

Respondent's brief, Appeal 21-024 Delaney Vs DBI 4326 Irving St 2019/09/11/1353

We respectfully urge the board of appeals to deny this appeal. This is a 970 square foot addition, under existing height limits, complying with extensive setbacks, reduced pursuant to RDAT demands, and not requiring a variance. There is nothing new in this appeal. There is nothing to even appeal. The appeal itself contains so many outright falsehoods that appellants have impeached themselves. The 311 process was complied with *twice over*. Every appellant issue was heard and addressed in two public hearings.

Code section 308.2, of the Planning code which codifies the board's appeal powers in this situation, requires in subpart (e)(2): "In the case of any order, requirement, decision, or other determination of the Zoning Administrator, other than a variance, if the determination of the Board differs from that of the Zoning Administrator, it shall, in a written decision, specify wherein there was error in interpretation of the provisions of this Code, or abuse of discretion on the part of the Zoning Administrator, and shall specify in its findings, as part of such written decision, the facts relied upon in arriving at its determination."

The project complies with the planning and building code. It does not require a variance. All notices and hearings and indeed all other requirements have been complied with, twice over. Therefore, the project is not subject to any error in interpretation of the planning or building code, and there is not even any discretion to abuse, nor is any such error or abuse of discretion alleged by the appellant. This should be dispositive. Since this appeal has no basis in fact or law it can be summarily dismissed.

The appellants' true motives – to preserve "their" perceived street parking and views, (Ex. B p. 2) are not subject to appeal. Appellants would prefer nothing built on anyone else's property whether compliant or not, even if *under* the existing height limits. This amounts to a request for rezoning, which is of course a legislative function.

We have been hiding out in plain sight with this project for many years now – at least since October 2018 when we met in person with these same neighbors who are now appealing. At that meeting they stated they would do everything they could to oppose us and sadly this has indeed borne out. This appeal has already succeeded from appellants standpoint because it irrevocably adds costs, delay, and hardship to this vital project, even if the appeal fails as it should. While none of the appellants claims are true or relevant to this board, we will rebut their claims, but since this appeal is heard de novo, we will first reiterate a brief case *for* the project.

Aside from being code compliant, this project is in fact exactly the kind of project our city needs as a matter of policy, housing, and social justice. We had more people speak in support of this project, and had more signatures (over 180) in support of this project than in opposition – a rarity (Ex. A p. 33). The number of people this project stands to help vastly outweighs the illegitimate concerns of a few neighbors about their own property values. Brief case *for* this project:

- A. Who we are.
- B. What the project is. (Ex. A pp 7-12.)
- C. Project does not require any special determination, exception, or variance to proceed.
- D. Gordon Mar's reversal of his support is weak, purely political, and wholly irrelevant.

A. Who we are: My name is Brian Veit. I reside at 1798 Great Hwy. I ride my bike the few blocks to and from this project when I am not delivering materials with my truck. I am a civil engineer (structural), a former County planning commissioner, a member of the citizens' advisory committee to the planning and coastal commission in their adoption of the local coastal plan (LCP), and a local neighborhood watch captain at the corner of Noriega and Great Hwy. I am the son of two union teachers (high school and community college) and attended Stanford for undergrad and Cal for grad. My three sons were all born in SF, attended local schools, and

attend college locally. I am invested in a few local businesses – a bar, a restaurant, and some apartment buildings -- all in the Sunset. I only invest in projects in San Francisco that I can ride my bike to. *I am a part of this community.* I put together a group of locals to invest in this property and fix it up, honestly thinking that by rehabilitating vacant 100% rent-controlled housing we were doing the right thing. It has turned into a case of “no good deed goes unpunished” and a poster child for why no “a”ffordable housing gets built in SF.

B. The project was a dilapidated building, *fully vacant* when we bought it. It represents a unique opportunity to renovate and add 100% rent-controlled housing. Ex. F shows the 9 bedrooms we added to the existing bldg. floors 2 and 3, and Ex. C shows the entire set of plans including the 4th Fl. It requires significant upgrades since the units were barely habitable and frankly unsafe, well below current codes. Our project took it down to the studs to provide *all new* electrical wiring and service; *All new* plumbing; *All new* Fire Sprinkler (which didn’t exist prior;) *A voluntary* seismic retrofit; *New* waterproofing, siding, roof, and windows; Entirely *new* finishes throughout. As one might imagine, this is all very expensive, before even one bedroom is built. This is why it costs over \$800,000 for the city itself to provide one affordable housing unit (Ex. A p.5). It is proper and just to want to spread these extensive costs over more bedrooms. Our vision is to provide energy efficient and resilient housing for the West Side.

a. We are not market rate “luxury” housing (appellant brief page 5). We are entirely subject to the rent control ordinance (SF Admin Code Ch. 37). Our project is appropriately dense given the housing crisis we are facing. Denying our fourth floor *is* denying more rent-controlled housing contrary to Appellants’ assertions. Bedrooms are the metric – not units. We have a mix of studio, 2BR, 3BR, and 4BR apartments for a variety of renters from individuals to families. People need a place to put their head at night and a door to close. That is the fundamental need.

b. We are doing our part. At the time we submitted for permit, only 50 ADU's *city-wide* had been built per year for the prior two years (Ex. A p. 5). This is abysmally low. Whether via ADU or approved bedroom, we need bedrooms, especially on the west side. We cannot rely on high rises downtown and in the mission to house the entire stock of new/updated city housing.

c. We are in a housing crisis. Cities cannot expand without densification. Every bedroom we provide is one fewer to be built on farm or vineyard land, or in the suburbs requiring car trips, or in wild lands subject to fires. We are building over existing hardscape with existing services. This is the most environmentally friendly housing this state can provide. (Ex. A p. 5). The city purports to expedite ADU's all over the city, bending over backwards to permit additional units, so why wouldn't we similarly expand/densify/rehab existing buildings where the code allows and where special circumstances such as vacancy allow it without displacing current tenants?

d. We are honoring this building's history. Appellants' claim to have supported the Delancey street halfway house is specious virtue-signaling, not to mention irrelevant. The reason they didn't mind the halfway house is that it never ran nearly at capacity, and none of those occupants drove. Delancey street organization sold it because it wasn't occupied enough. It is disingenuous and arrogant for appellants to say that they "never complained or raised an issue concerning" the prior usage of the building. This can be read as "*Appellants didn't have a problem with substandard housing for a certain class of citizens*" and were kind enough not to "complain" about same. Furthermore, as they have explained to me, few of the Delancey street tenants could afford cars, so other than the occasional motorcycle the prior residents didn't occupy the appellant's prized street parking -- street parking required by the way because appellants have so much stuff in their own garages. The three main opponents literally about our property in single family homes -- two in the backyards and one on the side. Why would we

privilege their view and parking, neither of which is entitled to such protections, over people who desperately need a place to live?

C. This project does not require any variance, code exception, conditional use permit, etc. The 2nd and 3rd floor were *not* subject to arbitrary neighbor objections, and were ultimately approved after a false start by planning, now characterized in hindsight as simply needing to “take a peek” (see item 7 below, email from David Weisglass). Indeed, since the variance was denied, and the project down-sized accordingly, overturning the denial of the variance would ironically allow our original larger project to proceed. While this would be the just outcome, we doubt this is the Appellant’s desire.

D. I did talk to supervisor Mar and walked him through this project, and he supported it numerous times. However, his support changed when Jim Philliou got involved, representing as he does the powerful SEIU union and the attendant votes. The planning commission clearly agreed with us that Mar’s last-minute waffling was irrelevant. While I feel Mar’s flip-flop on our project is shameful, and have told him so directly, I am willing to bet that his staff will one day cite the housing we add as part of *his* accomplishments while in office.

Rebuttal of Appellant claims. Here are their lies, *in italics*:

1. “*I am not local.*” (Ex. B p. 2) False.
2. “*I am building a hotel*”. (Ex. B p. 2) False.
3. “*Tom Hui was in league with me*” and I’m somehow corrupt because he was. (Ex. B p. 2) False.
4. *Our housing is a “luxury” project (appellant brief p. 5)* yet simultaneously not “affordable” enough for our neighbors, while at the same too being too dense. This is logically impossible and nonsensically false.

5. *Increased noise, litter, loss of sun, privacy, and views, emergency egress related to spiral staircases, increased massing and “out of character” nature of project.* False, all addressed and dismissed by the planning commission in Discretionary Review.

6. *“We worked without permits” (appellant brief p. 1).* False. Not even for a day.

7. *Appellants “relied” on an agreement which prevented them from properly objecting,* and such reliance was prejudicial and somehow gave them less time than they should have gotten, which in turn enabled planning to “approve” densification of the 2nd and 3rd floors when planning would not have otherwise approved if only the appellants would have objected. Both reliance and premise false, many times over, see below.

Unfortunately, we cannot let these lies stand. And we must respectfully call them out for what they are. Appellant *knowingly* lied. Why is this important, and why not ignore them? Because the appellants have impeached themselves, and are clearly acting in bad faith. By telling knowing lies about me they insult this board and perjure themselves. It means we cannot trust anything they say at all beyond the bald fact that they will object however they can. Unfortunately the system enables their lies to be “lossless” – there is no downside to their slander. There ought to be. There has been huge downside for us and for this city’s housing needs. After the past four years especially, it is time for liars to be accountable.

We will debunk each of these lies in turn:

1) I am indeed local. Jim Philliou *knew* I was local in August of 2018 when we and Mr. and Mrs. Delaney and Mr. Mak and others met in person at Java Beach. I talked about how all 3 of my kids walked to high school, we talked about jiu-jitsu in the local gym, and I explained I was a neighborhood watch captain, and he knew I rode my bike the few blocks back and forth to the project. I explained we would be friends in any other circumstance, and I hoped we still would.

2) I am not building a hotel nor ever intended to. Jim Philliou is a smart, Cal-educated attorney. He is chief attorney for the SEIU. He and I both knew very well that a hotel would be impossible to build and that I never would or could build a hotel here.

3) Tom Hui is irrelevant. Everyone, including appellant, knows Tom Hui had nothing to do with this project, and that his name appears on every stamp of every approved project during his tenure.

4) This housing is clearly not “luxury” housing. *The single-family homes of the appellants are the true luxury housing.* To hear the neighbors complain that 100% rent-controlled housing is not affordable enough *for them* is the height of chutzpah. The project has been down-sized to the point of absurdity already. It is shameful for the neighbors to further deny the right of this project to its own light and air.

5) Noise and litter, loss of sun, privacy, egress, massing, etc. were all addressed in the hearing. If spiral stairs are objectionable to appellant they have their work cut out for them in this city and they will have to endeavor to change the building code. They all bought their homes after this building was built in 1960, so to complain about the rear property line, which was already there and which our small pop-up stays 45’ away from, is disingenuous. Our project is not out of character: many projects at our height exist within a stone’s throw, including our complaining neighbor’s -- otherwise how could they object to their own view being blocked? (Ex. A pp. 26-28.) Not to mention their view is barely impacted before being downsized and less after (Ex. A pp. 15-25.) We also did extensive shadow studies. (Ex. A pp. 13-14.) This project casts zero shadows on any neighbor, even *before* being reduced in size by RDAT. Providing light and air via a small fourth floor expansion into our own space is literally the least we can do for these 17 apartments.

6) Appellants claim on page 1 of their brief that we worked without permits. This is categorically false. (Ex. D). Appellants did not understand that existing permits entitled us to keep working while we awaited the fourth-floor expansion. Mr. Joe Duffy confirmed this to us. We never worked one day without a permit. In fact, appellants repeatedly filed frivolous nuisance complaints such as “working in an unsafe manner” purely to harass us. None of these complaints were valid or successful, except in delaying us and costing us and the city needless money and aggravation. SF needs to change its policy to punish knowingly false building complaints.

7) By now it should be apparent the appellants have impeached themselves. While free to disagree, they are not even disagreeing in good faith. Their final insult is that they intend to deceive this board with a false claim about harm from reliance on a hypothetical “agreement.” They did not and could not physically have relied on same, as shall be demonstrated. Appellants attempt this “Hail Mary” because they have no legitimate basis for this appeal. Their “reliance” is a final lie that is fatal to their argument.

a) **“Reliance”**: As with everything else appellants have lied about, the claim that we had an agreement they relied on was knowingly false, purely a delay tactic, and a very successful one at that. We need to be clear about the timelines, which appellants misrepresent while actually getting the dates almost correct. *First, we didn’t even discuss our NOT proceeding with the fourth floor until AFTER the expiration of the first 311 notification period.* Full stop. **Appellants agree with this time frame on page 2 of their appeal.** We posted and emailed Mr. Weisglass Feb 29th (Ex. E). This notice remained up until expiration of the 311 period. Only the next day, April 2, *after* the April 1 expiration of the properly noticed and executed 311 notification, only *then* did I broach

abandoning the 4th floor with Barbara Delaney. Clearly the appellants could *not* have relied on their fictitious “agreement” because *they didn’t even know about it until after the 311 expiration*. Mr. Weisglass can confirm this. **This is fatal to their reliance claim.**

Simply put, appellants could not have relied on a purported “agreement” that wasn’t even broached until *after* their properly noticed opportunity to request a discretionary review. Appellants did NOT call for a Discretionary Review during that first 311 process which expired *before* their hypothetical “agreement” was even discussed. Appellants claims of reliance are false. If any further proof is necessary, it should be obvious that the appellants did in fact mount a vigorous defense and due to the hearing being delayed from March to July, had plenty of time to do so. More on this in item (e) below.

b) The “agreement” was predicated on a false hypothetical. It’s very analogous to our offer in this appeal to give up our rights to directly rebut appellants’ brief in return for moving the date of the hearing “up” (aka “less delayed.”) That is clearly not an agreement, because the implicit fact it was predicated on – moving the hearing up – didn’t happen. The “agreement” that they falsely claim they had was a *potential* agreement predicated on their not opposing our revisions to the 2nd and 3rd floors -- adding bedrooms and baths to the existing footprint. Implicit here is that there is something of value they are giving in agreeing not to oppose. This was a misrepresentation, because there was no right for them to oppose the 2nd and 3rd floor work, and nothing in their opposition could have prevented those modifications from being approved. Once we ascertained this, there was no point to an agreement extorting us to give up our fourth-floor access for something we already had and were legally entitled to whether they opposed it or not. Appellant mistakenly believes the code-

compliant changes DBI approved *back in Sep 2019* were only approved by lack of their objection, which is obviously incorrect.

c) The purported agreement was always hypothetical, and never binding nor finalized, despite however they misconstrue it. SF does not conduct planning by separate agreements with project opponents. Proof: If we had some sort of binding agreement, as opposed to a hypothetical, then why did David Weisglass ask me via phone for a final email decision about whether we wanted to proceed with the fourth floor? (Ex. J.)

d) We ourselves are baffled by the Planning Department false start on our 2nd and 3rd floor modifications. Their extreme pressure wasn't imaginary. (Ex. I). We applied for *and received* a permit from DBI to add some bedrooms and baths to the existing floors 2 and 3 *in Sep 2019*. (Ex. F). We were told in Jan 2020, *months after the work had been completed*, that planning wanted to “review” those modifications, and might even suspend our permits unless we revoked our own permit. Planning confirmed that this was due to no fault of our own – that it was an internal squabble between DBI and planning. Mr. Weisglass’ email me to me challenging the validity of that work was the most disappointing shock of my entire professional career. Because it was coming from Mr. Weisglass himself, I believed at that time that somehow the approval of that work involved something discretionary. It didn’t. I believe it was a sincere mistake. Why this happened remains unexplained and still baffles me and I have not been able to get any explanation other than this 3/31/21 email from David Weisglass when I asked in regard to the DBI-approved 2nd and 3rd floor modifications, “what specifically about the DBI-approved plans were not code compliant, and which part of the code did they not comply with?”:

Hi Brian, the short answer is that the plans weren't routed to Planning and should have been, so the Department, including the ZA, wanted to take a closer peek at the plans to make sure they met our guiding policies from the Commission. We determined eventually that we did. But whether or not something meets our codes or policies, they should be routed to Planning to confirm. – Weisglass email 3/31/21

e) As if that weren't enough, out of an abundance of caution, citing COVID but I think also to remove any semblance of unfair treatment in response to appellants false claim of reliance on a fictitious agreement, *a second full 311 notification period was carried out pursuant to David Weisglass' request* from Mid-April until May 22nd 2020. The “why” for this second notice doesn't really matter. It gave the appellant another bite at the apple. This delayed our hearing for at least 4 more months causing us irreparable harm but certainly not harming the appellant. Thus, we went through a complete 311 notification period *twice*: Once *before* their purported agreement, and once well *after* they knew no such agreement existed. We even offered to give the opponents the same time in the hearing without having to file a DR! (Ex H.) Despite this special treatment, Appellant failed to avail themselves of Discretionary Review *either* time. Yet their appeal still falsely claims that because they didn't have their “own” DR, they didn't get a chance to properly present their case. Absurd.

In summary, the appeal offers an obscure cloud of lies with not one legally valid objection. The ZA, the planning department, the building department, and the planning commission did not and could not have abused their discretion in approving our much-reduced project. Unfortunately, the system has enabled these invalid objections to our great irreparable injury and to the exacerbation of our City's housing crisis. Appellants' delays have cost us over one million dollars – all money effectively transferred to the big banks and insurers at the expense of working people and future residents. All concerned citizens should urge our lawmakers to change the laws. Builders of housing (especially rent-controlled) should at least be able to build at their own risk during appeal periods. We would much rather have taken the chance that we had to tear out \$50-\$80k of work than lose \$200k as a certainty due to these two months of appeal delay *alone*. In addition, our subs were left without work and they lost their livelihood while we lost some subs. Frivolous complaints to the building department should have downside when made maliciously without cause. Discretionary Review should not be allowed for code-compliant rent-controlled projects and variances such as the one we asked for, pertaining as it did to already built structure, should be routinely granted as they are for ADU's. 311 notice periods should not be doubled. Our project stands as a poster child for why 100% rent-controlled "a"ffordable housing is so expensive in San Francisco and so rarely provided.

There is much that we have to worry about in this City, in this State, in this Country, and in this World. But bringing dilapidated old buildings up to code and providing more 100% rent-controlled bedrooms is not one of those things. There are few actions the average citizen can take to actually do more than just *talk* about housing and instead *help create it*. Denying this appeal is one. All of the harm the appellant can inflict on this project has now been inflicted, irreparably. Please put a stop to this harm and allow us to get back to work by denying this meritless appeal. We sincerely thank the Board of Appeals for your vital service.

EXHIBIT A

4326 Irving St



REDACTED

[ABOUT US](#)
[AWARDS/MEDIA](#)
[TO SEEK ADMISSION](#)
[TO SUPPORT US](#)
[FAQ](#)
[TO HIRE US](#)
[CONTACT](#)

DELANCEY STREET FOUNDATION

WHO WE ARE

WHAT WE BELIEVE

WHERE WE WORK

OUR STORY

OUR STRUGGLES

OUR ACCOMPLISHMENTS

OUR FACILITIES

OUR EMPLOYEES

OUR PRESIDENT

OUR GRADUATES

THE DELANCEY EFFECT

Our Story

In 1971 Delancey Street began with 4 residents, a thousand dollar loan, and a dream to develop a new model to turn around the lives of people in poverty, substance abusers, former felons, and others who have hit bottom, *by empowering the people with the problems to become the solution.*

We began by taking residents into a small apartment in San Francisco, run by an ex-felon, John Maher, a visionary, fiery orator and charismatic leader. Rather than following the traditional non-profit model of hiring a staff and procuring funding, we chose instead to follow an extended family model. Those of us who could work did traditional jobs and contributed our salaries. (Mimi Silbert, for example, had a doctorate in Criminology and had numerous consulting, teaching and other professional experiences. She worked and contributed her salary.) Everyone did something to contribute to our community. Someone who could cook became our "head chef". Someone who knew how to hold a hammer became the "head of construction". Whoever could read tutored those who could not. We pooled our talents and our funds and within 2 years, we purchased our first building and had 80 residents, all learning, teaching and helping each other.

The first home we bought was the former Russian Consulate located in San Francisco's poshest neighborhood, Pacific Heights. It was also our first "Not in My Backyard" battle. Our two young pro bono attorneys, Mike Berger (who incorporated our organization in 1971, and Danny Weinstein (now a retired Judge and founder of JAMS – The Resolution Experts) formulated innovative legal arguments; Maher developed brilliant political strategies; Silbert brought residents around to neighbors to volunteer services. We knew that neighbors were worried that crime would go up and property values would go down because we were in the neighborhood. So we patrolled the neighborhood and crime went down; our construction department renovated the mansion to ensure that property values would go up. Residents like Abe Irizarry (then a "graduate" of every prison in California and Mexican Mafia gang member, now our Vice president and Maitre' D' of our restaurant), and Joanne Mancuso (then an addict and now a college instructor and a trainer for the judiciary in the federal court in computer programs), and Mike Boris (then a heroin addict, now a Certified Public Accountant), sold raffle tickets where the most coveted prize was the promise "not to move next door to you". Slowly the neighborhood battle was being won by being good neighbors, by solid legal arguments and political negotiation, by humor and by the good will of everyone involved. Dianne Feinstein, our neighbor in Pacific Heights, then a member of the San Francisco Board of Supervisors, was the first key vote in our favor. By 1977, the battle was finally settled. When we moved from Pacific Heights to our newly self-built home on the waterfront (almost 20 years later), our Pacific Heights neighbors reported they were upset to see us leave.

Mimi Silbert and John Maher in front of the first home we purchased, the former Russian Consulate.

FOR INTAKE INFO

Delancey Street
San Francisco
600 Embarcadero
San Francisco, CA
94107
415-512-5104 (Tel)
415-512-5141 (Fax)

Delancey Street
Los Angeles
400 N. Vermont Ave.
Los Angeles, CA
90004

Search >

DELANCEY ST PRIOR OWNER -- SOLD ENTIRELY VACANT, NO EVICTIONS

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Central Sunset • 25 Oct '18

SF teacher losing housing - Needs affordable home. A friend of mine is losing her housing that is next to her school in Russian Hill. She has been Teaching in SF for 20 years to ESL students. She has a small, quiet service dog, which makes the housing search very hard. She is very responsible, non-partying adult woman. Really wants to stay in SF (don't we all?). Thank you for any referrals!

Posted in **Recommendations** to 6 neighborhoods



Thank



1 Comment



2

The bad design that created one of America's worst housing crises

Few realize how profoundly San Francisco's physical form has been shaped by its planning department, whose best intentions have been overshadowed by efforts to appease the city's wealthy, well-connected homeowners.



The New York Times

Why Does It Cost \$750,000 to Build Affordable Housing in San Francisco?

As California's governor vows to tackle the state's homelessness crisis, housing "inequity" stands in the way.



By Katherine Parker

Feb. 23, 2018

SAN FRANCISCO — The average home in the United States costs around \$240,000. But in San Francisco, the world's most expensive place for real estate, a two-bedroom apartment of what passes for affordable housing costs around \$750,000 to build.

The New York Times

CALIFORNIA TODAY

Why It Costs So Much to Build Affordable Housing

Thursday: Looking at the roots of California's housing shortage. Also: The desperate battle of San Francisco.



My Housing Blog

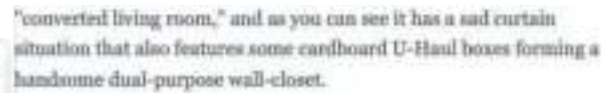
Mar. 7, 2018



The Valley Shopping Mall in Cupertino is being demolished. In its place, a 600-space transit mall will be built. *Associated Press for The New York Times*

HEADLINES

THESE HEADLINES ARE PART OF THIS



VOLUME 22 NUMBER 4 • ARTS & CULTURE • JUNE 2004

When I started writing **this column** a couple months ago, I didn't expect the sheer volume of Depressive-Inducing examples of sorry circumstances that have come our way, either through quick Craigslist searches or over the tip line: thank you, by the way, those of you who are out there suffering as you look for a place to live and sending in the saddest examples you come across. This week's edition is no better or worse than the rest, but it certainly is hilarious.



© Last updated October 2019

Average Rent	Y-a-Y Change	Average Apartment Size
\$3,733	3%	748 sq. ft.

➤ The average size for a San Francisco, CA apartment is 748 square feet, but this number varies greatly depending on apartment type. **Studio apartments** are the smallest and most affordable, **1-bedroom apartments** are closer to the average, while **2-bedroom apartments** and **3-bedroom apartments** offer a more generous square footage.

City approves 'Safe Sleeping Sites' at schools, parking lots as encampments grow



by Steven Bracco | @bracco
(<http://twitter.com/bracco>) website
April 29, 2020

Yesterday both the Board of Supervisors and San Francisco Board of Education voted in support of establishing Safe Sleeping Sites for unhoused people.

Per capita water use in Bay Area counties in 2016

Measurements are in acre feet. (1 acre foot = 325,851 US liquid gallons)



Source: California Department of Water Resources



City officials have raised questions about the high cost of costs in a planned rebuild of the Sunnydale HOPE SF Block 6 project (N. Hume/S.F. Examiner)

Supes question \$890K per unit cost for Sunnydale HOPE SF rebuild

JOSHUA SABATINI / Oct. 9, 2019 5:15 p.m. / NEWS / THE CITY

Even in San Francisco, where building costs are sky high, a per unit cost of nearly \$900,000 to rebuild public housing at Sunnydale is raising questions.

The 167-unit Sunnydale HOPE SF Block 6 project is on the verge of breaking ground, but approval of a \$18.6 million city-loan was postponed by the Board of

Urban Continuum	Daily VMT per Capita (Ages 20-39)
Urban	18.0
Second City	23.1
Suburban	27.1
Town and Country	32.7
Location in Urbanized Area	
In an urban area	24.1
In an Urban cluster	25.7
In an area surrounded by urban areas	32.9
Not in urban area	35.2

TABLE 9. Accessory Dwelling Units Added, 2019

Year	ADUs Completed
2017	23
2018	79
2019	177
TOTAL	279

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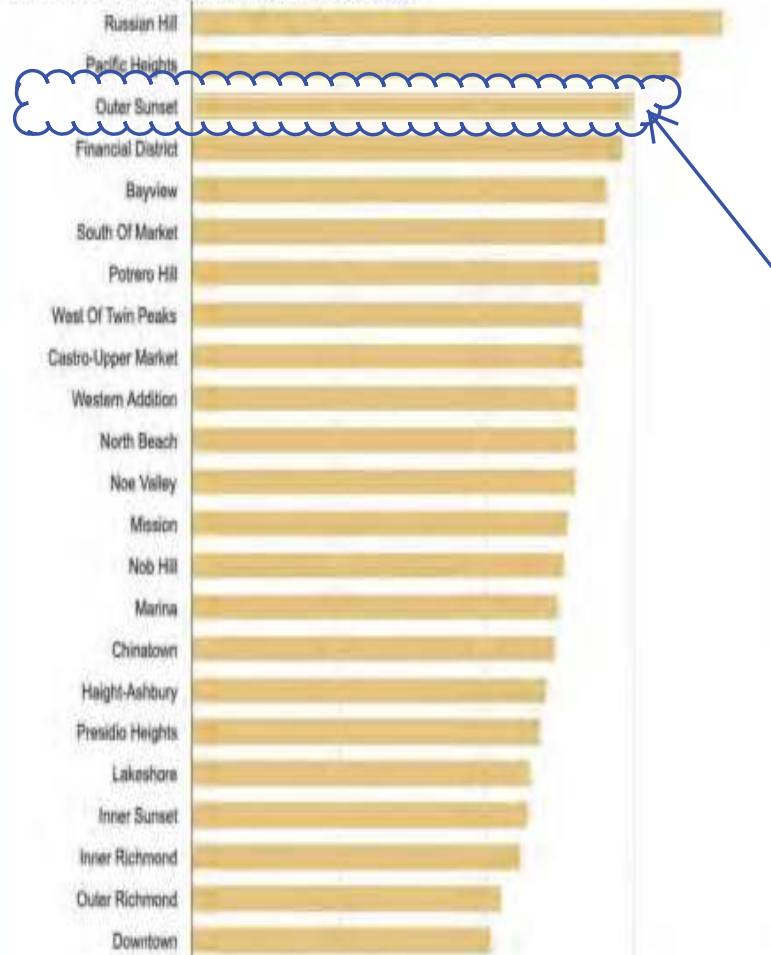
TABLE 26. Housing Price Trends, San Francisco Bay Area, 2015-2019

Year	Rental (Two Bedroom Apartment)	
	San Francisco	Bay Area
2015	\$4,830	\$2,213
2016	\$4,870	N/A
2017	\$4,500	\$2,846
2018	\$4,650	\$2,963
2019	\$4,500	\$3,166

DOE [REDACTED]

SF [REDACTED] RULES
DRIVEN PER [REDACTED], ETC

San Francisco Average Rent By Neighborhood



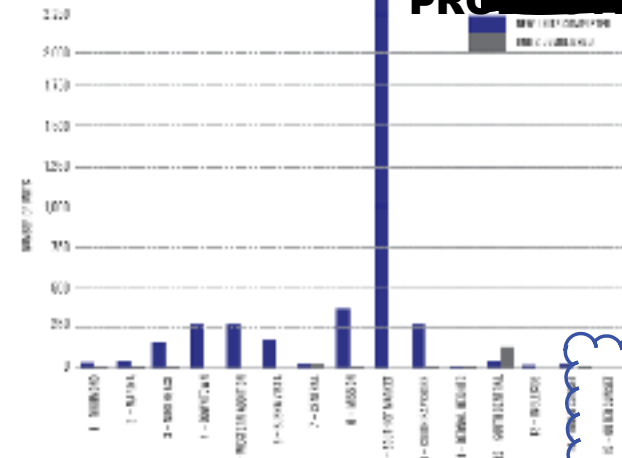
The most expensive San Francisco neighborhoods to rent apartments in are Russian Hill, Pacific Heights, and Outer Sunset. The cheapest San Francisco neighborhoods to rent apartments in are Downtown, Outer Richmond, and Inner Richmond.

TABLE 28.
Housing Units Completed and Demolished by Planning District, 2019

No.	District Name	New Units Completed	Units Demolished	Units Allowed	New Units Housing Units
1	Richmond	56	4	40	95
2	Marina	7	4	11	17
3	North Beach	125	4	23	217
4	Castro	913	4	7	960
5	Western Addition	255	4	21	277
6	Downtown	132	7	32	214
7	Golden Gate	10	11	20	44
8	Mission	917	2	94	958
9	South of Market	2,547	1	22	2,069
10	South San Francisco	297	3	10	272
11	Marina Heights	11	10	14	11
12	South Central	56	4	27	100
13	Presidio	12	11	12	18
14	San Francisco	4	4	44	52
15	Outer Richmond	1	10	30	30
	Total	5,285	1,000	2,000	5,285

Source: Planning Districts
Note: The "Total" column is the sum of all units completed, demolished, and allowed.

FIGURE 3.
Units Completed & Demolished by Planning District, 2019



**MIDDLE
UNITS**



1/10 [REDACTED] ON THAT [REDACTED] 7

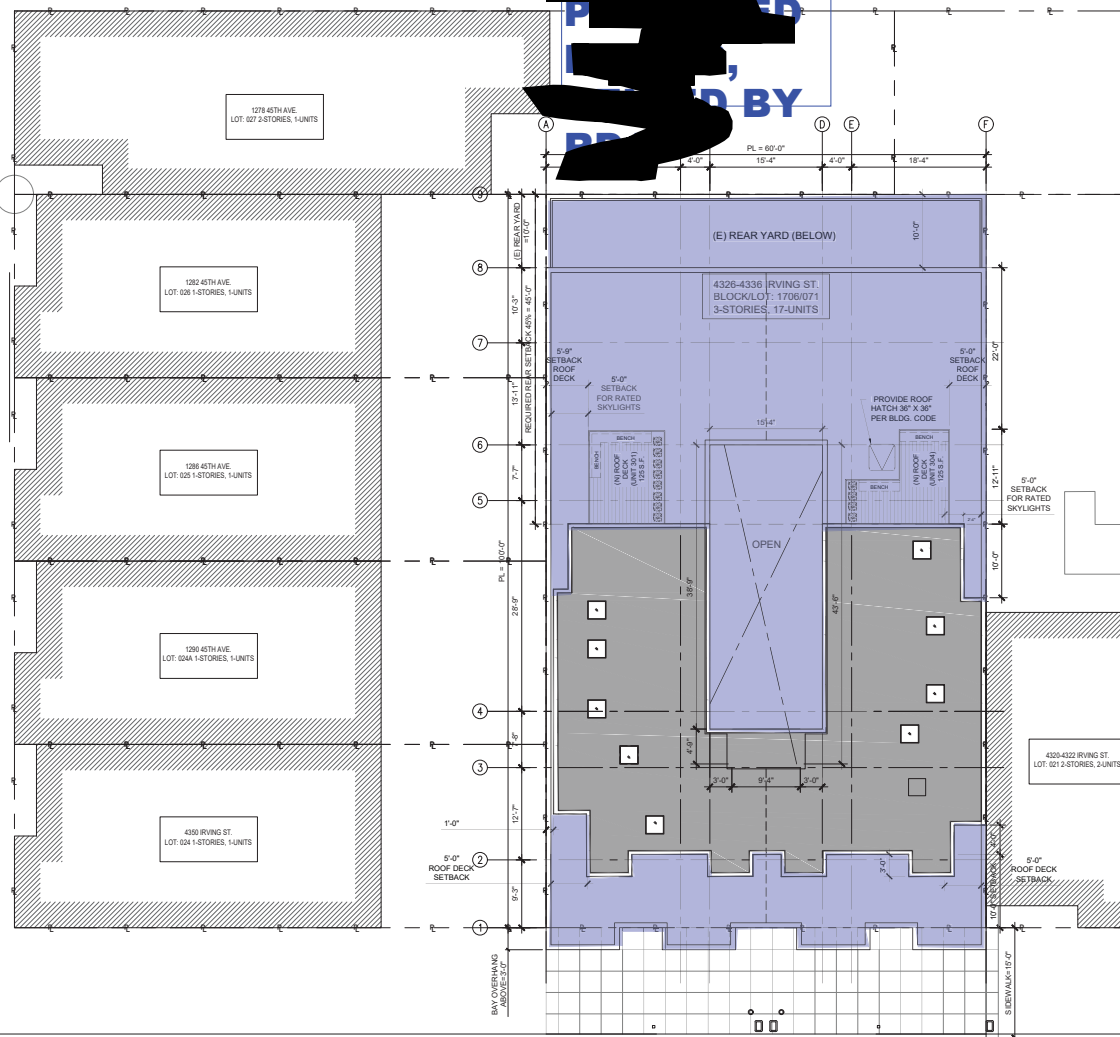
CURRENT COURTYARD





CURRENT INTERIORS

45TH AVE.

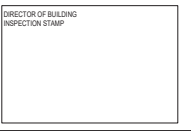


EXISTING				PROPOSED			
(E) 1ST FLOOR				(N) 1ST FLOOR			
UNIT	BED	BATH	UNIT SF	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
N/A				(N) #101	4	3	1152
				(N) #102	1	1	375
				(N) #103	2	2	631
				(N) #104	3	2	705
				(N) #105	3	3	805
(E) 2ND FLOOR				(E) 2ND FLOOR			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #201	1	1.5	527	(E) #201	2	2	527 N/C
(E) #202	3	1	725	(E) #202	3	2	725 N/C
(E) #203	2	1	725	(E) #203	3	2	725 N/C
(E) #204	1	1.5	528	(E) #204	1	1	528 N/C
(E) #205	3	1	730	(E) #205	3	2	730 N/C
(E) #206	2	1	730	(E) #206	3	2	730 N/C
(E) 3RD FLOOR				(E) 3RD FLOOR			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #301	1	1	481	(E) #301	1	1.5	636
(E) #302	2	1	722	(E) #302	3	2	722 N/C
(E) #303	2	1	725	(E) #303	3	2	725 N/C
(E) #304	1	1	481	(E) #304	1	1.5	523
(E) #305	2	1	672	(E) #305	3	2	830
(E) #306	2	1	672	(E) #306	2	1	730
				(N) 4TH FLOOR			
				UNIT	BEDRM	BATHRM	UNIT SQ.FT.
				(N) #301	2	2	576
				(N) #304	2	2	577
				(N) #305	2	2	547
				(N) #306	2	2	530

EXISTING				PROPOSED			
(E) 3RD FLOOR				TOTAL (3RD+4TH FLOOR)			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #301	1	1	481	(N) #301	3	3.5	1212
(E) #304	1	1	481	(N) #304	3	3.5	1100
(E) #305	2	1	672	(N) #305	5	4	1377
(E) #306	2	1	672	(N) #306	4	3	1260

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**THE IRV
 DEVELOPMENT
 VERTICAL ADDITION**
 4326 - 4336 IRVING ST.
 SAN FRANCISCO
 CA 94122
 BLOCK/LOT: 1706/071

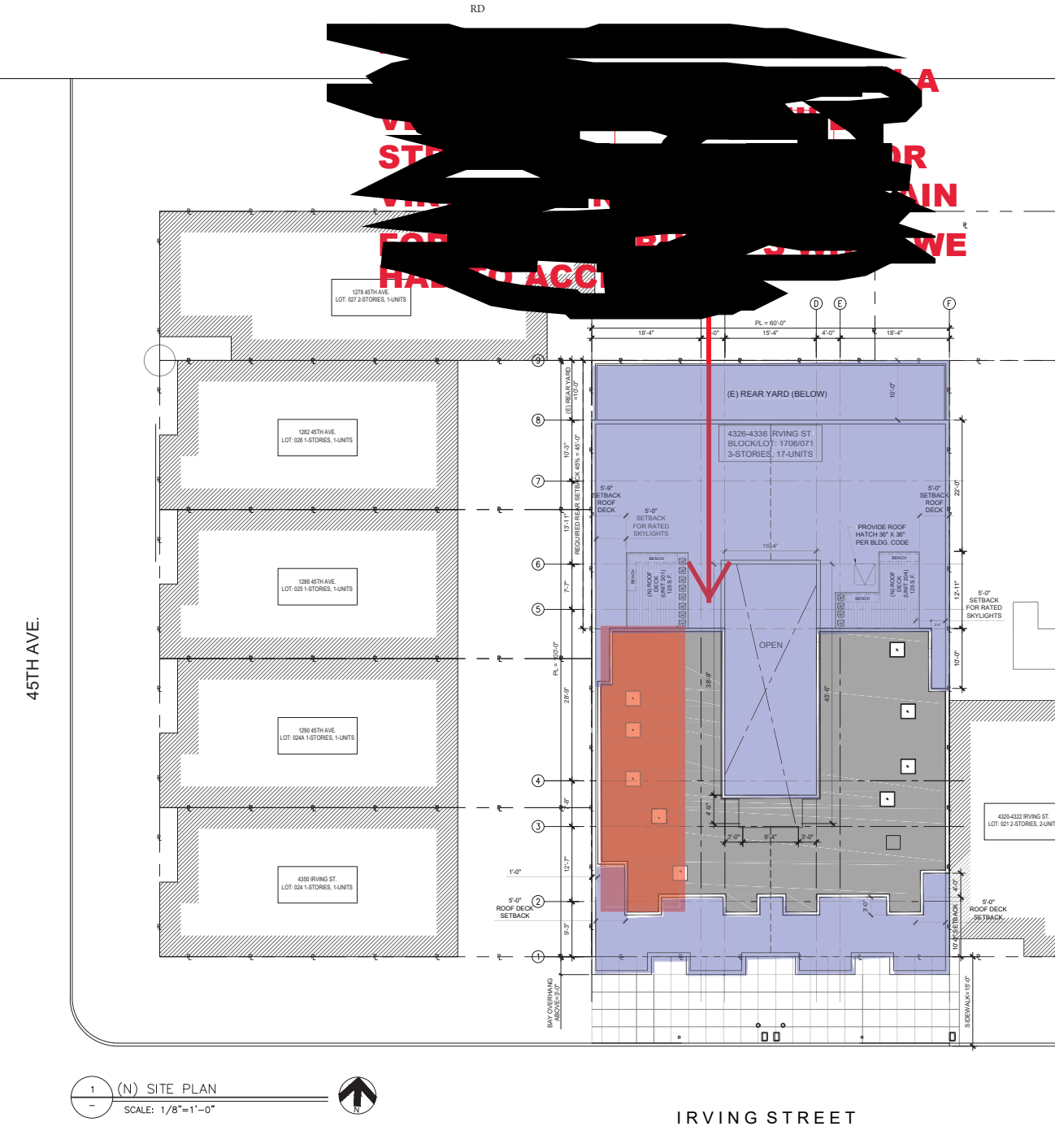


REVISIONS		
NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS

SHEET TITLE
 (N) SITE PLAN
 JOB NO: 17140
 SCALE: 1/8"=1'-0" DATE: 05/14/20
 DRAWN BY: DMA / DRG
 FILE: 17140_A0100-BID.dwg
 DRAWING NO: 5 OF 36
 SHEET NO.

