porthole windows/vents on south façade; arched windows, columns, and molded panels at clerestory level on south façade; large arched window at clerestory level of north façade; central window on first floor of north façade with molded surround, triangular pediment, and "Portola Playground" lettering; wood-sash casement windows; steel-sash clerestory windows with wire glass; and wood-eave brackets.³

The interior character-defining features of the Palega Recreation Center include: steel truss structural system in gymnasium; large open gymnasium space; raised stage with arched molded wood surround; wood bleachers in "side aisles" flanking gymnasium; fireplace with wood mantel in Club Room; and built-in wood cabinetry and closets in the Club Room.⁴

¹ Richard Sucre, Historic Preservation Technical Specialist, San Francisco Planning Department, *Historic Resource Evaluation Response: Palega Recreation Center* (February 9, 2011).

² Page & Turnbull, *Historic Resource Evaluation: Portola Playground Field House* (August 9, 2010) Pg. 1.

³ Page & Turnbull, 31.

⁴ Page & Turnbull, 31.

The proposed project includes the construction of a new addition on the west façade of the existing building, as well as exterior alterations, including removal of the existing staircase on the south façade, removal of the existing staircase and doors on the west façade, and new glazing in the arcade on south façade. In addition, the proposed project would seismically reinforce the existing building by constructing a new shear wall within the interior, which would necessitate the removal of the stage area and the south wall of the gymnasium.

Since the building was determined to be a historic resource, the Planning Department assessed whether the proposed project would be consistent with the *Secretary of the Interior's Standards for Rehabilitation of Historic Properties* (Secretary's Standards). It was determined that the proposed project would be consistent with the Secretary's Standards for the following reasons:

- The subject building was originally constructed as a public recreational facility. As proposed, the subject building would remain a public recreational facility.
- The proposed project would retain the historic character of the property, as well as its eligibility for listing in the California Register of Historical Resources. The exterior character-defining features of the historic recreational center would be retained and preserved, including the stucco cladding, quoins, wood-sash windows, and Spanish Eclectic detailing. Furthermore, significant interior features, including the gymnasium and wood bleachers, would be retained and preserved as part of the project.
- No conjectural features would be added as part of the proposed project.
- New construction is compatible with the existing historic building, and is clearly differentiated from the existing building. The new addition on the west façade is subordinate to the historic building, and does not interfere with the visibility of the historic building.
- Distinctive features, finishes, and construction techniques would not be significantly impacted by the proposed project.
- New construction would not affect the overall historic integrity of the property, and may be removed in the future.

The proposed project would involve the addition of approximately 3,000 square feet to the existing 17,161 square foot building. With the addition, the building would be approximately 20,161 square feet in size. CEQA State Guidelines Section 15301(e)(1), or Class 1, provides an exemption from environmental review for additions to existing structures. As proposed, the approximately 3,000 square foot addition is not located in an environmentally sensitive area. Public services and facilities are available to allow for maximum development permissible in the General Plan. Therefore, the proposed addition would be exempt under Class 1 [State CEQA Guidelines Section 15301(e)(1)].

CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity would have a significant effect on the environment due to unusual circumstances. Section 15300.2(f) specifically states that a categorical exemption shall not be used for a project that may cause a substantial adverse change in the significance of an historical resource. As described above, the proposed project has been found to meet the Secretary of the Interior's Standards for Rehabilitation, and thus would not cause a substantial adverse change to an

historical resource under Section 15300.2(f). Given this fact and the nature of the proposed project, the exemption provided for in CEQA State Guidelines Section 15301(e), or Class 1, may be used. There are no other unusual circumstances surrounding the proposed project that would suggest a reasonable possibility of a significant environmental effect. The proposed project would be exempt under the above-cited classification.

For all of the above reasons, the proposed project is appropriately exempt from environmental review.



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Historic Resource Evaluation Response

MEA Planner: Brett Bollinger
Project Address: **Palega Recreation Center, 500 Felton St**
Block/Lot: 5929/001 & 001A; 5930/001 & 001A
Case No.: **2010.0828E**
Date of Review: February 25, 2011
Planning Dept. Reviewer: Richard Sucre
 (415) 575-9108 | richard.sucre@sfgov.org

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PROPOSED PROJECT Demolition Alteration New Construction

PROJECT DESCRIPTION

The proposed project includes alterations to the existing two-story 17,161 sq. ft. recreation center (referred to as the Palega Recreation Center) and construction of a 3,000 sq. ft. horizontal addition on the west facade. The alterations would include interior renovations to the gymnasium and offices, as well as removal of the existing staircase on the south façade, infill of the south façade’s entrance arcade with glazing, and removal of the existing stair and doors on the west and east façades. The new addition would feature steel-frame construction, floor-to-ceiling glazing, and a projecting canopy to delineate the new entrance on the west façade. The proposed project also includes replacement of the existing play area, basketball court relocation, tennis court renovation, renovation of the baseball fields, new irrigation and landscaping. The alterations are planned as part of the 2008 “Clean and Safe” Park Bond, which requires an update to systems, seismic reinforcement to existing buildings, and ADA (Americans with Disabilities Act) compliance.

PRE-EXISTING HISTORIC RATING / SURVEY

The subject property is not currently listed in any local, state or national historical register. It was surveyed as part of the 1976 Department of City Planning (DCP) Architectural Survey, which is a qualified historic resource survey adopted by the City of San Francisco. Therefore, the subject property is considered a “Category B” (Properties Requiring Further Consultation and Review) property for the purposes of the Planning Department’s California Environmental Quality Act (CEQA) review procedures due to its age (constructed in 1930) and inclusion in a qualified historic resource survey.

HISTORIC DISTRICT / NEIGHBORHOOD CONTEXT

The subject property is located on a rectangular shaped lot bordered by Silliman, Hamilton, Felton and Somerset Streets in the Portola neighborhood. The property is located within a P (Public) Zoning District and an OS (Open Space) Height and Bulk District. The immediate area surrounding the Palega Recreation Center consists of large open recreational fields and park amenities. The adjacent neighborhood consists largely of low density residential buildings constructed primarily in the 1930s and 1940s. The predominant architectural styles in the area are Minimal Traditional and Contractor Modern.

1. **California Register Criteria of Significance:** Note, a building may be an historical resource if it meets any of the California Register criteria listed below. If more information is needed to make such a determination please specify what information is needed. (*This determination for California Register Eligibility is made based on existing data and research provided to the Planning Department by the above named preparer / consultant and other parties. Key pages of report and a photograph of the subject building are attached.*)

Event: or Yes No Unable to determine
Persons: or Yes No Unable to determine
Architecture: or Yes No Unable to determine
Information Potential: Further investigation recommended.
District or Context: Yes, may contribute to a potential district or significant context
If Yes; Period of Significance: 1930

The Palega Recreation Center is individually-eligible for listing in the California Register of Historical Resources under Criterion 1 (Events) and Criterion 3 (Architecture) as an early recreational facility in San Francisco that is representative of the early San Francisco Playground Commission and as a work of master architect Gardiner Dailey. The subsequent summary is based upon the Historic Resource Evaluation (HRE), dated August 9, 2010, provided by Page & Turnbull (attached). Staff concurs largely with the findings of the Page & Turnbull report and refers the reader to this report for a more thorough evaluation of the property's significance.

Criterion 1: *It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;*

The Palega Recreation Center is significant under California Register Criterion 1 (Events) as an early surviving recreational facility in San Francisco. Originally designed and built in 1930, the Palega Recreation Center (formerly the Portola Playground Field House) was constructed as a "Class A" facility, defined by the San Francisco Playground Commission (now San Francisco Recreation and Parks) as "containing a basketball court and auditorium, with stage and dressing rooms, club-rooms, kitchen, director's offices, showers, lavatories, and caretaker's tool-room."¹ This field house was part of a large building campaign undertaken by the San Francisco Playground Commission in the late 1920s and early 1930s to improve playground facilities in the City. Today, this field house is one of the few extant large-scale field houses across the City, and represents a local icon in the Portola neighborhood. The Palega Recreation Center is locally significant as an early representation of the City's interest in recreational infrastructure.

Criterion 2: *It is associated with the lives of persons important in our local, regional or national past;*

¹ "Construction and Maintenance Department," *San Francisco Playground Commission Annual Report, 1928-1929, and Review of Activities (1928-1929)* 21; Page & Turnbull, *Historic Resource Evaluation: Portola Playground Field House* (August 9, 2010) 29.

The Palega Recreation Center does not appear to be associated with the lives of important persons in our past.

Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;

The Palega Recreation Center is significant under California Register Criterion 3 (Architecture) as a resource that embodies the distinctive characteristics of a type and period, and as a work of a master, Gardner Dailey.

The Palega Recreation Center (formerly known as the Portola Playground Field House) is an example of a "Type A" recreation facility, as defined by the San Francisco Playground Commission (now San Francisco Recreation and Parks). This building included a large, open gymnasium space, club rooms, and a stage area, which were common programmatic features among this building type in the 1930s. The building was designed to facilitate community gatherings and to encourage recreational uses of the playground.

As a work of master architect Gardiner Dailey, the Palega Recreation Center is a rare example of his work from the 1930s. Dailey is best known for his role in introducing modernism to Northern California through the development of the Second Bay Region Tradition, which blended the International style with local vernacular influences. Before exploring the Second Bay Region Tradition, Dailey used a more traditional architectural vocabulary articulated through revival styles, as popularized by noted architects Bernard Maybeck and Julia Morgan.² The Palega Recreation Center survives as an example of Dailey's work prior to his work in the Second Bay Region Tradition.

Criterion 4: It yields, or may be likely to yield, information important in prehistory or history;

The Palega Recreation Center is not likely to yield information important to a better understanding of prehistory or history.

-
2. **Integrity** is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity a property will always possess several, and usually most, of the aspects. The subject property has retained or lacks integrity from the period of significance noted above:

Location: Retains Lacks
Association: Retains Lacks
Design: Retains Lacks
Workmanship: Retains Lacks

Setting: Retains Lacks
Feeling: Retains Lacks
Materials: Retains Lacks

² Page & Turnbull, Page 29.

The subject property retains all aspects of integrity. Despite the apparent exterior alterations to the south facade, the Palega Recreation Center conveys its significance as an early Playground Commission recreational facility and as the work of master architect Gardiner Dailey.

3. Determination of whether the property is an "historical resource" for purposes of CEQA.

No Resource Present (*Go to 6 below.*)

Historical Resource Present (*Continue to 4.*)

4. If the property appears to be an historical resource, whether the proposed project would materially impair the resource (i.e. alter in an adverse manner those physical characteristics which justify the property's inclusion in any registry to which it belongs).

The project will not cause a substantial adverse change in the significance of the resource such that the significance of the resource would be materially impaired. (*Continue to 5 if the project is an alteration.*)

The project is a significant impact as proposed. (*Continue to 5 if the project is an alteration.*)

Staff has reviewed the project proposal and largely concurs with Page & Turnbull's Secretary of the Interior Standards for Rehabilitation (Standards) analysis (see HRE, pages 38-42). Based upon this analysis, staff finds that the project would not cause a substantial adverse change in the resource such that the significance of the building would be materially impaired. The Department finds that the project is consistent with all aspects of the *Secretary of the Interior Standards for Rehabilitation (Standards)*. The following is an analysis of the proposed project per the applicable Standards.

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project will retain the property's use as a public recreational facility.

Standard 2.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The proposed project will retain and preserve the historic character of the Palega Recreation Center, as defined by its character-defining features (see below for a full list of character-defining features). On the exterior, the Spanish Eclectic detailing of the historic recreation center will be preserved and rehabilitated, and a new addition will be constructed along the west façade. This addition is visually distinct and stylistically differentiated from the historic recreation center. Site elements, including the new entry canopy and staircase, are situated to be subordinate to the historic building. Therefore, the new construction does not detract from the building's overall historic character. Within the interior, the project will retain the salient historic features, including the gymnasium and bleachers. On the

south wall of the gymnasium, the project will memorialize the former stage area, which will be removed as part of the project, by creating an inset reveal in the shape of the proscenium of the former stage. Other than the stage, the project maintains and preserves the property's other interior character-defining, including the club room fireplace, club room cabinetry, and steel truss structural system.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes a new addition on the west façade and exterior alterations, including removal of the existing staircase on the south façade, removal of the existing staircase and doors on the west façade, and new glazing in the arcade on south façade. The construction of the new addition necessitates the removal of the site elements on the west façade. Example of identical historic doors and staircases would remain on the east façade. The new addition is designed to be one-story in height, of glass and steel construction, and is clearly differentiated from the historic building. The new addition will not be structurally tied to the existing building, nor will it affect the Spanish Eclectic detailing of the historic building, including the quoins, concrete surrounds and roofline. In general, the materials, features, size, scale, proportion, and low scale massing of the new addition will protect the integrity of the historic recreation center, and allow for a clear reading of the building's historic fabric. Other alterations, including the infill of the arcade with glazing, still retain the building's historic character and allow for the building's historic features to be visible. Overall, the project maintains the integrity of the Palega Recreation Center.

Standard 10.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project includes an addition to the west façade, and related alterations to the existing building to accommodate this addition. If this addition were to be removed in the future, the essential form and integrity of the subject property would remain unimpaired, and the property as a whole would retain its historic integrity.

-
5. Character-defining features of the building to be retained or respected in order to avoid a significant adverse effect by the project, presently or cumulatively, as modifications to the project to reduce or avoid impacts. Please recommend conditions of approval that may be desirable to mitigate the project's adverse effects.

The exterior character-defining features of the Palega Recreation Center include:³

³ Page & Turnbull, Pg. 31.

- Basilica-style floor plan
- Massing: Central double-height clerestory section surrounded by one-story "side-aisle" bays
- Gable and hip roofs
- Plaster/stucco exterior cladding
- Quoins
- Buttresses and corner pilasters
- Decorative chimney at southeast corner
- Arched loggia on south façade
- Porthole windows/vents on south façade
- Arched windows, columns, and molded panels at clerestory level on south façade
- Large arched window at clerestory level of north façade
- Central window on first floor of north façade with molded surround, triangular pediment, and "Portola Playground" lettering
- Wood-sash casement windows
- Steel-sash clerestory windows with wire glass
- Wood-eave brackets

The interior character-defining features include:⁴

- Steel truss structural system in gymnasium
- Large open gymnasium space
- Raised stage with arched molded wood surround
- Wood bleachers in "side aisles" flanking gymnasium
- Fireplace with wood mantel in Club Room
- Built-in wood cabinetry and closets in Club Rooms

The proposed project will retain the majority of the character-defining features of the Palega Recreation Center.

Based upon consultation with Planning Department staff, the Project Sponsor has agreed to refinements in the submitted proposed project, including an arched reveal in the new south elevation of the gymnasium to reference the proscenium/stage archway and a reduction in the entry canopy to reduce the visual competition between new construction and the historic building. These alterations will be incorporated into the revised architectural drawings.

6. Whether the proposed project may have an adverse effect on off-site historical resources, such as adjacent historic properties.


Yes No Unable to determine

Notes: The immediate context largely consists of single- and multi-family residential properties likely constructed from the 1940s and 1960s. The majority of buildings adjacent to the park are fairly uniform in character with properties featuring a medium to low level of integrity. It does not appear that this block of Felton Street is eligible for listing or contributes to a potential historic district. No

⁴ Page & Turnbull, Pg. 31.

other potential historic districts have been identified in the vicinity of the project site. It does not appear that the proposal will have a significant adverse impact on any eligible off-site historic resources.

SENIOR PRESERVATION PLANNER REVIEW

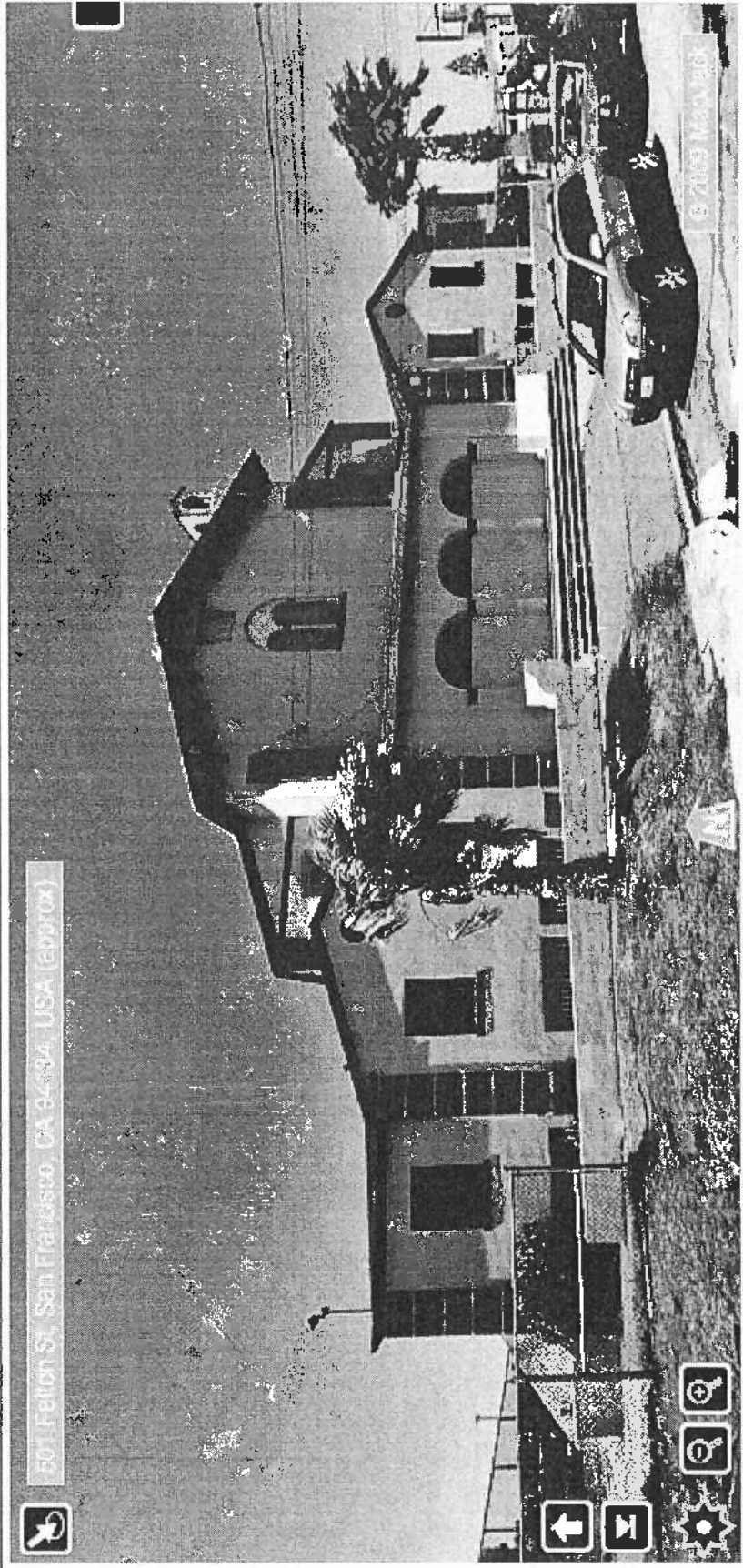
Signature: 
Tina Tam, Senior Preservation Planner

Date: 2/25/2011

cc: Linda Avery, Recording Secretary, Historic Preservation Commission
Virnaliza Byrd / Historic Resource Impact Review File

Attachments: Page & Turnbull, *Historic Resource Evaluation: Portola Playground Field House* (August 9, 2010).
Mark Cavagnero Associates, *Memorandum: Palega Playground Renovation- Responses to EE Comments* (January 3, 2011)
Mark Cavagnero Associates, *Memorandum: Palega Playground Renovation – Responses to EE Comments* (February 3, 2011)

SC: G:\Documents\2010.0828E Palega Recreation Center\HRER_Palega Rec Ctr_2011-02-25.doc



501 Felton St, San Francisco, CA 94104, USA (approx)



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Exhibit G

London N. Breed, Mayor
Philip A. Ginsburg, General Manager

July 2, 2021

Attn: Leo Palacios, Personal Wireless Service & Surface-Mounted Facility Program Coordinator
Department of Public Works
Bureau of Street Use and Mapping
1155 Market Street
San Francisco, CA 94103

Re: Application For Personal Wireless Facilities Permit (Verizon Wireless, Site ID: Excelsior 025)
Site Location: Public Right-Of-Way Adjacent to 500 Felton St (Felton St/Somerset St)

Dear Mr. Palacios:

We reviewed the proposed application for an Verizon Wireless Personal Wireless Facilities Site Permit located in the public right-of-way adjacent to Palega Recreation Center at 500 Felton St (Felton St/Somerset St), San Francisco, CA 94134. The project was submitted by Modus LLC. (Carrier: Verizon Wireless). Specifically, the project proposes to install a new personal wireless service facility involving PG&E wood utility pole replacement, installation of (3) new side-mounted antennas, new side-mounted bracket and new side-mounted PG&E smart meter/disconnect with fiber box, per plans.

Pursuant to Article 25 of the Public Works Code Section 1502, the project is located in a park protected location since it is located on an existing utility pole in a public right-of-way that is adjacent to a City park or open space (Palega Recreation Center/Community Garden). Pursuant to Public Works Code Section 1510(b), the Recreation and Park Department must determine whether the application satisfies the Tier C compatibility standard.

Upon review, we have determined that the proposed Personal Wireless Service Facility Site Permit satisfies the Tier C compatibility standard since it satisfies the park protected location compatibility standard as defined in Public Works Code Section 1502 in that it would not "significantly impair the views of a City park or open space or significantly degrade or detract from the aesthetic or natural attributes that define the City park or open space."

This determination was based on the following:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.



- 3) The visual impact of the project will be minimized in that all antennas and associated ancillary equipment will be encased within rectangular enclosures.
- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

Lastly, although the objective standards which will establish dimensional standards to determine whether a Personal Wireless Service Facility satisfies the applicable Tier A, B, or C compatibility standard based on factors that are quantifiable, measurable, and verifiable, have not yet been adopted, the project adheres to the 4G maximum antenna size standards currently seeking approval via the Public Works legislative process. Therefore, we recommend that the site permit be approved, contingent on the review and approval of the Department of Public Works and other applicable agencies. Please contact Chris Townes at chris.townes@sfgov.org for any questions or concerns.

Sincerely,

**Stacy Radine
Bradley**

Stacy Radine Bradley

Deputy Director of Planning, Capital and Planning Division

San Francisco Recreation and Park Department, City & County of San Francisco

Digitally signed by Stacy Radine Bradley
DN: cn=Stacy Radine Bradley, o=San Francisco
Recreation and Park Department, ou=Capital and
Planning, email=stacy.bradley@sfgov.org, c=US
Date: 2021.07.09 16:11:08 -0700

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

Exhibit H



Date:

Application No.: 21WR-00002

Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

The antenna and other equipments to be installed at this location include Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-652-1150 or boardofappeals@sfgov.org. **You may also visit sfgov.org/bdappeal for instructions concerning filing an appeal and for general information concerning the appeals process.**

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 1507(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reason(s):
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Attachment 1

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud

bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.

3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated

ancillary equipment will be encased within rectangular enclosures.

- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

Exhibit I

Alt 1 PG&E Pole - Location of existing street light attachment would require 15' taller replacement pole to allow proper GO95 clearance space. Would not meet height restrictions; proximity to ADA ramp

Alt 2 PG&E Pole - Location of existing guy wire attachments would require 15' taller replacement pole to allow proper GO95 clearance space. Would not meet height restrictions

Alt 3 PG&E Pole - Location of existing street light attachment would require 15' taller replacement pole to allow proper GO95 clearance space. Would not meet height restrictions

Alt 4 PG&E Pole - Greater visual impacts due to location across from residential windows

Alt 7 PG&E Pole - Proximity to existing driveways does not meet 4' curb clearances per PG&E Standard 027911

Alt 5 PG&E Pole - Make ready work would require 15' taller replacement pole to allow proper GO95 clearance space. Would not meet height restrictions

Alt 6 PG&E Pole - Prohibited by PG&E Standard 027911 due to transformer

Palega Recreation Center

Excelsior-025

Felton St

Felton St

Somerset St

Goellinger St



STATE OF CALIFORNIA)
)
COUNTY OF ORANGE)

DECLARATION OF MAILING
RE:
NOTICE OF FINAL DETERMINATION TO APPROVE A
PERSONAL WIRELESS SERVICE FACILITY SITE
PERMIT

I, Celeste Marshall, do hereby declare as follows:

1. I am a Project Manager of Express Notice and Mail LLC. I am over 18 years of age and I am a resident of the County of Orange, State of California.

2. On July 14, 2021 I caused to be mailed and/or distributed a copy of “ Notice of Final Determination to Approve a Personal Wireless Service Facility Site Permit ” to the following location(s) within the 300 foot boundaries of the proposed site and also including neighborhood association within 600 foot boundaries of site and the list is compliant with Public Works Code 1512 (b)(1):

- | | |
|--|----------------------------|
| a. <u>See Attached Map</u>
<u>See Attached Mailing List</u>
<u>See Attached Notice</u> | b. <u>EXCELSIOR_025</u> |
| c. <u>See Attached Envelope</u> | d. _____

_____ |

3. The attached list was prepared using the latest available data per the County Assesor’s Office.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Executed July 14, 2021 at County of Orange, California.

By:

Celeste Marshall

Celeste Marshall
[Please Print Name]

APN	NAME	ADDRESS	CITY	STATE	ZIP
5928 -024	RESIDENT	103 SOMERSET ST	SAN FRANCISCO	CA	94134
5977 -001A	CATELLI RICHARD R	106 PROSPECT DR	SAN RAFAEL	CA	94901-1935
5928 -001A	SCERRI FILOMENA	110 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5978 -033	TOY KAREN H	1150 RIDGEWOOD DR	MILLBRAE	CA	94030-1027
5928 -002	RESIDENT	124 GOETTINGEN ST	SAN FRANCISCO	CA	94134
5928 -002B	TRAN MARCUS	125 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -002C	GEE KWING HUNG	130 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -002A	SUN YOU SHENG	131 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -023	BRYANT MARY A	137 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -003	RESIDENT	138 GOETTINGEN ST	SAN FRANCISCO	CA	94134
5978 -032	221 SOMERSET ENTERPRISES LLC	139 ARDMORE WAY	BENICIA	CA	94510-2001
5928 -004	YEE BRANDON	140 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -021	NORED MARJORIE CRUZ	149 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -005	RAMOS SAMUEL B	150 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -015	GABLE DIANE A	152 FELTON ST	SAN FRANCISCO	CA	94134-1410
5928 -006	HUANG HANS WEI XIONG	154 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -020	RESIDENT	155 SOMERSET ST	SAN FRANCISCO	CA	94134
5928 -007	LI XIAO JUAN	160 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -019	GONZALEZ MIGUEL	161 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -008	CHEN QI ZHAO	166 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -018	CHEVALIER GEORGE	167 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -031	RESIDENT	171 SOMERSET ST	SAN FRANCISCO	CA	94134
5928 -009	HO THOMAS	172 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -032	YU LAI GIN	175 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -031	TSE PAK YAT	1835 LONDON AVE	SAN LEANDRO	CA	94579-2231
5977 -035	MACCHELLO JEANNE T	206 SOMERSET ST	SAN FRANCISCO	CA	94134-1445
5978 -002	VOGEL LINDA CAROL	208 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1434
5978 -034	XIE ETAHN Z	209 SOMERSET ST	SAN FRANCISCO	CA	94134-1444
5977 -001B	LI KWOK SHEK	210 SOMERSET ST	SAN FRANCISCO	CA	94134-1445
5928 -002	JIMENEZ IGNACIO	2109 SHEA DR	PINOLE	CA	94564-1860
5978 -003	RESIDENT	214 GOETTINGEN ST	SAN FRANCISCO	CA	94134
5978 -033	RESIDENT	215 SOMERSET ST	SAN FRANCISCO	CA	94134
5978 -004	TAN MEI JIAN	220 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1434
5977 -001A	RESIDENT	220 SOMERSET ST	SAN FRANCISCO	CA	94134
5978 -032	RESIDENT	221 SOMERSET ST	SAN FRANCISCO	CA	94134
5977 -025	DORSEY L FRANK	225 HOLYOKE ST	SAN FRANCISCO	CA	94134-1439
5978 -005	STAMATOPOULOS MICHAEL	226 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1434
5978 -031	FALZON JOHN ANTHONY	227 SOMERSET ST	SAN FRANCISCO	CA	94134-1444
5978 -030	YU TRACY EN	233 SOMERSET ST	SAN FRANCISCO	CA	94134-1444
5977 -002	RESIDENT	234 SOMERSET ST	SAN FRANCISCO	CA	94134
5977 -033	YEUNG CHRISTINE	235 HOLYOKE ST	SAN FRANCISCO	CA	94134-1439
5977 -002, 5977 -003	ROJA ANTONY J	236 SOMERSET ST	SAN FRANCISCO	CA	94134-1445
5977 -004	LUO GOU ZI	238 SOMERSET ST	SAN FRANCISCO	CA	94134-1445
5978 -029	FERLIZZA MARY M	239 SOMERSET ST	SAN FRANCISCO	CA	94134-1444
5977 -005	STIMMEL GAIL	244 SOMERSET ST	SAN FRANCISCO	CA	94134-1445

5978 -028	RESIDENT	245 SOMERSET ST	SAN FRANCISCO CA	94134
5978 -003	WONG JASON	297 HALE ST	SAN FRANCISCO CA	94134-1215
5928 -010	LEW JUNE	300 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -001	LIU WEIQIANG	301 FELTON ST	SAN FRANCISCO CA	94134-1453
5928 -010A	GILLESPIE SYLVIA	302 FELTON ST	SAN FRANCISCO CA	94134-1454
5928 -011	MA MAGNUS H	314 FELTON ST	SAN FRANCISCO CA	94134-1454
5928 -012	SONG YING HUI	320 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -038	OCHOA FLORENTINO R	321 FELTON ST	SAN FRANCISCO CA	94134-1453
5928 -033		326 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -037	RESIDENT	327 FELTON ST	SAN FRANCISCO CA	94134
5928 -034	VALDEZ CATHERINE L	328 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -028	DUDUM OMAR	332 GLENWOOD AVE	DALY CITY CA	94015-3052
5978 -036	SITU RUOYU	333 FELTON ST	SAN FRANCISCO CA	94134-1453
5928 -027	KUANG KENT	333 SILLIMAN ST	SAN FRANCISCO CA	94134-1256
5928 -026	LOZA AGUSTIN	335 SILLIMAN ST	SAN FRANCISCO CA	94134-1256
5928 -025	SERRANO ROMEO P	337 SILLIMAN ST	SAN FRANCISCO CA	94134-1256
5928 -015	RESIDENT	338 FELTON ST	SAN FRANCISCO CA	94134
5928 -024A	BARRERA RAUL	341 SILLIMAN ST	SAN FRANCISCO CA	94134-1256
5928 -016	ENG KIU SEUNG	344 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -035	CARAFFI MARIA PIA	345 FELTON ST	SAN FRANCISCO CA	94134-1453
5928 -024	RESIDENT	355 SILLIMAN ST	SAN FRANCISCO CA	94134
5928 -020	RAY LEON	364 BANKS ST	SAN FRANCISCO CA	94110-6132
5977 -034	HAN ZHI QIANG	401 FELTON ST	SAN FRANCISCO CA	94134-1455
5977 -030	ARREOLA ATANACIA RAMOS	409 FELTON ST	SAN FRANCISCO CA	94134-1455
5977 -029	RESIDENT	411 FELTON ST	SAN FRANCISCO CA	94134
5977 -028	CASTILLON ALFREDO S	415 FELTON ST	SAN FRANCISCO CA	94134-1455
5977 -026, 5977 -027	GRELLI ELZO	419 FELTON ST	SAN FRANCISCO CA	94134-1455
5977 -029	NGAI JAMES HO SING	448 GOETTINGEN ST	SAN FRANCISCO CA	94134-1720
5977 -026	RESIDENT	449 FELTON ST	SAN FRANCISCO CA	94134
5930 -001A	BUSINESS OWNER	500 FELTON ST	SAN FRANCISCO CA	94134
5929 -001, 5929 -001A, 5930 -001A	CITY & COUNTY OF SAN FRANCISCO	501 STANYAN ST	SAN FRANCISCO CA	94117-1898
5928 -003	CHOW SHUI PING	639 UNIVERSITY ST	SAN FRANCISCO CA	94134-1814
5978 -037	LEUNG SIN MEI	727 STEWART AVE	DALY CITY CA	94015-3520
5928 -024	KONG RAYMOND L	739 BARCELONA DR	MILLBRAE CA	94030-1103
5928 -022	NGUYEN DIEN V	PO BOX 347300	SAN FRANCISCO CA	94134-7300
Antonio Diaz	People Organizing to Demand Environmental and Economic Rights (PODER)	474 Valencia Street #125	San Francisco CA	94103
Chris Waddling	Portola Neighborhood Association	2 Burrows Street	San Francisco CA	94134
David Hooper	New Mission Terrace Improvement Association (NMTIA)	P.O. Box 12111	San Francisco CA	94112
Joelle Kenealey	Outer Mission Residents Association	P. O. Box 34426	San Francisco CA	94134
Peter Papadopoulos	Mission Economic Development Association	2301 Mission Street #301	San Francisco CA	94110
Stephanie Cajina	Excelsior Action Group	35 San Juan Ave	San Francisco CA	94112
Ahsha Safai	Board of Supervisors	1 Dr. Carlton B Goodlett Place, Room #256	San Francisco CA	94102-4689
Francesca Panullo	Sherwin Williams	1415 Ocean Ave	San Francisco CA	94112
Jason Castleberry	Bayview Heights Neighborhood Association	55 Exeter Street	San Francisco CA	94124
Mel Flores	Excelsior District Improvement Association	P.O. Box 12005	San Francisco CA	94112
Anietie Ekanem	OneBayview	5800 3rd Street #1320	San Francisco CA	94124

Christine Weibel
Barbara Fugate
Hillary Ronen

Friends of the Havelock Street Bridge
Cayuga Improvement Association
Supervisor, District 9

148 Marston Avenue	San Francisco	CA	94112
311 Foote Ave	San Francisco	CA	94112
1 Dr. Carlton B Goodlett Place, Room #244	San Francisco	CA	94102-4689

MODUS LLC c/o Verizon Wireless
240 Stockton St, 3rd Floor
San Francisco, CA 94108



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SAN FRANCISCO CA 94134-1443

Verizon Wireless - Notice of Final Determination of Personal Wireless Services Facility Site Permit
Dated Material - Please open immediately

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Date: 07/14/2021

Application No.: 21WR-00002

Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

The antenna and other equipments to be installed at this location include Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-652-1150 or boardofappeals@sfgov.org. **You may also visit sfgov.org/bdappeal for instructions concerning filing an appeal and for general information concerning the appeals process.**

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 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Attachment 1

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
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3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud

bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.

3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
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7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated

ancillary equipment will be encased within rectangular enclosures.

- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

view from Somerset Street looking southwest at site

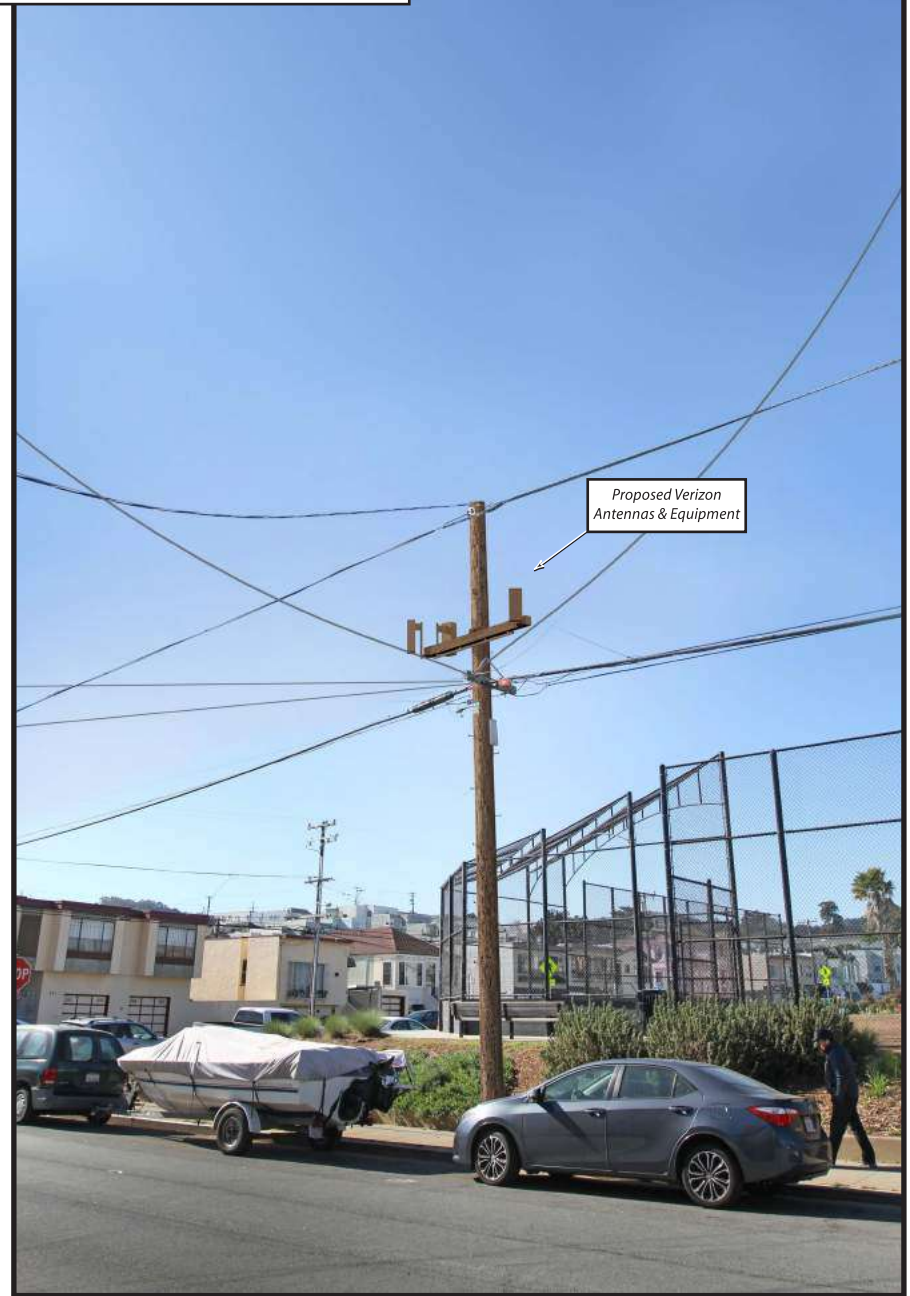


SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing



Proposed



Proposed Verizon
Antennas & Equipment



view from Somerset Street looking northwest at site



SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing



Proposed



Proposed Verizon
Antennas & Equipment



最後裁定興建個人無線服務設施據點許可 之申請案公告通知



日期：07/14/2021

申請案編號：21WR-00002

申請人姓名：**GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

位置：Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

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舊金山公共工程署最終核准有關於在 Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側) 由 **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)** 所提交的鄰近區域，興建個人無線服務設施據點的上述申請案。

天線等設備將安裝之設備包括: 三 (3) 台 5G 天線和兩個設備外殼。在此附上經核准的個人無線服務設施照片模擬資料圖。

公共工程已確定該申請滿足公共工程法規的適用要求。請參閱附件1以查看最終批准條件。

自本通知核發的十五 (15) 日內，任何人都能向上訴委員會就本許可的核發提出上訴。上訴人或其代理人必須親自提起上訴。有關上訴程序的更多資訊，請致電628-652-1150與上訴委員會聯繫，或透過電子郵件聯繫 boardofappeals@sfgov.org。您也可以訪問 sfgov.org/bdappeal，以獲取有關提出申訴的說明以及有關申訴程序的一般信息。

上訴必須以下列一或多項觀點做為立論基礎：

1. 公共衛生署錯誤判定申請案符合公共衛生法規遵循標準（參見公共工程署規章 § 1507(b)）。
2. 該應用程序不符合適用的兼容性標準，原因如下：
 - a. 規劃署錯誤判定申請案符合規劃保護或區域保護之相容性標準（Planning Compatibility Standard）（參見公共工程署規章 § (1509(b))）。
 - b. 康樂與公園署錯誤判定申請案符合 Tier C 遵循標準（參見公共工程署規章 § (1510(b))）。
3. 申請案不符合任何其他取得個人無線服務設施據點許可的要求。

如欲取得更多關於申請案與最終核准之資訊，您可透過 415-989-1102及 ycerrato@modusllc.com 與 Verizon Wireless 之 Yadira Cerrato 聯絡。詳情請洽詢舊金山公共工程署的電話：628-271-2000。

公共工程署無線計畫

附件1

舊金山公共工程署條件：

1. 本建議是以與描繪之圖例和／或照片模擬之精準情況為基礎。若安裝與所述情況有任何差異，一個新的應用應重新提交至相關各署，進一步進行審核和評估。
2. 地錨拉線：請遵守所有開挖規章，以取得放置地錨拉線的必要許可。地錨拉線應避開十字路口交會區，但不限定於車道、路緣坡道。
3. 遵循聯邦、各州、地方法律之 ADA 規章規定。
4. 在完工時，應對街道使用和勘測製圖許可局提供一組安裝的建構照片。
5. 每年皆應維持一份有效的保險憑證，並將一份複本轉送給街道使用和勘測製圖許可局。

舊金山公共衛生署條件：

- 確保本天線之電線桿安裝相關之任何設備，在從最近居住建築物牆面至少三 (3) 英尺測量時，皆不得發出超過 45 dBA 之噪音。
- 確保距離天線八 (8) 英尺範圍內，無任何公有用地。
- 一旦安裝天線之後，Verizon 就必須在天線以全功率運作的情況下執行射頻 (RF) 密度測量，確認在 Hammett 和 Edison 報告中的等級，並確保在任何公共空間中皆不得超過 FCC 公共空間曝露值。應在更新許可時重新進行本測量。
- Verizon 應知悉一般民眾可能會對其住所附近的任何天線和潛在射頻 (RF) 來源感到疑慮。Verizon 應在一般民眾要求時，在附近建築物放置檢測射頻 (RF) 密度等級之設施。
- 根據舊金山公共衛生署規章第 25 條第 1527 (a)(2)(C) 小節，Verizon 需負責對舊金山公共衛生署支付 \$210.00 美元之審核費用。

請注意，本核准和任何條件僅適用於本文所指涉之設備和安裝設施。若設備有任何變更或增加前述之有效輻射功率，就必須由公共衛生署實施新審核。

舊金山規劃署條件：

1. 種植和維護適當之街道樹木。
2. 天線，以及除看板之外之任何用來遮蔽的所有設備（外部導線、無線電中繼系統、用來遮蔽托架螺栓之遮罩 [如果需要] 和安裝設施），皆應漆上與電線桿同色之油漆，或視需要重新油漆。
3. 拆除任何可從人行道和住所看到之非政府法規規定以外的凸出設備看板和設備貼紙（包括無線電中繼系統／機櫃中的製造商標誌凹口內的填充物）。
4. 可使用最小型的射頻警告看板（4 x 6 吋），並儘可能在靠近天線的位置放置面向外面街道的警告貼紙。貼紙應面朝街道，但不面朝 15 英尺範圍內之附近窗戶。貼紙之背景色應與柱式安裝表面相符，而標誌及文字應為白色。
5. 應在適用法規和製造商設備標準之許可範圍內，儘可能緊密圍住疊架設備（不包括天線）。
6. 天線處之接合口和網罩組件區域之螺栓／螺絲，應以儘可能降低其從人行道上目

- 測可見程度之方式製造及安裝（例如齊平式安裝螺絲）；
7. 不得使用任何明顯之閃光指示燈或類似設備。
 8. 不阻礙視線或阻擋光線照射任何相鄰住宅窗戶。
 9. 若使用新的地下機箱開鑿（圓拱），則不得損壞或去除花崗岩緣石。不得因為安裝設備，而在圓拱機箱蓋和主要人行道材質之間造成重大間隙。公共道路用地內的任何其他現有歷史建築體，皆應在安裝設備時予以維持和保護。在圓拱蓋上不得標示任何電信商標誌或電信商名稱。
 10. 應拆除非必要的無線電中繼系統元件（把手和腳架）。
 11. 安裝人員應安排規劃署人員審查初步安裝作業，藉以確保遵守上述所有條件（不論是由電線桿所有人或公共衛生署檢驗）。
 12. 確保城市技術部門使用的Wi-Fi接入點和相關線路在安裝過程中不會受損（如果有）。
 13. 若安裝與所述情況有任何差異，應重新提交至規劃署，進一步審核和評估。

三藩市康樂與公園署條件：

- 1) 該項目的體量輪廓將最小可見，因為它將由三個 21 英寸高 x 8 英寸寬 x 5 英寸深的側裝集成天線組成，位於桿的上部（26 英尺-1 英寸到 27 英尺-10 英寸高度）在進入或離開公園的視線之外。
- 2) 由於新的 PG&E 桿高 (34 英尺-0 英寸) 將與現有桿高 (30 英尺-10 英寸) 相當，並且增加到滿足電力安全隔離標準所需的最小量，因此項目高度輪廓將是最小的。
- 3) 該項目的視覺影響將被最小化，因為所有天線和相關的輔助設備都將被封裝在矩形外殼內。
- 4) 根據申請人 Modus LLC. 於 2021 年 5 月 28 日收到的電子郵件確認，桿下部垂直安裝的輔助設備（塗漆以匹配桿顏色）應至少高出地面 8 英尺，以更好地確保視覺進入公園。

AVISO DE DETERMINACIÓN FINAL PARA APROBAR LA INSTALACIÓN DE UN EMPLAZAMIENTO DE SERVICIO MÓVIL PERSONAL



Fecha: 07/14/2021

London N. Breed
Mayor

No. de solicitud: 21WR-00002

Nombre del solicitante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Alaric Degrafinried
Acting Director

Ubicación: 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental)

Nicolas Huff
Bureau Manager

Obras Públicas de San Francisco ha finalmente aprobado la solicitud de permiso para la instalación de un emplazamiento de servicio móvil personal antes mencionada en las proximidades de 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental) presentada por **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

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La antena y otros equipos que se instalará en esta ubicación incluye: 3 antenas 5G y cajas de equipamiento. Se adjunta una simulación de la foto del emplazamiento de servicio móvil personal aprobado al presente documento.

Obras Públicas determinó que la solicitud cumplía con los requisitos correspondientes de la norma de Obras Públicas: Consulte el Anexo 1 para ver las condiciones de la aprobación final.

Dentro de los quince (15) días calendario de esta notificación, cualquier persona puede apelar la emisión de este permiso ante la Junta de Apelaciones. Las apelaciones deben realizarse por el apelante o por su agente. Por mayor información acerca del proceso de apelación, póngase en contacto con la Junta de Apelaciones al 628-652-1150 o boardofappeals@sfgov.org. **También puede visitar sfgov.org/bdappeal para obtener instrucciones sobre cómo presentar una apelación y para obtener información general sobre el proceso de apelación.**

La apelación debe basarse en uno o más de los siguientes motivos:

1. El Departamento de Salud Pública determinó incorrectamente que la solicitud cumple con la Norma de Cumplimiento de Salud Pública (consulte la Norma de Obras Públicas No. 1507(b)).
2. La solicitud no cumple con la Norma de Compatibilidad aplicable por la siguiente razón:
 - a. El Departamento de Planificación determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad aplicable (consulte la Norma de Obras Públicas No. (1509(b)).
 - b. El Departamento de Recreación y Parque determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad de nivel C (consulte la Norma de Obras Públicas No. 1510(b)).
3. La solicitud no cumple con cualquier otro requisito para la obtención de un permiso de un emplazamiento de servicio móvil personal.

Para obtener información adicional sobre la apelación y la aprobación final, puede comunicarse con

Yadira Cerrato de Verizon Wireless al 415-989-1102 o escribirle a ycerrato@modus-corp.com. También puede comunicarse con Obras Públicas de San Francisco al 628-271-2000.

Programa inalámbrico de Servicios Públicos

Anexo 1

Condiciones de Servicios Públicos de San Francisco:

1. Esta determinación se basa en los dibujos y/o la simulación de la foto. Si la instalación difiere de dichas condiciones, se debe volver a enviar una nueva solicitud a los departamentos para su revisión y comentarios adicionales.
2. Rientas: Siga todas las normas de excavación para obtener los permisos necesarios para la colocación de las riendas. Las riendas deberán evitar cruzar zonas en conflicto, pero no quedan limitadas a las calzadas o a las rampas del cordón.
3. Cumpla con los requisitos de la norma ADA y las leyes federales, estatales y locales.
4. Al finalizar la obra, deberá proporcionar un conjunto de fotos de la instalación con la obra terminada a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.
5. Mantenga una certificación válida del seguro anual y envíele una copia a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.

Condiciones del Departamento de Salud Pública de San Francisco:

- Asegúrese de que todo equipo relacionado con la instalación del poste de esta antena no produzca un ruido superior a 45 dBA, medido a tres (3) pies de la fachada del edificio residencial más cercano.
- Asegúrese de que no haya zonas ocupadas públicamente dentro de los ocho (8) pies del frente de la antena Ericsson.
- Una vez instalada la antena, Verizon debe tomar medidas de densidad de potencia de RF con la antena funcionando a plena potencia para verificar el nivel reportado en el informe Hammett y Edison y para asegurar que no se exceda el nivel de exposición pública de la FCC en ningún área de acceso público. Esta medición debe realizarse nuevamente en el momento de la renovación del permiso.
- Verizon debe ser consciente de que el público en general puede tener inquietudes acerca de la antena y de la fuente potencial de RF cerca de sus viviendas. Verizon debe disponer de un procedimiento para la toma de los niveles de densidad de potencia de RF en las viviendas cercanas cuando sea solicitado por los miembros del público en general.
- De acuerdo con la Norma de Obras Públicas de San Francisco, Artículo 25, Sección 1527 (a) (2) (C) Verizon es responsable de pagar una cuota de \$ 210,00 al Departamento de Salud Pública de San Francisco para esta revisión.

Tenga en cuenta que esta aprobación y las condiciones se aplican sólo a los equipos y a la instalación como se describe. Si se realiza algún cambio en el equipo o se aumenta la potencia radiada efectiva indicada anteriormente, el Departamento de Salud Pública deberá realizar una nueva revisión.

Condiciones del Departamento de Planificación de San Francisco:

1. Plante y mantenga un árbol apropiado en la acera.
2. La antena, y todo el equipo (conducto externo, unidades de radio enlace, cegadores utilizados para cubrir los pernos de soporte [si fuera necesario], y los mecanismos de montaje); salvo la señalización, si se utiliza para detección, todos serán pintados del mismo color que el poste y repintados cuando sea necesario.
3. Remueva la señalización de los equipos elevados (incluyendo el rellenado de las muescas del logotipo del fabricante en las unidades de radioenlace/gabinetes) y pegatinas en equipos que puedan verse desde la acera y las viviendas, a menos que sea requerido por regulaciones gubernamentales.
4. Utilice la señalización de advertencia de RF más pequeña que se permita (4 x 6 pulgadas); y coloque la pegatina de advertencia apuntando hacia afuera, hacia la calle, lo más cercano a la antena como sea posible. La pegatina debe apuntar hacia el otro lado de la calle, cuando no esté frente a una ventana cercana dentro de los 15 pies. El color de fondo de la pegatina debe coincidir con el color de la superficie del poste de montaje; y el logotipo y el texto deben ser blancos.
5. Apile los gabinetes de los equipos (excepto la antena) tan cerca como sea permitido por las reglamentaciones correspondientes y las normas del fabricante de los equipos.
6. Las costuras y los pernos/tornillos en la antena y en el área de la cubierta deben estar fabricados e instalados de una manera tal que reduzca su visibilidad (por ejemplo, tornillos de montaje al ras) desde la acera.
7. No utilice ningún indicador luminoso intermitente visible o algo similar.
8. No obstruir la vista o la luz que entre por cualquier ventana residencial adyacente.
9. Las nuevas excavaciones para recintos por debajo del suelo (bóvedas), de utilizarse, no deberán dañar o eliminar cordones de granito. No deben quedar espacios importantes entre la tapa de la bóveda y el material primario de la acera causados por la instalación. Todos los elementos arquitectónicos históricos existentes dentro de la vía pública serán mantenidos y protegidos durante la instalación. No se puede colocar el logotipo ni el nombre de la compañía prestadora del servicio en la tapa de la bóveda.
10. Los elementos no esenciales de la unidad de radioenlace (manija y patas) deben ser eliminados.
11. El instalador se encargará de que el personal del Departamento de Planificación revise la instalación inicial, con el fin de garantizar el cumplimiento de las condiciones antes mencionadas (a pesar de las inspecciones realizadas por el propietario de los postes y del Departamento de Obras Públicas).
12. 14. Verifique que los puntos de acceso de Wi-Fi y el cableado asociado utilizado por el Departamento de Tecnología de la Ciudad No sea dañado durante la instalación (si existe).
13. En caso de que la instalación varíe con respecto a dichas condiciones, deberá volver a presentar la solicitud al Departamento de Planificación para su posterior revisión y comentarios.

Condiciones de Recreación y Parque:

- 1) El perfil de masa del proyecto será mínimamente visible ya que constará de tres antenas integradas laterales de 21" de alto x 8" de ancho x 5" de profundidad en la parte superior del poste (26'-1" a 27'-10" de altura) que queda por fuera de las líneas de visión hacia o desde el parque.

- 2) El perfil de altura del proyecto será mínimo ya que la nueva altura del poste de PG&E (34'-0") será comparable a la altura del poste existente (30'-10") y el aumento se realiza a la cantidad mínima necesaria para satisfacer las normas de separación de seguridad de energía.
- 3) El impacto visual del proyecto se minimizará ya que todas las antenas y equipos auxiliares asociados se colocarán dentro de recintos rectangulares.
- 4) Según la confirmación por correo electrónico recibida del solicitante, Modus LLC., el 28 de mayo de 2021, el equipo auxiliar montado verticalmente en la parte inferior del poste (y que se pintará del mismo color del poste) deberá estar al menos a 8 pies sobre el nivel del suelo para garantizar una mejor visibilidad al parque.

PAUNAWA NG PANGHULING PAGPAPASIYA UPANG APRUBAHAN ANG ISANG PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Petsa: 07/14/2021

London N. Breed
Mayor

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Blg. ng Aplikasyon: 21WR-00002
Pangalan ng Aplikante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi)

Naprubahan sa wakas ng San Francisco Public Works ang Aplikasyon sa itaas para sa Permisong ng Personal na Wireless Service Facility Site malapit sa 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi) isinumite ni **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Ang antena at iba pang kagamitan na i-install sa lugar na ito ay kasama ang: 3 antena 5G at kagamitan enclosures. Naka-attach dito ang isang de-letratong simulation ng inaprubahang Personal Wireless Service Facility.

Pagawaing Bayan na natugunan ng Aplikasyon ang mga angkop na kinakailangan ng Kodigong Pagawaing Bayan: Mangyaring tingnan ang Attachment 1 upang matingnan ang mga kundisyon ng huling pag-apruba.

Sa loob ng (15) araw ng kalendaryo mula sa petsa ng abisong ito, maaaring i-apela ng sinumang tao sa Board of Appeals ang paglabas ng permisong ito. Kailangang isumite mismo ng apela o ng ahente ng humihingi ng apela ang mga apela. Para sa higit pang impormasyon tungkol sa proseso ng apela, mangyaring makipag-ugnayan mismo sa Konseho ng Pag-aapela sa 628-652-1150 o boardofappeals@sfgov.org. **Maaari mo ring bisitahin ang sfgov.org/bdappeal para sa mga tagubilin tungkol sa pagsampa ng isang apela at para sa pangkalahatang impormasyon tungkol sa proseso ng pag-apela.**

Ang apela ay dapat na batay sa isa o higit pa sa mga sumusunod na dahilan:

1. Maling natukoy ng Kagawaran ng Pambulikong Kalusugan na ang Aplikasyon ay alinsunod sa Pamantayan ng Pagsunod sa Pampublikong Kalusugan (tinganan ang Kodigong Pagawaing Bayan § 1507(b)).
2. Aplikasyon hindi ang nalalapit na Pamantayan ng Pagkakatugma para sa mga sumusunod na kadahilanan:
 - a. Maling natukoy ng Kagawaran ng Pagpapalano na natutugunan ng Pagpapalano Pamantayan ng Pagkakatugma (Kodigong Pagawaing Bayan § (1509(b))).
 - b. Maling naitukoy ng Departamento ng Recreation at Park na ang Aplikasyon ang matugunan ang Pamantayan ng Compatability ng Tier C (tingnan ang Public Works Code § 1510(b)).
3. Hindi naaayon ang Aplikasyon sa anumang kinakailangan para sa pagkuha ng isang Personal Wireless Service Facility Site Permit.

Upang makakuha ng karagdagang impormasyon tungkol sa Aplikasyon at final approval, makipag-ugnay kay Yadira Cerrato, kinatawan ng Verizon Wireless sa 415-989-1102 o ycerrato@modus-corp.com. Maaari ka ring makipag-ugnayan kay San Francisco Pagawaing Bayan sa 628-271-2000.

Programang sa Wireless ng Pagawaing Bayan

Attachment 1

Mga Kondisyon ng Pagawaing Bayan ng San Francisco:

1. Ang pagpapasiya ito ay batay sa inilarawang mga guhit at/o de-letratong simulation. Kung iba man ang paglalagay mula sa mga nasabing kondisyon, isang bagong aplikasyon kailangan itong isumite muli sa (mga) Kagawaran para sa higit pang pagsusuri at puna.
2. Mga Down Guy: Sundin ang lahat ng kodigo sa paghuhukay upang makuha ang mga kinakailangang pahintulot para sa paglalagay ng mga down guy. Dapat iwasan ng down guy ang pagtawid sa mga di-akmang lugar kasama ang, ngunit hindi limitado sa, mga daanan ng sasakyan at mga ramp sa gilid ng bangketa.
3. Sumunod sa mga iniaatas ng kodigong ADA para sa mga Pederal na batas, batas ng Estado, o lokal na batas.
4. Sa pagtatapos ng trabaho, magbibigay ng isang set ng mga ginawang litrato ng installation para sa Bureau Street Use & Mapping Permit Office.
5. Magpanatili ng isang may bisang sertipikasyon ng kasiguraduhan taun-taon at magbigay ng isang kopya sa Opisina ng Pagpapahintulot ng Kawanihan ng Paggamit ng Kalsada at Pagmamapa.

Mga Kondisyon ng Kagawaran ng Pampublikong Kalusugan ng San Francisco:

- Tiyaking anumang kagamitang may kinalaman sa paglalagay ng poste ng antenang ito ay hindi gagawa ng ingay na lampas sa 45 dBA kapag sinukat sa layong tatlong (3) talampakan mula sa pinakamalapit na harapan ng residensyal na gusali.
- Siguruhin na walang mga okupadong pampublikong lugar na may layong walong (8) talampakan mula sa harapan ng antena Ericsson.
- Sa oras na mailagay ang antena, kinakailangang kumuha ang Verizon ng mga RF na sukat ng power density habang ang antena ay ganap na tumatakbo nang buong lakas upang masuri ang antas na inulat sa ulat ng Hammett at Edison at upang matiyak na ang FCC na antas ng public exposure ay hindi higit sa anumang lugar na napupuntahan ng publiko. Kailangang kunin ulit ang sukat na ito sa oras ng pag-renew ng permiso.
- Kinakailangang alam ng Verizon na ang publiko ay maaaring may mga alalahanin tungkol sa antena at ang potensiyal na pagmumulan ng RF source na malapit sa kanilang mga tirahan. Ang Verizon ay kinakailangang may paraan sa pagkuha ng mga RF na antas ng power density sa mga kalapit na tirahan kung hiniling ng mga miyembro ng publiko.
- Alinsunod sa San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Responsable ang Verizon sa pagbabayad ng halagang \$210.00 sa San Francisco Department of Public Health para sa rebisyong ito.

Pakitandaan na ang pag-aprubang ito at anumang kondisyon ay nalalapat lamang sa kagamitan at paglalagay tulad ng inilarawan. Kung may ginawang anumang pagbabago sa kagamitan o anumang pagtaas sa epektibong radiated power na inilarawan sa itaas, kailangang isagawa ng Kagawaran ng Pampublikong Kalusugan ang isang bagong pagsusuri.

Mga Kondisyon ng Kagawaran ng Pagpapalano ng San Francisco:

1. Magtanim at magpanatili ng naaakmang puno sa kalsada.
2. Ang antena at lahat ng kagamitan (panlabas na conduit, mga radio relay unit, mga blinder na ginagamit upang balutin ang mga bracket na trangka [kung kinakailangan], at mga mekanismo sa pagkakabit); maliban sa karatula, kung ginagamit para sa pagsasala, kinakailangang pinturahan ang lahat upang bumagay sa poste at muling pinturahan kung kinakailangan.
3. Alisin ang mga nakaangat na karatula ng kagamitan (kabilang ang pagpupuno sa mga manufacturer logo indentation sa mga radio relay unit/kabinet) at mga kagamitang decal na maaaring makita mula sa bangketa at tirahan, maliban kung iniaatas ng regulasyon ng gobyerno.
4. Gamitin ang pinakamaliit na RF na karatulang pangbabala na pinahihitulutan (4 x 6 pulgada); at ilagay ang pangbabalang sticker nang nakaharap sa kalsada, sa isang lokasyong malapit sa antena, kung maaari. Kinakailangang nakaharap nang papalayo sa kalsada ang sticker, kung hindi nakaharap sa isang kalapit na bintana sa loob ng 15 talampakan. Dapat tumugma ang background na kulay ng sticker sa surface na pinagkakabitan nito sa poste; at ang logo at sulat ay dapat kulay puti.
5. Ang mga enclosure ng salansan ng kagamitan (hindi kasama ang antena) ay maaaring magkalapit hangga't pinahihintulutan ng mga naaangkop na regulasyon at mga pamantayan sa kagamitan ng manufacturer.
6. Ang mga seam at trangka/turnilyo sa assembly area ng antena at pagbabalot ay kinakailangang gawin at ikabit sa paraang hindi nakikita ang mga ito (hal. mga flush mounting na turnilyo) mula sa lebel ng bangketa.
7. Huwag gumamit ng anumang nakikitang ilaw na flashing indicator o katulad nito.
8. Huwag harangan ang pangitain, o di kaya ang ilaw sa kahit na anong katabing bintana.
9. Ang mga bagong enclosure excavation sa ilalim ng lupa (vault), kung ginamit, ay hindi dapat makasira o maalisa ang mga granite na curb. Walang kapansing-pansing siwang ang dapat malikha sa pagitan ng takip ng bakod ng vault at pangunahing materyal ng bangketa dahil sa paglalagay. Ang anumang iba pang umiiral na makasaysayang elementong arkitektural sa loob ng pampublikong right-of-way ay dapat panatilihin at protektahan sa panahon ng paglalagay. Walang maaaring ilagay na logo o pangalan ng carrier sa takip ng vault.
10. Ang mga hindi mahalagang radio relay unit element (hawakan at mga binti) ay tatanggalin.
11. Ang tagalagay ay kinakailangang ihanda ang mga tauhan ng Kagawaran ng Pagpapalano suriin ang unang paglalagay, upang matiyak ang pagsunod sa mga nabanggit na kondisyon (hindi kabilang mga inspeksyon ng may-ari ng poste at ang Kagawaran ng Pagawaing Bayan).
12. Siguraduhing ang mga Access Points ng Wi-Fi at mga kasamang wiring, na ginagamit ng City's Department of Technology, Ay hindi masisira habang ini-install (kung meron).
13. Kung mag-iba man ang paglalagay mula sa mga nasabing kondisyon, muling isusumite ang aplikasyon sa Kagawaran ng Pagpapalano para sa higit pang pagsusuri at puna.

Mga Kondisyong ng Kagawaran ng Recreation & Parks:

- 1) Ang massing profile ng proyekto ay halos hindi makikita dahil ito ay binubuo ng tatlong 21" taas x 8" ang lapad x 5" malalim na naka-mount na mga antena na naka-gilid sa itaas na bahagi ng poste (26'-1" hanggang 27'-10" sa taas) sa labas ng mga linya ng paningin sa o mula sa parke.
- 2) Ang profile ng taas ng proyekto ay magiging minimal dahil ang bagong taas ng poste ng PG&E (34'-0 ") ay maihahambing sa umiiral na taas ng poste (30'-10") at nadagdagan sa kaunting halaga na kinakailangan upang masiyahan ang mga pamantayan ng paghihiwalay sa kaligtasan ng kuryente.
- 3) Ang biswal na epekto ng proyekto ay mababawasan sa lahat ng mga antena at nauugnay na kagamitan na pandagdag ay maikukulong sa loob ng mga parihabang enclosure.
- 4) Ang bawat kumpirmasyon sa email na natanggap mula sa aplikante, Modus LLC., Noong Mayo 28, 2021, ang patayo na naka-mount na kagamitan na pandagdag (pininturahan upang maitugma ang kulay ng poste) sa mas mababang bahagi ng poste ay dapat na hindi bababa sa 8 talampakan sa itaas ng grado upang mas matiyak ang paningin pag-access sa parke.

) ss.

COUNTY OF SAN FRANCISCO)

DECLARATION OF POSTING RE: POSTING OF
NOTICE OF FINAL DETERMINATION OF
APPLICATION FOR A PERSONAL WIRELESS
SERVICE FACILITY SITE
PERMIT

I, [Tanusree Chakraborty] do hereby declare as follows:

1. I am a Project Associate at Modus, Inc. I am over 18 years of age and I am a resident of the City and County of San Francisco, State of California.
2. On [07/14/2021] Modus, Inc. caused to be posted a copy of the "Final Determination of Personal Wireless Service Facility Site Permit" for Permit [21WR-00002] to utility poles located along the block face upon which the Personal Wireless Service Facility is located. Location posted in compliance with Public Works Code 1512(b)(2).

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Executed [07/14/2021] at County of San Francisco, California.

By: *Tanusree Chakraborty*
[Tanusree Chakraborty]



1

2

Excelsior 025

Somerset St

Felton St

3

4

Jul 14, 2021 at 12:03:31 PM

500 Felton St

San Francisco CA 94134

United States

Palega Recreation Center - Gymnasium

mos 011-0
210-428-8817 10/2016 et/c



NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

07/14/2021

Date: 07/14/2021

London M. Bland
Mayor

Public Director
Public Director

Public Director
Public Director

Director of Planning
395 Serrano Avenue
San Francisco, CA 94102
Phone: (415) 473-2000

Public Works
Public Works

Application No: 21098-00003
Applicant Name: GTE Mobilnet of California, (Limited Partnership (Verizon Wireless))
Location: 500 FELTON ST (SOMERSET ST-SILVERMAN to FELTON ST - West Side)

San Francisco Public Works has finally approved the above referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST-SILVERMAN to FELTON ST - West Side) submitted by GTE Mobilnet of California, Limited Partnership (Verizon Wireless).

The antenna and other equipments to be installed at this location include three (3) 5G antennas and equipment enclosures. A photo-simulation of the proposed Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application meets the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the applicant or the appellant's agent for further information regarding the appeal process, please contact the Board of Appeals at 338-120-1330 or boardofappeals@sfgov.org. You may also visit sfgov.org/boardofappeals for information concerning the appeal and for general information concerning the appeals process.

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance standards (Public Works Code § 3500.04)
2. The Organization does not meet the applicable Compatibility Standard for the following reasons:
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (Public Works Code § 3500.05)
 - b. The Department of Recreation & Parkland incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 3500.06)
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval process contact the Director of Public Works at 415-388-1122 or ycenzo@publicworks.sfgov.org. You may also contact San Francisco Public Works at 415-271-3000.

Public Works Wireless Program

Jul 14, 2021 at 12:02:01 PM
500 Felton St
San Francisco CA 94134
United States
Palega Recreation Center - Gymnasium

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

07/14/2021

Date: 07/14/2021

Application No.: 221WR-00003
Applicant Name: **GTE Mobinet of California, Limited Partnership** (Wireless Wireless)
Location: 500 FELTON ST (SILVERMERE ST-FELTON ST - West Side)

San Francisco Public Works has finally approved the above-offer location for a Personal Wireless Service Facility Site Permit in the Mobility ST 500 FELTON ST (SILVERMERE ST-FELTON ST - West Side) submitted by GTE Mobinet of California, Limited Partnership (Wireless Wireless).

The towers and other equipments to be installed at this location include: Tower (150 Antenna and equipment enclosures. A photo-simulation of the Applicant's Personal Wireless Service Facility is attached.

Public Works has made a determination that the Applicant satisfied the applicable requirements and conditions of the Public Works Code. Please see attachment 1 to view the Applicant's conditions.

After fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the applicant or the applicant's agent, for further information regarding the appeal process, please contact the Board of Appeals at 605-333-3333 or by email at boap@sf.gov. You may also visit <http://www.sfdph.org/boap/> for instructions concerning filing an appeal and for general information concerning the appeals process.

Appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Applicant complied with the Public Health Compliance Standard (Public Works Code § 35020).
2. The Applicant's data does not meet the applicable Compatibility Standard for this Wireless Service Facility.
3. The Planning Department incorrectly determined that the Applicant meets the applicable Compatibility Standard (see Public Works Code § 35020).
4. The Department of Transportation incorrectly determined that the Applicant meets the applicable Compatibility Standard (Public Works Code § 35020).
5. The Applicant does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the application and final approval, you may contact the City of San Francisco Public Works at 432-399-1102 or permits@sfpublicworks.com. You may also visit www.sfpublicworks.com at 628-214-2007.

Public Works of San Francisco

Jul 14, 2021 at 12:08:06 PM

100-198 Somerset St

San Francisco CA 94134

United States

Palega Recreation Center - Gymnasium

100-0172
002-00181 07/14/2021

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

07/14/2021



Application No.: 21WR-03002

Applicant Name: GTE Mobbiles of California, Limited Partnership (Verizon Wireless)

Location: 500 FELTON ST, SOMERSET ST, SULLIMAN to FELTON ST - West Side

San Francisco Public Works has finally approved the above referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST, SOMERSET ST, SULLIMAN to FELTON ST - West Side, submitted by GTE Mobbiles of California, Limited Partnership (Verizon Wireless).

