

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
YVONNE SIMONSEN and MIKE AND TAMAR ROSATI,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **22-005**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on February 7, 2022, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on January 21, 2022 to William Hoskins, of an Alteration Permit (extend the deck from 48" to 105" so that it can be supported by a load bearing wall at garage; revision to Building Permit No. 2017/09/25/9421) at 120 Eastwood Drive.

APPLICATION NO. 2019/08/20/9309

FOR HEARING ON March 23, 2022

Address of Appellant(s):

Address of Other Parties:

Yvonne Simonsen and Mike and Tamar Rosati,
Appellant(s)
1417 Plymouth Avenue
San Francisco, CA 94112

William Hoskins, Permit Holder(s)
c/o Albert Urrutia, Agent for Permit Holder(s)
Atrium Structural Engineering
2451 Harrison Street
San Francisco, CA 94110



Date Filed: February 7, 2022

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 22-005

I / We, **Yvonne Simonsen and Mike and Tamar Rosati**, hereby appeal the following departmental action:
ISSUANCE of Alteration Permit No. 2019/08/20/9309 by the **Department of Building Inspection** which was issued or became effective on: **January 21, 2022**, to: **William Hoskins**, for the property located at: **120 Eastwood Drive**.

BRIEFING SCHEDULE:

The Appellants may, but are not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellants' Brief is due on or before: 4:30 p.m. on **March 3, 2022, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, whoskins@gmail.com and aurrutia@atriumstructural.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **March 17, 2022, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, ysimonsen@comcast.net and marosati@gmail.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, March 23, 2022, 5:00 p.m., Room 416 SF City Hall**. (If the City's Health Orders require remote meetings then the matter will be heard via Zoom. Information for access to the hearing will be provided before the hearing date).

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant or Agent:

Signature: Via Email

Print Name: Yvonne Simonsen, appellant

The building of the deck extension located at 120 Eastwood Dr. SF, CA 94112 is being appealed by co-filers and neighbors Yvonne Simonsen and Mike & Tamar Rosati located at 1417 and 1411 Plymouth Avenue respectively. Since Mr. Hoskin's approval was not granted **prior to the construction** of the deck extension located at the above address, we are appealing the issuance of this permit for the following reasons and request that the structure be returned to its original dimensions: Reasons for appeal:

- This deck extension negatively impacts our privacy and the enjoyment of our backyards, which has an enormous impact on our rights to privacy, and the use and enjoyment of the outdoor spaces we have created for our personal and family's mental health and wellbeing (see attached photos).
- According to the owner, this extension had to be built to **extended dimensions** based on a recommendation from the SF building inspector(s), but no proof of this structural requirement has been provided. Please provide in writing, the statement from the SF building inspector who required these extended dimensions.
- We request that the deck be returned to the original dimensions, based on the previous approved permit for this structure (48" X ???) and that no future structures be erected at this property without the approval of the neighbors and the SF permit office prior to any construction to avoid any future complaints and stress on the neighbors.

We strongly oppose the extension and respectfully request that you revoke the issuance of the building permit requested by Mr. Hoskins.

Permit Details Report**Report Date:** 2/7/2022 1:13:54 PM

Application Number: 201908209309
 Form Number: 3
 Address(es): 3163 / 021 / 0 120 EASTWOOD DR
 Description: EXTEND DECK FROM 48" TO 105" SO THAT IT CAN BE SUPPORTED BY LOAD BEARING WALL AT GARAGE. REVISION TO 201709259421
 Cost: \$8,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
8/20/2019	TRIAGE	
8/20/2019	FILING	
8/20/2019	FILED	
12/16/2021	PLANCHECK	
12/16/2021	APPROVED	
1/21/2022	ISSUED	

Contact Details:**Contractor Details:**

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:**Description:**

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CES	8/20/19	8/20/19			8/20/19		M CHUNG
2	INTAKE	8/20/19	8/20/19			8/20/19	CHAPMAN MARLA	
3	CPB	9/23/19	9/23/19			9/23/19	CHAN AMARIS	9 PAGES.
4	CP-ZOC	12/9/21	12/13/21			12/13/21	SETYDIPUTRA MAX	approved. Restamp R-2. max.setyadiputra@sfgov.org
4	CP-ZOC	9/23/19	11/14/19			1/20/20	SETYDIPUTRA MAX	11/14/19 sent comments to the property owner. Max does not work on Monday or Friday.
5	CP-NP	1/21/20	1/31/20	1/21/20	1/23/20	7/1/20	SETYDIPUTRA MAX	07/01/20 Approved emailed 311 cover letter on 1/21/2020 (Jennie) mailed 311 notice on 1/31/2020; expires 3/2/2020 (Jennie)
6	BLDG	7/13/20	8/26/20	8/26/20		12/9/21	CHAN JOSEPH	emailed comments to designer
7	BLDG	12/9/21	12/9/21			12/9/21	CHAN JOSEPH	Approved. Route to PPC
9	PPC	12/14/21	12/14/21			12/14/21	TAING SOK-IM	12/14/21: To CPB; ST 12/09/21: TO PLANNING for re stamp;me 8/26/20: to HOLD bin pending BLDG approval; am 7/13/20: to BLDG;EC. 1/8/20pm: R1 to DCP. ibb 9/23/19: To DCP; HP
10	CPB	12/14/21	12/16/21			1/21/22	WONG ALBERT	1/21/2022: Issued; to permit center for pick up; -akw 01/11/2022: Extension fee required. 1st extension fee \$207.88. When pay fee, new cancel date: 07/03/2022.ay 12/16/2021: Approved; -akw

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Tim Slot
2/8/2022	AM	CS	Clerk Scheduled	PRE-FINAL	1

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			24E	WOOD FRAMING	

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking](#) home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Contact SFGov Accessibility Policies
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BRIEF SUBMITTED BY THE APPELLANT(S)

Appeal to Proposed Deck Modification at 120 Eastwood Drive

Yvonne Simonsen and Mike and Tamar Rosati

March 23, 2022

Appeal – Overview

Context:

- The deck extension has already been completed and the permit is being requested after the fact.
- The deck was originally proposed to create allowance for turning bulky items on stairs to upper story (permitted/built 1969. This deck was cantilevered – which referred to plans PA370739) from Mr. Hoskins' January 8, 2020 (v9) presentation.
- Plans PA370739 from 1969 permit are not on the sfplanninggis.org website – can they be made available?
- According to Mr. Hoskins, this extension had to be built to ***extended dimensions*** based on a recommendation from the SF building inspector(s), but no such written recommendation of this structural requirement appears on the SF planning (sfplanninggis.org/pim) permit site.

Concerns:

- The deck extension more than doubles it's 4' width. This has an enormous impact on our rights to privacy, and the use and enjoyment of our backyards, which we have designed to benefit our personal/family's mental health and well-being.
- The deck extension substantially and unreasonably impacts our privacy of our respective properties, which directly abut Mr. Hoskins' property, providing a direct elevated view into our respective backyards and our bedrooms (as the structure is 8+ feet off the ground and attached to the top of the garage).
- If the deck is used to entertain, with furniture, BBQs, etc. it would be unsightly to view, and again negatively impact our privacy.

Request:

- The deck be returned to the original dimensions, based on the previous approved permit of 1969 and that no future structures be erected at this property without the approval of the neighbors and the SF permit office prior to any construction being undertaken
- The board issue a Notice of Special Restriction (NSR) requiring that no additional deck buildout is permitted for perpetuity
- The board revoke the issuance of the building permit requested by Mr. Hoskins

Privacy Concerns

View from bedroom 1411 Plymouth



View from backyard 1417 Plymouth



View from fence line 1417 Plymouth



Additional Concerns:

Deck Dimension:

- Mr. Hopkins' submittal shows the proposed deck extension increasing from the prior dimensions of 6'11" X 4' to the proposed dimensions of 6'11" X 8'9", or 8'11" as measurements are inconsistent on the submitted engineering drawings.
- Per permit documents issued January 21, 2022, the proposed deck extension reflects dimensions of 48" X 105" (4' X 8'9")

Garage Extension (Unpermitted?):

- The deck is built on top of the garage structure, which has been extended beyond the original envelope of the house as noted in the Sanborn map, and it is unknown if the garage extension has been permitted.

Potential Easement Issue:

- It appears there may be a potential easement issue, as there may not be adequate space between Mr. Hoskins' deck and the 5' space requirement with the neighboring house.

Potential Continued Unpermitted Buildouts:

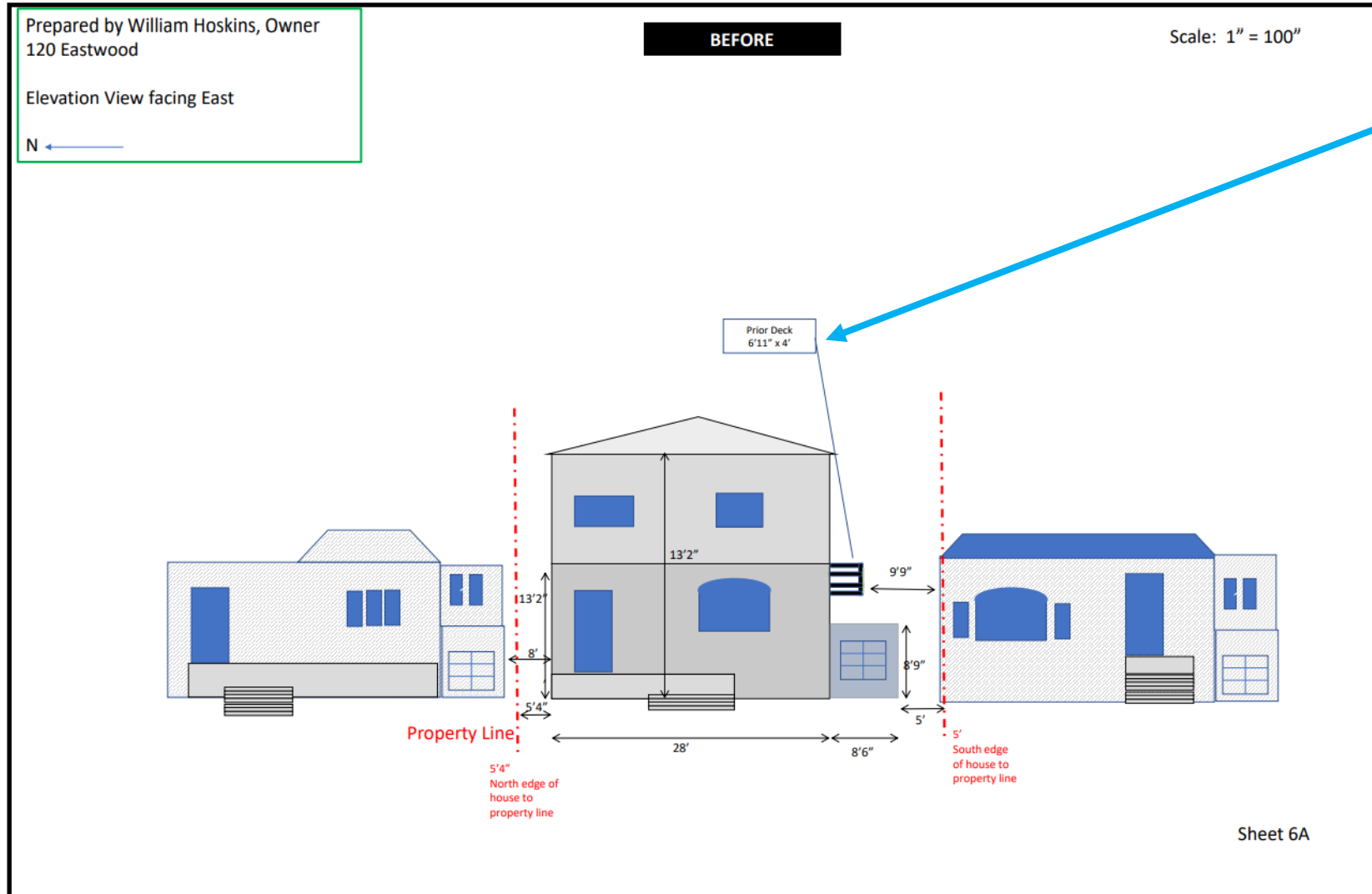
- There appears to be an anchor/support post for additional construction that is not part of this or any other permit request.

Need clarification reference confusion regarding the purpose of multiple permits and sequence of events:

- 2017 Mr. Hoskins received Violation No.2017-99701 (repair without a permit)
- Building Permit obtained for repair : 2017-09-25-9421
 - Why wasn't the deck repair work approved per the plans of the 2017-09-25-9421 permit by the SF Inspector when it was inspected in 2017? Is there a written approval/disapproval of this work by the SF Building inspector?
 - Why was an extension requested to 2019 if the deck was inspected in 2017?
- Why was another Permit submitted, #2019-08-20-9309, to extend the deck?
- Why was a notice sent dated 1/21/2022 from SF Department of Building Inspection that permit no 201908209309 had been issued for the structural addition to 120 Eastwood which was back in 2019?

Deck Dimensions "Before" Proposed Deck Modifications

(document submitted by Mr. Hoskins dated Jan 8, 2020(v9))

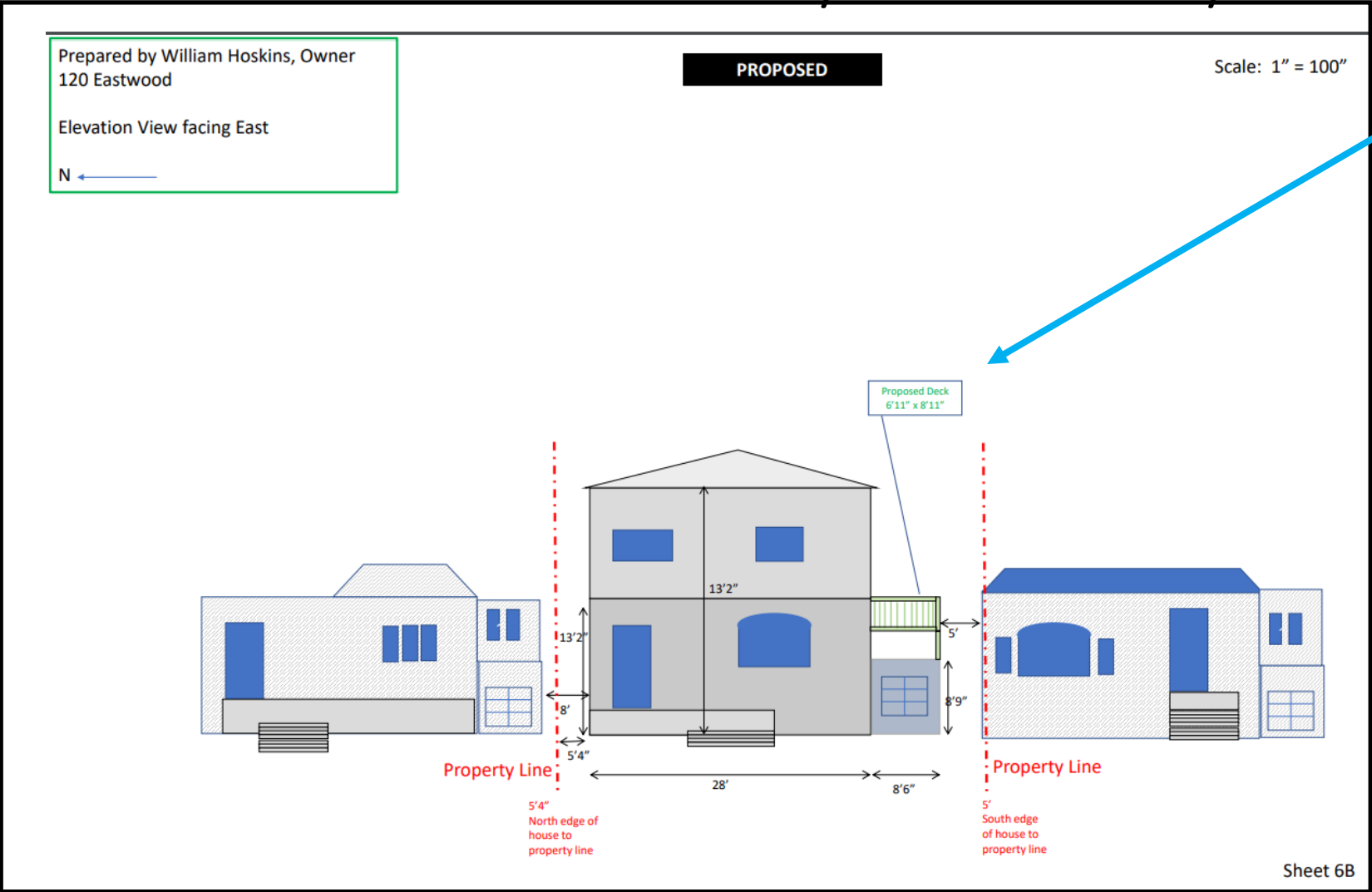


- Prior Deck Dimensions 6'11" by 4'
- Does this depict the same dimensions of the 1969 permitted cantilevered deck?

Inconsistent dimensions in Proposed Deck Modifications

(document submitted by Mr. Hoskins dated Jan 8, 2020(v9))

Is the size 6'11" by 8'11" OR 6'11" by 8'9"?

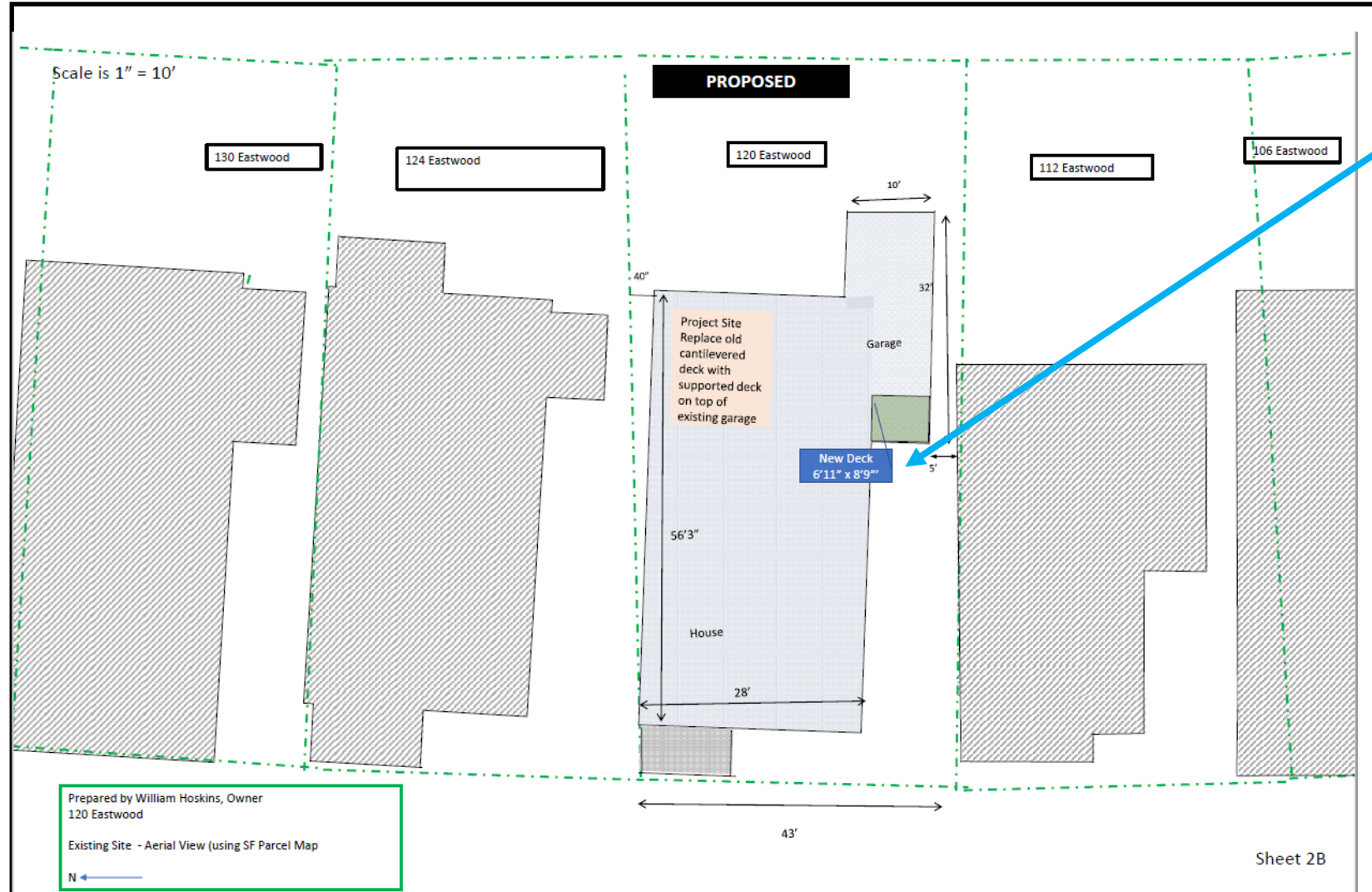


- 6'11" by 8'11"

Inconsistent dimensions in Proposed Deck Modifications

(document submitted by Mr. Hoskins dated Jan 8, 2020(v9))

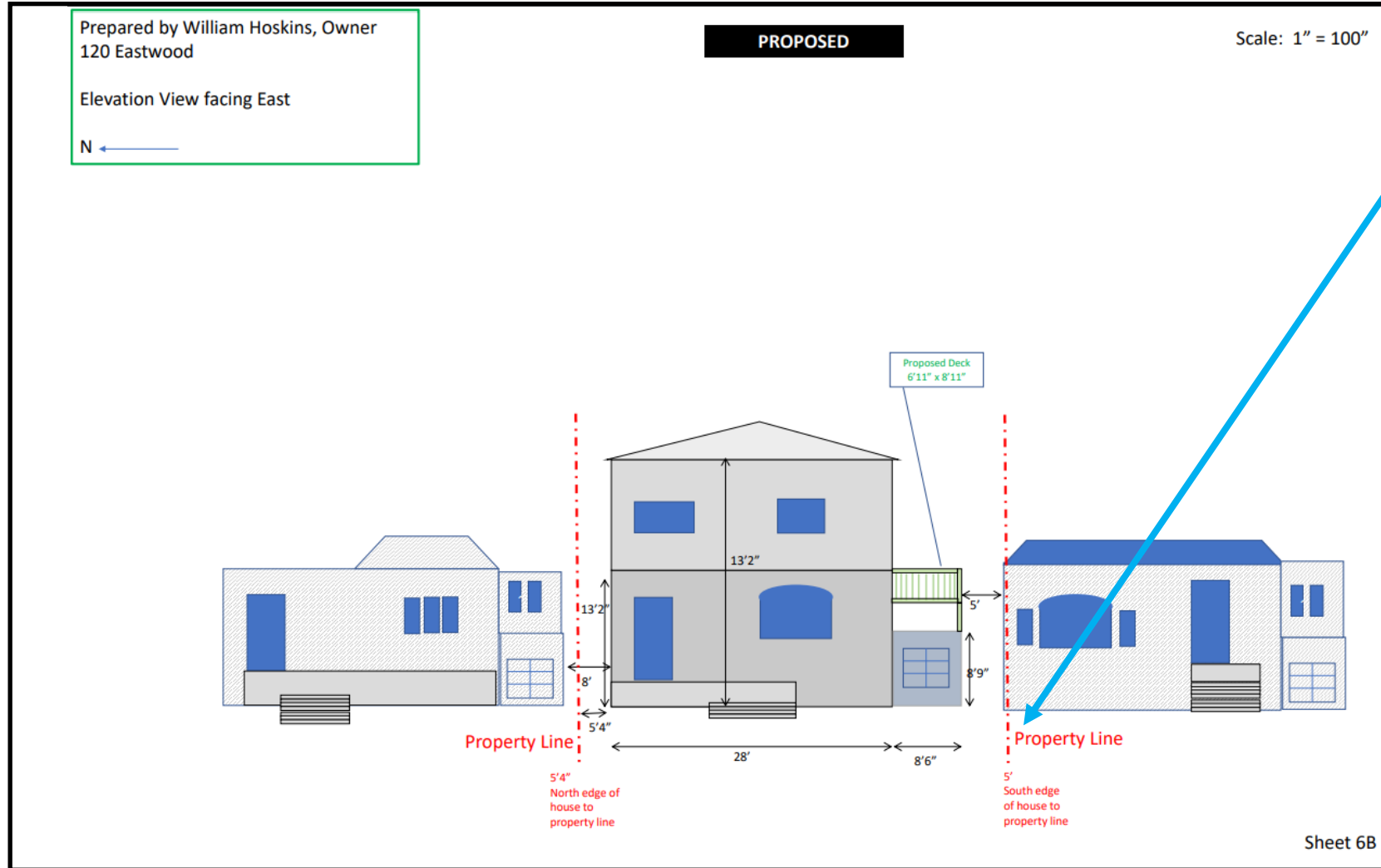
Is the size 6'11" by 8'11" OR 6'11" by 8'9"?