1 (N) SITE PLAN
 SCALE: 1/8"=1'-0"

IRVING STREET



EXISTING				PROPOSED			
(E) 1ST FLOOR				(N) 1ST FLOOR			
UNIT	BED	BATH	UNIT SF	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
N/A				(N) #101	4	3	1152
				(N) #102	1	1	375
				(N) #103	2	2	631
				(N) #104	3	2	705
				(N) #105	3	3	805
(E) 2ND FLOOR				(E) 2ND FLOOR			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #201	1	1.5	527	(E) #201	2	2	527 N/C
(E) #202	3	1	725	(E) #202	3	2	725 N/C
(E) #203	2	1	725	(E) #203	3	2	725 N/C
(E) #204	1	1.5	528	(E) #204	1	1	528 N/C
(E) #205	3	1	730	(E) #205	3	2	730 N/C
(E) #206	2	1	730	(E) #206	3	2	730 N/C
(E) 3RD FLOOR				(E) 3RD FLOOR			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #301	1	1	481	(E) #301	1	1.5	636
(E) #302	2	1	722	(E) #302	3	2	722 N/C
(E) #303	2	1	725	(E) #303	3	2	725 N/C
(E) #304	1	1	481	(E) #304	1	1.5	523
(E) #305	2	1	672	(E) #305	3	2	830
(E) #306	2	1	672	(E) #306	2	1	730
				(N) 4TH FLOOR			
				UNIT	BEDRM	BATHRM	UNIT SQ.FT.
				(N) #301	2	2	576
				(N) #304	2	2	577
				(N) #305	2	2	547
				(N) #306	2	2	530

EXISTING				PROPOSED			
(E) 3RD FLOOR				TOTAL (3RD+4TH FLOOR)			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #301	1	1	481	(N) #301	3	3.5	1212
(E) #304	1	1	481	(N) #304	3	3.5	1100
(E) #305	2	1	672	(N) #305	5	4	1377
(E) #306	2	1	672	(N) #306	4	3	1260

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**THE IRV
 DEVELOPMENT
 VERTICAL ADDITION**
 4326 - 4336 IRVING ST.
 SAN FRANCISCO
 CA 94122
 BLOCK/LOT: 1706/071



DIRECTOR OF BUILDING
 INSPECTION STAMP

REVISIONS		
NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS

SHEET TITLE

(N) SITE PLAN

JOB NO: 17140

SCALE: 1/8"=1'-0" DATE: 05/14/20

DRAWN BY: DMA / DRG

FILE: 17140_A0100-BID.dwg

DRAWING NO: 5 OF 36

SHEET NO.

A102

E) 3-STORY BLDG. WITH ADUs

[illegible]

③

PROPOSED



17-140 4336-4326Irving-ADU SF, CA 94122

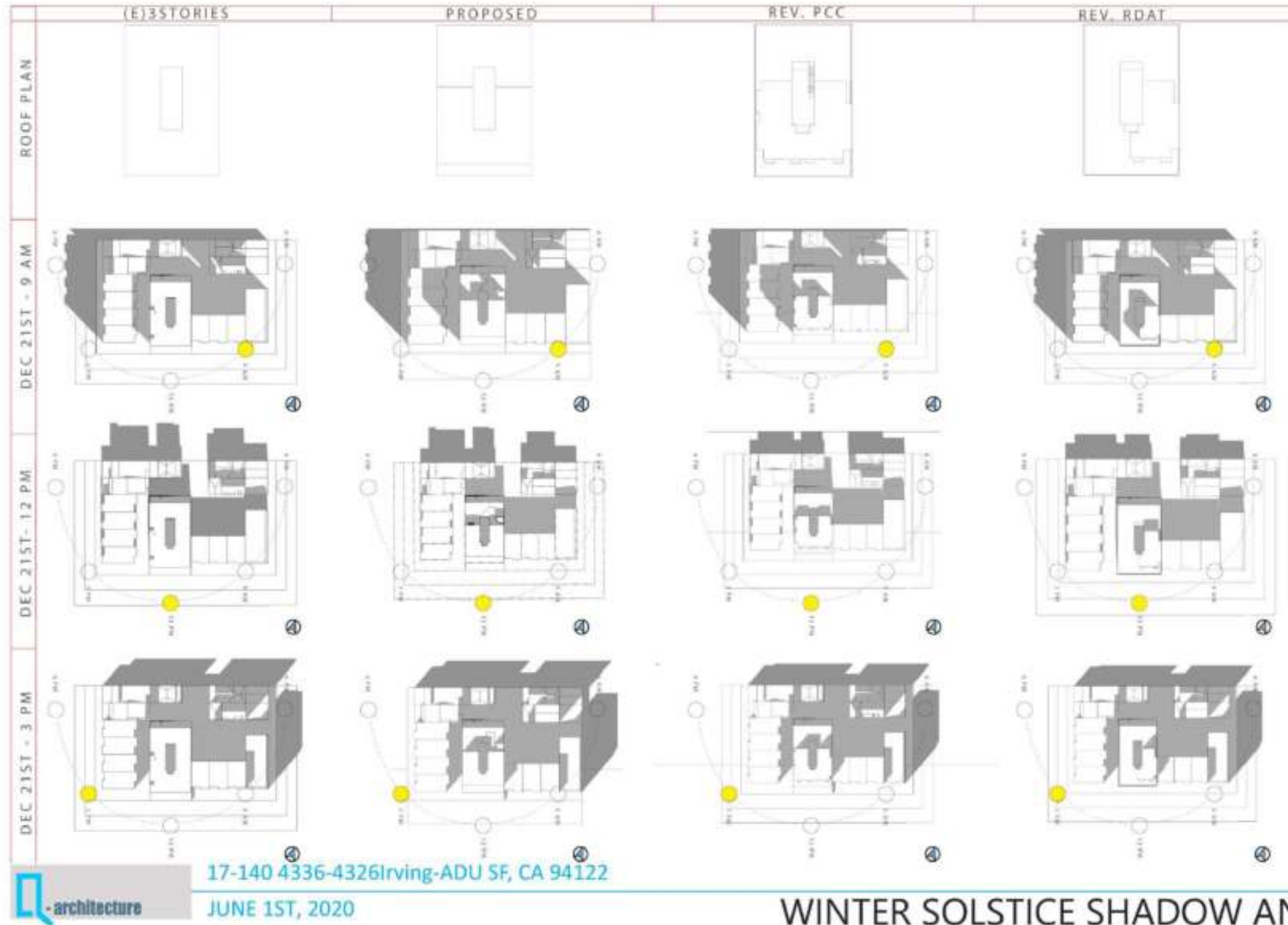
JUNE 1ST, 2020

EXISTING

PRIOR

PROJECT

RDAT



EXISTING

PRIOR

PROJECT

RDAT



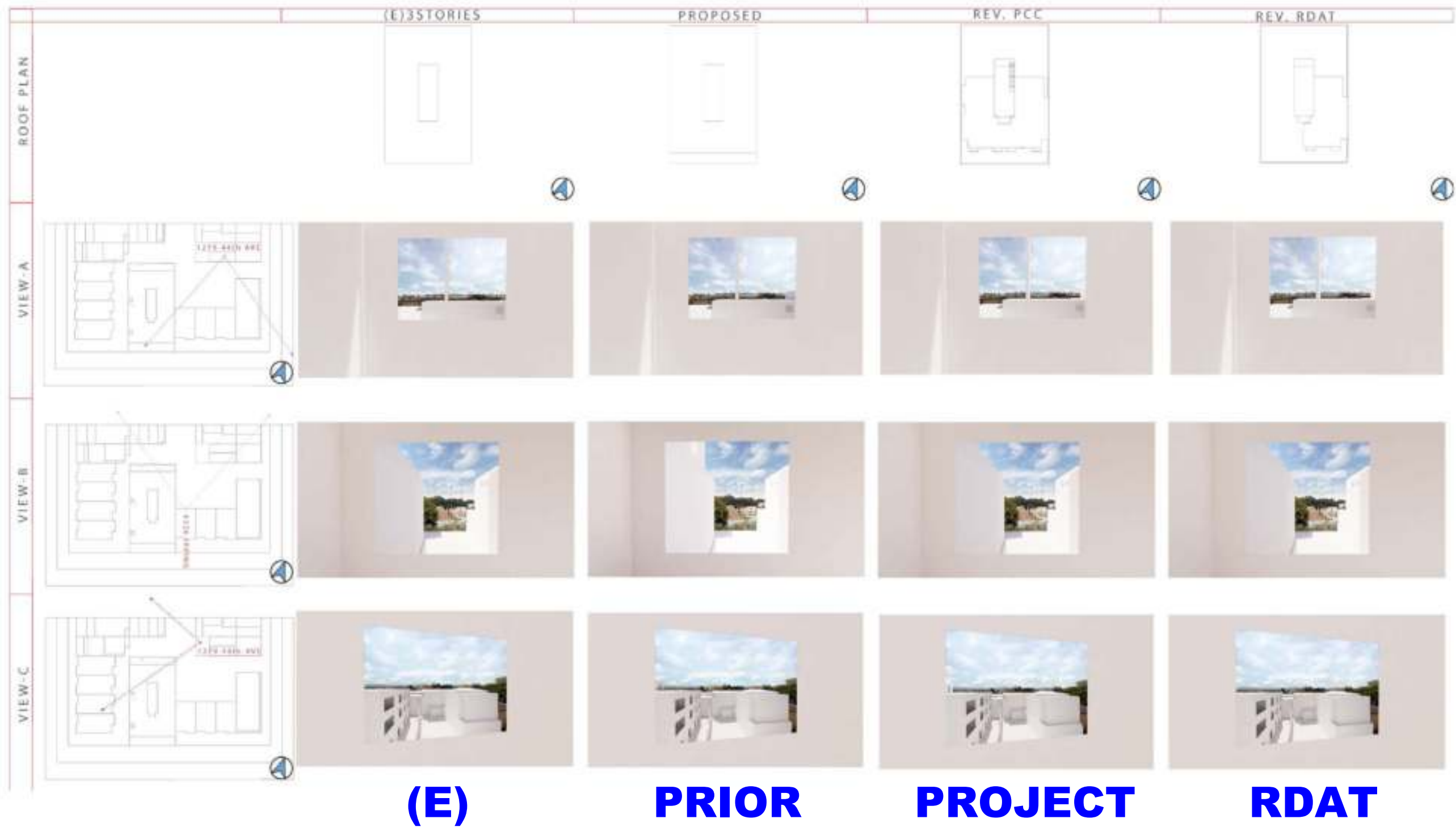
17-140 4336-4326Irving-ADU SF, CA 94122

JUNE 1ST, 2020

SUMMER SOLSTICE SHADOW ANALYSIS

NO. 140 4336-4326 IRVING-ADU SF, CA 94122
PHOTOGRAPHY BY KEVIN
PHOTOGRAPHY BY KEVIN

	(E) 3 STORIES	PROPOSED	REV. PCC	REV. RDAT
ROOF PLAN				
	EXISTING 	PRIOR 	PROJECT 	RDAT 
BUILDING PROFILE				



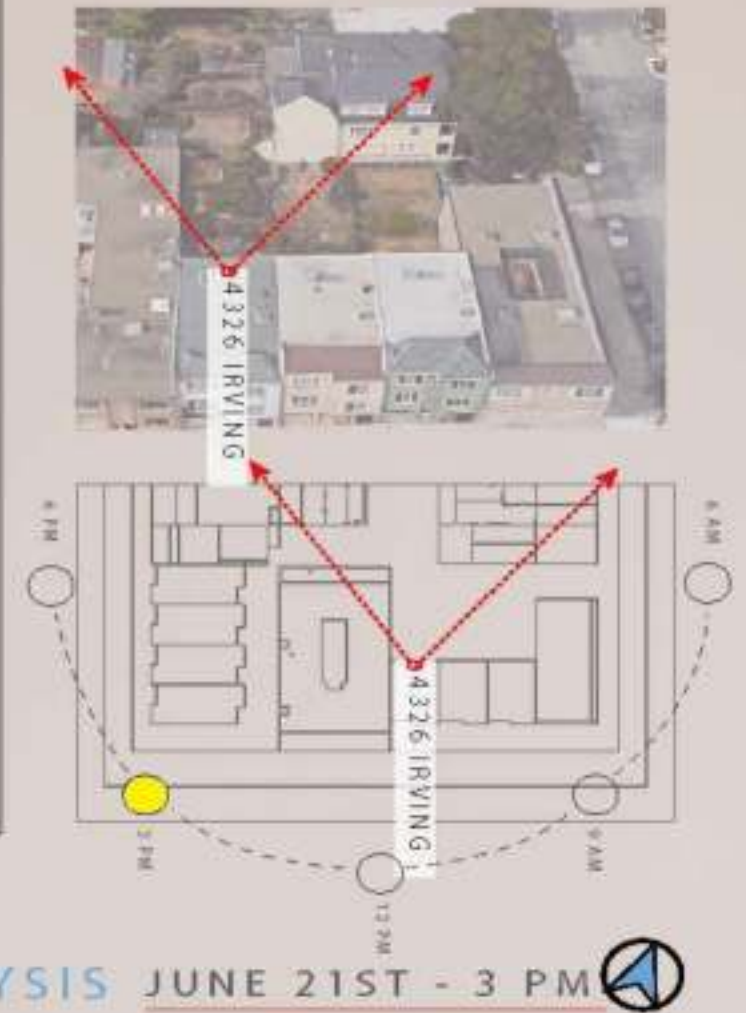
PHOTOGRAPHY BY EVEN



(E) NEIGHBOR VIEW ANALYSIS



4326 IRVING JUNE 21ST - 3 PM



4336-4326 IRVING
AUGUST 6TH, 2019

4336-4326 IRVING ST , SF, CA 94122 SHADOW ANALYSIS

JUNE 21ST - 3 PM

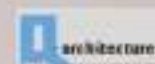
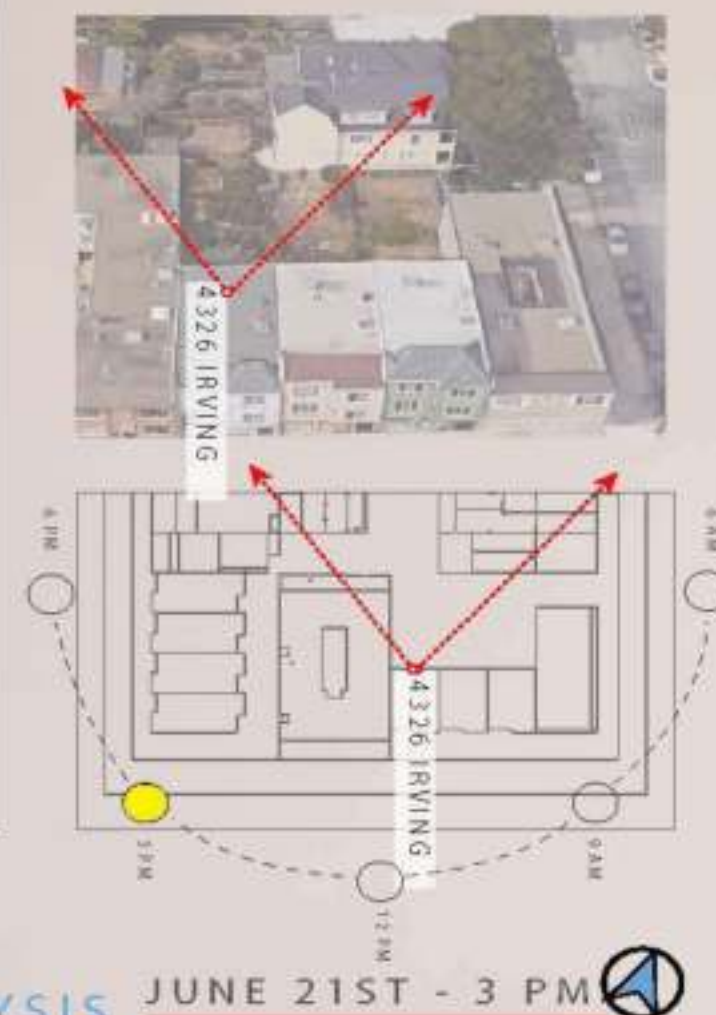


NEXT DOOR NEIGHBOR VIEWS -- BEFORE

(N) NEIGHBOR VIEW ANALYSIS
W/ VERTICAL ADDITION



4326 IRVING JUNE 21ST - 3 PM



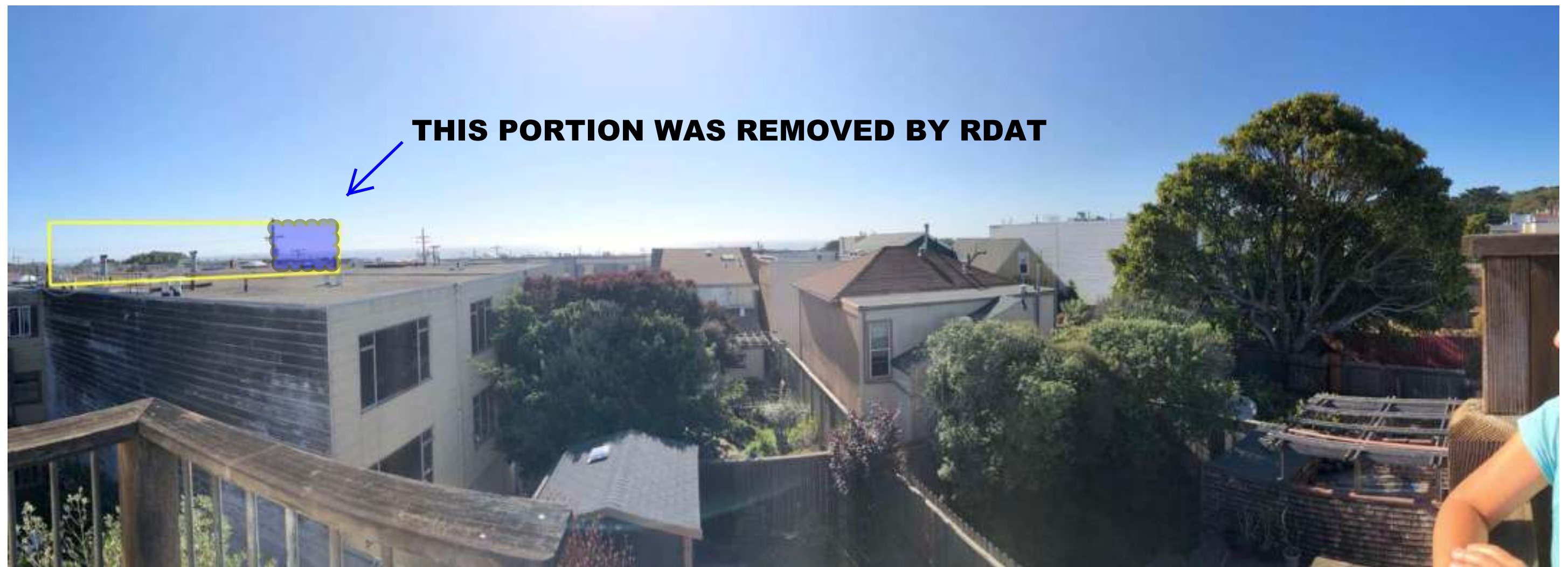
4336-4326 IRVING
AUGUST 6TH, 2019

4336-4326 IRVING ST , SF, CA 94122 SHADOW ANALYSIS

JUNE 21ST - 3 PM

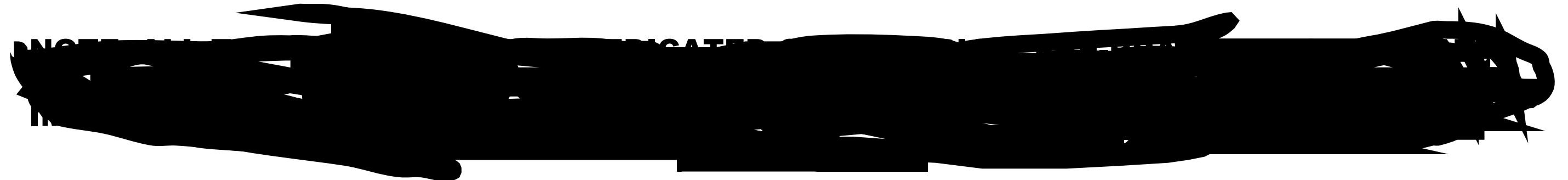


NEXT DOOR NEIGHBOR VIEWS -- AFTER



THIS PORTION WAS REMOVED BY RDAT

**NEARBY NEIGHBOR WEST VIEW -- OUR NEW WALL
IN YELLOW, THIS DECK IS VIEWPOINT FOR NEXT
SLIDE**



(E) NEIGHBOR VIEW ANALYSIS



NEARBY NEIGHBOR VIEWS -- BEFORE

(N) NEIGHBOR VIEW ANALYSIS
W/ VERTICAL ADDITION



4336-4326 IRVING
AUGUST 6TH, 2019

4336-4326 IRVING ST , SF, CA 94122 SHADOW ANALYSIS

JUNE 21ST - 3 PM



NEARBY NEIGHBOR VIEWS -- AFTER

22

(E) NEIGHBOR VIEW ANALYSIS



1279 44th AVE JUNE 21ST - 3 PM



4336-4326 IRVING
AUGUST 6TH, 2019

4336-4326 IRVING ST , SF, CA 94122 SHADOW ANALYSIS

JUNE 21ST - 3 PM



NEARBY NEIGHBOR SOUTH VIEWS -- BEFORE

(N) NEIGHBOR VIEW ANALYSIS
W/ VERTICAL ADDITION



1279 44th AVE JUNE 21ST - 3 PM



4336-4326 IRVING
AUGUST 6TH, 2019

4336-4326 IRVING ST , SF, CA 94122 SHADOW ANALYSIS

JUNE 21ST - 3 PM



NEARBY NEIGHBOR SOUTH VIEWS -- AFTER

EXISTING

PRIOR

PROJECT

RDAT



17-140 4336-4326 Irving-ADU SF, CA 94122

JUNE 1ST, 2020

STREET PERSPECTIVE ANALYSIS

MANY EXISTING 4 STORY BUILDINGS IN THE OUTER SUNSET

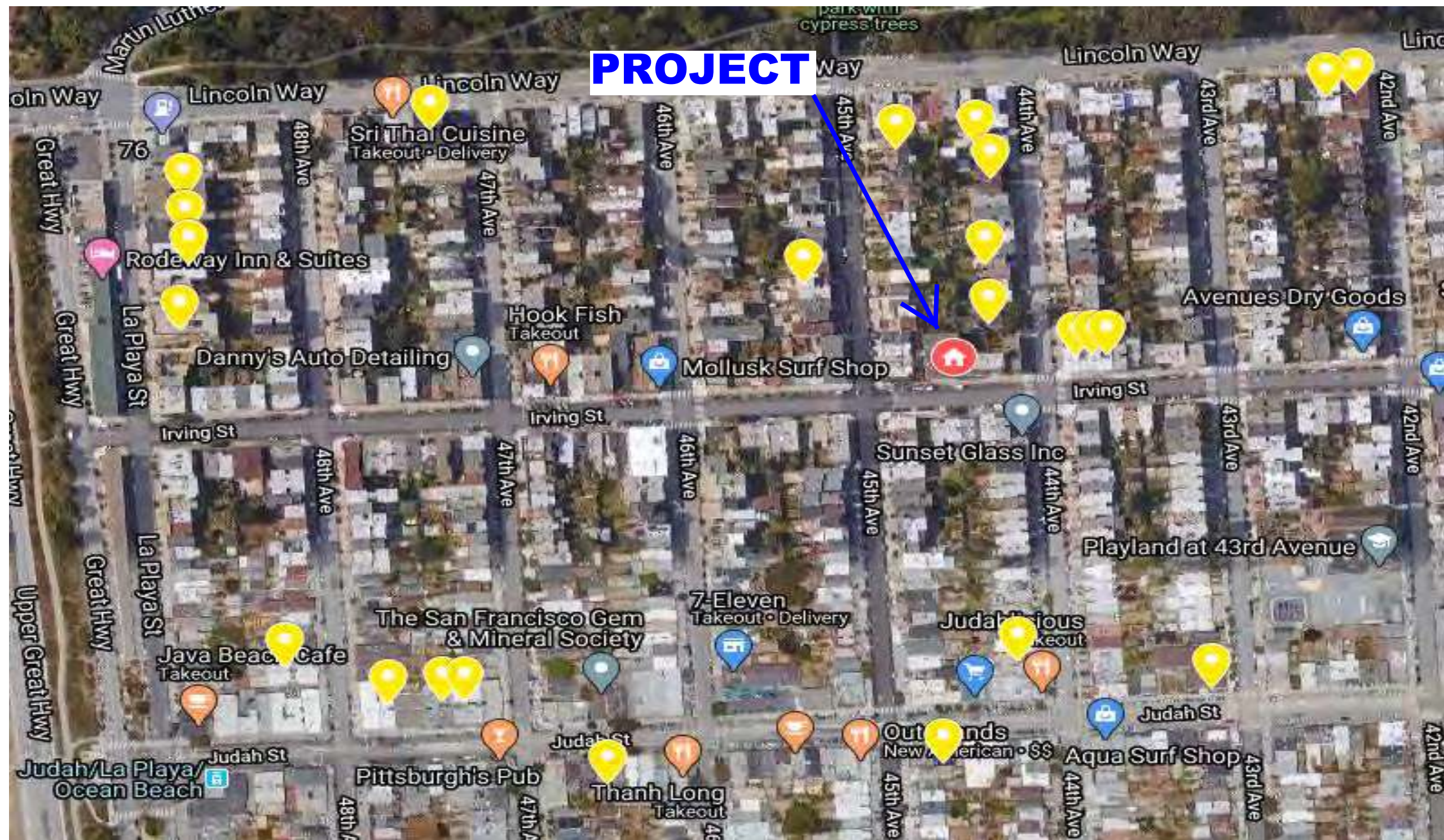


THIS BLDG IS ADJACENT TO OUR SITE



MANY EXISTING 4 STORY BUILDINGS IN THE OUTER SUNSET





EACH YELLOW DOT IS EITHER 4 STORY OR >37' TALL BUILDINGS, 5 EXIST ON OUR BLOCK ALONE.



ANOTHER LOCAL PROJECT OF OURS BEFORE PURCHASE

2690 GREAT HWY



ANOTHER LOCAL PROJECT OF OURS BEFORE REHAB



DURING CONSTRUCTION: NEW SEISMIC RETROFIT, NEW SIDING, NEW ROOF, NEW WINDOWS, NEW COPPER SKYLIGHTS, NEW FIRE ESCAPE BALCONY, NEW WEATHER PROOFING, STAINLESS SCREWS & NAILS USED

2690 GREAT HWY

June 4th, 1pm: Support City Approval of "The IRV" rent-controlled housing restoration at 4326 Irving St.

SAN FRANCISCO PLANNING DEPARTMENT



Let's make this building look good

June 4th, 1pm, we have a "virtual" online hearing at the planning commission. We would like your support for our neighborhood project, renovating a vacant dilapidated building to provide high-quality rent-controlled housing for the outer sunset. We call it "The IRV."

We seek approval from the Planning Commission to renovate the existing building to add more bedrooms and baths to the existing vacant units to provide **100% rent-controlled** housing for the people who live and work in our neighborhood: bar-backs, servers, nurses, teachers, firemen, etc.

Please note this building has never had any evictions; it was purchased vacant by the person who sold it to us, entirely vacant.

We seek approval for:

Adding a partial fourth floor set back 10' on the front and set back 45' from the rear yard. This would allow us to add 2 bedrooms & baths to each of four existing 3rd floor units, making each 2-story. It's adding ~2,400 sf total.

184 Signatures Collected

Only 16 more until our goal of 200

SIGN THIS PETITION



Welcome back, Brian!
Not Brian? [Click Here.](#)

Comments

ADD YOUR NAME

You may remove signatures from this petition at any time.

Get 250 Signatures. Make a map.

2019/06/04/0001

**184 PEOPLE
SIGNED OUR
PETITION AS
OF 6-3-20**

33

REDACTED INFORMATION - FOR OPPOSITION

EXHIBIT B

WATCH LIVE:

Derek Chauvin Trial In George Floyd Murder Case



≡ MENU

NEWS

WEATHER

SPORTS

CBSN Bay Area
WATCH NOW ▶Possible Record Breaking
Highs Today

San Francisco Sunset District Residents Fight Proposed Housing Development

Project Home

By [Susie Steimle](#)

June 24, 2020 at 6:46 pm

Filed Under: [Department of Building Inspection](#), [Project Home](#), [San Francisco](#), [San Francisco Sunset District](#)

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Update: San Jose Police Arrest Armed Suspect Who Barricaded Inside Alum Rock Home



Man Injured While Confronting Thieves Who Broke Into His Car In San Francisco Sunset District

SAN FRANCISCO (KPIX 5) — As San Francisco struggles with one of the worst housing crises in the nation, developers are eyeing the city's western neighborhoods as the new frontier. The Sunset District is mostly made up of single-family homes, and that's the way the neighbors like it. So when a developer started on construction to expand the only existing apartment building on their block, they put up a fight.

The old apartment building on Irving Street has become the latest flashpoint in the battle over housing. “We’re concerned with a big apartment like this that he will turn it into a motel,” said neighbor Jim Philliou. [REDACTED] is [REDACTED]

READ MORE: [VIDEO: Dead Whale Towed Away After Washing Ashore At Crissy Field In San Francisco](#)

The new owner converted the first-floor carport into five new units and is doubling the number of bedrooms and bathrooms on the second and third floors to 41. [REDACTED] the [REDACTED]

“We’ll have an absentee landlord running a piece of the neighborhood,” said Philliou who has lived on the block for 25 years.

“Horrible problem,” said another neighbor, Barbara Delaney. She and her husband Larry are also longtime residents. “In those 40 bedrooms, there could be as many as 80 people. And even if 20 of them have cars it will be a nightmare for this neighborhood.”

READ MORE: [KPIX 5 Project Home Series](#)

Adding to their fears for the future are growing suspicions about how the construction ever got started. It turns out the city’s Department of Building Inspection signed off on the permit without sending it to the Planning Department first for final approval.

The permit’s signature made neighbors even more suspicious. Tom Hui is the former Building Inspection chief who resigned in March after being implicated in a federal corruption case involving former Public Works Director Mohammed Nuru. “He was the one who approved the plans even though he knew or should have known that he didn’t have the right to do so without sending them to the Planning Department first,” said Larry Delaney.

“That’s a complete non sequitur, it’s a red herring,” said Brian Veit, the owner of the building and developer of the project. “I have never met him and honestly, I didn’t even know he ran the department. I had no interaction with him.”

Veit says he’s just trying to do the right thing. “We’re trying to help people. We’re trying to find a safe place for someone to put their head at night and close the door. I’m just going to call a spade, a spade here,” said Veit. “This kind of privileged rich owner opposition is exactly what has prevented housing, especially on the west side. That’s who’s opposing this project and that’s what’s always presented difficulties to providing affordable housing.”

We asked Veit why he refers to the housing project as “affordable.”



COVID: Workers Returning To San Francisco Will Find 'The City' Has Really Changed



Couple Crushed By Massive Redwood, Leave 5 Children Behind



Dozens Cited, Arrests Made, 50+ Vehicles Recovered In East Oakland Illegal Dumping Crackdown



UPDATE: 1 Dead, 1 Wounded In Shooting Near 24th Mission Street BART Station In San Francisco

“The reason is their rent is fixed. The building will be 100% rent-controlled,” said Veit.

But as we pointed out to him it would be starting out at market rate. So it wouldn’t be affordable housing. “No, but my point is that that is a kind of affordable housing,” said Veit.

READ MORE: [Lack Of Spring Rain Leads to State To Worry About Possible Megadrought](#)

While the new units will be rent-controlled, there’s no guarantee that they will be affordable. And we have learned there is a push to create more of this kind of housing in the Richmond and Sunset.

The districts were just recently added to a list of Priority Development Areas or PDAs for future housing growth in San Francisco. “The clear answer from a regional point of view is to try to put the housing within the existing metropolitan area and even more put the housing in a place where we know where there’s jobs,” said Randy Rentschler with the [Association of Bay Area Governments](#), the group that proposed targeting the traditionally low-density western neighborhoods [as part of a long term regional housing plan](#).

“If you don’t do that, then we’re forced to put billions of dollars into transportation investments,” said Rentschler.

He says the biggest obstacle to creating more housing anywhere in the Bay Area has always been resistance from neighbors. “I have heard every reason under the sun as to why we wish it would be built somewhere else. And that has been the reason that we have the crisis that we have,” said Rentschler.

Meanwhile, on Irving Street the fight over the old apartment building has escalated. Veit has now submitted new plans for a fourth floor with eight more bedrooms that neighbors say is going to obstruct ocean views. “We’re driving the speed limit. We’re in a 40-foot height district. And we’re only at 30 feet,” said Veit. “And so yes, it is dense, but my question would be when you want to tackle the housing crisis, how are we going to do that without densifying?”

But neighbors told us Veit promised in a text message that he would abandon plans for a 4th floor if they dropped their opposition to the second and third. “Once the developers received the approval for the second and third floor, they broke the agreement and proceeded to submit the plans for the fourth floor,” said Barbara Delaney.

“It was totally manipulative,” said Larry Delaney.

“We are not against housing. If he was going to commit to build affordable housing for people that need it then we would have to reconsider,” said Philliou. “But he has made no commitments to do that.”

The Department of Building Inspection and the Planning Department turned down our requests for interviews. DBI sent us this explanation in an email on June 16th:

This property was issued an ADU permit (201811166157) by Planning and DBI in April 2019 to add five Accessory Dwelling Units in the building's carport area. Property owners subsequently filed multiple revision permits for work to be done in the building not relating to the ADU permit application. Applicants are required to obtain separate permits for additional work not relating to the ADU work specified in the permit. In this case, the applicant filed revision permits to the ADU permit proposing changes to the building's second and third floors. The permits for the 2nd and 3rd floors pertained to structural and interior layout changes, which should have been sent to Planning for review. Since DBI was made aware of this, we suspended the permits in the queue so we could research all active permits pulled and figure out next steps. We are in touch with the applicant to discuss filing a master revision permit to account for all revision permits relating to the ADU permit and have been working with the Planning Department to coordinate the approval of the outstanding suspended permits. All permits issued by the Department have the Director's name on them. When the ADU permit was issued in 2019, Director Tom Hui held the position.

Since then, DBI and the Planning Department have allowed work to resume on the second and third floors. Here's the latest emailed response dated 6/22 from DBI Assistant Director Christine Gasparac:

Here's what Joe Duffy, Acting Chief Building Inspector, sent to the neighbor to explain the process: When DBI was contacted about the number of permits that were issued on this address and we discovered that the Planning Department did not get a chance to review some of the revision permits we decided to suspend four revision permits that were issued by DBI. We did that in order to review our work on the approval of the permits and to give us an opportunity to contact Planning Department staff and the developer. We have spoken with Planning Department staff since the permits were suspended on May 29, 2020 and we have agreed that PA 202002043524 will show any changes that the

Planning Department needs to review. I think it is important to say that some of the changes that were made are structural design revisions that arose due to some field discovered conditions on the existing framing and foundation. This would not be unusual in a project like this in an existing building. The San Francisco Building code does require that a separate permit be obtained for any changes that are made to an earlier issued building permit. This is covered under 106A.4.7 in the SFBC. The engineer for the project possibly could have rolled all of the changes into one revision but decided to do it on multiple revisions which was actually more work for them. The Planning Department does not typically review structural work or changes to the approved structural work and therefore DBI staff do not always route revisions for this type of work to the Planning Department. Some of the revisions that were made did include interior layout changes for 1st and 2nd floors. The changes to the layouts will be shown on filed permit 202002043524 and that permit has been routed to the Planning Department.

I have met with the engineer and developer on-site to review the permits and to discuss our actions. DBI will be lifting the suspensions on the building permits, and we will close the "stop work" order. We have issued a correction notice to require that PA 202002043524 is reviewed by the Planning Department. DBI will not be approving a rough frame or ok to cover inspection on the project until the filed permit is issued. We do understand that there is also some concern on filed PA 201909111353 Vertical addition. That permit is currently under review by the Planning Department and is currently not under DBI review.

DBI will be working with the Planning Department to update our policy on the routing of changes/revisions on ADU projects.

Also, I want to address your question about Tom Hui and neighbors suggesting the permits could've been fast-tracked as part of the Nuru case. DBI staff has uncovered no records or other evidence that would support such a claim. When this issue was brought to our attention, a senior inspector suspended the four relevant permits on the project to ensure the project would be vetted through the proper approval channels. It is the policy of the current Interim Director, Patrick O'Riordan, to perform an audit on any permits previously issued that DBI determines did not follow established procedures.

MORE NEWS: [Man Dies In Family Disturbance In Santa Cruz County; Suspect At Large](#)

The issue comes up to the Planning Commission on Thursday.

EXHIBIT C

THE IRV
4326 - 4336 IRVING STREET
SAN FRANCISCO, CA 94122

GENERAL NOTES

ABBREV.

SYMBOLS

PROJECT CODE SUMMARY

1.
THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE OWNER.

2.
ALL CONSTRUCTION MUST COMPLY WITH ALL LOCAL GOVERNING CODES.

3.
THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERROR OR OMISSION HE MAY DISCOVER IN THE DRAWINGS, OR ANY INCONSISTENCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS, PRIOR TO CONSTRUCTION SO THAT THE ARCHITECT MAY ISSUE WRITTEN CLARIFICATION IN A TIMELY MANNER.