The antenna and other equipments to be installed at this location include: Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within (three) (3) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the applicant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 618-652-3150 or boardofappeals@sf.gov. You may also visit sfdpw.org/boardofappeal for instructions concerning filing an appeal and for general information concerning the appeals process.

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standards (Public Works Code § 1507(b)).

2. The Application does not meet the applicable Compatibility Standard for the following reason(s):

a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).

b. The Department of Recreation & Parks incorrectly determined that the Application meets the applicable Compatibility Standard (Public Works Code Public Works Code § 1510(a)).

3. The applicant does not comply with any other requirements for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yashira Samra at Verizon Wireless at 415-899-1102 or ycsamra@verizon.com. You may also contact San Francisco Public Works at 626-271-2000.

Public Works Wireless Program

Jul 14, 2021 at 12:06:55 PM
175 Somerset St
San Francisco CA 94134
United States

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

Date: 07/14/2021

07/14/2021



Public Works
Director

Application No: 21WR-00012
Applicant Name: ETE Mobility of California, Limited Partnership (ETEMobility Wireless)
Location: 500 FULTON ST (SOMERSET ST, SULLIVAN ST, FULTON ST) - West Side

San Francisco Public Works has hereby approved the above-referenced Applicant's Personal Wireless Service Facility Site Permit in Block 1000 FULTON ST (SOMERSET ST, SULLIVAN ST, FULTON ST - West Side) submitted by ETE Mobility of California, Limited Partnership (ETEMobility Wireless).

The antenna and other equipment to be installed at the location shall meet all the standards and equipment standards. A public nuisance of the approved Personal Wireless Service Facility is prohibited.

Public Works has made a determination that the application meets all applicable requirements of the Public Works Code. Please refer to the Public Works Code for more information.

Any person 18 years of age or older may appeal the decision of the Board of Public Works. Appeals must be filed by either the applicant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 478-5211, 800-949-8229, or by email at appeals@sf.gov. You may also visit www.sfdph.org/dph/epi/ceha/ceha_appeals.htm for general information concerning the appeals process.

An appeal may be based on one or more of the following grounds:

1. The Director of Public Health has incorrectly determined that the Applicant's mobile antenna facility does not meet the applicable Compliance Standards (Public Works Code § 102.04).
2. The Applicant does not meet the applicable Compliance Standards for the following reason:
 - a. The Planning Department incorrectly determined that the facility meets the applicable Compliance Standards (Public Works Code § 102.04).
 - b. The Department of Recreational & Parks incorrectly determined that the Applicant does not meet the applicable Compliance Standards (Public Works Code § 102.04).
 - c. The Applicant does not comply with any other requirements for obtaining a Personal Wireless Service Facility Site Permit.

For more information concerning this Application and the appeal process, you may contact the Public Works Director at 478-5222 or publicworks@sf.gov. You may also contact the Public Works Director at 478-2711.

Public Works Wireless Program

Jul 14, 2021 at 12:04:51 PM
500 Felton St
San Francisco CA 94134
United States
Palega Recreation Center - Gymnasium

1000 3411-0
10/09/09 15:19:00 0002

**NOTICE OF FINAL DETERMINATION TO APPROVE A
PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT**



Date: 07/14/2021

07/14/2021

City of San Francisco
Public Works

1425 Market Street
San Francisco, CA 94102

Phone: (415) 376-2000

Website: www.sfpd.org

Application No: 21WR-00002
Applicant Name: GTE Mobilnet of California, Limited Partnership (Verizon Wireless)
Location: 500 FELTON ST (SOMERSET ST. SULLIVAN to FELTON ST - West Side)

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST. SULLIVAN to FELTON ST - West Side) submitted by GTE Mobilnet of California, Limited Partnership (Verizon Wireless).

The permits and other requirements to be installed at this location include: Three (3) 60 inch antennas and equipment enclosures. A photo-simulation of the approved antenna Wireless Service Facility is attached.

Public Works has made a determination that the Applicant satisfies the applicable requirements of the Public Works Code. Please see Attachment 3 to view the final approval's conditions.

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the applicant or the applicant's agent. For further information regarding the appeal process, please contact the Board of Appeals at (415) 694-1100 or www.sfpd.org. You may also visit sf.gov for additional information concerning the appeal process.

An appeal may be based on one or more of the following grounds:

1. The City or County of Public Health incorrectly determined that the Applicant's permit is within the Public Health and Code Standard (Public Works Code § 23A)(a).
2. The Applicant does not meet the applicable compatibility standard for the following standard:
 - a. The Planning Department incorrectly determined that the Applicant does not meet the standard for compatibility standard (Public Works Code § 15007)(b).
 - b. The Department of Transportation & Parks incorrectly determined that the Applicant does not meet the compatibility standard (Public Works Code Public Works Code § 15100)(c).
3. The Applicant does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact the City of San Francisco Wireless at 415-689-1111 or wireless@sfpublicworks.com. You may also contact San Francisco Public Works at 415-271-2000.

Public Works Wireless Program

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Date: 07/14/2021

Application No.: 21WR-00002

Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

The antenna and other equipments to be installed at this location include Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-652-1150 or boardofappeals@sfgov.org. **You may also visit sfgov.org/bdappeal for instructions concerning filing an appeal and for general information concerning the appeals process.**

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 1507(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reason(s):
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Attachment 1

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud

bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.

3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated

ancillary equipment will be encased within rectangular enclosures.

- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

view from Somerset Street looking southwest at site

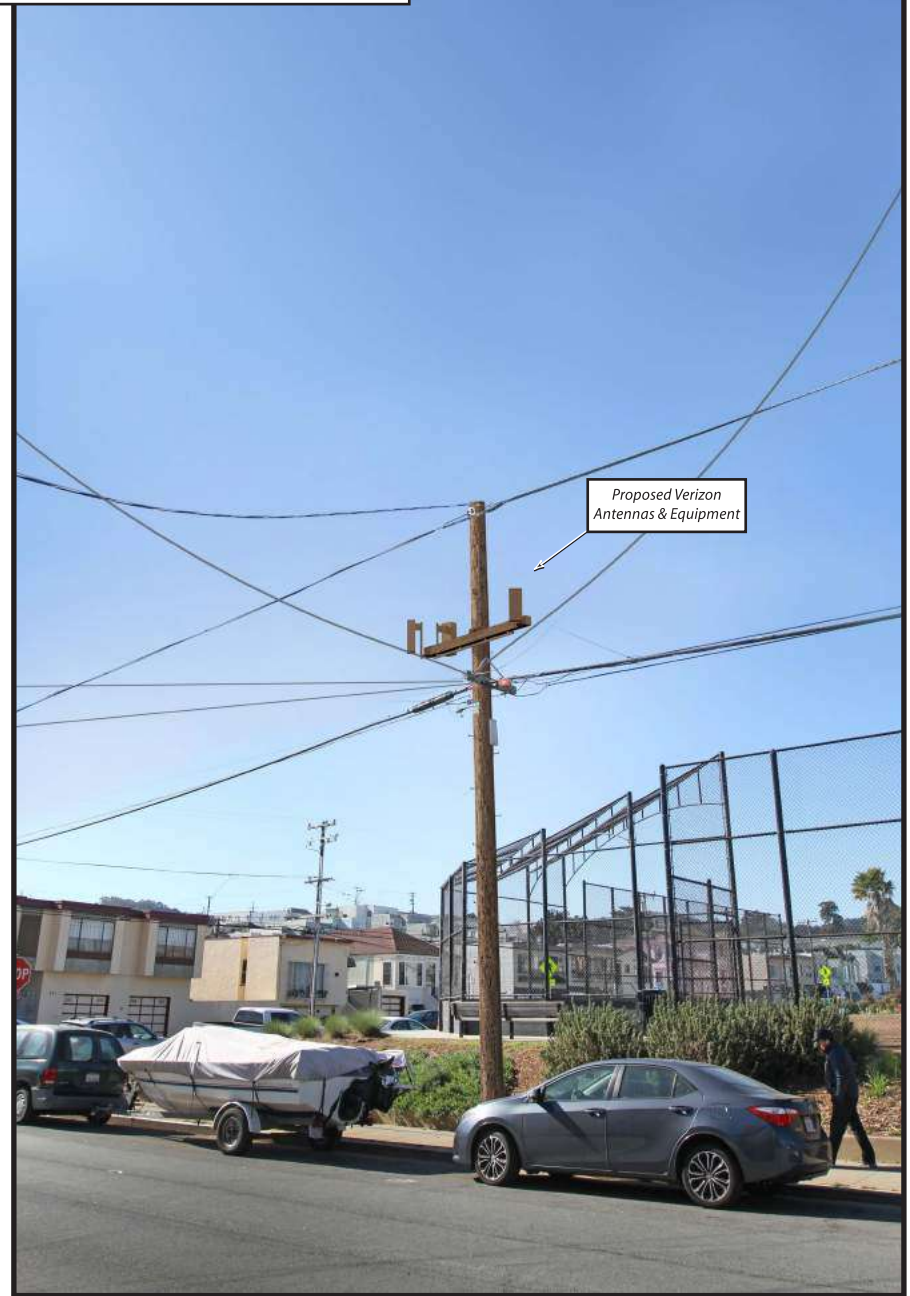


SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing



Proposed



Proposed Verizon
Antennas & Equipment



view from Somerset Street looking northwest at site



SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing

Proposed



Proposed Verizon
Antennas & Equipment



最後裁定興建個人無線服務設施據點許可 之申請案公告通知



日期：07/14/2021

申請案編號：21WR-00002

申請人姓名：**GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

位置：Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
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舊金山公共工程署最終核准有關於在 Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側) 由 **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)** 所提交的鄰近區域，興建個人無線服務設施據點的上述申請案。

天線等設備將安裝之設備包括: 三 (3) 台 5G 天線和兩個設備外殼。在此附上經核准的個人無線服務設施照片模擬資料圖。

公共工程已確定該申請滿足公共工程法規的適用要求。請參閱附件1以查看最終批准條件。

自本通知核發的十五 (15) 日內，任何人都能向上訴委員會就本許可的核發提出上訴。上訴人或其代理人必須親自提起上訴。有關上訴程序的更多資訊，請致電628-652-1150與上訴委員會聯繫，或透過電子郵件聯繫 boardofappeals@sfgov.org。您也可以訪問 sfgov.org/bdappeal，以獲取有關提出申訴的說明以及有關申訴程序的一般信息。

上訴必須以下列一或多項觀點做為立論基礎：

1. 公共衛生署錯誤判定申請案符合公共衛生法規遵循標準（參見公共工程署規章 § 1507(b)）。
2. 該應用程序不符合適用的兼容性標準，原因如下：
 - a. 規劃署錯誤判定申請案符合規劃保護或區域保護之相容性標準（Planning Compatibility Standard）（參見公共工程署規章 § (1509(b))）。
 - b. 康樂與公園署錯誤判定申請案符合 Tier C 遵循標準（參見公共工程署規章 § (1510(b))）。
3. 申請案不符合任何其他取得個人無線服務設施據點許可的要求。

如欲取得更多關於申請案與最終核准之資訊，您可透過 415-989-1102及 ycerrato@modusllc.com 與 Verizon Wireless 之 Yadira Cerrato 聯絡。詳情請洽詢舊金山公共工程署的電話：628-271-2000。

公共工程署無線計畫

附件1

舊金山公共工程署條件：

1. 本建議是以與描繪之圖例和／或照片模擬之精準情況為基礎。若安裝與所述情況有任何差異，一個新的應用應重新提交至相關各署，進一步進行審核和評估。
2. 地錨拉線：請遵守所有開挖規章，以取得放置地錨拉線的必要許可。地錨拉線應避開十字路口交會區，但不限定於車道、路緣坡道。
3. 遵循聯邦、各州、地方法律之 ADA 規章規定。
4. 在完工時，應對街道使用和勘測製圖許可局提供一組安裝的建構照片。
5. 每年皆應維持一份有效的保險憑證，並將一份複本轉送給街道使用和勘測製圖許可局。

舊金山公共衛生署條件：

- 確保本天線之電線桿安裝相關之任何設備，在從最近居住建築物牆面至少三 (3) 英尺測量時，皆不得發出超過 45 dBA 之噪音。
- 確保距離天線八 (8) 英尺範圍內，無任何公有用地。
- 一旦安裝天線之後，Verizon 就必須在天線以全功率運作的情況下執行射頻 (RF) 密度測量，確認在 Hammett 和 Edison 報告中的等級，並確保在任何公共空間中皆不得超過 FCC 公共空間曝露值。應在更新許可時重新進行本測量。
- Verizon 應知悉一般民眾可能會對其住所附近的任何天線和潛在射頻 (RF) 來源感到疑慮。Verizon 應在一般民眾要求時，在附近建築物放置檢測射頻 (RF) 密度等級之設施。
- 根據舊金山公共衛生署規章第 25 條第 1527 (a)(2)(C) 小節，Verizon 需負責對舊金山公共衛生署支付 \$210.00 美元之審核費用。

請注意，本核准和任何條件僅適用於本文所指涉之設備和安裝設施。若設備有任何變更或增加前述之有效輻射功率，就必須由公共衛生署實施新審核。

舊金山規劃署條件：

1. 種植和維護適當之街道樹木。
2. 天線，以及除看板之外之任何用來遮蔽的所有設備（外部導線、無線電中繼系統、用來遮蔽托架螺栓之遮罩 [如果需要] 和安裝設施），皆應漆上與電線桿同色之油漆，或視需要重新油漆。
3. 拆除任何可從人行道和住所看到之非政府法規規定以外的凸出設備看板和設備貼紙（包括無線電中繼系統／機櫃中的製造商標誌凹口內的填充物）。
4. 可使用最小型的射頻警告看板（4 x 6 吋），並儘可能在靠近天線的位置放置面向外面街道的警告貼紙。貼紙應面朝街道，但不面朝 15 英尺範圍內之附近窗戶。貼紙之背景色應與柱式安裝表面相符，而標誌及文字應為白色。
5. 應在適用法規和製造商設備標準之許可範圍內，儘可能緊密圍住疊架設備（不包括天線）。
6. 天線處之接合口和網罩組件區域之螺栓／螺絲，應以儘可能降低其從人行道上目

- 測可見程度之方式製造及安裝（例如齊平式安裝螺絲）；
7. 不得使用任何明顯之閃光指示燈或類似設備。
 8. 不阻礙視線或阻擋光線照射任何相鄰住宅窗戶。
 9. 若使用新的地下機箱開鑿（圓拱），則不得損壞或去除花崗岩緣石。不得因為安裝設備，而在圓拱機箱蓋和主要人行道材質之間造成重大間隙。公共道路用地內的任何其他現有歷史建築體，皆應在安裝設備時予以維持和保護。在圓拱蓋上不得標示任何電信商標誌或電信商名稱。
 10. 應拆除非必要的無線電中繼系統元件（把手和腳架）。
 11. 安裝人員應安排規劃署人員審查初步安裝作業，藉以確保遵守上述所有條件（不論是由電線桿所有人或公共衛生署檢驗）。
 12. 確保城市技術部門使用的Wi-Fi接入點和相關線路在安裝過程中不會受損（如果有）。
 13. 若安裝與所述情況有任何差異，應重新提交至規劃署，進一步審核和評估。

三藩市康樂與公園署條件：

- 1) 該項目的體量輪廓將最小可見，因為它將由三個 21 英寸高 x 8 英寸寬 x 5 英寸深的側裝集成天線組成，位於桿的上部（26 英尺-1 英寸到 27 英尺-10 英寸高度）在進入或離開公園的視線之外。
- 2) 由於新的 PG&E 桿高 (34 英尺-0 英寸) 將與現有桿高 (30 英尺-10 英寸) 相當，並且增加到滿足電力安全隔離標準所需的最小量，因此項目高度輪廓將是最小的。
- 3) 該項目的視覺影響將被最小化，因為所有天線和相關的輔助設備都將被封裝在矩形外殼內。
- 4) 根據申請人 Modus LLC. 於 2021 年 5 月 28 日收到的電子郵件確認，桿下部垂直安裝的輔助設備（塗漆以匹配桿顏色）應至少高出地面 8 英尺，以更好地確保視覺進入公園。

AVISO DE DETERMINACIÓN FINAL PARA APROBAR LA INSTALACIÓN DE UN EMPLAZAMIENTO DE SERVICIO MÓVIL PERSONAL



Fecha: 07/14/2021

London N. Breed
Mayor

No. de solicitud: 21WR-00002

Nombre del solicitante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Alaric Degrafinried
Acting Director

Ubicación: 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental)

Nicolas Huff
Bureau Manager

Obras Públicas de San Francisco ha finalmente aprobado la solicitud de permiso para la instalación de un emplazamiento de servicio móvil personal antes mencionada en las proximidades de 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental) presentada por **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

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La antena y otros equipos que se instalará en esta ubicación incluye: 3 antenas 5G y cajas de equipamiento. Se adjunta una simulación de la foto del emplazamiento de servicio móvil personal aprobado al presente documento.

Obras Públicas determinó que la solicitud cumplía con los requisitos correspondientes de la norma de Obras Públicas: Consulte el Anexo 1 para ver las condiciones de la aprobación final.

Dentro de los quince (15) días calendario de esta notificación, cualquier persona puede apelar la emisión de este permiso ante la Junta de Apelaciones. Las apelaciones deben realizarse por el apelante o por su agente. Por mayor información acerca del proceso de apelación, póngase en contacto con la Junta de Apelaciones al 628-652-1150 o boardofappeals@sfgov.org. **También puede visitar sfgov.org/bdappeal para obtener instrucciones sobre cómo presentar una apelación y para obtener información general sobre el proceso de apelación.**

La apelación debe basarse en uno o más de los siguientes motivos:

1. El Departamento de Salud Pública determinó incorrectamente que la solicitud cumple con la Norma de Cumplimiento de Salud Pública (consulte la Norma de Obras Públicas No. 1507(b)).
2. La solicitud no cumple con la Norma de Compatibilidad aplicable por la siguiente razón:
 - a. El Departamento de Planificación determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad aplicable (consulte la Norma de Obras Públicas No. (1509(b)).
 - b. El Departamento de Recreación y Parque determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad de nivel C (consulte la Norma de Obras Públicas No. 1510(b)).
3. La solicitud no cumple con cualquier otro requisito para la obtención de un permiso de un emplazamiento de servicio móvil personal.

Para obtener información adicional sobre la apelación y la aprobación final, puede comunicarse con

Yadira Cerrato de Verizon Wireless al 415-989-1102 o escribirle a ycerrato@modus-corp.com. También puede comunicarse con Obras Públicas de San Francisco al 628-271-2000.

Programa inalámbrico de Servicios Públicos

Anexo 1

Condiciones de Servicios Públicos de San Francisco:

1. Esta determinación se basa en los dibujos y/o la simulación de la foto. Si la instalación difiere de dichas condiciones, se debe volver a enviar una nueva solicitud a los departamentos para su revisión y comentarios adicionales.
2. Riendas: Siga todas las normas de excavación para obtener los permisos necesarios para la colocación de las riendas. Las riendas deberán evitar cruzar zonas en conflicto, pero no quedan limitadas a las calzadas o a las rampas del cordón.
3. Cumpla con los requisitos de la norma ADA y las leyes federales, estatales y locales.
4. Al finalizar la obra, deberá proporcionar un conjunto de fotos de la instalación con la obra terminada a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.
5. Mantenga una certificación válida del seguro anual y envíele una copia a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.

Condiciones del Departamento de Salud Pública de San Francisco:

- Asegúrese de que todo equipo relacionado con la instalación del poste de esta antena no produzca un ruido superior a 45 dBA, medido a tres (3) pies de la fachada del edificio residencial más cercano.
- Asegúrese de que no haya zonas ocupadas públicamente dentro de los ocho (8) pies del frente de la antena Ericsson.
- Una vez instalada la antena, Verizon debe tomar medidas de densidad de potencia de RF con la antena funcionando a plena potencia para verificar el nivel reportado en el informe Hammett y Edison y para asegurar que no se exceda el nivel de exposición pública de la FCC en ningún área de acceso público. Esta medición debe realizarse nuevamente en el momento de la renovación del permiso.
- Verizon debe ser consciente de que el público en general puede tener inquietudes acerca de la antena y de la fuente potencial de RF cerca de sus viviendas. Verizon debe disponer de un procedimiento para la toma de los niveles de densidad de potencia de RF en las viviendas cercanas cuando sea solicitado por los miembros del público en general.
- De acuerdo con la Norma de Obras Públicas de San Francisco, Artículo 25, Sección 1527 (a) (2) (C) Verizon es responsable de pagar una cuota de \$ 210,00 al Departamento de Salud Pública de San Francisco para esta revisión.

Tenga en cuenta que esta aprobación y las condiciones se aplican sólo a los equipos y a la instalación como se describe. Si se realiza algún cambio en el equipo o se aumenta la potencia radiada efectiva indicada anteriormente, el Departamento de Salud Pública deberá realizar una nueva revisión.

Condiciones del Departamento de Planificación de San Francisco:

1. Plante y mantenga un árbol apropiado en la acera.
2. La antena, y todo el equipo (conducto externo, unidades de radio enlace, cegadores utilizados para cubrir los pernos de soporte [si fuera necesario], y los mecanismos de montaje); salvo la señalización, si se utiliza para detección, todos serán pintados del mismo color que el poste y repintados cuando sea necesario.
3. Remueva la señalización de los equipos elevados (incluyendo el rellenado de las muescas del logotipo del fabricante en las unidades de radioenlace/gabinetes) y pegatinas en equipos que puedan verse desde la acera y las viviendas, a menos que sea requerido por regulaciones gubernamentales.
4. Utilice la señalización de advertencia de RF más pequeña que se permita (4 x 6 pulgadas); y coloque la pegatina de advertencia apuntando hacia afuera, hacia la calle, lo más cercano a la antena como sea posible. La pegatina debe apuntar hacia el otro lado de la calle, cuando no esté frente a una ventana cercana dentro de los 15 pies. El color de fondo de la pegatina debe coincidir con el color de la superficie del poste de montaje; y el logotipo y el texto deben ser blancos.
5. Apile los gabinetes de los equipos (excepto la antena) tan cerca como sea permitido por las reglamentaciones correspondientes y las normas del fabricante de los equipos.
6. Las costuras y los pernos/tornillos en la antena y en el área de la cubierta deben estar fabricados e instalados de una manera tal que reduzca su visibilidad (por ejemplo, tornillos de montaje al ras) desde la acera.
7. No utilice ningún indicador luminoso intermitente visible o algo similar.
8. No obstruir la vista o la luz que entre por cualquier ventana residencial adyacente.
9. Las nuevas excavaciones para recintos por debajo del suelo (bóvedas), de utilizarse, no deberán dañar o eliminar cordones de granito. No deben quedar espacios importantes entre la tapa de la bóveda y el material primario de la acera causados por la instalación. Todos los elementos arquitectónicos históricos existentes dentro de la vía pública serán mantenidos y protegidos durante la instalación. No se puede colocar el logotipo ni el nombre de la compañía prestadora del servicio en la tapa de la bóveda.
10. Los elementos no esenciales de la unidad de radioenlace (manija y patas) deben ser eliminados.
11. El instalador se encargará de que el personal del Departamento de Planificación revise la instalación inicial, con el fin de garantizar el cumplimiento de las condiciones antes mencionadas (a pesar de las inspecciones realizadas por el propietario de los postes y del Departamento de Obras Públicas).
12. 14. Verifique que los puntos de acceso de Wi-Fi y el cableado asociado utilizado por el Departamento de Tecnología de la Ciudad No sea dañado durante la instalación (si existe).
13. En caso de que la instalación varíe con respecto a dichas condiciones, deberá volver a presentar la solicitud al Departamento de Planificación para su posterior revisión y comentarios.

Condiciones de Recreación y Parque:

- 1) El perfil de masa del proyecto será mínimamente visible ya que constará de tres antenas integradas laterales de 21" de alto x 8" de ancho x 5" de profundidad en la parte superior del poste (26'-1" a 27'-10" de altura) que queda por fuera de las líneas de visión hacia o desde el parque.

- 2) El perfil de altura del proyecto será mínimo ya que la nueva altura del poste de PG&E (34'-0") será comparable a la altura del poste existente (30'-10") y el aumento se realiza a la cantidad mínima necesaria para satisfacer las normas de separación de seguridad de energía.
- 3) El impacto visual del proyecto se minimizará ya que todas las antenas y equipos auxiliares asociados se colocarán dentro de recintos rectangulares.
- 4) Según la confirmación por correo electrónico recibida del solicitante, Modus LLC., el 28 de mayo de 2021, el equipo auxiliar montado verticalmente en la parte inferior del poste (y que se pintará del mismo color del poste) deberá estar al menos a 8 pies sobre el nivel del suelo para garantizar una mejor visibilidad al parque.

PAUNAWA NG PANGHULING PAGPAPASIYA UPANG APRUBAHAN ANG ISANG PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Petsa: 07/14/2021

London N. Breed
Mayor

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Blg. ng Aplikasyon: 21WR-00002
Pangalan ng Aplikante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi)

Naprubahan sa wakas ng San Francisco Public Works ang Aplikasyon sa itaas para sa Permisong ng Personal na Wireless Service Facility Site malapit sa 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi) isinumite ni **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Ang antena at iba pang kagamitan na i-install sa lugar na ito ay kasama ang: 3 antena 5G at kagamitan enclosures. Naka-attach dito ang isang de-letratong simulation ng inaprubahang Personal Wireless Service Facility.

Pagawaing Bayan na natugunan ng Aplikasyon ang mga angkop na kinakailangan ng Kodigo ng Pagawaing Bayan: Mangyaring tingnan ang Attachment 1 upang matingnan ang mga kundisyon ng huling pag-apruba.

Sa loob ng (15) araw ng kalendaryo mula sa petsa ng abisong ito, maaaring i-apela ng sinumang tao sa Board of Appeals ang paglabas ng permisong ito. Kailangang isumite mismo ng apela o ng ahente ng humihingi ng apela ang mga apela. Para sa higit pang impormasyon tungkol sa proseso ng apela, mangyaring makipag-ugnayan mismo sa Konseho ng Pag-aapela sa 628-652-1150 o boardofappeals@sfgov.org. **Maaari mo ring bisitahin ang sfgov.org/bdappeal para sa mga tagubilin tungkol sa pagsampa ng isang apela at para sa pangkalahatang impormasyon tungkol sa proseso ng pag-apela.**

Ang apela ay dapat na batay sa isa o higit pa sa mga sumusunod na dahilan:

1. Maling natukoy ng Kagawaran ng Pambalikong Kalusugan na ang Aplikasyon ay alinsunod sa Pamantayan ng Pagsunod sa Pamublikong Kalusugan (tinganan ang Kodigo ng Pagawaing Bayan § 1507(b)).
2. Aplikasyon hindi ang nalalapit na Pamantayan ng Pagkakatugma para sa mga sumusunod na kadahilanan:
 - a. Maling natukoy ng Kagawaran ng Pagpapalano na natutugunan ng Pagpapalano Pamantayan ng Pagkakatugma (Kodigo ng Pagawaing Bayan § (1509(b))).
 - b. Maling naitukoy ng Departamento ng Recreation at Park na ang Aplikasyon ang matugunan ang Pamantayan ng Compatability ng Tier C (tingnan ang Public Works Code § 1510(b)).
3. Hindi naaayon ang Aplikasyon sa anumang kinakailangan para sa pagkuha ng isang Personal Wireless Service Facility Site Permit.

Upang makakuha ng karagdagang impormasyon tungkol sa Aplikasyon at final approval, makipag-ugnay kay Yadira Cerrato, kinatawan ng Verizon Wireless sa 415-989-1102 o ycerrato@modus-corp.com. Maaari ka ring makipag-ugnayan kay San Francisco Pagawaing Bayan sa 628-271-2000.

Programa sa Wireless ng Pagawaing Bayan

Attachment 1

Mga Kondisyon ng Pagawaing Bayan ng San Francisco:

1. Ang pagpapasiya ito ay batay sa inilarawang mga guhit at/o de-letratong simulation. Kung iba man ang paglalagay mula sa mga nasabing kondisyon, isang bagong aplikasyon kailangan itong isumite muli sa (mga) Kagawaran para sa higit pang pagsusuri at puna.
2. Mga Down Guy: Sundin ang lahat ng kodigo sa paghuhukay upang makuha ang mga kinakailangang pahintulot para sa paglalagay ng mga down guy. Dapat iwasan ng down guy ang pagtawid sa mga di-akmang lugar kasama ang, ngunit hindi limitado sa, mga daanan ng sasakyan at mga ramp sa gilid ng bangketa.
3. Sumunod sa mga iniaatas ng kodigong ADA para sa mga Pederal na batas, batas ng Estado, o lokal na batas.
4. Sa pagtatapos ng trabaho, magbibigay ng isang set ng mga ginawang litrato ng installation para sa Bureau Street Use & Mapping Permit Office.
5. Magpanatili ng isang may bisang sertipikasyon ng kasiguraduhan taun-taon at magbigay ng isang kopya sa Opisina ng Pagpapahintulot ng Kawanihan ng Paggamit ng Kalsada at Pagmamapa.

Mga Kondisyon ng Kagawaran ng Pampublikong Kalusugan ng San Francisco:

- Tiyaking anumang kagamitang may kinalaman sa paglalagay ng poste ng antenang ito ay hindi gagawa ng ingay na lampas sa 45 dBA kapag sinukat sa layong tatlong (3) talampakan mula sa pinakamalapit na harapan ng residensyal na gusali.
- Siguruhin na walang mga okupadong pampublikong lugar na may layong walong (8) talampakan mula sa harapan ng antena Ericsson.
- Sa oras na mailagay ang antena, kinakailangang kumuha ang Verizon ng mga RF na sukat ng power density habang ang antena ay ganap na tumatakbo nang buong lakas upang masuri ang antas na inulat sa ulat ng Hammett at Edison at upang matiyak na ang FCC na antas ng public exposure ay hindi higit sa anumang lugar na napupuntahan ng publiko. Kailangang kunin ulit ang sukat na ito sa oras ng pag-renew ng permiso.
- Kinakailangang alam ng Verizon na ang publiko ay maaaring may mga alalahanin tungkol sa antena at ang potensiyal na pagmumulan ng RF source na malapit sa kanilang mga tirahan. Ang Verizon ay kinakailangang may paraan sa pagkuha ng mga RF na antas ng power density sa mga kalapit na tirahan kung hiniling ng mga miyembro ng publiko.
- Alinsunod sa San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Responsable ang Verizon sa pagbabayad ng halagang \$210.00 sa San Francisco Department of Public Health para sa rebisyong ito.

Pakitandaan na ang pag-aprubang ito at anumang kondisyon ay nalalapat lamang sa kagamitan at paglalagay tulad ng inilarawan. Kung may ginawang anumang pagbabago sa kagamitan o anumang pagtaas sa epektibong radiated power na inilarawan sa itaas, kailangang isagawa ng Kagawaran ng Pampublikong Kalusugan ang isang bagong pagsusuri.

Mga Kondisyon ng Kagawaran ng Pagpapalano ng San Francisco:

1. Magtanim at magpanatili ng naaakmang puno sa kalsada.
2. Ang antena at lahat ng kagamitan (panlabas na conduit, mga radio relay unit, mga blinder na ginagamit upang balutin ang mga bracket na trangka [kung kinakailangan], at mga mekanismo sa pagkakabit); maliban sa karatula, kung ginagamit para sa pagsasala, kinakailangang pinturahan ang lahat upang bumagay sa poste at muling pinturahan kung kinakailangan.
3. Alisin ang mga nakaangat na karatula ng kagamitan (kabilang ang pagpupuno sa mga manufacturer logo indentation sa mga radio relay unit/kabinet) at mga kagamitang decal na maaaring makita mula sa bangketa at tirahan, maliban kung iniaatas ng regulasyon ng gobyerno.
4. Gamitin ang pinakamaliit na RF na karatulang pangbabala na pinahihitulutan (4 x 6 pulgada); at ilagay ang pangbabalang sticker nang nakaharap sa kalsada, sa isang lokasyong malapit sa antena, kung maaari. Kinakailangang nakaharap nang papalayo sa kalsada ang sticker, kung hindi nakaharap sa isang kalapit na bintana sa loob ng 15 talampakan. Dapat tumugma ang background na kulay ng sticker sa surface na pinagkakabitan nito sa poste; at ang logo at sulat ay dapat kulay puti.
5. Ang mga enclosure ng salansan ng kagamitan (hindi kasama ang antena) ay maaaring magkalapit hangga't pinahihintulutan ng mga naaangkop na regulasyon at mga pamantayan sa kagamitan ng manufacturer.
6. Ang mga seam at trangka/turnilyo sa assembly area ng antena at pagbabalot ay kinakailangang gawin at ikabit sa paraang hindi nakikita ang mga ito (hal. mga flush mounting na turnilyo) mula sa lebel ng bangketa.
7. Huwag gumamit ng anumang nakikitang ilaw na flashing indicator o katulad nito.
8. Huwag harangan ang pangitain, o di kaya ang ilaw sa kahit na anong katabing bintana.
9. Ang mga bagong enclosure excavation sa ilalim ng lupa (vault), kung ginamit, ay hindi dapat makasira o maalisa ang mga granite na curb. Walang kapansing-pansing siwang ang dapat malikha sa pagitan ng takip ng bakod ng vault at pangunahing materyal ng bangketa dahil sa paglalagay. Ang anumang iba pang umiiral na makasaysayang elementong arkitektural sa loob ng pampublikong right-of-way ay dapat panatilihin at protektahan sa panahon ng paglalagay. Walang maaaring ilagay na logo o pangalan ng carrier sa takip ng vault.
10. Ang mga hindi mahalagang radio relay unit element (hawakan at mga binti) ay tatanggalin.
11. Ang tagalagay ay kinakailangang ihanda ang mga tauhan ng Kagawaran ng Pagpapalano suriin ang unang paglalagay, upang matiyak ang pagsunod sa mga nabanggit na kondisyon (hindi kabilang mga inspeksyon ng may-ari ng poste at ang Kagawaran ng Pagawaing Bayan).
12. Siguraduhing ang mga Access Points ng Wi-Fi at mga kasamang wiring, na ginagamit ng City's Department of Technology, Ay hindi masisira habang ini-install (kung meron).
13. Kung mag-iba man ang paglalagay mula sa mga nasabing kondisyon, muling isusumite ang aplikasyon sa Kagawaran ng Pagpapalano para sa higit pang pagsusuri at puna.