- 6'11" by 8'9"

Potential easement issue for 5' clearance in Proposed Deck Modifications

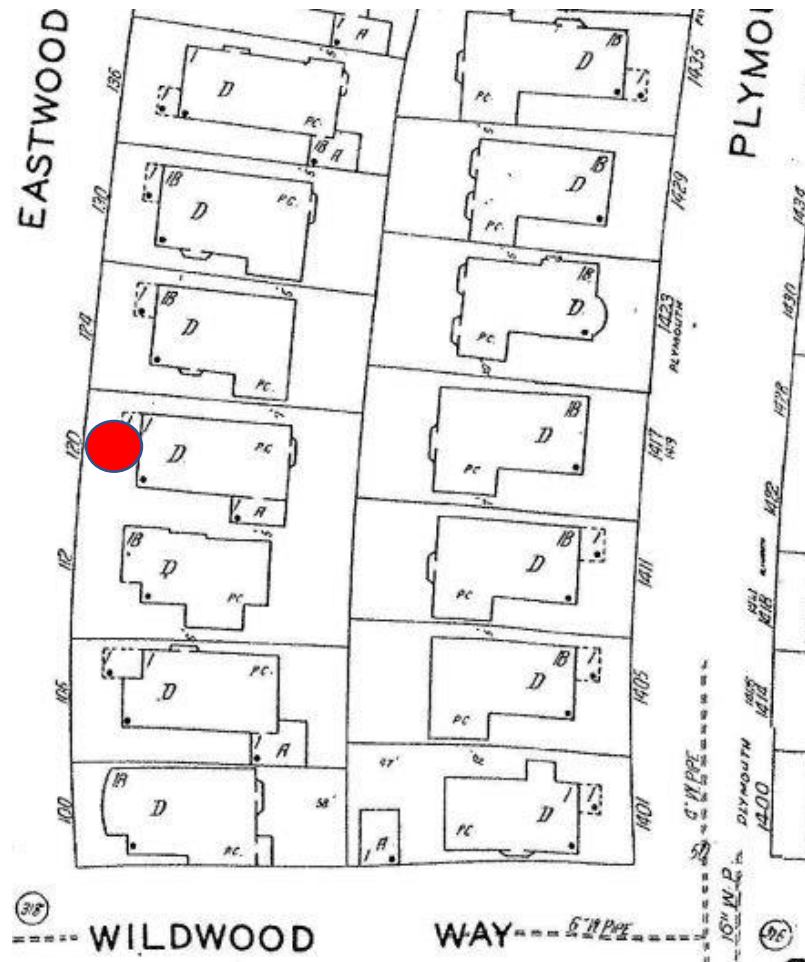
(document submitted by Mr. Hoskins dated Jan 8, 2020(v9))



- Potential easement issue for 5' clearance
- Drawing depicts 120 Eastwood property line overlaps home to the right
- Is there an easement issue?

Potential Unpermitted Garage Extension to which the deck extension is to be supported

120 Eastwood Drive Sanborn map circa 1990s shows garage without extension into back yard



Current garage footprint extends beyond original envelope of house well into back yard. Permit on record not found for garage extension. (source Google Maps)





Permits found on sfplanninggis.org

Item	Permit #	Permit Details
1	201908209309	EXTEND DECK FROM 48" TO 105" SO THAT IT CAN BE SUPPORTED BY LOAD BEARING WALL AT GARAGE. REVISION TO 201709259421
2	201709259421	TO COMPLY WITH NOV#201799701, REPAIR EXTERIOR DECK IN KIND, LESS THAN 50%. PLANS FOR DECK WAS SHOWN IN PA#370739
3	201607182570	REROOFING
4	9018253	REPAIR BROKEN FRONT STAIRS
5	8902101	REROOFING

Permits not found on sfplanninggis.org

- 1969 original deck permit
- Garage extension

Request of Board

- We are asking the Board to revoke the issuance of permit allowing the proposed deck extension and return the deck to its originally permitted 1969 dimensions.
- Due to privacy issues and the additional concerns raised, we feel that the Board should revoke the issuance of this permit:
 - Privacy infringement
 - Inconsistencies with the deck extension dimensions as listed in the documentation provided by Mr. Hoskins
 - Possibility of building proposed deck on non-permitted garage extension
 - Previous complaint on file for building without permit , see complaint # **201799701**
 - Potential easement issue for 5' clearance between properties
- Additionally, we request the board issue a Notice of Special Restriction (NSR) indicating that no additional deck buildout is permitted for perpetuity

120 Eastwood Dr

Proposed Deck Modification

Owner William Hoskins

415-587-6222

whoskins@gmail.com

January 8, 2020 (v9)

120 Eastwood Dr

Proposed Work Summary: Replace old cantilever deck (balcony) with better-supported PT/redwood deck.

Narrative

1. Original deck (permitted/built 1969) needed to create allowance for turning bulky items on stairs to upper story (also permitted/built 1969). This deck was cantilevered. Refer to Plans PA370739.
2. In 2017, exterior wood on deck was decomposing and was in need of repair.
3. When repairing original deck in 2017, Owner received Violation No. 2017-99701 (repair without a permit). Owner obtained Repair Permit No. 2017-09-25-9421 (extended through Sep 15, 2019). On inspection in 2017, SF Building Inspector Donald Simas instructed Owner to extend deck across top of garage to provide support at the load-bearing wall at south edge of garage.
4. Per instructions SF Building Inspector, deck is constructed from pressure-treated wood and has 42" railing. Deck is same width as before, but extends to side of garage to provide the support. Clearance from south edge of deck to property line is 5'.
5. 11/18: Owner called for final inspection.
6. 11/30/18: SF Building Inspector Helminiak instructed Owner that he would consult with Inspector Simas about instructions he gave. Owner followed up to check, leaving a few messages, but never received updates.
7. 5/14/2019: Owner was advised that he had to submit plans and the matter was referred to Code Enforcement.
8. 5/19-8/19: Owner has worked in good faith to understand plan requirements.

Scale is 1" = 10'

130 Eastwood

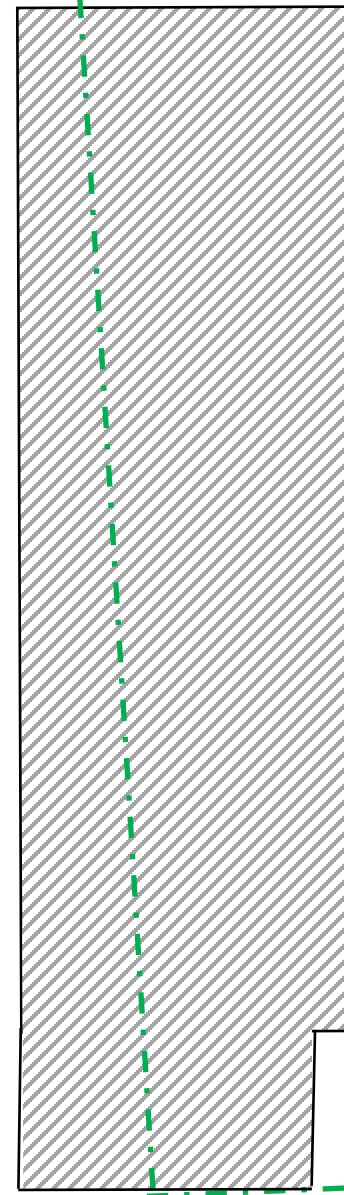
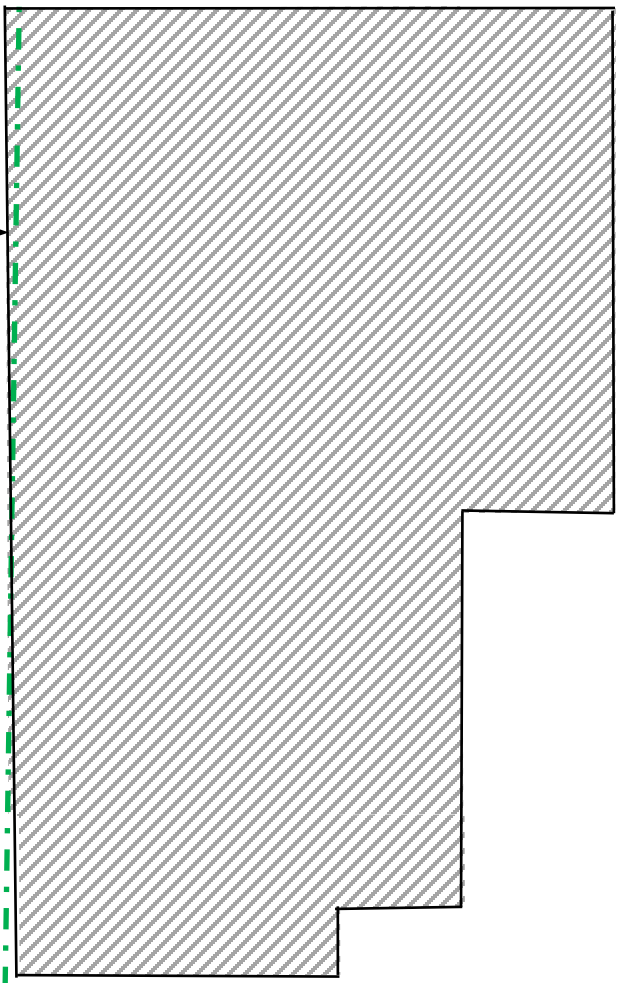
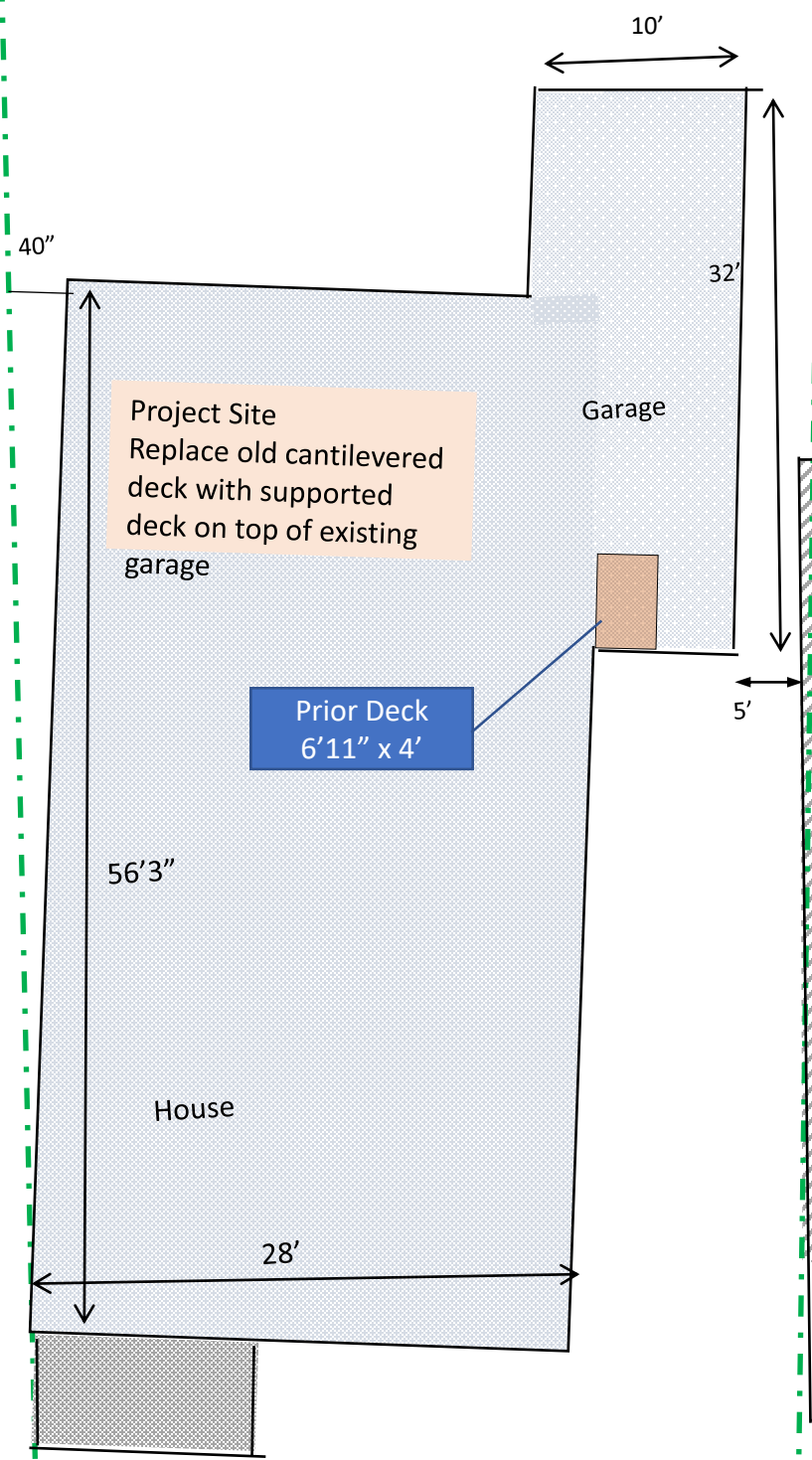
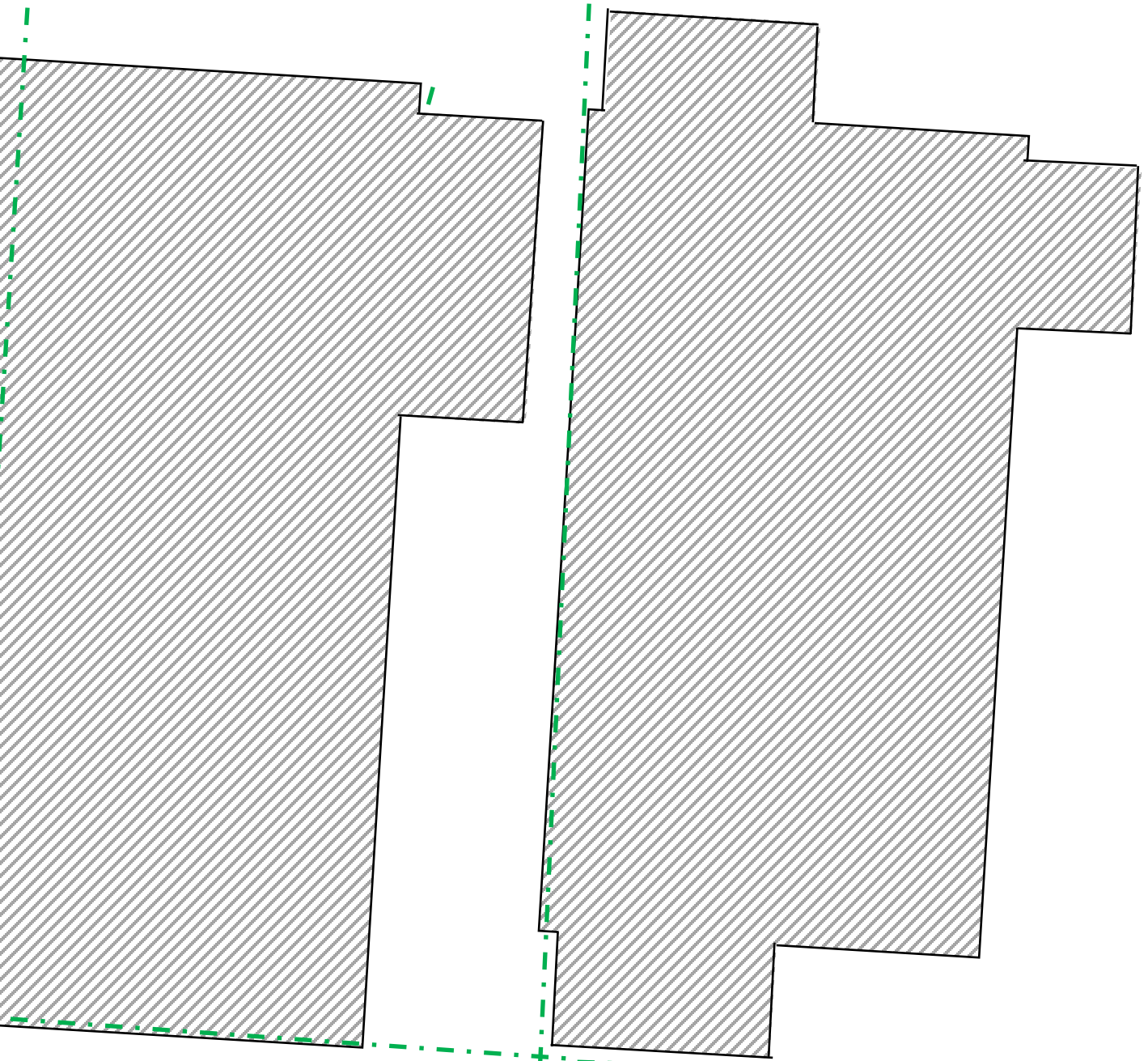
124 Eastwood

BEFORE

120 Eastwood

112 Eastwood

106 Eastwood



Prepared by William Hoskins, Owner
120 Eastwood
Existing Site - Aerial View (using SF Parcel Map
N ←

Scale is 1" = 10'

130 Eastwood

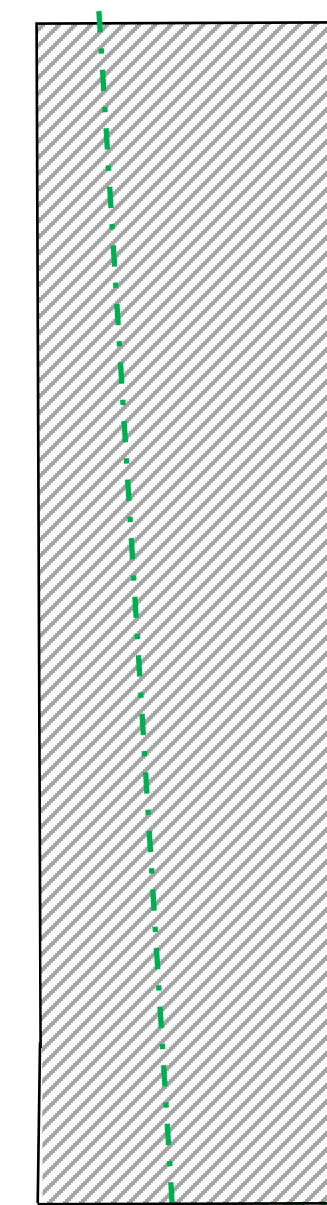
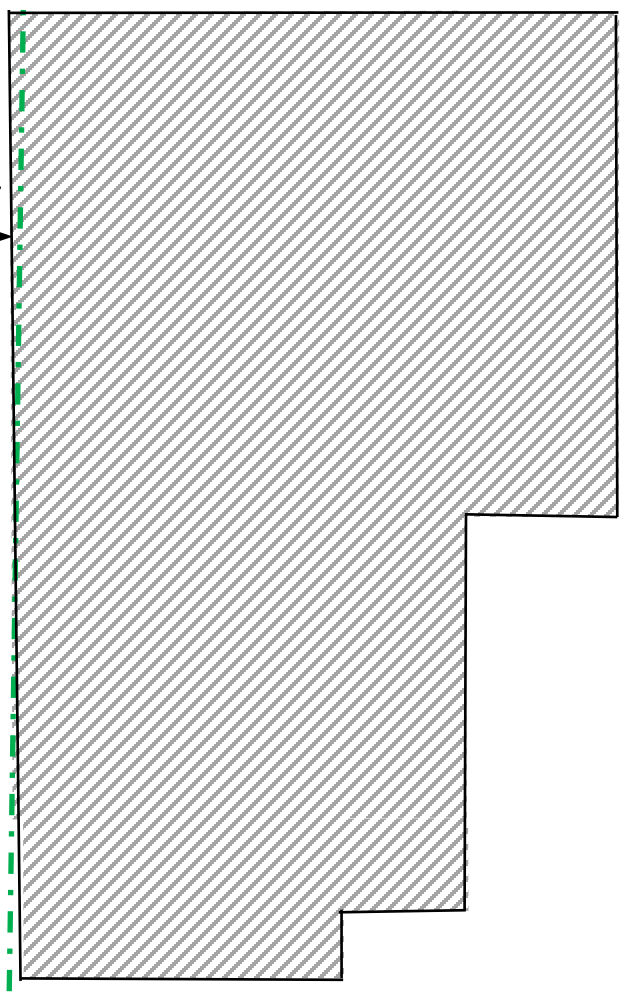
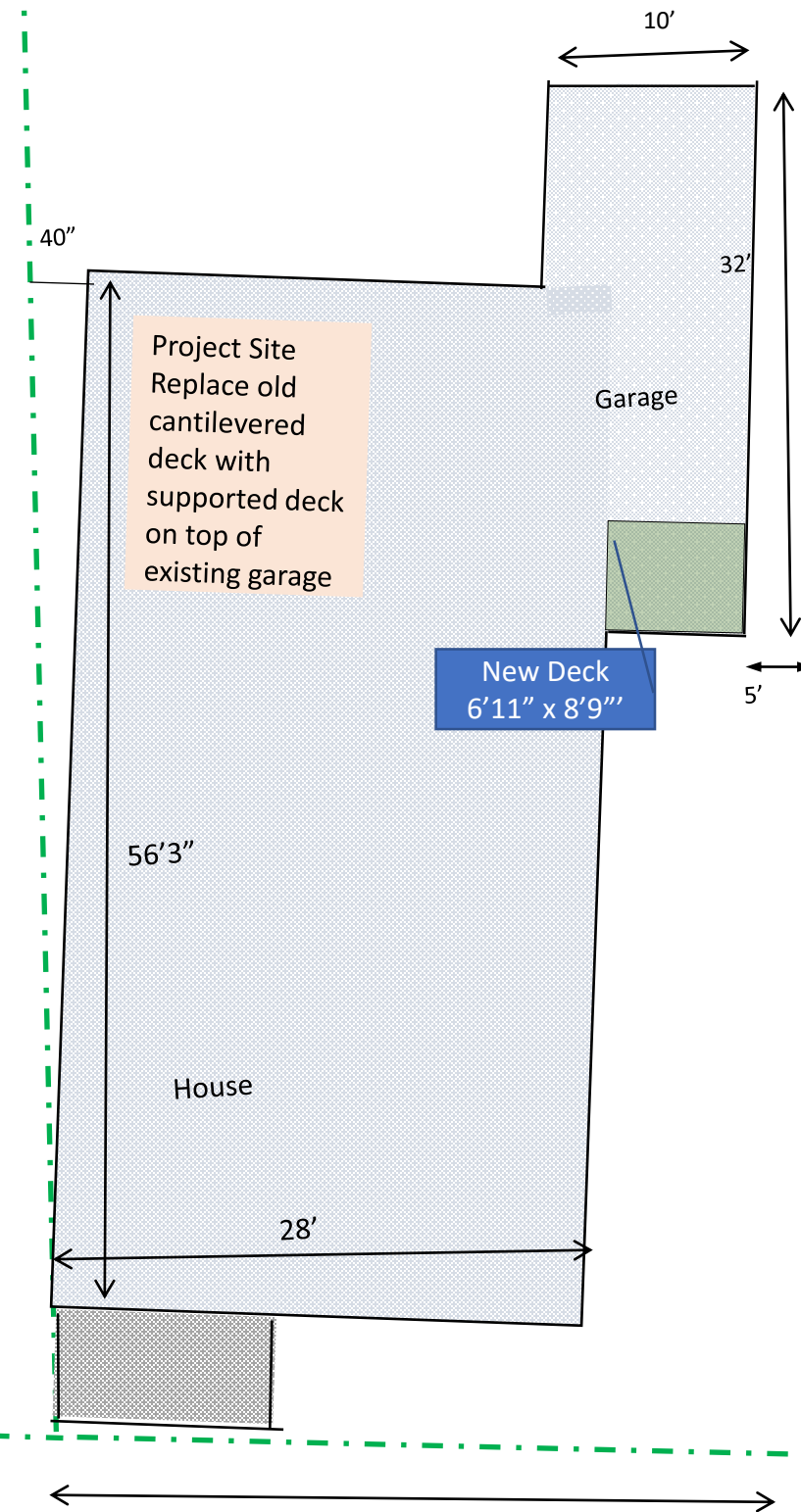
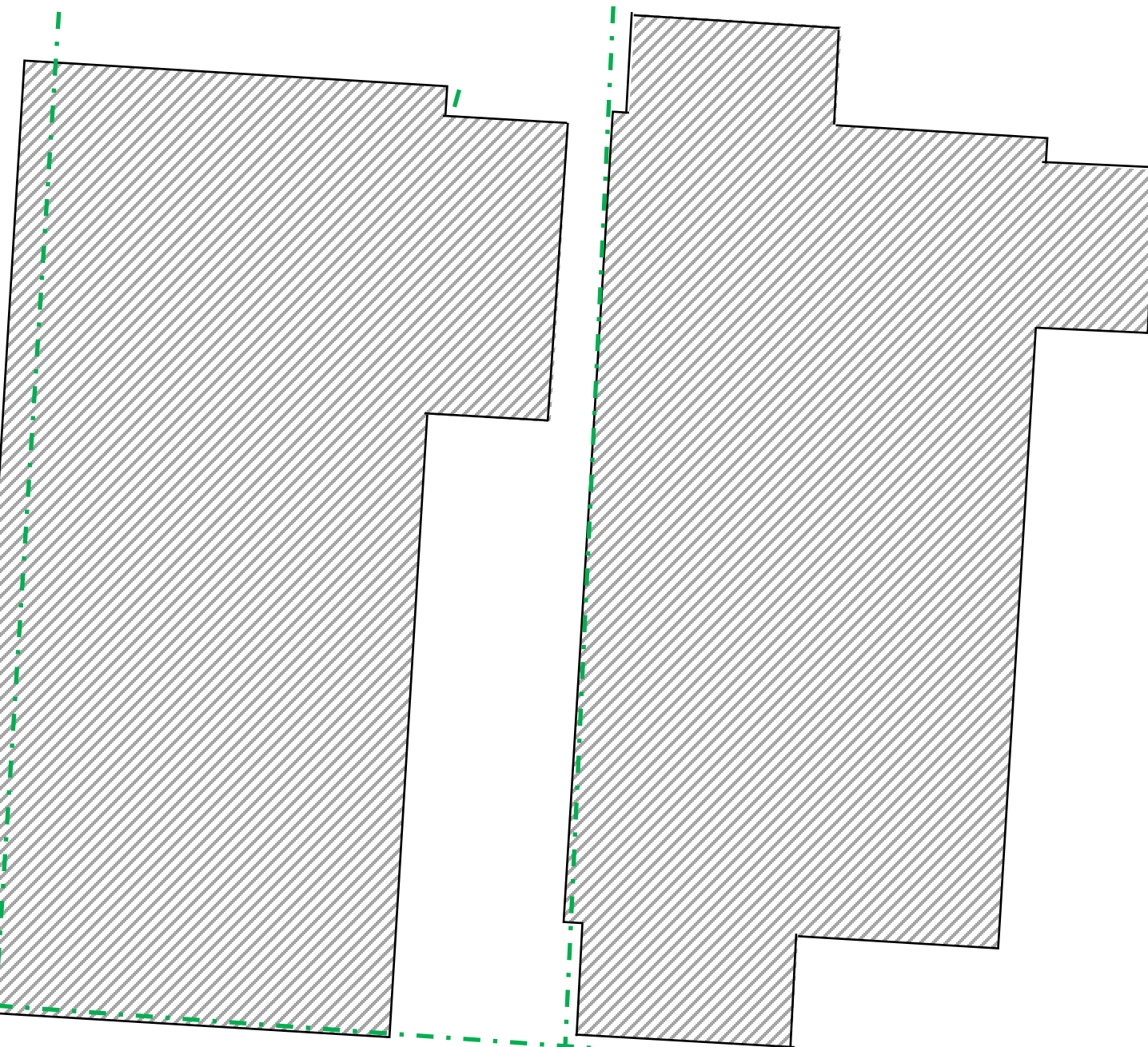
124 Eastwood