4.
DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK . MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND WILL BE INCLUDED AS PART OF THE WORK SUBJECT TO APPROVAL OF THE DESIGNER.

5.
ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF OPENING, CENTERLINE OF WALL, CENTERLINE OF FOOTING, OR EDGE OF SLAB UNLESS NOTED OTHERWISE.

6.
DIMENSIONS SHOWN ON PLANS WILL TAKE PRECEDENCE TO SCALE. THE CONTRACTOR WILL VERIFY ALL DIMENSIONS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.

7.
DO NOT SCALE DRAWINGS.

8.
CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES.

9.
THE CONTRACTOR WILL USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, TO NEIGHBORS, AND TO OTHER WORKS BEING PERFORMED ON OR NEAR THE SITE.

10.
CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING AT THE REQUIRED LOCATIONS FOR ALL WALL MOUNTED SHELVING TABLS, ETC., NO EXTRA FEES WILL BE ENTERTAINED FOR LACK OF COORDINATION, CONTRACTOR IS RESPONSIBLE FOR RECEIVING AND ON-SITE STORAGE OF ALL SFT-GOODS (SMALLWARES, ETC.) DURING REGULAR CONSTRUCTION HOURS.

11.
CONTRACTOR SHALL CONTROL NOISE PRODUCING ITEMS (STEREOS) AT ALL TIMES.

12.
ALL WORK SHALL CONFORM TO THE LATEST ISSUE OF THE BUILDING STANDARD SPECIFICATIONS AND DETAILS.

13.
COORDINATION IN ADDITION TO GENERAL COORDINATION: COORDINATE THE INTERFACING OF ALL THE SAME ITEMS WHICH RELATE TO THE BUILDING AND WHICH ARE COVERED BY SEPARATE PERMIT. SOME OF THESE ITEMS ARE LISTED BELOW:

A. COORDINATION WITH UTILITY COMPANIES FOR SERVICE INCLUDING WATER, SEWER, GAS AND ELECTRICAL SERVICES. VERIFY POINTS OF CONNECTION IN FIELD.

14.
CONTRACTOR WILL PROVIDE TEMPORARY 42" HIGH PROTECTIVE RAILING AT ALL OPENINGS WHERE SUCH OPENINGS ARE MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW.

15.
CONTRACTOR SHALL PROVIDE SAMPLES OF ALL NON-BUILDING STANDARD MATERIALS FOR REVIEW BY TENANT REPRESENTATIVE; REFER TO FINISHED PLAN FOR REQUIRED ITEMS.

16.
ALL WORK AND MATERIALS USED TO ACCOMPLISH DESIGNATED WORK SHALL BE COORDINATED WITH CONTRACTOR, TENANT REPRESENTATIVE (WHEN APPLICABLE) AND BUILDING OWNER REPRESENTATIVE WITH RESPECT TO DELIVERY AND STORAGE.

17.
CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, AND SHALL COORDINATE SUCH WITH TENANT REPRESENTATIVE.

18.
CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT APPROVED CONTRACT DOCUMENTS.

19.
CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING), AND PLUMBING SO TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED.

20.
DIMENSIONS SHALL NOT BE CHANGED WITHOUT ARCHITECTS WRITTEN APPROVAL.

21.
CONTRACTOR TO PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.

22.
CONTRACTOR TO COORDINATE ACTIVITIES WITH BUILDING REPRESENTATIVES AND/OR TENANTS.

23.
CONTRACTOR SHALL SUBMIT ALL SAMPLES PER SPECIFICATIONS OR AS REQUESTED BY OWNER. ALL SAMPLE SHALL BE APPROVED AND SIGNED OFF BY DESIGNER PRIOR TO CONSTRUCTION.

24.
ALL FASTENERS AND CONNECTORS WITHIN 3' OF GRADE OR EXPOSED TO THE ELEMENTS SHALL BE TRIPLED-DIPPED GALVANIZED OR STAINLESS STEEL.

25.
THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT THE ADJACENT SPACES IN THE BUILDING ARE OCCUPIED AND OPERATIONAL. ALL EFFORTS SHALL BE TAKEN TO MINIMIZE OF THE BUILDING AND TO AVOID ANY UNSCHEDULED SERVICES INTERRUPTION.

26.
ANY PART OF THE ADJACENT BUILDING THAT BECOMES SOLDIED OR DAMAGED DUE TO THIS WORK DURING ANY PHASE OF CONSTRUCTION SHALL BE CLEANED, REPAIRED, OR REPLACED BY THE GENERAL CONTRACTOR AT NO EXPENSE TO THE OWNER OR TENANT.

27.
WORKS SHALL BE PERFORMED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR THE SAFETY AND PROTECTION OF ALL PERSONNEL, EXISTING SURFACES, MATERIALS, AND EQUIPMENT. PROTECTIVE AND DUST-PROTECTIVE DEVICES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY, AND AS REQUIRED BY OWNER/CIENT.

28.
ALL WORK SHALL BE PERFORMED SO THAT THERE IS MINIMUM INTERFERENCE WITH ADJACENT PROPERTY.

29.
ALL MATERIAL SHALL BE REMOVED BY THE APPROPRIATE LICENSED CONTRACTOR, REMOVED UNDER THE STRICT GUIDELINES OF THE MATERIAL. TO BE DISPOSED OF AT APPROPRIATE LEGAL LOCATION AWAY FROM THE SITE PER REGULATING AUTHORITY.

30.
DETAILS TO SUPERSEDE LARGER PLANS, SECTIONS, ELEVATIONS, ETC.

31.
WHENEVER REQUIRED IN THESE DOCUMENTS, CONTRACTOR S SHALL OBTAIN OWNER/ARCHITECT APPROVAL PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.

32.
THE CONTRACTOR'S COST SHALL INCLUDE THE COST OF PROPER INSURANCE AS REQUIRED BY THE LAWS OF STATE, LOCAL OR BUILDING REGULATIONS OR CODES TO ADEQUATELY PROTECT PERSONS AND LIABILITY.

33.
THE CONTRACTOR SHALL PROVIDE, ENGINEER, MAINTAIN AND BE RESPONSIBLE FOR THE INTEGRITY AND ADEQUACY OF ALL SCAFFOLDING, DUST BARRIERS, BARRICADES, BRACING, SHORING, STRUCTURAL SYSTEMS AND TEMPORARY CONSTRUCTION REQUIRED FOR THE INSTALLATION OF NEW WORK.

34.
SUBSTITUTION REQUESTS SHALL BE IN WRITING AND SHALL PROVIDE SUFFICIENT INFORMATION FOR REVIEW. SUBSTITUTE PRODUCTS SHALL NOT BE ORDERED WITHOUT APPROVAL BY THE DESIGNER. ALL CONTRACTOR'S SUBSTITUTION REQUESTS CONSTITUTE A REPRESENTATION THAT THE CONTRACTOR:
A) HAS INVESTIGATED PROPOSED PRODUCT AND DETERMINED THAT IT MEETS OR EXCEEDS, IN ALL RESPECTS, THE SPECIFIED PRODUCT.
B) WILL PROVIDE THE SAME WARRANTY FOR THE SUBSTITUTION AS FOR THE SPECIFIED PRODUCT.
C) WILL COORDINATE INSTALLATION AND MAKE OTHER CHANGES WHICE MAY BE REQUIRED FOR WORK TO BE COMPLETED IN ALL RESPECTS
D) WAIVES ALL CLAIMS FOR ADDITIONAL COSTS WHICH SUBSEQUENTLY BECOMES APPARENT.
E) WILL PAY COSTS OF CHANGES TO DRAWINGS, DETAILS AND SPECIFICATIONS REQUIRED BY APPROVED SUBSTITUTIONS.

REQ'D SPECIAL INSPECTIONS
SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL. NAMES AND QUALIFICATIONS OF SPECIAL INSPECTOR(S) SHALL BE SUBMITTED BY THE CONTRACTOR TO THE BUILDING DEPARTMENT FOR APPROVAL. INSPECTIONS INCLUDE BUT NOT LIMITED TO:

1.
CONCRETE

2.
BOLTS INSTALLED IN CONCRETE, INCLD. EPOXY.

3.
CONCRETE MOMENT RESISTING SPACE FRAME

4.
REINFORCING STEEL AND RESTRESSING STEEL

5A.
WELD TESTING, DUCTILE MOMENT RESISTING STEEL FRAMES

5B.
ALL STRUTCTUAL WELDING INCLUDING REINFORCED STEEL

6.
HIGH STRENGTH BOLTING

7.
STRUCTURAL MASONRY

8.
REINFORCED GYPSUM CONCRETE

9.
INSULATING CONCRETE FILL

10.
SPRAY APPLIED FIREPROOFING

11.
DEEP FOUNDATIONS (PILLING DRILLED PIERS & CLASSONS)

12.
SHOTCRETE

13A.
VERIFY THAT FOUNDATION EXCAVATIONS EXTENT TO PROPER DEPTH AND BEARING STRATA

13B.
PROVIDE SOIL COMPACTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES, IF ANY

13C.
PROVIDE SOIL EXPANSION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, ON GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE

14.
SPECIAL CASES AS REQ'D.

15.
OFF-SITE FABRICAITON OF BUILDING COMPONENTS

16.
OTHER STRUCTURAL INSPECTION AS REQUIRED BY DESIGNER AND/OR THE BUILDING DEPARTMENT (REFER TO DEPARTMENTS REQUIRED DOCUMENTS)

L @

A.F.F.
APPX
AL.
ARCH.
BLDG.
BOT.
B.P.
CLG.
CLR.
COL.
CONC.
CONT.
CTR.
D.I.A.
DIM.
DOWN.
DWG.
DBL
DTL.
(E)
EA.
EL.
ELEC.
E.Q.
EQPT.
E.S.
F.B.M.
F.D.
F.F.
F.O.C.
F.O.F.
F.O.J
F.O.S.
F.O.W.
F.G.
F.S.
GA
GALV.
GI.
GY.P.
H.M.
HDWR
H.P.
HT.
JAN.
MAX
MECH
MIN
MTL..
MFR.
MISC.
(N)
N.I.C
NOM.
NOT TO SCALE
ON CENTER
OR APPROVED
ALTERNATE
OUTSIDE DIAMETER
OPENING
OPNG.
P.LAM.
PLYWD.
R.
RF.
R.D.
REF.
REINF.
ROOM
R.O.
ROUGH OPENING
RAIN WATER LEADER
SOLID CORE
SHT.
SIM.
SPEC.
SQ.
STD.
STL.
STRU.C.
(T)
T.C.
T.W.
TYP.
U.O.N.

W/
W.C.
W.L.
WD.
WO
WP.
W/R

ANGLE
AT
NUMBER
ABOVE FINISH FLOOR
APPROXIMATE
ALUMINIUM
ARCHITECTURAL
BUILDING
BOTTOM
BOTTOM OF POOL
CEILING
CLEAR
COLUMN
CONCRETE
CONTINUOUS
CENTER
DIAMETER
DIMENSION
DOWN
DRAWING
DOUBLE
DETAIL
(E) EXISTING
EACH
ELEVATION
ELECTRICAL
EQUAL
EQUIPMENT
EACH SIDE
FLOOR BEAM
FLOOR DRAIN
FINISH FLOOR
FACE ON CONCRETE
FACE ON FINISH
FACE ON JAMB
FACE ON STUD
FACE ON WALL
FINISH GRADE
FINISH SURFACE
GAUGE
GALVANIZED
GALVANIZED IRON
GYPSUM BOARD
HOLLOW METAL
HARDWARE
HIGH POINT
HEIGHT
JANITOR
MAXIMUM
MECHANICAL
MINIMUM
METAL
MANUFACTURER
MISCELLANEOUS
NEW
NOT IN CONTRACT
NOMINAL
NOT TO SCALE
ON CENTER
OR APPROVED
ALTERNATE
OUTSIDE DIAMETER
OPENING
OPENING
PLASTIC LAMINATE
PLYWOOD
ROOF
ROOF DRAIN
REFERENCE
REINFORCED
ROOM
ROUGH OPENING
RAIN WATER LEADER
SOLID CORE
SHEET
SIMILAR
SPECIFICATION
SQUARE
STANDARD
STEEL
STRUCTURAL
TEMPERED GLASS
TOP OF CURB
TOP OF WALL
TYPICAL
UNLESS OTHERWISE NOTED
WITH
WATER CLOSET
WATER LEVEL
WOOD
WITHOUT
WATER PROOF
WATER RESISTANT
CONTINUOUS

A

COLUMN OR GRID LINE

ROOM NAME
101
C.H. 9'-0"

CEILING HT.

ELEV. NO.
SHEET NO.

SHEET NO.

SECTION NO.
SHEET NO.

SAND/MORTAR

MATCH LINE

BRICK

PLAN DETAIL

CONCRETE

WORK POINT,
CONTROL
POINT OR
DATUM POINT

ASPHALT
SHINGLE

WINDOW TYPE

STEEL

DOOR NUMBER

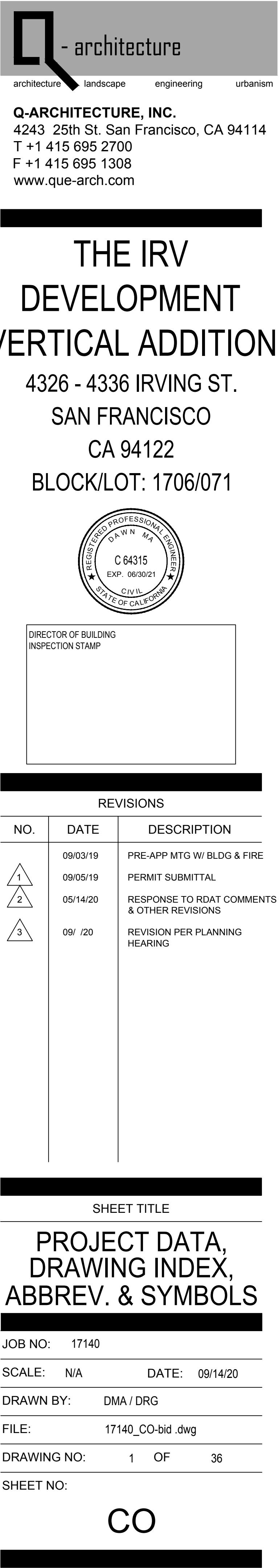
WOOD FINISHED

NORTH ARROW

WOOD FRAMING
THROUGH MEMBER

RE

DRAWING INDEX		
1	CO	PROJECT DATA, DRAWING INDEX, ABBREV. & SYMBOLS
2	CO2	DISCRETIONARY REVIEW ACTION DRA-705
3	PHOTOS	SITE PHOTOS
4	GS5	GREEN BUILDING SUBMITTAL
5	A100	(E) SITE PLAN (PA# 2018.1116.6157)(ADU)
6	A101	(N) SITE PLAN (PA# 2018.1116.6157)(ADU)
7	A101	REVISED (N) SITE PLAN
8	A102	(E) FIRST FLOOR PLAN (PA# 2018.1116.6157)(ADU)
9	A104	(N) FIRST FLOOR PLAN (PA#2020.0204.3524)
10	A104	REVISED (N) FIRST FLOOR PLAN
11	A104	(E) SECOND FLOOR PLAN (PA# 2018.1116.6157)(ADU)
12	A106	(N) SECOND FLOOR PLAN (PA#2020.0204.3524)
13	A106	(E) THIRD FLOOR PLAN (PA# 2018.1116.6157)(ADU)
14	A108	(N) THIRD FLOOR PLAN (PA#2020.0204.3524)
15	A111	REVISED (N) THIRD FLOOR PLAN
16	A111	(E) ROOF PLAN
17	A112	(N) FOURTH FLOOR PLAN
18	A113	(N) ROOF PLAN
19	A300	(E)&(N) FRONT ELEVATION (PA# 2018.1116.6157)(ADU)
20	A301	REVISED (N) FRONT ELEVATION
21	A301	(E)&(N) REAR ELEVATION (PA# 2018.1116.6157)(ADU)
22	A302	REVISED (N) REAR ELEVATION
23	A302	(E)EAST & WEST ELEVATION (PA# 2018.1116.6157)(ADU)
24	A303	(E)&(N) WEST ELEVATION (PA#2020.0204.3524)(PLAN. APPV.)
25	A304	REVISED (N) WEST ELEVATION
26	A304	(E)&(N) EAST ELEVATION (PA#2020.0204.3524)(PLAN. APPV.)
27	A305	REVISED (N) EAST ELEVATION
28	A401	(E) BUILDING SECTION - LONGITUDINAL (PA#2019.1118.7535)(STRUCT. REV.)
29	A402	(E) BUILDING SECTION - RANSVERSE (PA#2019.1118.7535)(STRUCT. REV.)
30	A403	(N) BUILDING SECTION - LONGITUDINAL (PA#2019.1118.7535)(STRUCT. REV.)
31	A404	(N) BUILDING SECTION - TRANSVERSE (PA#2019.1118.7535)(STRUCT. REV.)
32	A405	REVISED (N) BUILDING SECTION - LONGITUDINAL
33	A406	REVISED (N) BUILDING SECTION - TRANSVERSE
34	A601	STANDARD WALL & CEILING DETAILS
35	A801-P1	WINDOWS SCHEDULE AND DETAILS (PA#2019.1118.7535)(STRUCT. REV.)
36	A802-P1	DOOR SCHEDULE (PA#2019.1118.7535)(STRUCT. REV.)
37	A803-P1	DOORS SCHEDULE AND DETAILS (PA#2019.1118.7535)(STRUCT. REV.)
38	A801-P2	WINDOWS SCHEDULE AND DETAILS (PA#2019.1118.7535)(STRUCT. REV.)
39	A802-P2	2ND FLOOR DOOR SCHEDULE (PA#2019.1118.7535)(STRUCT. REV.)
40	A803-P2	3RD FLOOR DOOR SCHEDULE (PA#2019.1118.7535)(STRUCT. REV.)
41	T24-1	TITLE 24 ENERGY CALCULATIONS 1
42	T24-2	TITLE 24 ENERGY CALCULATIONS 2
43	T24-3	TITLE 24 ENERGY CALCULATIONS 3
44	S1.1	GENERAL NOTES
45	S2.0	NOTES
46	S2.1	FOUNDATION PLAN
47	S2.1.1	SLAB PLAN
48	S2.2	1ST FLOOR FRAMING PLAN
49	S2.3	2ND FLOOR FRAMING PLAN
50	S2.4	3RD FLOOR FRAMING PLAN
51	S2.5	ROOF PLAN
52	S3.1	FOUNDATION DETAILS
53	S3.2	FOUNDATION DETAILS
54	S3.3	FOUNDATION DETAILS
	S4.1	FRAMING DETAILS
	S4.2	FRAMING DETAILS
	S4.3	FRAMING DETAILS
	S4.4	FRAMING DETAILS





SAN FRANCISCO
PLANNING DEPARTMENT

Discretionary Review Action DRA-705
HEARING DATE: JULY 9, 2020

Record No.: 2019-016969DRM
Project Address: 4326-4336 Irving Street
Building Permit: 2019.0911.1353
Zoning: RH-2 [Residential – House, Two Family]
40-X Height and Bulk District
Block/Lot: 1706/071
Project Sponsor: Dawn Ma
Q-Architecture
4243 25th Street
San Francisco, CA 94114
DR Requestors: San Francisco Planning Department
Staff Contact: David Weissglass – (415) 575-9177
David.Weissglass@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479
Reception:
415.558.6378
Fax:
415.558.6409
Planning
Information:
415.558.6377

ADOPTING FINDINGS RELATED TO TAKING DISCRETIONARY REVIEW OF RECORD NO. 2019-016969DRM AND THE APPROVAL OF BUILDING PERMIT APPLICATION NO. 2019.0911.1353 TO CONSTRUCT A ONE-STORY VERTICAL ADDITION TO AN EXISTING THREE-STORY RESIDENTIAL BUILDING AT 4326-4336 IRVING STREET WITHIN THE RH-2 (RESIDENTIAL – HOUSE, TWO FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE
On September 11, 2019, Dawn Ma filed for Building Permit Application No. 2019.0911.1353 to construct a one-story vertical addition at 4326-4336 Irving Street within the RH-2 (Residential – House, Two-Family) Zoning District and a 40-X Height and Bulk District.

On February 19, 2020, the applicant filed a Mandatory Discretionary Review application with the Planning Department (hereinafter “Department”) for Discretionary Review (2019-016969DRM) of Building Permit Application No. 2019.0911.1353.

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

On June 4, 2020, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly-noticed public hearing at a regularly scheduled meeting on Discretionary Review Application No. 2019-016969DRM and continued the hearing to June 25, 2020.

www.sfplanning.org

DRA-705
July 9, 2020

Record No. 2019-016969DRM
4326-4336 Irving Street

On June 25, 2020, the Commission conducted a duly-noticed public hearing at a regularly scheduled meeting on Discretionary Review Application No. 2019-016969DRM and continued the hearing to July 9, 2020 with a Motion of Intent to Approve with Staff Modifications.

On July 9, 2020, the Commission conducted a duly-noticed public hearing at a regularly scheduled meeting on Discretionary Review Application No. 2019-016969DRM.

The Planning Department Commission Secretary is the custodian of records; the file for Record No. 2019-016969DRM is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

ACTION
The Commission found there are extraordinary or exceptional circumstances in this case and hereby takes Discretionary Review requested in Record No. 2019-016969DRM and approves Building Permit Application 2019.0911.1353 with the following conditions as recommended by staff:

- Set back the vertical addition a minimum of 15 feet from the front building wall;
- Set back the vertical addition a minimum of 15 feet from the west property line;
- Reduce the depth of the vertical addition such that it aligns with the primary rear wall of the existing building of the east;
- Continue working with staff on front façade details.

SAN FRANCISCO
PLANNING DEPARTMENT

DRA-705
July 9, 2020

Record No. 2019-016969DRM
4326-4336 Irving Street

APPEAL AND EFFECTIVE DATE OF ACTION: Any aggrieved person may appeal this Building Permit Application to the Board of Appeals only after the Department of Building Inspection (DBI) takes action (issuing or disapproving) the permit. Such appeal must be made within fifteen (15) days of DBI’s action on the permit. For further information, please contact the Board of Appeals at (415) 415-575-6880, 1650 Mission Street # 304, San Francisco, CA, 94103-2481.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission took Discretionary Review and approved the building permit as referenced in this action memo on July 9, 2020.

Jonas P. Iorin
Commission Secretary

AYES: Chan, Diamond, Fung, Imperial, Johnson, Koppel, Moore
NAYS: None
ABSENT: None
ADOPTED: July 9, 2020

SAN FRANCISCO
PLANNING DEPARTMENT

Q - architecture

architecture landscape engineering urbanism

Q-ARCHITECTURE, INC.
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T +1 415 695 2700
F +1 415 695 1308
www.que-arch.com

THE IRV
DEVELOPMENT
VERTICAL ADDITION

4326 - 4336 IRVING ST.
SAN FRANCISCO
CA 94122
BLOCK/LOT: 1706/071



DIRECTOR OF BUILDING
INSPECTION STAMP

REVISIONS

NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
3	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

DISCRETIONARY REVIEW
ACTION DRA-705

JOB NO: 17140

SCALE: N/A DATE: 09/14/20

DRAWN BY: DMA / DRG

FILE: 17140_CO-bid.dwg

DRAWING NO: 2 OF 36

SHEET NO:

CO2



1 (E) BUILDINGS ON THE SAME SIDE OF THE STREET (NW) N.T.S.

2 (E) BUILDINGS ON THE SAME SIDE OF THE STREET (NE) N.T.S.

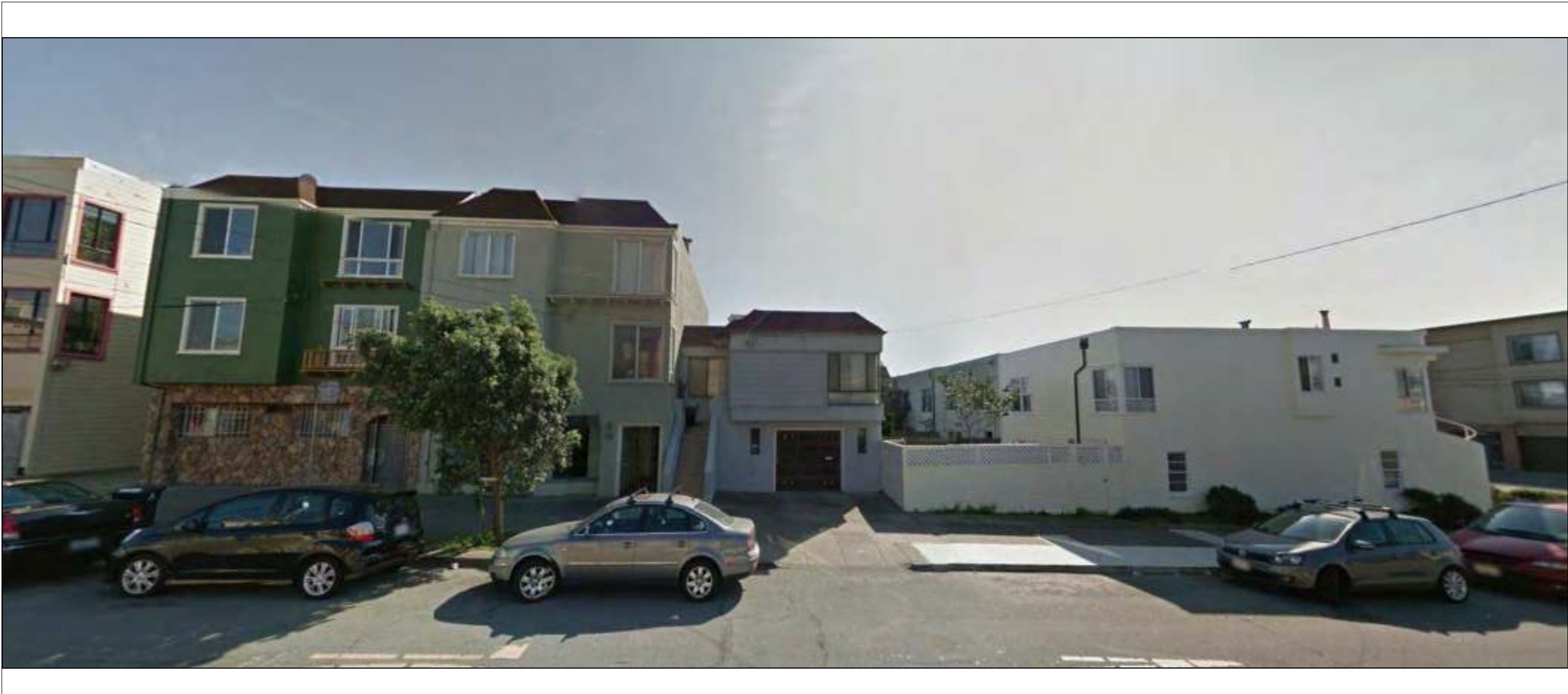
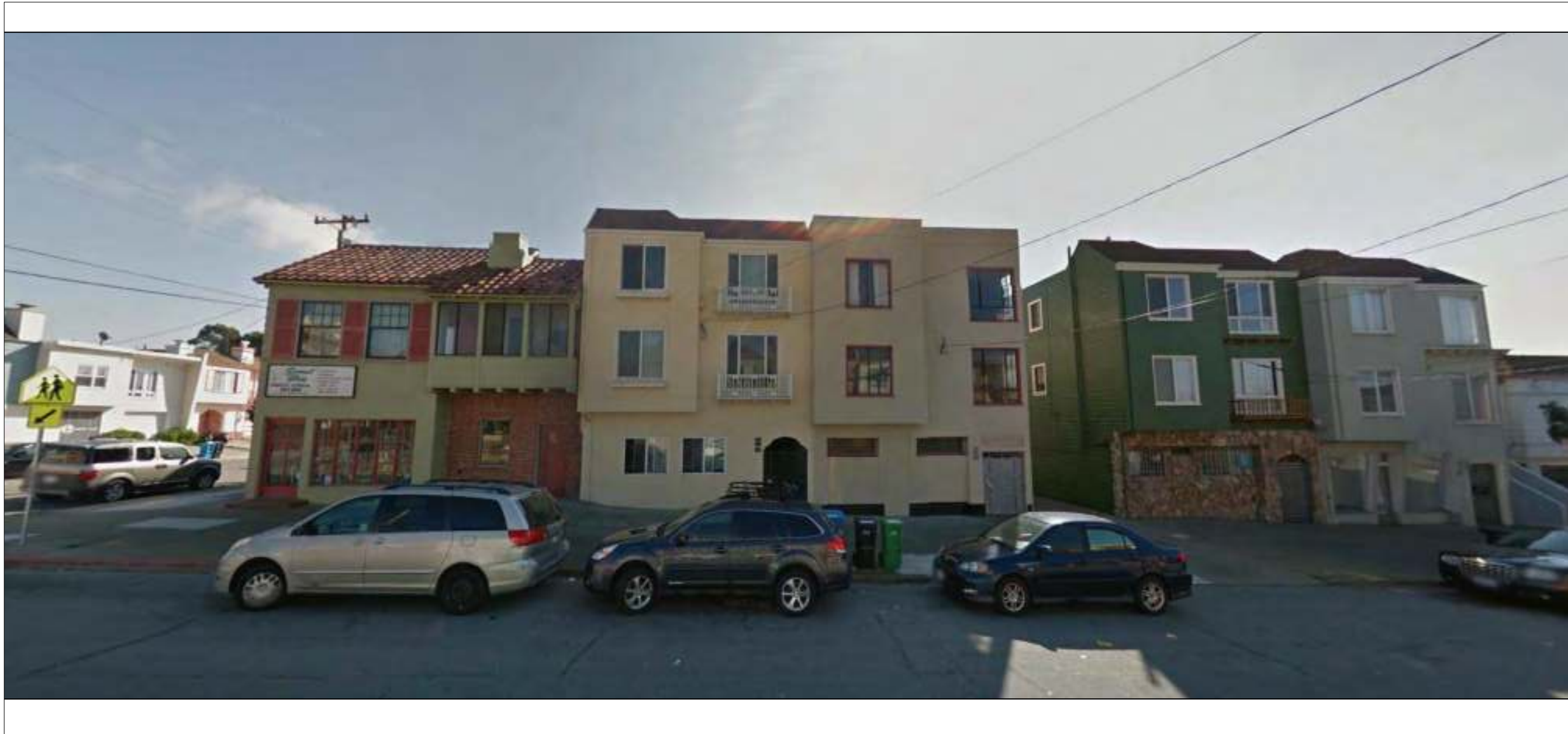
3 KEY PLAN N.T.S.



3 (E) FRONT FACADE OF THE SUBJECT BUILDING N.T.S.

4 (E) REAR FACADE OF THE SUBJECT BUILDING N.T.S.

5 (E) REAR VIEW OF THE ADJACENT BUILDINGS (BLOCK/LOT: 4147/028) N.T.S.



6 (E) BUILDINGS ON THE FACING SIDE OF THE STREET (SE) N.T.S.

7 (E) BUILDINGS ON THE FACING SIDE OF THE STREET (SW) N.T.S.

THE IRV DEVELOPMENT

4326 - 4336 IRVING ST.
SAN FRANCISCO
CA 94122

BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
-	08/28/19	PROGRESS
1	09/11/19	PERMIT SUBMITTAL

SHEET TITLE

(E) SITE PHOTOS

JOB NO: 17140
SCALE: N/A DATE: 09/11/19
DRAWN BY: DMA / DRG
FILE: 17140_(E)PHOTOS.dwg
DRAWING NO: 3 OF 51
SHEET NO:

PHOTOS

GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

Form version: October 11, 2017 (For permit applications January 2017 - December 2019)

INSTRUCTIONS:

1. Fill out the project information in the Verification box at the right.

2. Submittal must be a minimum of 11" x 17".

3. This form is for permit applications submitted January 2017 through December 2019. The prior version may be submitted until January 1, 2018.

TITLE

SOURCE OF REQUIREMENT

DESCRIPTION OF REQUIREMENT

RESIDENTIAL

GRADING & PAVING

CALGreen 4.106.3

Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.

RODENT PROOFING

CALGreen 4.406.1

Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.

FIREPLACES & WOODSTOVES

CALGreen 4.503.1

Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.

CAPILLARY BREAK, SLAB ON GRADE

CALGreen 4.505.2

Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.

MOISTURE CONTENT

CALGreen 4.505.3

Wall + floor <19% moisture content before enclosure.

BATHROOM EXHAUST

CALGreen 4.506.1

Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).

MATERIALS

LOW-EMITTING MATERIALS

CALGreen 4.504.2.1-5, SFGBC 4.103.3.2

Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.

WATER

INDOOR WATER USE REDUCTION

CALGreen 4.303.1, SF Housing Code sec.12A10

Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10.

WATER-EFFICIENT IRRIGATION

Administrative Code ch.63

If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.

ENERGY

ENERGY EFFICIENCY

CA Energy Code

Comply with all provisions of the CA Energy Code.

PARKING

BICYCLE PARKING

Planning Code sec.155.1-2

Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.

WASTE DIVERSION

RECYCLING BY OCCUPANTS

SF Building Code AB-088

Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials.

CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT

SFGBC 4.103.2.3

For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate.

HVAC

HVAC INSTALLER QUALS

CALGreen 4.702.1

Installers must be trained in best practices.

HVAC DESIGN

CALGreen 4.507.2

HVAC shall be designed to ACCA Manual J, D, and S.

GOOD NEIGHBOR

BIRD-SAFE BUILDINGS

Planning Code sec.139

Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.

TOBACCO SMOKE CONTROL

Health Code art.19F

Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.

POLLUTION PREVENTION

STORMWATER CONTROL PLAN

Public Works Code art.4.2 sec.147

Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.

CONSTRUCTION SITE RUNOFF

Public Works Code art.4.2 sec.146

Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.

INDOOR ENVIRONMENTAL QUALITY

AIR FILTRATION (CONSTRUCTION)

CALGreen 4.504.1

Seal permanent HVAC ducts/equipment stored onsite before installation.

FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY

Indoor Water Efficiency

Each fixture must not exceed CALGreen 4.303 maximum flow rates:

FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE
Showerheads²	2 gpm @ 80 psi
Lavatory Faucets: residential	1.2 gpm @ 60 psi
Kitchen Faucets	1.8 gpm @ 60 psi default
Wash Fountains	1.8 gpm / 20 (rim space (inches) @ 60 psi)
Metering Faucets	.20 gallons per cycle
Tank-type water closets	1.28 gallons / flush¹ and EPA WaterSense Certified
Flushometer valve water closets	1.28 gallons / flush¹
Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush

NOTES:
1. For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L)
2. The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1)

Water Efficiency of Existing Non-Compliant Fixtures

All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDBI.org.

NON-COMPLIANT PLUMBING FIXTURES INCLUDE:
1. Any toilet manufactured to use more than 1.6 gallons/flush
2. Any urinal manufactured to use more than 1 gallon/flush
3. Any showerhead manufactured to have a flow capacity of more than 2.5 gpm
4. Any interior faucet that emits more than 2.2 gpm

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

OTHER RESIDENTIAL ALTERATIONS + ADDITIONS

adds any amount of conditioned area, volume, or size

if applicable

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•

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if applicable

•

•

•

if project extends outside envelope

if project extends outside envelope

•

VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion

PROJECT NAME

BLOCK/LOT

ADDRESS

PRIMARY OCCUPANCY

GROSS BUILDING AREA

INCREASE IN CONDITIONED FLOOR AREA

I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

LICENSED PROFESSIONAL (sign & date)
May be signed by applicant when <1,000 sq. ft. is added.

AFFIX STAMP BELOW:

GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #)

FIRM
☐ I am a LEED Accredited Professional
☐ I am a GreenPoint Rater
☐ I am an ICC Certified CALGreen Inspector

GREEN BUILDING COMPLIANCE PROFESSIONAL (sign & date)
Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.

DIRECTOR OF BUILDING INSPECTION STAMP

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VERTICAL ADDITION
4326 - 4336 IRVING ST.
SAN FRANCISCO
CA 94122
BLOCK/LOT: 1706/071

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INSPECTION STAMP

REVISIONS		
NO.	DATE	DESCRIPTION
1 2 3	09/03/19	PRE-APP MTG W/ BLDG & FIRE
	09/05/19	PERMIT SUBMITTAL
	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

GREEN BUILDING SUBMITTAL

JOB NO: 17140

SCALE: N/A DATE: 09/14/20

DRAWN BY: DMA / DRG

FILE: 17140_CO-bid.dwg

DRAWING NO: 3 OF 36

SHEET NO:

GS5

45TH AVE.

(1) SITE PLAN
DATE 1/27/11



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NO. DATE DESCRIPTION
1 PROJECT REVIEW M11

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MAY 13 2011

DEPT. OF BUILDING PERMITS
RECEIVED FOR REVIEW
APPROVED FOR REVIEW

APPROVE

DATE OF REVIEW MAY 11 2011

SHEET TITLE

**(E) SITE PLAN
- ADU PERMIT**

JOB NO. 11111
SCALE 1/8"=1'-0" DATE 1/27/11
DRAWN BY GMA/TS
FILE 11111_ADU.dwg
DRAWING NO. 2 OF 2
SHEET NO.