Mga Kondisyong ng Kagawaran ng Recreation & Parks:

- 1) Ang massing profile ng proyekto ay halos hindi makikita dahil ito ay binubuo ng tatlong 21" taas x 8" ang lapad x 5" malalim na naka-mount na mga antena na naka-gilid sa itaas na bahagi ng poste (26'-1" hanggang 27'-10" sa taas) sa labas ng mga linya ng paningin sa o mula sa parke.
- 2) Ang profile ng taas ng proyekto ay magiging minimal dahil ang bagong taas ng poste ng PG&E (34'-0 ") ay maihahambing sa umiiral na taas ng poste (30'-10") at nadagdagan sa kaunting halaga na kinakailangan upang masiyahan ang mga pamantayan ng paghihiwalay sa kaligtasan ng kuryente.
- 3) Ang biswal na epekto ng proyekto ay mababawasan sa lahat ng mga antena at nauugnay na kagamitan na pandagdag ay maikukulong sa loob ng mga parihabang enclosure.
- 4) Ang bawat kumpirmasyon sa email na natanggap mula sa aplikante, Modus LLC., Noong Mayo 28, 2021, ang patayo na naka-mount na kagamitan na pandagdag (pininturahan upang maitugma ang kulay ng poste) sa mas mababang bahagi ng poste ay dapat na hindi bababa sa 8 talampakan sa itaas ng grado upang mas matiyak ang paningin pag-access sa parke.

From: [NorCal Public Inquires](#)
Bcc: [NorCal Public Inquires](#); [info@podersf.org](#); [pna@portolasf.org](#); [nmtiasf@gmail.com](#); [sfommra@gmail.com](#); [ppapadopoulos@medasf.org](#); [scajina@eagsf.org](#); [ahsha.safai@sfgov.org](#); [Tim.H.Ho@sfgov.org](#); [Monica.Chinchilla@sfgov.org](#); [Geoffrea.Morris@sfgov.org](#); [Lauren.L.Chung@sfgov.org](#); [Ernest.E.Jones@sfgov.org](#); [sw8644@sherwin.com](#); [jcastleberry05@gmail.com](#); [melfloressf@gmail.com](#); [sfplanningdepartment@onebayview.com](#); [havelockstreetbridge@gmail.com](#); [CIAPres@hotmail.com](#); [cayugaimprovement@gmail.com](#)
Subject: Notice of Final Determination to Approve - Excelsior 025 - 21WR-00002 adj to 500 Felton St
Date: Wednesday, July 14, 2021 10:51:00 AM
Attachments: [Excelsior 025 FD Email Notification 21WR-00002.pdf](#)

Verizon Wireless is happy to announce that it will soon be improving coverage and data capacity to its network in your neighborhood. The improved wireless coverage will help accommodate the growing number of wireless calls and data use on the Verizon Wireless network. The Verizon Wireless small cell site will greatly enhance service capacity with the most aesthetically discrete technology available today.

In order to make these upgrades, Verizon Wireless is proposing a small cell on a replacement PG&E wood pole located in the Public Right-of-Way adjacent to 500 Felton St, San Francisco, CA 94134.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see attached Final Determination notice to view the final approval.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Date: 07/14/2021

Application No.: 21WR-00002

Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

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San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

The antenna and other equipments to be installed at this location include Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-652-1150 or boardofappeals@sfgov.org. **You may also visit sfgov.org/bdappeal for instructions concerning filing an appeal and for general information concerning the appeals process.**

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 1507(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reason(s):
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Attachment 1

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud

bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.

3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated

ancillary equipment will be encased within rectangular enclosures.

- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

view from Somerset Street looking southwest at site

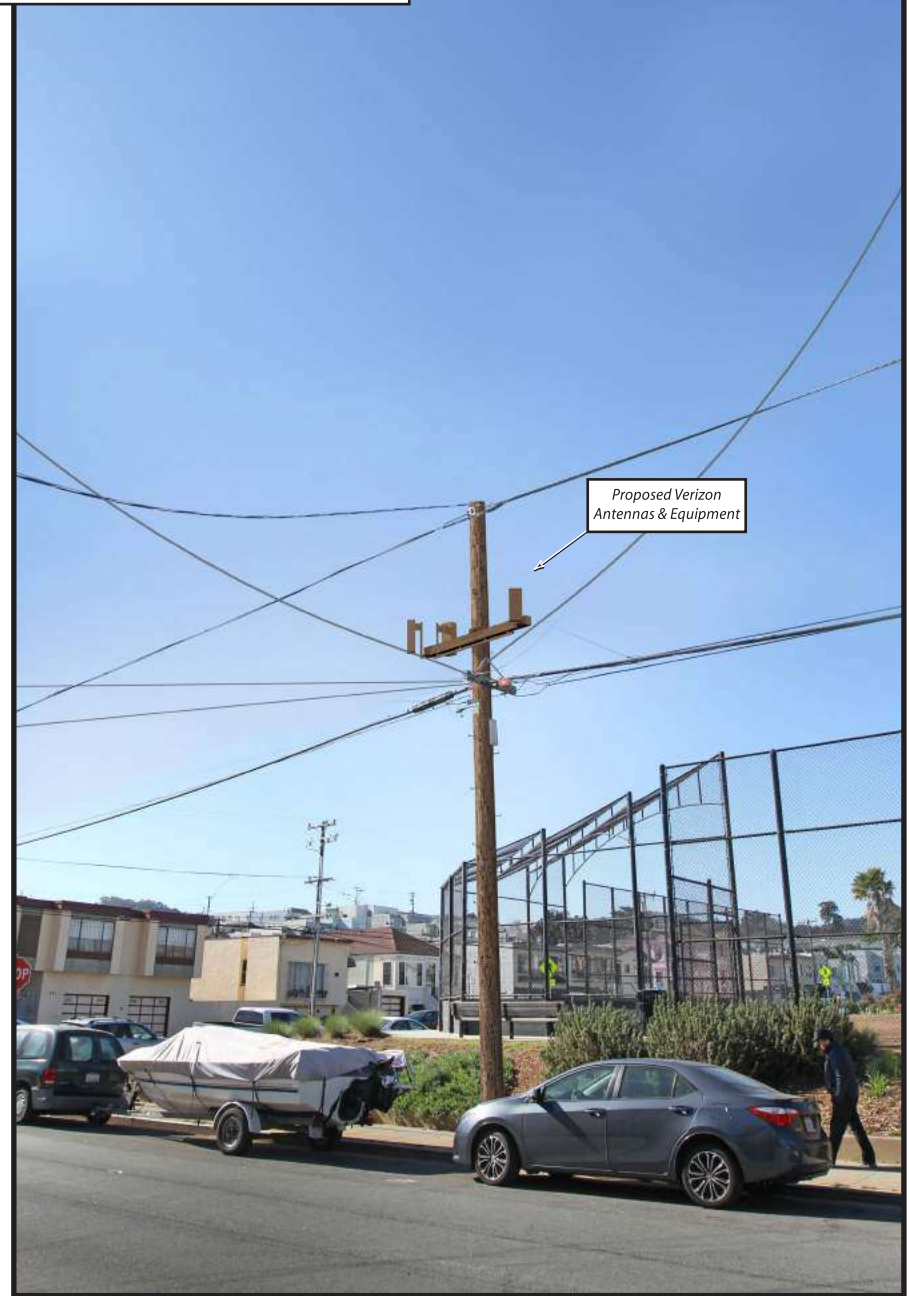


SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing



Proposed



Proposed Verizon
Antennas & Equipment



view from Somerset Street looking northwest at site



SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing

Proposed



Proposed Verizon
Antennas & Equipment



最後裁定興建個人無線服務設施據點許可 之申請案公告通知



日期：07/14/2021

申請案編號：21WR-00002

申請人姓名：**GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

位置：Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
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Suite 300
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Phone: (628) 271-2000

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舊金山公共工程署最終核准有關於在 Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側) 由 **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)** 所提交的鄰近區域，興建個人無線服務設施據點的上述申請案。

天線等設備將安裝之設備包括: 三 (3) 台 5G 天線和兩個設備外殼。在此附上經核准的個人無線服務設施照片模擬資料圖。

公共工程已確定該申請滿足公共工程法規的適用要求。請參閱附件1以查看最終批准條件。

自本通知核發的十五 (15) 日內，任何人都能向上訴委員會就本許可的核發提出上訴。上訴人或其代理人必須親自提起上訴。有關上訴程序的更多資訊，請致電628-652-1150與上訴委員會聯繫，或透過電子郵件聯繫 boardofappeals@sfgov.org。您也可以訪問 sfgov.org/bdappeal，以獲取有關提出申訴的說明以及有關申訴程序的一般信息。

上訴必須以下列一或多項觀點做為立論基礎：

1. 公共衛生署錯誤判定申請案符合公共衛生法規遵循標準（參見公共工程署規章 § 1507(b)）。
2. 該應用程序不符合適用的兼容性標準，原因如下：
 - a. 規劃署錯誤判定申請案符合規劃保護或區域保護之相容性標準（Planning Compatibility Standard）（參見公共工程署規章 § (1509(b))）。
 - b. 康樂與公園署錯誤判定申請案符合 Tier C 遵循標準（參見公共工程署規章 § (1510(b))）。
3. 申請案不符合任何其他取得個人無線服務設施據點許可的要求。

如欲取得更多關於申請案與最終核准之資訊，您可透過 415-989-1102及 ycerrato@modusllc.com 與 Verizon Wireless 之 Yadira Cerrato 聯絡。詳情請洽詢舊金山公共工程署的電話：628-271-2000。

公共工程署無線計畫

附件1

舊金山公共工程署條件：

1. 本建議是以與描繪之圖例和／或照片模擬之精準情況為基礎。若安裝與所述情況有任何差異，一個新的應用應重新提交至相關各署，進一步進行審核和評估。
2. 地錨拉線：請遵守所有開挖規章，以取得放置地錨拉線的必要許可。地錨拉線應避開十字路口交會區，但不限定於車道、路緣坡道。
3. 遵循聯邦、各州、地方法律之 ADA 規章規定。
4. 在完工時，應對街道使用和勘測製圖許可局提供一組安裝的建構照片。
5. 每年皆應維持一份有效的保險憑證，並將一份複本轉送給街道使用和勘測製圖許可局。

舊金山公共衛生署條件：

- 確保本天線之電線桿安裝相關之任何設備，在從最近居住建築物牆面至少三 (3) 英尺測量時，皆不得發出超過 45 dBA 之噪音。
- 確保距離天線八 (8) 英尺範圍內，無任何公有用地。
- 一旦安裝天線之後，Verizon 就必須在天線以全功率運作的情況下執行射頻 (RF) 密度測量，確認在 Hammett 和 Edison 報告中的等級，並確保在任何公共空間中皆不得超過 FCC 公共空間曝露值。應在更新許可時重新進行本測量。
- Verizon 應知悉一般民眾可能會對其住所附近的任何天線和潛在射頻 (RF) 來源感到疑慮。Verizon 應在一般民眾要求時，在附近建築物放置檢測射頻 (RF) 密度等級之設施。
- 根據舊金山公共衛生署規章第 25 條第 1527 (a)(2)(C) 小節，Verizon 需負責對舊金山公共衛生署支付 \$210.00 美元之審核費用。

請注意，本核准和任何條件僅適用於本文所指涉之設備和安裝設施。若設備有任何變更或增加前述之有效輻射功率，就必須由公共衛生署實施新審核。

舊金山規劃署條件：

1. 種植和維護適當之街道樹木。
2. 天線，以及除看板之外之任何用來遮蔽的所有設備（外部導線、無線電中繼系統、用來遮蔽托架螺栓之遮罩 [如果需要] 和安裝設施），皆應漆上與電線桿同色之油漆，或視需要重新油漆。
3. 拆除任何可從人行道和住所看到之非政府法規規定以外的凸出設備看板和設備貼紙（包括無線電中繼系統／機櫃中的製造商標誌凹口內的填充物）。
4. 可使用最小型的射頻警告看板（4 x 6 吋），並儘可能在靠近天線的位置放置面向外面街道的警告貼紙。貼紙應面朝街道，但不面朝 15 英尺範圍內之附近窗戶。貼紙之背景色應與柱式安裝表面相符，而標誌及文字應為白色。
5. 應在適用法規和製造商設備標準之許可範圍內，儘可能緊密圍住疊架設備（不包括天線）。
6. 天線處之接合口和網罩組件區域之螺栓／螺絲，應以儘可能降低其從人行道上目

- 測可見程度之方式製造及安裝（例如齊平式安裝螺絲）；
7. 不得使用任何明顯之閃光指示燈或類似設備。
 8. 不阻礙視線或阻擋光線照射任何相鄰住宅窗戶。
 9. 若使用新的地下機箱開鑿（圓拱），則不得損壞或去除花崗岩緣石。不得因為安裝設備，而在圓拱機箱蓋和主要人行道材質之間造成重大間隙。公共道路用地內的任何其他現有歷史建築體，皆應在安裝設備時予以維持和保護。在圓拱蓋上不得標示任何電信商標誌或電信商名稱。
 10. 應拆除非必要的無線電中繼系統元件（把手和腳架）。
 11. 安裝人員應安排規劃署人員審查初步安裝作業，藉以確保遵守上述所有條件（不論是由電線桿所有人或公共衛生署檢驗）。
 12. 確保城市技術部門使用的Wi-Fi接入點和相關線路在安裝過程中不會受損（如果有）。
 13. 若安裝與所述情況有任何差異，應重新提交至規劃署，進一步審核和評估。

三藩市康樂與公園署條件：

- 1) 該項目的體量輪廓將最小可見，因為它將由三個 21 英寸高 x 8 英寸寬 x 5 英寸深的側裝集成天線組成，位於桿的上部（26 英尺-1 英寸到 27 英尺-10 英寸高度）在進入或離開公園的視線之外。
- 2) 由於新的 PG&E 桿高 (34 英尺-0 英寸) 將與現有桿高 (30 英尺-10 英寸) 相當，並且增加到滿足電力安全隔離標準所需的最小量，因此項目高度輪廓將是最小的。
- 3) 該項目的視覺影響將被最小化，因為所有天線和相關的輔助設備都將被封裝在矩形外殼內。
- 4) 根據申請人 Modus LLC. 於 2021 年 5 月 28 日收到的電子郵件確認，桿下部垂直安裝的輔助設備（塗漆以匹配桿顏色）應至少高出地面 8 英尺，以更好地確保視覺進入公園。

AVISO DE DETERMINACIÓN FINAL PARA APROBAR LA INSTALACIÓN DE UN EMPLAZAMIENTO DE SERVICIO MÓVIL PERSONAL



Fecha: 07/14/2021

London N. Breed
Mayor

No. de solicitud: 21WR-00002

Nombre del solicitante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Alaric Degrafinried
Acting Director

Ubicación: 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental)

Nicolas Huff
Bureau Manager

Obras Públicas de San Francisco ha finalmente aprobado la solicitud de permiso para la instalación de un emplazamiento de servicio móvil personal antes mencionada en las proximidades de 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental) presentada por **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

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La antena y otros equipos que se instalará en esta ubicación incluye: 3 antenas 5G y cajas de equipamiento. Se adjunta una simulación de la foto del emplazamiento de servicio móvil personal aprobado al presente documento.

Obras Públicas determinó que la solicitud cumplía con los requisitos correspondientes de la norma de Obras Públicas: Consulte el Anexo 1 para ver las condiciones de la aprobación final.

Dentro de los quince (15) días calendario de esta notificación, cualquier persona puede apelar la emisión de este permiso ante la Junta de Apelaciones. Las apelaciones deben realizarse por el apelante o por su agente. Por mayor información acerca del proceso de apelación, póngase en contacto con la Junta de Apelaciones al 628-652-1150 o boardofappeals@sfgov.org. **También puede visitar sfgov.org/bdappeal para obtener instrucciones sobre cómo presentar una apelación y para obtener información general sobre el proceso de apelación.**

La apelación debe basarse en uno o más de los siguientes motivos:

1. El Departamento de Salud Pública determinó incorrectamente que la solicitud cumple con la Norma de Cumplimiento de Salud Pública (consulte la Norma de Obras Públicas No. 1507(b)).
2. La solicitud no cumple con la Norma de Compatibilidad aplicable por la siguiente razón:
 - a. El Departamento de Planificación determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad aplicable (consulte la Norma de Obras Públicas No. (1509(b)).
 - b. El Departamento de Recreación y Parque determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad de nivel C (consulte la Norma de Obras Públicas No. 1510(b)).
3. La solicitud no cumple con cualquier otro requisito para la obtención de un permiso de un emplazamiento de servicio móvil personal.

Para obtener información adicional sobre la apelación y la aprobación final, puede comunicarse con

Yadira Cerrato de Verizon Wireless al 415-989-1102 o escribirle a ycerrato@modus-corp.com. También puede comunicarse con Obras Públicas de San Francisco al 628-271-2000.

Programa inalámbrico de Servicios Públicos

Anexo 1

Condiciones de Servicios Públicos de San Francisco:

1. Esta determinación se basa en los dibujos y/o la simulación de la foto. Si la instalación difiere de dichas condiciones, se debe volver a enviar una nueva solicitud a los departamentos para su revisión y comentarios adicionales.
2. Riendas: Siga todas las normas de excavación para obtener los permisos necesarios para la colocación de las riendas. Las riendas deberán evitar cruzar zonas en conflicto, pero no quedan limitadas a las calzadas o a las rampas del cordón.
3. Cumpla con los requisitos de la norma ADA y las leyes federales, estatales y locales.
4. Al finalizar la obra, deberá proporcionar un conjunto de fotos de la instalación con la obra terminada a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.
5. Mantenga una certificación válida del seguro anual y envíele una copia a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.

Condiciones del Departamento de Salud Pública de San Francisco:

- Asegúrese de que todo equipo relacionado con la instalación del poste de esta antena no produzca un ruido superior a 45 dBA, medido a tres (3) pies de la fachada del edificio residencial más cercano.
- Asegúrese de que no haya zonas ocupadas públicamente dentro de los ocho (8) pies del frente de la antena Ericsson.
- Una vez instalada la antena, Verizon debe tomar medidas de densidad de potencia de RF con la antena funcionando a plena potencia para verificar el nivel reportado en el informe Hammett y Edison y para asegurar que no se exceda el nivel de exposición pública de la FCC en ningún área de acceso público. Esta medición debe realizarse nuevamente en el momento de la renovación del permiso.
- Verizon debe ser consciente de que el público en general puede tener inquietudes acerca de la antena y de la fuente potencial de RF cerca de sus viviendas. Verizon debe disponer de un procedimiento para la toma de los niveles de densidad de potencia de RF en las viviendas cercanas cuando sea solicitado por los miembros del público en general.
- De acuerdo con la Norma de Obras Públicas de San Francisco, Artículo 25, Sección 1527 (a) (2) (C) Verizon es responsable de pagar una cuota de \$ 210,00 al Departamento de Salud Pública de San Francisco para esta revisión.

Tenga en cuenta que esta aprobación y las condiciones se aplican sólo a los equipos y a la instalación como se describe. Si se realiza algún cambio en el equipo o se aumenta la potencia radiada efectiva indicada anteriormente, el Departamento de Salud Pública deberá realizar una nueva revisión.

Condiciones del Departamento de Planificación de San Francisco:

1. Plante y mantenga un árbol apropiado en la acera.
2. La antena, y todo el equipo (conducto externo, unidades de radio enlace, cegadores utilizados para cubrir los pernos de soporte [si fuera necesario], y los mecanismos de montaje); salvo la señalización, si se utiliza para detección, todos serán pintados del mismo color que el poste y repintados cuando sea necesario.
3. Remueva la señalización de los equipos elevados (incluyendo el rellenado de las muescas del logotipo del fabricante en las unidades de radioenlace/gabinetes) y pegatinas en equipos que puedan verse desde la acera y las viviendas, a menos que sea requerido por regulaciones gubernamentales.
4. Utilice la señalización de advertencia de RF más pequeña que se permita (4 x 6 pulgadas); y coloque la pegatina de advertencia apuntando hacia afuera, hacia la calle, lo más cercano a la antena como sea posible. La pegatina debe apuntar hacia el otro lado de la calle, cuando no esté frente a una ventana cercana dentro de los 15 pies. El color de fondo de la pegatina debe coincidir con el color de la superficie del poste de montaje; y el logotipo y el texto deben ser blancos.
5. Apile los gabinetes de los equipos (excepto la antena) tan cerca como sea permitido por las reglamentaciones correspondientes y las normas del fabricante de los equipos.
6. Las costuras y los pernos/tornillos en la antena y en el área de la cubierta deben estar fabricados e instalados de una manera tal que reduzca su visibilidad (por ejemplo, tornillos de montaje al ras) desde la acera.
7. No utilice ningún indicador luminoso intermitente visible o algo similar.
8. No obstruir la vista o la luz que entre por cualquier ventana residencial adyacente.
9. Las nuevas excavaciones para recintos por debajo del suelo (bóvedas), de utilizarse, no deberán dañar o eliminar cordones de granito. No deben quedar espacios importantes entre la tapa de la bóveda y el material primario de la acera causados por la instalación. Todos los elementos arquitectónicos históricos existentes dentro de la vía pública serán mantenidos y protegidos durante la instalación. No se puede colocar el logotipo ni el nombre de la compañía prestadora del servicio en la tapa de la bóveda.
10. Los elementos no esenciales de la unidad de radioenlace (manija y patas) deben ser eliminados.
11. El instalador se encargará de que el personal del Departamento de Planificación revise la instalación inicial, con el fin de garantizar el cumplimiento de las condiciones antes mencionadas (a pesar de las inspecciones realizadas por el propietario de los postes y del Departamento de Obras Públicas).
12. 14. Verifique que los puntos de acceso de Wi-Fi y el cableado asociado utilizado por el Departamento de Tecnología de la Ciudad No sea dañado durante la instalación (si existe).
13. En caso de que la instalación varíe con respecto a dichas condiciones, deberá volver a presentar la solicitud al Departamento de Planificación para su posterior revisión y comentarios.

Condiciones de Recreación y Parque:

- 1) El perfil de masa del proyecto será mínimamente visible ya que constará de tres antenas integradas laterales de 21" de alto x 8" de ancho x 5" de profundidad en la parte superior del poste (26'-1" a 27'-10" de altura) que queda por fuera de las líneas de visión hacia o desde el parque.

- 2) El perfil de altura del proyecto será mínimo ya que la nueva altura del poste de PG&E (34'-0") será comparable a la altura del poste existente (30'-10") y el aumento se realiza a la cantidad mínima necesaria para satisfacer las normas de separación de seguridad de energía.
- 3) El impacto visual del proyecto se minimizará ya que todas las antenas y equipos auxiliares asociados se colocarán dentro de recintos rectangulares.
- 4) Según la confirmación por correo electrónico recibida del solicitante, Modus LLC., el 28 de mayo de 2021, el equipo auxiliar montado verticalmente en la parte inferior del poste (y que se pintará del mismo color del poste) deberá estar al menos a 8 pies sobre el nivel del suelo para garantizar una mejor visibilidad al parque.

PAUNAWA NG PANGHULING PAGPAPASIYA UPANG APRUBAHAN ANG ISANG PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Petsa: 07/14/2021

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

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Blg. ng Aplikasyon: 21WR-00002
Pangalan ng Aplikante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi)

Naprubahan sa wakas ng San Francisco Public Works ang Aplikasyon sa itaas para sa Permiso ng Personal na Wireless Service Facility Site malapit sa 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi) isinumite ni **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Ang antena at iba pang kagamitan na i-install sa lugar na ito ay kasama ang: 3 antena 5G at kagamitan enclosures. Naka-attach dito ang isang de-letratong simulation ng inaprubahang Personal Wireless Service Facility.

Pagawaing Bayan na natugunan ng Aplikasyon ang mga angkop na kinakailangan ng Kodigo ng Pagawaing Bayan: Mangyaring tingnan ang Attachment 1 upang matingnan ang mga kundisyon ng huling pag-apruba.

Sa loob ng (15) araw ng kalendaryo mula sa petsa ng abisong ito, maaaring i-apela ng sinumang tao sa Board of Appeals ang paglabas ng permisong ito. Kailangang isumite mismo ng apela o ng ahente ng humihingi ng apela ang mga apela. Para sa higit pang impormasyon tungkol sa proseso ng apela, mangyaring makipag-ugnayan mismo sa Konseho ng Pag-aapela sa 628-652-1150 o boardofappeals@sfgov.org. **Maaari mo ring bisitahin ang sfgov.org/bdappeal para sa mga tagubilin tungkol sa pagsampa ng isang apela at para sa pangkalahatang impormasyon tungkol sa proseso ng pag-apela.**

Ang apela ay dapat na batay sa isa o higit pa sa mga sumusunod na dahilan:

1. Maling natukoy ng Kagawaran ng Pambulikong Kalusugan na ang Aplikasyon ay alinsunod sa Pamantayan ng Pagsunod sa Pampublicong Kalusugan (tinganan ang Kodigo ng Pagawaing Bayan § 1507(b)).
2. Aplikasyon hindi ang nalalapit na Pamantayan ng Pagkakatugma para sa mga sumusunod na kadahilanan:
 - a. Maling natukoy ng Kagawaran ng Pagpapalano na natutugunan ng Pagpapalano Pamantayan ng Pagkakatugma (Kodigo ng Pagawaing Bayan § (1509(b))).
 - b. Maling naitukoy ng Departamento ng Recreation at Park na ang Aplikasyon ang matugunan ang Pamantayan ng Compatability ng Tier C (tignan ang Public Works Code § 1510(b)).
3. Hindi naaayon ang Aplikasyon sa anumang kinakailangan para sa pagkuha ng isang Personal Wireless Service Facility Site Permit.

Upang makakuha ng karagdagang impormasyon tungkol sa Aplikasyon at final approval, makipag-ugnay kay Yadira Cerrato, kinatawan ng Verizon Wireless sa 415-989-1102 o ycerrato@modus-corp.com. Maaari ka ring makipag-ugnayan kay San Francisco Pagawaing Bayan sa 628-271-2000.

Programang sa Wireless ng Pagawaing Bayan

Attachment 1

Mga Kondisyon ng Pagawaing Bayan ng San Francisco:

1. Ang pagpapasiya ito ay batay sa inilarawang mga guhit at/o de-letratong simulation. Kung iba man ang paglalagay mula sa mga nasabing kondisyon, isang bagong aplikasyon kailangan itong isumite muli sa (mga) Kagawaran para sa higit pang pagsusuri at puna.
2. Mga Down Guy: Sundin ang lahat ng kodigo sa paghuhukay upang makuha ang mga kinakailangang pahintulot para sa paglalagay ng mga down guy. Dapat iwasan ng down guy ang pagtawid sa mga di-akmang lugar kasama ang, ngunit hindi limitado sa, mga daanan ng sasakyan at mga ramp sa gilid ng bangketa.
3. Sumunod sa mga iniaatas ng kodigong ADA para sa mga Pederal na batas, batas ng Estado, o lokal na batas.
4. Sa pagtatapos ng trabaho, magbibigay ng isang set ng mga ginawang litrato ng installation para sa Bureau Street Use & Mapping Permit Office.
5. Magpanatili ng isang may bisang sertipikasyon ng kasiguraduhan taun-taon at magbigay ng isang kopya sa Opisina ng Pagpapahintulot ng Kawanihan ng Paggamit ng Kalsada at Pagmamapa.

Mga Kondisyon ng Kagawaran ng Pampublikong Kalusugan ng San Francisco:

- Tiyaking anumang kagamitang may kinalaman sa paglalagay ng poste ng antenang ito ay hindi gagawa ng ingay na lampas sa 45 dBA kapag sinukat sa layong tatlong (3) talampakan mula sa pinakamalapit na harapan ng residensyal na gusali.
- Siguruhin na walang mga okupadong pampublikong lugar na may layong walong (8) talampakan mula sa harapan ng antena Ericsson.
- Sa oras na mailagay ang antena, kinakailangang kumuha ang Verizon ng mga RF na sukat ng power density habang ang antena ay ganap na tumatakbo nang buong lakas upang masuri ang antas na inulat sa ulat ng Hammett at Edison at upang matiyak na ang FCC na antas ng public exposure ay hindi higit sa anumang lugar na napupuntahan ng publiko. Kailangang kunin ulit ang sukat na ito sa oras ng pag-renew ng permiso.
- Kinakailangang alam ng Verizon na ang publiko ay maaaring may mga alalahanin tungkol sa antena at ang potensiyal na pagmumulan ng RF source na malapit sa kanilang mga tirahan. Ang Verizon ay kinakailangang may paraan sa pagkuha ng mga RF na antas ng power density sa mga kalapit na tirahan kung hiniling ng mga miyembro ng publiko.
- Alinsunod sa San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Responsable ang Verizon sa pagbabayad ng halagang \$210.00 sa San Francisco Department of Public Health para sa rebisyong ito.

Pakitandaan na ang pag-aprubang ito at anumang kondisyon ay nalalapat lamang sa kagamitan at paglalagay tulad ng inilarawan. Kung may ginawang anumang pagbabago sa kagamitan o anumang pagtaas sa epektibong radiated power na inilarawan sa itaas, kailangang isagawa ng Kagawaran ng Pampublikong Kalusugan ang isang bagong pagsusuri.

Mga Kondisyon ng Kagawaran ng Pagpapalano ng San Francisco:

1. Magtanim at magpanatili ng naaakmang puno sa kalsada.
2. Ang antena at lahat ng kagamitan (panlabas na conduit, mga radio relay unit, mga blinder na ginagamit upang balutin ang mga bracket na trangka [kung kinakailangan], at mga mekanismo sa pagkakabit); maliban sa karatula, kung ginagamit para sa pagsasala, kinakailangang pinturahan ang lahat upang bumagay sa poste at muling pinturahan kung kinakailangan.
3. Alisin ang mga nakaangat na karatula ng kagamitan (kabilang ang pagpupuno sa mga manufacturer logo indentation sa mga radio relay unit/kabinet) at mga kagamitang decal na maaaring makita mula sa bangketa at tirahan, maliban kung iniaatas ng regulasyon ng gobyerno.
4. Gamitin ang pinakamaliit na RF na karatulang pangbabala na pinahihitulutan (4 x 6 pulgada); at ilagay ang pangbabalang sticker nang nakaharap sa kalsada, sa isang lokasyong malapit sa antena, kung maaari. Kinakailangang nakaharap nang papalayo sa kalsada ang sticker, kung hindi nakaharap sa isang kalapit na bintana sa loob ng 15 talampakan. Dapat tumugma ang background na kulay ng sticker sa surface na pinagkakabitan nito sa poste; at ang logo at sulat ay dapat kulay puti.
5. Ang mga enclosure ng salansan ng kagamitan (hindi kasama ang antena) ay maaaring magkalapit hangga't pinahihintulutan ng mga naaangkop na regulasyon at mga pamantayan sa kagamitan ng manufacturer.
6. Ang mga seam at trangka/turnilyo sa assembly area ng antena at pagbabalot ay kinakailangang gawin at ikabit sa paraang hindi nakikita ang mga ito (hal. mga flush mounting na turnilyo) mula sa lebel ng bangketa.
7. Huwag gumamit ng anumang nakikitang ilaw na flashing indicator o katulad nito.
8. Huwag harangan ang pangitain, o di kaya ang ilaw sa kahit na anong katabing bintana.
9. Ang mga bagong enclosure excavation sa ilalim ng lupa (vault), kung ginamit, ay hindi dapat makasira o maalisa ang mga granite na curb. Walang kapansing-pansing siwang ang dapat malikha sa pagitan ng takip ng bakod ng vault at pangunahing materyal ng bangketa dahil sa paglalagay. Ang anumang iba pang umiiral na makasaysayang elementong arkitektural sa loob ng pampublikong right-of-way ay dapat panatilihin at protektahan sa panahon ng paglalagay. Walang maaaring ilagay na logo o pangalan ng carrier sa takip ng vault.
10. Ang mga hindi mahalagang radio relay unit element (hawakan at mga binti) ay tatanggalin.
11. Ang tagalagay ay kinakailangang ihanda ang mga tauhan ng Kagawaran ng Pagpapalano suriin ang unang paglalagay, upang matiyak ang pagsunod sa mga nabanggit na kondisyon (hindi kabilang mga inspeksyon ng may-ari ng poste at ang Kagawaran ng Pagawaing Bayan).
12. Siguraduhing ang mga Access Points ng Wi-Fi at mga kasamang wiring, na ginagamit ng City's Department of Technology, Ay hindi masisira habang ini-install (kung meron).
13. Kung mag-iba man ang paglalagay mula sa mga nasabing kondisyon, muling isusumite ang aplikasyon sa Kagawaran ng Pagpapalano para sa higit pang pagsusuri at puna.

Mga Kondisyong ng Kagawaran ng Recreation & Parks:

- 1) Ang massing profile ng proyekto ay halos hindi makikita dahil ito ay binubuo ng tatlong 21" taas x 8" ang lapad x 5" malalim na naka-mount na mga antena na naka-gilid sa itaas na bahagi ng poste (26'-1" hanggang 27'-10" sa taas) sa labas ng mga linya ng paningin sa o mula sa parke.
- 2) Ang profile ng taas ng proyekto ay magiging minimal dahil ang bagong taas ng poste ng PG&E (34'-0 ") ay maihahambing sa umiiral na taas ng poste (30'-10") at nadagdagan sa kaunting halaga na kinakailangan upang masiyahan ang mga pamantayan ng paghihiwalay sa kaligtasan ng kuryente.
- 3) Ang biswal na epekto ng proyekto ay mababawasan sa lahat ng mga antena at nauugnay na kagamitan na pandagdag ay maikukulong sa loob ng mga parihabang enclosure.
- 4) Ang bawat kumpirmasyon sa email na natanggap mula sa aplikante, Modus LLC., Noong Mayo 28, 2021, ang patayo na naka-mount na kagamitan na pandagdag (pininturahan upang maitugma ang kulay ng poste) sa mas mababang bahagi ng poste ay dapat na hindi bababa sa 8 talampakan sa itaas ng grado upang mas matiyak ang paningin pag-access sa parke.

Subject: Excelsior 011 and 025 Final Determination Email Notification

From: "Keener, Christine E" <christine.keener@verizon.com>

Date: 9/27/2021, 4:03 PM

To: Hillary.Ronen@sfgov.org

CC: Amy.Beinart@sfgov.org, "Lerma, Santiago (BOS)" <Santiago.Lerma@sfgov.org>

Good afternoon Supervisor Ronen,

When it became apparent at a Board of Appeals hearing this month that the Planning Department had not provided Verizon Wireless with accurate Board of Supervisors address information for proposed small cell wireless facilities, we immediately requested a 60-day continuance of the hearing to advise you of these projects and provide you with all required noticing. Providing your office with accurate and transparent notice and information of small cell projects in your district is of utmost importance to Verizon Wireless.

Attached to this email are notices for two projects, one at 231 Dwight Street and the other at 500 Felton Street. The notices include detailed information about the proposed facilities, including photo simulations. We would like to make ourselves available to answer any questions you may have regarding these proposed small cell wireless facilities that are designed to enhance and improve Verizon Wireless service in your district.

Verizon Wireless continues to experience exponentially growing demand for its wireless services, and is actively working with the San Francisco Department of Public Works, SFPUC, MTA, and PG&E to make these services available with facilities attached to San Francisco streetlights and utility poles using designs meeting strict aesthetic standards.

I would be most pleased to meet with you or your staff to review Verizon Wireless's small cell plans in your district and our goal to bring enhanced Verizon Wireless services to your constituents.