PROPOSED

120 Eastwood

112 Eastwood

106 Eastwood



Prepared by William Hoskins, Owner
120 Eastwood
Existing Site - Aerial View (using SF Parcel Map
N ←

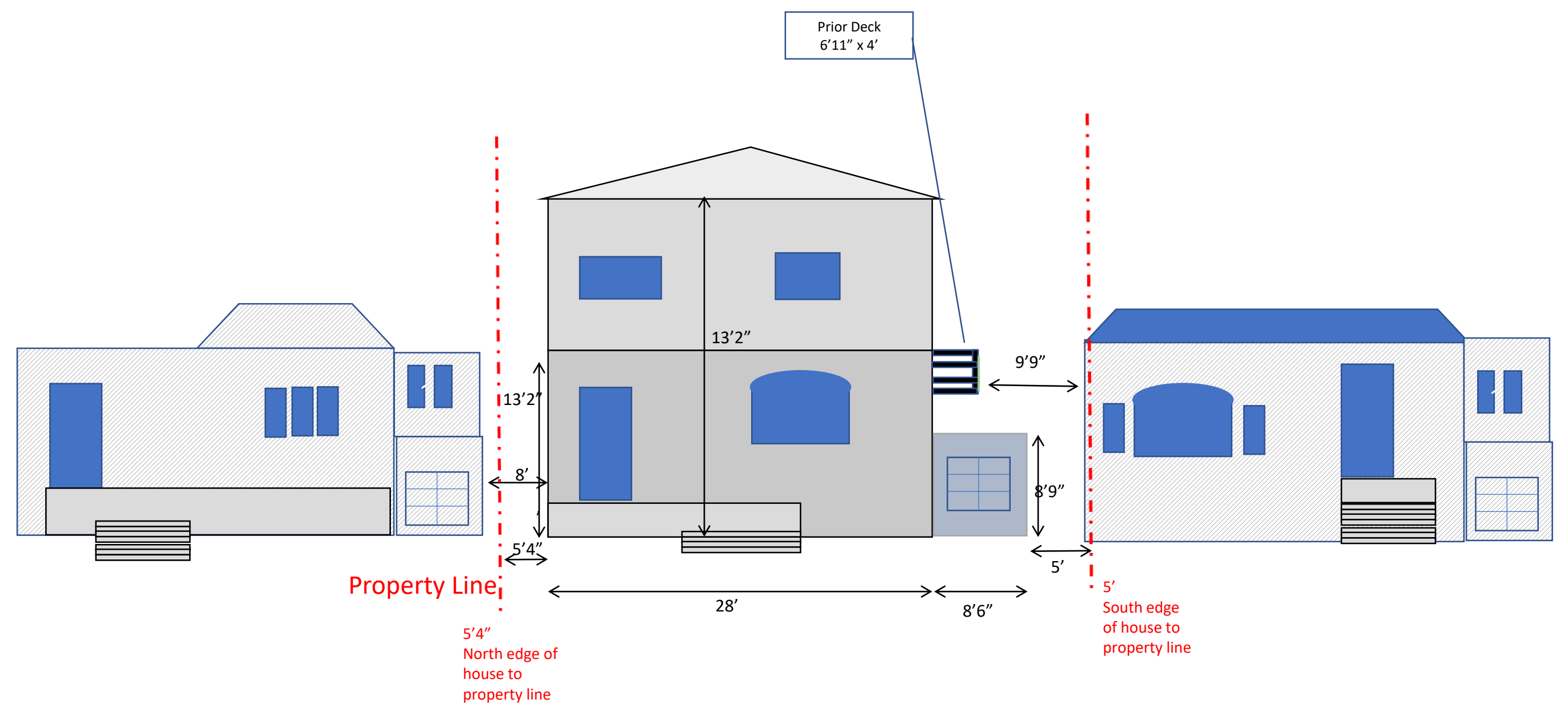
Prepared by William Hoskins, Owner
120 Eastwood

Elevation View facing East



BEFORE

Scale: 1" = 100"



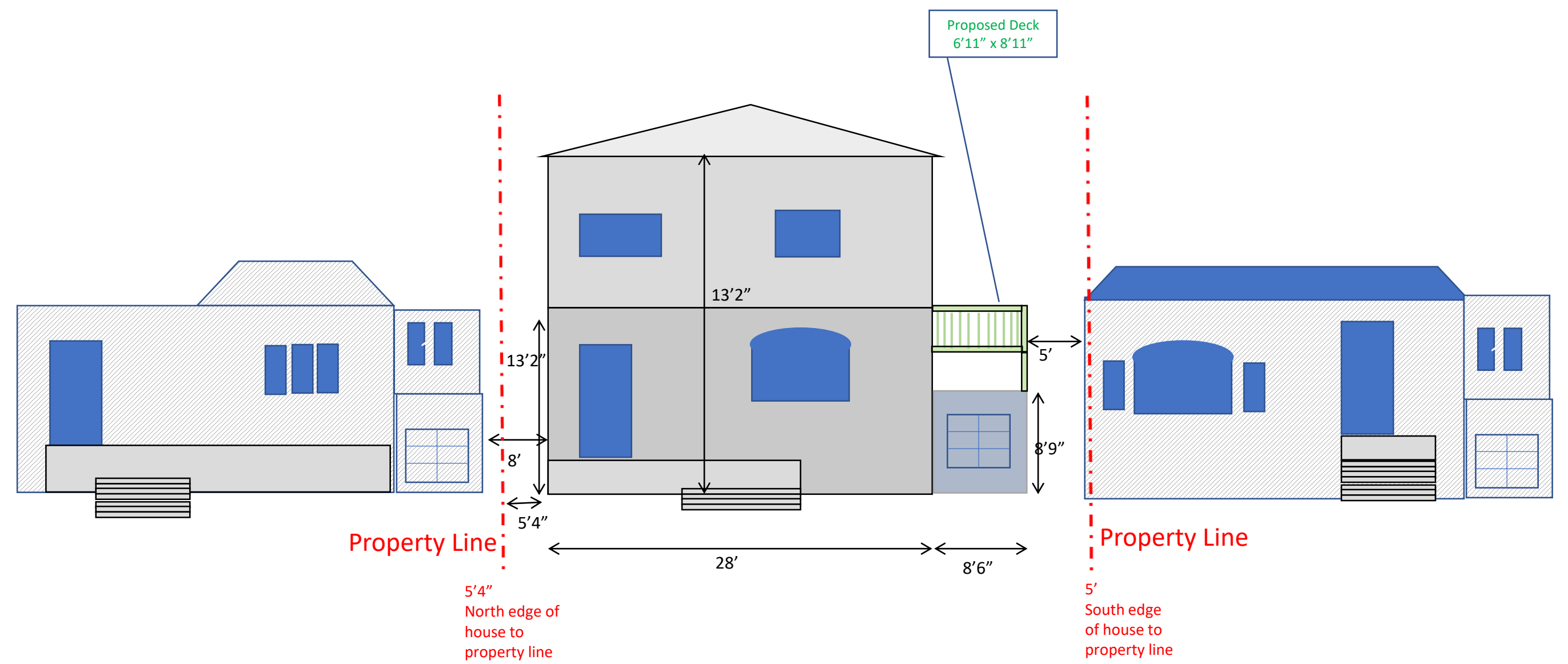
Prepared by William Hoskins, Owner
120 Eastwood

Elevation View facing East



PROPOSED

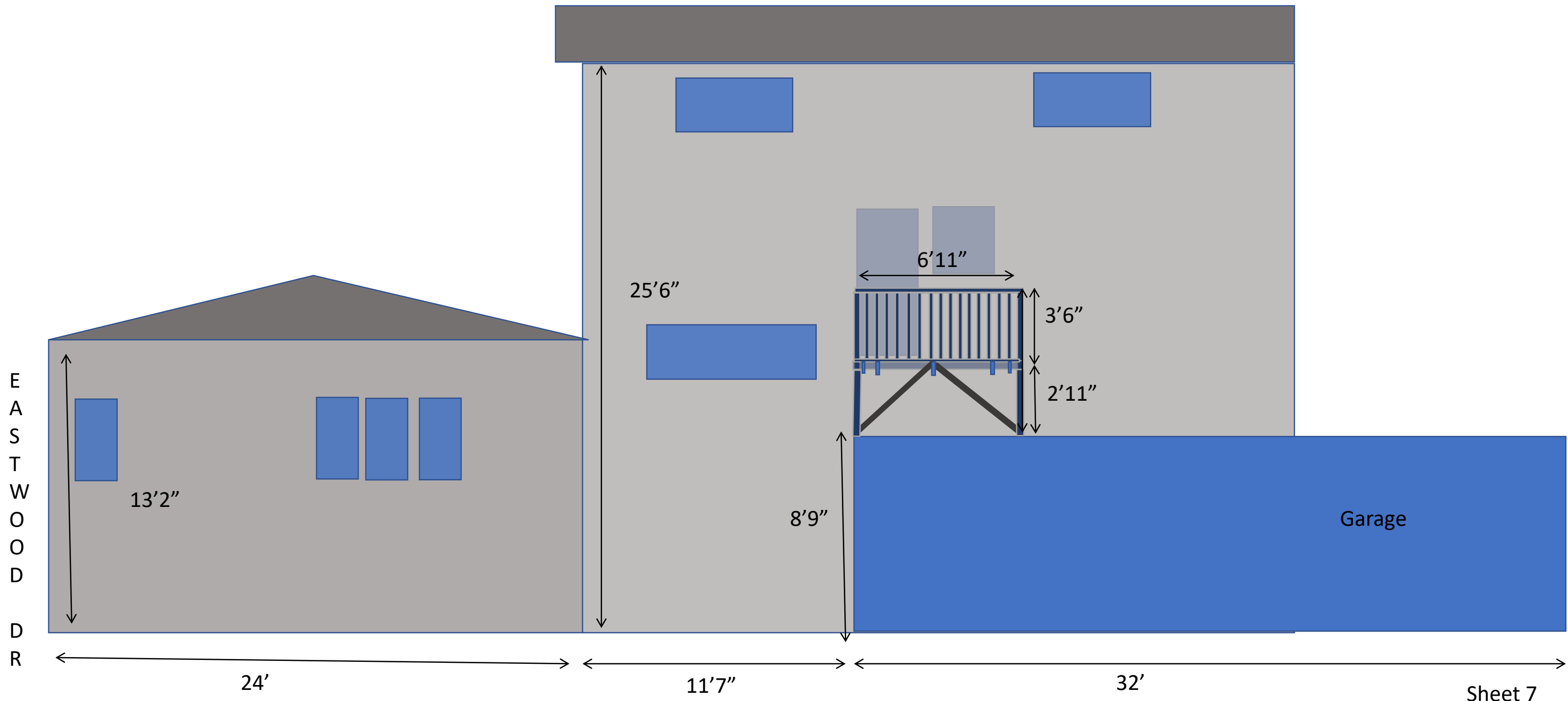
Scale: 1" = 100"



Prepared by William Hoskins, Owner
120 Eastwood

Elevation View Facing North

Scale: 1"=50"



Designed by William Hoskins, Owner
Eastwood



Scale: 1" = 20"

Elevation Facing East
(toward back yard)

All exterior wood
pressure treated or
redwood

House

Railing balusters 2x2" redwood –
5 1/4" on center, 3 1/2" gaps

3 cross beams come
into house like this

2- 2"x8" header

3' continuance to
interior support

2 - 2"x4"

Cripple wall

2"x4"

2- 2"x4" hit
Support structure in basement
3- 2x10" (sandwich)
1 - 6x10"
Steel beam



3'6"

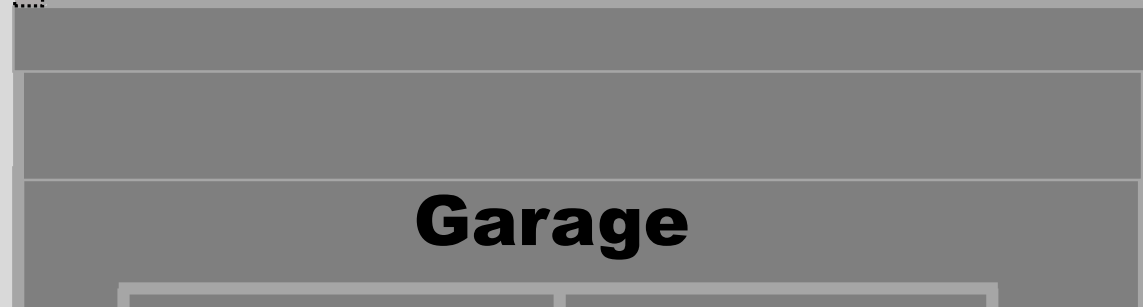
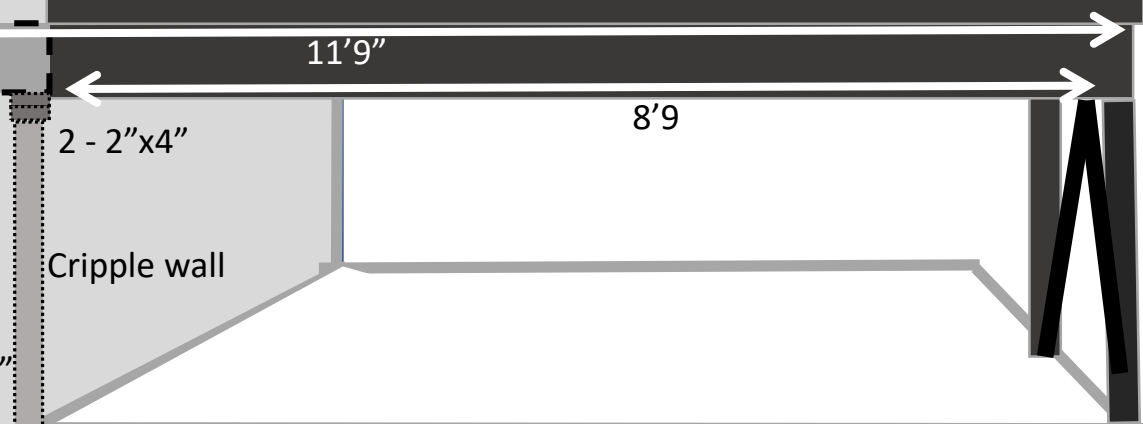
2"x4"

11'9"

8'9"

2'11"
4x4" PT post

5'
to
property line



Garage

PERMIT HOLDER(S) BRIEF

Response to Appeal Regarding Proposed Deck Repair at 120 Eastwood Drive, San Francisco, CA

Owner/Respondent: William W. Hoskins

Hearing Date: March 23, 2022

Appeal Reference: 22-005

Request: Owner respectfully asks the San Francisco Board of Appeals to uphold the issuance of Permit No. 201908209309, authorizing Owner's repair of necessary deck, without condition or limitation.

Introduction: Owner was raised at this property located at 120 Eastwood. For almost 50 years, there existed a deck off the turn of the internal stairway, allowing for movement of bulky objects up the switchback stairs to upper story bedrooms. That deck was in dangerous disrepair, pulling away from the exterior wall. When Owner started the repair in 2017, the City advised Owner of the necessity of a repair permit, so Owner secured Permit No. 2017-09-25-9421. At that time, City DBI representative confirmed to Owner that the deck should extend, to use the garage south wall for deck support. Owner completed that work in 2018. Owner has now spent more than four years, working with the City to submit the requested plans and engineer-stamped drawings (engaging Structural Engineer Albert Urratia from Atrium Structural). With repair work complete, and having received the final City Permit No. 201908209309, Owner was hoping to continue to enjoy his home and community.

Size of Deck:

- Original deck size was 6'11" x 4'. Repaired deck size is 6'11" x 8'9". Proposed size of deck has been part of the project record since at least 2019. Summary of events is attached as **Exhibit A-1** and **Exhibit A-2**.
- Owner's understanding is that a cantilever replacement deck would not be permitted given safety/security issues, and was explicitly told by DBI representative Donald Simas to extend to load-bearing wall at south edge of pre-existing garage.

- Structural engineer Urrutia (required by City) confirms that deck should not be repaired to original dimensions/design. To meet current code safety requirements, a cantilever design would require a complete dismantling and rebuilding of the interior floor, a cost-prohibitive proposition.



Original Deck – in need of repair



From street



Approval Process

Owner applied for and built to the approved permit, and completed the work in 2018. As part of the final sign-off DBI decided that Planning Approval would be appropriate. Accordingly, per City and Westwood Park Association process, in 2019, Owner hosted a neighborhood meeting, inviting dozens of neighbors to review and comment. Appellant neighbor homes were on the neighborhood meeting invite list but did not attend. See **Exhibit B**. City Planning approved the project in July 2020, and Owner was instructed to submit engineer-stamped drawings to DBI. Owner undertook that effort (difficult given Covid), submitted same in 2021. See **Exhibit C**. DBI approved the project in December 2021, with the actual building permit being issued January 21, 2022.

Privacy Claims of Appellant

Owner is surprised by Appellant's concerns with the expanded deck given that the deck is only 4'9" inches wider than the original, and is no higher or longer. Even if you consider the view images submitted by the Appellant, the repaired deck is not materially larger or more privacy-limiting than the original deck.

Appellant images with original deck noted in green:



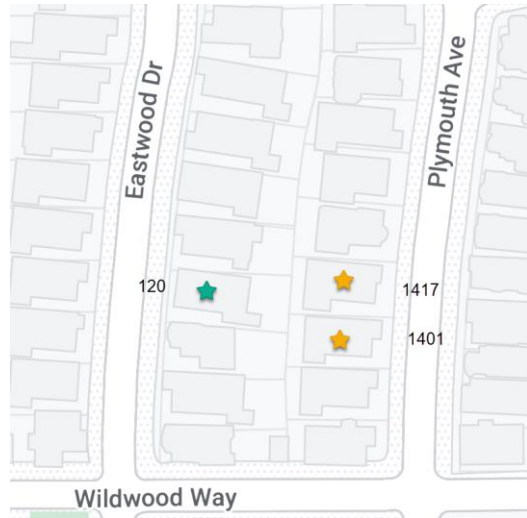
View from backyard 1417 Plymouth



Importantly, the view of Appellants' backyards from Owner's deck is not invasive (from either original or repaired deck). Per images below, Appellants will continue to enjoy an appropriate amount of privacy given the angle of the view, blocked by trees and fencing.

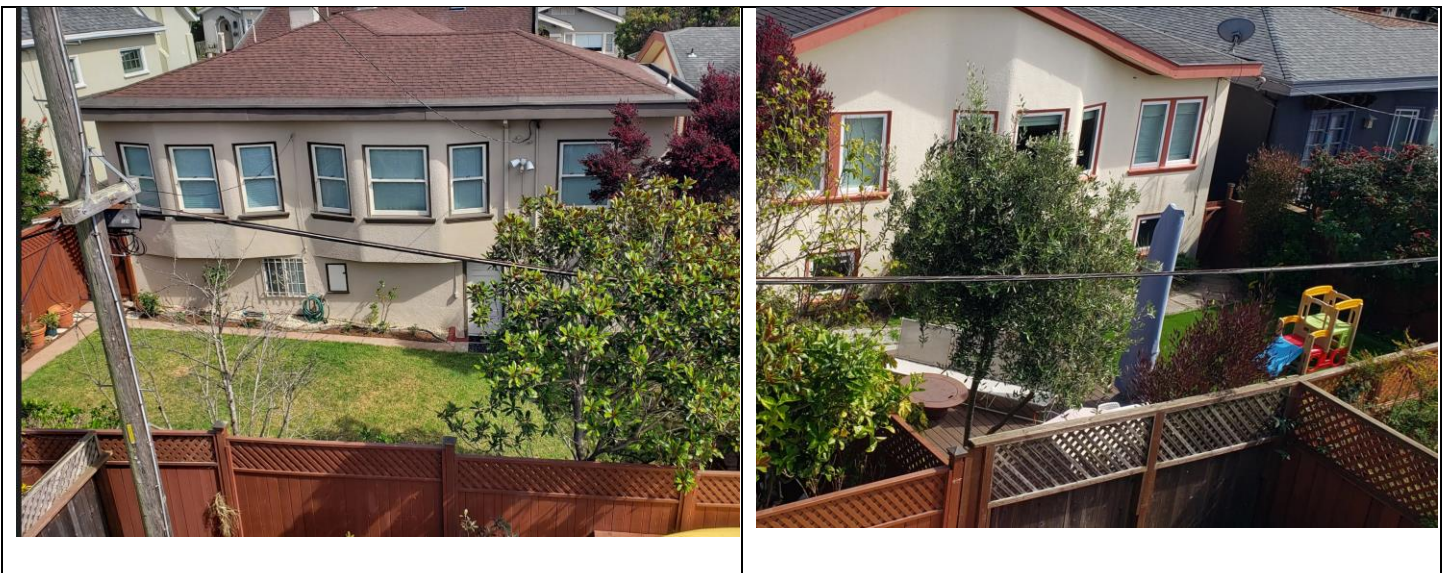
View to East from South Edge of Original Deck	View to East from South Edge of Repaired Deck
 <p>View to East from South Edge of Original Deck Location (~5'5" person)</p> <p>1417 Plymouth</p> <p>1411 Plymouth</p> <p>Garage from pre 1958</p>	 <p>View to East from South Edge of Repaired Deck (~5'5" person)</p> <p>1417 Plymouth</p> <p>1411 Plymouth</p> <p>Garage from pre 1958</p>
	<p>View of 1411 Plymouth backyard is same</p> <p>View of 1417 Plymouth backyard is slightly expanded, but trees and fence create appropriate privacy</p>

Owner was quite surprised to hear of Appellants claims. Owner's home has been in the family for decades and no one has ever expressed concerns. Given the configuration of the neighborhood, where backyards abut backyards, neighbors have generally enjoyed mutual respect and appreciation, and supplemented with appropriate fencing and landscaping.



120 Eastwood is one of many homes that have visibility toward Appellants homes and of course Appellants have visibility to 120 Eastwood and their neighbor properties. Indeed Owner's home **already** has windows facing Appellants' property. If Owner had interest in viewing 1417 Plymouth and 1411 Plymouth, the views from 120 Eastwood windows already provide lines of sight. But of course, Owner respects his neighbors and is more often found tending to his garden in the front yard or on his kayak in the bay.