A100

12/2011 161234 PMA DESIGN 2

REF. BPA# 2018-1116-6157 (ADU)

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APPROVED
 Dept. of Building Insp.
 APR 25 2019
 T. C. H. H.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

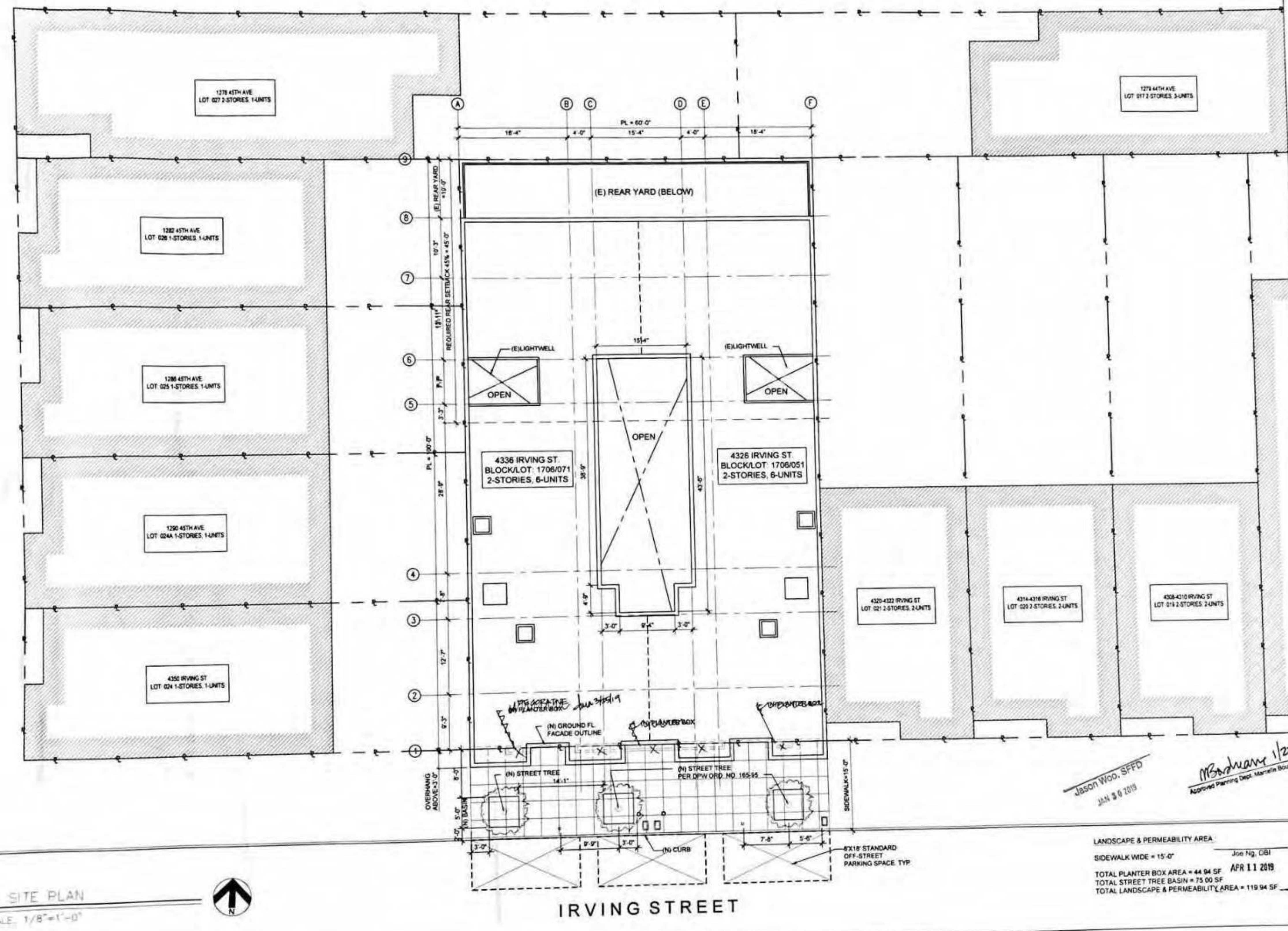
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**(N) SITE PLAN
 - ADU PERMIT**

JOB NO: 17140
 SCALE: 1/8"=1'-0" DATE: 11/5/18
 DRAWN BY: DMA/YB
 FILE: 17140_A0100.dwg
 DRAWING NO: 3 OF 27
 SHEET NO:

A101

(N) SITE PLAN
 SCALE: 1/8"=1'-0"



Jason Woo, SFED
 JAN 8 2019

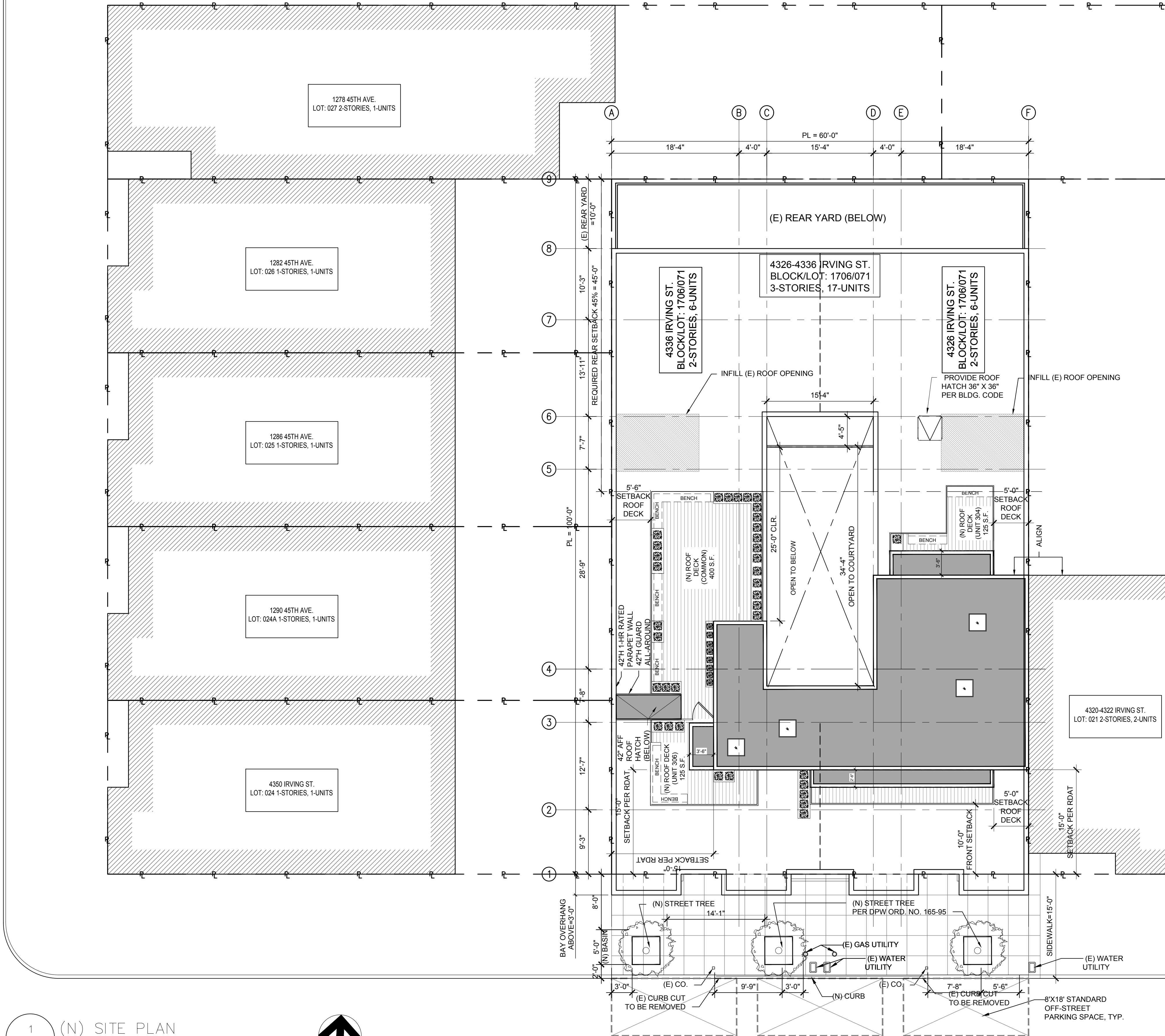
M. Badhary 1/23/19
 Approved Planning Dept. Marinella Boudreau

LANDSCAPE & PERMEABILITY AREA
 SIDEWALK WIDE = 15'-0"
 TOTAL PLANTER BOX AREA = 44 94 SF
 TOTAL STREET TREE BASIN = 75 00 SF
 TOTAL LANDSCAPE & PERMEABILITY AREA = 119 94 SF
 APR 11 2019

12/2018 6:12:39 PM, designer 2

REF. BPA# 2018-1116-6157 (ADU)

45TH AVE.



1 (N) SITE PLAN
SCALE: 1/8"=1'-0"

EXISTING				PROPOSED			
(E) 1ST FLOOR				(N) 1ST FLOOR			
UNIT	BED	BATH	UNIT SF	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
N/A				(N) #101	4	3	1152
				(N) #102	1	1	375
				(N) #103	2	2	631
				(N) #104	3	2	705
				(N) #105	3	3	805
(E) 2ND FLOOR				(E) 2ND FLOOR			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #201	1	1.5	527	(E) #201	2	2	527 N/C
(E) #202	3	1	725	(E) #202	3	2	725 N/C
(E) #203	2	1	725	(E) #203	3	2	725 N/C
(E) #204	1	1.5	528	(E) #204	1	1	528 N/C
(E) #205	3	1	730	(E) #205	3	2	730 N/C
(E) #206	2	1	730	(E) #206	3	2	730 N/C
(E) 3RD FLOOR				(E) 3RD FLOOR			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #301	1	1	481	(E) #301	1	1.5	636
(E) #302	2	1	722	(E) #302	3	2	722 N/C
(E) #303	2	1	725	(E) #303	3	2	725 N/C
(E) #304	1	1	481	(E) #304	2	2	523
(E) #305	2	1	672	(E) #305	3	2	830
(E) #306	2	1	672	(E) #306	3	2	730
(E) 3RD FLOOR				(N) 4TH FLOOR			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #301	1	1	481	(N) #304	0	0	303
(E) #302	2	1	722	(N) #305	1	1	431
(E) #303	2	1	725	(N) #306	0	0	260
(E) #304	1	1	481				
(E) #305	2	1	672				
(E) #306	2	1	672				

EXISTING				PROPOSED			
(E) 3RD FLOOR				TOTAL (3RD+4TH FLOOR)			
UNIT	BEDRM	BATHRM	UNIT SQ.FT.	UNIT	BEDRM	BATHRM	UNIT SQ.FT.
(E) #301	1	1	481	(N) #301	1	1.5	636
(E) #304	1	1	481	(N) #304	2	2	826
(E) #305	2	1	672	(N) #305	4	3	1261
(E) #306	2	1	672	(N) #306	3	2	990

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THE IRV

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4326 - 4336 IRVING ST.

SAN FRANCISCO

CA 94122

BLOCK/LOT: 1706/071

REGISTERED PROFESSIONAL ARCHITECT

DRAWN: MA

C 64315

EXP. 06/30/21

CIVIL

STATE OF CALIFORNIA

DIRECTOR OF BUILDING
INSPECTION STAMP

REVISIONS		
NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
2	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
3	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

REVISED (N) SITE PLAN

JOB NO: 17140

SCALE: 1/8"=1'-0" DATE: 09/14/20

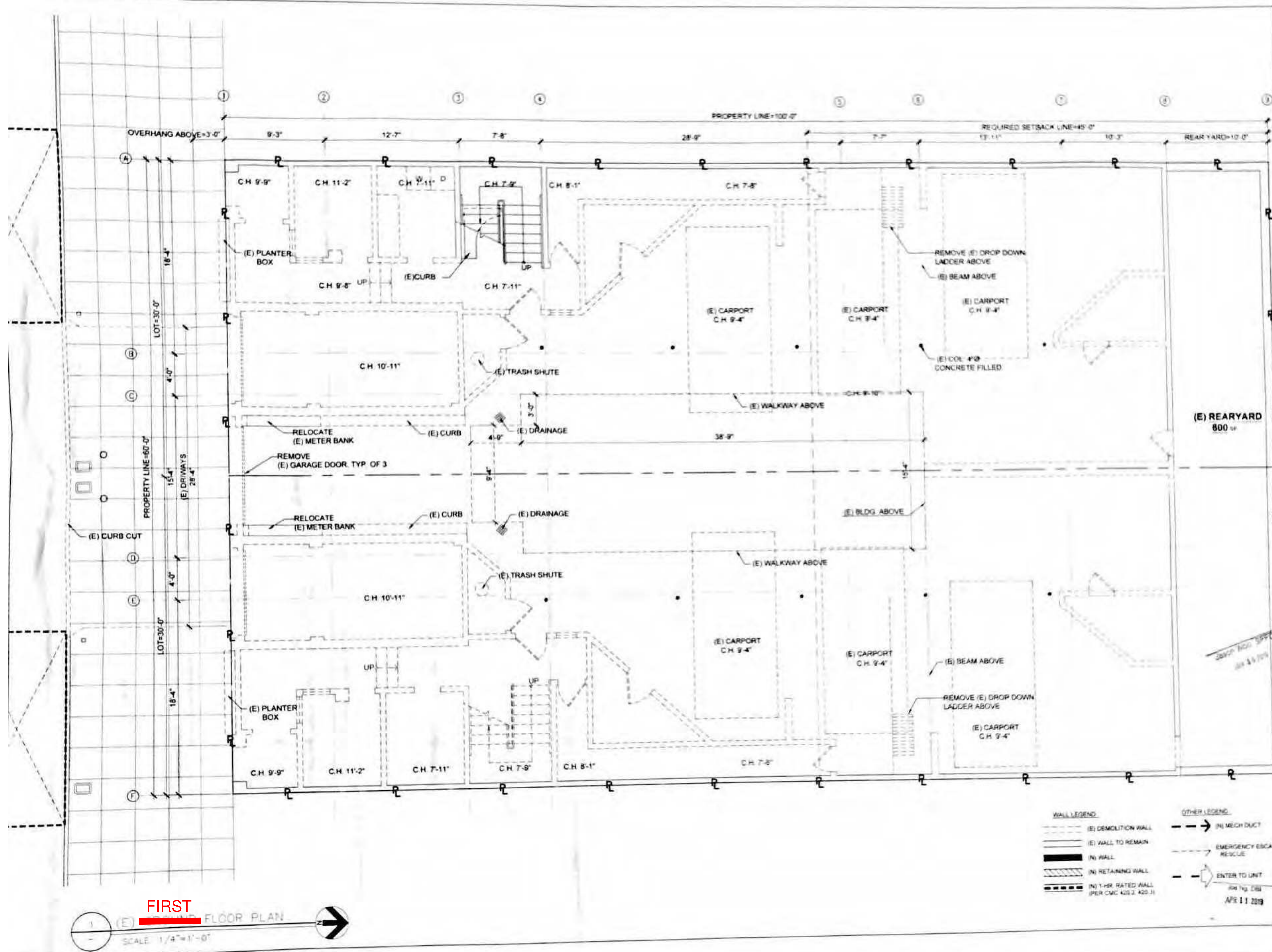
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FILE: 17140_A0100-BID.dwg

DRAWING NO: 5 OF 36

SHEET NO:

A101



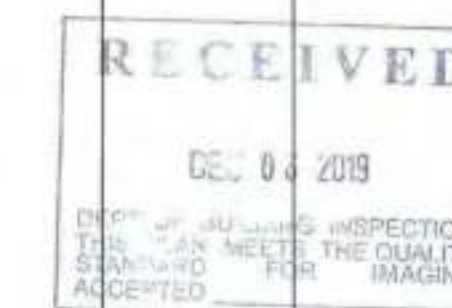
REVISIONS

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REVISIONS		
NO.	DATE	DESCRIPTION
1	11/18/19	PERMIT SUBMITTAL
1	12/04/19	RESPONSE TO BUIL PCC

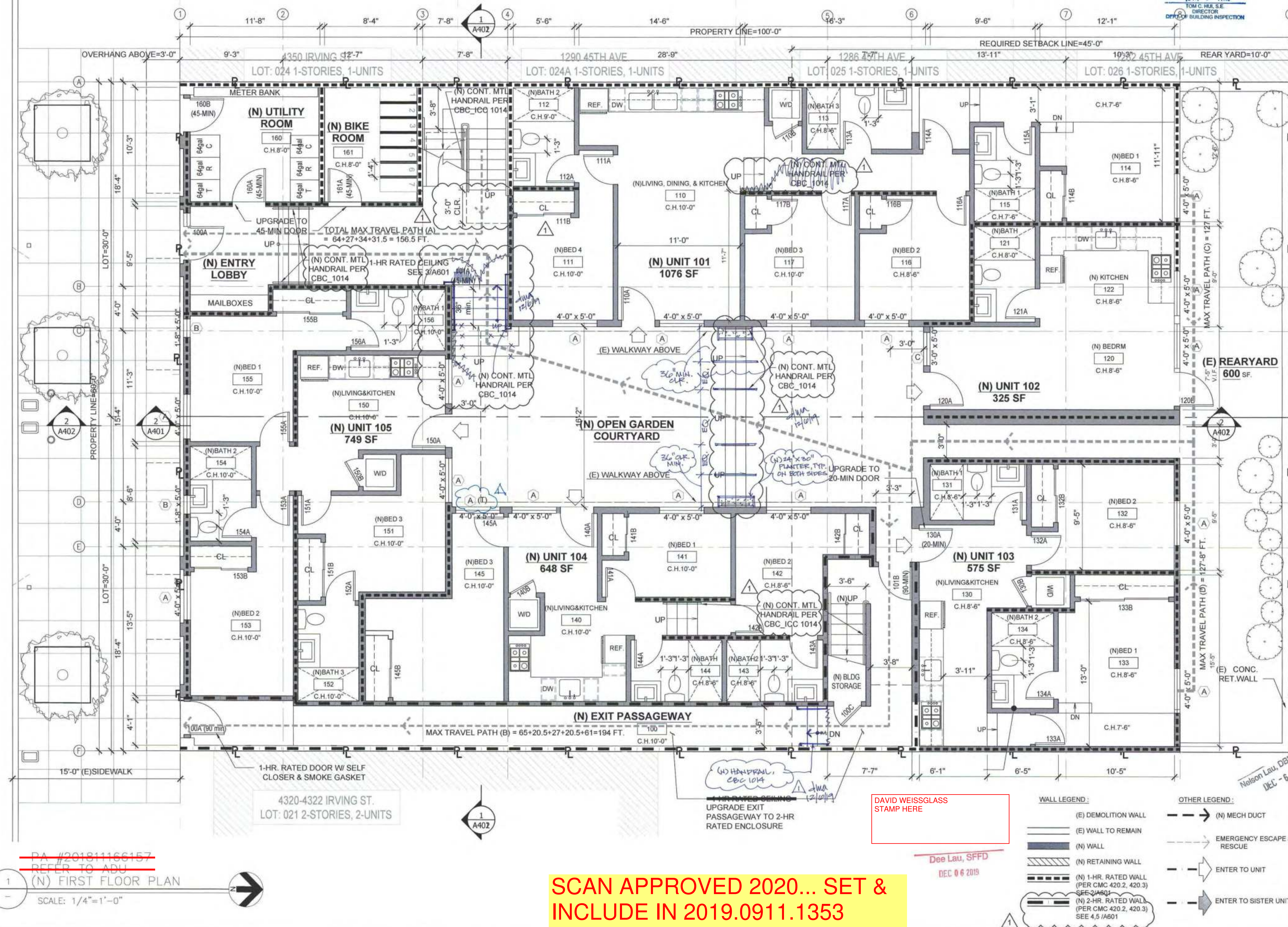


SHEET TITLE

(N) FIRST FLOOR PLAN

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A0100-STRUCTURAL REVISION.dwg
DRAWING NO: 5 OF 42
SHEET NO:

A104

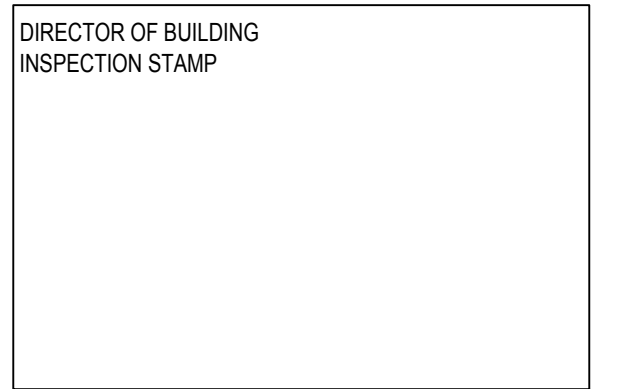


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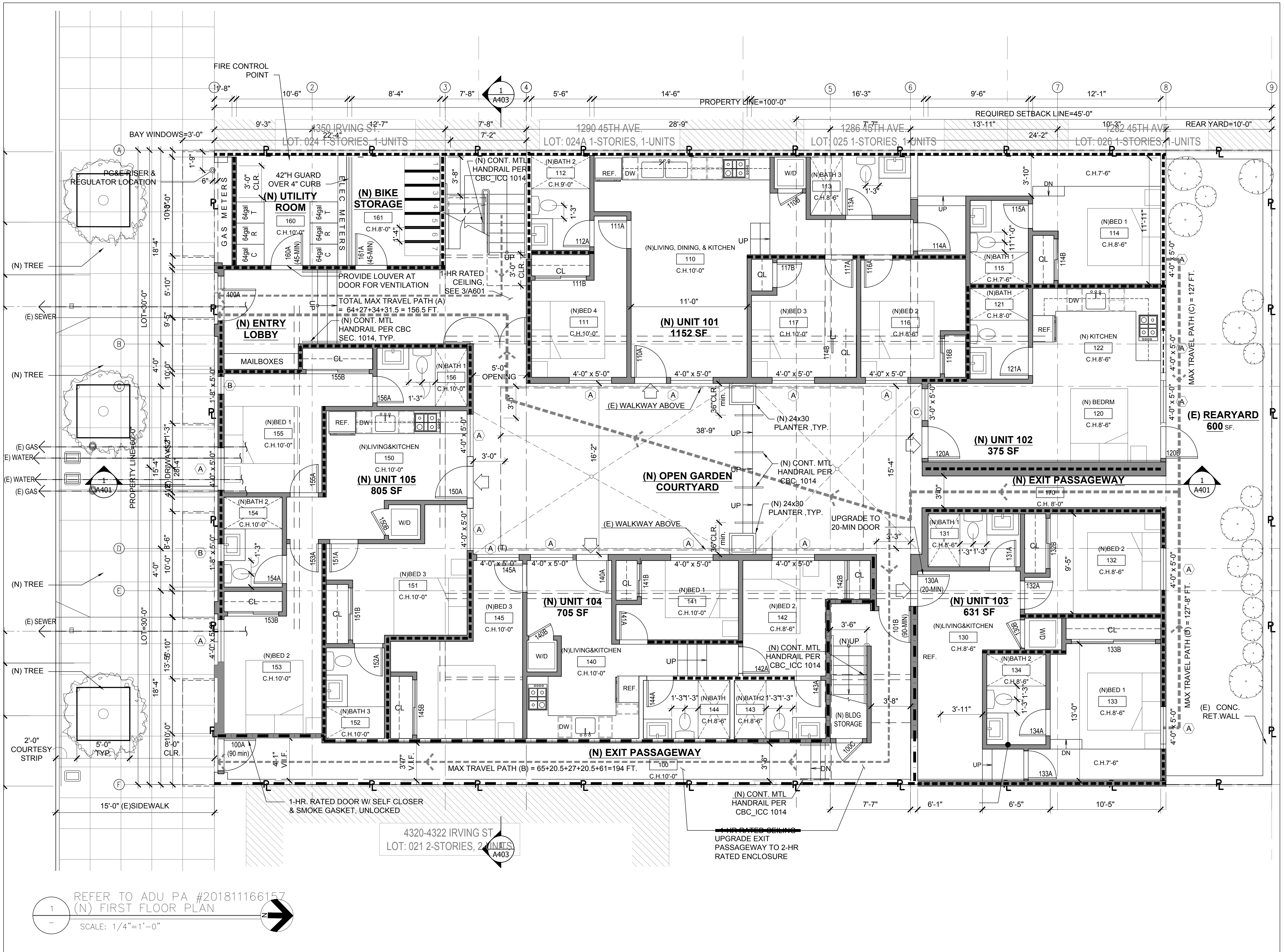
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NO.	DATE	DESCRIPTION
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3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
4	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

REVISED (N) FIRST FLOOR PLAN

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 09/14/20
DRAWN BY: DMA / DRG
FILE: 17140_A0100-BID.dwg
DRAWING NO: 8 OF 36
SHEET NO:

A105



REFER TO ADU PA #201811166157
(N) FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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APR 25 2019

SHEET TITLE

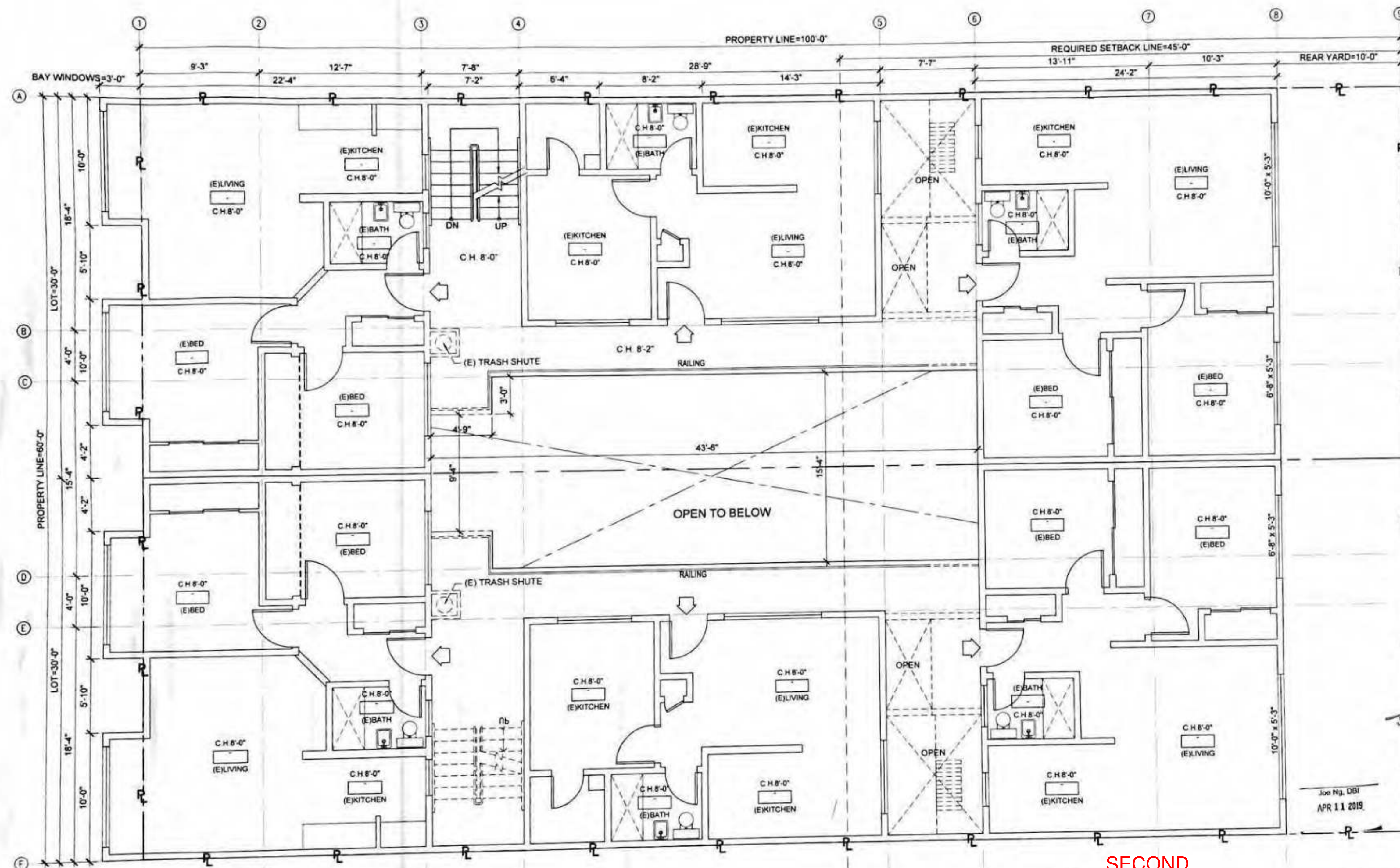
**SECOND
 (E) 1ST FLOOR PLAN
 - ADU PERMIT**

JOB NO. 17140
 SCALE 1/4"=1'-0" DATE 11/5/18
 DRAWN BY DMA/YB
 FILE 17140_A0100.dwg
 DRAWING NO 6 OF 27
 SHEET NO.

A104

12/2018 6:12:54 PM, designer2

REF. BPA# 2018-1116-6157 (ADU)



SECOND

(E) 1ST FLOOR PLAN (NO CHANGE IN UNITS)
 SCALE 1/4"=1'-0"

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BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL
1	12/04/19	RESPONSE TO BUIL PCC



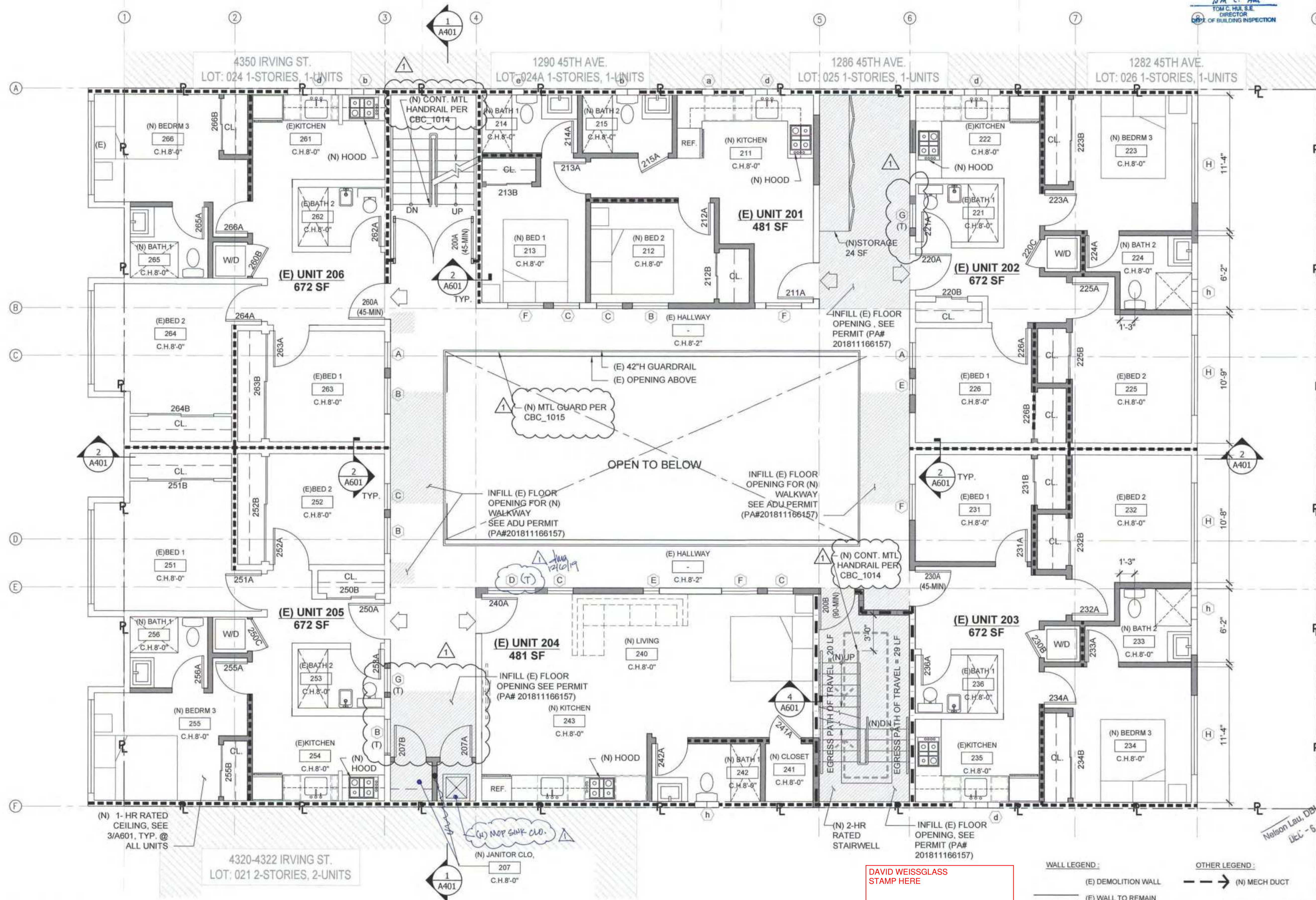
SHEET TITLE

(N) 2ND FLOOR PLAN

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A0100-STRUCTURAL REVISION.dwg
DRAWING NO: 7 OF 42
SHEET NO:

A106

REF. BPA# 2020.0204.3524



WALL LEGEND:

- (E) DEMOLITION WALL
- (E) WALL TO REMAIN
- (N) WALL
- (N) RETAINING WALL
- (N) 1-HR. RATED WALL (PER CMC 420.2, 420.3) SEE 2/A601
- (N) 2-HR. RATED WALL (PER CMC 420.2, 420.3) SEE 4.5 /A601

OTHER LEGEND:

- (N) MECH DUCT
- EMERGENCY ESCAPE & RESCUE
- ENTER TO UNIT
- ENTER TO SISTER UNIT

DAVID WEISSGLASS
STAMP HERE

Dee Lau, SFFD
DEC 06 2019

SCAN APPROVED 2020... SET &
INCLUDE IN 2019.0911.1353

PA #201908280016
REFER TO ADU
(N) 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"

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1	11/1/18	PROJECT REVIEW MTG

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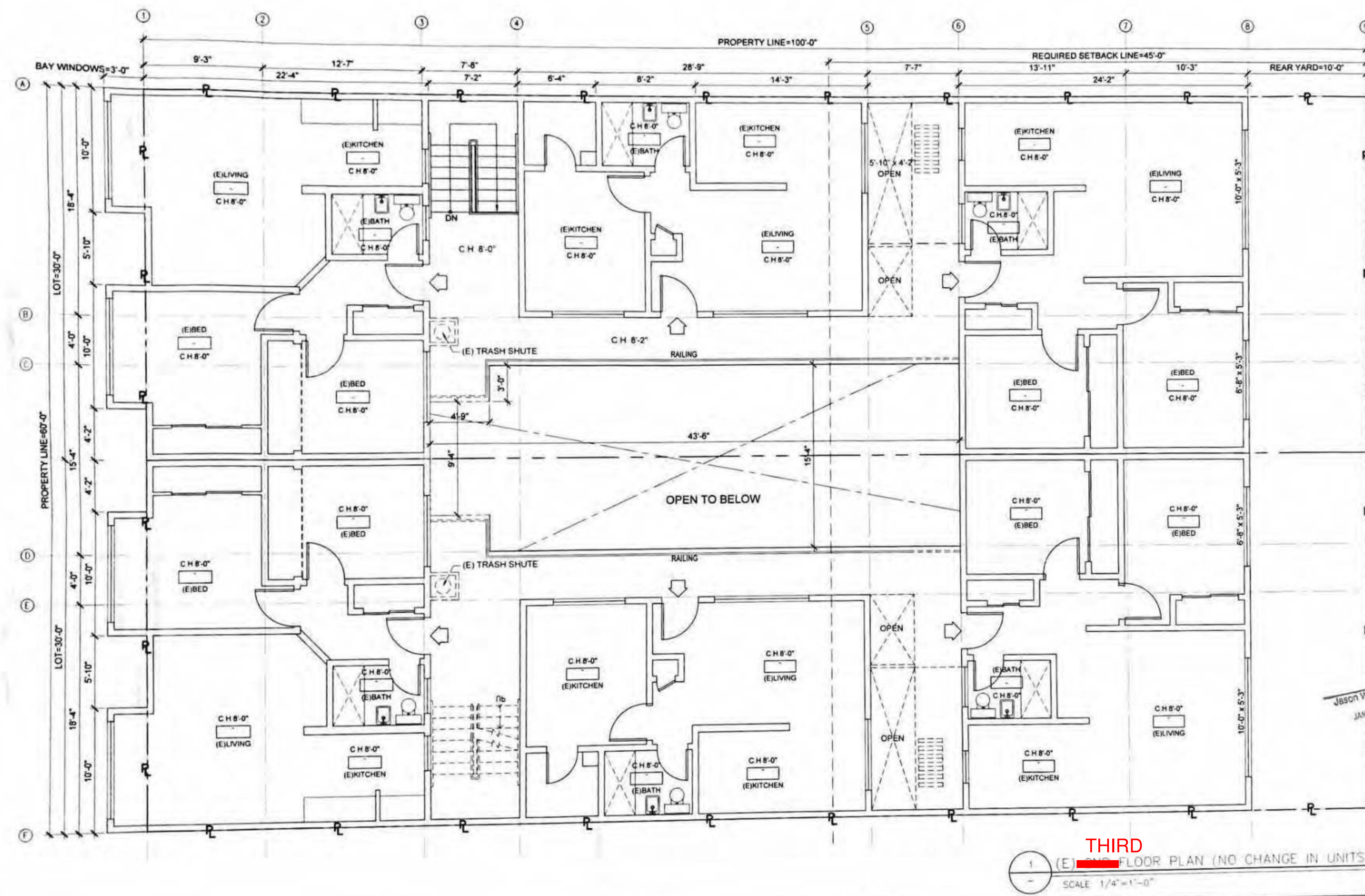
APPROVED
 Dept. of Building Insp.
 APR 25 2019
 Joe Ng, DBI
 APR 11 2019

SHEET TITLE

**THIRD
 (E) FLOOR PLAN
 - ADU PERMIT**

JOB NO	17140
SCALE	1/4"=1'-0"
DATE	11/5/18
DRAWN BY	DMA/YB
FILE	17140_A0100.dwg
DRAWING NO	8 OF 27
SHEET NO	

A106




**THIRD
 (E) FLOOR PLAN (NO CHANGE IN UNITS)**
 SCALE 1/4"=1'-0"

12/2018 6:13:04 PM, designer2

REF. BPA# 2018-1116-6157 (ADU)

BLOCK/LOT: 1706/071



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NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL
	12/04/19	RESPONSE TO BUIL PCC

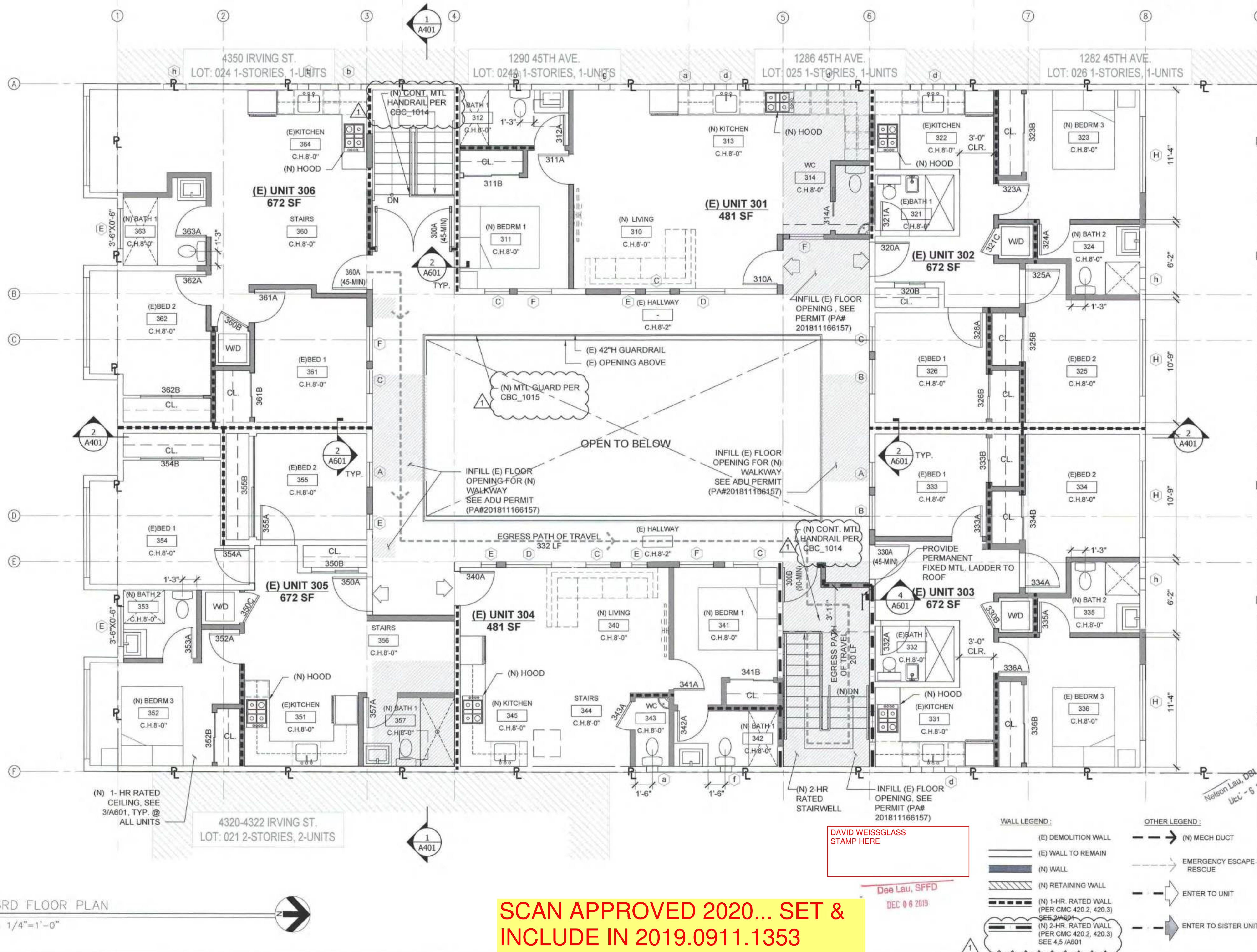


SHEET TITLE

(N) 3RD FLOOR PLAN

JOB NO:	17140		
SCALE:	1/4"=1'-0"	DATE:	11/18/19
DRAWN BY:	DMA / DRG		
FILE:	17140_A0100-STRUCTURAL REVISION.dwg		
DRAWING NO:	9	OF	42
SHEET NO:			