Best,

Christine

--



Christine Keener

Director, Government and Community Affairs
State Government Affairs

M 415 417 4290
201 Spear Street
San Francisco, CA 94105



— Attachments: —

Excelsior 011_21WR-00051_FD Noticing Package 2[1].pdf	4.5 MB
Excelsior 025_Notification_21WR-00002.pdf	4.5 MB

BRIEF(S) SUBMITTED BY RESPONDENT DEPARTMENT(S)



Nicolas Huff, PE, Bureau Manager | Bureau of Street-Use & Mapping
nicolas.huff@sfdpw.org | T. 628.271.2000 | 49 South Van Ness Ave. 3rd Floor, San Francisco, CA 94103

September 30, 2021

President Darryl Honda
Vice President Rick Swig
Commissioner Ann Lazarus
Commissioner Tina Chang
Commissioner Jose Lopez
City and County of San Francisco
Board of Appeals
49 South Van Ness Avenue, Suite 1475
San Francisco, CA 94103

Re: Appeal No. 21-071
Public Works Permit No. 21WR-00002 (500 Felton Street)

Dear President Honda, Vice President Swig, and Commissioners Lazarus, Chang and Lopez:

Public Works submits this response to Appeal No. 21-071 filed by appellant San Francisco Community Empower Center concerning Personal Wireless Service Facility Site Permit No. 21WR-00002 (“Permit”) (“Permit”) issued to GTE Mobilnet California, L.P. (“Verizon Wireless”) under Article 25 of the Public Works Code. The Permit authorized Verizon Wireless to install a Personal Wireless Service Facility (“Wireless Facility”) in the vicinity of 500 Felton Street.

Under Article 25, Public Works is authorized to issue Personal Wireless Service Facility Site Permits allowing the permittees to install Personal Wireless Service Facilities on existing utility poles. As required by Article 25, after Verizon Wireless

submitted its application for Permit No. 21WR-00002 (“Application”), Public Works referred the Application to the Planning Department, the Department of Public Health, and the Recreation and Parks Department. The Planning Department found that the proposed Wireless Facility met the applicable Tier A and B Compatibility Standards and, therefore, recommended approval of the Application. (See Planning Department letter dated May 7, 2021 (Exhibit A).) The Department of Public Health (“DPH”) found that the proposed Wireless Facility would meet the Public Health Compliance Standard and recommended that Public Works approve the Application. (See Department of Public Health letter dated April 29, 2021 (Exhibit B).) The Recreation and Parks Department (“RPD”) found that the proposed Wireless Facility met the Tier C Compatibility Standard and, therefore, recommended approval of the Application. (See RPD letter dated July 2, 2021 (Exhibit C).)

As a result, Public Works issued a Final Determination Approving the Application (Exhibit D). Verizon Wireless then mailed and posted Notice of the Final Determination. (See Declaration of Mailing Re: Notice of Final Determination of Application for a Personal Wireless Service Facility Site Permit (Exhibit E); and Declaration of Posting Re: Notice of Determination of Application for a Personal Wireless Service Facility Site Permit (Exhibit F).) Verizon Wireless also sent an email with the Notice of the Final Determination to Supervisor Safai and local neighborhood groups. (Exhibit G.) Public Works then issued the Permit. (Public Works Permit No. 21WR-00002 (Exhibit H).)

Under Public Works Code section 1515(c), the responsibility of the Board of Appeals (“Board”) on this appeal is to “determine whether the final determination was correct under the provisions” of Article 25. Appellant did not provide reasons for its appeal and did not file the required brief on September 16, 2021. For this reason, Public Works has no basis for determining what grounds appellant believes require the Board to grant its appeal and deny the Permit.

As shown above, Public Works followed all the requirements for issuing the Permit under Article 25. For this reason, the evidence in the record is that Public Works properly issued the Permit. Based on the foregoing, Public Works requests that the Board deny the appeal and approve the Permit.

Very truly yours,

A handwritten signature in black ink, appearing to read "Gregory P. Slocum", written over a horizontal line. The signature is stylized and extends to the right of the line.

Gregory P. Slocum
Commercial Permit Manager

cc: San Francisco Community Empower Center, c/o Theresa Duque, appellant
(teresadunque@sfcec.org)
Paul Albritton, attorney for Verizon Wireless (pa@mallp.com)

Exhibit A: Planning Department letter dated
May 7, 2021



Date: May 7, 2021
DPW Permit No.: 21WR-00002
Planning Case No.: **2021-003820MIS**
Project Address: **500 Felton St - Wireless Verizon PROW WTS Facility Installation**
Wood Pole owned by PG&E
Project Sponsor: GTE Mobilnet of California, Limited Partnership (Verizon Wireless)
Agent – Modus LLC
240 Stockton St, 3rd Fl
San Francisco, CA - 94108
Staff Contact: Kalyani Agnihotri – 628-652-7454
Kalyani.Agnihotri@sfgov.org
Determination: Approved

Department of Public Works Code Article 25 and Order No. 183,440 require review by the Planning Department to determine that the Application for a Tier A or Tier B Personal Wireless Service Facility Site Permit satisfies the applicable Tier A or Tier B Compatibility Standard. An Application for a Tier B Personal Wireless Service Facility Site Permit shall satisfy the Tier B Compatibility Standard for a Zoning and/or a Planning Protected Location, and shall not obstruct the view from or the light into any adjacent residential window. A proposed Personal Wireless Service Facility shall be consistent with the public health, safety, convenience and general welfare and will not unreasonably affect, intrude upon or diminish any identified City resource.

Determination

The Planning Department determines that the proposed Personal Wireless Service Facility **WOULD NOT** significantly detract from the character of the adjacent residential/commercial/mixed-use Districts, Scenic Vistas; or potential and or known historic Buildings; Districts. The Planning Department recommends **APPROVAL WITH CONDITIONS** in conformance with architectural plans dated December 30, 2020 and photo simulations dated January 25, 2021, and associated with DPW Wireless Application No. 21WR-00002.

Findings

The proposed Tier B Personal Wireless Service Facility is to be located in the public right-of-way in a Planning Protected Location, adjacent to 500 Felton Street, and on a street with **Average Street Views**.

The proposed Personal Wireless Service Facility is, on balance, consistent with Article 25 of the Public Works Code and the Objectives and Policies of the General Plan, as follows:

Article 25 Compliance:

- I. The proposed Personal Wireless Service Facility would not significantly degrade the aesthetic attributes that were the basis for the special designation of the building. This site is located adjacent to a Category A – Historic Resource.

The proposed Verizon Wireless personal wireless service facility would be situated within the P (Public Use) district. Public Use District herein referred to as a "P District," is applied to land that is owned by a governmental agency and in some form of public use, including open space.

Planning has determined that the proposed Verizon Wireless personal wireless service facility is designed in a streamlined manner, as proposed it will be located on a replacement pole in the exact location of an existing light pole which would not significantly detract from any of the defining characteristics of the historic resource, average street view P (Public Use) district.

General Plan Compliance:**I. URBAN DESIGN ELEMENT**

The Urban Design Element concerns the physical character and order of the city, and the relationship between people and their environment. The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.1

Recognize and protect major views in the city, with particular attention to those of open space and water.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.9

Review proposals for the giving up of street areas in terms of all the public values that streets afford.

OBJECTIVE 4

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.14

Remove and obscure distracting and cluttering elements.

The project has been designed to reduce, to the best extent possible, the blocking or other impairment of pleasing street views, and preserves an important characteristic of the unique setting and quality of the city.

The project has been designed to maintain, to the best extent possible, views from streets which can provide a means for orientation, and preserves the ability for an observer to perceive the City and its districts clearly.

II. TRANSPORTATION ELEMENT

The Transportation Element concerns pedestrian movement in the city as to ensure the city is safe, convenient, and pleasant as pedestrian travel is an important component of the transportation system. The close-knit fabric of San Francisco, in junction with the dramatic hills and sweeping vistas, makes walking an ideal mode for exploring and moving about the city. The sidewalk is a shared space and provides a strong sense of the overall image of the city.

OBJECTIVE 23

IMPROVE THE CITY'S PEDESTRIAN CIRCULATION SYSTEM TO PROVIDE FOR EFFICIENT, PLEASANT, AND SAFE MOVEMENT.

Policy 23.5

Establish and enforce a set of sidewalk zones that provides guidance for the location of all pedestrian and streetscape elements, maintains sufficient unobstructed width for passage of people, strollers and wheelchairs, consolidates raised elements in distinct areas to activate the pedestrian environment, and allows sufficient access to buildings, vehicles, and streetscape amenities.

The project has been designed to maintain at least four (4) feet unobstructed width for pedestrian passage as outlined in the Pedestrian Network Streets and Design Guidelines of the Transportation Element.

OBJECTIVE 24

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

Policy 24.4

Preserve pedestrian-oriented building frontages.

The project has been designed as a minimally-visible facility to be attached to an existing light/utility pole extant in the public sidewalk. The facility components are designed as an extension to the pole and equipment boxes, with requirements to be painted or shrouded to match the pole further reducing their visibility and any conflicts with the building frontages within the Public Use district.

Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.
3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay

units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.

4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Sincerely,

Kalyani Agnihotri
Kalyani Agnihotri
Kalyani Agnihotri
Planner I

Exhibit B: Department of Public Health letter
dated April 29, 2021



City and County of San Francisco
DEPARTMENT OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH SECTION

London N. Breed, Mayor
Grant Colfax, MD, Director of Health
Patrick Fosdahl, REHS, ME, Acting Director of EH

May 24, 2021

TO: Leo Palacios, Dept. of Public Works, Bureau of Street Use and Mapping
FROM: Arthur Duque, Dept. Of Public Health, Environmental Health Branch *AD*
RE: Verizon Pole Mounted Antennas, (3) Ericsson 6701 antennas

<u>Location:</u>	<u>DPW Application:</u>	<u>Node#</u>
500 Felton St.	21WR-00002	454198 "Excelsior 025"

As requested, I have reviewed the documentation that you and Verizon have provided to me regarding the proposed installation of (3) Ericsson 6701 antennas, on a Verizon owned pole or similar structures located at the above listed location in the City and County of San Francisco.

This review includes February 5, 2021 radio frequency energy report prepared by Hammett and Edison Inc. for this site. The report states that (3) Ericsson 6701 antennas will be mounted on a Verizon owned pole near the location listed above. The Ericsson antennas will be 27½ feet above ground level and points in the north, southeast, and west directions along Somerset Street. Due to the mounting location, the antenna would not be accessible to the general public.

The maximum effective radiated power from this antenna is estimated to be 193 watts.

The maximum calculated exposure level at the ground level will not exceed 0.009 mW/cm², which is 0.9% of the FCC public exposure standard. The three-dimensional perimeter of the radio frequency (RF) levels equal to the public exposure limit is 8 feet from the Ericsson antennas, and does not reach any publicly accessible areas. The maximum calculated exposure level at the adjacent building is 2.1% of the FCC public limit, 50 feet away.

Based on the information provided in the Hammett and Edison report, I would agree that these Ericsson antennas, utility pole installation would be in compliance with the FCC standards and would not produce radio frequency energy exceeding the FCC public exposure limits.

In addition, a noise evaluation was done on the combination of equipment assumed to be installed at this location which was prepared by Hammett & Edison and was dated February 3, 2021. This evaluation found that the maximum noise level from three Ericsson Model 6701 units is 38.3 dBA at a reference distance of 5 feet meaning that the applicable noise limit would be met for the configuration described above when placed at least 5½ feet away from any building façade. As such, the installation of the equipment would be in compliance with the noise standards as outlined in the DPW Code, Article 25.

Approval Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce a noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

Exhibit C: RPD letter dated July 2, 2021



London N. Breed, Mayor
Philip A. Ginsburg, General Manager

July 2, 2021

Attn: Leo Palacios, Personal Wireless Service & Surface-Mounted Facility Program Coordinator
Department of Public Works
Bureau of Street Use and Mapping
1155 Market Street
San Francisco, CA 94103

Re: Application For Personal Wireless Facilities Permit (Verizon Wireless, Site ID: Excelsior 025)
Site Location: Public Right-Of-Way Adjacent to 500 Felton St (Felton St/Somerset St)

Dear Mr. Palacios:

We reviewed the proposed application for an Verizon Wireless Personal Wireless Facilities Site Permit located in the public right-of-way adjacent to Palega Recreation Center at 500 Felton St (Felton St/Somerset St), San Francisco, CA 94134. The project was submitted by Modus LLC. (Carrier: Verizon Wireless). Specifically, the project proposes to install a new personal wireless service facility involving PG&E wood utility pole replacement, installation of (3) new side-mounted antennas, new side-mounted bracket and new side-mounted PG&E smart meter/disconnect with fiber box, per plans.

Pursuant to Article 25 of the Public Works Code Section 1502, the project is located in a park protected location since it is located on an existing utility pole in a public right-of-way that is adjacent to a City park or open space (Palega Recreation Center/Community Garden). Pursuant to Public Works Code Section 1510(b), the Recreation and Park Department must determine whether the application satisfies the Tier C compatibility standard.

Upon review, we have determined that the proposed Personal Wireless Service Facility Site Permit satisfies the Tier C compatibility standard since it satisfies the park protected location compatibility standard as defined in Public Works Code Section 1502 in that it would not "significantly impair the views of a City park or open space or significantly degrade or detract from the aesthetic or natural attributes that define the City park or open space."

This determination was based on the following:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.



- 3) The visual impact of the project will be minimized in that all antennas and associated ancillary equipment will be encased within rectangular enclosures.
- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

Lastly, although the objective standards which will establish dimensional standards to determine whether a Personal Wireless Service Facility satisfies the applicable Tier A, B, or C compatibility standard based on factors that are quantifiable, measurable, and verifiable, have not yet been adopted, the project adheres to the 4G maximum antenna size standards currently seeking approval via the Public Works legislative process. Therefore, we recommend that the site permit be approved, contingent on the review and approval of the Department of Public Works and other applicable agencies. Please contact Chris Townes at chris.townes@sfgov.org for any questions or concerns.

Sincerely,

Stacy Radine Bradley
Deputy Director of Planning, Capital and Planning Division
San Francisco Recreation and Park Department, City & County of San Francisco

Exhibit D: Final Determination Approving the Application

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Date:

Application No.: 21WR-00002

Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

The antenna and other equipments to be installed at this location include Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-652-1150 or boardofappeals@sfgov.org. **You may also visit sfgov.org/bdappeal for instructions concerning filing an appeal and for general information concerning the appeals process.**

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 1507(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reason(s):
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Attachment 1

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce an noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud

bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.

3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

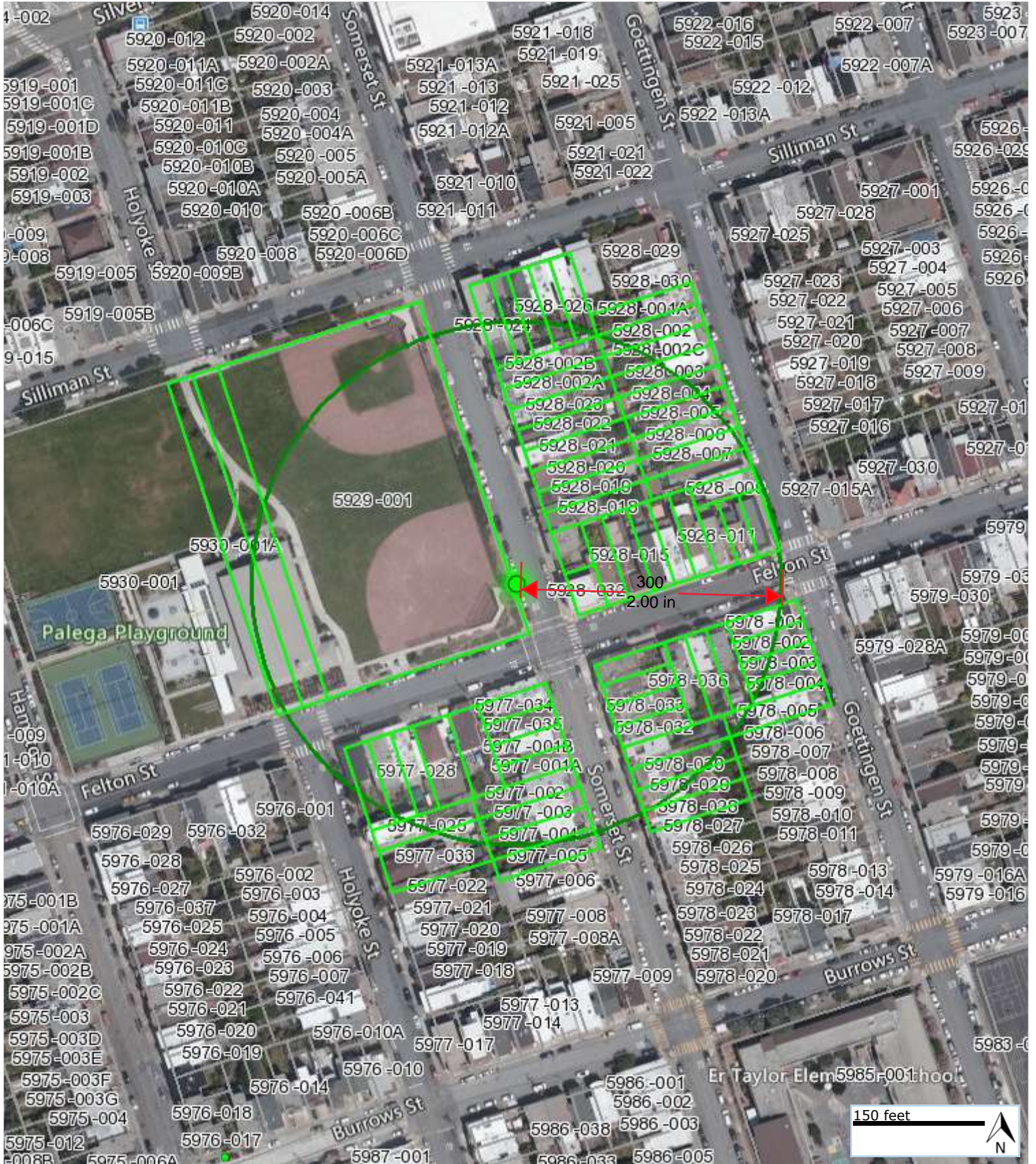
- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated

ancillary equipment will be encased within rectangular enclosures.

- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

Exhibit E: Declaration of Mailing Re: Notice of
Final Determination of Application for a
Personal Wireless Service Facility Site Permit

300' RADIUS EXCELSIOR 025



APN	NAME	ADDRESS	CITY	STATE	ZIP
5928 -024	RESIDENT	103 SOMERSET ST	SAN FRANCISCO	CA	94134
5977 -001A	CATELLI RICHARD R	106 PROSPECT DR	SAN RAFAEL	CA	94901-1935
5928 -001A	SCERRI FILOMENA	110 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5978 -033	TOY KAREN H	1150 RIDGEWOOD DR	MILLBRAE	CA	94030-1027
5928 -002	RESIDENT	124 GOETTINGEN ST	SAN FRANCISCO	CA	94134
5928 -002B	TRAN MARCUS	125 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -002C	GEE KWING HUNG	130 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -002A	SUN YOU SHENG	131 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -023	BRYANT MARY A	137 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -003	RESIDENT	138 GOETTINGEN ST	SAN FRANCISCO	CA	94134
5978 -032	221 SOMERSET ENTERPRISES LLC	139 ARDMORE WAY	BENICIA	CA	94510-2001
5928 -004	YEE BRANDON	140 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -021	NORED MARJORIE CRUZ	149 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -005	RAMOS SAMUEL B	150 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -015	GABLE DIANE A	152 FELTON ST	SAN FRANCISCO	CA	94134-1410
5928 -006	HUANG HANS WEI XIONG	154 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -020	RESIDENT	155 SOMERSET ST	SAN FRANCISCO	CA	94134
5928 -007	LI XIAO JUAN	160 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -019	GONZALEZ MIGUEL	161 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -008	CHEN QI ZHAO	166 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -018	CHEVALIER GEORGE	167 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -031	RESIDENT	171 SOMERSET ST	SAN FRANCISCO	CA	94134
5928 -009	HO THOMAS	172 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1432
5928 -032	YU LAI GIN	175 SOMERSET ST	SAN FRANCISCO	CA	94134-1443
5928 -031	TSE PAK YAT	1835 LONDON AVE	SAN LEANDRO	CA	94579-2231
5977 -035	MACCHELLO JEANNE T	206 SOMERSET ST	SAN FRANCISCO	CA	94134-1445
5978 -002	VOGEL LINDA CAROL	208 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1434
5978 -034	XIE ETAHN Z	209 SOMERSET ST	SAN FRANCISCO	CA	94134-1444
5977 -001B	LI KWOK SHEK	210 SOMERSET ST	SAN FRANCISCO	CA	94134-1445
5928 -002	JIMENEZ IGNACIO	2109 SHEA DR	PINOLE	CA	94564-1860
5978 -003	RESIDENT	214 GOETTINGEN ST	SAN FRANCISCO	CA	94134
5978 -033	RESIDENT	215 SOMERSET ST	SAN FRANCISCO	CA	94134
5978 -004	TAN MEI JIAN	220 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1434
5977 -001A	RESIDENT	220 SOMERSET ST	SAN FRANCISCO	CA	94134
5978 -032	RESIDENT	221 SOMERSET ST	SAN FRANCISCO	CA	94134
5977 -025	DORSEY L FRANK	225 HOLYOKE ST	SAN FRANCISCO	CA	94134-1439
5978 -005	STAMATOPOULOS MICHAEL	226 GOETTINGEN ST	SAN FRANCISCO	CA	94134-1434
5978 -031	FALZON JOHN ANTHONY	227 SOMERSET ST	SAN FRANCISCO	CA	94134-1444
5978 -030	YU TRACY EN	233 SOMERSET ST	SAN FRANCISCO	CA	94134-1444
5977 -002	RESIDENT	234 SOMERSET ST	SAN FRANCISCO	CA	94134
5977 -033	YEUNG CHRISTINE	235 HOLYOKE ST	SAN FRANCISCO	CA	94134-1439
5977 -002, 5977 -003	ROJA ANTONY J	236 SOMERSET ST	SAN FRANCISCO	CA	94134-1445
5977 -004	LUO GOU ZI	238 SOMERSET ST	SAN FRANCISCO	CA	94134-1445
5978 -029	FERLIZZA MARY M	239 SOMERSET ST	SAN FRANCISCO	CA	94134-1444
5977 -005	STIMMEL GAIL	244 SOMERSET ST	SAN FRANCISCO	CA	94134-1445

5978 -028	RESIDENT	245 SOMERSET ST	SAN FRANCISCO CA	94134
5978 -003	WONG JASON	297 HALE ST	SAN FRANCISCO CA	94134-1215
5928 -010	LEW JUNE	300 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -001	LIU WEIQIANG	301 FELTON ST	SAN FRANCISCO CA	94134-1453
5928 -010A	GILLESPIE SYLVIA	302 FELTON ST	SAN FRANCISCO CA	94134-1454
5928 -011	MA MAGNUS H	314 FELTON ST	SAN FRANCISCO CA	94134-1454
5928 -012	SONG YING HUI	320 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -038	OCHOA FLORENTINO R	321 FELTON ST	SAN FRANCISCO CA	94134-1453
5928 -033		326 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -037	RESIDENT	327 FELTON ST	SAN FRANCISCO CA	94134
5928 -034	VALDEZ CATHERINE L	328 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -028	DUDUM OMAR	332 GLENWOOD AVE	DALY CITY CA	94015-3052
5978 -036	SITU RUOYU	333 FELTON ST	SAN FRANCISCO CA	94134-1453
5928 -027	KUANG KENT	333 SILLIMAN ST	SAN FRANCISCO CA	94134-1256
5928 -026	LOZA AGUSTIN	335 SILLIMAN ST	SAN FRANCISCO CA	94134-1256
5928 -025	SERRANO ROMEO P	337 SILLIMAN ST	SAN FRANCISCO CA	94134-1256
5928 -015	RESIDENT	338 FELTON ST	SAN FRANCISCO CA	94134
5928 -024A	BARRERA RAUL	341 SILLIMAN ST	SAN FRANCISCO CA	94134-1256
5928 -016	ENG KIU SEUNG	344 FELTON ST	SAN FRANCISCO CA	94134-1454
5978 -035	CARAFFI MARIA PIA	345 FELTON ST	SAN FRANCISCO CA	94134-1453
5928 -024	RESIDENT	355 SILLIMAN ST	SAN FRANCISCO CA	94134
5928 -020	RAY LEON	364 BANKS ST	SAN FRANCISCO CA	94110-6132
5977 -034	HAN ZHI QIANG	401 FELTON ST	SAN FRANCISCO CA	94134-1455
5977 -030	ARREOLA ATANACIA RAMOS	409 FELTON ST	SAN FRANCISCO CA	94134-1455
5977 -029	RESIDENT	411 FELTON ST	SAN FRANCISCO CA	94134
5977 -028	CASTILLON ALFREDO S	415 FELTON ST	SAN FRANCISCO CA	94134-1455
5977 -026, 5977 -027	GRELLI ELZO	419 FELTON ST	SAN FRANCISCO CA	94134-1455
5977 -029	NGAI JAMES HO SING	448 GOETTINGEN ST	SAN FRANCISCO CA	94134-1720
5977 -026	RESIDENT	449 FELTON ST	SAN FRANCISCO CA	94134
5930 -001A	BUSINESS OWNER	500 FELTON ST	SAN FRANCISCO CA	94134
5929 -001, 5929 -001A, 5930 -001A	CITY & COUNTY OF SAN FRANCISCO	501 STANYAN ST	SAN FRANCISCO CA	94117-1898
5928 -003	CHOW SHUI PING	639 UNIVERSITY ST	SAN FRANCISCO CA	94134-1814
5978 -037	LEUNG SIN MEI	727 STEWART AVE	DALY CITY CA	94015-3520
5928 -024	KONG RAYMOND L	739 BARCELONA DR	MILLBRAE CA	94030-1103
5928 -022	NGUYEN DIEN V	PO BOX 347300	SAN FRANCISCO CA	94134-7300
Antonio Diaz	People Organizing to Demand Environmental and Economic Rights (PODER)	474 Valencia Street #125	San Francisco CA	94103
Chris Waddling	Portola Neighborhood Association	2 Burrows Street	San Francisco CA	94134
David Hooper	New Mission Terrace Improvement Association (NMTIA)	P.O. Box 12111	San Francisco CA	94112
Joelle Kenealey	Outer Mission Residents Association	P. O. Box 34426	San Francisco CA	94134
Peter Papadopoulos	Mission Economic Development Association	2301 Mission Street #301	San Francisco CA	94110
Stephanie Cajina	Excelsior Action Group	35 San Juan Ave	San Francisco CA	94112
Ahsha Safai	Board of Supervisors	1 Dr. Carlton B Goodlett Place, Room #256	San Francisco CA	94102-4689
Francesca Panullo	Sherwin Williams	1415 Ocean Ave	San Francisco CA	94112
Jason Castleberry	Bayview Heights Neighborhood Association	55 Exeter Street	San Francisco CA	94124
Mel Flores	Excelsior District Improvement Association	P.O. Box 12005	San Francisco CA	94112
Anietie Ekanem	OneBayview	5800 3rd Street #1320	San Francisco CA	94124

Christine Weibel
Barbara Fugate
Hillary Ronen

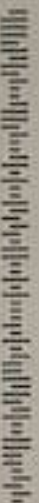
Friends of the Havelock Street Bridge
Cayuga Improvement Association
Supervisor, District 9

148 Marston Avenue	San Francisco	CA	94112
311 Foote Ave	San Francisco	CA	94112
1 Dr. Carlton B Goodlett Place, Room #244	San Francisco	CA	94102-4689

MODUS LLC c/o Verizon Wireless
240 Stockton St, 3rd Floor
San Francisco, CA 94108



\$0.710
US POSTAGE
FIRST CLASS
FROM 92514
JUL 14 2021
STAMPA
SERIAL
0021001903904



5928-019
GONZALEZ MIGUEL
161 SOMERSET ST
SAN FRANCISCO CA 94134-1443

Verizon Wireless – Notice of Final Determination of Personal Wireless Services Facility Site Permit
Dated Material – Please Open Immediately

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Date: 07/14/2021

Application No.: 21WR-00002

Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

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San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

The antenna and other equipments to be installed at this location include Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-652-1150 or boardofappeals@sfgov.org. **You may also visit sfgov.org/bdappeal for instructions concerning filing an appeal and for general information concerning the appeals process.**

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 1507(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reason(s):
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Attachment 1

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud

bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.

3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated

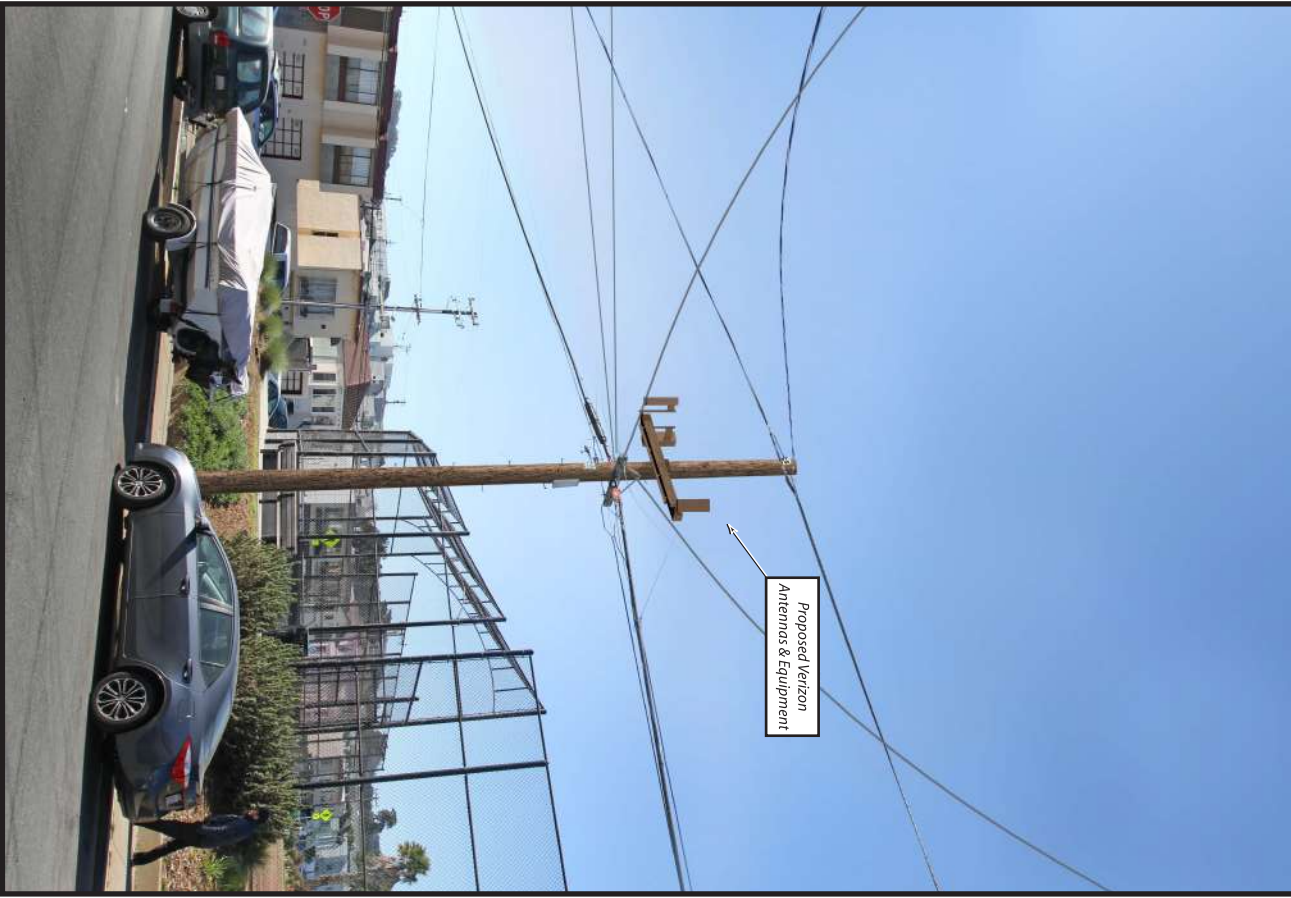
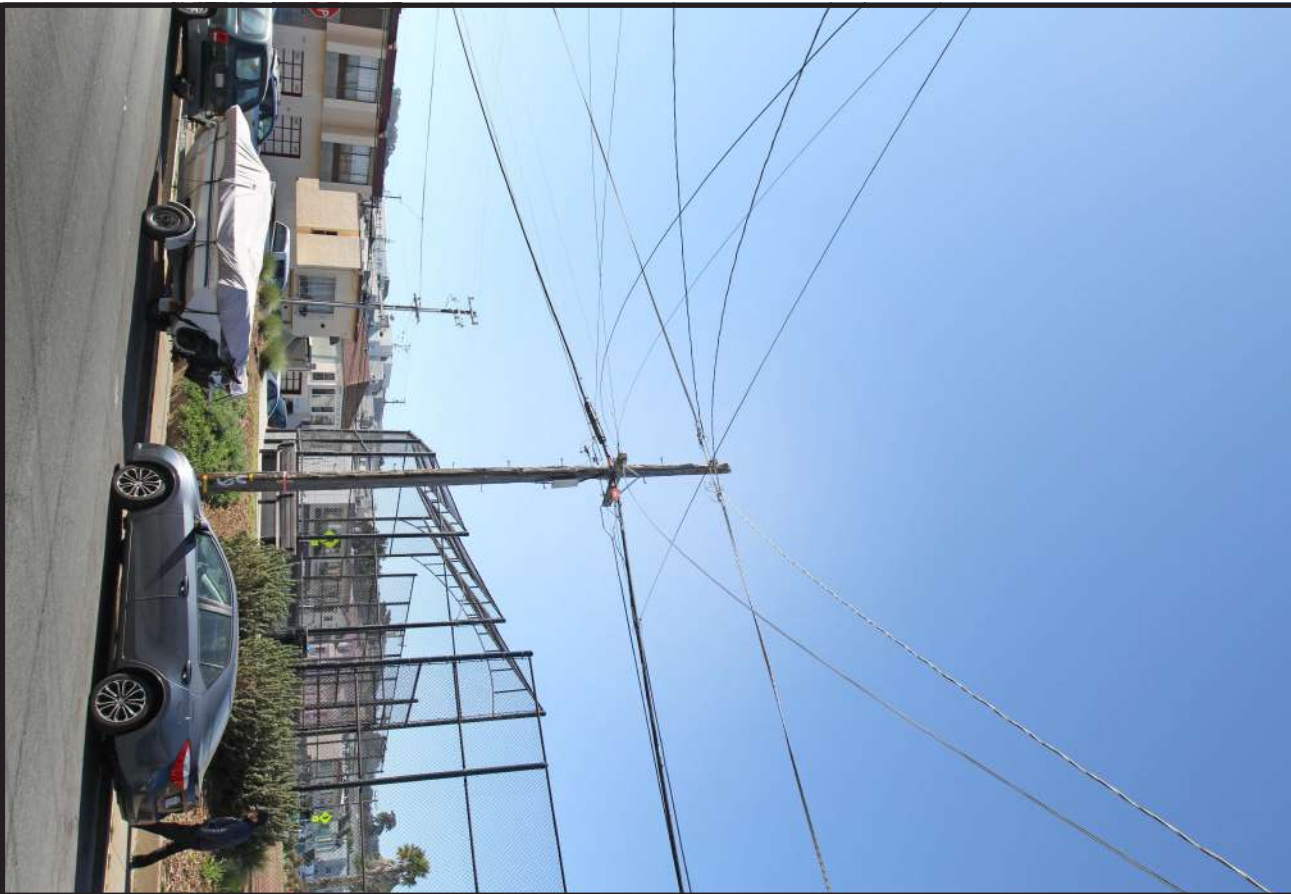
ancillary equipment will be encased within rectangular enclosures.

- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

Existing

View from Somerset Street looking southwest at site
SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Proposed



Proposed Verizon
Antennas & Equipment

Existing



view from Somerset Street looking northwest at site
SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Proposed



Proposed Verizon
Antennas & Equipment



最後裁定興建個人無線服務設施據點許可 之申請案公告通知



日期：07/14/2021

申請案編號：21WR-00002

申請人姓名：**GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

位置：Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

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舊金山公共工程署最終核准有關於在 Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側) 由 **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)** 所提交的鄰近區域，興建個人無線服務設施據點的上述申請案。

天線等設備將安裝之設備包括: 三 (3) 台 5G 天線和兩個設備外殼。在此附上經核准的個人無線服務設施照片模擬資料圖。

公共工程已確定該申請滿足公共工程法規的適用要求。請參閱附件1以查看最終批准條件。

自本通知核發的十五 (15) 日內，任何人都能向上訴委員會就本許可的核發提出上訴。上訴人或其代理人必須親自提起上訴。有關上訴程序的更多資訊，請致電628-652-1150與上訴委員會聯繫，或透過電子郵件聯繫 boardofappeals@sfgov.org。您也可以訪問 sfgov.org/bdappeal，以獲取有關提出申訴的說明以及有關申訴程序的一般信息。

上訴必須以下列一或多項觀點做為立論基礎：

1. 公共衛生署錯誤判定申請案符合公共衛生法規遵循標準（參見公共工程署規章 § 1507(b)）。
2. 該應用程序不符合適用的兼容性標準，原因如下：
 - a. 規劃署錯誤判定申請案符合規劃保護或區域保護之相容性標準（Planning Compatibility Standard）（參見公共工程署規章 § (1509(b))）。
 - b. 康樂與公園署錯誤判定申請案符合 Tier C 遵循標準（參見公共工程署規章 § (1510(b))）。
3. 申請案不符合任何其他取得個人無線服務設施據點許可的要求。

如欲取得更多關於申請案與最終核准之資訊，您可透過 415-989-1102及 ycerrato@modusllc.com 與 Verizon Wireless 之 Yadira Cerrato 聯絡。詳情請洽詢舊金山公共工程署的電話：628-271-2000。

公共工程署無線計畫

附件1

舊金山公共工程署條件：

1. 本建議是以與描繪之圖例和／或照片模擬之精準情況為基礎。若安裝與所述情況有任何差異，一個新的應用應重新提交至相關各署，進一步進行審核和評估。
2. 地錨拉線：請遵守所有開挖規章，以取得放置地錨拉線的必要許可。地錨拉線應避開十字路口交會區，但不限定於車道、路緣坡道。
3. 遵循聯邦、各州、地方法律之 ADA 規章規定。
4. 在完工時，應對街道使用和勘測製圖許可局提供一組安裝的建構照片。
5. 每年皆應維持一份有效的保險憑證，並將一份複本轉送給街道使用和勘測製圖許可局。

舊金山公共衛生署條件：

- 確保本天線之電線桿安裝相關之任何設備，在從最近居住建築物牆面至少三 (3) 英尺測量時，皆不得發出超過 45 dBA 之噪音。
- 確保距離天線八 (8) 英尺範圍內，無任何公有用地。
- 一旦安裝天線之後，Verizon 就必須在天線以全功率運作的情況下執行射頻 (RF) 密度測量，確認在 Hammett 和 Edison 報告中的等級，並確保在任何公共空間中皆不得超過 FCC 公共空間曝露值。應在更新許可時重新進行本測量。
- Verizon 應知悉一般民眾可能會對其住所附近的任何天線和潛在射頻 (RF) 來源感到疑慮。Verizon 應在一般民眾要求時，在附近建築物放置檢測射頻 (RF) 密度等級之設施。
- 根據舊金山公共衛生署規章第 25 條第 1527 (a)(2)(C) 小節，Verizon 需負責對舊金山公共衛生署支付 \$210.00 美元之審核費用。

請注意，本核准和任何條件僅適用於本文所指涉之設備和安裝設施。若設備有任何變更或增加前述之有效輻射功率，就必須由公共衛生署實施新審核。

舊金山規劃署條件：

1. 種植和維護適當之街道樹木。
2. 天線，以及除看板之外之任何用來遮蔽的所有設備（外部導線、無線電中繼系統、用來遮蔽托架螺栓之遮罩 [如果需要] 和安裝設施），皆應漆上與電線桿同色之油漆，或視需要重新油漆。
3. 拆除任何可從人行道和住所看到之非政府法規規定以外的凸出設備看板和設備貼紙（包括無線電中繼系統／機櫃中的製造商標誌凹口內的填充物）。
4. 可使用最小型的射頻警告看板（4 x 6 吋），並儘可能在靠近天線的位置放置面向外面街道的警告貼紙。貼紙應面朝街道，但不面朝 15 英尺範圍內之附近窗戶。貼紙之背景色應與柱式安裝表面相符，而標誌及文字應為白色。
5. 應在適用法規和製造商設備標準之許可範圍內，儘可能緊密圍住疊架設備（不包括天線）。
6. 天線處之接合口和網罩組件區域之螺栓／螺絲，應以儘可能降低其從人行道上目

- 測可見程度之方式製造及安裝（例如齊平式安裝螺絲）；
7. 不得使用任何明顯之閃光指示燈或類似設備。
 8. 不阻礙視線或阻擋光線照射任何相鄰住宅窗戶。
 9. 若使用新的地下機箱開鑿（圓拱），則不得損壞或去除花崗岩緣石。不得因為安裝設備，而在圓拱機箱蓋和主要人行道材質之間造成重大間隙。公共道路用地內的任何其他現有歷史建築體，皆應在安裝設備時予以維持和保護。在圓拱蓋上不得標示任何電信商標誌或電信商名稱。
 10. 應拆除非必要的無線電中繼系統元件（把手和腳架）。
 11. 安裝人員應安排規劃署人員審查初步安裝作業，藉以確保遵守上述所有條件（不論是由電線桿所有人或公共衛生署檢驗）。
 12. 確保城市技術部門使用的Wi-Fi接入點和相關線路在安裝過程中不會受損（如果有）。
 13. 若安裝與所述情況有任何差異，應重新提交至規劃署，進一步審核和評估。

三藩市康樂與公園署條件：

- 1) 該項目的體量輪廓將最小可見，因為它將由三個 21 英寸高 x 8 英寸寬 x 5 英寸深的側裝集成天線組成，位於桿的上部（26 英尺-1 英寸到 27 英尺-10 英寸高度）在進入或離開公園的視線之外。
- 2) 由於新的 PG&E 桿高 (34 英尺-0 英寸) 將與現有桿高 (30 英尺-10 英寸) 相當，並且增加到滿足電力安全隔離標準所需的最小量，因此項目高度輪廓將是最小的。
- 3) 該項目的視覺影響將被最小化，因為所有天線和相關的輔助設備都將被封裝在矩形外殼內。
- 4) 根據申請人 Modus LLC. 於 2021 年 5 月 28 日收到的電子郵件確認，桿下部垂直安裝的輔助設備（塗漆以匹配桿顏色）應至少高出地面 8 英尺，以更好地確保視覺進入公園。

AVISO DE DETERMINACIÓN FINAL PARA APROBAR LA INSTALACIÓN DE UN EMPLAZAMIENTO DE SERVICIO MÓVIL PERSONAL



Fecha: 07/14/2021

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

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No. de solicitud: 21WR-00002

Nombre del solicitante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Ubicación: 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental)

Obras Públicas de San Francisco ha finalmente aprobado la solicitud de permiso para la instalación de un emplazamiento de servicio móvil personal antes mencionada en las proximidades de 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental) presentada por **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

La antena y otros equipos que se instalará en esta ubicación incluye: 3 antenas 5G y cajas de equipamiento. Se adjunta una simulación de la foto del emplazamiento de servicio móvil personal aprobado al presente documento.

Obras Públicas determinó que la solicitud cumplía con los requisitos correspondientes de la norma de Obras Públicas: Consulte el Anexo 1 para ver las condiciones de la aprobación final.

Dentro de los quince (15) días calendario de esta notificación, cualquier persona puede apelar la emisión de este permiso ante la Junta de Apelaciones. Las apelaciones deben realizarse por el apelante o por su agente. Por mayor información acerca del proceso de apelación, póngase en contacto con la Junta de Apelaciones al 628-652-1150 o boardofappeals@sfgov.org. **También puede visitar sfgov.org/bdappeal para obtener instrucciones sobre cómo presentar una apelación y para obtener información general sobre el proceso de apelación.**

La apelación debe basarse en uno o más de los siguientes motivos:

1. El Departamento de Salud Pública determinó incorrectamente que la solicitud cumple con la Norma de Cumplimiento de Salud Pública (consulte la Norma de Obras Públicas No. 1507(b)).
2. La solicitud no cumple con la Norma de Compatibilidad aplicable por la siguiente razón:
 - a. El Departamento de Planificación determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad aplicable (consulte la Norma de Obras Públicas No. (1509(b)).
 - b. El Departamento de Recreación y Parque determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad de nivel C (consulte la Norma de Obras Públicas No. 1510(b)).
3. La solicitud no cumple con cualquier otro requisito para la obtención de un permiso de un emplazamiento de servicio móvil personal.

Para obtener información adicional sobre la apelación y la aprobación final, puede comunicarse con

Yadira Cerrato de Verizon Wireless al 415-989-1102 o escribirle a ycerrato@modus-corp.com. También puede comunicarse con Obras Públicas de San Francisco al 628-271-2000.

Programa inalámbrico de Servicios Públicos

Anexo 1

Condiciones de Servicios Públicos de San Francisco:

1. Esta determinación se basa en los dibujos y/o la simulación de la foto. Si la instalación difiere de dichas condiciones, se debe volver a enviar una nueva solicitud a los departamentos para su revisión y comentarios adicionales.
2. Rientas: Siga todas las normas de excavación para obtener los permisos necesarios para la colocación de las rientas. Las rientas deberán evitar cruzar zonas en conflicto, pero no quedan limitadas a las calzadas o a las rampas del cordón.
3. Cumpla con los requisitos de la norma ADA y las leyes federales, estatales y locales.
4. Al finalizar la obra, deberá proporcionar un conjunto de fotos de la instalación con la obra terminada a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.
5. Mantenga una certificación válida del seguro anual y envíele una copia a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.

Condiciones del Departamento de Salud Pública de San Francisco:

- Asegúrese de que todo equipo relacionado con la instalación del poste de esta antena no produzca un ruido superior a 45 dBA, medido a tres (3) pies de la fachada del edificio residencial más cercano.
- Asegúrese de que no haya zonas ocupadas públicamente dentro de los ocho (8) pies del frente de la antena Ericsson.
- Una vez instalada la antena, Verizon debe tomar medidas de densidad de potencia de RF con la antena funcionando a plena potencia para verificar el nivel reportado en el informe Hammett y Edison y para asegurar que no se exceda el nivel de exposición pública de la FCC en ningún área de acceso público. Esta medición debe realizarse nuevamente en el momento de la renovación del permiso.
- Verizon debe ser consciente de que el público en general puede tener inquietudes acerca de la antena y de la fuente potencial de RF cerca de sus viviendas. Verizon debe disponer de un procedimiento para la toma de los niveles de densidad de potencia de RF en las viviendas cercanas cuando sea solicitado por los miembros del público en general.
- De acuerdo con la Norma de Obras Públicas de San Francisco, Artículo 25, Sección 1527 (a) (2) (C) Verizon es responsable de pagar una cuota de \$ 210,00 al Departamento de Salud Pública de San Francisco para esta revisión.

Tenga en cuenta que esta aprobación y las condiciones se aplican sólo a los equipos y a la instalación como se describe. Si se realiza algún cambio en el equipo o se aumenta la potencia radiada efectiva indicada anteriormente, el Departamento de Salud Pública deberá realizar una nueva revisión.

Condiciones del Departamento de Planificación de San Francisco:

1. Plante y mantenga un árbol apropiado en la acera.
2. La antena, y todo el equipo (conducto externo, unidades de radio enlace, cegadores utilizados para cubrir los pernos de soporte [si fuera necesario], y los mecanismos de montaje); salvo la señalización, si se utiliza para detección, todos serán pintados del mismo color que el poste y repintados cuando sea necesario.
3. Remueva la señalización de los equipos elevados (incluyendo el rellenado de las muescas del logotipo del fabricante en las unidades de radioenlace/gabinetes) y pegatinas en equipos que puedan verse desde la acera y las viviendas, a menos que sea requerido por regulaciones gubernamentales.
4. Utilice la señalización de advertencia de RF más pequeña que se permita (4 x 6 pulgadas); y coloque la pegatina de advertencia apuntando hacia afuera, hacia la calle, lo más cercano a la antena como sea posible. La pegatina debe apuntar hacia el otro lado de la calle, cuando no esté frente a una ventana cercana dentro de los 15 pies. El color de fondo de la pegatina debe coincidir con el color de la superficie del poste de montaje; y el logotipo y el texto deben ser blancos.
5. Apile los gabinetes de los equipos (excepto la antena) tan cerca como sea permitido por las reglamentaciones correspondientes y las normas del fabricante de los equipos.
6. Las costuras y los pernos/tornillos en la antena y en el área de la cubierta deben estar fabricados e instalados de una manera tal que reduzca su visibilidad (por ejemplo, tornillos de montaje al ras) desde la acera.
7. No utilice ningún indicador luminoso intermitente visible o algo similar.
8. No obstruir la vista o la luz que entre por cualquier ventana residencial adyacente.
9. Las nuevas excavaciones para recintos por debajo del suelo (bóvedas), de utilizarse, no deberán dañar o eliminar cordones de granito. No deben quedar espacios importantes entre la tapa de la bóveda y el material primario de la acera causados por la instalación. Todos los elementos arquitectónicos históricos existentes dentro de la vía pública serán mantenidos y protegidos durante la instalación. No se puede colocar el logotipo ni el nombre de la compañía prestadora del servicio en la tapa de la bóveda.
10. Los elementos no esenciales de la unidad de radioenlace (manija y patas) deben ser eliminados.
11. El instalador se encargará de que el personal del Departamento de Planificación revise la instalación inicial, con el fin de garantizar el cumplimiento de las condiciones antes mencionadas (a pesar de las inspecciones realizadas por el propietario de los postes y del Departamento de Obras Públicas).
12. 14. Verifique que los puntos de acceso de Wi-Fi y el cableado asociado utilizado por el Departamento de Tecnología de la Ciudad No sea dañado durante la instalación (si existe).
13. En caso de que la instalación varíe con respecto a dichas condiciones, deberá volver a presentar la solicitud al Departamento de Planificación para su posterior revisión y comentarios.

Condiciones de Recreación y Parque:

- 1) El perfil de masa del proyecto será mínimamente visible ya que constará de tres antenas integradas laterales de 21" de alto x 8" de ancho x 5" de profundidad en la parte superior del poste (26'-1" a 27'-10" de altura) que queda por fuera de las líneas de visión hacia o desde el parque.

- 2) El perfil de altura del proyecto será mínimo ya que la nueva altura del poste de PG&E (34'-0") será comparable a la altura del poste existente (30'-10") y el aumento se realiza a la cantidad mínima necesaria para satisfacer las normas de separación de seguridad de energía.
- 3) El impacto visual del proyecto se minimizará ya que todas las antenas y equipos auxiliares asociados se colocarán dentro de recintos rectangulares.
- 4) Según la confirmación por correo electrónico recibida del solicitante, Modus LLC., el 28 de mayo de 2021, el equipo auxiliar montado verticalmente en la parte inferior del poste (y que se pintará del mismo color del poste) deberá estar al menos a 8 pies sobre el nivel del suelo para garantizar una mejor visibilidad al parque.

PAUNAWA NG PANGHULING PAGPAPASIYA UPANG APRUBAHAN ANG ISANG PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Petsa: 07/14/2021

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

Blg. ng Aplikasyon: 21WR-00002
Pangalan ng Aplikante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi)

Naprubahan sa wakas ng San Francisco Public Works ang Aplikasyon sa itaas para sa Permiso ng Personal na Wireless Service Facility Site malapit sa 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi) isinumite ni **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Ang antena at iba pang kagamitan na i-install sa lugar na ito ay kasama ang: 3 antena 5G at kagamitan enclosures. Naka-attach dito ang isang de-letratong simulation ng inaprubahang Personal Wireless Service Facility.

Pagawaing Bayan na natugunan ng Aplikasyon ang mga angkop na kinakailangan ng Kodigo ng Pagawaing Bayan: Mangyaring tingnan ang Attachment 1 upang matingnan ang mga kundisyon ng huling pag-apruba.

Sa loob ng (15) araw ng kalendaryo mula sa petsa ng abisong ito, maaaring i-apela ng sinumang tao sa Board of Appeals ang paglabas ng permisong ito. Kailangang isumite mismo ng apela o ng ahente ng humihingi ng apela ang mga apela. Para sa higit pang impormasyon tungkol sa proseso ng apela, mangyaring makipag-ugnayan mismo sa Konseho ng Pag-aapela sa 628-652-1150 o boardofappeals@sfgov.org. **Maaari mo ring bisitahin ang sfgov.org/bdappeal para sa mga tagubilin tungkol sa pagsampa ng isang apela at para sa pangkalahatang impormasyon tungkol sa proseso ng pag-apela.**

Ang apela ay dapat na batay sa isa o higit pa sa mga sumusunod na dahilan:

1. Maling natukoy ng Kagawaran ng Pambulikong Kalusugan na ang Aplikasyon ay alinsunod sa Pamantayan ng Pagsunod sa Pampublicong Kalusugan (tinganan ang Kodigo ng Pagawaing Bayan § 1507(b)).
2. Aplikasyon hindi ang nalalapit na Pamantayan ng Pagkakatugma para sa mga sumusunod na kadahilanan:
 - a. Maling natukoy ng Kagawaran ng Pagpapalano na natutugunan ng Pagpapalano Pamantayan ng Pagkakatugma (Kodigo ng Pagawaing Bayan § (1509(b))).
 - b. Maling naitukoy ng Departamento ng Recreation at Park na ang Aplikasyon ang matugunan ang Pamantayan ng Compatability ng Tier C (tignan ang Public Works Code § 1510(b)).
3. Hindi naaayon ang Aplikasyon sa anumang kinakailangan para sa pagkuha ng isang Personal Wireless Service Facility Site Permit.

Upang makakuha ng karagdagang impormasyon tungkol sa Aplikasyon at final approval, makipag-ugnay kay Yadira Cerrato, kinatawan ng Verizon Wireless sa 415-989-1102 o ycerrato@modus-corp.com. Maaari ka ring makipag-ugnayan kay San Francisco Pagawaing Bayan sa 628-271-2000.

Programa sa Wireless ng Pagawaing Bayan

Attachment 1

Mga Kondisyon ng Pagawaing Bayan ng San Francisco:

1. Ang pagpapasiya ito ay batay sa inilarawang mga guhit at/o de-letratong simulation. Kung iba man ang paglalagay mula sa mga nasabing kondisyon, isang bagong aplikasyon kailangan itong isumite muli sa (mga) Kagawaran para sa higit pang pagsusuri at puna.
2. Mga Down Guy: Sundin ang lahat ng kodigo sa paghuhukay upang makuha ang mga kinakailangang pahintulot para sa paglalagay ng mga down guy. Dapat iwasan ng down guy ang pagtawid sa mga di-akmang lugar kasama ang, ngunit hindi limitado sa, mga daanan ng sasakyan at mga ramp sa gilid ng bangketa.
3. Sumunod sa mga iniaatas ng kodigong ADA para sa mga Pederal na batas, batas ng Estado, o lokal na batas.
4. Sa pagtatapos ng trabaho, magbibigay ng isang set ng mga ginawang litrato ng installation para sa Bureau Street Use & Mapping Permit Office.
5. Magpanatili ng isang may bisang sertipikasyon ng kasiguraduhan taun-taon at magbigay ng isang kopya sa Opisina ng Pagpapahintulot ng Kawanihan ng Paggamit ng Kalsada at Pagmamapa.

Mga Kondisyon ng Kagawaran ng Pampublikong Kalusugan ng San Francisco:

- Tiyaking anumang kagamitang may kinalaman sa paglalagay ng poste ng antenang ito ay hindi gagawa ng ingay na lampas sa 45 dBA kapag sinukat sa layong tatlong (3) talampakan mula sa pinakamalapit na harapan ng residensyal na gusali.
- Siguruhin na walang mga okupadong pampublikong lugar na may layong walong (8) talampakan mula sa harapan ng antena Ericsson.
- Sa oras na mailagay ang antena, kinakailangang kumuha ang Verizon ng mga RF na sukat ng power density habang ang antena ay ganap na tumatakbo nang buong lakas upang masuri ang antas na inulat sa ulat ng Hammett at Edison at upang matiyak na ang FCC na antas ng public exposure ay hindi higit sa anumang lugar na napupuntahan ng publiko. Kailangang kunin ulit ang sukat na ito sa oras ng pag-renew ng permiso.
- Kinakailangang alam ng Verizon na ang publiko ay maaaring may mga alalahanin tungkol sa antena at ang potensiyal na pagmumulan ng RF source na malapit sa kanilang mga tirahan. Ang Verizon ay kinakailangang may paraan sa pagkuha ng mga RF na antas ng power density sa mga kalapit na tirahan kung hiniling ng mga miyembro ng publiko.
- Alinsunod sa San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Responsable ang Verizon sa pagbabayad ng halagang \$210.00 sa San Francisco Department of Public Health para sa rebisyong ito.

Pakitandaan na ang pag-aprubang ito at anumang kondisyon ay nalalapat lamang sa kagamitan at paglalagay tulad ng inilarawan. Kung may ginawang anumang pagbabago sa kagamitan o anumang pagtaas sa epektibong radiated power na inilarawan sa itaas, kailangang isagawa ng Kagawaran ng Pampublikong Kalusugan ang isang bagong pagsusuri.

Mga Kondisyon ng Kagawaran ng Pagpapalano ng San Francisco:

1. Magtanim at magpanatili ng naaakmang puno sa kalsada.
2. Ang antena at lahat ng kagamitan (panlabas na conduit, mga radio relay unit, mga blinder na ginagamit upang balutin ang mga bracket na trangka [kung kinakailangan], at mga mekanismo sa pagkakabit); maliban sa karatula, kung ginagamit para sa pagsasala, kinakailangang pinturahan ang lahat upang bumagay sa poste at muling pinturahan kung kinakailangan.
3. Alisin ang mga nakaangat na karatula ng kagamitan (kabilang ang pagpupuno sa mga manufacturer logo indentation sa mga radio relay unit/kabinet) at mga kagamitang decal na maaaring makita mula sa bangketa at tirahan, maliban kung iniaatas ng regulasyon ng gobyerno.
4. Gamitin ang pinakamaliit na RF na karatulang pangbabala na pinahihitulutan (4 x 6 pulgada); at ilagay ang pangbabalang sticker nang nakaharap sa kalsada, sa isang lokasyong malapit sa antena, kung maaari. Kinakailangang nakaharap nang papalayo sa kalsada ang sticker, kung hindi nakaharap sa isang kalapit na bintana sa loob ng 15 talampakan. Dapat tumugma ang background na kulay ng sticker sa surface na pinagkakabitan nito sa poste; at ang logo at sulat ay dapat kulay puti.
5. Ang mga enclosure ng salansan ng kagamitan (hindi kasama ang antena) ay maaaring magkalapit hangga't pinahihintulutan ng mga naaangkop na regulasyon at mga pamantayan sa kagamitan ng manufacturer.
6. Ang mga seam at trangka/turnilyo sa assembly area ng antena at pagbabalot ay kinakailangang gawin at ikabit sa paraang hindi nakikita ang mga ito (hal. mga flush mounting na turnilyo) mula sa lebel ng bangketa.
7. Huwag gumamit ng anumang nakikitang ilaw na flashing indicator o katulad nito.
8. Huwag harangan ang pangitain, o di kaya ang ilaw sa kahit na anong katabing bintana.
9. Ang mga bagong enclosure excavation sa ilalim ng lupa (vault), kung ginamit, ay hindi dapat makasira o maalis ang mga granite na curb. Walang kapansing-pansing siwang ang dapat malikha sa pagitan ng takip ng bakod ng vault at pangunahing materyal ng bangketa dahil sa paglalagay. Ang anumang iba pang umiiral na makasaysayang elementong arkitektural sa loob ng pampublikong right-of-way ay dapat panatilihin at protektahan sa panahon ng paglalagay. Walang maaaring ilagay na logo o pangalan ng carrier sa takip ng vault.
10. Ang mga hindi mahalagang radio relay unit element (hawakan at mga binti) ay tatanggalin.
11. Ang tagalagay ay kinakailangang ihanda ang mga tauhan ng Kagawaran ng Pagpaplanong suriin ang unang paglalagay, upang matiyak ang pagsunod sa mga nabanggit na kondisyon (hindi kabilang mga inspeksyon ng may-ari ng poste at ang Kagawaran ng Pagawaing Bayan).
12. Siguraduhing ang mga Access Points ng Wi-Fi at mga kasamang wiring, na ginagamit ng City's Department of Technology, Ay hindi masisira habang ini-install (kung meron).
13. Kung mag-iba man ang paglalagay mula sa mga nasabing kondisyon, muling isusumite ang aplikasyon sa Kagawaran ng Pagpapalano para sa higit pang pagsusuri at puna.

Mga Kondisyong ng Kagawaran ng Recreation & Parks:

- 1) Ang massing profile ng proyekto ay halos hindi makikita dahil ito ay binubuo ng tatlong 21" taas x 8" ang lapad x 5" malalim na naka-mount na mga antena na naka-gilid sa itaas na bahagi ng poste (26'-1" hanggang 27'-10" sa taas) sa labas ng mga linya ng paningin sa o mula sa parke.
- 2) Ang profile ng taas ng proyekto ay magiging minimal dahil ang bagong taas ng poste ng PG&E (34'-0 ") ay maihahambing sa umiiral na taas ng poste (30'-10") at nadagdagan sa kaunting halaga na kinakailangan upang masiyahan ang mga pamantayan ng paghihiwalay sa kaligtasan ng kuryente.
- 3) Ang biswal na epekto ng proyekto ay mababawasan sa lahat ng mga antena at nauugnay na kagamitan na pandagdag ay maikukulong sa loob ng mga parihabang enclosure.
- 4) Ang bawat kumpirmasyon sa email na natanggap mula sa aplikante, Modus LLC., Noong Mayo 28, 2021, ang patayo na naka-mount na kagamitan na pandagdag (pininturahan upang maitugma ang kulay ng poste) sa mas mababang bahagi ng poste ay dapat na hindi bababa sa 8 talampakan sa itaas ng grado upang mas matiyak ang paningin pag-access sa parke.

Exhibit F: Declaration of Posting Re: Notice of
Determination of Application for a Personal
Wireless Service Facility Site Permit

STATE OF CALIFORNIA

) ss.

COUNTY OF SAN FRANCISCO)

DECLARATION OF POSTING RE: POSTING OF
NOTICE OF FINAL DETERMINATION OF
APPLICATION FOR A PERSONAL WIRELESS
SERVICE FACILITY SITE
PERMIT

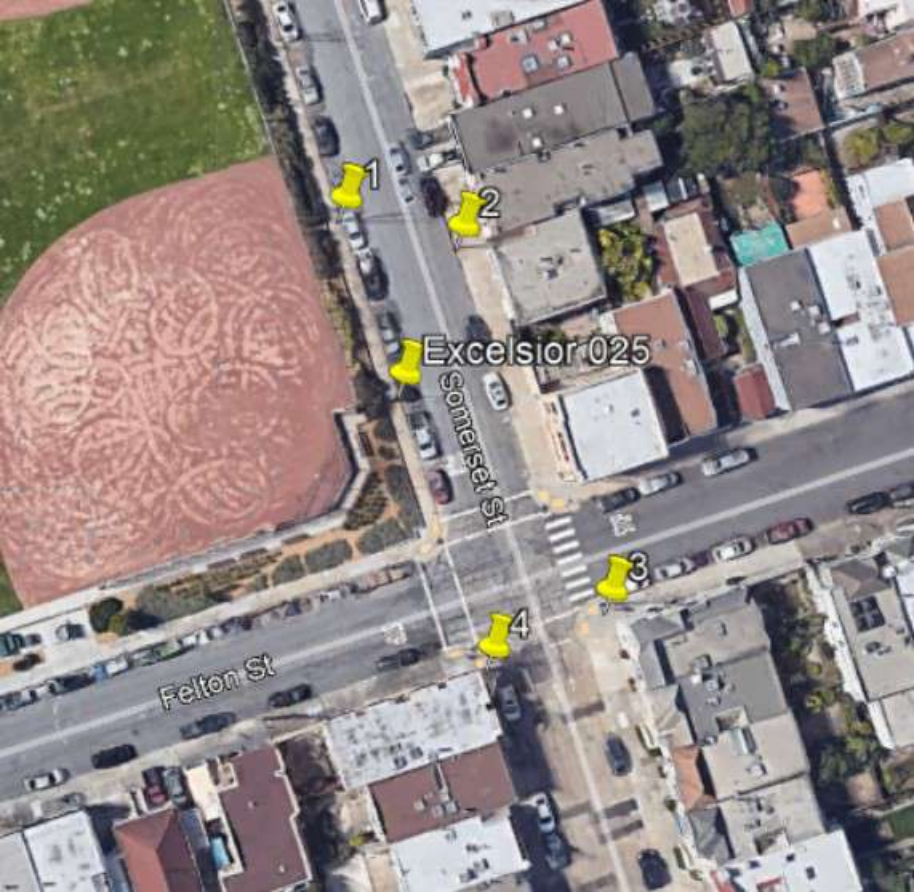
I, [Tanusree Chakraborty] do hereby declare as follows:

1. I am a Project Associate at Modus, Inc. I am over 18 years of age and I am a resident of the City and County of San Francisco, State of California.
2. On [07/14/2021] Modus, Inc. caused to be posted a copy of the "Final Determination of Personal Wireless Service Facility Site Permit" for Permit [21WR-00002] to utility poles located along the block face upon which the Personal Wireless Service Facility is located. Location posted in compliance with Public Works Code 1512(b)(2).

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Executed [07/14/2021] at County of San Francisco, California.

By: *Tanusree Chakraborty*
[Tanusree Chakraborty]



1

2

Excelsior 025

Somerset St

Felton St

3

4

Jul 14, 2021 at 12:03:31 PM

500 Felton St

San Francisco CA 94134

United States

Palega Recreation Center - Gymnasium

mod-entlj-0
916-496-8887 510884 4/21



NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

Date: 07/14/2021

07/14/2021

London B. Grant
Mayor
Eric Dregin
Acting Director
Administration
Special Manager
Special Use and Mapping
San Francisco Public Works
500 Franklin Avenue
San Francisco, CA 94102
Phone: (415) 375-2000

Application No.: 21WR-00002
Applicant Name: GTE Mobilnet of California, Limited Partnership (Verizon Wireless)
Location: 500 FELTON ST (SOMERSET ST- SULLIVAN to FELTON ST - West Side)

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST- SULLIVAN to FELTON ST - West Side) submitted by GTE Mobilnet of California, Limited Partnership (Verizon Wireless).

The antenna and other equipment to be installed at this location include three (3) 900 MHz antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the application requirements of the Public Works Code. Please see Attachment 1 to view the final approval's conditions.

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the Applicant or the applicant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 415-375-2100 or boardofappeals@sfgov.org. You may also visit sfgov.org/bdappeal for instructions concerning the appeal and for general information concerning the appeals process.

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 1502(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reasons:
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1502(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier I Compatibility Standard (see Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval, you may contact the Director of Verizon Wireless at 415-969-1102 or ycarrain@vzw.com. You may also contact San Francisco Public Works at 415-375-2000.

Public Works Website Program

Jul 14, 2021 at 12:02:01 PM
500 Felton St
San Francisco CA 94134
United States
Palega Recreation Center - Gymnasium

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

07/14/2021

DATE: 07/14/2021

Application No.: 22NVR-00007
Applicant Name: GTE Mobilnet of California, Limited Partnership (Wireless)
Location: 500 FELTON ST (SOMERSET ST/SULLIVAN to FELTON ST - West Side)

San Francisco Public Works has finally approved the above information for a Personal Wireless Service Facility Site Permit to be installed at 500 FELTON ST (SOMERSET ST/SULLIVAN to FELTON ST - West Side) submitted by GTE Mobilnet of California, Limited Partnership (Wireless).

The setbacks and other equipments to be installed at this location (shown in the attached drawings and equipment enclosures). A photo-illustration of the approved Personal Wireless Service Facility is attached.

Public Works has made a final determination that the Application satisfies the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final determination.

With 15 (fifteen) calendar days of this notice, a person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the applicant or the applicant's agent. For further information regarding the appeals process, please contact the Board of Appeals at 658-3511 or boap@sf.gov or <http://www.sfdph.org/dph/epi/boap/>. You may also visit www.sfdph.org/dph/epi/boap/ for general information concerning the appeals process.

An appeal may be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 350105).
2. The Application does not meet the applicable Compatibility Standard for the location (Public Works Code § 350105).
3. The Planning Department incorrectly determined that the Application complies with the applicable Compatibility Standard (see Public Works Code § 350105).
4. The Department of Environment & Parks incorrectly determined that the Application complies with the Tree Compatibility Standard (Public Works Code § 350105).
5. The Application does not comply with any other requirements for obtaining a Personal Wireless Service Facility Site Permit.

For additional information concerning the Application and final approval you may contact the San Francisco Public Works at 415-558-1102 or veronica@sfpublicworks.com. See www.sfpublicworks.com for more information.

San Francisco Public Works at 415-558-1102 or veronica@sfpublicworks.com.

San Francisco Public Works Program

Jul 14, 2021 at 12:08:06 PM

100-198 Somerset St

San Francisco CA 94134

United States

Palega Recreation Center - Gymnasium

mod 0114-2
019 06-181 01988 442



NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

DATE: 07/14/2021

07/14/2021

Ludmila Bland,
Title:

Acting Director

Public Works

Street Use and Mapping

450 South Van Ness Avenue

San Francisco, CA 94102

Phone: (415) 231-2000

Website: www.sfdph.org/dph/ceh/prevent/permits/permits.htm

Application No: 21WR-00002
Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**
Location: **500 FELTON ST (SOMERSET ST-SULLIMAN to FELTON ST - West Side)**

San Francisco Public Works has finally approved the above referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST-SULLIMAN to FELTON ST - West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

The antenna and other equipments to be installed at this location include Tere 19, 50 antennas, and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-632-5130 or boardofappeals@sfdph.org. You may also visit sfdph.org/dph/ceh/prevent/permits/permits.htm for general information concerning the appeals process.