Existing views from 120 Eastwood bedroom window to Appellant property.



Owner has to date had a cordial relationship with Appellant at 1417 Plymouth, and in fact Owner spoke with Ms. Yvonne Simonsen about the repair work before the Appeal was filed. Appellants at 1411 Plymouth Ave purchased their home in April 2018, *after* the issuance of the original permit and *after* Owner had started repair of the deck, so presumably Appellants had had an opportunity to consider Owner's deck work at that time.

Lack of Timeliness

Appellants appeal does not seem to be timely given that they are claiming a lack of privacy with the deck size. But City Planning approved the deck size in July 2020, and the proposed deck size has been part of the public record (and available to the eye) since 2019. Owner believes that Appellants would have had to file their claim within 15 days after Planning approval.

Other Claims:

- Appellants claim that based on a post in the ground, there is "potential for continued unpermitted buildouts". That post (approximately 7') is currently used to hold a tarp to manage occasional severe rain in the backyard. Owner does not intend to undertake any buildouts to the home.
- Appellants have asked about the two different permits. Owner originally applied for, received, and after receiving a Start Work Order, built to the 2017 no-plan repair permit. At final inspection in 2018, a different DBI inspector instructed Owner to revise this permit and submit plans. Owner undertook this instruction, working through Planning and DBI, securing a structural engineer, and trying to finish the process during Covid.

Conclusion:

Appellants claims are unfounded and Owner respectfully asks the Appeals Board to deny the appeal and affirm the issuance of the permit, without condition or limitation.

Exhibit A-1,

Chronology:

Date	Event	Note
~1969	Original deck built (Exhibits Plan and Photo)	83"x48" deck built on south side of residence, cantilevered above garage Built to accommodate turning of bulky items to upper story (permitted/built 1969). Refer to Original Plans PA370739-B3534-4493 (1969)
2017	Deck decomposing/ dangerous (Exhibit Lean)	Owner undertakes repair of deck
8/21/17	Owner receives Violation 2017-99701 (repair without permit)	
9/25/17	Owner applies for and receives Repair Permit No. 2017-09-25-9421 (later extended to Sep 15, 2019).	Owner speaks with DBI representative D. Duffy, who confirms no plans required for repair.
2017	Site Inspection by Inspector Donald Sims	Mr. Sims tells Owner: 1) Start work, 2) for support/safety, extend edge of deck to load-bearing wall at south edge of garage, and 3) add 42" rail. Inspector Sims also tells Owner to wait until inspector has surgery before calling for final inspection. (Exhibit Now)
2018	Owner undertook to complete repair.	Per instructions SF Building Inspector, deck is constructed from pressure-treated wood and has 42" railing. Deck is same width as before, but extends to south side of garage for support.
11/18	Owner called for final inspection.	
11/30/18	Inspector Helminiak site visit	Inspector Helminiak indicates he will speak with Inspector Sims to discuss whether deck should have been reviewed by Planning.
H1 2019	Owner followed up to check, leaving a few messages, but never received updates.	
5/14/19	Owner was advised that he had to submit project to Planning with plans and the matter was referred to Code Enforcement.	
5/19-8/19:	Owner worked in good faith to understand plan requirements, requiring	

	multiple efforts to prepare project drawings suitable for Planning.	
9/3/19	Neighborhood Notification Meeting for 9/19/19 (Exhibit XX)	Copies to WW Park Neighborhood Association Meeting Attendance Sheet (Exhibit XX)
1/23/2020	Code Enforcement liens home	
7/1/2020	Planning approval	Planning Rep Max Putra informs Owner that project will progress to DBI.
H2 2020-H1 2021	DBI directed Owner to submit structural engineer plans/stamp	Owner finds engineer Albert Urrutia
H1 2021	Owner submits, resubmits structural plans	
	Extend deck from 48" to 105" so that it can be supported by load bearing wall at garage. Revision to 201709259421	
12/16/2021	PLAN CHECK	
12/16/2021	APPROVED	
1/21/2022	Issued 201908209309	Suspended pending Appeal No. 22-005 (2/7/22)
2/7/2022	Appeal No. 22-005	

Exhibit A-2

Screenshot from DBI

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CES	8/20/19	8/20/19			8/20/19		M CHUNG
2	INTAKE	8/20/19	8/20/19			8/20/19	CHAPMAN MARLA	
3	CPB	9/23/19	9/23/19			9/23/19	CHAN AMARIS	9 PAGES.
4	CP-ZOC	12/9/21	12/13/21			12/13/21	SETYDIPUTRA MAX	approved. Restamp R-2. max.setyadiputra@sfgov.org
4	CP-ZOC	9/23/19	11/14/19			1/20/20	SETYDIPUTRA MAX	11/14/19 sent comments to the property owner. Max does not work on Monday or Friday.
5	CP-NP	1/21/20	1/31/20	1/21/20	1/23/20	7/1/20	SETYDIPUTRA MAX	07/01/20 Approved emailed 311 cover letter on 1/21/2020 (Jennie) mailed 311 notice on 1/31/2020; expires 3/2/2020 (Jennie)
6	BLDG	7/13/20	8/26/20	8/26/20		12/9/21	CHAN JOSEPH	emailed comments to designer
7	BLDG	12/9/21	12/9/21			12/9/21	CHAN JOSEPH	Approved. Route to PPC
9	PPC	12/14/21	12/14/21			12/14/21	TAING SOK-IM	12/14/21: To CPB; ST 12/09/21: TO PLANNING for re stamp;me 8/26/20: to HOLD bin pending BLDG approval; am 7/13/20: to BLDG;EC. 1/8/20pm: R1 to DCP. ibb 9/23/19: To DCP; HP
10	CPB	12/14/21	12/16/21			1/21/22	WONG ALBERT	1/21/2022: Issued; to permit center for pick up; -akw 01/11/2022: Extension fee required. 1st extension fee \$207.88. When pay fee, new cancel date: 07/03/2022.ay 12/16/2021: Approved; -akw

Action Date	Stage	Comments
8/20/2019	TRIAGE	
8/20/2019	FILING	
8/20/2019	FILED	
12/16/2021	PLANCHECK	

12/16/2021	APPROVED	
1/21/2022	ISSUED	
2/7/2022	SUSPEND	Per BOA Appeal #22-005

NEIGHBORHOOD MEETING NOTIFICATION

Date: 9/3/19
Assessor's Block: 3163
Lot: 021
Project Address: 120 Eastwood Dr.

This notice has been sent to you to inform you that (applicant) William Hoskins will be applying for approval of a proposed building alteration or addition at the above address. The project will consist of the following:

Original deck above garage was insufficiently supported and decaying. When repairing original deck SF Building Inspector advised extending it 42" to be supported by load bearing wall of garage.

(detailed project description)

In accordance with the review process of the Westwood Park Association, this notice is being sent to all residents within the surrounding area of the proposed project as well as the Westwood Park Association. You are under no obligation to take any action. You are being notified so that you are aware of the project's scope and can evaluate whether or not you believe the project could significantly affect you or your property. The applicant will be holding a meeting to present the project and discuss any concerns you may have for incorporation into the design at the time and place described below.

Meeting Date and Time: 9/19/19
Meeting Location: 120 Eastwood Dr
Applicant: William Hoskins
Applicant's Address: 120 Eastwood Dr.
Applicant's Telephone: 415 587-6222

If you feel that you are unable to resolve your concerns after working with the applicant, please contact the Westwood Park Association.

NEIGHBORHOOD MEETING ATTENDANCE

Date: 9/19/19
Assessor's Block: 31-63
Lot: 021
Project Address: 120 Eastwood Dr
Date of Meeting: 9/19/19

The following residents have attended the neighborhood meeting regarding the above project. (Attach additional sheets if necessary.)

	Name	Address
1.	<u>John Williams</u>	<u>91 Eastwood Drive 94112</u>
2.	_____	_____
3.	_____	_____
4.	_____	_____
5.	_____	_____
6.	_____	_____
7.	_____	_____
8.	_____	_____
9.	_____	_____
10.	_____	_____
11.	_____	_____
12.	_____	_____



Houses Notified of Neighborhood Notification Meeting

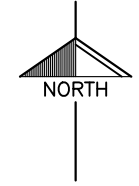
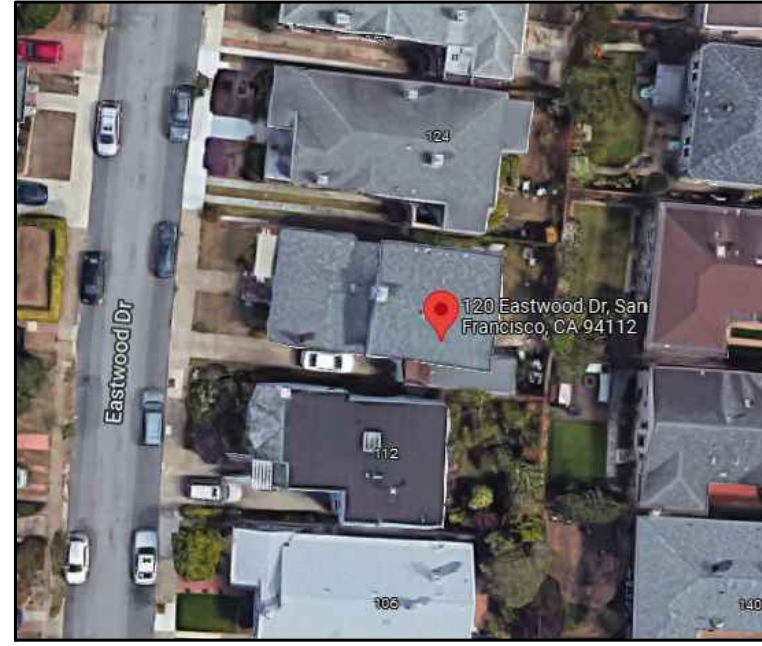
Westwood Park Association, 236 West Portal Ave #770

Location relative to jobsite	number	street
same side of street	150	Eastwood Dr.
same side of street	142	Eastwood Dr.
same side of street	136	Eastwood Dr.
same side of street	130	Eastwood Dr.
same side of street	124	Eastwood Dr.
Jobsite	120	Eastwood Dr.
same side of street	112	Eastwood Dr.
same side of street	106	Eastwood Dr.
same side of street	100	Eastwood Dr.
same side of street	94	Eastwood Dr.
same side of street	90	Eastwood Dr.
Other side of street	149	Eastwood Dr.
Other side of street	143	Eastwood Dr.
Other side of street	137	Eastwood Dr.
Other side of street	131	Eastwood Dr.
Other side of street	125	Eastwood Dr.
Other side of street	119	Eastwood Dr.
Other side of street	115	Eastwood Dr.
Other side of street	107	Eastwood Dr.
Other side of street	101	Eastwood Dr.
Other side of street	99	Eastwood Dr.
Other side of street	91	Eastwood Dr.
Backside	1449	Plymouth Ave.
Backside	1441	Plymouth Ave.
Backside	1435	Plymouth Ave.
Backside	1429	Plymouth Ave.
Backside	1423	Plymouth Ave.
Backside	1417	Plymouth Ave.
Backside	1411	Plymouth Ave.
Backside	1405	Plymouth Ave.
Backside	1401	Plymouth Ave.
Backside	1399	Plymouth Ave.
Backside	1381	Plymouth Ave.

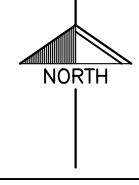
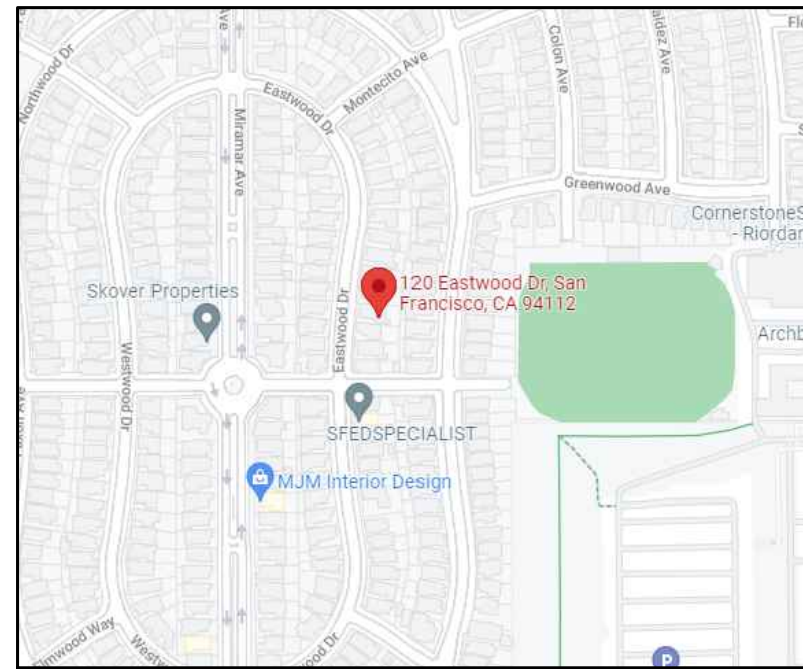
EXHIBIT C

DECK REPAIR 120 EASTWOOD DRIVE SAN FRANCISCO, CALIFORNIA 94112

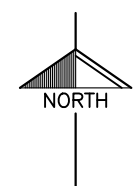
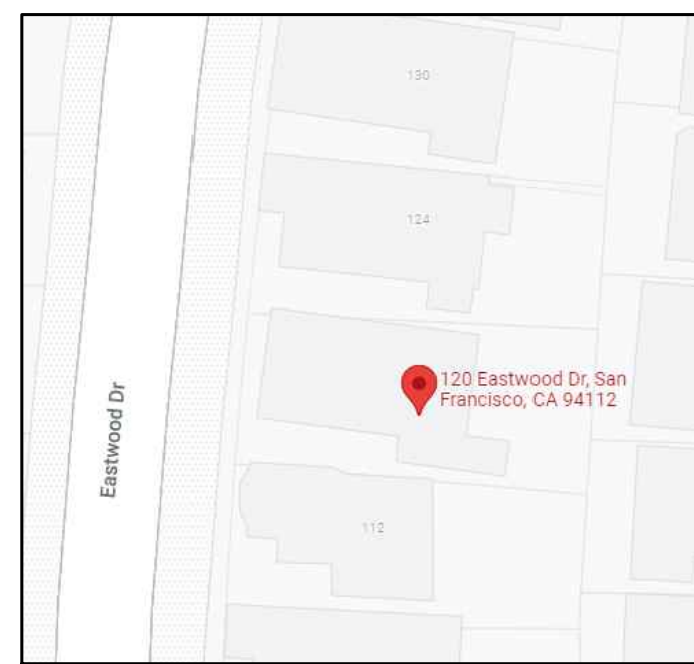
AERIAL VIEW



VICINITY MAP



LOCATION MAP



SCOPE OF WORK

EXTEND (E) DECK OVER GARAGE

PROJECT INFO

OWNER: WILLIAM HOSKINS
120 EASTWOOD DRIVE
SAN FRANCISCO, CALIFORNIA

PROJECT CONTACT: ATRIUM STRUCTURAL ENGINEERING
2451 HARRISON STREET
SAN FRANCISCO, CALIFORNIA 94110
(415) 642-7722
(415) 642-7590

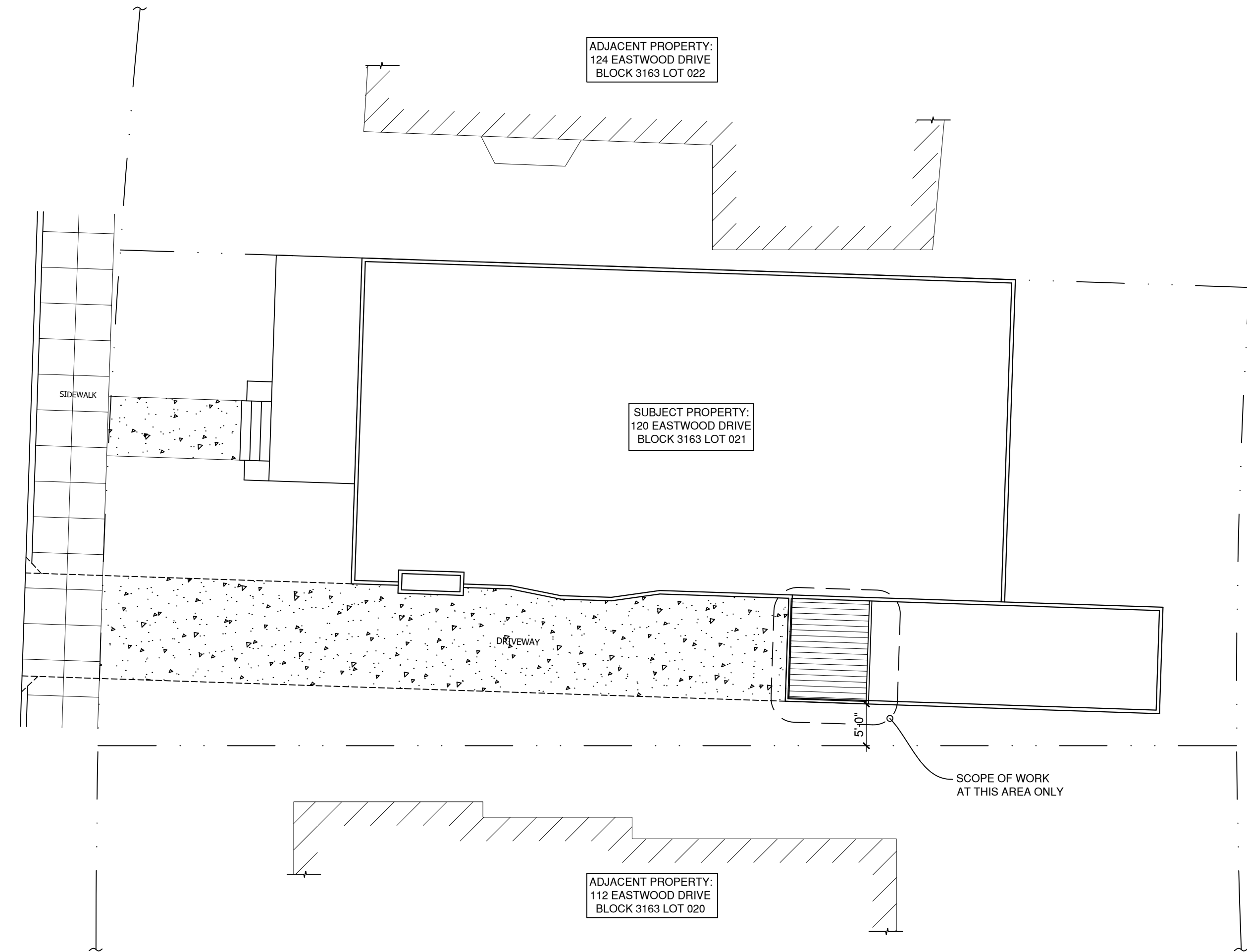
BUILDING INFO:
BLOCK: 3163
LOT: 021
OCCUPANCY: R-3
TYPE OF CONSTRUCTION: V-B
NUMBER OF STORIES: 2 OVER GARAGE
NUMBER OF DWELLING UNITS: 1

APPLICABLE CODES:
2016 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
2016 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS
2016 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS
2016 CALIFORNIA PLUMBING CODE WITH LOCAL AMENDMENTS
2016 GREEN BUILDING CODE WITH LOCAL AMENDMENTS
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE WITH LOCAL AMENDMENTS
2016 SAN FRANCISCO HOUSING CODE

SHEET INDEX

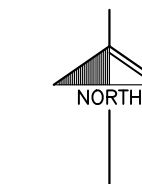
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- A0.2 ——— PLANNING APPROVED DECK DRAWINGS
- A0.3 ——— PLANNING APPROVED DECK DRAWINGS
- A0.4 ——— PLANNING APPROVED DECK DRAWINGS
- A0.5 ——— PLANNING APPROVED DECK DRAWINGS
- A0.6 ——— PLANNING APPROVED DECK DRAWINGS
- A0.7 ——— PLANNING APPROVED DECK DRAWINGS
- A1 ——— EXISTING GROUND FLOOR PLAN
- A2 ——— EXISTING AND PROPOSED SECOND FLOOR PLANS
- A3 ——— EXISTING THIRD FLOOR PLAN
- S1.0 ——— GENERAL STRUCTURAL NOTES
- S2 ——— SECOND FLOOR FRAMING, DECK FRAMING,
GROUND FLOOR AND FOUNDATION PLANS
- S3 ——— STRUCTURAL DETAILS

EASTWOOD DRIVE



SITE PLAN

SCALE: 1/8" = 1'-0"



DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
TITLE SHEET

REVISIONS	BY

P.A.#

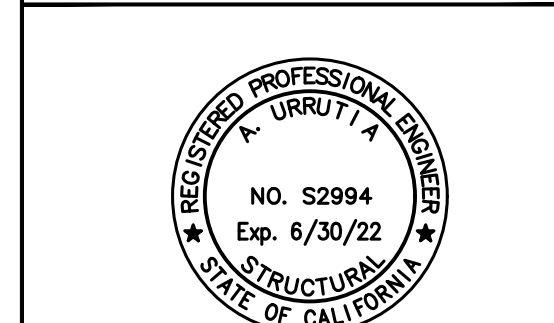
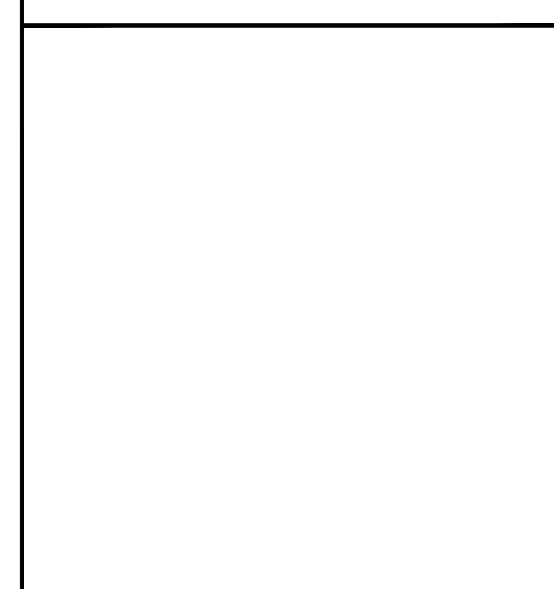


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Job No: 1179
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Of 14 Sheets

DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
PLANNING APPROVED DECK DRAWINGS

REVISIONS	BY

P.A.#



Date:	10/20/21
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Drawn By:	A.U.
Job No:	1179

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Of 14 Sheets

120 Eastwood Dr

Proposed Deck Modification
Owner William Hoskins
415-587-6222
whoskins@gmail.com
January 8, 2020 (v9)

Max Putra 07/01/20
Approved Planning Dept. Max S. Putra

2019-0820-9309 R1



W. Hoskins

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- Sheet 1: Scope of Proposed Work and Narrative
- Sheet 2A: Site Plan with Property Lines and Adjacent Properties – Current Deck (1"=10')
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- Sheet 3: [Intentionally omitted]
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- Sheet 5: Site Plan of Deck
- Sheet 6A: Elevation (Facing East) with adjacent homes – Current Deck
- Sheet 6B: Elevation (Facing East) with adjacent homes – Proposed Repaired Deck
- Sheet 6C: Cross Section (Facing East) at Deck – Current Deck
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- Sheet 9: Elevation of Deck (Facing East) with building detail
- Sheet 10: Elevation of South Side of House (side), facing North
- Sheet 11: Substructure of Deck