A108



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BLOCK/LOT: 1706/071



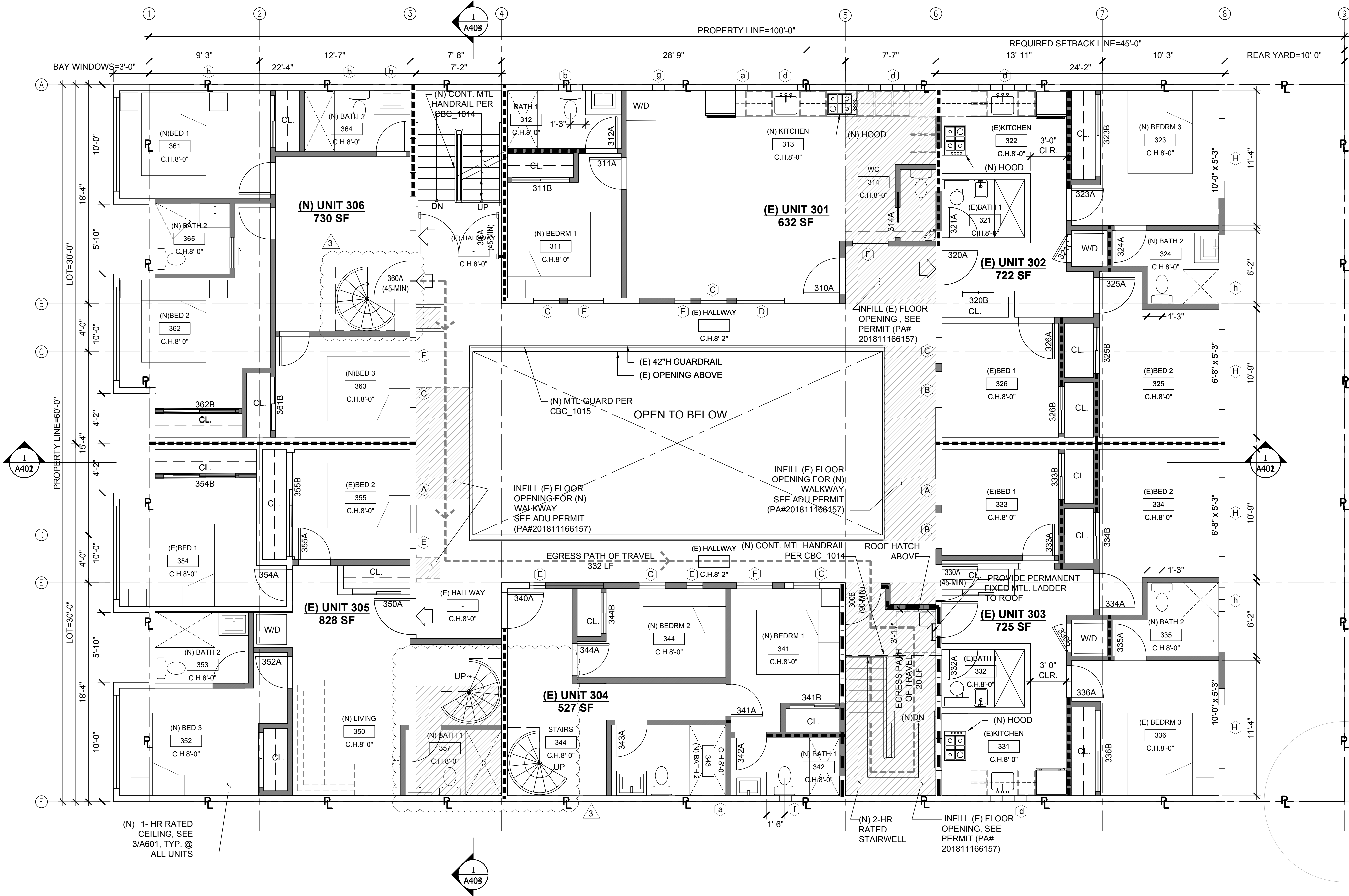
DIRECTOR OF BUILDING
INSPECTION STAMP

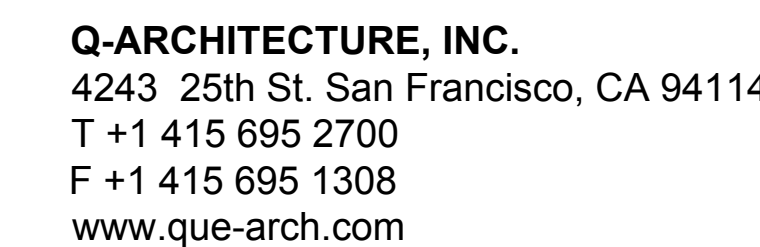
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NO.	DATE	DESCRIPTION
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2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
4	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE REVISED (N) THIRD FLOOR PLAN

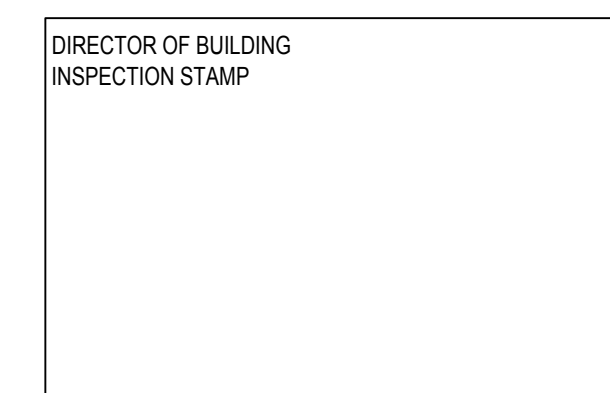
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FILE: 17140_A0100-BID.dwg
DRAWING NO: 13 OF 36
SHEET NO:

A111





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BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS

SHEET TITLE

(E) ROOF PLAN

JOB NO: 17140

SCALE: 1/4"=1'-0" DATE: 05/14/20

DRAWN BY: DMA / DRG

FILE: 17140_A0100-BID.dwg

DRAWING NO: 14 OF 36

SHEET NO:

A111



THE IRV DEVELOPMENT VERTICAL ADDITION

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BLOCK/LOT: 1706/071



DIRECTOR OF BUILDING
INSPECTION STAMP

REVISIONS

NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
4	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

(N) FOURTH FLOOR PLAN

JOB NO: 17140

SCALE: 1/4"=1'-0" DATE: 09/14/20

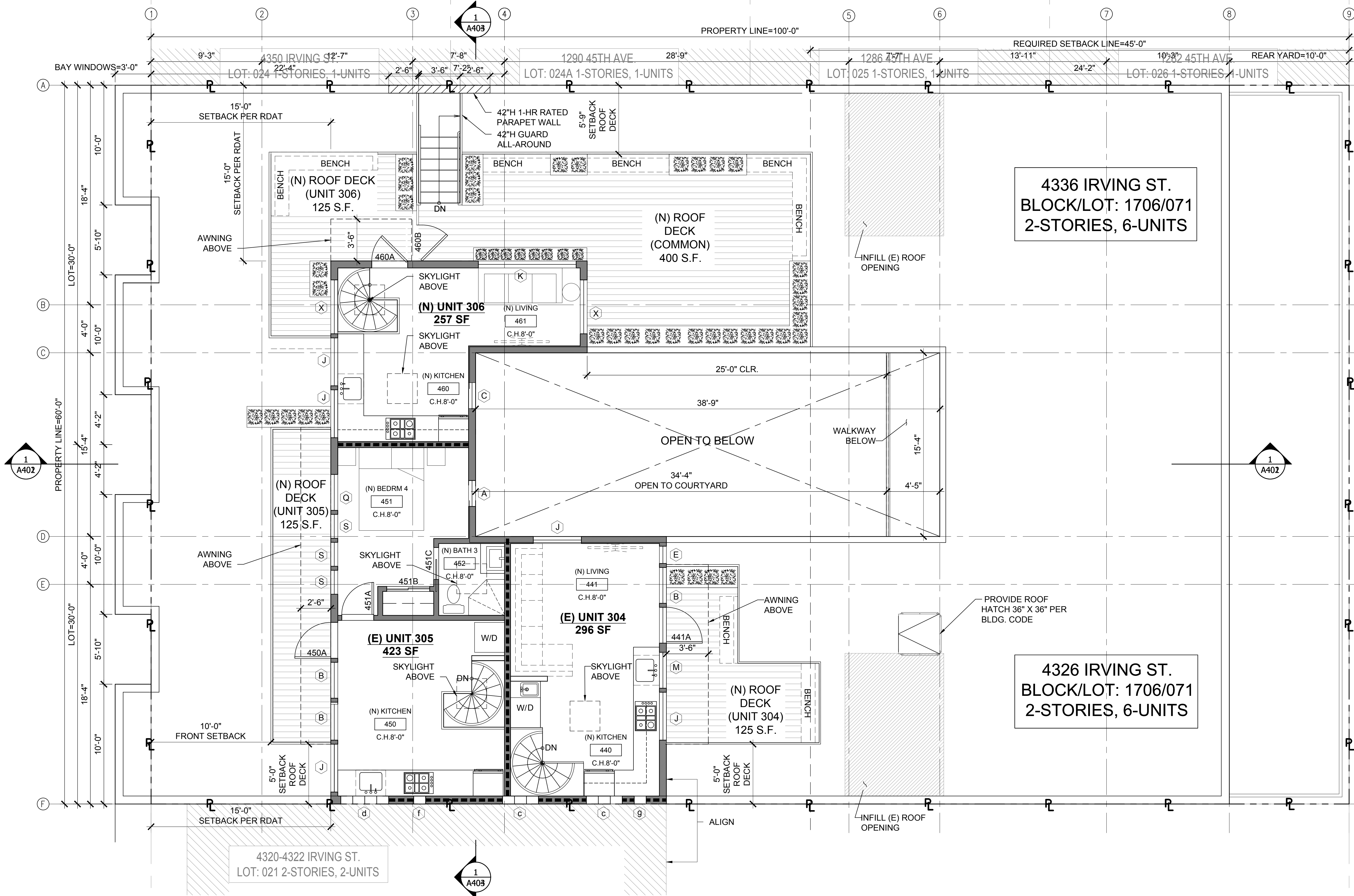
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FILE: 17140_A0100-BID.dwg

DRAWING NO: 15 OF 36

SHEET NO:

A112



THE IRV DEVELOPMENT VERTICAL ADDITION

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BLOCK/LOT: 1706/071



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INSPECTION STAMP

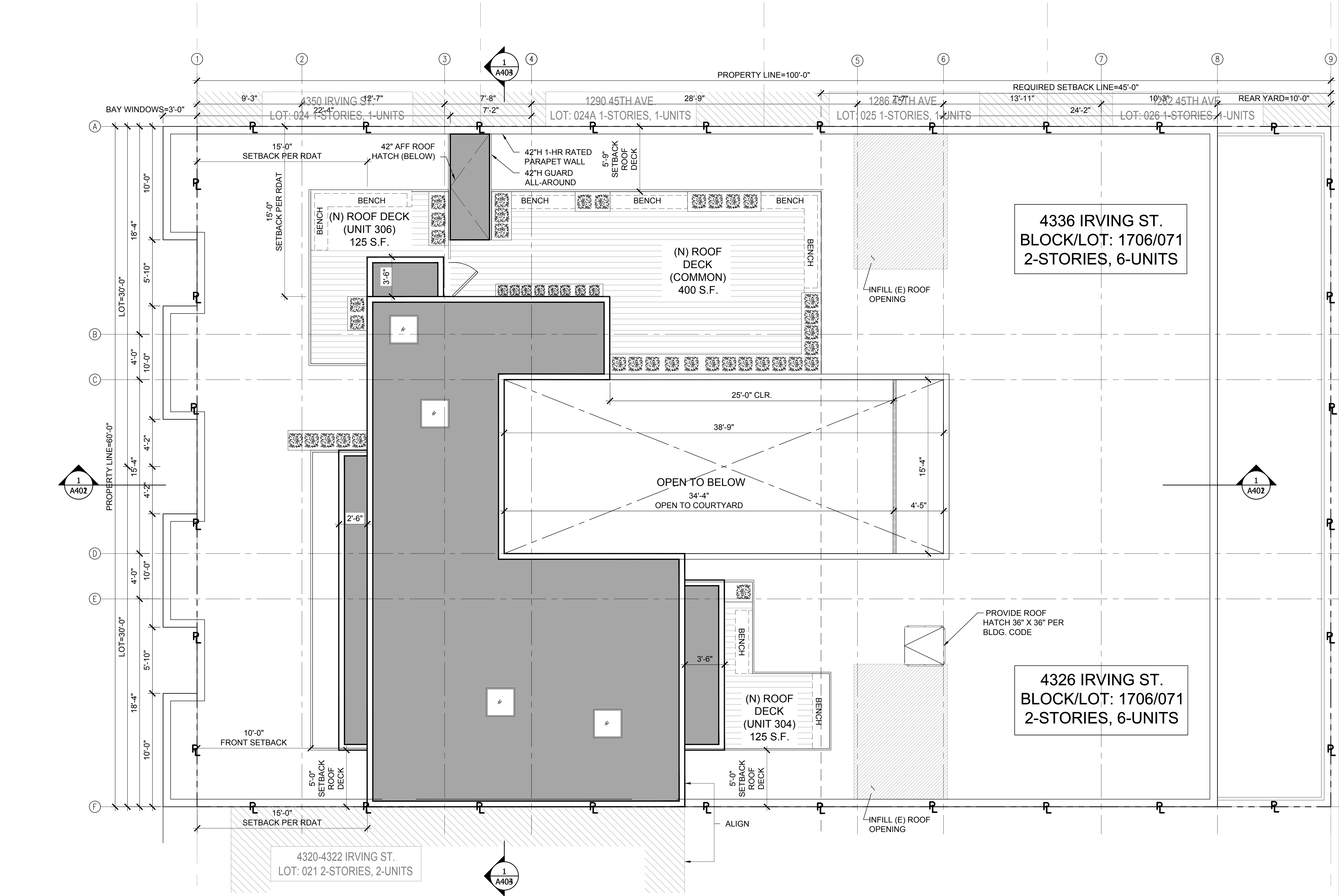
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NO.	DATE	DESCRIPTION
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2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
4	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

(N) ROOF PLAN

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 09/14/20
DRAWN BY: DMA / DRG
FILE: 17140_A0100-BID.dwg
DRAWING NO: 16 OF 36
SHEET NO:

A113



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**THE IRV
 DEVELOPMENT**
 4326 - 4336 IRVING ST.
 SAN FRANCISCO
 CA 94122

BLOCK/LOT: 1706/051
 & 1706/050



REVISIONS		
NO.	DATE	DESCRIPTION
1-1		PROJECT REVIEW MTG

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 STANDARD FOR APPROXIMATE
 CONCEPT

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 Dept. of Building Insp.

APR 25 2019

Tom C. H.
 DEPT. OF BUILDING INSPECTION

MB 1/23/19
 Approved Planning Dept. Marcia Rodriguez

Jason Woo, SFPD
 JAN 30 2019

Joe Ng, DBI
 APR 11 2019

SHEET TITLE
**(E) & (N)
 FRONT ELEVATIONS
 - ADU PERMIT**

JOB NO 17140
 SCALE 1/4"=1'-0" DATE 11/5/18
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 DRAWING NO 12 OF 27
 SHEET NO

A300

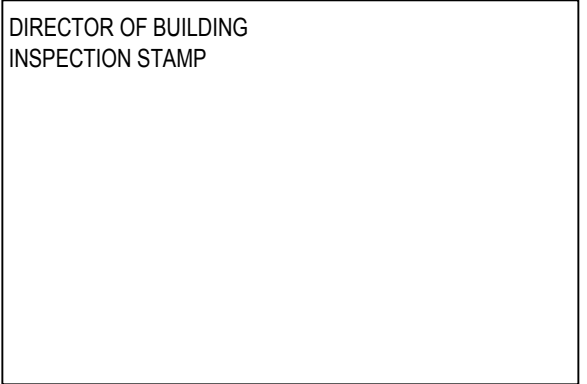
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REF. BPA# 2018-1116-6157 (ADU)



THE IRV
DEVELOPMENT
VERTICAL ADDITION

4326 - 4336 IRVING ST.
SAN FRANCISCO
CA 94122
BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
4	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

(N) REVISED
FRONT ELEVATION

JOB NO: 17140

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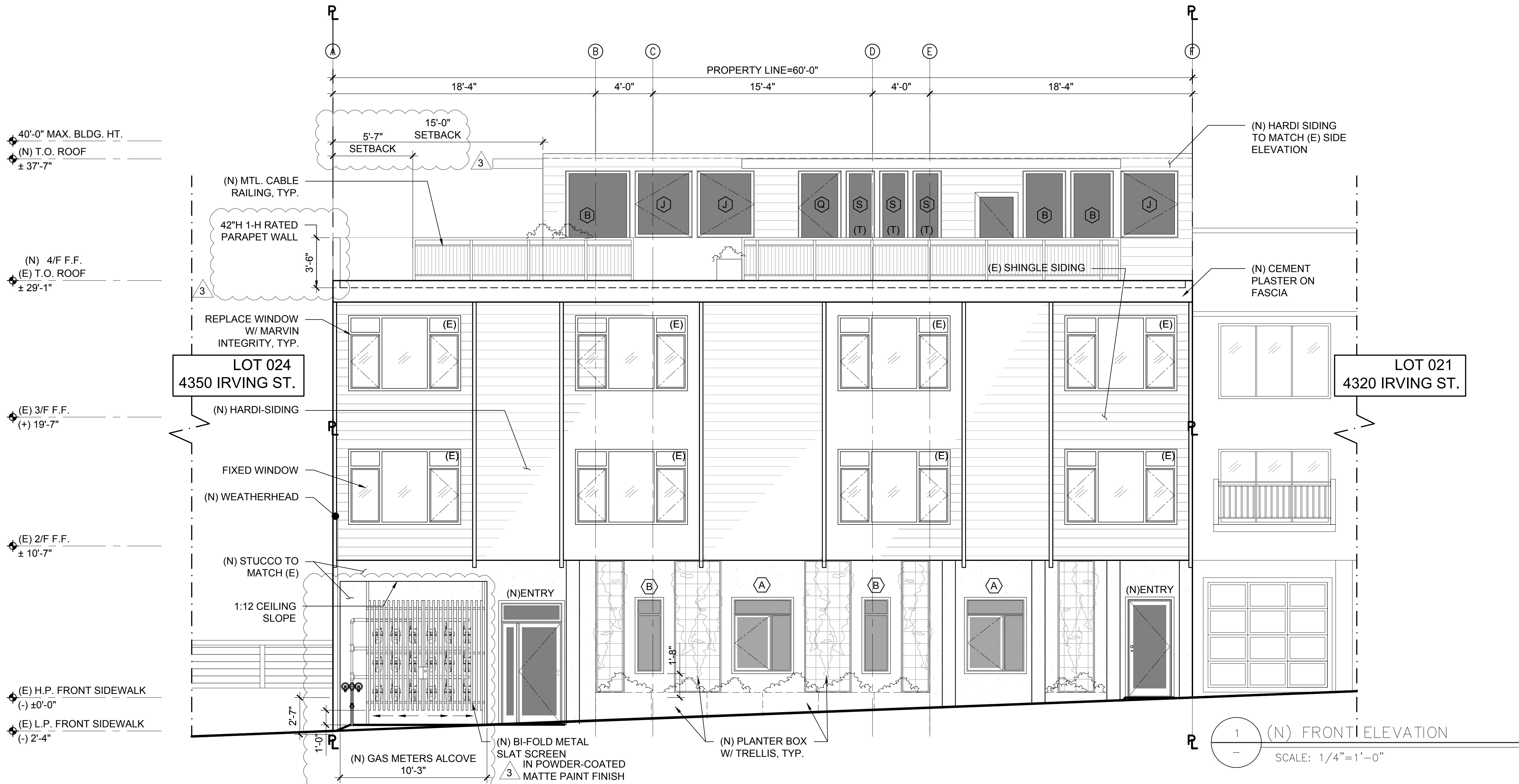
DRAWN BY: DMA / DRG

FILE: 17140_A300-bid.dwg

DRAWING NO: 18 OF 36

SHEET NO:

A301





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REVISIONS		
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1-1		PROJECT REVIEW MTG

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Dept. of Building Insp.

APR 25 2019

Tom C. Hsu
DIRECTOR
DEPT. OF BUILDING INSPECTION

SHEET TITLE

(E) & (N)
REAR ELEVATIONS
- ADU PERMIT

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 11/5/18
DRAWN BY: DMAYB
FILE: 17140_A0100.dwg
DRAWING NO: 13 OF 27
SHEET NO:

A301

Jason Woo, SFPD
JAN 9 2019

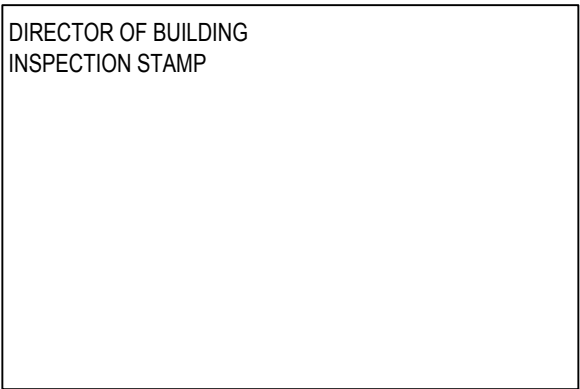
Jon Ng, DBI
APR 11 2019



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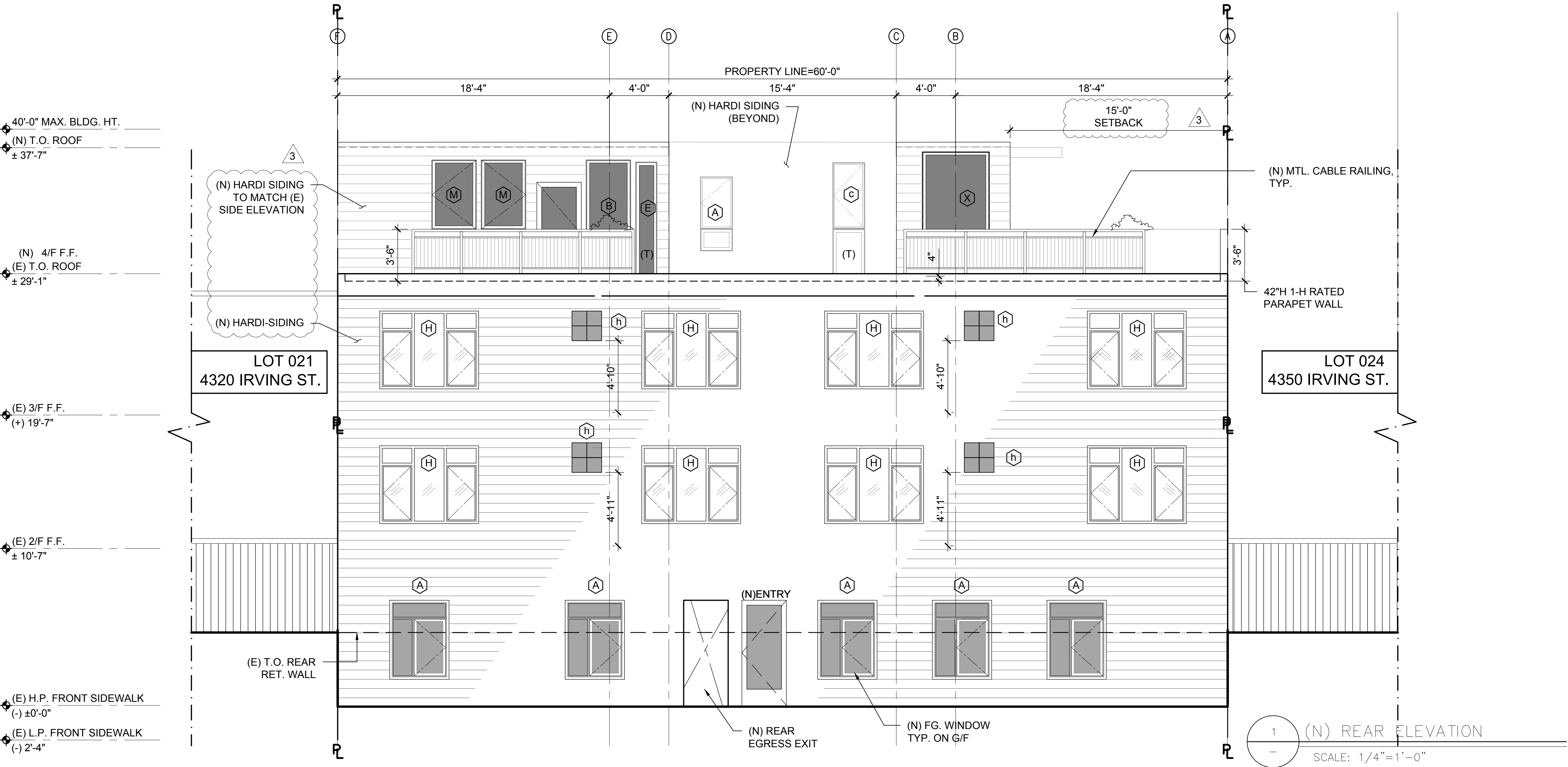
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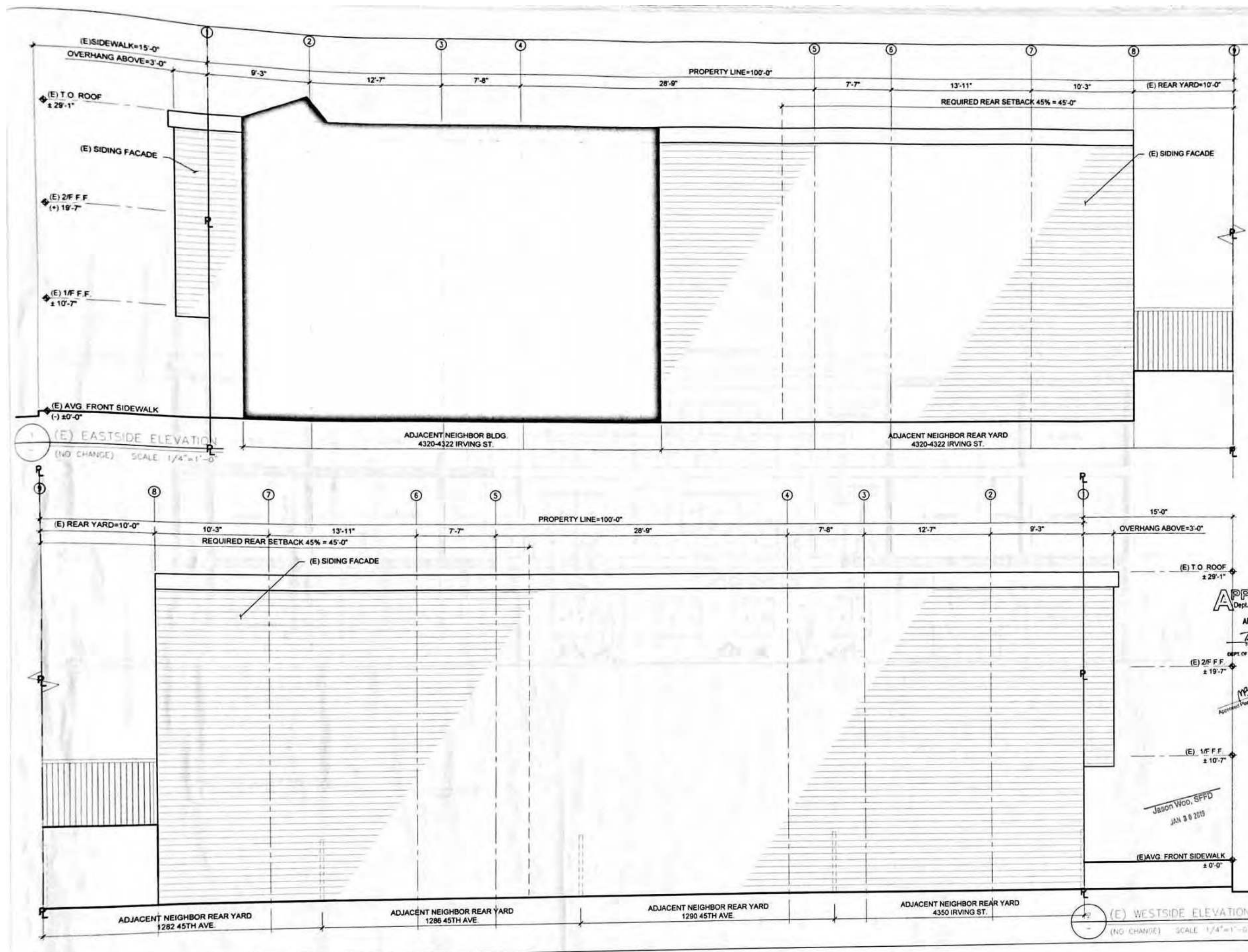
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BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
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SHEET TITLE	
(N)REVISED REAR ELEVATION	
JOB NO:	17140
SCALE:	1/4"=1'-0" DATE: 09/14/20
DRAWN BY:	DMA / DRG
FILE:	17140_A300-bid.dwg
DRAWING NO:	20 OF 36
SHEET NO:	A302





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REVISIONS		
NO	DATE	DESCRIPTION
1	11/11/18	PROJECT REVIEW MTG

APPROVED
Dept. of Building Insp.
APR 15 2019
Tom C. Lee
DIRECTOR
DEPT. OF BUILDING INSPECTION
MB 1/23/19
Approved Planning Dept. Marcia Buckman

RECEIVED
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR REPRODUCTION
ACCEPTED
Jon Ng, DBI
APR 11 2019

SHEET TITLE
**(E) EAST & WEST
ELEVATIONS
- ADU PERMIT**

JOB NO	17140
SCALE	1/4"=1'-0" DATE 11/5/18
DRAWN BY	DMA/YB
FILE	17140_A0100.dwg
DRAWING NO	14 OF 27
SHEET NO	

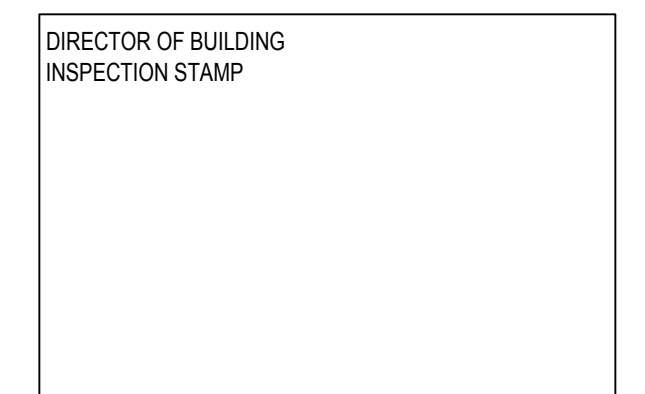
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BLOCK/LOT: 1706/071

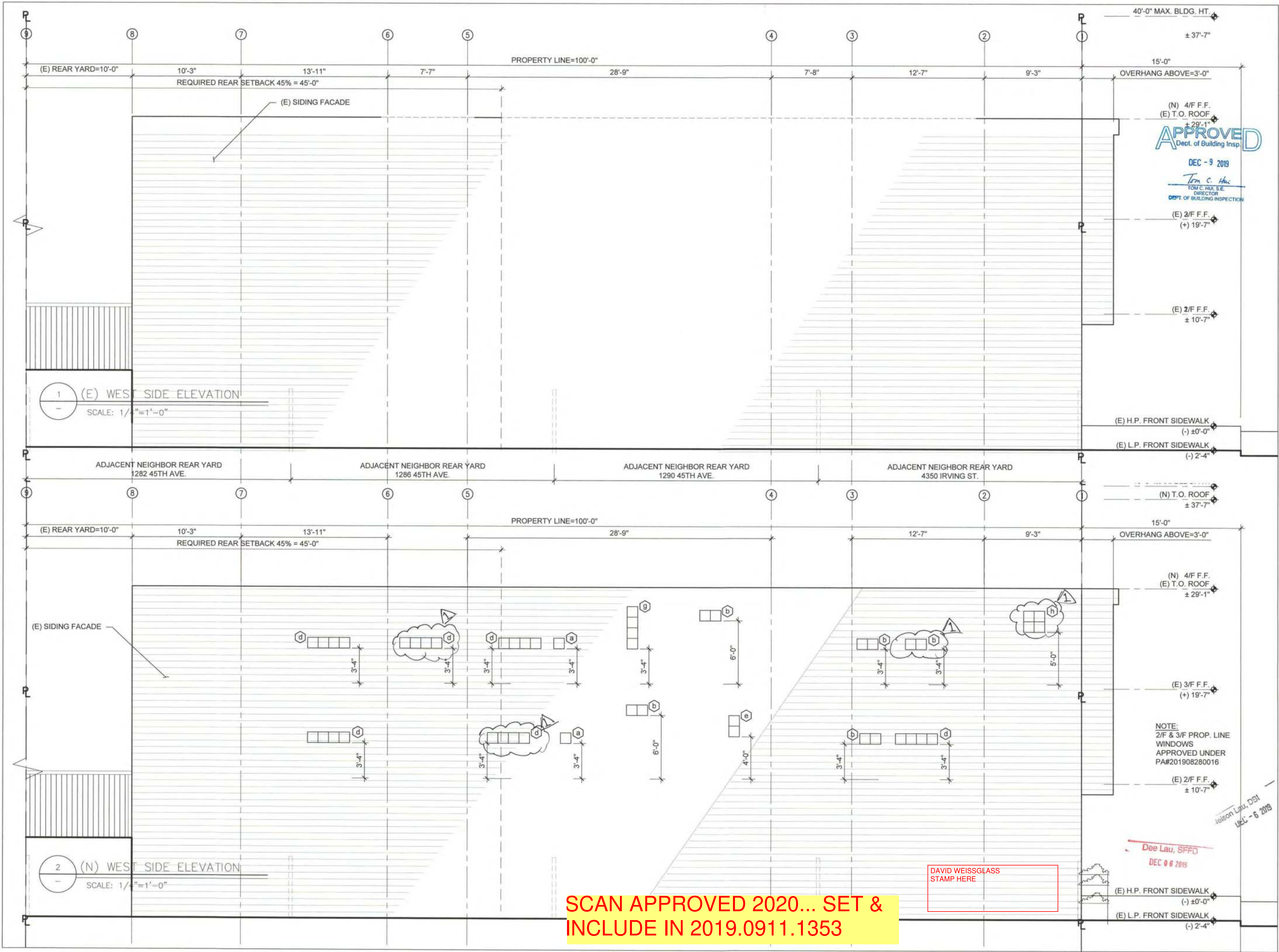


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1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
	09/ / 20	REVISION PER PLANNING HEARING

(N)REVISED
WEST
ELEVATION

A304





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1	11/18/19	PERMIT SUBMITTAL



SHEET TITLE

(E) & (N) SIDE ELEVATIONS WEST

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A300-STRUCTURAL REVISION.dwg
DRAWING NO: 13 OF 42
SHEET NO:

A303

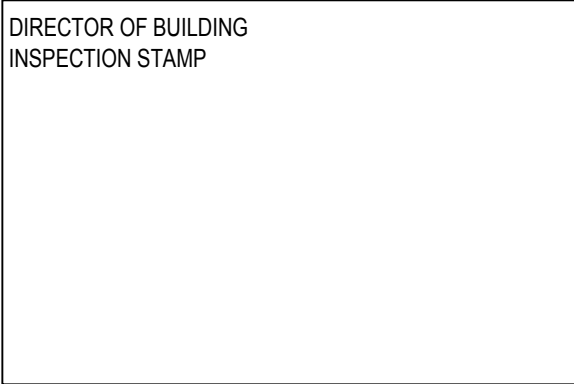
SCAN APPROVED 2020... SET &
INCLUDE IN 2019.0911.1353

DAVID WEISSGLASS
STAMP HERE

REF. BPA# 2020.0204.3524

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VERTICAL ADDITION

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BLOCK/LOT: 1706/071



REVISIONS

NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
3	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