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 15071(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reason(s):
 - A. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 15091(b)).
 - B. The Department of Inspection & Parks incorrectly determined that the Application meets the Tree Compatibility Standard (Public Works Code Public Works Code § 15101(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Ludmila Bland of Verizon Wireless at 415-889-1102 or verizon@modular.com, you may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Jul 14, 2021 at 12:06:55 PM
175 Somerset St
San Francisco CA 94134
United States

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT

07/14/2021

Date: 07/14/2021

Application No: 21WR-00002
Applicant Name: GTE Mobilnet of California, Limited Partnership (Verizon Wireless)
Location: 500 PELLUM ST, SOMERSET ST, SAN FRANCISCO, CA 94134

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the address of 500 PELLUM ST (SOMERSET ST, SULLIVAN to PELLUM ST - West Side), submitted by GTE Mobilnet of California, Limited Partnership (Verizon Wireless).

The antenna and other equipment to be installed at this location include three (3) 30-watt antennas and equipment enclosures. A photo simulation of the proposed Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application meets the applicable requirements of the Public Works Code. Please see Attachment 2 for the final determination.

Any person who desires to appeal this decision may appeal the decision of this permit to the Board of Appeals. Appeals must be filed by either the applicant or the applicant's agent for the location site. If the appeal is filed in person, please contact the Board of Appeals at 650-3150 or by email at appeals@sf.gov. You may also visit www.sfdph.org/dph/ceh/ceh_pubs/ceh_pubs_appeals.htm for general information concerning the appeals process.

An appeal may be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standards (Public Works Code § 4.01709)
2. The Application does not meet the applicable Compatibility Standards for the following reasons:
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 4.01709)
 - b. The Department of Public Health incorrectly determined that the Application meets the Compatibility Standard (Public Works Code Public Works Code § 4.01709)
 - c. The Application does not comply with any other requirements for obtaining a Personal Wireless Service Facility Site Permit.

Contact a Planning Department concerning this application and final approval you may contact Public Services & Works at 650-315-2200 or publicworks@sf.gov. You may also contact by email at publicworks@sf.gov.

Public Works Code Section

Jul 14, 2021 at 12:04:51 PM
500 Felton St
San Francisco CA 94134
United States
Palega Recreation Center - Gymnasium



**NOTICE OF FINAL DETERMINATION TO APPROVE A
PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT**

Date: 07/14/2021

07/14/2021

Director, Street
Work

Public Works

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Application No: 21W18-00002
Applicant Name: GTE Mobilnet of California, Limited Partnership (Verizon Wireless)
Location: 500 FELTON ST (SOMERSET ST, SULLIVAN to FELTON ST - West Side)

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST, SULLIVAN to FELTON ST - West Side), submitted by GTE Mobilnet of California, Limited Partnership (Verizon Wireless).

The antenna and other equipment to be installed at this location include: Three (3) 60 antennas and equipment enclosures. A photo-statement of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Applicant satisfied the applicable provisions of the Public Works Code. Please see Attachment 1 to view the final approval conditions.

Within (15) calendar days of this notice, any person may appeal the issuance of the permit to the Board of Appeals. Appeals must be filed by either the applicant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 415-625-1100 or for inquiries go to www.sfgov.org/bos. You may also visit sf.gov/bos for information concerning the appeal process.

An appeal may be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Code Standards (Public Works Code § 2307(b)).
2. The Applicant does not meet the applicable Compatibility Standard for the proposed facility.
3. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 2307(b)).
4. The Department of Recreation & Parks incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 2307(b)).
5. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning this Application and final approval, you may contact San Francisco Public Works at 415-625-1100 or scramer@modulic.com. You may also contact San Francisco Public Works at 878-272-2000.

Public Works Wireless Program

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Date: 07/14/2021

Application No.: 21WR-00002

Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

The antenna and other equipments to be installed at this location include Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-652-1150 or boardofappeals@sfgov.org. **You may also visit sfgov.org/bdappeal for instructions concerning filing an appeal and for general information concerning the appeals process.**

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 1507(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reason(s):
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Attachment 1

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud

bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.

3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated

ancillary equipment will be encased within rectangular enclosures.

- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

view from Somerset Street looking southwest at site



SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing



Proposed



Proposed Verizon
Antennas & Equipment



view from Somerset Street looking northwest at site



SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing

Proposed



Proposed Verizon
Antennas & Equipment



最後裁定興建個人無線服務設施據點許可 之申請案公告通知



日期：07/14/2021

申請案編號：21WR-00002

申請人姓名：**GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

位置：Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

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舊金山公共工程署最終核准有關於在 Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側) 由 **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)** 所提交的鄰近區域，興建個人無線服務設施據點的上述申請案。

天線等設備將安裝之設備包括: 三 (3) 台 5G 天線和兩個設備外殼。在此附上經核准的個人無線服務設施照片模擬資料圖。

公共工程已確定該申請滿足公共工程法規的適用要求。請參閱附件1以查看最終批准條件。

自本通知核發的十五 (15) 日內，任何人都能向上訴委員會就本許可的核發提出上訴。上訴人或其代理人必須親自提起上訴。有關上訴程序的更多資訊，請致電628-652-1150與上訴委員會聯繫，或透過電子郵件聯繫 boardofappeals@sfgov.org。您也可以訪問 sfgov.org/bdappeal，以獲取有關提出申訴的說明以及有關申訴程序的一般信息。

上訴必須以下列一或多項觀點做為立論基礎：

1. 公共衛生署錯誤判定申請案符合公共衛生法規遵循標準（參見公共工程署規章 § 1507(b)）。
2. 該應用程序不符合適用的兼容性標準，原因如下：
 - a. 規劃署錯誤判定申請案符合規劃保護或區域保護之相容性標準（Planning Compatibility Standard）（參見公共工程署規章 § (1509(b))）。
 - b. 康樂與公園署錯誤判定申請案符合 Tier C 遵循標準（參見公共工程署規章 § (1510(b))）。
3. 申請案不符合任何其他取得個人無線服務設施據點許可的要求。

如欲取得更多關於申請案與最終核准之資訊，您可透過 415-989-1102及 ycerrato@modusllc.com 與 Verizon Wireless 之 Yadira Cerrato 聯絡。詳情請洽詢舊金山公共工程署的電話：628-271-2000。

公共工程署無線計畫

附件1

舊金山公共工程署條件：

1. 本建議是以與描繪之圖例和／或照片模擬之精準情況為基礎。若安裝與所述情況有任何差異，一個新的應用應重新提交至相關各署，進一步進行審核和評估。
2. 地錨拉線：請遵守所有開挖規章，以取得放置地錨拉線的必要許可。地錨拉線應避開十字路口交會區，但不限定於車道、路緣坡道。
3. 遵循聯邦、各州、地方法律之 ADA 規章規定。
4. 在完工時，應對街道使用和勘測製圖許可局提供一組安裝的建構照片。
5. 每年皆應維持一份有效的保險憑證，並將一份複本轉送給街道使用和勘測製圖許可局。

舊金山公共衛生署條件：

- 確保本天線之電線桿安裝相關之任何設備，在從最近居住建築物牆面至少三 (3) 英尺測量時，皆不得發出超過 45 dBA 之噪音。
- 確保距離天線八 (8) 英尺範圍內，無任何公有用地。
- 一旦安裝天線之後，Verizon 就必須在天線以全功率運作的情況下執行射頻 (RF) 密度測量，確認在 Hammett 和 Edison 報告中的等級，並確保在任何公共空間中皆不得超過 FCC 公共空間曝露值。應在更新許可時重新進行本測量。
- Verizon 應知悉一般民眾可能會對其住所附近的任何天線和潛在射頻 (RF) 來源感到疑慮。Verizon 應在一般民眾要求時，在附近建築物放置檢測射頻 (RF) 密度等級之設施。
- 根據舊金山公共衛生署規章第 25 條第 1527 (a)(2)(C) 小節，Verizon 需負責對舊金山公共衛生署支付 \$210.00 美元之審核費用。

請注意，本核准和任何條件僅適用於本文所指涉之設備和安裝設施。若設備有任何變更或增加前述之有效輻射功率，就必須由公共衛生署實施新審核。

舊金山規劃署條件：

1. 種植和維護適當之街道樹木。
2. 天線，以及除看板之外之任何用來遮蔽的所有設備（外部導線、無線電中繼系統、用來遮蔽托架螺栓之遮罩 [如果需要] 和安裝設施），皆應漆上與電線桿同色之油漆，或視需要重新油漆。
3. 拆除任何可從人行道和住所看到之非政府法規規定以外的凸出設備看板和設備貼紙（包括無線電中繼系統／機櫃中的製造商標誌凹口內的填充物）。
4. 可使用最小型的射頻警告看板（4 x 6 吋），並儘可能在靠近天線的位置放置面向外面街道的警告貼紙。貼紙應面朝街道，但不面朝 15 英尺範圍內之附近窗戶。貼紙之背景色應與柱式安裝表面相符，而標誌及文字應為白色。
5. 應在適用法規和製造商設備標準之許可範圍內，儘可能緊密圍住疊架設備（不包括天線）。
6. 天線處之接合口和網罩組件區域之螺栓／螺絲，應以儘可能降低其從人行道上目

- 測可見程度之方式製造及安裝（例如齊平式安裝螺絲）；
7. 不得使用任何明顯之閃光指示燈或類似設備。
 8. 不阻礙視線或阻擋光線照射任何相鄰住宅窗戶。
 9. 若使用新的地下機箱開鑿（圓拱），則不得損壞或去除花崗岩緣石。不得因為安裝設備，而在圓拱機箱蓋和主要人行道材質之間造成重大間隙。公共道路用地內的任何其他現有歷史建築體，皆應在安裝設備時予以維持和保護。在圓拱蓋上不得標示任何電信商標誌或電信商名稱。
 10. 應拆除非必要的無線電中繼系統元件（把手和腳架）。
 11. 安裝人員應安排規劃署人員審查初步安裝作業，藉以確保遵守上述所有條件（不論是由電線桿所有人或公共衛生署檢驗）。
 12. 確保城市技術部門使用的Wi-Fi接入點和相關線路在安裝過程中不會受損（如果有）。
 13. 若安裝與所述情況有任何差異，應重新提交至規劃署，進一步審核和評估。

三藩市康樂與公園署條件：

- 1) 該項目的體量輪廓將最小可見，因為它將由三個 21 英寸高 x 8 英寸寬 x 5 英寸深的側裝集成天線組成，位於桿的上部（26 英尺-1 英寸到 27 英尺-10 英寸高度）在進入或離開公園的視線之外。
- 2) 由於新的 PG&E 桿高 (34 英尺-0 英寸) 將與現有桿高 (30 英尺-10 英寸) 相當，並且增加到滿足電力安全隔離標準所需的最小量，因此項目高度輪廓將是最小的。
- 3) 該項目的視覺影響將被最小化，因為所有天線和相關的輔助設備都將被封裝在矩形外殼內。
- 4) 根據申請人 Modus LLC. 於 2021 年 5 月 28 日收到的電子郵件確認，桿下部垂直安裝的輔助設備（塗漆以匹配桿顏色）應至少高出地面 8 英尺，以更好地確保視覺進入公園。

AVISO DE DETERMINACIÓN FINAL PARA APROBAR LA INSTALACIÓN DE UN EMPLAZAMIENTO DE SERVICIO MÓVIL PERSONAL



Fecha: 07/14/2021

London N. Breed
Mayor

No. de solicitud: 21WR-00002

Nombre del solicitante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Alaric Degrafinried
Acting Director

Ubicación: 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental)

Nicolas Huff
Bureau Manager

Obras Públicas de San Francisco ha finalmente aprobado la solicitud de permiso para la instalación de un emplazamiento de servicio móvil personal antes mencionada en las proximidades de 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental) presentada por **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Street-Use and Mapping
49 South Van Ness Avenue
Suite 300
San Francisco, CA 94103
Phone: (628) 271-2000

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La antena y otros equipos que se instalará en esta ubicación incluye: 3 antenas 5G y cajas de equipamiento. Se adjunta una simulación de la foto del emplazamiento de servicio móvil personal aprobado al presente documento.

Obras Públicas determinó que la solicitud cumplía con los requisitos correspondientes de la norma de Obras Públicas: Consulte el Anexo 1 para ver las condiciones de la aprobación final.

Dentro de los quince (15) días calendario de esta notificación, cualquier persona puede apelar la emisión de este permiso ante la Junta de Apelaciones. Las apelaciones deben realizarse por el apelante o por su agente. Por mayor información acerca del proceso de apelación, póngase en contacto con la Junta de Apelaciones al 628-652-1150 o boardofappeals@sfgov.org. **También puede visitar sfgov.org/bdappeal para obtener instrucciones sobre cómo presentar una apelación y para obtener información general sobre el proceso de apelación.**

La apelación debe basarse en uno o más de los siguientes motivos:

1. El Departamento de Salud Pública determinó incorrectamente que la solicitud cumple con la Norma de Cumplimiento de Salud Pública (consulte la Norma de Obras Públicas No. 1507(b)).
2. La solicitud no cumple con la Norma de Compatibilidad aplicable por la siguiente razón:
 - a. El Departamento de Planificación determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad aplicable (consulte la Norma de Obras Públicas No. (1509(b)).
 - b. El Departamento de Recreación y Parque determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad de nivel C (consulte la Norma de Obras Públicas No. 1510(b)).
3. La solicitud no cumple con cualquier otro requisito para la obtención de un permiso de un emplazamiento de servicio móvil personal.

Para obtener información adicional sobre la apelación y la aprobación final, puede comunicarse con

Yadira Cerrato de Verizon Wireless al 415-989-1102 o escribirle a ycerrato@modus-corp.com. También puede comunicarse con Obras Públicas de San Francisco al 628-271-2000.

Programa inalámbrico de Servicios Públicos

Anexo 1

Condiciones de Servicios Públicos de San Francisco:

1. Esta determinación se basa en los dibujos y/o la simulación de la foto. Si la instalación difiere de dichas condiciones, se debe volver a enviar una nueva solicitud a los departamentos para su revisión y comentarios adicionales.
2. Riendas: Siga todas las normas de excavación para obtener los permisos necesarios para la colocación de las riendas. Las riendas deberán evitar cruzar zonas en conflicto, pero no quedan limitadas a las calzadas o a las rampas del cordón.
3. Cumpla con los requisitos de la norma ADA y las leyes federales, estatales y locales.
4. Al finalizar la obra, deberá proporcionar un conjunto de fotos de la instalación con la obra terminada a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.
5. Mantenga una certificación válida del seguro anual y envíele una copia a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.

Condiciones del Departamento de Salud Pública de San Francisco:

- Asegúrese de que todo equipo relacionado con la instalación del poste de esta antena no produzca un ruido superior a 45 dBA, medido a tres (3) pies de la fachada del edificio residencial más cercano.
- Asegúrese de que no haya zonas ocupadas públicamente dentro de los ocho (8) pies del frente de la antena Ericsson.
- Una vez instalada la antena, Verizon debe tomar medidas de densidad de potencia de RF con la antena funcionando a plena potencia para verificar el nivel reportado en el informe Hammett y Edison y para asegurar que no se exceda el nivel de exposición pública de la FCC en ningún área de acceso público. Esta medición debe realizarse nuevamente en el momento de la renovación del permiso.
- Verizon debe ser consciente de que el público en general puede tener inquietudes acerca de la antena y de la fuente potencial de RF cerca de sus viviendas. Verizon debe disponer de un procedimiento para la toma de los niveles de densidad de potencia de RF en las viviendas cercanas cuando sea solicitado por los miembros del público en general.
- De acuerdo con la Norma de Obras Públicas de San Francisco, Artículo 25, Sección 1527 (a) (2) (C) Verizon es responsable de pagar una cuota de \$ 210,00 al Departamento de Salud Pública de San Francisco para esta revisión.

Tenga en cuenta que esta aprobación y las condiciones se aplican sólo a los equipos y a la instalación como se describe. Si se realiza algún cambio en el equipo o se aumenta la potencia radiada efectiva indicada anteriormente, el Departamento de Salud Pública deberá realizar una nueva revisión.

Condiciones del Departamento de Planificación de San Francisco:

1. Plante y mantenga un árbol apropiado en la acera.
2. La antena, y todo el equipo (conducto externo, unidades de radio enlace, cegadores utilizados para cubrir los pernos de soporte [si fuera necesario], y los mecanismos de montaje); salvo la señalización, si se utiliza para detección, todos serán pintados del mismo color que el poste y repintados cuando sea necesario.
3. Remueva la señalización de los equipos elevados (incluyendo el rellenado de las muescas del logotipo del fabricante en las unidades de radioenlace/gabinetes) y pegatinas en equipos que puedan verse desde la acera y las viviendas, a menos que sea requerido por regulaciones gubernamentales.
4. Utilice la señalización de advertencia de RF más pequeña que se permita (4 x 6 pulgadas); y coloque la pegatina de advertencia apuntando hacia afuera, hacia la calle, lo más cercano a la antena como sea posible. La pegatina debe apuntar hacia el otro lado de la calle, cuando no esté frente a una ventana cercana dentro de los 15 pies. El color de fondo de la pegatina debe coincidir con el color de la superficie del poste de montaje; y el logotipo y el texto deben ser blancos.
5. Apile los gabinetes de los equipos (excepto la antena) tan cerca como sea permitido por las reglamentaciones correspondientes y las normas del fabricante de los equipos.
6. Las costuras y los pernos/tornillos en la antena y en el área de la cubierta deben estar fabricados e instalados de una manera tal que reduzca su visibilidad (por ejemplo, tornillos de montaje al ras) desde la acera.
7. No utilice ningún indicador luminoso intermitente visible o algo similar.
8. No obstruir la vista o la luz que entre por cualquier ventana residencial adyacente.
9. Las nuevas excavaciones para recintos por debajo del suelo (bóvedas), de utilizarse, no deberán dañar o eliminar cordones de granito. No deben quedar espacios importantes entre la tapa de la bóveda y el material primario de la acera causados por la instalación. Todos los elementos arquitectónicos históricos existentes dentro de la vía pública serán mantenidos y protegidos durante la instalación. No se puede colocar el logotipo ni el nombre de la compañía prestadora del servicio en la tapa de la bóveda.
10. Los elementos no esenciales de la unidad de radioenlace (manija y patas) deben ser eliminados.
11. El instalador se encargará de que el personal del Departamento de Planificación revise la instalación inicial, con el fin de garantizar el cumplimiento de las condiciones antes mencionadas (a pesar de las inspecciones realizadas por el propietario de los postes y del Departamento de Obras Públicas).
12. 14. Verifique que los puntos de acceso de Wi-Fi y el cableado asociado utilizado por el Departamento de Tecnología de la Ciudad No sea dañado durante la instalación (si existe).
13. En caso de que la instalación varíe con respecto a dichas condiciones, deberá volver a presentar la solicitud al Departamento de Planificación para su posterior revisión y comentarios.

Condiciones de Recreación y Parque:

- 1) El perfil de masa del proyecto será mínimamente visible ya que constará de tres antenas integradas laterales de 21" de alto x 8" de ancho x 5" de profundidad en la parte superior del poste (26'-1" a 27'-10" de altura) que queda por fuera de las líneas de visión hacia o desde el parque.

- 2) El perfil de altura del proyecto será mínimo ya que la nueva altura del poste de PG&E (34'-0") será comparable a la altura del poste existente (30'-10") y el aumento se realiza a la cantidad mínima necesaria para satisfacer las normas de separación de seguridad de energía.
- 3) El impacto visual del proyecto se minimizará ya que todas las antenas y equipos auxiliares asociados se colocarán dentro de recintos rectangulares.
- 4) Según la confirmación por correo electrónico recibida del solicitante, Modus LLC., el 28 de mayo de 2021, el equipo auxiliar montado verticalmente en la parte inferior del poste (y que se pintará del mismo color del poste) deberá estar al menos a 8 pies sobre el nivel del suelo para garantizar una mejor visibilidad al parque.

PAUNAWA NG PANGHULING PAGPAPASIYA UPANG APRUBAHAN ANG ISANG PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Petsa: 07/14/2021

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
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Blg. ng Aplikasyon: 21WR-00002
Pangalan ng Aplikante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi)

Naprubahan sa wakas ng San Francisco Public Works ang Aplikasyon sa itaas para sa Permiso ng Personal na Wireless Service Facility Site malapit sa 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi) isinumite ni **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Ang antena at iba pang kagamitan na i-install sa lugar na ito ay kasama ang: 3 antena 5G at kagamitan enclosures. Naka-attach dito ang isang de-letratong simulation ng inaprubahang Personal Wireless Service Facility.

Pagawaing Bayan na natugunan ng Aplikasyon ang mga angkop na kinakailangan ng Kodigo ng Pagawaing Bayan: Mangyaring tingnan ang Attachment 1 upang matingnan ang mga kundisyon ng huling pag-apruba.

Sa loob ng (15) araw ng kalendaryo mula sa petsa ng abisong ito, maaaring i-apela ng sinumang tao sa Board of Appeals ang paglabas ng permisong ito. Kailangang isumite mismo ng apela o ng ahente ng humihingi ng apela ang mga apela. Para sa higit pang impormasyon tungkol sa proseso ng apela, mangyaring makipag-ugnayan mismo sa Konseho ng Pag-aapela sa 628-652-1150 o boardofappeals@sfgov.org. **Maaari mo ring bisitahin ang sfgov.org/bdappeal para sa mga tagubilin tungkol sa pagsampa ng isang apela at para sa pangkalahatang impormasyon tungkol sa proseso ng pag-apela.**

Ang apela ay dapat na batay sa isa o higit pa sa mga sumusunod na dahilan:

1. Maling natukoy ng Kagawaran ng Pambulikong Kalusugan na ang Aplikasyon ay alinsunod sa Pamantayan ng Pagsunod sa Pampublicong Kalusugan (tinganan ang Kodigo ng Pagawaing Bayan § 1507(b)).
2. Aplikasyon hindi ang nalalapit na Pamantayan ng Pagkakatugma para sa mga sumusunod na kadahilanan:
 - a. Maling natukoy ng Kagawaran ng Pagpapalano na natutugunan ng Pagpapalano Pamantayan ng Pagkakatugma (Kodigo ng Pagawaing Bayan § (1509(b))).
 - b. Maling naitukoy ng Departamento ng Recreation at Park na ang Aplikasyon ang matugunan ang Pamantayan ng Compatability ng Tier C (tignan ang Public Works Code § 1510(b)).
3. Hindi naaayon ang Aplikasyon sa anumang kinakailangan para sa pagkuha ng isang Personal Wireless Service Facility Site Permit.

Upang makakuha ng karagdagang impormasyon tungkol sa Aplikasyon at final approval, makipag-ugnay kay Yadira Cerrato, kinatawan ng Verizon Wireless sa 415-989-1102 o ycerrato@modus-corp.com. Maaari ka ring makipag-ugnayan kay San Francisco Pagawaing Bayan sa 628-271-2000.

Programang sa Wireless ng Pagawaing Bayan

Attachment 1

Mga Kondisyon ng Pagawaing Bayan ng San Francisco:

1. Ang pagpapasiya ito ay batay sa inilarawang mga guhit at/o de-letratong simulation. Kung iba man ang paglalagay mula sa mga nasabing kondisyon, isang bagong aplikasyon kailangan itong isumite muli sa (mga) Kagawaran para sa higit pang pagsusuri at puna.
2. Mga Down Guy: Sundin ang lahat ng kodigo sa paghuhukay upang makuha ang mga kinakailangang pahintulot para sa paglalagay ng mga down guy. Dapat iwasan ng down guy ang pagtawid sa mga di-akmang lugar kasama ang, ngunit hindi limitado sa, mga daanan ng sasakyan at mga ramp sa gilid ng bangketa.
3. Sumunod sa mga iniaatas ng kodigong ADA para sa mga Pederal na batas, batas ng Estado, o lokal na batas.
4. Sa pagtatapos ng trabaho, magbibigay ng isang set ng mga ginawang litrato ng installation para sa Bureau Street Use & Mapping Permit Office.
5. Magpanatili ng isang may bisang sertipikasyon ng kasiguraduhan taun-taon at magbigay ng isang kopya sa Opisina ng Pagpapahintulot ng Kawanihan ng Paggamit ng Kalsada at Pagmamapa.

Mga Kondisyon ng Kagawaran ng Pampublikong Kalusugan ng San Francisco:

- Tiyaking anumang kagamitang may kinalaman sa paglalagay ng poste ng antenang ito ay hindi gagawa ng ingay na lampas sa 45 dBA kapag sinukat sa layong tatlong (3) talampakan mula sa pinakamalapit na harapan ng residensyal na gusali.
- Siguruhin na walang mga okupadong pampublikong lugar na may layong walong (8) talampakan mula sa harapan ng antena Ericsson.
- Sa oras na mailagay ang antena, kinakailangang kumuha ang Verizon ng mga RF na sukat ng power density habang ang antena ay ganap na tumatakbo nang buong lakas upang masuri ang antas na inulat sa ulat ng Hammett at Edison at upang matiyak na ang FCC na antas ng public exposure ay hindi higit sa anumang lugar na napupuntahan ng publiko. Kailangang kunin ulit ang sukat na ito sa oras ng pag-renew ng permiso.
- Kinakailangang alam ng Verizon na ang publiko ay maaaring may mga alalahanin tungkol sa antena at ang potensiyal na pagmumulan ng RF source na malapit sa kanilang mga tirahan. Ang Verizon ay kinakailangang may paraan sa pagkuha ng mga RF na antas ng power density sa mga kalapit na tirahan kung hiniling ng mga miyembro ng publiko.
- Alinsunod sa San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Responsable ang Verizon sa pagbabayad ng halagang \$210.00 sa San Francisco Department of Public Health para sa rebisyong ito.

Pakitandaan na ang pag-aprubang ito at anumang kondisyon ay nalalapat lamang sa kagamitan at paglalagay tulad ng inilarawan. Kung may ginawang anumang pagbabago sa kagamitan o anumang pagtaas sa epektibong radiated power na inilarawan sa itaas, kailangang isagawa ng Kagawaran ng Pampublikong Kalusugan ang isang bagong pagsusuri.

Mga Kondisyon ng Kagawaran ng Pagpaplano ng San Francisco:

1. Magtanim at magpanatili ng naaakmang puno sa kalsada.
2. Ang antena at lahat ng kagamitan (panlabas na conduit, mga radio relay unit, mga blinder na ginagamit upang balutin ang mga bracket na trangka [kung kinakailangan], at mga mekanismo sa pagkakabit); maliban sa karatula, kung ginagamit para sa pagsasala, kinakailangang pinturahan ang lahat upang bumagay sa poste at muling pinturahan kung kinakailangan.
3. Alisin ang mga nakaangat na karatula ng kagamitan (kabilang ang pagpupuno sa mga manufacturer logo indentation sa mga radio relay unit/kabinet) at mga kagamitang decal na maaaring makita mula sa bangketa at tirahan, maliban kung iniaatas ng regulasyon ng gobyerno.
4. Gamitin ang pinakamaliit na RF na karatulang pangbabala na pinahihitulutan (4 x 6 pulgada); at ilagay ang pangbabalang sticker nang nakaharap sa kalsada, sa isang lokasyong malapit sa antena, kung maaari. Kinakailangang nakaharap nang papalayo sa kalsada ang sticker, kung hindi nakaharap sa isang kalapit na bintana sa loob ng 15 talampakan. Dapat tumugma ang background na kulay ng sticker sa surface na pinagkakabitan nito sa poste; at ang logo at sulat ay dapat kulay puti.
5. Ang mga enclosure ng salansan ng kagamitan (hindi kasama ang antena) ay maaaring magkalapit hangga't pinahihintulutan ng mga naaangkop na regulasyon at mga pamantayan sa kagamitan ng manufacturer.
6. Ang mga seam at trangka/turnilyo sa assembly area ng antena at pagbabalot ay kinakailangang gawin at ikabit sa paraang hindi nakikita ang mga ito (hal. mga flush mounting na turnilyo) mula sa lebel ng bangketa.
7. Huwag gumamit ng anumang nakikitang ilaw na flashing indicator o katulad nito.
8. Huwag harangan ang pangitain, o di kaya ang ilaw sa kahit na anong katabing bintana.
9. Ang mga bagong enclosure excavation sa ilalim ng lupa (vault), kung ginamit, ay hindi dapat makasira o maalisa ang mga granite na curb. Walang kapansing-pansing siwang ang dapat malikha sa pagitan ng takip ng bakod ng vault at pangunahing materyal ng bangketa dahil sa paglalagay. Ang anumang iba pang umiiral na makasaysayang elementong arkitektural sa loob ng pampublikong right-of-way ay dapat panatilihin at protektahan sa panahon ng paglalagay. Walang maaaring ilagay na logo o pangalan ng carrier sa takip ng vault.
10. Ang mga hindi mahalagang radio relay unit element (hawakan at mga binti) ay tatanggalin.
11. Ang tagalagay ay kinakailangang ihanda ang mga tauhan ng Kagawaran ng Pagpaplanong suriin ang unang paglalagay, upang matiyak ang pagsunod sa mga nabanggit na kondisyon (hindi kabilang mga inspeksyon ng may-ari ng poste at ang Kagawaran ng Pagawaing Bayan).
12. Siguraduhing ang mga Access Points ng Wi-Fi at mga kasamang wiring, na ginagamit ng City's Department of Technology, Ay hindi masisira habang ini-install (kung meron).
13. Kung mag-iba man ang paglalagay mula sa mga nasabing kondisyon, muling isusumite ang aplikasyon sa Kagawaran ng Pagpaplano para sa higit pang pagsusuri at puna.

Mga Kondisyong ng Kagawaran ng Recreation & Parks:

- 1) Ang massing profile ng proyekto ay halos hindi makikita dahil ito ay binubuo ng tatlong 21" taas x 8" ang lapad x 5" malalim na naka-mount na mga antena na naka-gilid sa itaas na bahagi ng poste (26'-1" hanggang 27'-10" sa taas) sa labas ng mga linya ng paningin sa o mula sa parke.
- 2) Ang profile ng taas ng proyekto ay magiging minimal dahil ang bagong taas ng poste ng PG&E (34'-0 ") ay maihahambing sa umiiral na taas ng poste (30'-10") at nadagdagan sa kaunting halaga na kinakailangan upang masiyahan ang mga pamantayan ng paghihiwalay sa kaligtasan ng kuryente.
- 3) Ang biswal na epekto ng proyekto ay mababawasan sa lahat ng mga antena at nauugnay na kagamitan na pandagdag ay maikukulong sa loob ng mga parihabang enclosure.
- 4) Ang bawat kumpirmasyon sa email na natanggap mula sa aplikante, Modus LLC., Noong Mayo 28, 2021, ang patayo na naka-mount na kagamitan na pandagdag (pininturahan upang maitugma ang kulay ng poste) sa mas mababang bahagi ng poste ay dapat na hindi bababa sa 8 talampakan sa itaas ng grado upang mas matiyak ang paningin pag-access sa parke.

Exhibit G: Email with the Notice of the Final
Determination

From: [NorCal Public Inquires](#)
Bcc: [NorCal Public Inquires](#); [info@podersf.org](#); [pna@portolasf.org](#); [nmtiasf@gmail.com](#); [sfommra@gmail.com](#); [ppapadopoulos@medasf.org](#); [scajina@eagsf.org](#); [ahsha.safai@sfgov.org](#); [Tim.H.Ho@sfgov.org](#); [Monica.Chinchilla@sfgov.org](#); [Geoffrea.Morris@sfgov.org](#); [Lauren.L.Chung@sfgov.org](#); [Ernest.E.Jones@sfgov.org](#); [sw8644@sherwin.com](#); [jcastleberry05@gmail.com](#); [melfloressf@gmail.com](#); [sfplanningdepartment@onebayview.com](#); [havelockstreetbridge@gmail.com](#); [CIAPres@hotmail.com](#); [cayugaimprovement@gmail.com](#)
Subject: Notice of Final Determination to Approve - Excelsior 025 - 21WR-00002 adj to 500 Felton St
Date: Wednesday, July 14, 2021 10:51:00 AM
Attachments: [Excelsior 025 FD Email Notification 21WR-00002.pdf](#)

Verizon Wireless is happy to announce that it will soon be improving coverage and data capacity to its network in your neighborhood. The improved wireless coverage will help accommodate the growing number of wireless calls and data use on the Verizon Wireless network. The Verizon Wireless small cell site will greatly enhance service capacity with the most aesthetically discrete technology available today.

In order to make these upgrades, Verizon Wireless is proposing a small cell on a replacement PG&E wood pole located in the Public Right-of-Way adjacent to 500 Felton St, San Francisco, CA 94134.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see attached Final Determination notice to view the final approval.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

NOTICE OF FINAL DETERMINATION TO APPROVE A PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Date: 07/14/2021

Application No.: 21WR-00002

Applicant Name: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
Bureau Manager

Street-Use and Mapping
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Phone: (628) 271-2000

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San Francisco Public Works has finally approved the above-referenced Application for a Personal Wireless Service Facility Site Permit in the vicinity of 500 FELTON ST (SOMERSET ST: SILLIMAN to FELTON ST – West Side) submitted by **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

The antenna and other equipments to be installed at this location include Three (3) 5G antennas and equipment enclosures. A photo-simulation of the approved Personal Wireless Service Facility is attached.

Public Works has made a determination that the Application satisfied the applicable requirements of the Public Works Code. Please see Attachment 1 to view the final approval's condition(s).

Within fifteen (15) calendar days of this notice, any person may appeal the issuance of this permit to the Board of Appeals. Appeals must be filed by either the appellant or the appellant's agent. For further information regarding the appeal process, please contact the Board of Appeals at 628-652-1150 or boardofappeals@sfgov.org. **You may also visit sfgov.org/bdappeal for instructions concerning filing an appeal and for general information concerning the appeals process.**

An appeal must be based on one or more of the following grounds:

1. The Department of Public Health incorrectly determined that the Application complies with the Public Health Compliance Standard (Public Works Code § 1507(b)).
2. The Application does not meet the applicable Compatibility Standard for the following reason(s):
 - a. The Planning Department incorrectly determined that the Application meets the applicable Compatibility Standard (see Public Works Code § 1509(b)).
 - b. The Department of Recreation & Parks incorrectly determined that the Application meets the Tier C compatibility Standard (Public Works Code Public Works Code § 1510(b)).
3. The Application does not comply with any other requirement for obtaining a Personal Wireless Service Facility Site Permit.

To obtain additional information concerning the Application and final approval you may contact Yadira Cerrato of Verizon Wireless at 415-989-1102 or ycerrato@modusllc.com. You may also contact San Francisco Public Works at 628-271-2000.

Public Works Wireless Program

Attachment 1

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce noise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericsson antennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammett and Edison report and to ensure that the FCC public exposure level is not exceeded in any publicly accessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for this review.