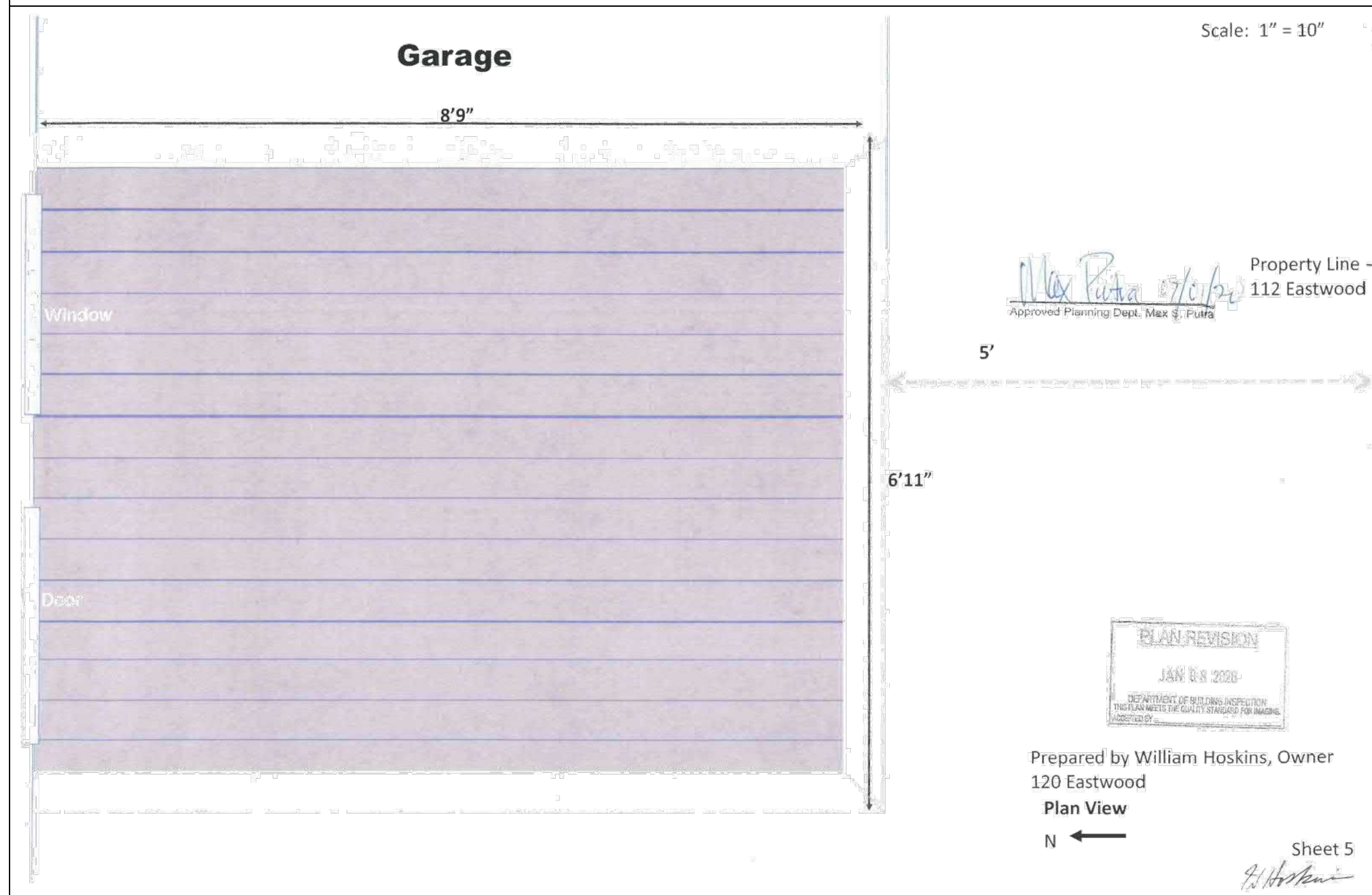
Revision of Plans (#8) for Bldg Permit No. 2017-09-25-9421
Job Address: 120 Eastwood Drive
Block 31-63, Lot 021
To satisfy complaint no. 201799701
Original Plans PA #370739

Max Putra 07/01/20
Approved Planning Dept. Max S. Putra



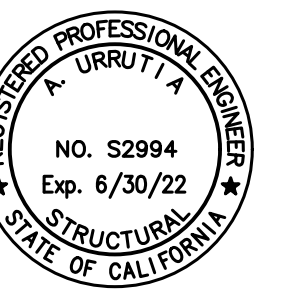
W. Hoskins

DECK REPAIR
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PLANNING APPROVED DECK DRAWINGS



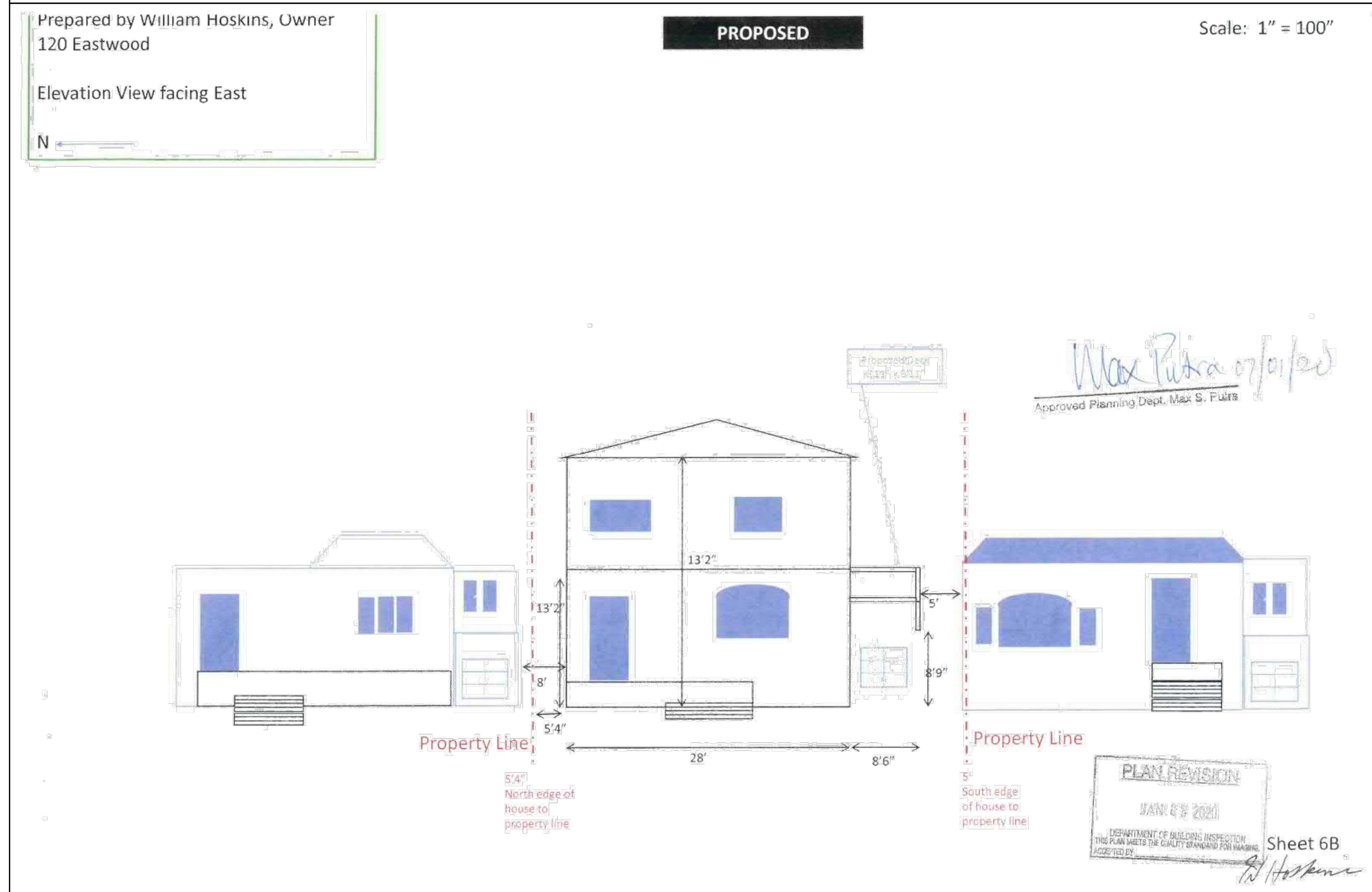
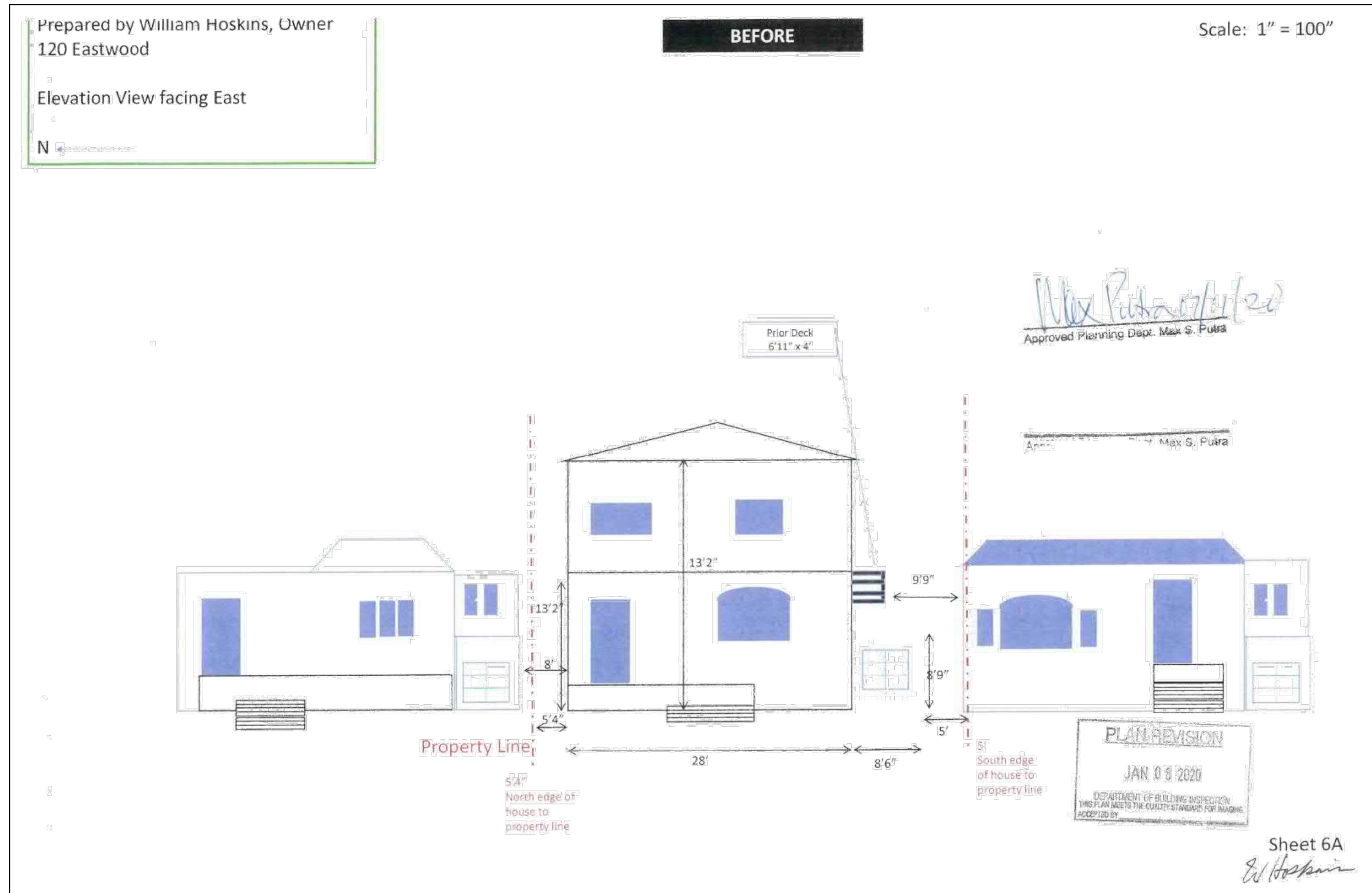
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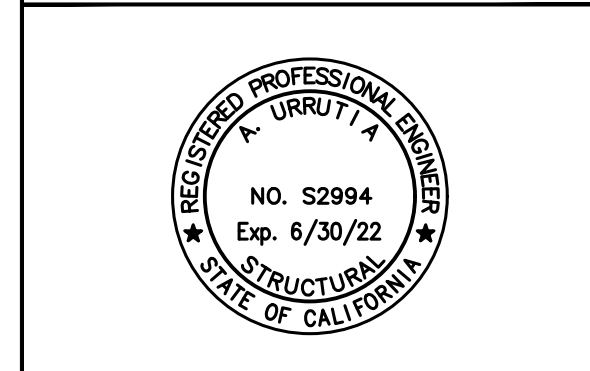
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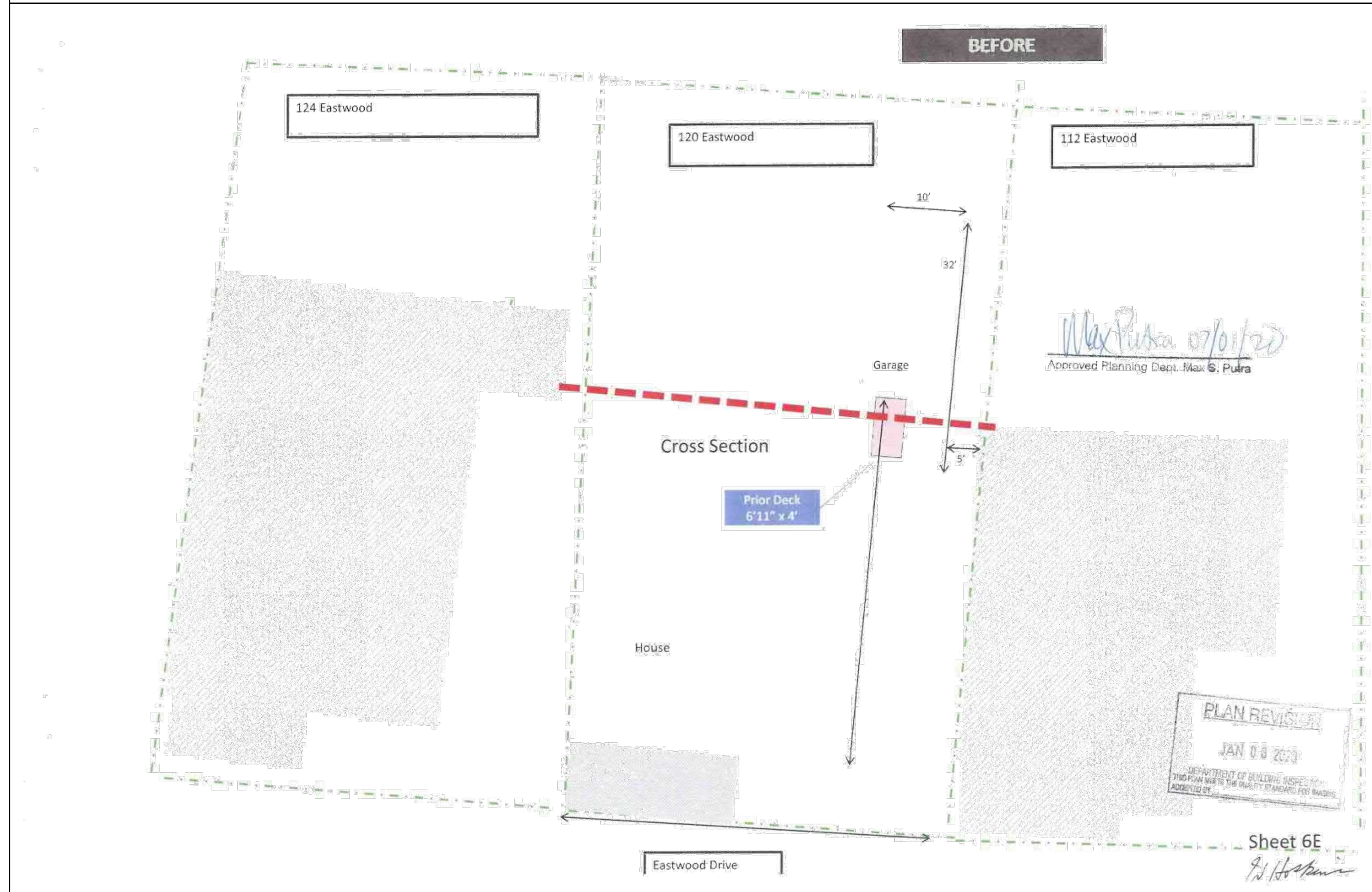
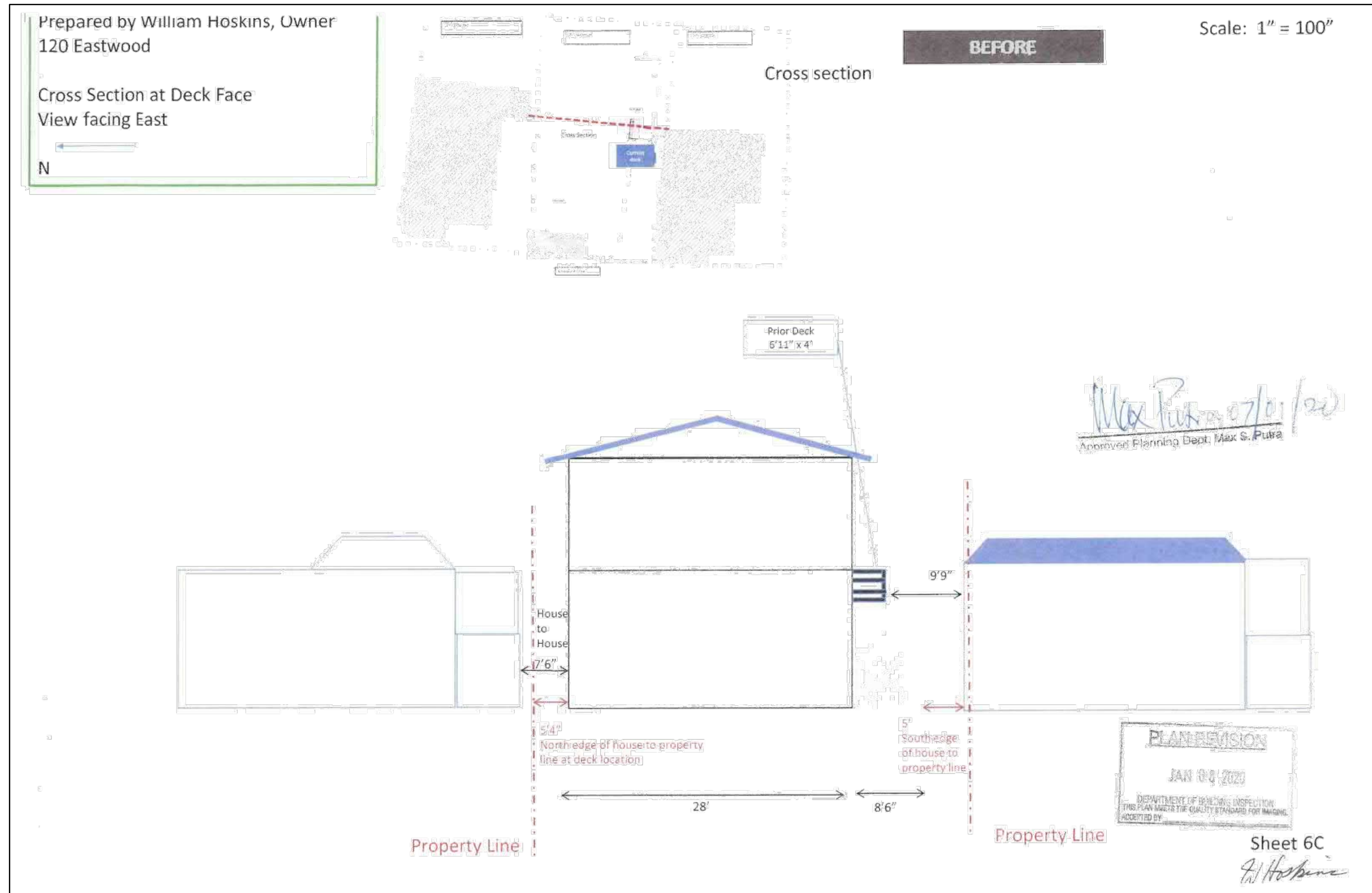
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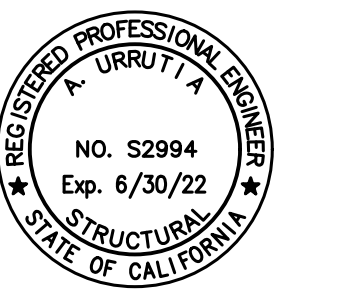
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PLANNING APPROVED DECK DRAWINGS

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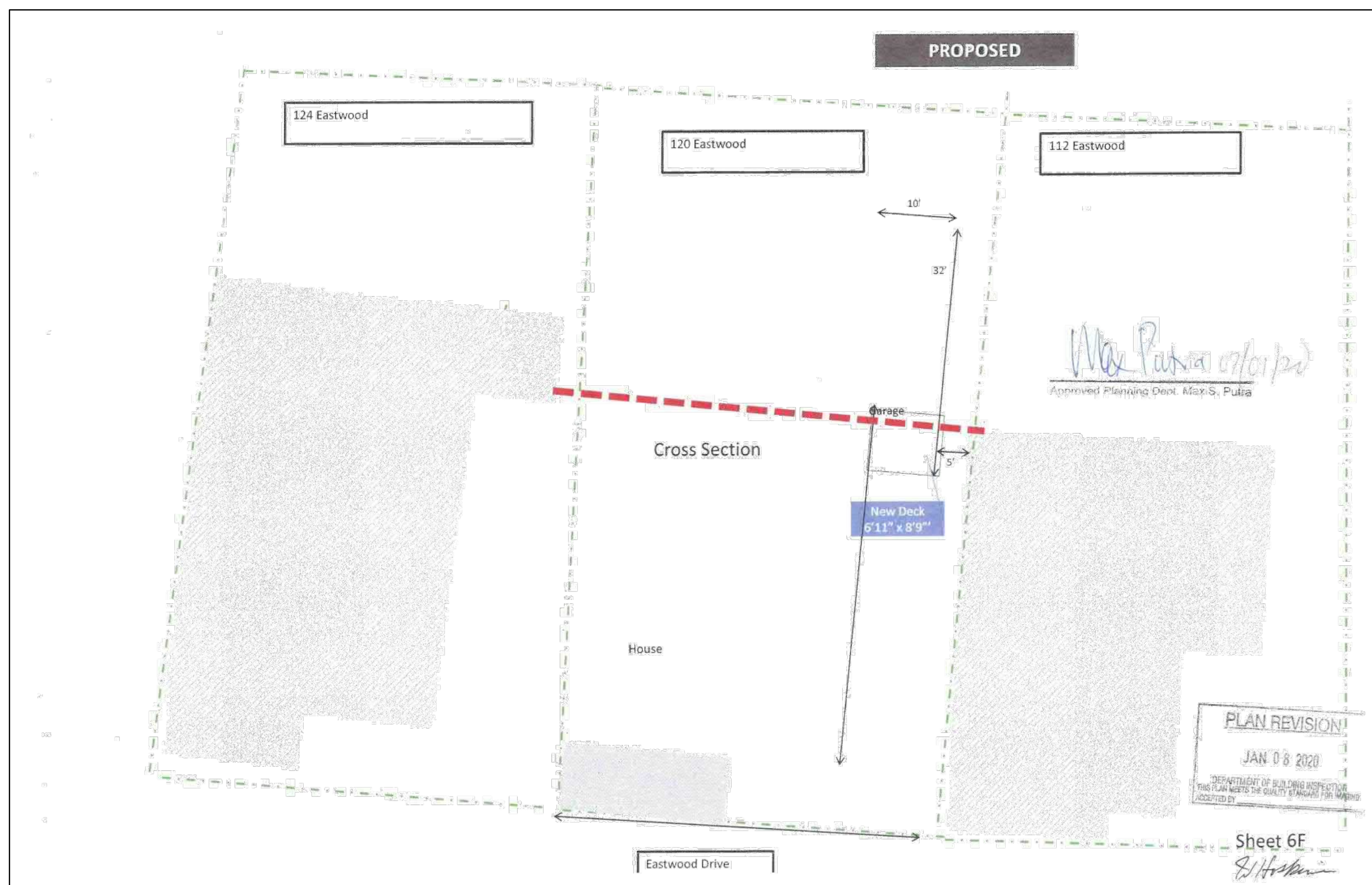
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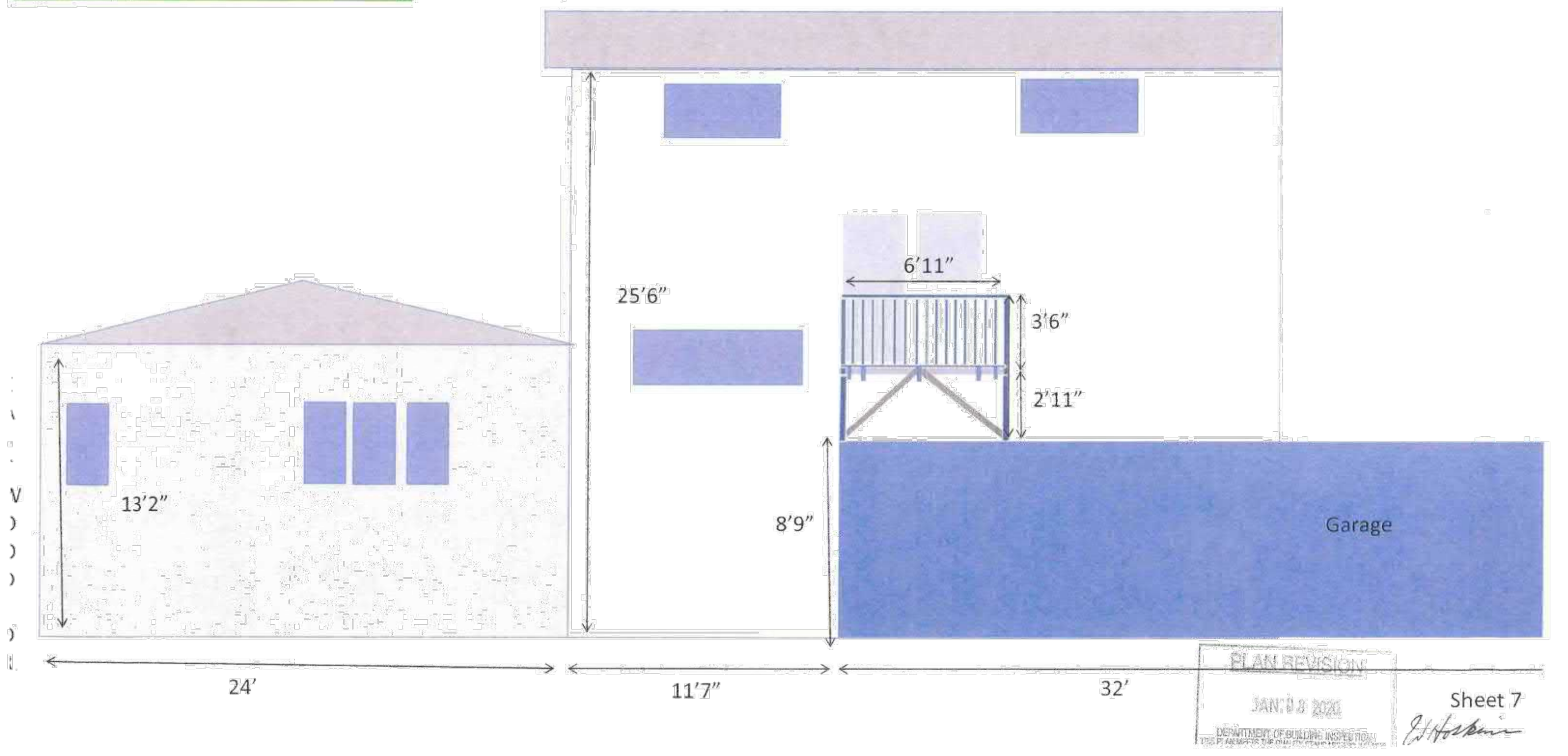
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DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
PLANNING APPROVED DECK DRAWINGS