(N)REVISED
WEST
ELEVATION

JOB NO: 17140

SCALE: 1/4"=1'-0" DATE: 09/14/20

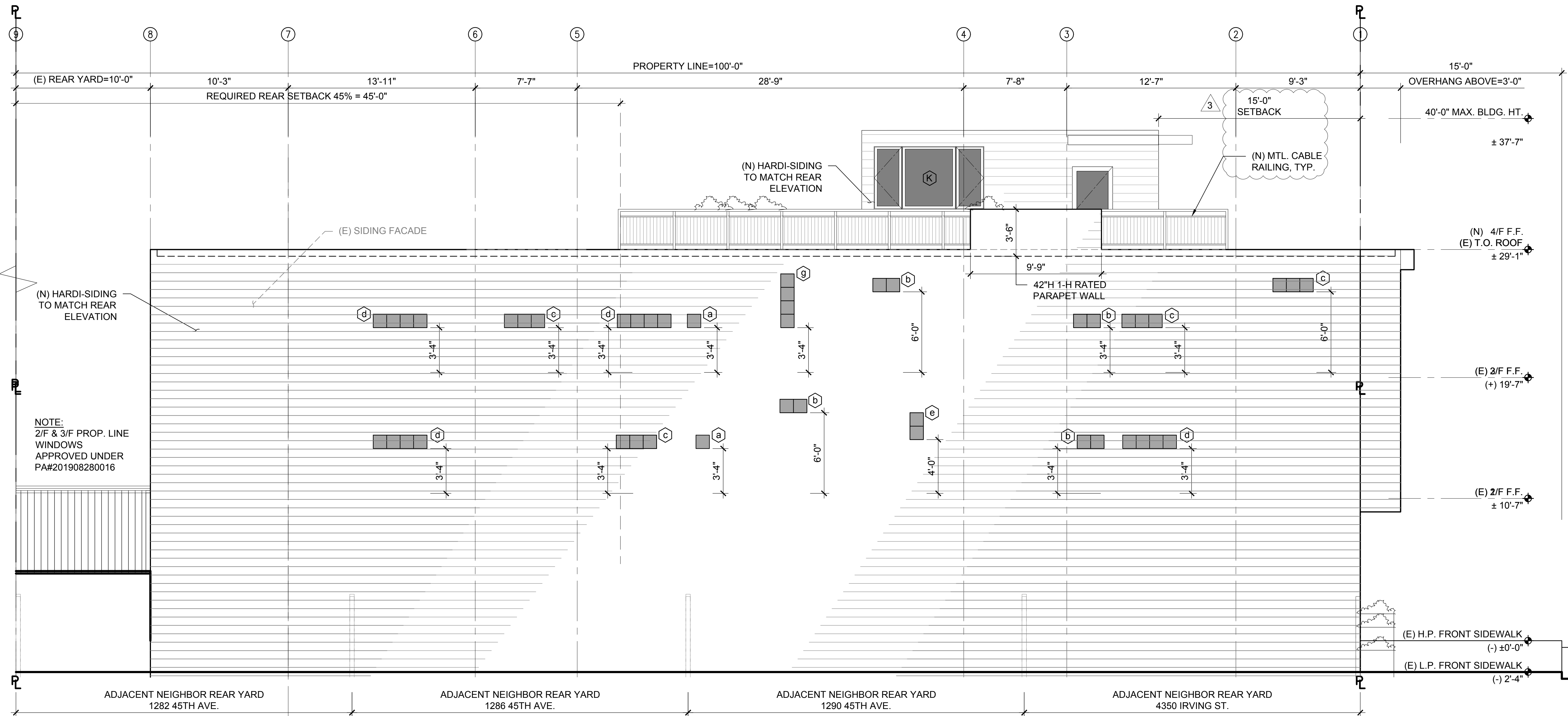
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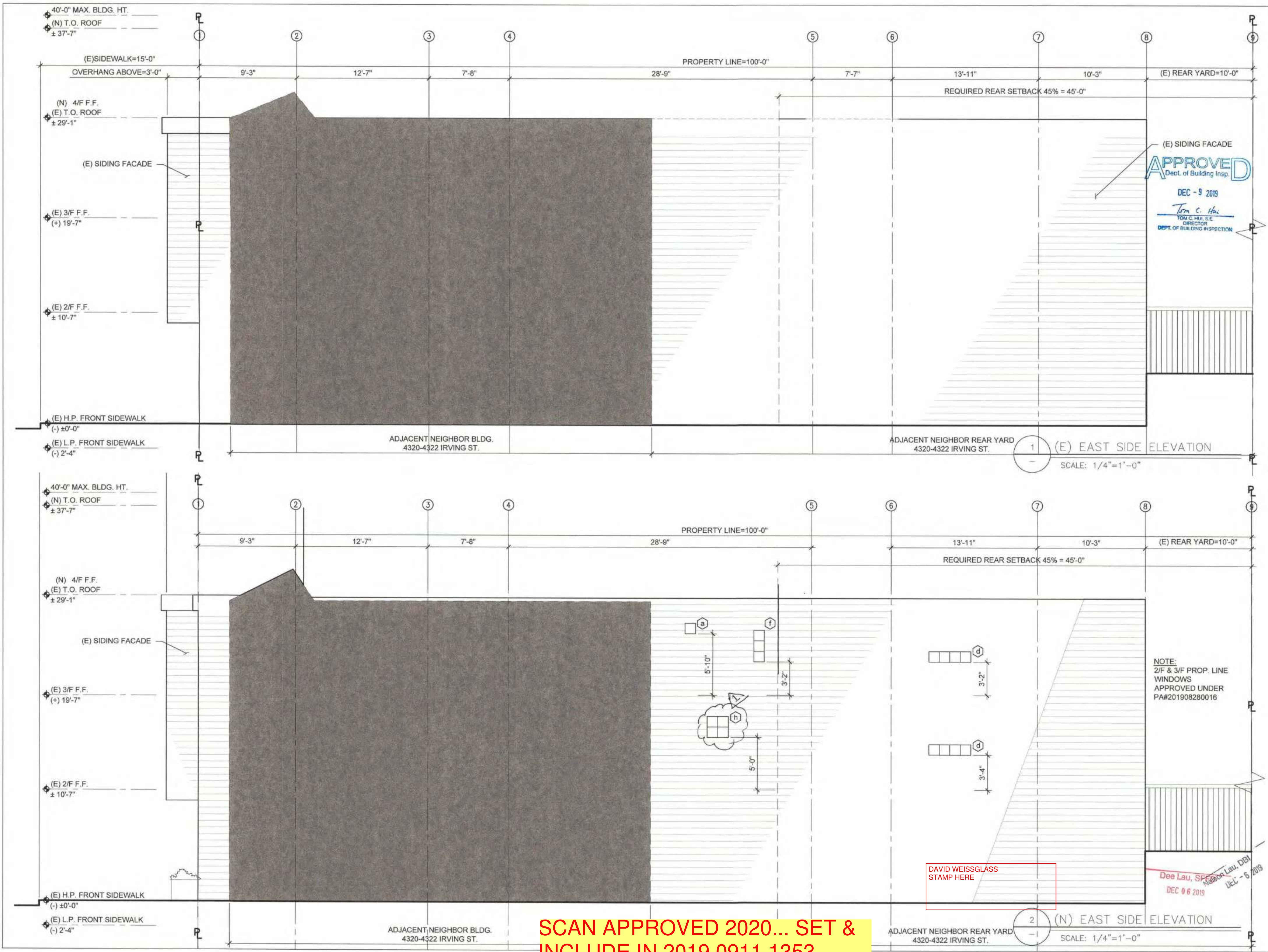
DRAWING NO: 22 OF 36

SHEET NO:

A304



1 (N) WEST SIDE ELEVATION
SCALE: 1/4"=1'-0"



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REVISIONS		
NO.	DATE	DESCRIPTION
1	11/18/19	PERMIT SUBMITTAL



SHEET TITLE

**(E) & (N)
SIDE ELEVATIONS
EAST**

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A300-STRUCTURAL REVISION.dwg.dwg
DRAWING NO: 14 OF 42
SHEET NO:

A304

SCAN APPROVED 2020... SET &
INCLUDE IN 2019.0911.1353

REF. BPA# 2020.0204.3524

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NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
3	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

(N)REVISED
EAST
ELEVATION

JOB NO: 17140

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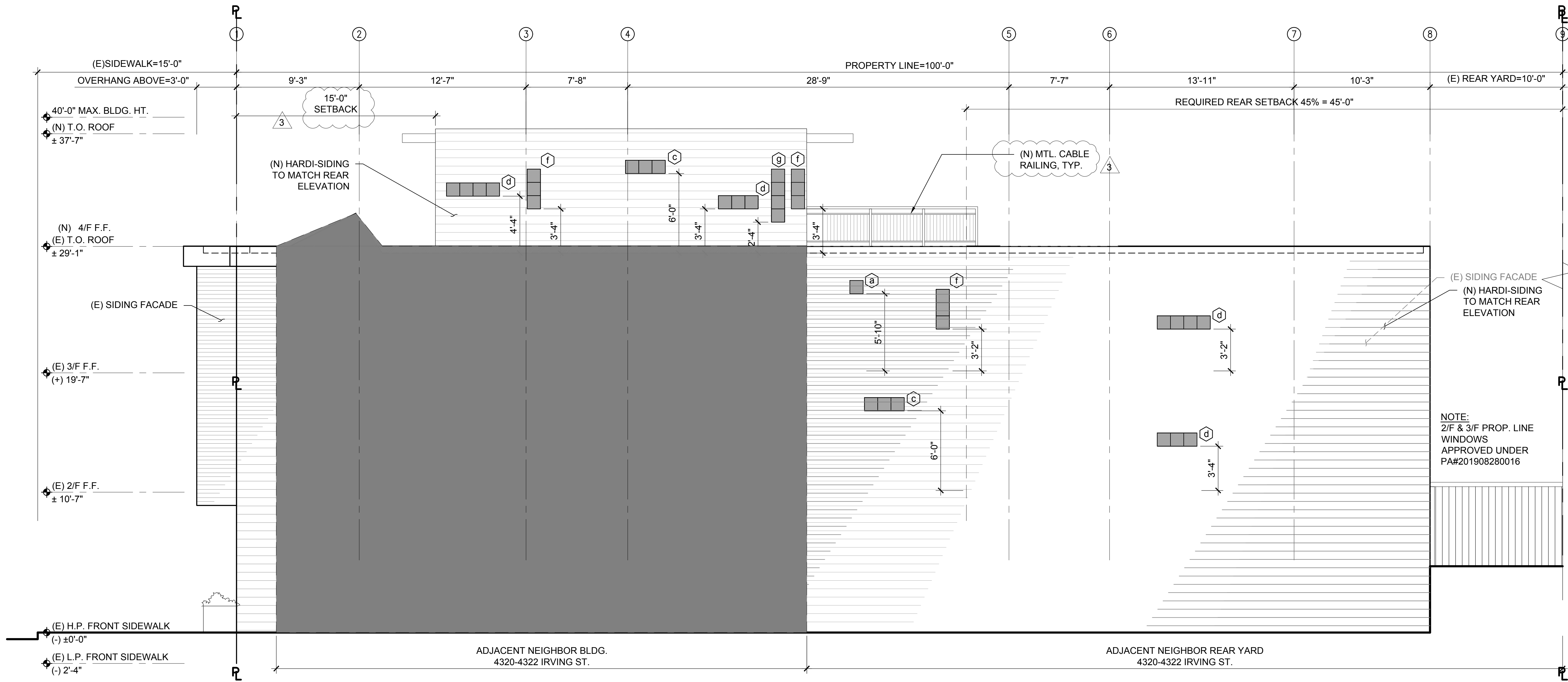
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FILE: 17140_A300-bid.dwg

DRAWING NO: 24 OF 36

SHEET NO:

A305



1 (N) EAST SIDE ELEVATION
SCALE: 1/4"=1'-0"

DEC - 9 2019

Tom C. Hui
TOM C. HUI, S.E.
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NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL



SHEET TITLE

(E) BUILDING SECTION
- LONGITUDINAL

JOB NO: 17140

SCALE: 1/4"=1'-0"

DATE: 11/18/19

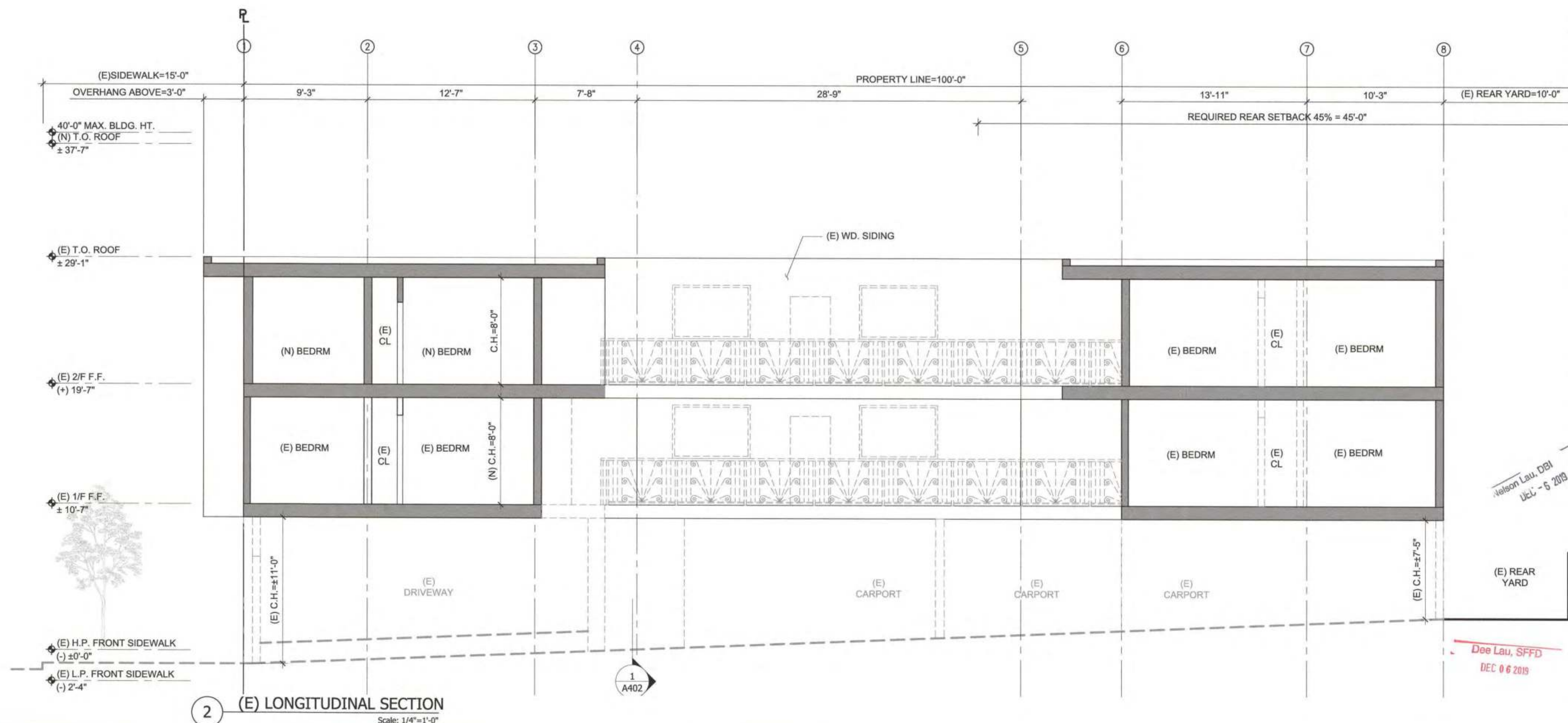
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DRAWING NO: 15 OF 42

SHEET NO:

A401

REF. BPA#2019.1118.7535
11/15/2019 2

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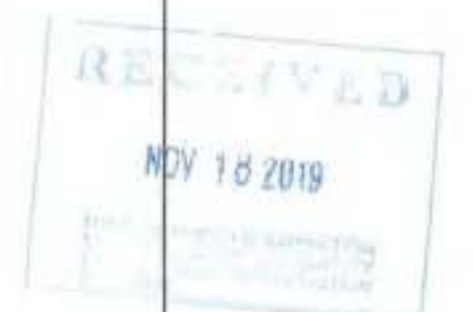
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NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL

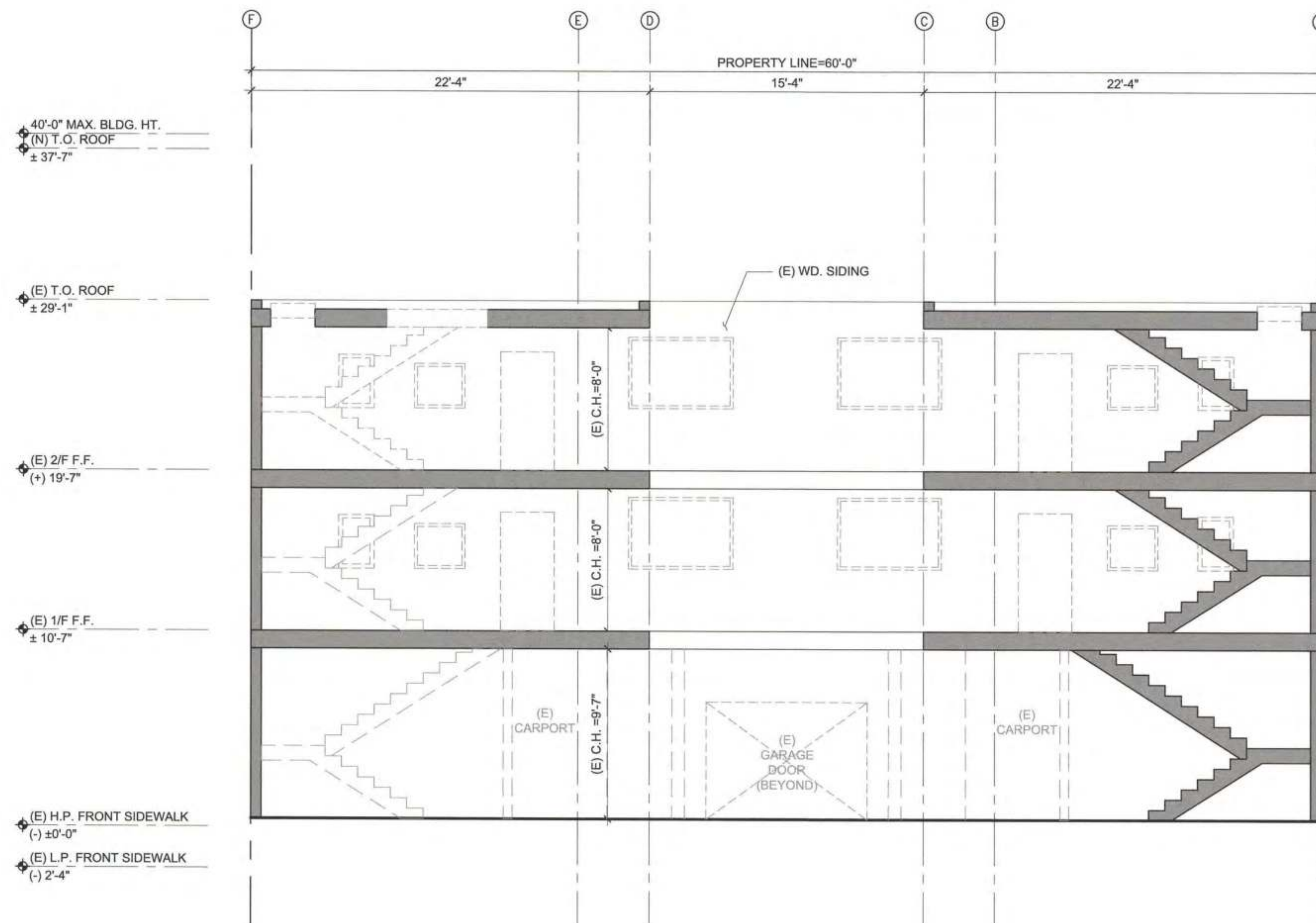


SHEET TITLE

(E) BUILDING SECTION -TRANSVERSE

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SCALE: 1/4"=1'-0" DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A400-STRUCTURAL REVISION.dwg
DRAWING NO: 16 OF 42
SHEET NO:

A402



2

(E) TRANSVERSE SECTION

Scale: 1/4"=1'-0"

Jelson Lau, DBI
DEC - 6 2019

Dee Lau, SFFD
DEC 06 2019

REF. BPA#2019.1118.7535
11/15/2019 2

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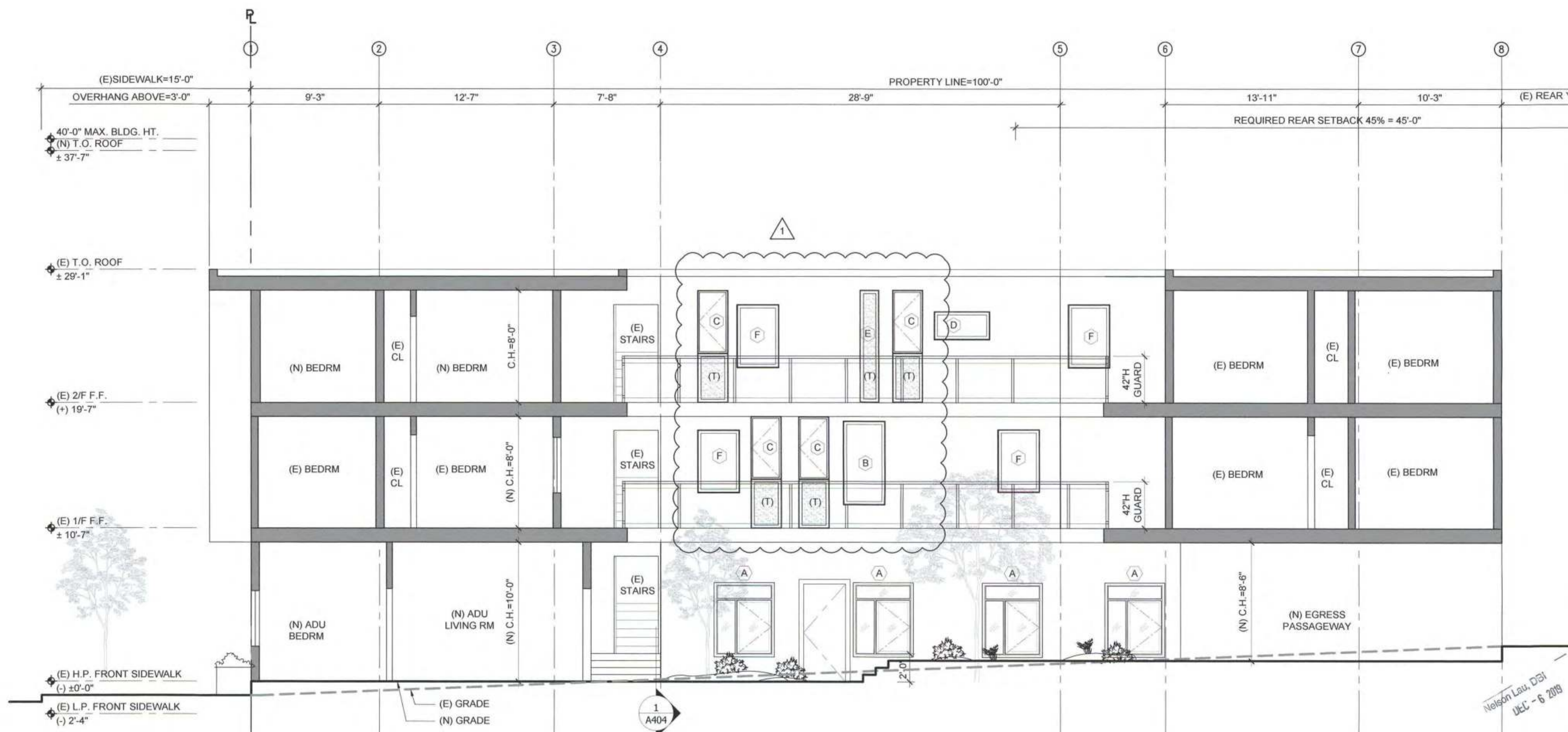
REVISIONS		
NO.	DATE	DESCRIPTION
1	11/18/19	PERMIT SUBMITTAL
1	12/04/19	RESPONSE TO BUILD. PCC



SHEET TITLE (N) BUILDING SECTION -LONGITUDINAL

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A400-STRUCTURAL REVISION.dwg
DRAWING NO: 17 OF 42
SHEET NO:

A 403



Nelson Lau, DE
DEC - 6 2019

Dee Lau, SFFD
DEC - 6 2019

2 (N) LONGITUDINAL SECTION
Scale: 1/4"=1'-0"

REF. BPA#2019.1118.7535

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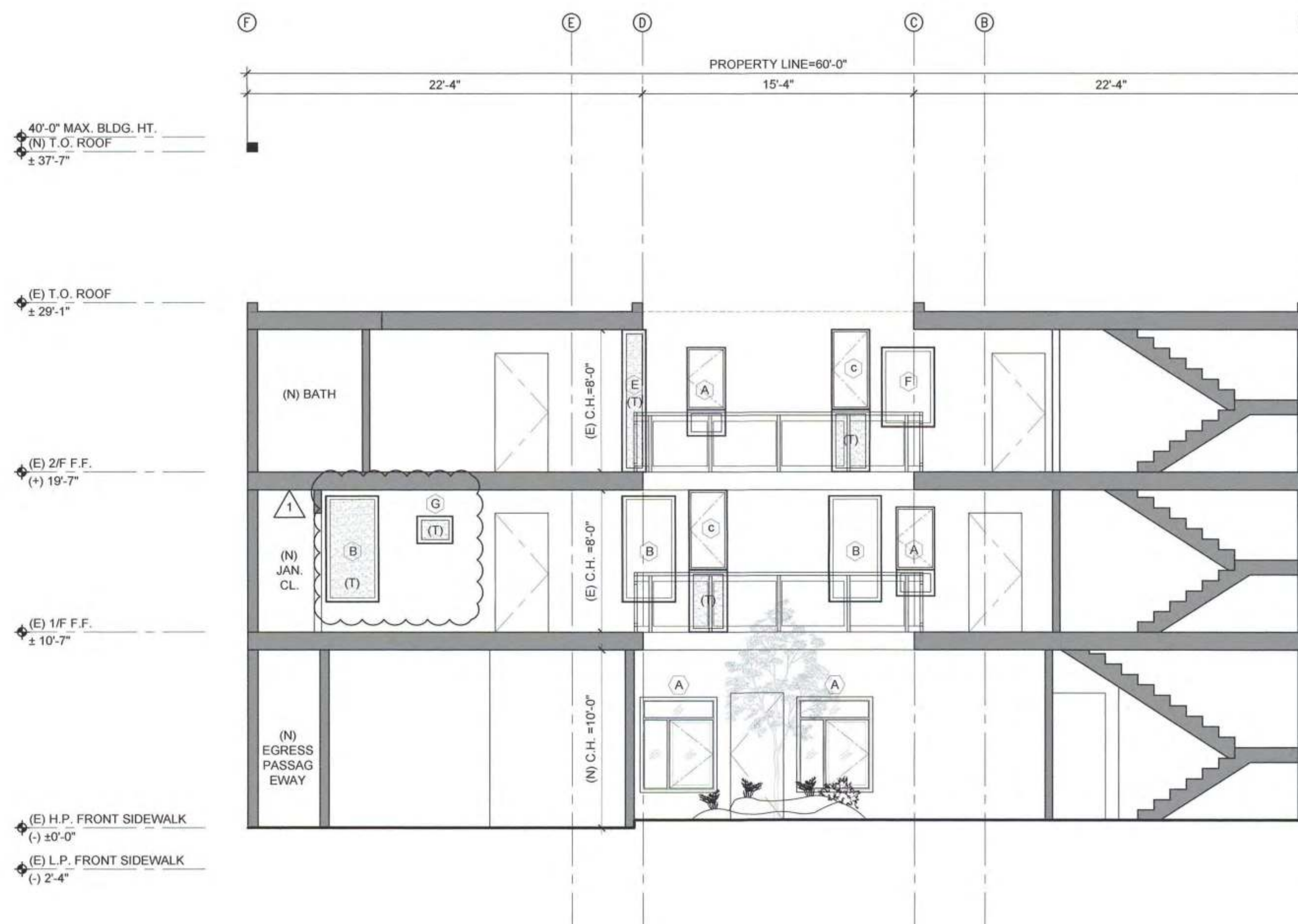
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NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL
1	12/04/19	RESPONSE TO BUILD. PCC

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SHEET TITLE (N) BUILDING SECTION -TRANSVERSE

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17-140 A400-STRUCTURAL REVISION.dwg
DRAWING NO: 18 OF 42
SHEET NO:

A 404



Dee Lau, DSI
DEC - 6 2019

Dee Lau, SFFD
DEC 06 2019

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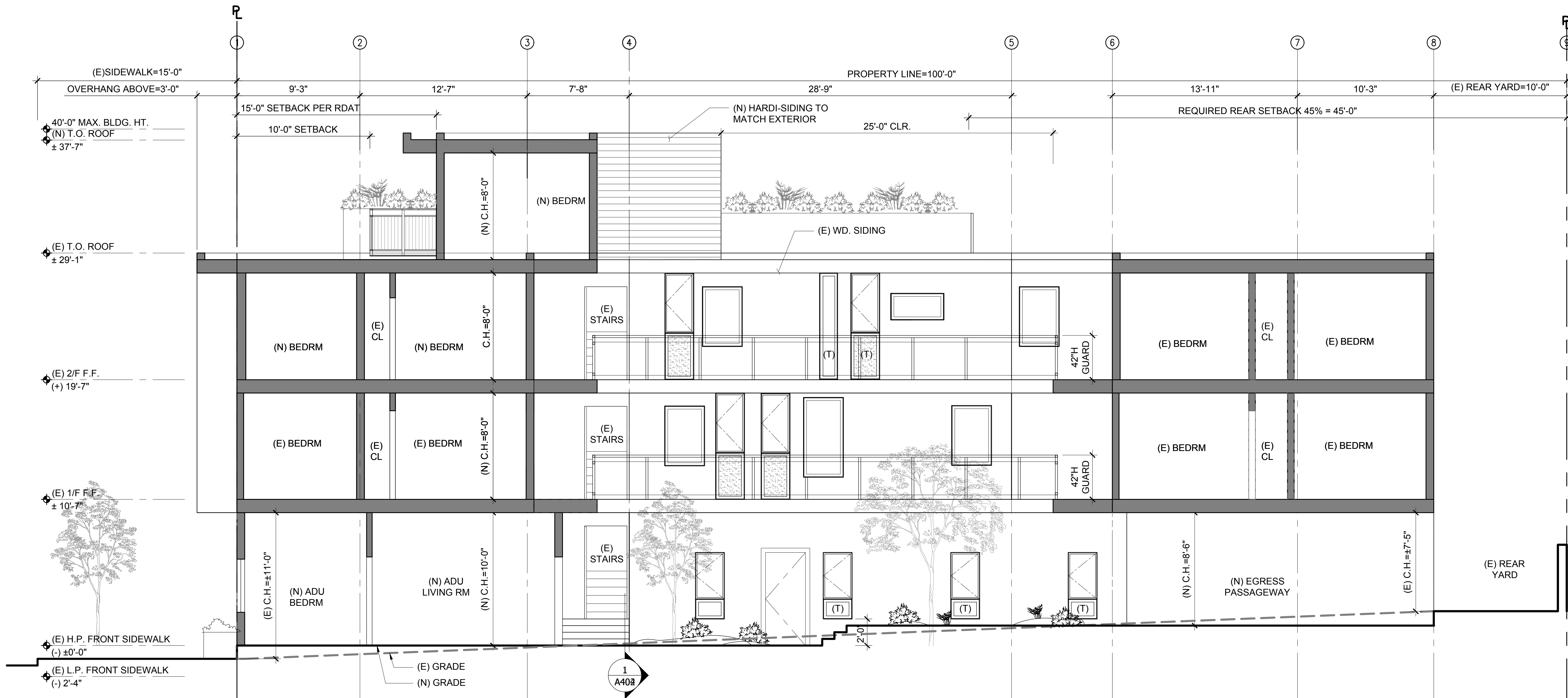
NO.	DATE	DESCRIPTION
1	09/03/19	PRE-APP MTG W/ BLDG & FIRE
2	09/05/19	PERMIT SUBMITTAL
3	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
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SHEET TITLE

REVISED (N)
BUILDING SECTION
-LONGITUDINAL

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 09/14/20
DRAWN BY: DMA / DRG
FILE: 17-140 A400.dwg
DRAWING NO: 26 OF 36
SHEET NO:

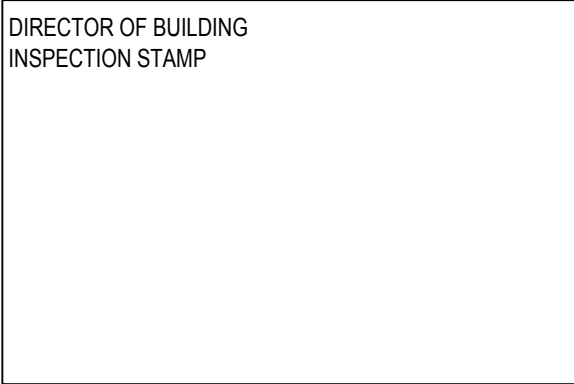
A405



2 (N) LONGITUDINAL SECTION
Scale: 1/4"=1'-0"

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BLOCK/LOT: 1706/071



REVISIONS

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SHEET TITLE

REVISED (N)
BUILDING SECTION
-TRANSVERSE

JOB NO: 17140

SCALE: 1/4"=1'-0"

DATE: 09/14/20

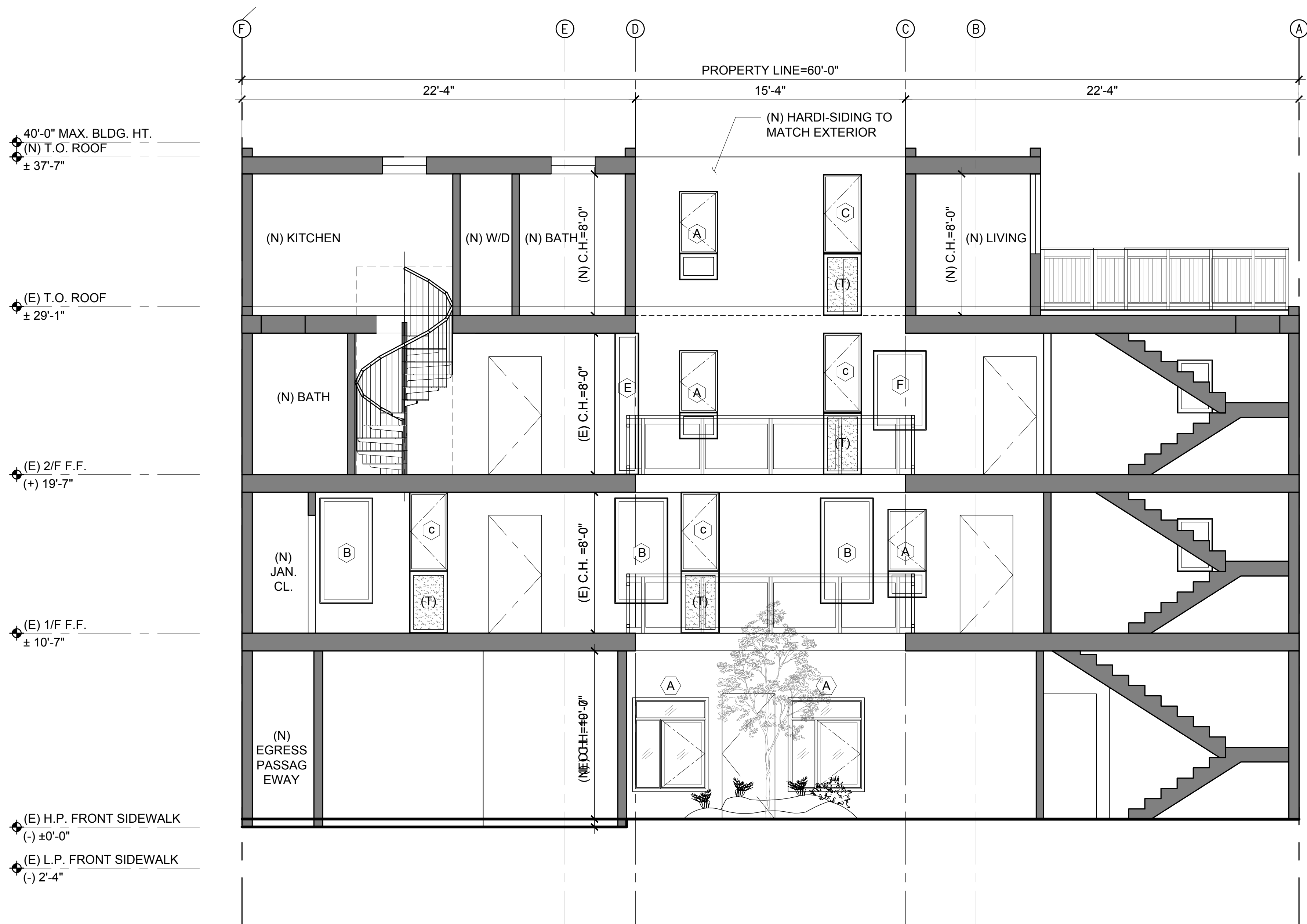
DRAWN BY: DMA / DRG

FILE: 17-140 A400.dwg

DRAWING NO: 28 OF 36

SHEET NO:

A406



40'-0" MAX. BLDG. HT.
(N) T.O. ROOF
± 37'-7"

(E) T.O. ROOF
± 29'-1"

(E) 2/F F.F.
(+) 19'-7"

(E) 1/F F.F.
± 10'-7"

(E) H.P. FRONT SIDEWALK
(-) ±0'-0"

(E) L.P. FRONT SIDEWALK
(-) 2'-4"