Please note that this approval and any conditions apply only to the equipment and installation as described. If any changes in the equipment or any increase in the effective radiated power described above are made, a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud

bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match the pole and repainted as needed.

3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing a nearby window within 15 feet. Background color of sticker shall match the pole-mounting surface; and logo and text shall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a manner so as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights or similar.
8. Not obstruct the view from, or the light into any adjacent residential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements (handle and legs) shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated

ancillary equipment will be encased within rectangular enclosures.

- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

view from Somerset Street looking southwest at site



SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing



Proposed



Proposed Verizon
Antennas & Equipment



view from Somerset Street looking northwest at site



SF Excelsior 025
Adjacent to 500 Felton Street, San Francisco, CA
Photosims Produced on 1-25-2021

Existing

Proposed



Proposed Verizon
Antennas & Equipment



最後裁定興建個人無線服務設施據點許可 之申請案公告通知



日期：07/14/2021

申請案編號：21WR-00002

申請人姓名：**GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

位置：Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側)

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
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舊金山公共工程署最終核准有關於在 Felton 街 500 號 (Somerset 街: Silliman 街到 Felton 街-西側) 由 **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)** 所提交的鄰近區域，興建個人無線服務設施據點的上述申請案。

天線等設備將安裝之設備包括: 三 (3) 台 5G 天線和兩個設備外殼。在此附上經核准的個人無線服務設施照片模擬資料圖。

公共工程已確定該申請滿足公共工程法規的適用要求。請參閱附件1以查看最終批准條件。

自本通知核發的十五 (15) 日內，任何人都能向上訴委員會就本許可的核發提出上訴。上訴人或其代理人必須親自提起上訴。有關上訴程序的更多資訊，請致電628-652-1150與上訴委員會聯繫，或透過電子郵件聯繫 boardofappeals@sfgov.org。您也可以訪問 sfgov.org/bdappeal，以獲取有關提出申訴的說明以及有關申訴程序的一般信息。

上訴必須以下列一或多項觀點做為立論基礎：

1. 公共衛生署錯誤判定申請案符合公共衛生法規遵循標準（參見公共工程署規章 § 1507(b)）。
2. 該應用程序不符合適用的兼容性標準，原因如下：
 - a. 規劃署錯誤判定申請案符合規劃保護或區域保護之相容性標準（Planning Compatibility Standard）（參見公共工程署規章 § (1509(b))）。
 - b. 康樂與公園署錯誤判定申請案符合 Tier C 遵循標準（參見公共工程署規章 § (1510(b))）。
3. 申請案不符合任何其他取得個人無線服務設施據點許可的要求。

如欲取得更多關於申請案與最終核准之資訊，您可透過 415-989-1102及 ycerrato@modusllc.com 與 Verizon Wireless 之 Yadira Cerrato 聯絡。詳情請洽詢舊金山公共工程署的電話：628-271-2000。

公共工程署無線計畫

附件1

舊金山公共工程署條件：

1. 本建議是以與描繪之圖例和／或照片模擬之精準情況為基礎。若安裝與所述情況有任何差異，一個新的應用應重新提交至相關各署，進一步進行審核和評估。
2. 地錨拉線：請遵守所有開挖規章，以取得放置地錨拉線的必要許可。地錨拉線應避開十字路口交會區，但不限定於車道、路緣坡道。
3. 遵循聯邦、各州、地方法律之 ADA 規章規定。
4. 在完工時，應對街道使用和勘測製圖許可局提供一組安裝的建構照片。
5. 每年皆應維持一份有效的保險憑證，並將一份複本轉送給街道使用和勘測製圖許可局。

舊金山公共衛生署條件：

- 確保本天線之電線桿安裝相關之任何設備，在從最近居住建築物牆面至少三 (3) 英尺測量時，皆不得發出超過 45 dBA 之噪音。
- 確保距離天線八 (8) 英尺範圍內，無任何公有用地。
- 一旦安裝天線之後，Verizon 就必須在天線以全功率運作的情況下執行射頻 (RF) 密度測量，確認在 Hammett 和 Edison 報告中的等級，並確保在任何公共空間中皆不得超過 FCC 公共空間曝露值。應在更新許可時重新進行本測量。
- Verizon 應知悉一般民眾可能會對其住所附近的任何天線和潛在射頻 (RF) 來源感到疑慮。Verizon 應在一般民眾要求時，在附近建築物放置檢測射頻 (RF) 密度等級之設施。
- 根據舊金山公共衛生署規章第 25 條第 1527 (a)(2)(C) 小節，Verizon 需負責對舊金山公共衛生署支付 \$210.00 美元之審核費用。

請注意，本核准和任何條件僅適用於本文所指涉之設備和安裝設施。若設備有任何變更或增加前述之有效輻射功率，就必須由公共衛生署實施新審核。

舊金山規劃署條件：

1. 種植和維護適當之街道樹木。
2. 天線，以及除看板之外之任何用來遮蔽的所有設備（外部導線、無線電中繼系統、用來遮蔽托架螺栓之遮罩 [如果需要] 和安裝設施），皆應漆上與電線桿同色之油漆，或視需要重新油漆。
3. 拆除任何可從人行道和住所看到之非政府法規規定以外的凸出設備看板和設備貼紙（包括無線電中繼系統／機櫃中的製造商標誌凹口內的填充物）。
4. 可使用最小型的射頻警告看板（4 x 6 吋），並儘可能在靠近天線的位置放置面向外面街道的警告貼紙。貼紙應面朝街道，但不面朝 15 英尺範圍內之附近窗戶。貼紙之背景色應與柱式安裝表面相符，而標誌及文字應為白色。
5. 應在適用法規和製造商設備標準之許可範圍內，儘可能緊密圍住疊架設備（不包括天線）。
6. 天線處之接合口和網罩組件區域之螺栓／螺絲，應以儘可能降低其從人行道上目

- 測可見程度之方式製造及安裝（例如齊平式安裝螺絲）；
7. 不得使用任何明顯之閃光指示燈或類似設備。
 8. 不阻礙視線或阻擋光線照射任何相鄰住宅窗戶。
 9. 若使用新的地下機箱開鑿（圓拱），則不得損壞或去除花崗岩緣石。不得因為安裝設備，而在圓拱機箱蓋和主要人行道材質之間造成重大間隙。公共道路用地內的任何其他現有歷史建築體，皆應在安裝設備時予以維持和保護。在圓拱蓋上不得標示任何電信商標誌或電信商名稱。
 10. 應拆除非必要的無線電中繼系統元件（把手和腳架）。
 11. 安裝人員應安排規劃署人員審查初步安裝作業，藉以確保遵守上述所有條件（不論是由電線桿所有人或公共衛生署檢驗）。
 12. 確保城市技術部門使用的Wi-Fi接入點和相關線路在安裝過程中不會受損（如果有）。
 13. 若安裝與所述情況有任何差異，應重新提交至規劃署，進一步審核和評估。

三藩市康樂與公園署條件：

- 1) 該項目的體量輪廓將最小可見，因為它將由三個 21 英寸高 x 8 英寸寬 x 5 英寸深的側裝集成天線組成，位於桿的上部（26 英尺-1 英寸到 27 英尺-10 英寸高度）在進入或離開公園的視線之外。
- 2) 由於新的 PG&E 桿高 (34 英尺-0 英寸) 將與現有桿高 (30 英尺-10 英寸) 相當，並且增加到滿足電力安全隔離標準所需的最小量，因此項目高度輪廓將是最小的。
- 3) 該項目的視覺影響將被最小化，因為所有天線和相關的輔助設備都將被封裝在矩形外殼內。
- 4) 根據申請人 Modus LLC. 於 2021 年 5 月 28 日收到的電子郵件確認，桿下部垂直安裝的輔助設備（塗漆以匹配桿顏色）應至少高出地面 8 英尺，以更好地確保視覺進入公園。

AVISO DE DETERMINACIÓN FINAL PARA APROBAR LA INSTALACIÓN DE UN EMPLAZAMIENTO DE SERVICIO MÓVIL PERSONAL



Fecha: 07/14/2021

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
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Street-Use and Mapping
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No. de solicitud: 21WR-00002

Nombre del solicitante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Ubicación: 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental)

Obras Públicas de San Francisco ha finalmente aprobado la solicitud de permiso para la instalación de un emplazamiento de servicio móvil personal antes mencionada en las proximidades de 500 FELTON Street (SOMERSET Street: SILLIMAN a FELTON Street – Lado Occidental) presentada por **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

La antena y otros equipos que se instalará en esta ubicación incluye: 3 antenas 5G y cajas de equipamiento. Se adjunta una simulación de la foto del emplazamiento de servicio móvil personal aprobado al presente documento.

Obras Públicas determinó que la solicitud cumplía con los requisitos correspondientes de la norma de Obras Públicas: Consulte el Anexo 1 para ver las condiciones de la aprobación final.

Dentro de los quince (15) días calendario de esta notificación, cualquier persona puede apelar la emisión de este permiso ante la Junta de Apelaciones. Las apelaciones deben realizarse por el apelante o por su agente. Por mayor información acerca del proceso de apelación, póngase en contacto con la Junta de Apelaciones al 628-652-1150 o boardofappeals@sfgov.org. **También puede visitar sfgov.org/bdappeal para obtener instrucciones sobre cómo presentar una apelación y para obtener información general sobre el proceso de apelación.**

La apelación debe basarse en uno o más de los siguientes motivos:

1. El Departamento de Salud Pública determinó incorrectamente que la solicitud cumple con la Norma de Cumplimiento de Salud Pública (consulte la Norma de Obras Públicas No. 1507(b)).
2. La solicitud no cumple con la Norma de Compatibilidad aplicable por la siguiente razón:
 - a. El Departamento de Planificación determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad aplicable (consulte la Norma de Obras Públicas No. (1509(b)).
 - b. El Departamento de Recreación y Parque determinó incorrectamente que la solicitud cumple con la Norma de Compatibilidad de nivel C (consulte la Norma de Obras Públicas No. 1510(b)).
3. La solicitud no cumple con cualquier otro requisito para la obtención de un permiso de un emplazamiento de servicio móvil personal.

Para obtener información adicional sobre la apelación y la aprobación final, puede comunicarse con

Yadira Cerrato de Verizon Wireless al 415-989-1102 o escribirle a ycerrato@modus-corp.com. También puede comunicarse con Obras Públicas de San Francisco al 628-271-2000.

Programa inalámbrico de Servicios Públicos

Anexo 1

Condiciones de Servicios Públicos de San Francisco:

1. Esta determinación se basa en los dibujos y/o la simulación de la foto. Si la instalación difiere de dichas condiciones, se debe volver a enviar una nueva solicitud a los departamentos para su revisión y comentarios adicionales.
2. Riendas: Siga todas las normas de excavación para obtener los permisos necesarios para la colocación de las riendas. Las riendas deberán evitar cruzar zonas en conflicto, pero no quedan limitadas a las calzadas o a las rampas del cordón.
3. Cumpla con los requisitos de la norma ADA y las leyes federales, estatales y locales.
4. Al finalizar la obra, deberá proporcionar un conjunto de fotos de la instalación con la obra terminada a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.
5. Mantenga una certificación válida del seguro anual y envíele una copia a la Oficina de Permisos de la Oficina de uso de la calle y Cartografía.

Condiciones del Departamento de Salud Pública de San Francisco:

- Asegúrese de que todo equipo relacionado con la instalación del poste de esta antena no produzca un ruido superior a 45 dBA, medido a tres (3) pies de la fachada del edificio residencial más cercano.
- Asegúrese de que no haya zonas ocupadas públicamente dentro de los ocho (8) pies del frente de la antena Ericsson.
- Una vez instalada la antena, Verizon debe tomar medidas de densidad de potencia de RF con la antena funcionando a plena potencia para verificar el nivel reportado en el informe Hammett y Edison y para asegurar que no se exceda el nivel de exposición pública de la FCC en ningún área de acceso público. Esta medición debe realizarse nuevamente en el momento de la renovación del permiso.
- Verizon debe ser consciente de que el público en general puede tener inquietudes acerca de la antena y de la fuente potencial de RF cerca de sus viviendas. Verizon debe disponer de un procedimiento para la toma de los niveles de densidad de potencia de RF en las viviendas cercanas cuando sea solicitado por los miembros del público en general.
- De acuerdo con la Norma de Obras Públicas de San Francisco, Artículo 25, Sección 1527 (a) (2) (C) Verizon es responsable de pagar una cuota de \$ 210,00 al Departamento de Salud Pública de San Francisco para esta revisión.

Tenga en cuenta que esta aprobación y las condiciones se aplican sólo a los equipos y a la instalación como se describe. Si se realiza algún cambio en el equipo o se aumenta la potencia radiada efectiva indicada anteriormente, el Departamento de Salud Pública deberá realizar una nueva revisión.

Condiciones del Departamento de Planificación de San Francisco:

1. Plante y mantenga un árbol apropiado en la acera.
2. La antena, y todo el equipo (conducto externo, unidades de radio enlace, cegadores utilizados para cubrir los pernos de soporte [si fuera necesario], y los mecanismos de montaje); salvo la señalización, si se utiliza para detección, todos serán pintados del mismo color que el poste y repintados cuando sea necesario.
3. Remueva la señalización de los equipos elevados (incluyendo el rellenado de las muescas del logotipo del fabricante en las unidades de radioenlace/gabinetes) y pegatinas en equipos que puedan verse desde la acera y las viviendas, a menos que sea requerido por regulaciones gubernamentales.
4. Utilice la señalización de advertencia de RF más pequeña que se permita (4 x 6 pulgadas); y coloque la pegatina de advertencia apuntando hacia afuera, hacia la calle, lo más cercano a la antena como sea posible. La pegatina debe apuntar hacia el otro lado de la calle, cuando no esté frente a una ventana cercana dentro de los 15 pies. El color de fondo de la pegatina debe coincidir con el color de la superficie del poste de montaje; y el logotipo y el texto deben ser blancos.
5. Apile los gabinetes de los equipos (excepto la antena) tan cerca como sea permitido por las reglamentaciones correspondientes y las normas del fabricante de los equipos.
6. Las costuras y los pernos/tornillos en la antena y en el área de la cubierta deben estar fabricados e instalados de una manera tal que reduzca su visibilidad (por ejemplo, tornillos de montaje al ras) desde la acera.
7. No utilice ningún indicador luminoso intermitente visible o algo similar.
8. No obstruir la vista o la luz que entre por cualquier ventana residencial adyacente.
9. Las nuevas excavaciones para recintos por debajo del suelo (bóvedas), de utilizarse, no deberán dañar o eliminar cordones de granito. No deben quedar espacios importantes entre la tapa de la bóveda y el material primario de la acera causados por la instalación. Todos los elementos arquitectónicos históricos existentes dentro de la vía pública serán mantenidos y protegidos durante la instalación. No se puede colocar el logotipo ni el nombre de la compañía prestadora del servicio en la tapa de la bóveda.
10. Los elementos no esenciales de la unidad de radioenlace (manija y patas) deben ser eliminados.
11. El instalador se encargará de que el personal del Departamento de Planificación revise la instalación inicial, con el fin de garantizar el cumplimiento de las condiciones antes mencionadas (a pesar de las inspecciones realizadas por el propietario de los postes y del Departamento de Obras Públicas).
12. 14. Verifique que los puntos de acceso de Wi-Fi y el cableado asociado utilizado por el Departamento de Tecnología de la Ciudad No sea dañado durante la instalación (si existe).
13. En caso de que la instalación varíe con respecto a dichas condiciones, deberá volver a presentar la solicitud al Departamento de Planificación para su posterior revisión y comentarios.

Condiciones de Recreación y Parque:

- 1) El perfil de masa del proyecto será mínimamente visible ya que constará de tres antenas integradas laterales de 21" de alto x 8" de ancho x 5" de profundidad en la parte superior del poste (26'-1" a 27'-10" de altura) que queda por fuera de las líneas de visión hacia o desde el parque.

- 2) El perfil de altura del proyecto será mínimo ya que la nueva altura del poste de PG&E (34'-0") será comparable a la altura del poste existente (30'-10") y el aumento se realiza a la cantidad mínima necesaria para satisfacer las normas de separación de seguridad de energía.
- 3) El impacto visual del proyecto se minimizará ya que todas las antenas y equipos auxiliares asociados se colocarán dentro de recintos rectangulares.
- 4) Según la confirmación por correo electrónico recibida del solicitante, Modus LLC., el 28 de mayo de 2021, el equipo auxiliar montado verticalmente en la parte inferior del poste (y que se pintará del mismo color del poste) deberá estar al menos a 8 pies sobre el nivel del suelo para garantizar una mejor visibilidad al parque.

PAUNAWA NG PANGHULING PAGPAPASIYA UPANG APRUBAHAN ANG ISANG PERSONAL WIRELESS SERVICE FACILITY SITE PERMIT



Petsa: 07/14/2021

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Nicolas Huff
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Blg. ng Aplikasyon: 21WR-00002
Pangalan ng Aplikante: **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**

Location: 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi)

Naprubahan sa wakas ng San Francisco Public Works ang Aplikasyon sa itaas para sa Permiso ng Personal na Wireless Service Facility Site malapit sa 500 FELTON Street (SOMERSET Street: SILLIMAN ang FELTON Street – Kanlurang bahagi) isinumite ni **GTE Mobilnet of California, Limited Partnership (Verizon Wireless)**.

Ang antena at iba pang kagamitan na i-install sa lugar na ito ay kasama ang: 3 antena 5G at kagamitan enclosures. Naka-attach dito ang isang de-letratong simulation ng inaprubahang Personal Wireless Service Facility.

Pagawaing Bayan na natugunan ng Aplikasyon ang mga angkop na kinakailangan ng Kodigo ng Pagawaing Bayan: Mangyaring tingnan ang Attachment 1 upang matingnan ang mga kundisyon ng huling pag-apruba.

Sa loob ng (15) araw ng kalendaryo mula sa petsa ng abisong ito, maaaring i-apela ng sinumang tao sa Board of Appeals ang paglabas ng permisong ito. Kailangang isumite mismo ng apela o ng ahente ng humihingi ng apela ang mga apela. Para sa higit pang impormasyon tungkol sa proseso ng apela, mangyaring makipag-ugnayan mismo sa Konseho ng Pag-aapela sa 628-652-1150 o boardofappeals@sfgov.org. **Maaari mo ring bisitahin ang sfgov.org/bdappeal para sa mga tagubilin tungkol sa pagsampa ng isang apela at para sa pangkalahatang impormasyon tungkol sa proseso ng pag-apela.**

Ang apela ay dapat na batay sa isa o higit pa sa mga sumusunod na dahilan:

1. Maling natukoy ng Kagawaran ng Pambulikong Kalusugan na ang Aplikasyon ay alinsunod sa Pamantayan ng Pagsunod sa Pampublikong Kalusugan (tinganan ang Kodigo ng Pagawaing Bayan § 1507(b)).
2. Aplikasyon hindi ang nalalapit na Pamantayan ng Pagkakatugma para sa mga sumusunod na kadahilanan:
 - a. Maling natukoy ng Kagawaran ng Pagpapalano na natutugunan ng Pagpapalano Pamantayan ng Pagkakatugma (Kodigo ng Pagawaing Bayan § (1509(b))).
 - b. Maling naitukoy ng Departamento ng Recreation at Park na ang Aplikasyon ang matugunan ang Pamantayan ng Compatability ng Tier C (tingnan ang Public Works Code § 1510(b)).
3. Hindi naaayon ang Aplikasyon sa anumang kinakailangan para sa pagkuha ng isang Personal Wireless Service Facility Site Permit.

Upang makakuha ng karagdagang impormasyon tungkol sa Aplikasyon at final approval, makipag-ugnay kay Yadira Cerrato, kinatawan ng Verizon Wireless sa 415-989-1102 o ycerrato@modus-corp.com. Maaari ka ring makipag-ugnayan kay San Francisco Pagawaing Bayan sa 628-271-2000.

Programang sa Wireless ng Pagawaing Bayan

Attachment 1

Mga Kondisyon ng Pagawaing Bayan ng San Francisco:

1. Ang pagpapasiya ito ay batay sa inilarawang mga guhit at/o de-letratong simulation. Kung iba man ang paglalagay mula sa mga nasabing kondisyon, isang bagong aplikasyon kailangan itong isumite muli sa (mga) Kagawaran para sa higit pang pagsusuri at puna.
2. Mga Down Guy: Sundin ang lahat ng kodigo sa paghuhukay upang makuha ang mga kinakailangang pahintulot para sa paglalagay ng mga down guy. Dapat iwasan ng down guy ang pagtawid sa mga di-akmang lugar kasama ang, ngunit hindi limitado sa, mga daanan ng sasakyan at mga ramp sa gilid ng bangketa.
3. Sumunod sa mga iniaatas ng kodigong ADA para sa mga Pederal na batas, batas ng Estado, o lokal na batas.
4. Sa pagtatapos ng trabaho, magbibigay ng isang set ng mga ginawang litrato ng installation para sa Bureau Street Use & Mapping Permit Office.
5. Magpanatili ng isang may bisang sertipikasyon ng kasiguraduhan taun-taon at magbigay ng isang kopya sa Opisina ng Pagpapahintulot ng Kawanihan ng Paggamit ng Kalsada at Pagmamapa.

Mga Kondisyon ng Kagawaran ng Pampublikong Kalusugan ng San Francisco:

- Tiyaking anumang kagamitang may kinalaman sa paglalagay ng poste ng antenang ito ay hindi gagawa ng ingay na lampas sa 45 dBA kapag sinukat sa layong tatlong (3) talampakan mula sa pinakamalapit na harapan ng residensyal na gusali.
- Siguruhin na walang mga okupadong pampublikong lugar na may layong walong (8) talampakan mula sa harapan ng antena Ericsson.
- Sa oras na mailagay ang antena, kinakailangang kumuha ang Verizon ng mga RF na sukat ng power density habang ang antena ay ganap na tumatakbo nang buong lakas upang masuri ang antas na inulat sa ulat ng Hammett at Edison at upang matiyak na ang FCC na antas ng public exposure ay hindi higit sa anumang lugar na napupuntahan ng publiko. Kailangang kunin ulit ang sukat na ito sa oras ng pag-renew ng permiso.
- Kinakailangang alam ng Verizon na ang publiko ay maaaring may mga alalahanin tungkol sa antena at ang potensiyal na pagmumulan ng RF source na malapit sa kanilang mga tirahan. Ang Verizon ay kinakailangang may paraan sa pagkuha ng mga RF na antas ng power density sa mga kalapit na tirahan kung hiniling ng mga miyembro ng publiko.
- Alinsunod sa San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Responsable ang Verizon sa pagbabayad ng halagang \$210.00 sa San Francisco Department of Public Health para sa rebisyong ito.

Pakitandaan na ang pag-aprubang ito at anumang kondisyon ay nalalapat lamang sa kagamitan at paglalagay tulad ng inilarawan. Kung may ginawang anumang pagbabago sa kagamitan o anumang pagtaas sa epektibong radiated power na inilarawan sa itaas, kailangang isagawa ng Kagawaran ng Pampublikong Kalusugan ang isang bagong pagsusuri.

Mga Kondisyon ng Kagawaran ng Pagpapalano ng San Francisco:

1. Magtanim at magpanatili ng naaakmang puno sa kalsada.
2. Ang antena at lahat ng kagamitan (panlabas na conduit, mga radio relay unit, mga blinder na ginagamit upang balutin ang mga bracket na trangka [kung kinakailangan], at mga mekanismo sa pagkakabit); maliban sa karatula, kung ginagamit para sa pagsasala, kinakailangang pinturahan ang lahat upang bumagay sa poste at muling pinturahan kung kinakailangan.
3. Alisin ang mga nakaangat na karatula ng kagamitan (kabilang ang pagpupuno sa mga manufacturer logo indentation sa mga radio relay unit/kabinet) at mga kagamitang decal na maaaring makita mula sa bangketa at tirahan, maliban kung iniaatas ng regulasyon ng gobyerno.
4. Gamitin ang pinakamaliit na RF na karatulang pangbabala na pinahihitulutan (4 x 6 pulgada); at ilagay ang pangbabalang sticker nang nakaharap sa kalsada, sa isang lokasyong malapit sa antena, kung maaari. Kinakailangang nakaharap nang papalayo sa kalsada ang sticker, kung hindi nakaharap sa isang kalapit na bintana sa loob ng 15 talampakan. Dapat tumugma ang background na kulay ng sticker sa surface na pinagkakabitan nito sa poste; at ang logo at sulat ay dapat kulay puti.
5. Ang mga enclosure ng salansan ng kagamitan (hindi kasama ang antena) ay maaaring magkalapit hangga't pinahihintulutan ng mga naaangkop na regulasyon at mga pamantayan sa kagamitan ng manufacturer.
6. Ang mga seam at trangka/turnilyo sa assembly area ng antena at pagbabalot ay kinakailangang gawin at ikabit sa paraang hindi nakikita ang mga ito (hal. mga flush mounting na turnilyo) mula sa lebel ng bangketa.
7. Huwag gumamit ng anumang nakikitang ilaw na flashing indicator o katulad nito.
8. Huwag harangan ang pangitain, o di kaya ang ilaw sa kahit na anong katabing bintana.
9. Ang mga bagong enclosure excavation sa ilalim ng lupa (vault), kung ginamit, ay hindi dapat makasira o maalisa ang mga granite na curb. Walang kapansing-pansing siwang ang dapat malikha sa pagitan ng takip ng bakod ng vault at pangunahing materyal ng bangketa dahil sa paglalagay. Ang anumang iba pang umiiral na makasaysayang elementong arkitektural sa loob ng pampublikong right-of-way ay dapat panatilihin at protektahan sa panahon ng paglalagay. Walang maaaring ilagay na logo o pangalan ng carrier sa takip ng vault.
10. Ang mga hindi mahalagang radio relay unit element (hawakan at mga binti) ay tatanggalin.
11. Ang tagalagay ay kinakailangang ihanda ang mga tauhan ng Kagawaran ng Pagpapalano suriin ang unang paglalagay, upang matiyak ang pagsunod sa mga nabanggit na kondisyon (hindi kabilang mga inspeksyon ng may-ari ng poste at ang Kagawaran ng Pagawaing Bayan).
12. Siguraduhing ang mga Access Points ng Wi-Fi at mga kasamang wiring, na ginagamit ng City's Department of Technology, Ay hindi masisira habang ini-install (kung meron).
13. Kung mag-iba man ang paglalagay mula sa mga nasabing kondisyon, muling isusumite ang aplikasyon sa Kagawaran ng Pagpapalano para sa higit pang pagsusuri at puna.

Mga Kondisyong ng Kagawaran ng Recreation & Parks:

- 1) Ang massing profile ng proyekto ay halos hindi makikita dahil ito ay binubuo ng tatlong 21" taas x 8" ang lapad x 5" malalim na naka-mount na mga antena na naka-gilid sa itaas na bahagi ng poste (26'-1" hanggang 27'-10" sa taas) sa labas ng mga linya ng paningin sa o mula sa parke.
- 2) Ang profile ng taas ng proyekto ay magiging minimal dahil ang bagong taas ng poste ng PG&E (34'-0 ") ay maihahambing sa umiiral na taas ng poste (30'-10") at nadagdagan sa kaunting halaga na kinakailangan upang masiyahan ang mga pamantayan ng paghihiwalay sa kaligtasan ng kuryente.
- 3) Ang biswal na epekto ng proyekto ay mababawasan sa lahat ng mga antena at nauugnay na kagamitan na pandagdag ay maikukulong sa loob ng mga parihabang enclosure.
- 4) Ang bawat kumpirmasyon sa email na natanggap mula sa aplikante, Modus LLC., Noong Mayo 28, 2021, ang patayo na naka-mount na kagamitan na pandagdag (pininturahan upang maitugma ang kulay ng poste) sa mas mababang bahagi ng poste ay dapat na hindi bababa sa 8 talampakan sa itaas ng grado upang mas matiyak ang paningin pag-access sa parke.

Exhibit H: Public Works Permit No. 21WR-
00002

Conditions	
Contact247	Refer to Agent
Permit Comments	
Service Address	
Wireless Machine Type	
Wireless Tier	TierC
Permit Pole Location	West side of Somerset St from Silliman St to Felton St
Permit Wireless Antenna	3
Permit Wireless AntMakeModel	Ericsson 6701
Permit Planning Location	
Permit Tier Comments	
Permit Wireless DPH	Applicant is using equipment for the first time. Attached is an original verified statement from a registered engineer that: (i) potential human exposure to radio frequency emissions from the proposed Personal Wireless Service Facility is within the FCC guidelines; and (ii) noise at any time of the day or night from the proposed Personal Wireless Service Facility is not greater than forty-five (45) dBA as measured at a distance three (3) feet from any residential building facade.
Permit Planning Approval	The proposed Personal Wireless Service Facility is in Zoning Protected Location.
Permit Utility Conditions	Applicant has a valid Utility Conditions Permit
Permit Tier3 Std	
Permit Tier3 Std1	
Permit Tier3 Std2	
Permit Wireless Documents	
Permit_Auto_StartDate_Ind	Y

The undersigned Permittee hereby agrees to comply with all requirements and conditions noted on this permit

Approved Date : 07/15/2021

Applicant/Permittee

Date

Printed : 7/15/2021 12:17:24 PM Plan Checker

Lulu Brien

Conditions

San Francisco Public Works Conditions:

1. This determination is based on the depicted drawings and/or photo simulation. Should the installation vary from said conditions, a new application should be resubmitted to Department(s) for further review and comment.
2. Down Guys: Follow all excavation codes to obtain the necessary permits for placement of down guys. Down guy shall avoid crossing conflicting areas but not limited to driveways, curb ramps.
3. Comply with ADA code requirements for Federal, State, local laws.
4. At the conclusion of the work, provide a set of as built photos of the installation to the Bureau Street-use & Mapping Permit Office.
5. Maintain a valid certification of insurance annually and forward a copy to the Bureau Street-use & Mapping Permit Office.

San Francisco Department of Public Health Conditions:

- Ensure that any equipment associated with the pole installation of this antenna does not produce anoise in excess of 45 dBA as measured at three (3) feet from the nearest residential building façade.
- Ensure that there are no publicly occupied areas within eight (8) feet from the face of the Ericssonantennas.
- Once the antenna is installed, Verizon must take radio frequency (RF) power density measurements with the antenna operating at full power to verify the level reported in the Hammettand Edison report and to ensure that the FCC public exposure level is not exceeded in any publiclyaccessible area. This measurement must be taken again at the time of the permit renewal.
- Verizon should be aware that the general public may have concerns about the antenna and potential RF source near their dwellings. Verizon should have in place a procedure for taking RF power density levels in nearby dwellings when requested by the members of the general public.
- In accordance with the San Francisco Public Works Code, Art. 25, Sec. 1527 (a)(2)(C) Verizon is responsible for paying a fee of \$210.00 to the San Francisco Department of Public Health for thisreview.

Please note that this approval and any conditions apply only to the equipment and installation as described.If any changes in the equipment or any increase in the effective radiated power described above are made,a new review by the Department of Public Health must be conducted.

San Francisco Planning Department Conditions:

1. Plant and maintain an appropriate street tree.
2. Antenna, and all equipment (external conduit, radio relay units, blinders used to shroud bracket bolts [if needed], and mounting mechanisms); except signage, if used for screening, shall all be painted to match thepole and repainted as needed.
3. Remove raised equipment signage (including filling in manufacturer logo indentations on radio relay units/cabinets) and equipment decals that may be visible from sidewalk and dwellings, unless required by government regulation.
4. Utilize smallest RF warning signage allowed (4 x 6 inches); and place the warning sticker facing out toward street, at a location as close to antenna as is feasible. Sticker shall face away from street, when not facing anearby window within 15 feet. Background color ofstickershall match the pole-mounting surface; and logo and textshall be white.
5. Stack equipment enclosures (not including antenna) as close as allowed by applicable regulation and manufacturer equipment standards.
6. Seams and bolts/screws at antenna and shroud assembly area shall be fabricated and installed in a mannerto as to reduce their visibility (e.g. flush mounting screws) from sidewalk level.
7. Not utilize any visible flashing indicator lights orsimilar.
8. Not obstruct the view from, or the light into any adjacentresidential window.
9. New below ground enclosure excavations (vault), if utilized, shall not damage or remove granite curbs. No significant gaps shall be created between vault enclosure lid and primary sidewalk material due to installation. Any other existing historic architectural elements within the public right-of-way shall be retained and protected during installation. No carrier logo or carrier name may be placed on the vault lid.
10. Non-essential radio relay unit elements(handle and legs)shall be removed.
11. The installer shall arrange to have Planning Department staff review the initial installation, in order to ensure compliance with the aforementioned conditions (notwithstanding inspections by pole owner and Department of Public Works).
12. Ensure Wi-Fi Access Points and associated wiring, utilized by the City's Department of Technology, are not damaged during installation (if present).
13. Should the installation vary from said conditions, the application shall be resubmitted

to the Planning Department for further review and comment.

Recreation & Parks Department Conditions:

- 1) The project's massing profile will be minimally visible in that it will consist of three 21" tall x 8" wide x 5" deep side-mounted integrated antennas on the upper portion of the pole (26'-1" to 27'-10" in height) outside of lines of sight into or from the park.
- 2) The project height profile will be minimal in that the new PG&E pole height (34'-0") will be comparable to the existing pole height (30'-10") and increased to the minimal amount needed to satisfy power safety separation standards.
- 3) The visual impact of the project will be minimized in that all antennas and associated ancillary equipment will be encased within rectangular enclosures.
- 4) Per email confirmation received from the applicant, Modus LLC., on May 28, 2021, the vertically-mounted ancillary equipment (painted to match pole color) upon the lower portion of the pole shall be at least 8 feet above grade to better ensure visual access into the park.

Permit Addresses

21WR-00002

*RW = RockWheel, SMC = Surface Mounted Cabinets, S/W = Sidewalk Work, DB = Directional Boring,
 BP= Reinforced Concrete Bus Pad, UB = Reinforced Concrete for Utility Pull Boxes and Curb Ramps
 Green background: Staging Only

Number of blocks: 1 Total repair size:0 sqft Total Streetspace:0 Total Sidewalk: sqft

ID	Street Name	From St	To St	Sides	*Other	Asphalt	Concrete	Street Space Feet	Sidewalk Feet
1	SOMERSET ST	SILLIMAN ST	FELTON ST	West	RW : False SMC : False S/W Only : False DB: False BP: False UB: False	0	0	0	
Total						0	0	0	

Exceptions - Coordination

It is mandatory that you coordinate your permit with the following jobs listed. You will be required to call each contact listed and create a note including the date contact was made, agreed coordination, name of contact, or date message(s) left if unable to reach a contact.

Street Use Conflicts:

Job #	Activity	Contact	
21EXC-02364	MCIMetro Access Transmission Services Corp. - Conflict with existing excavation permit. It is mandatory that you coordinate all work for joint paving.	Refer to Agent - Refer to Agent	<input type="checkbox"/>
Your Notes:			
Streets:	SOMERSET ST / SILLIMAN ST - FELTON ST -		

Permit Conflicts:

permit	Dates	Agency	Contact	
Your Notes:				
Streets:				