Prepared by William Hoskins, Owner
120 Eastwood
Elevation View Facing North
Scale: 1"=50"



REVISIONS	BY

P.A.#



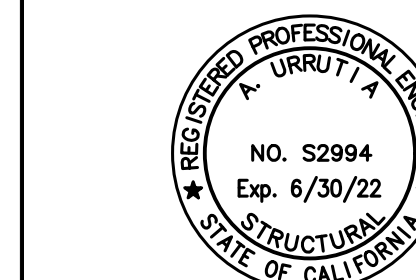
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PLANNING APPROVED DECK DRAWINGS

REVISIONS	BY

P.A.#



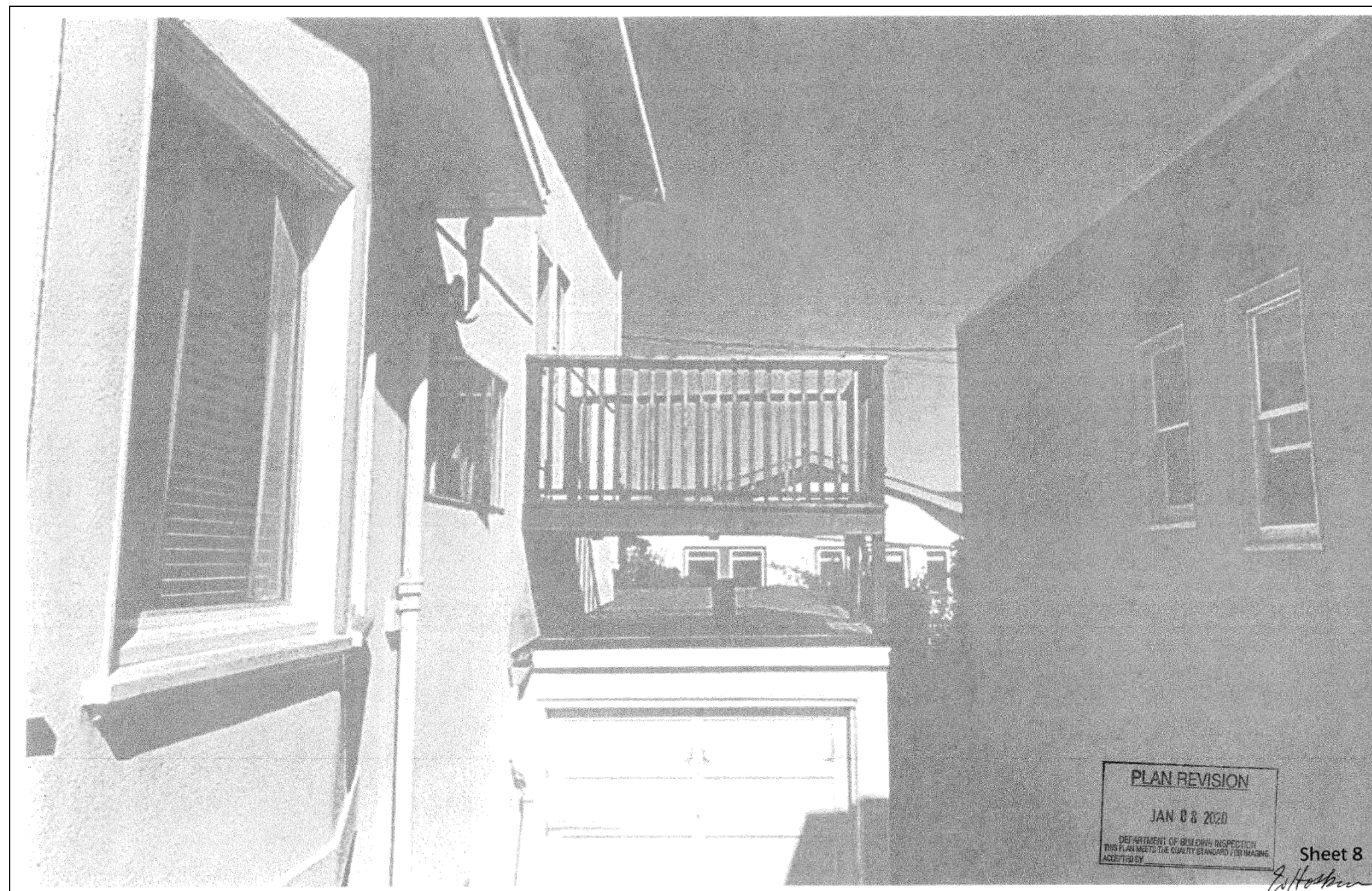
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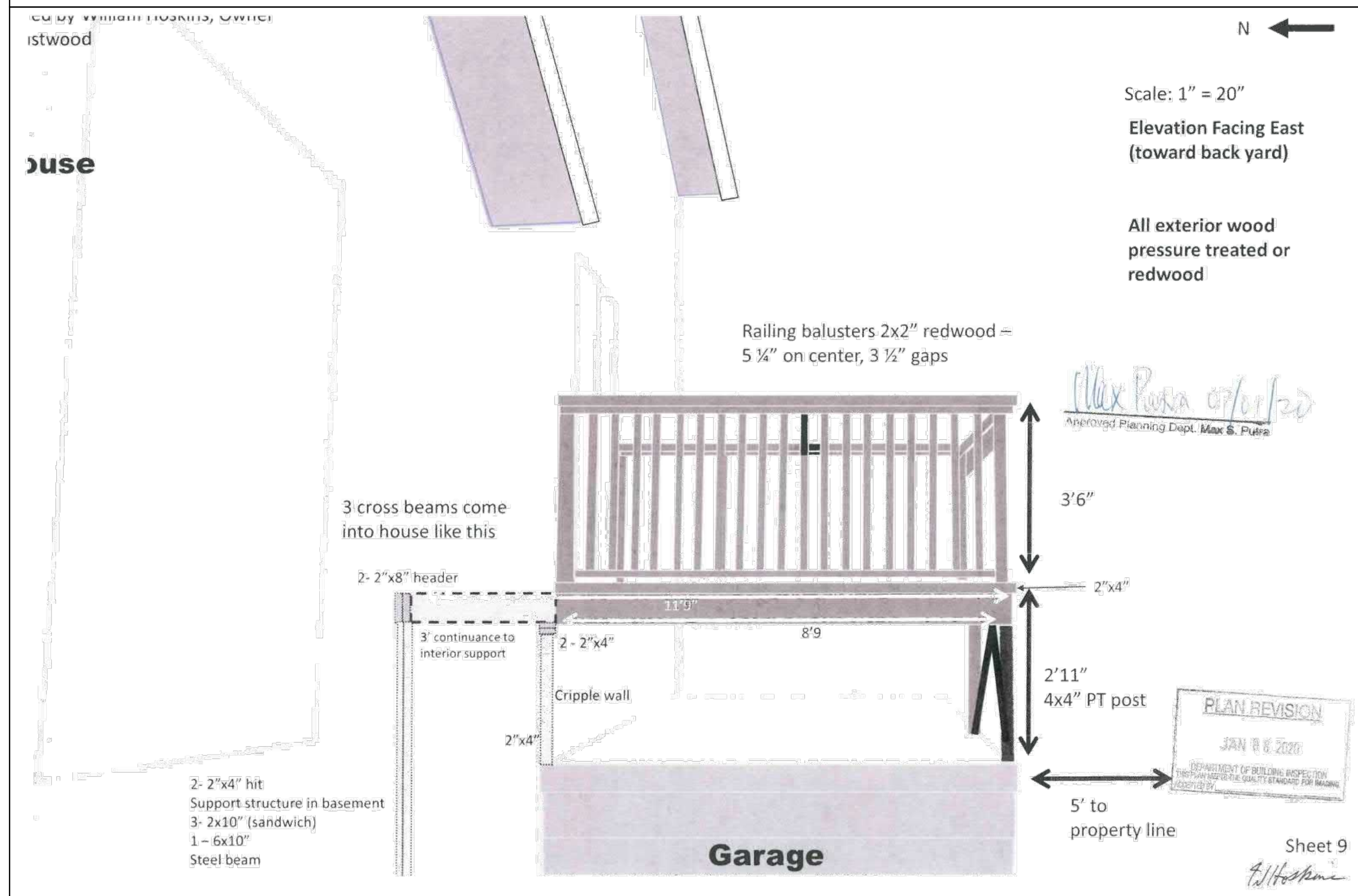
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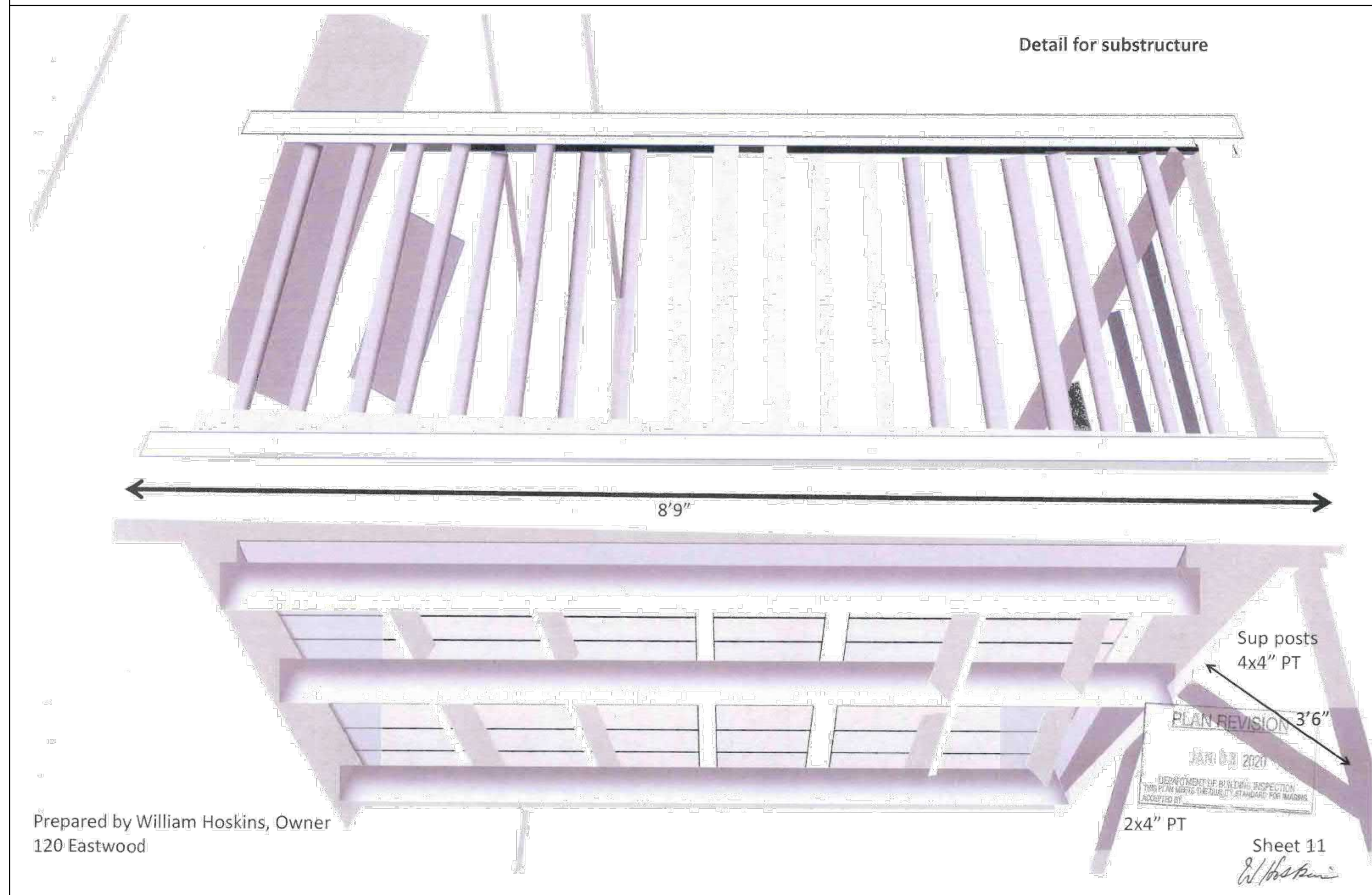
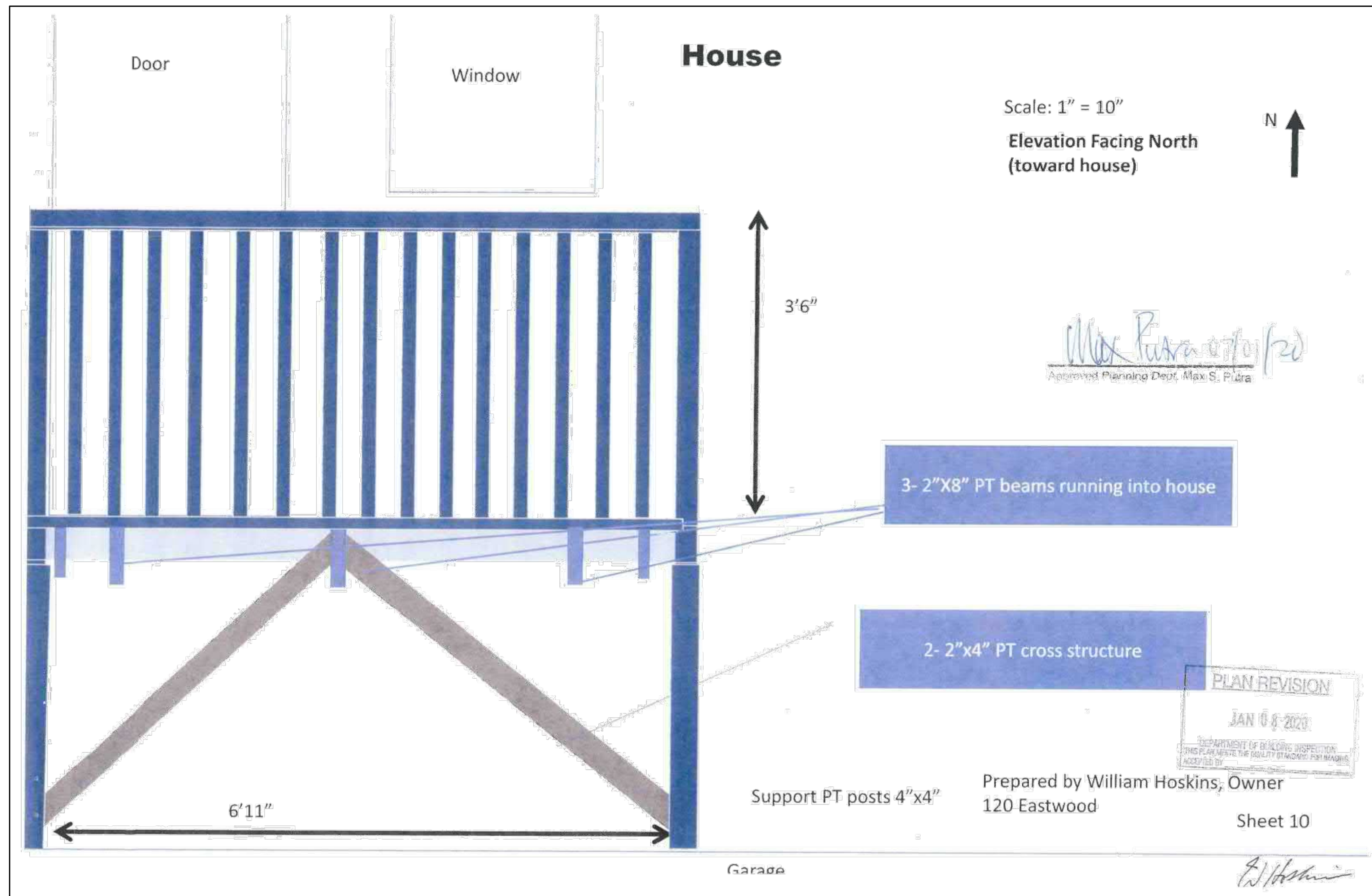
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Of 14 Sheets



PLAN REVISION
JAN 08 2020
DEPARTMENT OF BUILDING INSPECTION
THEY PLAN AND THE QUALITY STANDARDS FOR MAKING
ACCEPTED BY
[Signature]

Sheet 8

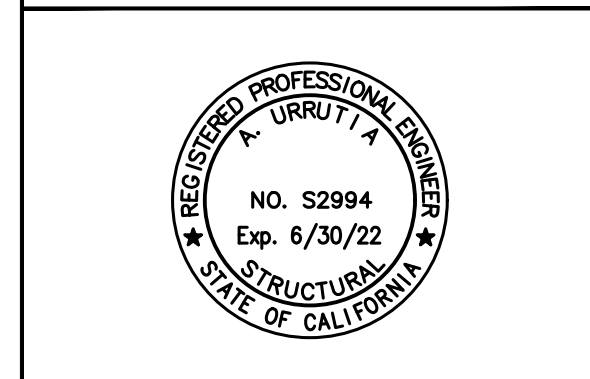




DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
PLANNING APPROVED DECK DRAWINGS

REVISIONS	BY

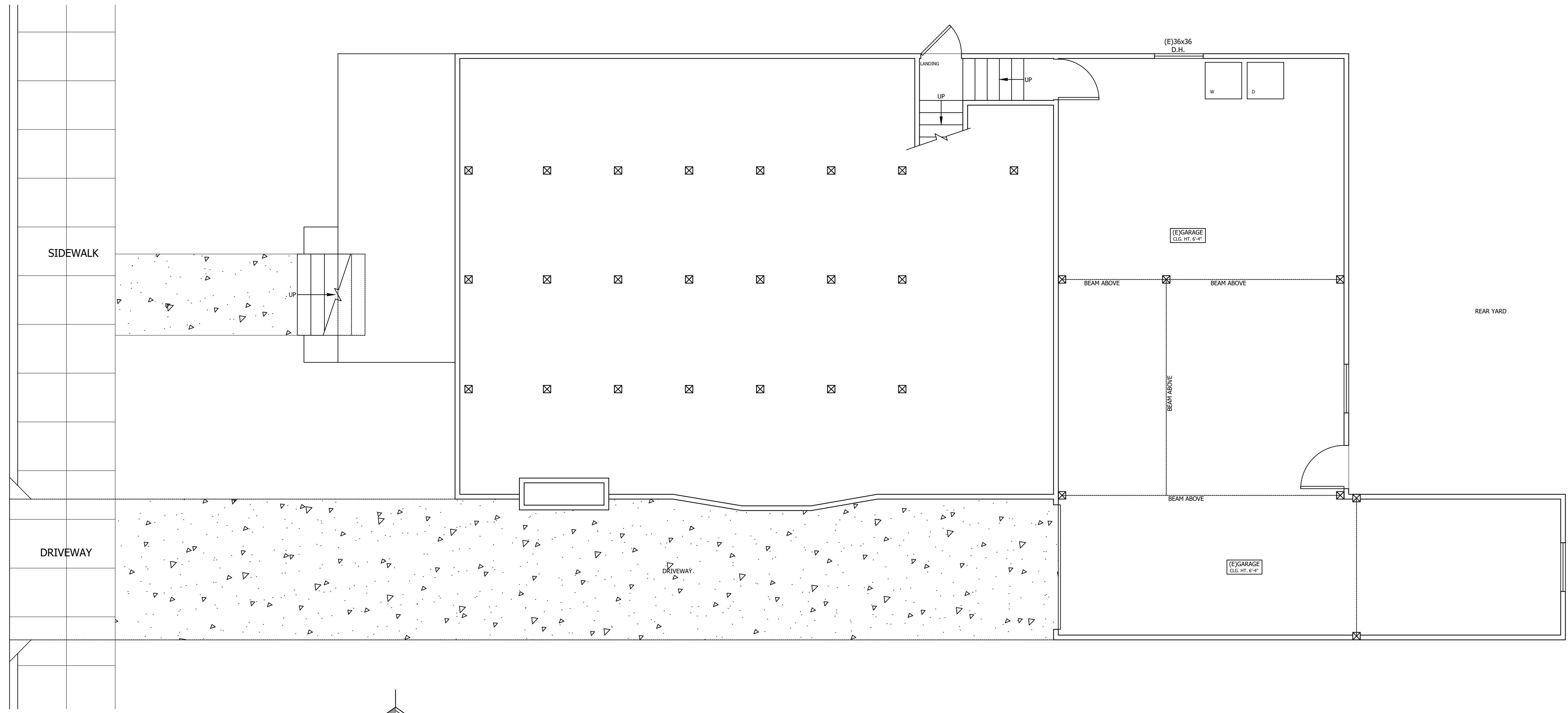
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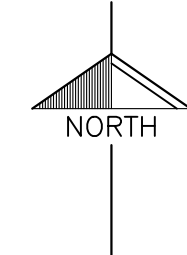
DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
EXISTING GROUND FLOOR PLAN