				EXTERIOR WALL SCHEDULE(ACCESSIBLE)		INTERIOR PARTITION SCHEDULE(1HR)			
				PLAN DETAIL	DESCRIPTION	PLAN DETAIL	DESCRIPTION		
					EXTERIOR 1 HR FIRE RATED WALL - UL DESIGN NO. U356 1)5/8" "QUIET ROCK 530 RF" 2) "ISOTRAX" RESILIENT CHANNEL 3) 2X6 STUDS @ 16" O.C. S.S.D 4) "COMFORTBATT" BATT INSULATION BY ROCKWOOL 5) (E)5/8" EXTERIOR PLYWOOD SHEATHING 6) (E) STUCCO WALL ASSEMBLY		INTERIOR 1 HR RATED PARTIAL HEIGHT WALL - UL DESIGN NO. U337 1)5/8" TYPE 'X' GYP. BD. W/ #6 BUGLEHEAD SCREWS 8" O.C. 2)2X6 STUDS @ 16" O.C. S.S.D 3)"ULTRA TOUCH"R-19 DENIM INSULATION 4)5/8" TYPE 'X' GYP. BD. W/ #6 BUGLEHEAD SCREWS 8" O.C.		
					EXTERIOR 1 HR FIRE RATED WALL - UL DESIGN NO. U356 1)5/8" "QUIET ROCK 530 RF" 2) "ISOTRAX" RESILIENT CHANNEL 3) 2X6 STUDS @ 16" O.C. S.S.D 4)"SAFEN SOUND" BATT INSULATION BY ROCKWOOL 5) (E)5/8" EXTERIOR PLYWOOD SHEATHING		INTERIOR 1 HR RATED PARTIAL HEIGHT WALL - UL DESIGN NO. U337 1) 5/8" "QUIET ROCK 530 RF" . W/ #6 BUGLEHEAD SCREWS 8" O.C 2)"ISOTRAX" RESILIENT CHANNEL 3)2X4 STUDS @ 16" O.C. S.S.D 4)"ULTRA TOUCH"R-19 DENIM INSULATION 5) 5/8" "QUIET ROCK 530 RF" . W/ #6 BUGLEHEAD SCREWS 8" O.C		
					EXTERIOR 1 HR FIRE RATED WALL - UL DESIGN NO. U356 1)5/8" "QUIET ROCK 530 RF" 2) "ISOTRAX" RESILIENT CHANNEL 3) 2X6 STUDS @ 16" O.C. S.S.D 4) "COMFORTBATT" BATT INSULATION BY ROCKWOOL 5) (N)5/8" EXTERIOR PLYWOOD SHEATHING 6) 5/8" "SECUROCK" EXTERIOR GYP. BD. 7)"WRAPSHIELD" SA MEMBRANE 8)"WATAIRVENT" FURRING STRIP 9) (N) CEMENTITIOUS PANELS 10)CONTINUOUS BEAD OF SEALANT IN BETWEEN JOINT		INTERIOR 1 HR RATED PARTIAL HEIGHT WALL - UL DESIGN NO. U337 1)5/8" 5/8" "QUIET ROCK 530 RF" BY QUIET ROCK 2)"ISOTRAX" RESILIENT CHANNEL 3)2X4 STAGGERED STUDS @ 16" O.C. S.S.D 4)R-19 "ULTRA TOUCH" INSULATION 5)RESILIENT CHANNEL 6)5/8" "QUIET ROCK 530 RF" BY QUIET ROCK		
					TYP. EXTERIOR WALL (BATH) 1)TILE ON THINSET MORTAR 2)THINSET MORTAR 3)5/8" "DUROCK" BRAND CEMENT BOARD 4)CPE NOBLE SEAL 30MIL SHEET 5)COLD-PATCH ROOFING ASPH HYDROCID 700B 6)5/8" TYPE 'X' W.R. GYP. BD 7)"ISOTRAX" RESILIENT CHANNEL 8)2X6 STUDS @ 16" O.C. S.S.D 9)"SAFEN SOUND" BATT INSULATION BY ROCKWOOL 10)(E)PLYWOOD SHEATHING 11)CONTINUOUS BEAD OF SEALANT IN BETWEEN JOINT		TYP. INTERIOR INTERIOR STAGGERED WALL 1)5/8" 5/8" "QUIET ROCK 530 RF" BY QUIET ROCK 2)"ISOTRAX" RESILIENT CHANNEL 3)2X4 STAGGERED STUDS @ 16" O.C. S.S.D 4)"SAFEN SOUND" BATT INSULATION BY ROCKWOOL 5)RESILIENT CHANNEL 6)5/8" "QUIET ROCK 530 RF" BY QUIET ROCK		
					TYP. EXTERIOR WALL (BATH) 1)TILE ON THINSET MORTAR 2)THINSET MORTAR 3)5/8" "DUROCK" BRAND CEMENT BOARD 4)CPE NOBLE SEAL 30MIL SHEET 5)COLD-PATCH ROOFING ASPH HYDROCID 700B 6)5/8" TYPE 'X' W.R. GYP. BD 7)"ISOTRAX" RESILIENT CHANNEL 8)2X6 STUDS @ 16" O.C. S.S.D 9)"SAFEN SOUND" BATT INSULATION BY ROCKWOOL 10)(E)STUCCO WALL ASSEMBLY 11)CONTINUOUS BEAD OF SEALANT IN BETWEEN JOINT		TYP. INTERIOR WALL (BATH) 1)TILE ON THINSET MORTAR 2)THINSET MORTAR 3)5/8" "DUROCK" BRAND CEMENT BOARD 4)CPE NOBLE SEAL 30MIL SHEET 5)COLD-PATCH ROOFING ASPH HYDROCID 700B 6)5/8" TYPE 'X' W.R. GYP. BD 7)"ISOTRAX" RESILIENT CHANNEL 8)2X4 STUDS @ 16" O.C. S.S.D 9)R"SAFEN SOUND" BATT INSULATION BY ROCKWOOL 10)5/8" TYPE 'X' GYP. BD. W/ #6 BUGLEHEAD SCREWS 8" O.C		
					TYP. EXTERIOR WALL (BATH) 1)TILE ON THINSET MORTAR 2)THINSET MORTAR 3)5/8" "DUROCK" BRAND CEMENT BOARD 4)CPE NOBLE SEAL 30MIL SHEET 5)COLD-PATCH ROOFING ASPH HYDROCID 700B 6)5/8" TYPE 'X' W.R. GYP. BD 7)"ISOTRAX" RESILIENT CHANNEL 8)2X4 STUDS @ 16" O.C. S.S.D 9)"SAFEN SOUND" BATT INSULATION BY ROCKWOOL 10)(N)5/8" EXTERIOR PLYWOOD SHEATHING 11)"WRAPSHIELD" SA MEMBRANE 12)"WATAIRVENT" FURRING STRIP 13)(N)WD SIDING TO MATCH WITH (E) 14)CONTINUOUS BEAD OF SEALANT IN BETWEEN JOINT		TYP. INTERIOR WALL (BATH) 1)TILE ON THINSET MORTAR 2)THINSET MORTAR 3)5/8" "DUROCK" BRAND CEMENT BOARD 4)CPE NOBLE SEAL 30MIL SHEET 5)COLD-PATCH ROOFING ASPH HYDROCID 700B 6) 5/8" TYPE 'X' W.R. GYP. BD 7)"ISOTRAX" RESILIENT CHANNEL 8)2X4 STAGGERED STUDS @ 16" O.C. S.S.D 9)"SAFEN SOUND" BATT INSULATION BY ROCKWOOL 10)RESILIENT CHANNEL 11)5/8" "QUIET ROCK 530 RF" BY QUIET ROCK		
								TYP INTERIOR WALL STAGGERED(BATH) 1)TILE ON THINSET MORTAR 2)THINSET MORTAR 3)5/8" "DUROCK" BRAND CEMENT BOARD 4)CPE NOBLE SEAL 30MIL SHEET 5)COLD-PATCH ROOFING ASPH HYDROCID 700B 6)5/8" TYPE 'X' W.R. GYP. BD 7)"ISOTRAX" RESILIENT CHANNEL 8)2X4 STAGGERED STUDS @ 16" O.C. S.S.D 9)"SAFEN SOUND" BATT INSULATION BY ROCKWOOL 10)RESILIENT CHANNEL 11)5/8" "QUIET ROCK 530 RF" BY QUIET ROCK	

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CA 94122

BLOCK/LOT: 1706/071



DIRECTOR OF BUILDING

INSPECTION STAMP

REVISIONS		
NO.	DATE	DESCRIPTION
1 2 3	09/03/19	PRE-APP MTG W/ BLDG & FIRE
	09/05/19	PERMIT SUBMITTAL
	05/14/20	RESPONSE TO RDAT COMMENTS & OTHER REVISIONS
	09/ /20	REVISION PER PLANNING HEARING

SHEET TITLE

STANDARD
WALL & CEILING
DETAILS

JOB NO: 17140

SCALE: AS SHOWN DATE: 09/14/20

DRAWN BY: DMA / DRG

FILE: 17140-A600.dwg

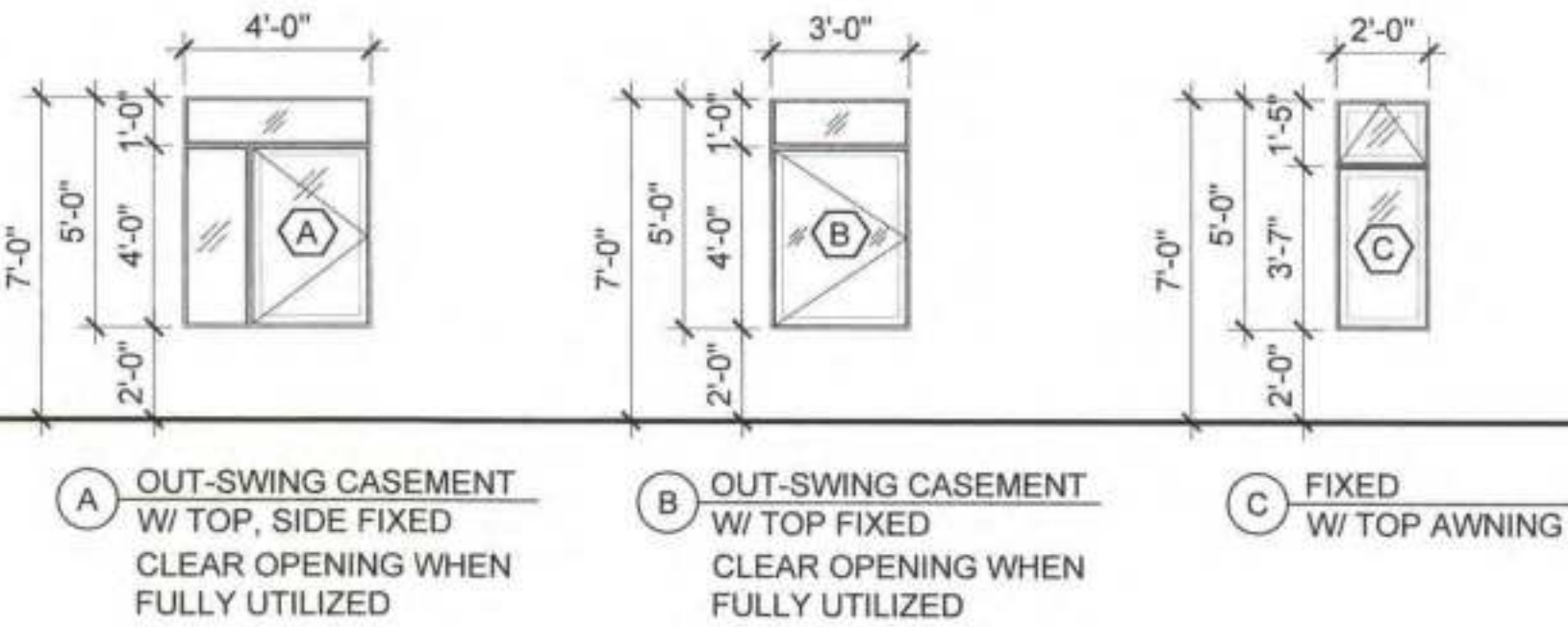
DRAWING NO: 29 OF 36

SHEET NO:

A601

WINDOW SCHEDULE

MARK	W.	H.	HEAD HEIGHT	QT Y.	TYP E	GLASS	FRAME		DETAIL #			R VALUE	SHGC	RATI NG	HDWR. GRP.	REMARKS
							CONS T.	FINIS H	HEA D	JAM B	SILL					
A	4'-0"	5'-0"	7'-0"	17	W1	INSUL. LOW E, FROSTED	FG	PT	2	2	2	0.32-0.36	0.52-0.55	NR	G.1	MARVIN INTEGRITY , OUTSWING
B	1'-8"	5'-0"	7'-0"	2	W3	INSUL. LOW E, FROSTED	FG.	PT	2	2	2	0.32-0.36	0.52-0.55	NR	G.2	MARVIN INTEGRITY , OUTSWING
C	3'-0"	5'-0"	7'-0"	1	W3	INSUL. LOW E, FROSTED	FG.	PT	2	2	2	0.32-0.36	0.52-0.55	NR	G.2	MARVIN INTEGRITY



WINDOW HARDWARE GROUPS:

GROUP 1: 1. MARVIN INTEGRITY FIXED WINDOW 2. MARVIN CASEMENT WINDOW 3. FROSTED GLASS	GROUP 2: 1. MARVIN INTEGRITY FIXED WINDOW 2. MARVIN INTEGRITY AWNING WINDOW 3. FROSTED GLASS	GROUP 3: 1. MARVIN INTEGRITY FIXED WINDOW	GROUP 4: 1. FIRE GLASS 45MIN RATED METAL FRAME AND GLASS BY TGP.
---	---	--	---

HARDWARE NOTES:

1. HINGES TO MATCH DOOR KNOB AND LOCKSET.

2. ALL HARDWARE SHALL BE FLUSHED.

3. PRIVACY SET DOOR KNOB.

4. SINGLE KEYED DEAD BOLT W/ THUMB TURN.

5. BY DESIGNER/OWNER.
- FINISH:

AC ACRYLIC

BSS BRUSHED STAINLESS STEEL

FB FIBERGLASS

GL GLASS

PT PAINT

S STONE

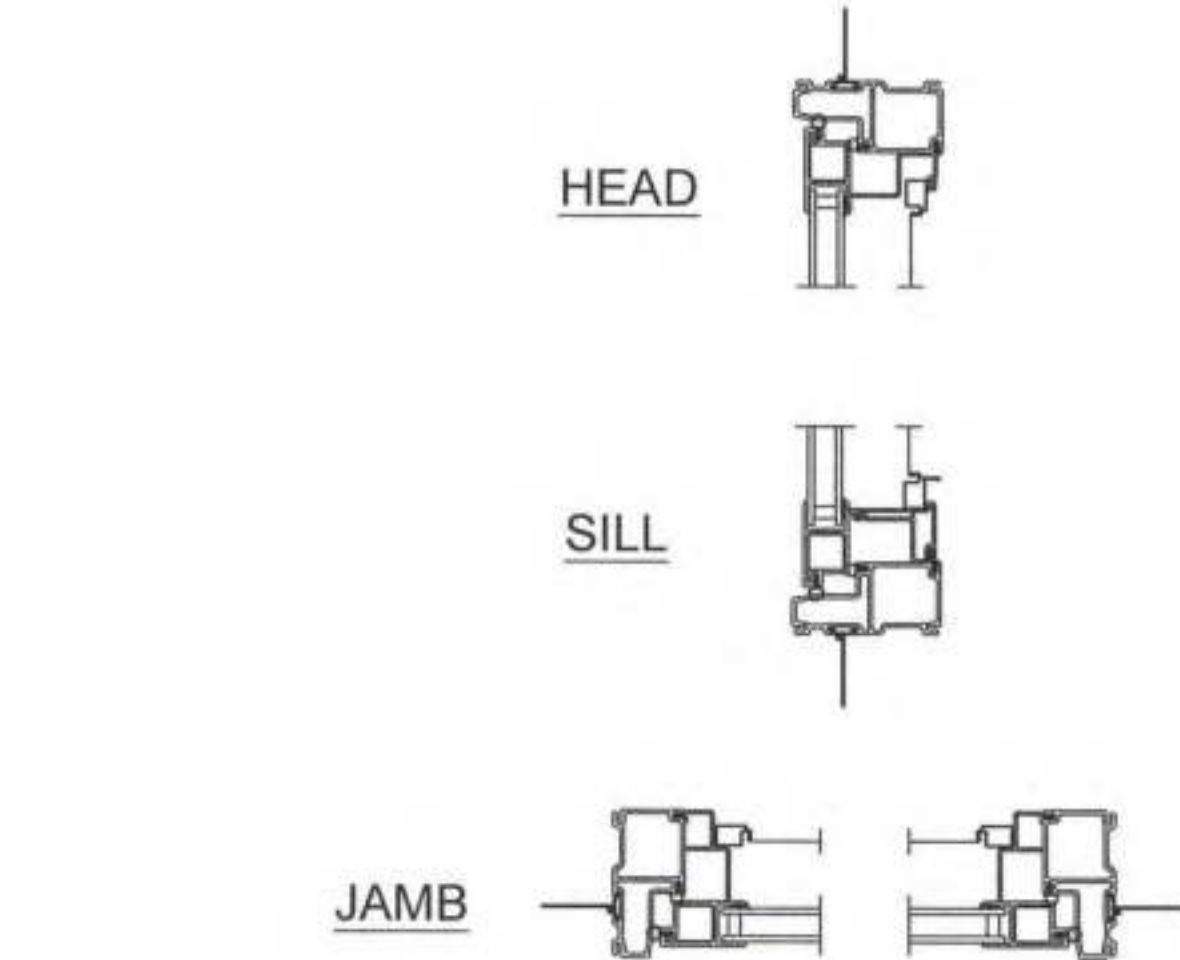
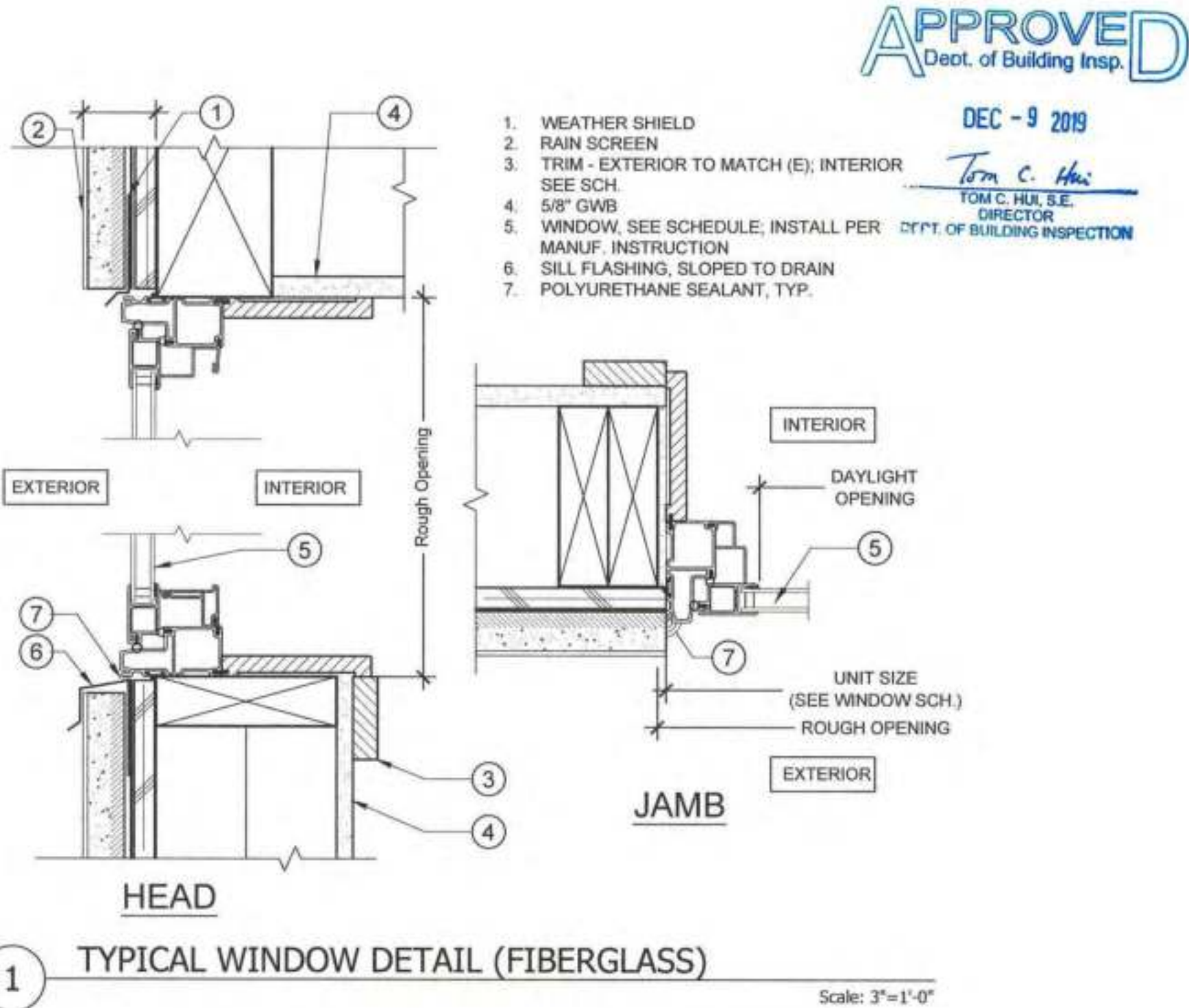
STL STEEL

WD WOOD
- WINDOW RATING:

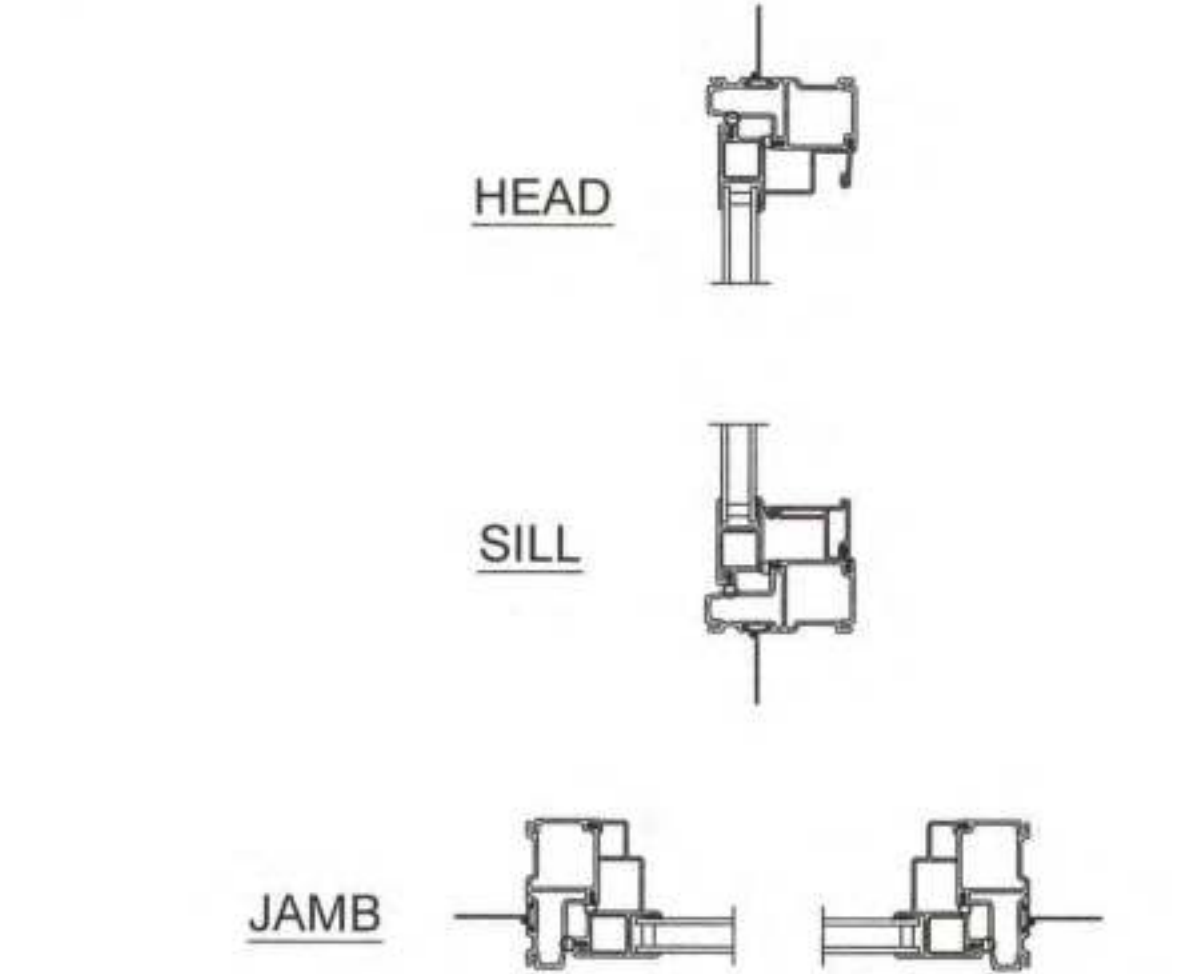
NR NOT RATE

R RATED

PA #201811166157
REFER TO ADU
WINDOWS SCHEDULE AND DETAILS



2 INTEGRITY ALL ULTREX CASEMENT & AWNING OPERATING



3 INTEGRITY ALL ULTREX CASEMENT & AWNING STATIONARY

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CA 94122

BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL



SHEET TITLE

WINDOW SCHEDULE AND DETAILS

JOB NO: 17140

SCALE: AS SHOWN DATE: 11/18/19

DRAWN BY: DMA / DRG

FILE: 17140_A800.dwg

DRAWING NO: 20 OF 42

SHEET NO:

A801-P1

DOOR SCHEDULE

MARK	RM #	RM NAME	DOOR						FRAME			DETAIL #			R VALUE	SHGC	FIRE RATING	HDWR .GRP.	SWING	REMARK S	
			W.	H.	T.	TYPE	CONST.	FINISH	CONST.	MAT.	FINIS H	HEA D	JAM B	SILL							
1ST FLOOR-EXIT DOORS & UTILITY ROOM																					
100A	-	(N) ENTRY LOBBY	3'-0"	6'-8"	1-3/4"	d	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
100A (90mn)	-	(N) EXIT PASS.WAY	3'-0"	6'-8"	1-3/4"	e	D6	PT	STL.	STL.	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
100C	-	(N) BLDG STORAGE	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		
101A (45mn)	-	WEST STAIRS	3'-0"	6'-8"	1-3/4"	f	D6	PT	STL.	STL.	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ OUT-SWING		
101B (90mn)	-	EAST SATIRS	3'-0"	6'-8"	1-3/4"	e	D6	PT	STL.	STL.	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
160A	160	UTILITY ROOM	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
160B	160	UTILITY ROOM	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
1ST FLOOR-UNIT: 101																					
110A	110	LIV/DIN/KTC	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
110B	110	LIV/DIN/KTC CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
111A	111	(N) BED4	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
111B	111	(N) BED4 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
112A	112	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
113A	113	(N) BATH3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
114A	114	(N) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
114B	114	(N) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
115A	115	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
116A	116	(N) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
116B	116	(N) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		
117A	117	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
117B	117	(N) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		
1ST FLOOR-UNIT: 102																					
120A	120	(N) BEDRM	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
120B	120	(N) BEDRM TERRACE	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		
121A	121	(N) BATH	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
1ST FLOOR-UNIT: 103																					
130A	130	(N) LIV/KITC	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
130B	130	(N) LIV/KITC CLOSET	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		
131A	131	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
132A	132	(N) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
132B	132	(N) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
133A	133	(N) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
133B	133	(N) BED1 CLOSET	VIC	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
134A	134	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
1ST FLOOR-UNIT: 104																					
140A	140	(N) LIV/KITC	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
140B	140	(N) LIV/KITC CLOSET	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		
141A	141	(N) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
141B	141	(N) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
142A	142	(N) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
142B	142	(N) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
143A	143	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
144A	144	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		

DOOR SCHEDULE

MARK			DOOR						FRAME			DETAIL #			R VALUE	SHGC	FIRE RATING	HDWR .GRP.	SWING	REMARK S	
	RM #	RM NAME	W.	H.	T.	TYPE	CONST.	FINISH	CONST	MAT.	FINIS H	HEA D	JAM B	SILL							
1ST FLOOR-UNIT: 105																					
150A	150	(N) LIV/KITC	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
150B	150	(N) LIV/KITC CLOSET	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		
151A	151	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
151B	151	(N) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
152A	152	(N) BATH3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
153A	153	(N) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
153B	153	(N) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
154A	154	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
155A	155	(N) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
155B	155	(N) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
156A	156	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		



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CA 94122

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NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL



SHEET TITLE

DOOR SCHEDULE

JOB NO: 17140
SCALE: AS SHOWN DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A800.dwg
DRAWING NO: 21 OF 42
SHEET NO:

A802-P1

Nelson Lau, DEPT
DEC - 6 2019

Dee Lau, SFFD
DEC 06 2019

DOOR HARDWARE GROUPS:				
GROUP 1: BATH ROOM LOCK SET 1. SCHLAGE: PLYMOUTH PRIVACY LOCK DOOR KNOB SET POLISHED	GROUP 2: LIVING, BED RM LOCK SET 1. SCHLAGE: PLYMOUTH PRIVACY LOCK DOOR KNOB SET POLISHED	GROUP 3: 1. BELL KNOB BELL HALL&CLOSET LOCK	GROUP 4: 1. SCHLAGE: SINGLE CYLINDER DEADBOLT WITH GREENWICH TRIM 2. GRAINGER: 45MIN RATED DOOR CLOSER 3. SMOKE SEALED	GROUP 5: 1. SCHLAGE: SINGLE CYLINDER DEADBOLT WITH GREENWICH TRIM 2. GRAINGER: 45MIN RATED DOOR 3. SEE GLAZE DETAIL#4.



a WOOD DOOR W/ SINGLE PANEL INSET
b BYPASS/SLIDING,BIFOLD WOOD DOORS W/ SINGLE PANEL INSET
c FG DOOR W/ SINGLE PANEL GLASS
d IN-SWING FG. SINGLE DOOR W/ SINGLE PANEL GLASS AND SIDE LITES + TRANSOMS WINDOWS
e MAGNET. EXIT DOOR 90 min. RATED



f DOBLE MAGNET. EXIT DOOR 45min RATED

PA #201811166157
REFER TO ADU DOOR SCHEDULE AND DETAILS

HARDWARE NOTES:

1. HINGES TO MATCH DOOR KNOB AND LOCKSET.
2. ALL HARDWARE SHALL BE FLUSHED.
3. PRIVACY SET DOOR KNOB.
4. SINGLE KEYED DEAD BOLT W/ THUMB TURN.
5. BY DESIGNER/OWNER.

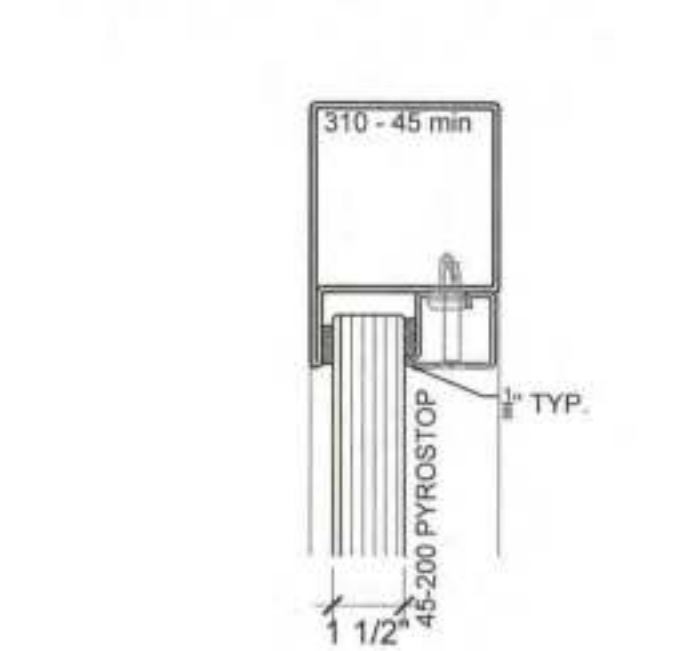
ABBREVIATIONS:

- DOOR CONSTRUCTION:
- D1 FIBERGLASS WITH SINGLE GLASS PANEL (EXTERIOR DOOR)
 - D2 SOLID CORE SINGLE PANEL INSET (INTERIOR DOOR)
 - D3 SOLID CORE, FLUSH
 - D4 SLIDING OR BI-FOLD DOORS WITH SINGLE PANEL INSET
 - D5 SOLID CORE SINGLE PANEL INSET @ 45MIN FIRE RATED
 - D6 TYPICAL RATED EXTERIOR DOOR W/FG FRAME 1HR. RATED GL

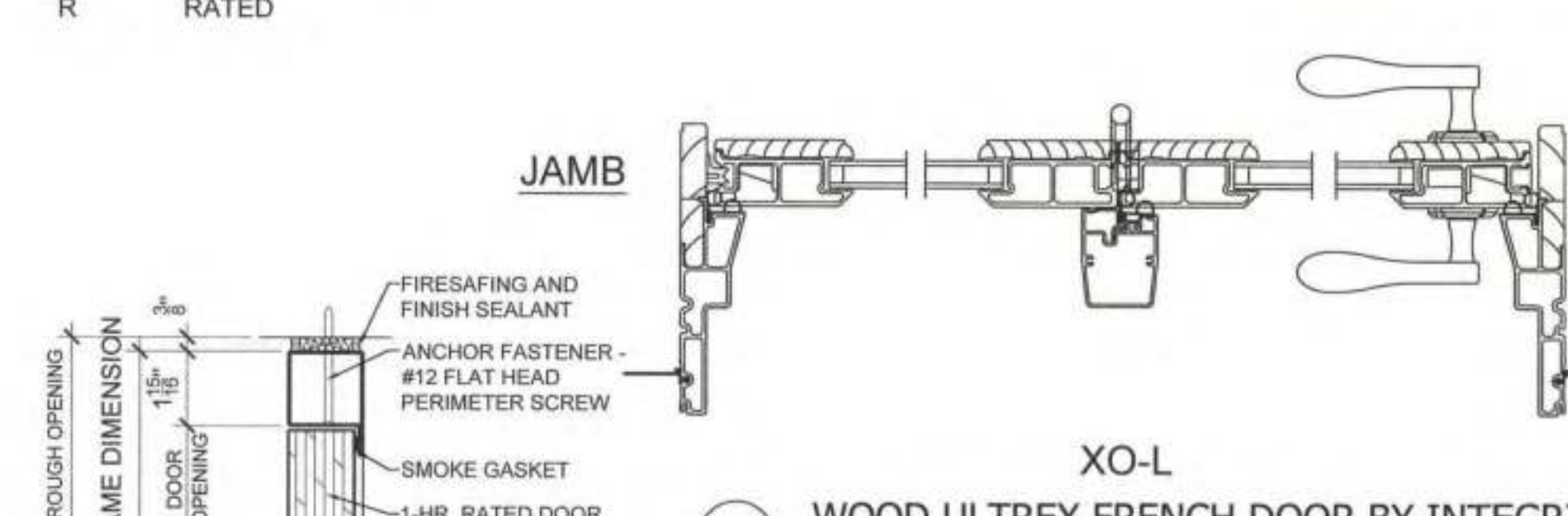
- FINISH:
- AC ACRYLIC
 - BSS BRUSHED STAINLESS STEEL
 - FB FIBERGLASS
 - GL GLASS
 - PT PAINT
 - S STONE
 - STL STEEL
 - WD WOOD
- DOOR RATING:
- NR NOT RATE
 - R RATED



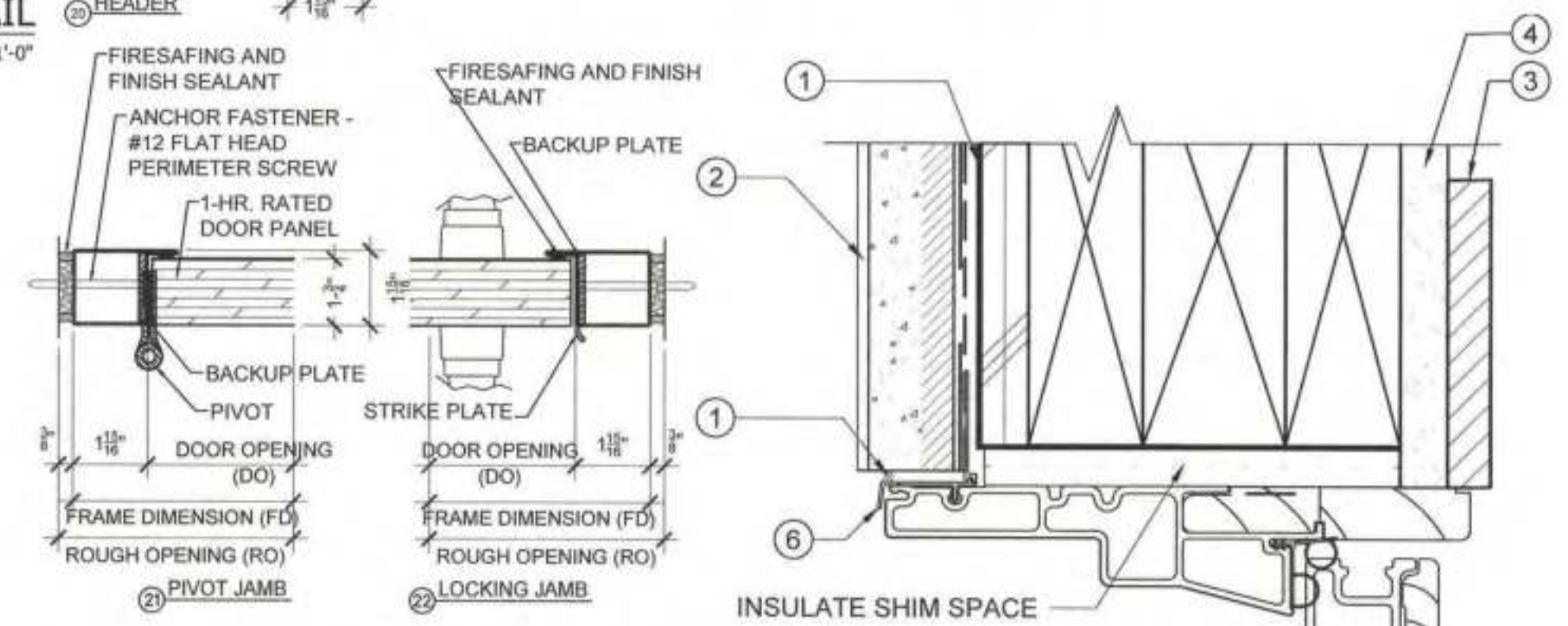
6 SLIDING DOOR SECTION DETAIL Scale: 3" = 1'-0"



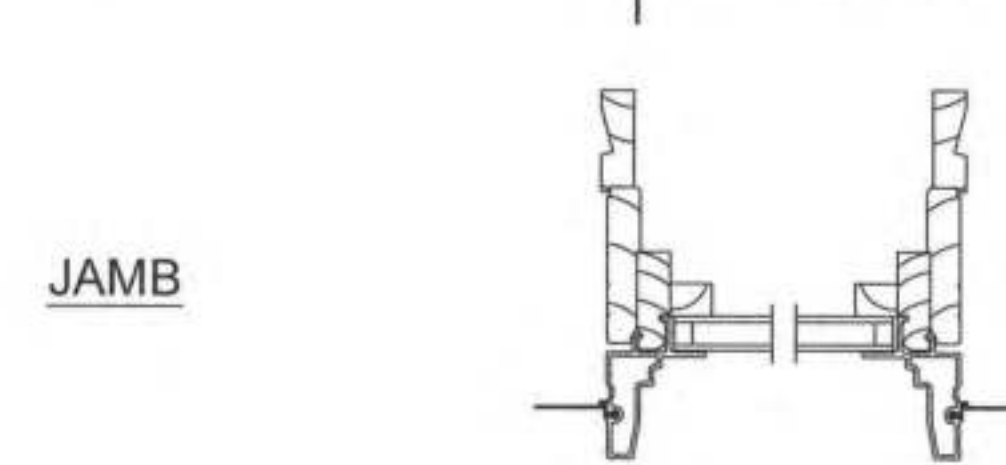
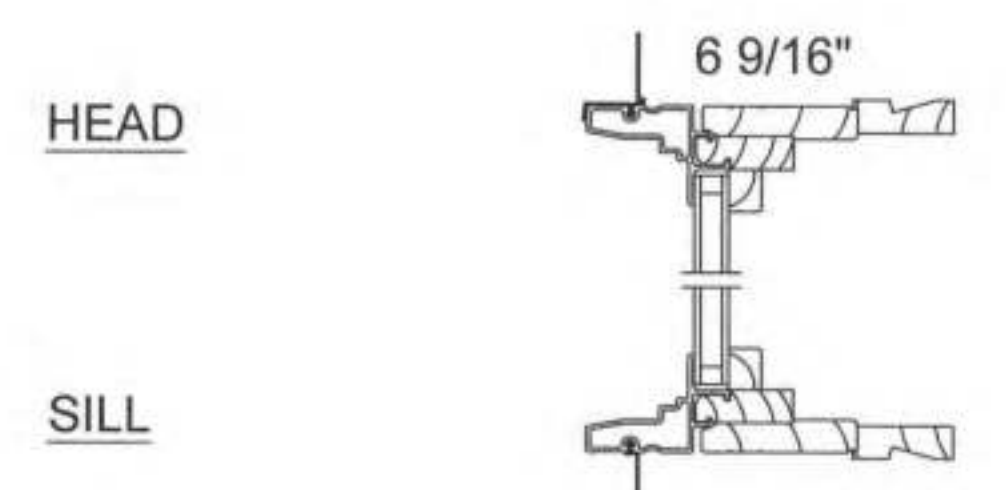
5 FIRE RATED GLASS DETAIL Scale: 3" = 1'-0"