EXISTING GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

** NO WORK **



REVISIONS	BY

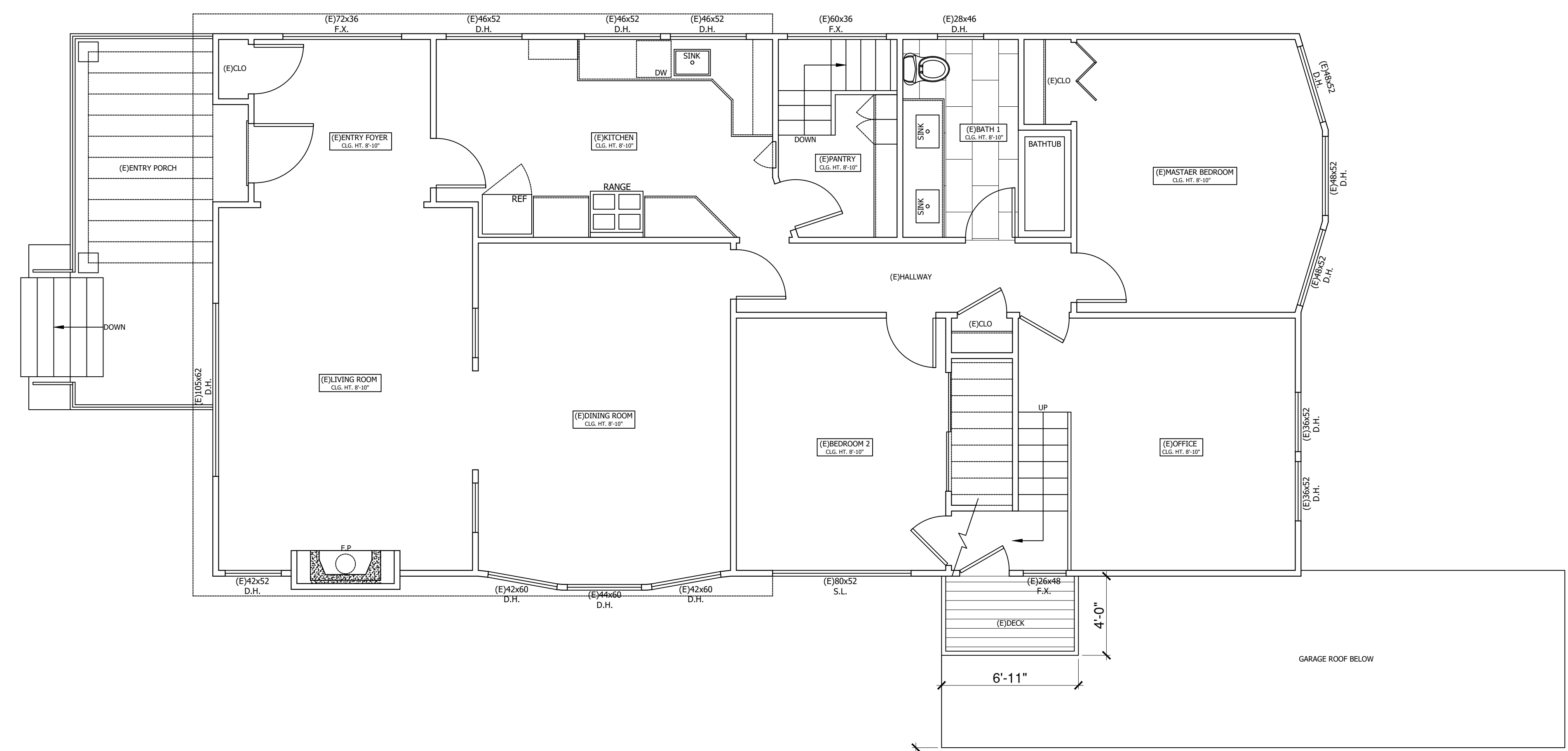
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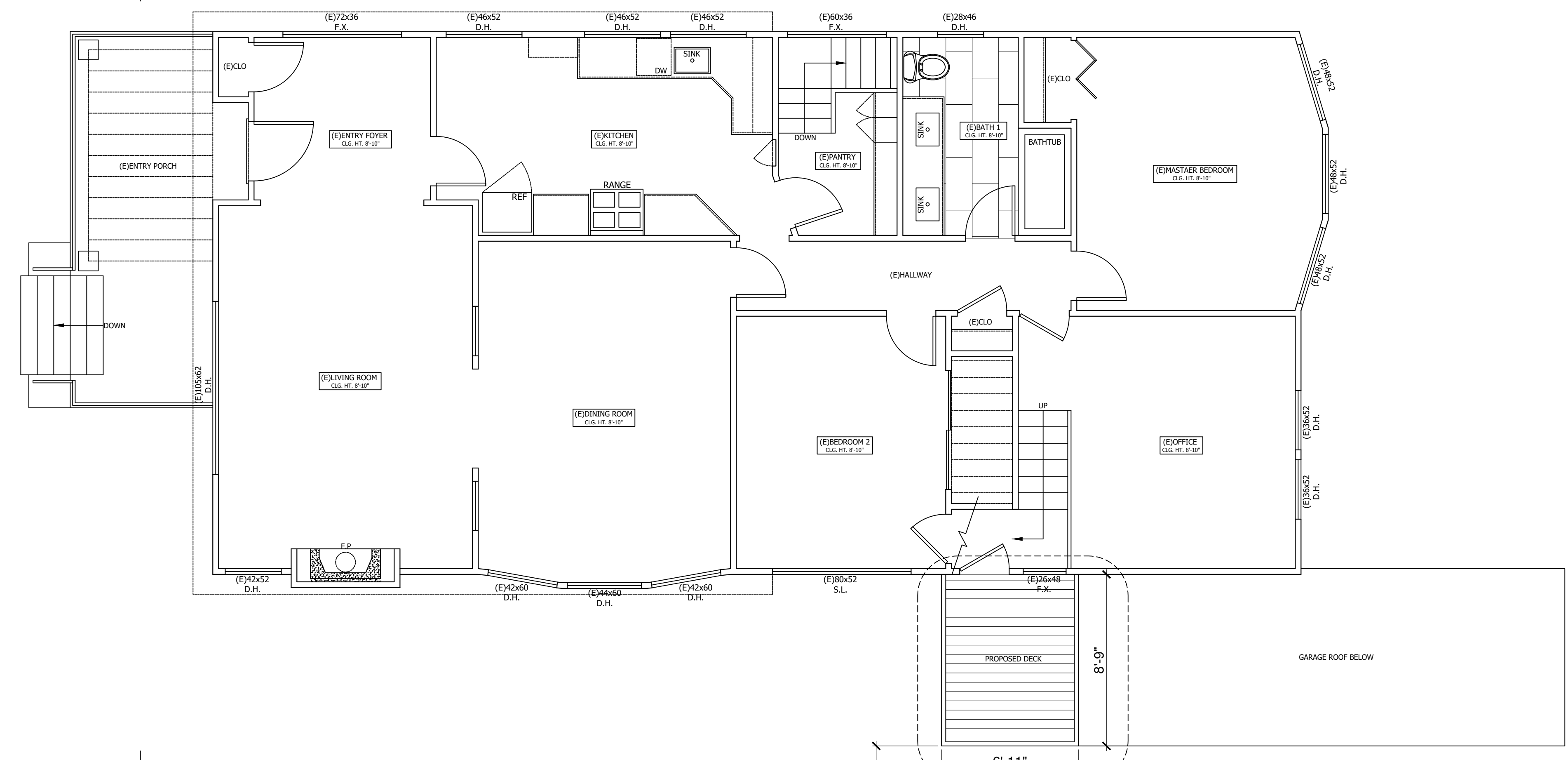
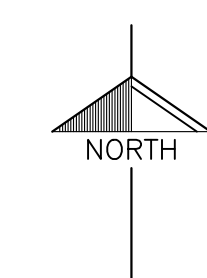
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Of 14 Sheets

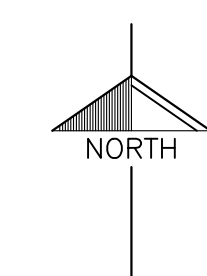
DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
EXISTING AND PROPOSED SECOND FLOOR PLANS



EXISTING SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

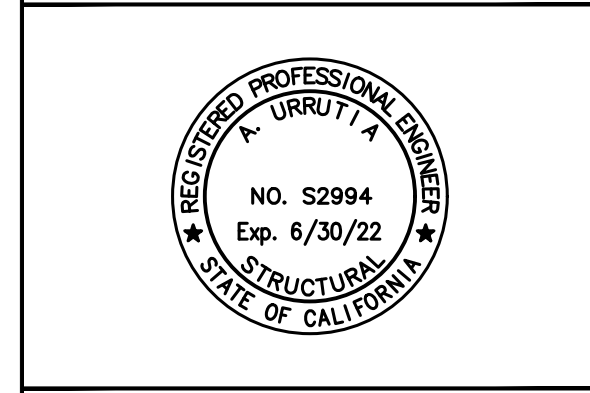


PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



REVISIONS	BY

P.A.#

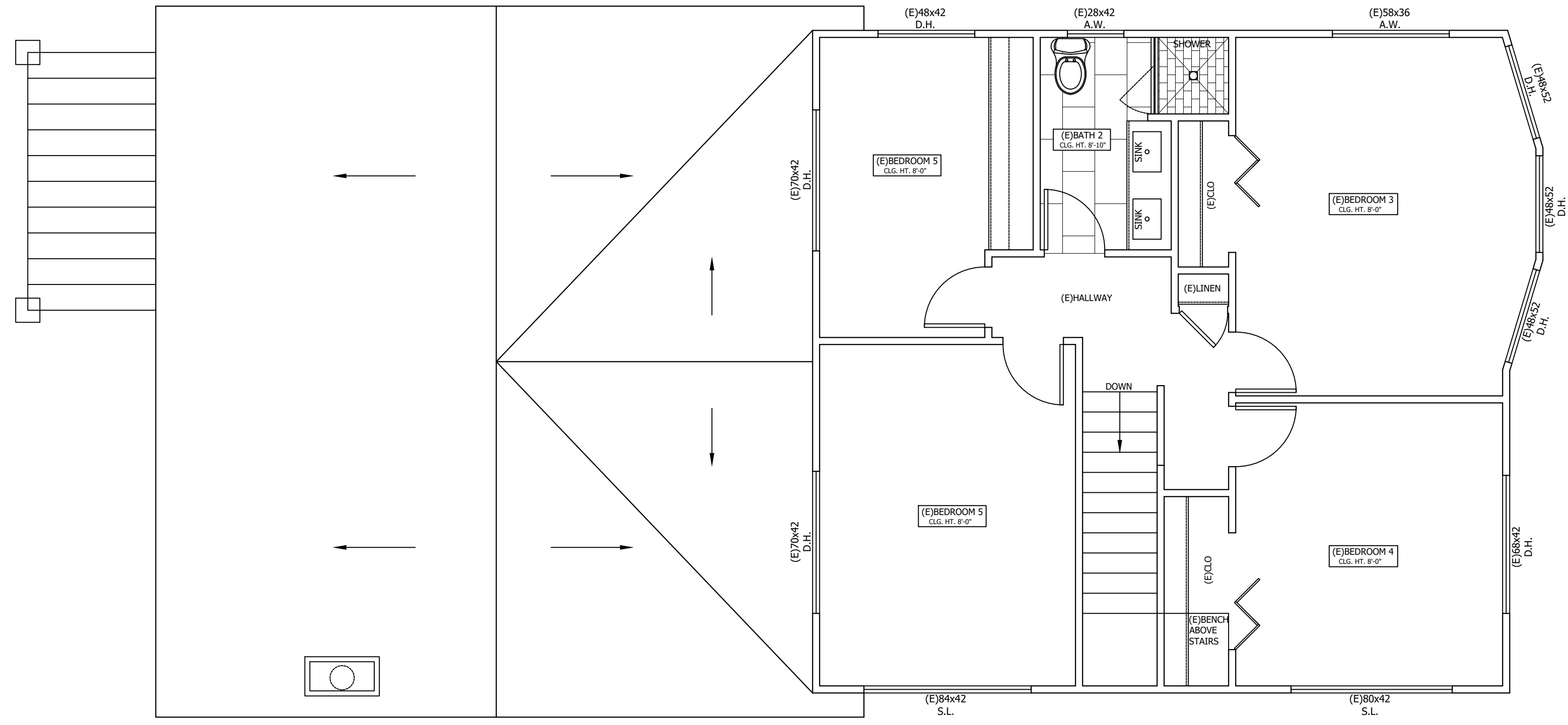


Date: 10/20/21
Scale: 1/4"=1'-0"
Drawn By: A.U.
Job No: 1179

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Of 14 Sheets

DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA

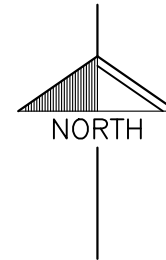
EXISTING THIRD FLOOR PLAN



EXISTING THIRD FLOOR

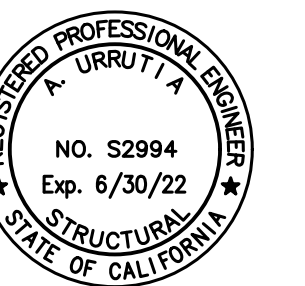
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** NO WORK **



REVISIONS	BY

P.A.#



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Job No: 1179

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Of 14 Sheets

ALBERT URRUTIA
Plotted by: sternstern
3/15/2022 11:13 AM
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36x24

GENERAL STRUCTURAL NOTES

I. GENERAL

- A. ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE 2016 EDITION w/ AMENDMENTS BY LOCAL JURISDICTIONS.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT OR ENGINEER. OMISSIONS OR CONFLICT BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- D. DO NOT USE SCALED DIMENSIONS; USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- E. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- F. FOR WATERPROOFING, FIREPROOFING, ETC. REFER TO DRAWINGS OTHER THAN STRUCTURAL.
- G. SEE DRAWINGS OTHER THAN STRUCTURAL FOR: KINDS OF FLOOR FINISH AND THEIR LOCATION, FOR DEPRESSIONS IN FLOOR SLABS, FOR OPENINGS IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES, FOR ROADWAY PAVING, WALKS, RAMPS, STAIRS, CURBS, ETC.
- H. HOLES AND OPENINGS THROUGH WALLS AND FLOORS FOR DUCTS, PIPING AND VENTILATION SHALL BE CHECKED BY THE CONTRACTOR, WHO SHALL VERIFY SIZES AND LOCATION OF SUCH HOLES OR OPENINGS WITH THE PLUMBING HEATING, VENTILATING AND ELECTRICAL DRAWINGS AND THESE SUB-CONTRACTORS.
- I. NO PIPES AND DUCTS SHALL BE PLACED IN SLABS OR WALLS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE ARCHITECT/DESIGNER.
- J. DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING. THE SUBCONTRACTOR SHALL UNDERTAKE ALL NECESSARY MEASURES TO INSURE SAFETY OF ALL PERSONS AND STRUCTURES AT THE SITE AND ADJACENT TO THE SITE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT, ENGINEER SHALL NOT RELIEVE THE SUBCONTRACTOR OF SUCH RESPONSIBILITY. DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS ILLEGAL UNDER SF PLANNING CODE 317 AND ANY MODIFICATIONS REQUIRES A PERMIT REVISION AND APPROVAL FROM THE SF PLANNING DEPARTMENT.

II. MATERIALS

- A. CONCRETE:
 - 1. REINFORCING STEEL: ASTM A615, GRADE 60, #4 AND SMALLER, GRADE 40.
 - 2. CONCRETE: NORMAL WEIGHT U.O.N. WITH COMPRESSIVE STRENGTH OF THE FOLLOWING AT 28 DAYS:
 - SLAB-ON-GRADE 2500 psi
 - FOOTINGS, MAT SLAB & DRILLED PIERS 3000 psi
 - WALLS, COLUMNS 5000 psi
 - STRUCTURAL SLAB (L.W. P.T. SEE S3.2) 5000 psi
 - 3. MINIMUM CONCRETE COVER FOR REINFORCING STEEL:
 - a. SURFACE Poured AGAINST GROUND 3"
 - b. FORMED SURFACES BELOW GRADE 2"
 - c. SURFACES EXPOSED TO WEATHER 2"
 - d. BEAM BARS (INCLUDING STIRRUPS) 1-1/2"
 - e. ALL OTHER 1"
 - 4. ANCHOR BOLT EPOXY*: HILTI HIT-RE 500-V3. (ICC ESR-3814) OR SIMPSON SET-XP FOR REBAR DOWELING (ICC ESR-2508) AND SIMPSON SET 3G FOR EPOXY BOLTS/RODS
 - 5. SCREW ANCHORS*: SIMPSON TITEN HD (ICC ESR-2713)

* USE COMPRESSED AIR TO BLOW THE DUST OUT OF ANCHOR BOLT HOLES.
- B. CMU: UNITS 1500 PSI, MORTAR (TYPE 'S'), GROUT 2000 PSI
- C. STEEL
 - 1. SHAPES AND PLATES: ASTM A36; TUBES: ASTM A500, GRADE B; PIPES: ASTM A53, GRADE B
 - 2. MOMENT FRAMES (BEAMS, COLUMNS): ASTM A992
 - 3. METAL STUDS, SEE S1.4, NOTES
 - 4. METAL JOISTS, 50 ksi
 - 5. BOLTS: ASTM A307, U.O.N.; HIGH-STRENGTH BOLTS: ASTM A325
 - 6. STUD SHEAR CONNECTORS: ASTM A108
 - 7. THREADED ANCHOR RODS: ASTM F1554
 - 8. WELDING ELECTRODES: E-70 FOR FULL PEN WELDS USE CHARPY V-NOTCH WIRE, MIN. 20 ft # @ 0°F
 - 9. METAL DECKING, SEE S1.5
- D. WOOD
 - 1. FRAMING LUMBER - DOUGLAS FIR LARCH
 - a. HEADERS, PLATES, JOISTS: NO.1
 - b. STUDS, BLOCKING: NO.2
 - c. ALL LUMBER IN CONTACT WITH CONCRETE: PRESERVATIVE TREATED DOUGLAS FIR. (NOT CCA-C)
 - d. POSTS AND BEAMS: NO.1
 - 2. PLYWOOD SHEATHING
 - e. SHEARWALL PLYWOOD :
 - 1/2 INCH STRUCTURAL I, C-D EXTERIOR, APA RATED 32/16, SEE 6/S1.1A, SHEARWALL SCHEDULE FOR THICKNESS.
 - b. ROOF SHEATHING: 5/8 INCH STRUCTURAL II, C-D EXTERIOR APA RATED 32/16
 - c. FLOOR SHEATHING: 3/4 INCH STRUCTURAL II, C-D EXTERIOR APA RATED 48/24
 - 3. FRAMING HARDWARE AND JOIST HANGERS: AS MANUFACTURED BY SIMPSON STRONGTIE CO. OR APPROVED EQUAL. SIMPSON DESIGNATIONS USED. USE NAILS PER I.C.C. APPROVAL FOR EACH DEVICE.
 - 4. COMMON NAILS, UNLESS OTHERWISE NOTED. SHORT NAILS MAY BE USED PROVIDED THEY HAVE COMMON CODE SPECIFIED MINIMUM EMBEDMENT. ALL NAILING TO BE PER IBC TABLE NO. 2304.9.1 UNLESS NOTED OTHERWISE.
 - 5. GLU-LAM BEAMS: 24F-V4 (Fb=2400 PSI)
 - 6. PARALLAM & MICROLLAM BEAMS AND TJI's TO BE FABRICATED BY TRUS JOIST.
 - 7. FOR TJI JOISTS SEE CODE EVALUATION: ICC-ES ESR-1153

DESIGN CRITERIA

- A. APPLICABLE CODE: CALIFORNIA BUILDING CODE 2016 & SFBC 2016.
- B. VERTICAL LIVE LOADS: (REDUCIBLE). ROOF: 20 PSF. FLOOR: 40 PSF. HALLWAYS & CORRIDORS: 100 PSF. COMMON AREA ROOF DECK: 100 PSF PRIVATE DECK: 1.5xLIVE LOAD OF AREA SERVED
- C. LATERAL LOADS:
 - SEISMIC: SITE CLASS 'D'
 - MAPPED SPECTRAL ACCELERATIONS:
 $S_s =$, $S_1 =$, $S_{M1} =$, $S_{M2} =$, $S_{M3} =$, $S_{D1} =$
 $F_a =$, $F_v =$
 $p = 1.3 \Omega = 2.5$, $R = 6.5$ Cd = 4.0 WOOD SHEAR WALL E-W DIRECTION
 $p = 1.3 \Omega = 2.5$, $R = 8.0$ Cd = 5.5 SMF N-S DIRECTION
I=1.0 RISK CATEGORY II
SEISMIC DESIGN CATEGORY "D"
BASE SHEAR 'V' = .000 W E-W DIR. (w./ 25% REDUCTION PER SFBC)

III EXPOSURE TO WEATHER:

- A. STEEL:
 - 1. ALL EXPOSED MEMBERS SHALL BE COATED WITH A ZINC RICH PRIMER.
 - 2. BOLTS, NUTS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED.
- B. WOOD:
 - 1. ALL EXTERIOR TIMBER AND GLU-LAM BEAMS SHALL BE PRESSURE TREATED (BUT NOT CHROMATED COPPER ARSENATE) OR WOOD OF NATURAL RESISTANCE TO DECAY.
 - 2. ALL EXTERIOR HANGERS AND OTHER SIMPSON TYPE PRODUCTS SHALL BE GALVANIZED.
 - 3. ALL PLYWOOD SHALL BE OF AN EXTERIOR GRADE.
 - 4. METAL CONNECTORS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED w/ MIN. ZINC COATING OF G185.
 - 5. ALL NAILS & ANCHOR BOLTS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

IV ABBREVIATIONS

B.N.	BOUNDARY NAILING
S.A.D.	SEE ARCHITECTURAL DRAWINGS
DIA.	DIAMETER
E.N.	EDGE NAILING
S.O.G.	SLAB-ON-GRADE
H.P.	HIGH POINT
S.S.	STAINLESS STEEL
L.P.	LOW POINT
T.O.	TOP OF
LVL	LAMINATED VENEER LUMBER
TYP.	TYPICAL
L.W.	LIGHT WEIGHT
U.O.N.	UNLESS OTHERWISE NOTED
PSL	PARALLAM
PLWD	PLYWOOD SHEATHING
W.W.F.	WELDED WIRE FABRIC
PSL	PARALLEL STRAND LUMBER
P.T.	PRESSURE TREATED OR POST-TENSIONED

SYMBOLS

	WALL BELOW
	WALL ABOVE
	CONC. WALL ABOVE
	BRICK OR CMU WALL ABOVE
	WOOD SHEARWALL (BELOW)
	WOOD JOIST HANGER (HUS TYPE, U.O.N.)
<input checked="" type="checkbox"/>	WOOD POST BELOW
<input checked="" type="checkbox"/>	WOOD POST ABOVE (OR ABOVE & BELOW)
	HOLDOWN @ WOOD POST
	STEEL COLUMN ABOVE
	STEEL COLUMN BELOW
	MOMENT CONNECTION
	CONCRETE TOPPING OVER PLYWOOD
	CONCRETE TOPPING OVER CORRUGATED METAL DECK

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS 120 EASTWOOD DRIVE APPLICATION NO. 2019-0820-9309 ADDENDUM NO. _____
OWNER NAME WILLIAM HOSKINS OWNER PHONE NO. (415) 587-6222

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.6. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and high-rise projects, and for projects utilizing new processes or materials.

In accordance with Chapter 17 (SFBC), Special Inspection and/or testing is required for the following work:

1. <input type="checkbox"/> Concrete (Placement & sampling)	6. <input type="checkbox"/> High-strength bolting	18. Bolts Installed in existing concrete or masonry:
2. <input type="checkbox"/> Bolts installed in concrete	7. <input type="checkbox"/> Structural masonry	<input type="checkbox"/> Concrete <input type="checkbox"/> Masonry
3. <input type="checkbox"/> Special moment - Resisting concrete frame	8. <input type="checkbox"/> Reinforced gypsum concrete	<input type="checkbox"/> Pull/torque tests per SFBC Sec. 507C & 515C
4. <input type="checkbox"/> Reinforcing steel and prestressing tendons	9. <input type="checkbox"/> Insulating concrete fill	19. <input type="checkbox"/> Shear walls and floor systems used as shear diagrams
5. Structural welding:	10. <input type="checkbox"/> Sprayed-on fireproofing	20. <input type="checkbox"/> Holdowns
A. Periodic visual inspection	11. <input type="checkbox"/> Piling, drilled piers and caissons	21. Special cases:
<input type="checkbox"/> Single pass fillet welds 5/16" or smaller	12. <input type="checkbox"/> Shotcrete	<input type="checkbox"/> Shoring
<input type="checkbox"/> Steel deck	13. <input type="checkbox"/> Special grading, excavation and filling (Geo. Engineered)	<input type="checkbox"/> Underpinning <input type="checkbox"/> Not affecting adjacent property
<input type="checkbox"/> Welded studs	14. <input type="checkbox"/> Smoke-control system	<input type="checkbox"/> Affecting adjacent property: PA _____
<input type="checkbox"/> Cold formed studs and joists	15. <input type="checkbox"/> Demolition	<input type="checkbox"/> Others _____
<input type="checkbox"/> Stair and railing systems	16. <input type="checkbox"/> Exterior Facing	22. <input type="checkbox"/> Crane safety (Apply to the operation of tower cranes on high-rise building) (Section 1705.22)
<input type="checkbox"/> Reinforcing steel	17. Retrofit of unreinforced masonry buildings:	23. <input type="checkbox"/> Others: "As recommended by professional of record" _____
B. Continuous visual inspection and NDT (Section 1704)	<input type="checkbox"/> Retesting of mortar quality and shear tests	
<input type="checkbox"/> All other welding	<input type="checkbox"/> Testing of repointing operations	
<input type="checkbox"/> NDT exception: Fillet weld	<input type="checkbox"/> Installation inspection of new shear bolts	
<input type="checkbox"/> Reinforcing steel, and <input type="checkbox"/> NDT required	<input type="checkbox"/> Pre-installation inspection for embedded	
<input type="checkbox"/> Moment-resisting frames	<input type="checkbox"/> Pull/torque tests per SFBC Sec. 1607C & 1615C	
<input type="checkbox"/> Others _____		

24. **Structural observation per Sec. 1704.6 (SFBC) for the following:** Foundations Steel framing
 Concrete construction Masonry construction Wood framing
 Other _____

25. Certification is required for: Glu-lam components

26. Firestops in high-rise building

Prepared by: ALBERT URRUTIA Phone: (415) 642-7722
Engineer/Architect of Record

Required information:
FAX: (415) 642-7590 Email: aurrutia@atriumstructural.com

Review by: _____ Phone: (628) 652- _____
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports.)

DATE _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO:
Special Inspection Services (628) 652-3407; or, dbi_specialinspections@sf.gov

Updated 10/05/2020

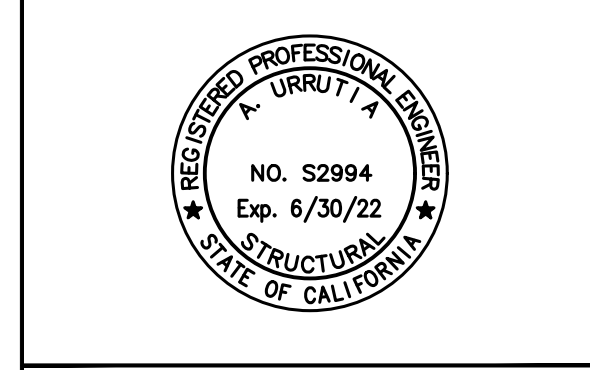


2451 Harrison Street, San Francisco, CA 94110
Ph. (415) 642-7722 Fax. (415) 642-7590
atriumstructural.com

DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
GENERAL STRUCTURAL NOTES

REVISIONS	BY

P.A.# _____



Date:	10/20/21
Scale:	NONE
Drawn By:	A.U.
Job No:	1179
Sheet	S1.0
Of 14 Sheets	

DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
SECOND FLOOR FRAMING, DECK FRAMING,
GROUND FLOOR AND FOUNDATION PLANS

REVISIONS	BY

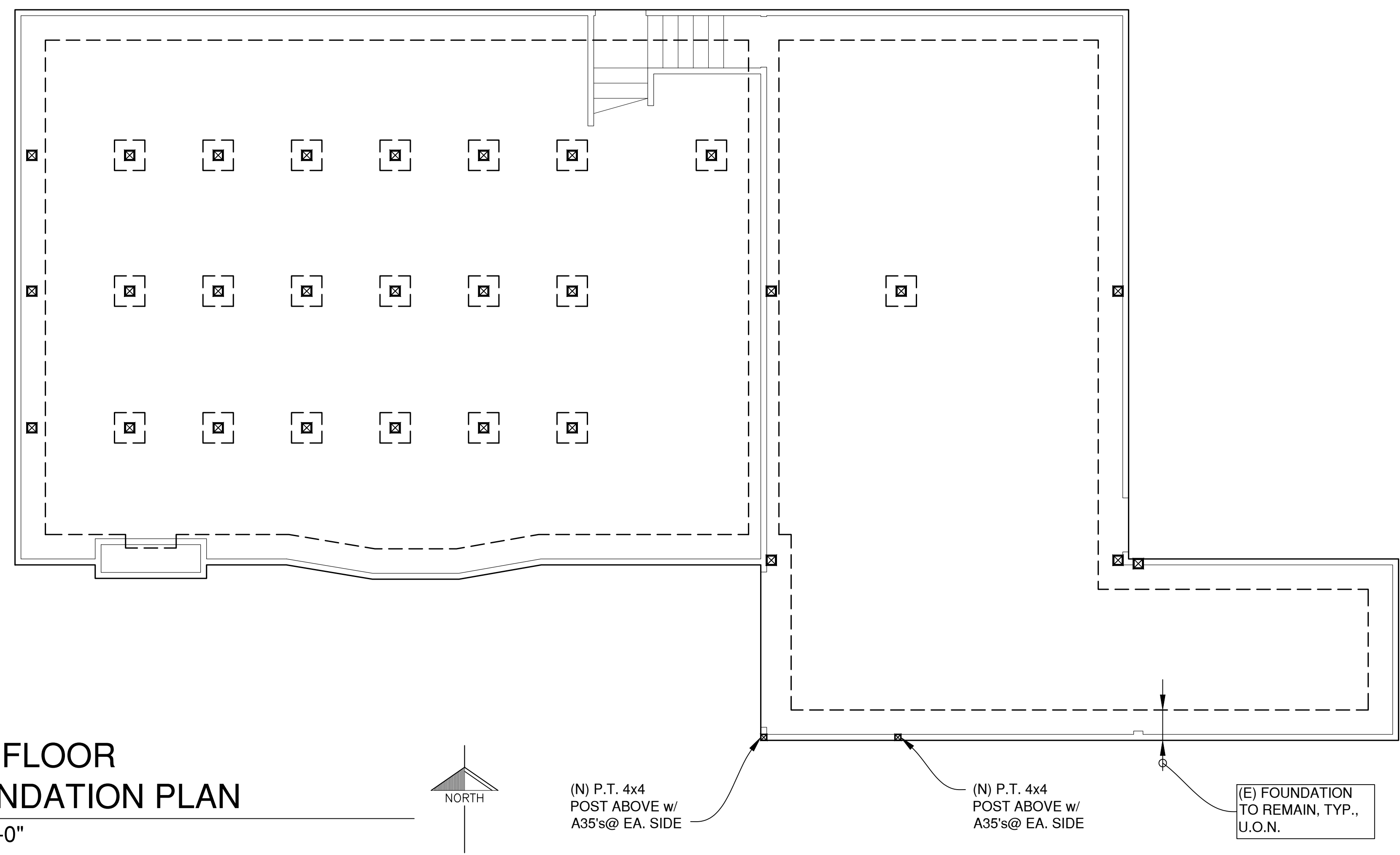
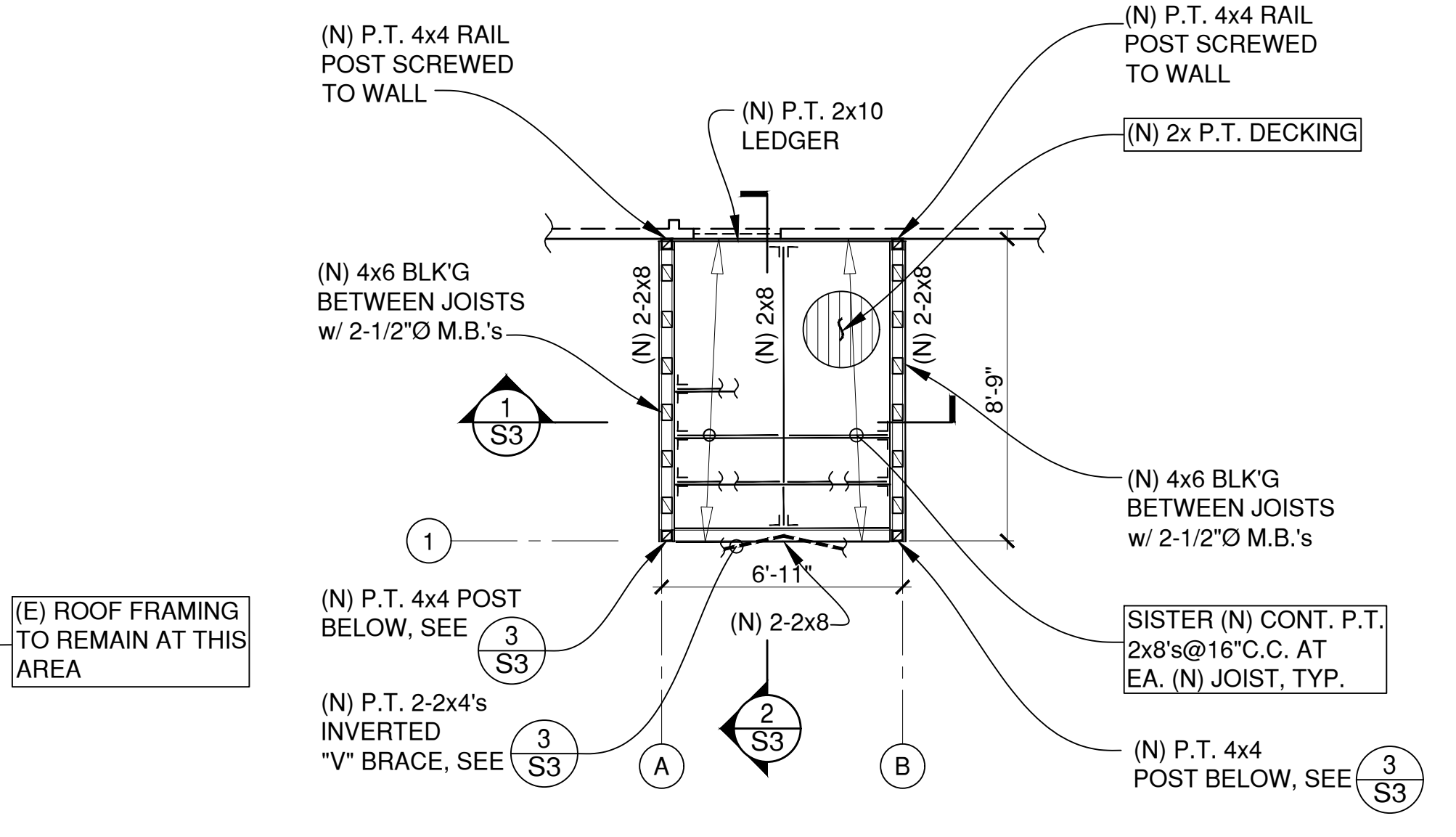
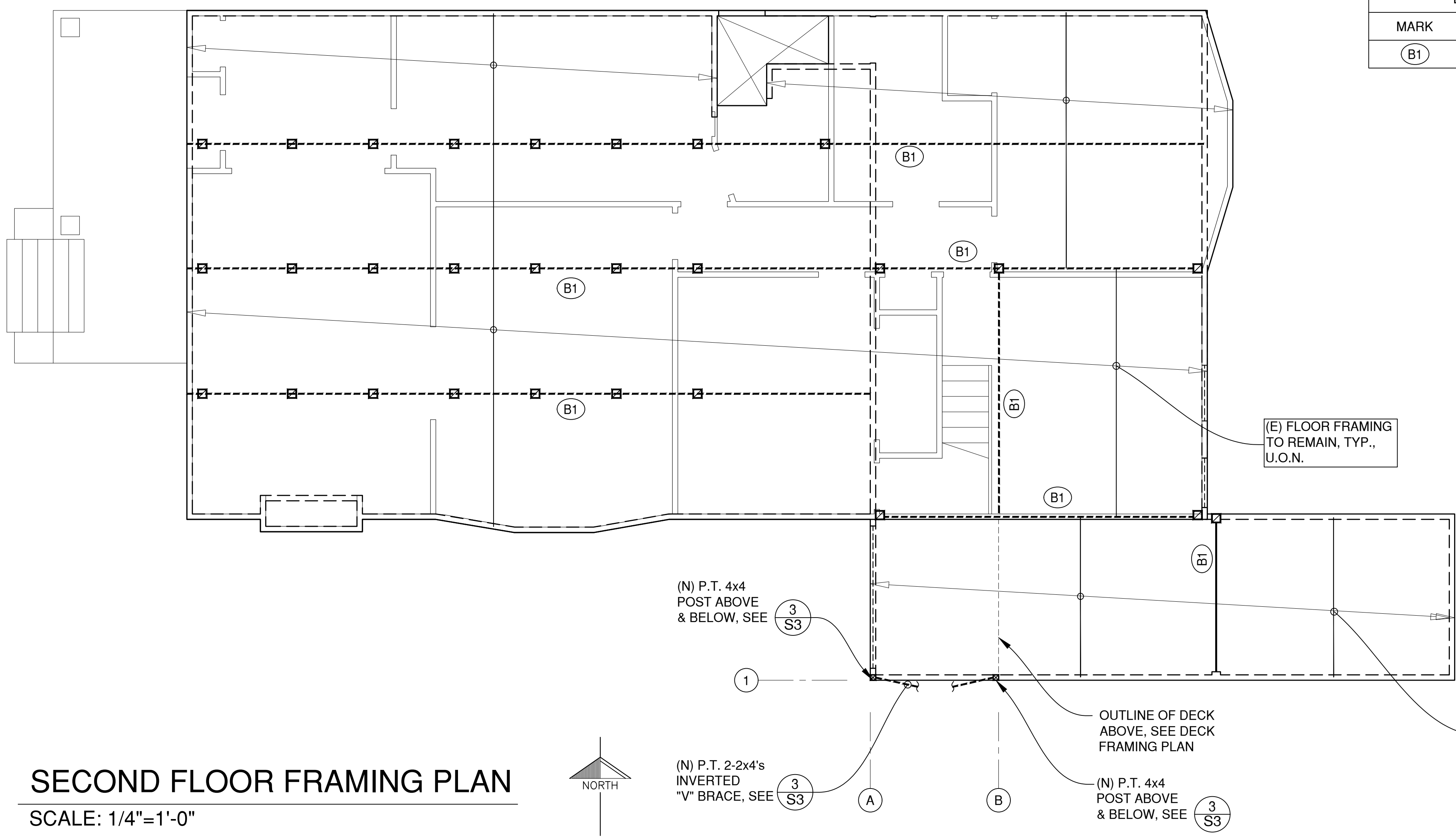
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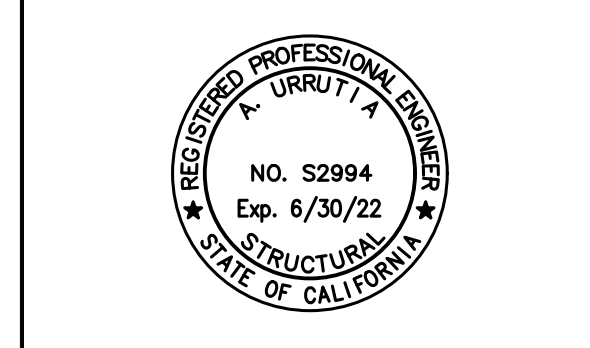
BEAM SCHEDULE	
MARK	DESCRIPTION
(B1)	(E) BEAM, V.I.F.



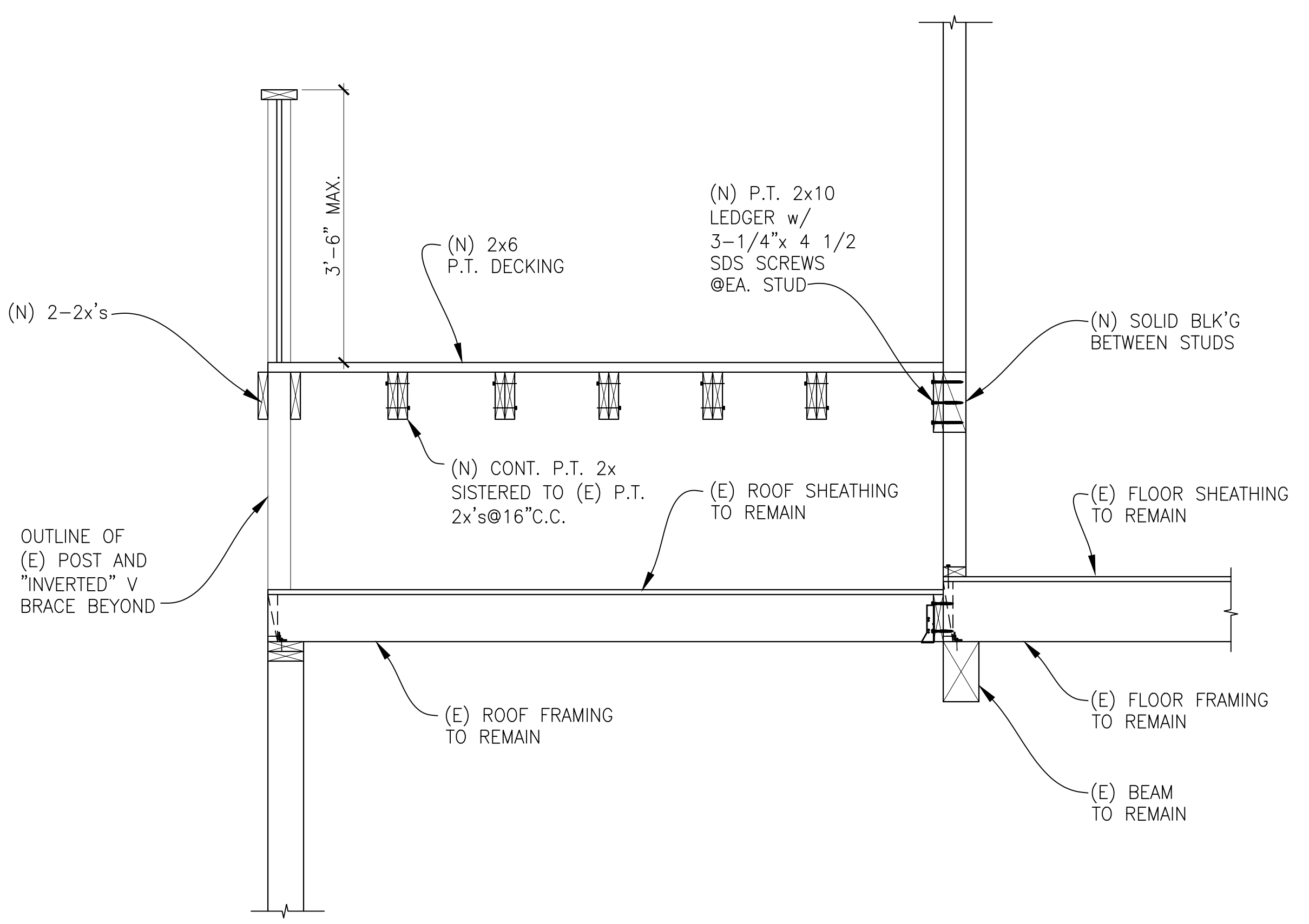
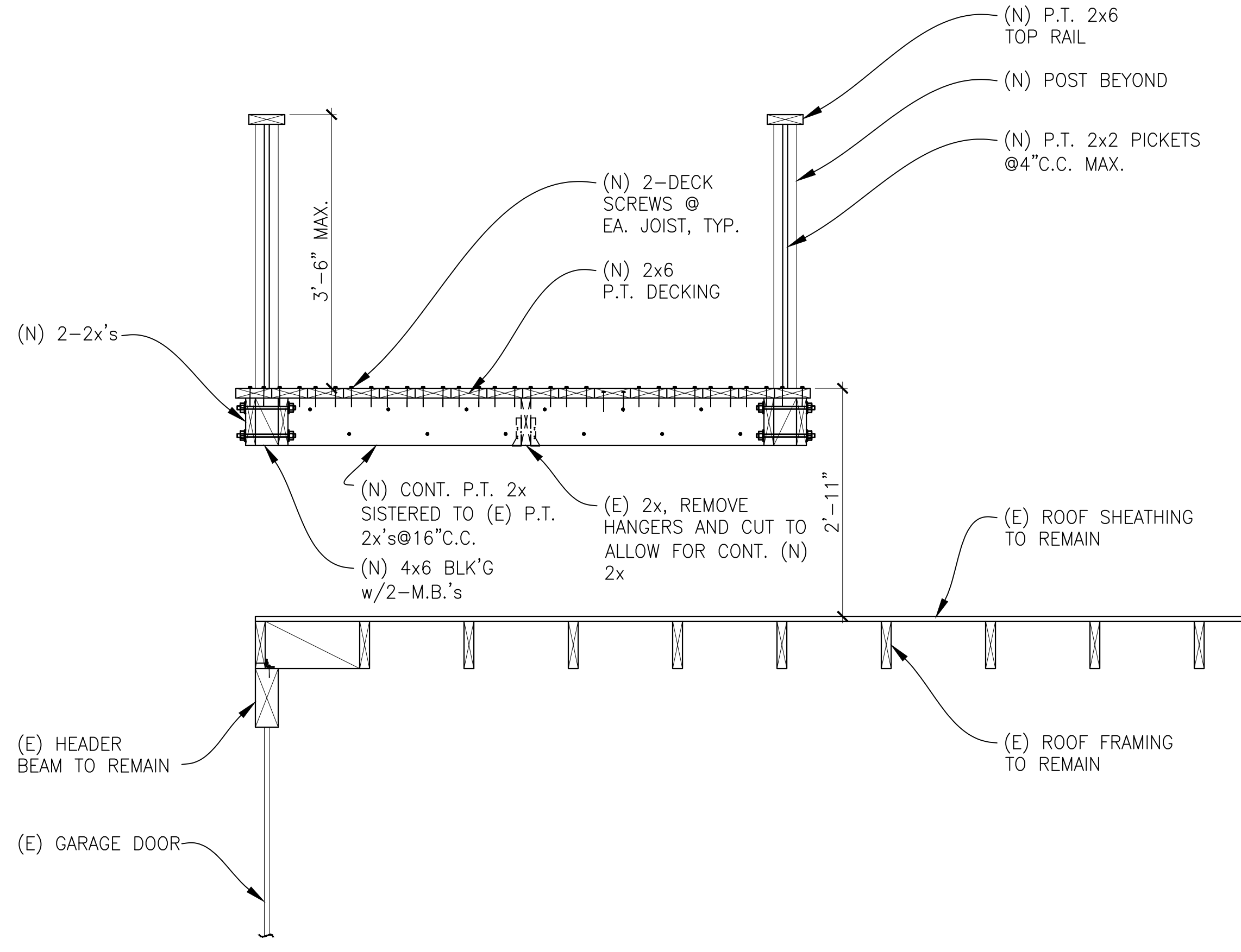
DECK REPAIR
120 EASTWOOD DRIVE, SAN FRANCISCO, CALIFORNIA
STRUCTURAL DETAILS

REVISIONS	BY

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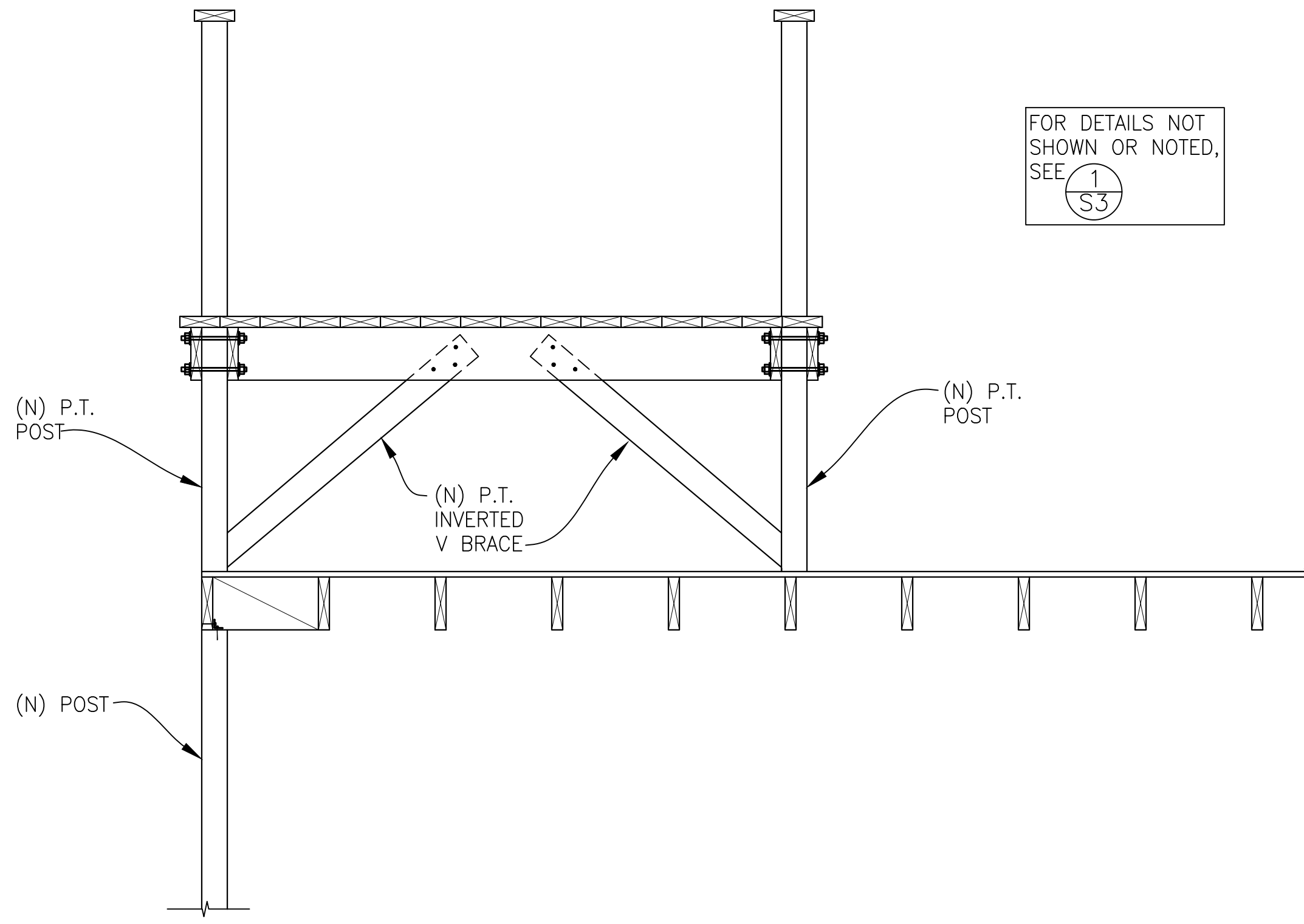


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S3 SCALE: 3/4" = 1'-0"

2
S3 SCALE: 3/4" = 1'-0"



3
S3 SCALE: 3/4" = 1'-0"

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