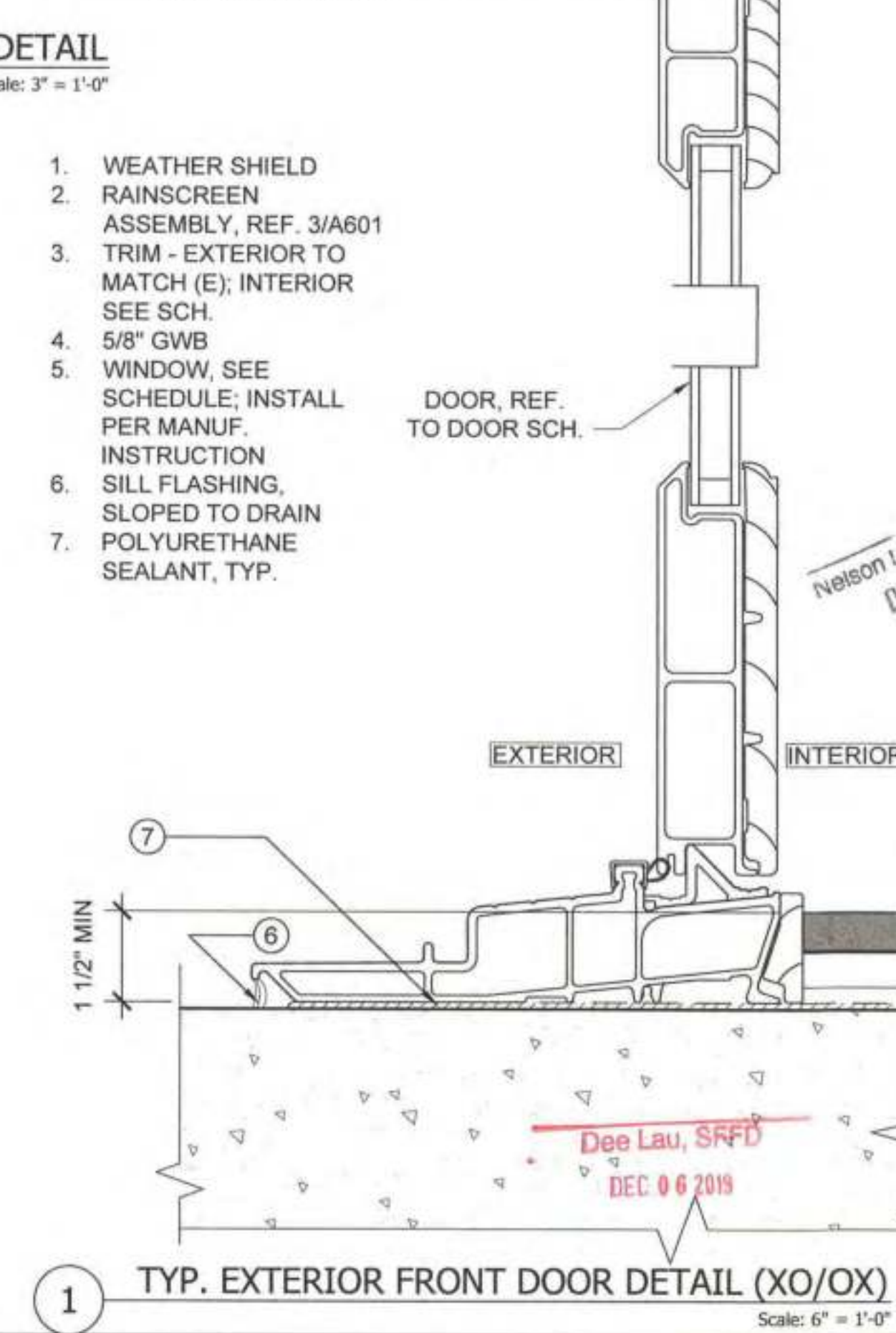
2 WOOD ULTREX FRENCH DOOR BY INTEGRITY SECTION DETAILS - OPERATING Scale: 3" = 1'-0"



4 TYPICAL FIRE RATED DOOR DETAIL Scale: 3" = 1'-0"



3 INTEGRITY DIRECT GLAZE INSWING FRENCH DOOR TRANSOM SECTION DETAILS - STATIONARY Scale: 3" = 1'-0"



1 TYP. EXTERIOR FRONT DOOR DETAIL (XO/OX) Scale: 6" = 1'-0"

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SAN FRANCISCO
CA 94122

BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL

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SHEET TITLE

DOOR SCHEDULE AND DETAILS

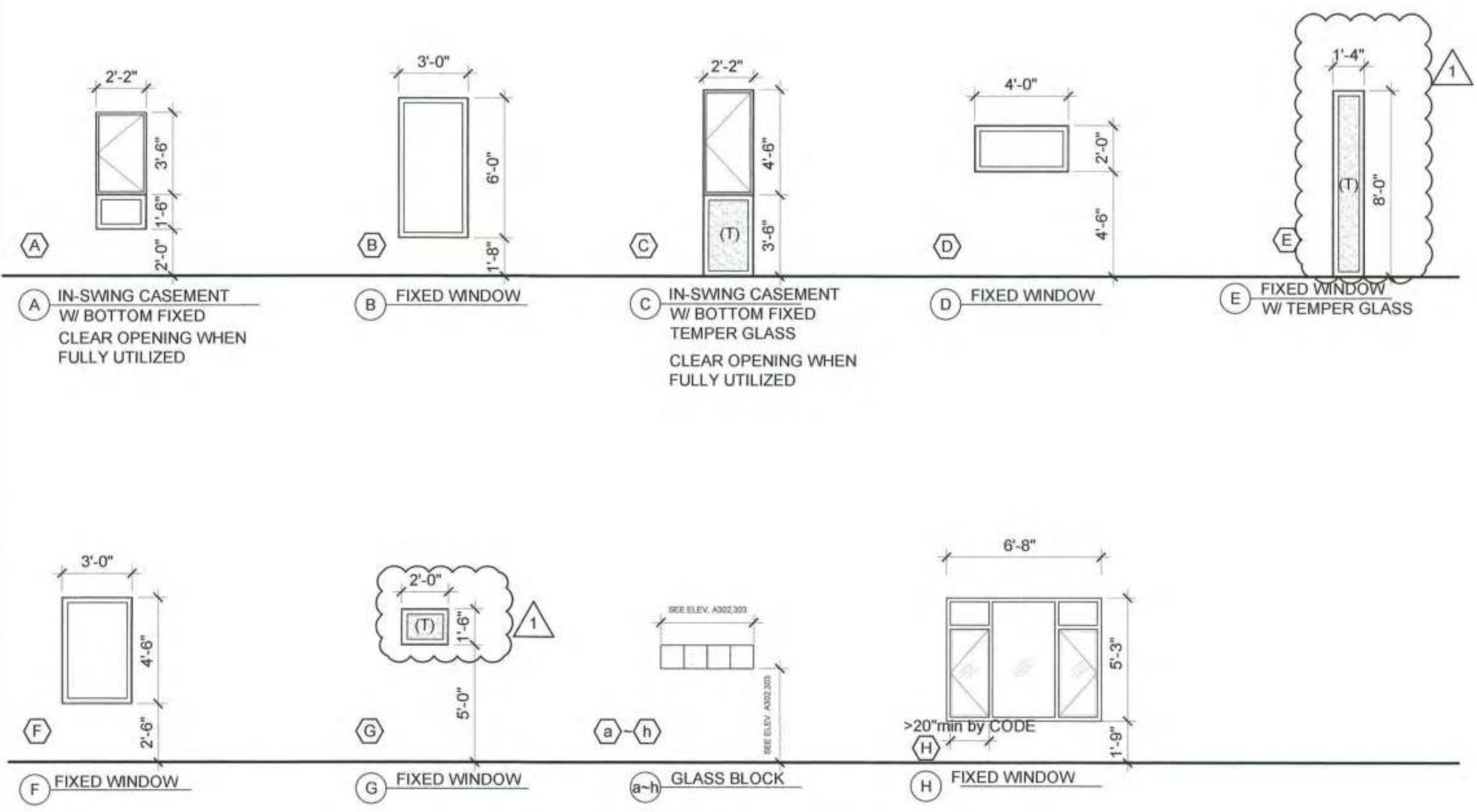
JOB NO: 17140
SCALE: AS SHOWN DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A800.dwg
DRAWING NO: 22 OF 42
SHEET NO:

A803-P1

WINDOW SCHEDULE

MARK	W.	H.	QT Y.	TYP E	SILL HEIGHT	GLASS	FRAME		DETAIL #			R VALUE	SHGC	HDWR. GRP.	RATING	SWING	REMARKS
							CONS T.	FINIS H	HEA D	JAM B	SILL						
A	2'-0"	5'-0"	4	W1	2'-0"	INSUL. LOW E, CLEAR	FG	PT	1	1	1	0.32-0.36	0.52-0.55	BY MANUF.	NR	IN-SWING	MARVIN MODERN
B	3'-0"	6'-0"	6	W2	1'-8"	INSUL. LOW E, CLEAR	FG	PT	1	1	1	0.32-0.36	0.52-0.55	BY MANUF.	NR	N/P	MARVIN MODERN, TEMP. GLASS AS NOTED ON PLAN/ELEV.
C	2'-0"	8'-0"	11	W1	0'-0"	INSUL. LOW E, CLEAR	FG	PT	1	1	1	0.32-0.36	0.52-0.55	BY MANUF.	NR	IN-SWING	MARVIN MODERN; TEMPERED
D	4'-0"	2'-0"	3	W2	4'-6"	INSUL. LOW E, CLEAR	FG	PT	1	1	1	0.32-0.36	0.52-0.55	BY MANUF.	NR	N/P	MARVIN MODERN
E	1'-0"	8'-0"	6	W2	0'-0"	INSUL. LOW E, CLEAR	FG	PT	1	1	1	0.32-0.36	0.52-0.55	BY MANUF.	NR	N/P	MARVIN MODERN; TEMPERED
F	3'-0"	4'-6"	7	W2	2'-6"	INSUL. LOW E, CLEAR	FG	PT	1	1	1	0.32-0.36	0.52-0.55	BY MANUF.	NR	N/P	MARVIN MODERN
G	2'-0"	1'-6"	2	W2	5'-0"	INSUL. LOW E, CLEAR	FG	PT	1	1	1	0.32-0.36	0.52-0.55	BY MANUF.	NR	N/P	MARVIN MODERN
a-h	0'-8"	0'-8"	61	W3	VARIES	INSUL. LOW E, CLEAR	STL	STL	2	2	2	0.32-0.36	0.52-0.55	BY MANUF.	60MINS	N/P	PITTSBURG CORNING "VISTABLOCK" GLASS
H	6'-8"	5'-3"	8	W2	1'-9"	INSUL. LOW E, CLEAR	STL	STL	2	2	2	0.32-0.36	0.52-0.55	BY MANUF.	90MINS	N/P	MARVIN MODERN, OUTSWING.

* NOTE: ALL INSWING WINDOWS INTO BEDROOMS
SHALL PROVIDE OPENING LIMIT DEVICE (4") W/ QUICK RELEASE
IN COMPLIANCE W/ ASTM F2090 (CBC 1015.9(3)).
JMA 12/6/19



HARDWARE NOTES:

- 1. HINGES TO MATCH DOOR KNOB AND LOCKSET.
- 2. ALL HARDWARE SHALL BE FLUSHED.
- 3. PRIVACY SET DOOR KNOB.
- 4. SINGLE KEYED DEAD BOLT W/ THUMB TURN.
- 5. BY DESIGNER/OWNER.

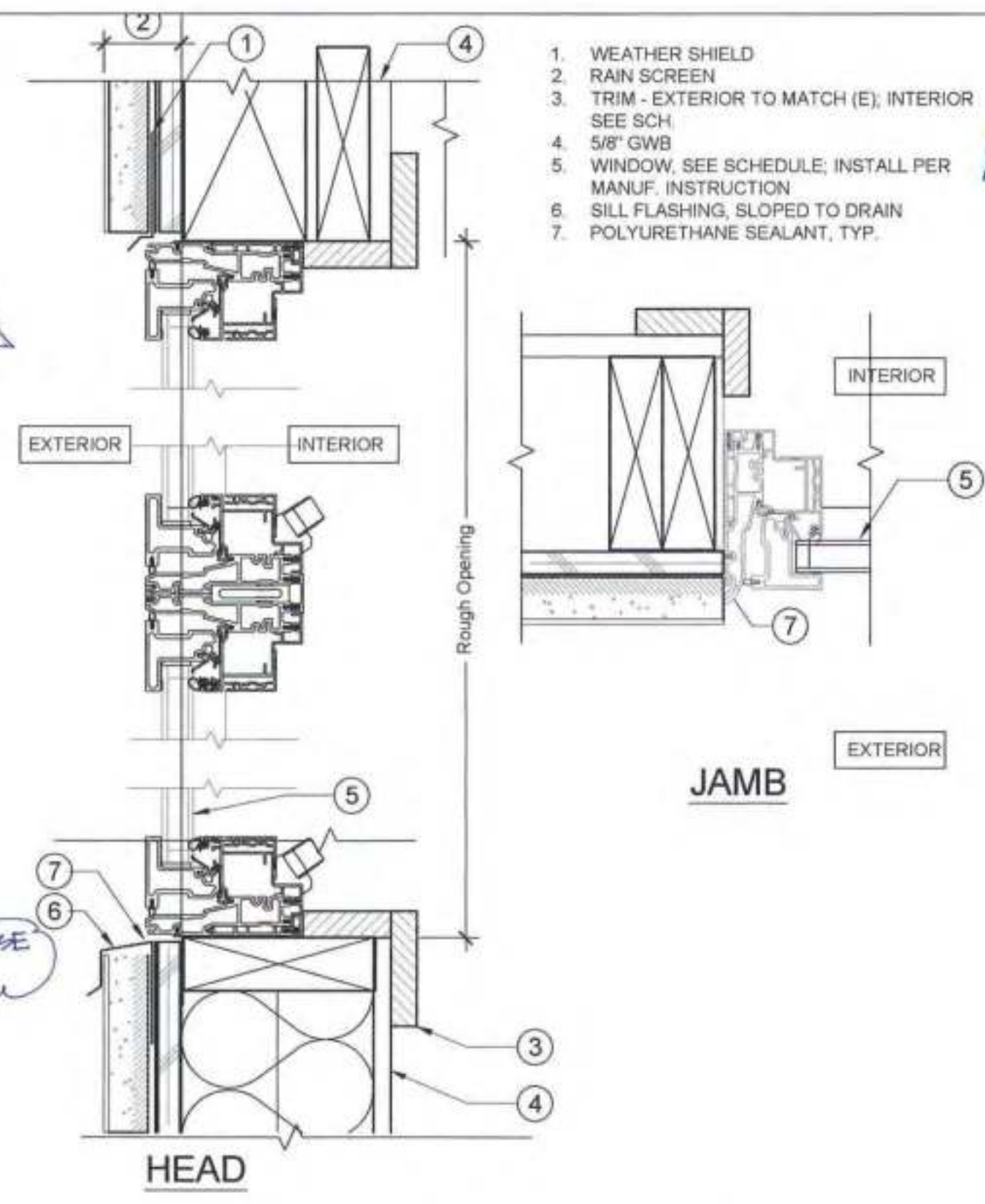
ABBREVIATIONS:

WINDOW CONSTRUCTION:
W1 IN-SWING CASEMENT W/BOTTOM FIXED;
CLEAR OPENING WHEN FULLY UTILIZED
W2 FIXED
W3 GLASS BLOCK

FINISH:
AC ACRYLIC
BSS BRUSHED STAINLESS STEEL
FB FIBERGLASS
GL GLASS
PT PAINT
S STONE
STL STEEL
WD WOOD

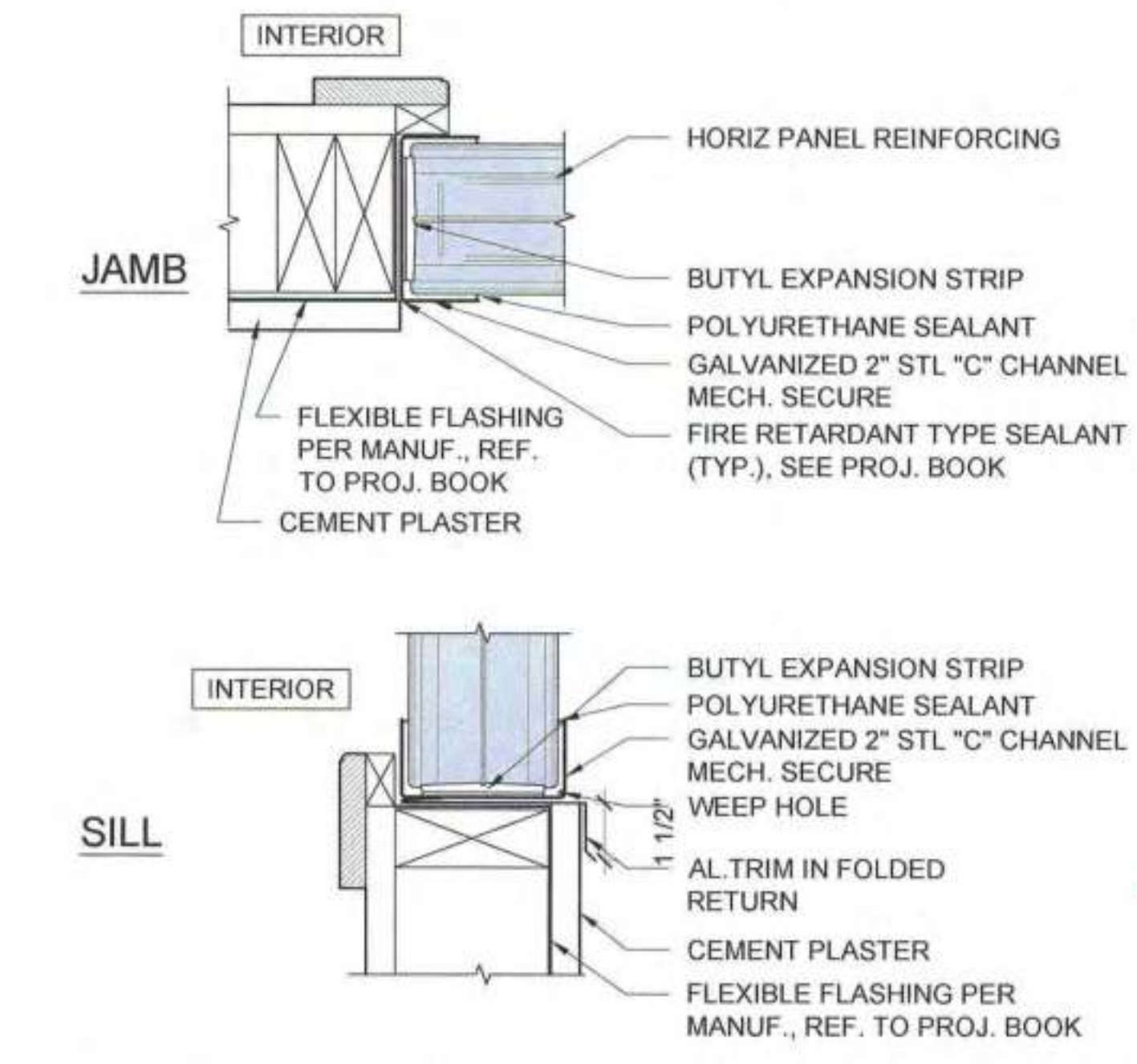
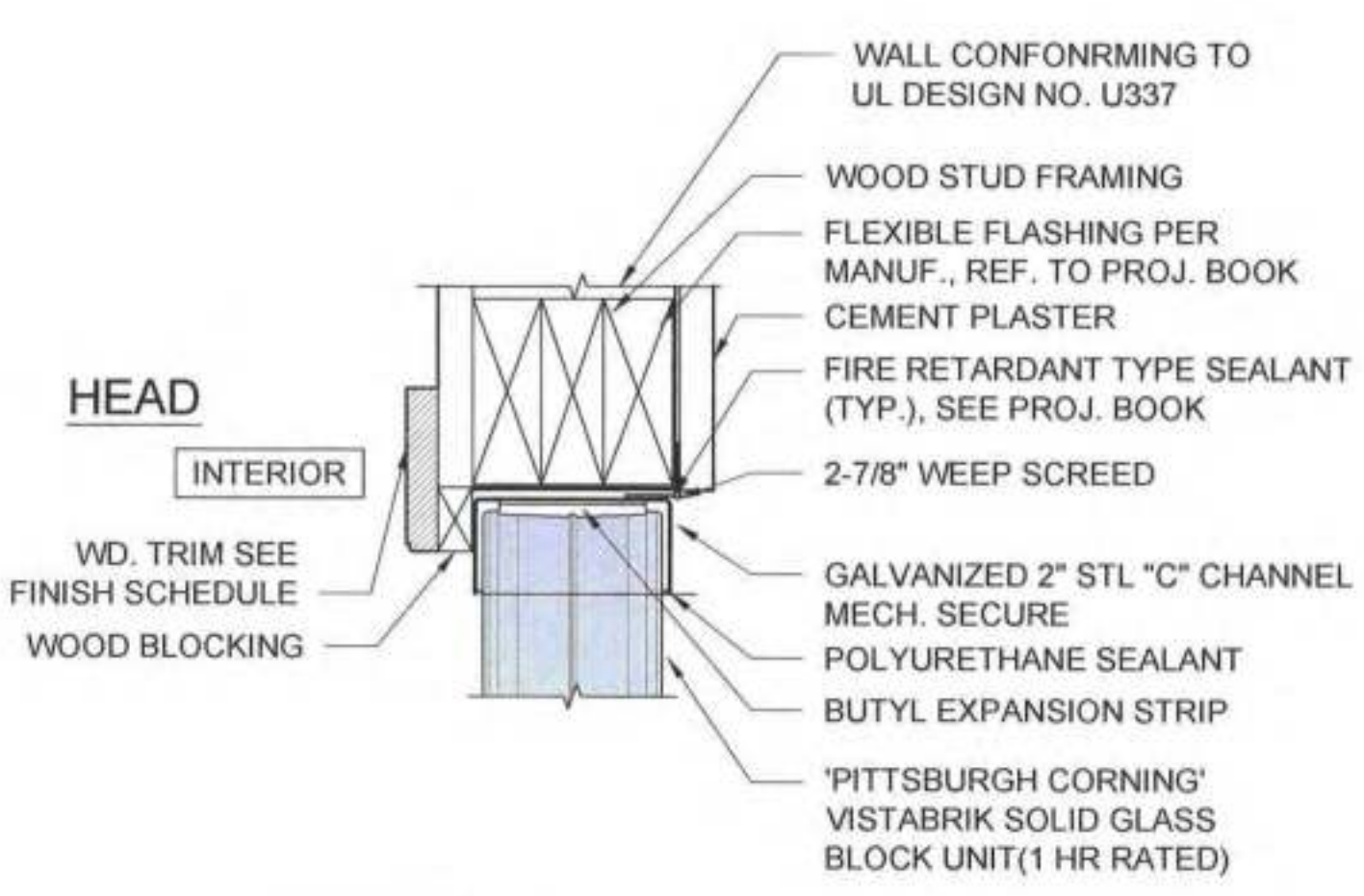
WINDOW RATING:
NR NOT RATE
R RATED

PA #201908280016
REFER TO REMODEL
WINDOW SCHEDULE AND DETAILS



APPROVED
Dept. of Building Insp.
DEC - 9 2019
Tom C. Hui, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

1 MARVIN IN-SWING CASEMENT W/BOTTOM FIX WINDOW DETAIL
Scale: 3"=1'-0"



2 PITTSBURGH 60 MINUTE FIRE RATED GLASS BLOCK PANEL
Scale: 3"=1'-0"

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1	11/18/19	PERMIT SUBMITTAL
	12/04/19	RESPONSE TO BUILD. PCC



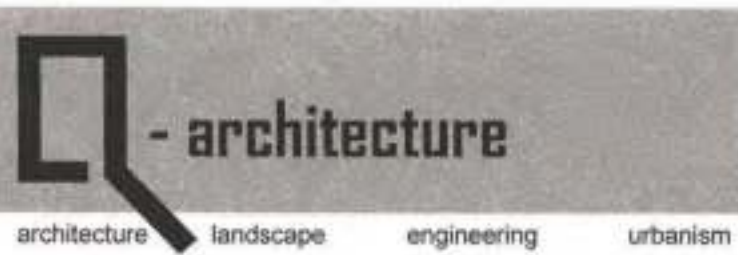
SHEET TITLE
WINDOW SCHEDULE AND DETAILS
JOB NO: 17140
SCALE: AS SHOWN DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A800.dwg
DRAWING NO: 23 OF 42
SHEET NO:
A801-P2

DOOR SCHEDULE

MARK			DOOR						FRAME			DETAIL #			R VALUE	SHGC	FIRE RATING	HDWR .GRP.	SWING	REMARK S
	RM #	RM NAME	W.	H.	T.	TYPE	CONST.	FINISH	CONST	MAT.	FINIS H	HEA D	JAM B	SILL						
2ND FLOOR-EXIT DOORS																				
200A (45mn)	-	WEST STAIRS	3'-0"	6'-8"	1-3/4"	f	D6	PT	STL.	STL.	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING /DBL	
200B (90mn)	-	EAST STAIRS	3'-0"	6'-8"	1-3/4"	e	D6	PT	STL.	STL.	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
202A	-	(N)JANITOR CLO.	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING	
202B	-	(N)JANITOR CLO.	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING	
2ND FLOOR-UNIT: 201																				
211A	211	(N)KITCHEN	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
212A	212	(N) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
212B	212	(N) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
213A	213	(N) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
213B	213	(N) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
214A	214	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
215A	215	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING	
2ND FLOOR-UNIT: 202																				
220A	220	(E) ENTRANCE	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
220B	220	(E) CLOSET ENTRANCE	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
220C	220	(E) W/D ENTRANCE	3'-0"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING	
221A	221	(E) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
223A	223	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
223B	223	(N) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
224A	224	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
225A	225	(E) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
225B	225	(E) BED2 CLOSET	VIC	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
226A	226	(E) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
226B	226	(E) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
2ND FLOOR-UNIT: 203																				
230A (45mn)	230	(E) ENTRANCE	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
230B	230	(E) CLOSET ENTRANCE	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
231A	231	(E) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
231B	231	(E) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
232A	232	(E) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
232B	232	(E) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
233A	233	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
234A	234	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
234B	234	(N) BED3 CLOSET	VIC	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
236A	236	(E) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
2ND FLOOR-UNIT: 204																				
240A	240	(N) LIVING	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
241B	241	(N) CLOSET	3'-0"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING	
242A	242	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	

DOOR SCHEDULE

MARK	RM #	RM NAME	DOOR						FRAME			DETAIL #			R VALUE	SHGC	FIRE RATING	HDWR .GRP.	SWING	REMARK S
			W.	H.	T.	TYPE	CONST.	FINISH	CONST	MAT.	FINIS H	HEA D	JAM B	SILL						
2ND FLOOR-UNIT: 205																				
250A	250	(E) ENTRANCE	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
250B	250	(E) CLOSET ENTRANCE	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
250C	250	(E) W/D ENTRANCE	3'-0"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING	
251A	251	(E) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
251B	251	(E) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
252A	252	(E) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
252B	252	(E) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
253A	253	(E) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
255A	255	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
255B	255	(N) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
256A	256	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
2ND FLOOR-UNIT: 206																				
260A (45mn)	260	(E) ENTRANCE	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
260B	260	(E) W/D ENTRANCE	3'-0"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING	
262A	262	(E) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
263A	263	(E) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
263B	263	(E) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
264A	264	(E) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
264B	264	(E) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	
265A	265	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
266A	266	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING	
266B	266	(N) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING	



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CA 94122

BLOCK/LOT: 1706/051
& 1706/050



REVISIONS		
NO.	DATE	DESCRIPTION
-	12/11/18	PERMIT SUBMITTAL
1	2/25/19	RESPONSE TO PCC



SHEET TITLE

2ND FLOOR
DOOR SCHEDULE

JOB NO: 17140

SCALE: AS SHOWN DATE: 02/25/19

DRAWN BY: DMA/YB/DRG

FILE: 17140_A800.dwg

DRAWING NO: 24 OF 27

SHEET NO:

A802-P2

Nelson Lau, DBI
DEC - 6 2019

Dee Lau, SFFD
DEC 06 2019

DOOR SCHEDULE

MARK	RM #	RM NAME	DOOR						FRAME			DETAIL #			R VALUE	SHGC	FIRE RATING	HDWR /GRP.	SWING	REMARK S	
			W.	H.	T.	TYPE	CONST.	FINISH	CONST	MAT.	FINIS H	HEA D	JAM B	SILL							
3RD FLOOR-EXIT DOORS																					
300A (45mm)	-	WEST STAIRS	3'-0"	6'-8"	1-3/4"	f	D6	PT	STL.	STL.	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING /DBL		
300B (90mm)	-	EAST STAIRS	3'-0"	6'-8"	1-3/4"	e	D6	PT	STL.	STL.	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
3RD FLOOR-UNIT: 301																					
310A	310	(N)LIVING	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
311A	311	(N) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
311B	311	(N) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
312A	312	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
314A	314	(N) WC	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	POCKET		
3RD FLOOR-UNIT: 302																					
320A	320	(E) ENTRANCE	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
320B	320	(E) CLOSET ENTRANCE	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
320C	320	(E) W/D ENTRANCE	3'-0"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		
321A	321	(E) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
323A	323	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
323B	323	(N) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
324A	324	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
325A	325	(E) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
325B	325	(E) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
326A	326	(E) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
326B	326	(E) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
3RD FLOOR-UNIT: 303																					
330A (45mm)	330	(E) ENTRANCE	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
330B	330	(E) CLOSET ENTRANCE	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
332A	332	(E) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
333A	333	(E) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
333B	333	(E) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
334A	334	(E) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
334B	334	(E) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
335A	335	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
336A	336	(E) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
336B	336	(E) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
3RD FLOOR-UNIT: 304																					
340A	340	(N) LIVING	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
341A	341	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
341B	341	(N) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING		
342A	342	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING		
343A	343	(N) WC	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING		

DOOR SCHEDULE

MARK			DOOR						FRAME			DETAIL #				R VALUE	SHGC	FIRE RATING	HDWR _GRP.	SWING	REMARK S	
	RM #	RM NAME	W.	H.	T.	TYPE	CONST.	FINISH	CONST	MAT.	FINIS H	HEA D	JAM B	SILL								
3RD FLOOR-UNIT: 305																						
350A	350	(E) ENTRANCE	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			
350B	350	(E) CLOSET ENTRANCE	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING			
350C	350	(E) W/D ENTRANCE	3'-0"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING			
352A	352	(N) BED3	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			
352B	352	(N) BED3 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING			
353A	353	(N) BATH2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			
354A	354	(E) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			
354B	354	(E) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING			
355A	355	(E) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			
355B	355	(E) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING			
3RD FLOOR-UNIT: 306																						
360A (45mn)	360	(N) STAIRS	3'-0"	6'-8"	1-3/4"	c	D1	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			
360B	360	(N) W/D CLOSET	3'-0"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	OUT-SWING			
361A	361	(E) BED1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			
361B	263	(E) BED1 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING			
362A	362	(E) BED2	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			
362B	362	(E) BED2 CLOSET	VIF	6'-8"	1-3/4"	b	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	DBL/ SLIDING			
363A	363	(N) BATH1	2'-8"	6'-8"	1-3/4"	a	D2	PT	WD	WD	PT	TYP.	TYP.	TYP.	-	-	-	G.2	IN-SWING			

APPROVED
Dept. of Building Insp.
DEC - 9 2019
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION



REVISIONS		
NO.	DATE	DESCRIPTION
	11/18/19	PERMIT SUBMITTAL



SHEET TITLE

3RD FLOOR
DOOR SCHEDULE

JOB NO: 17140

SCALE: AS SHOWN DATE: 11/18/19

DRAWN BY: DMA / DRG

FILE: 17140_A800.dwg

DRAWING NO: 25 OF 42

SHEET NO:

A803-P2

Jelson Lau, DBI
DEC - 6 2019

Dee Lau, SFFD
DEC 0 6 2019

CLIENT INFO

OWNER BRIAN VEIT IRV LLC 1798 GREAT HWY, #1 SAN FRANCISCO, CA 94122 M:415-672-2485 OCEANRENTER@GMAIL.COM	ARCHITECT/ENGINEER: Q-ARCHITECTURE 4243 25TH STREET SAN FRANCISCO, CA 94114 415-695-2700 CONTACT: DAWN MA, PE, AAlA DMA@QUE-ARCH.COM	CONTRACTOR: TBD
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DRAWING INDEX

S-1.1	GENERAL NOTES
S-2.0	NOTES
S-2.1	FOUNDATION PLAN
S-2.1.1	SLAB PLAN
S-2.2	1ST FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-2.4	3RD FLOOR FRAMING PLAN
S-2.5	ROOF FRAMING PLAN
S-4.1	FRAMING DETAILS
S-4.2	FRAMING DETAILS
S-4.3	FRAMING DETAILS
S-4.4	FRAMING DETAILS

GENERAL NOTES

GENERAL:

THESE PLANS ARE A BUILDER'S SET. ENGINEER WAS CONTRACTED TO PROVIDE A BUILDER'S SET WITH THE AGREEMENT THAT AN EXPERIENCED AND KNOWLEDGEABLE CONTRACTOR SHALL CONSTRUCT THIS PROJECT. THE PLANS CONTAIN INFORMATION FOR GENERAL CONSTRUCTION AND BUILDING PERMIT PURPOSES ONLY AND ARE NOT EXTENSIVELY DETAILED NOR ARE SPECIFICATIONS PROVIDED. FOR ITEMS, METHODS AND/OR MATERIALS NOT SHOWN, THE MINIMUM REQUIREMENT OF THE 2016 CBC SHALL GOVERN.

ANY OR PART OF ALL SYSTEMS, MATERIALS, CONNECTIONS, AND DETAILS NOT SPECIFICALLY PROVIDED IN THESE PLANS ARE THE SOLE AND COMPLETE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY VERIFY AND INSTALL. THE ENGINEER DOES NOT PROVIDE CONTINUOUS CONSTRUCTION OBSERVATION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY AND CONSTRUCTION STANDARDS FOR THIS PROJECT.

JOB SAFETY:

THE ENGINEER IS NOT RESPONSIBLE FOR THE FABRICATION, ERECTION, AND/OR JOB SAFETY. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL SHORING, BRACING, FORM WORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THE BUILDING.

SHOP DRAWINGS:

SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAKE CERTAIN THAT THE SHOP DRAWINGS AND CONSTRUCTION ARE IN CONFORMANCE WITH THE LATEST ARCHITECTURAL AND STRUCTURAL DRAWINGS. AT LEAST 3 WEEKS BEFORE FABRICATION, THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE ENGINEER/ARCHITECT FOR REVIEW TO DETERMINE GENERAL COMPLIANCE WITH THE DRAWINGS. OUR REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE IN COMPLIANCE WITH THE LATEST DRAWINGS.

SITE OBSERVATIONS:

THE CONTRACTOR SHALL GIVE ENGINEER 72 HOURS MINIMUM NOTICE AS TO THE TIME OF THE SITE OBSERVATION FOR ANY OBSERVATION REQUIRED BY C.B.C. 2016 CHAPTER 17 OR ANY OTHERS WHICH MAY BE REQUIRED. ALL WRITTEN SITE OBSERVATIONS/INSPECTIONS REPORTS BY THE REGULATORY AGENCY SHALL BE COPIED TO THE ENGINEER.

FOUNDATION:

DESIGN WAS BASED ON THE MINIMUM REQUIREMENTS OF CHAPTER 18 OF THE 2016 CALIFORNIA BUILDING CODE.

CONCRETE NOTES:

A. CONCRETE SHALL CONFORM TO ASTM-94 AND SHALL HAVE A 28 DAY (MINIMUM) COMPRESSIVE STRENGTH OF 3000 PSI. SPECIAL INSPECTION IS NOT REQUIRED.

B. LARGEST AGGREGATE : 3/4 INCH. MAX.

C. SLUMP: 4 INCHES MAX.

D. REINFORCING SHALL BE FREE OF LOOSE RUST OR OTHER DELETERIOUS COATING.

E. USE Fy=60 ksi, TYPICAL AND 40 KSI FOR TIES AND STIRRUPS.

F. REINFORCING MIN. COVER SHALL BE AS FOLLOWS:
CONCRETE CAST AGAINST EARTH 3 INCHES
FORMED CONCRETE EXPOSED TO EARTH OR WEATHER 2 INCHES
NOT EXPOSED TO EARTH OR WEATHER 1 1/2 INCH

G. REINFORCING STEEL SHOP DRAWINGS SHALL BE SUBMITTED BY CONTRACTOR FOR REVIEW & APPROVAL BY ENGINEER, AT LEAST 3-WEEKS BEFORE FABRICATION.

H. FORMWORK FOR THE FOUNDATION SHOULD BE REVIEWED AND SIGNED OFF BY THE STRUCTURAL ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE.

CARPENTRY:

A. STUDS: 2x STUD- STRUCTURAL NO. 2

B. RAFTERS AND JOISTS: STRUCTURAL NO. 1

C. PLATES, BLOCKS AND MISCELLANEOUS: CONSTRUCTION GRADE

D. POSTS: 4x AND 6x - STRUCTURAL NO. 1

E. CONCEALED BEAMS - STRUCTURAL NO. 1

F. EXPOSED BEAMS: STRUCTURAL NO. 1 APPEARANCE GRADE, FOHC.

G. ROOF PLYWOOD: 1/2 INCH 24/16 CD-X
FLOOR PLYWOOD: 3/4 INCH (48/24) T&G EDGES WITH EXT. GLUE, U.O.N. ON PLANS.

H. SHEARWALLS: 1/2 INCH STR. 1 PLYWOOD. ALL PLYWOOD TO CONFORM TO A.P.A. STD. PS-1.

H. SILL PLATES: FOUNDATION GRADE REDWOOD OR PRESSURE-TREATED DOUGLAS FIR. ALL SILL PLATE ANCHOR BOLTS SHALL HAVE 3"x3"x0.229" WASHERS, TYP. ALL ANCHOR BOLTS SHALL BE 5/8" @ 5'-0" o.c., UNLESS NOTED OTHERWISE ON SHEARWALL SCHEDULE.

I. GLUE FOR FLOOR CONSTRUCTION: APA PERFORMANCE SPECIF. AFG-01.

J. FASTENERS, HANGERS AND CONNECTIONS: SIMPSON STRONG TIE (AS NOTED ON THE DRAWINGS), OR APPROVED EQUAL. CONTRACTOR SHALL DEMONSTRATE WITH CALCULATIONS THAT PROPOSED SUBSTITUTION MEET OR EXCEED THE CAPACITY AND QUALITY OF FASTENERS. ORIGINALLY BOLTS AND NUTS SHALL BE ASTM A 307 STEEL. ALL BOLT TREAD AND NUTS THAT BEAR ON WOOD SHALL HAVE MALLEABLE IRON WASHERS IF EXPOSED OR CUT WASHER IF CONCEALED.

K. NAILING: AS NOTED ON DRAWINGS. IF NOT SHOWN ON DRAWINGS, NAILING OF FRAMING COMPONENTS SHALL CONFORM TO CBC 2010 TABLE 2304.9.1, AS A MINIMUM. ALL NAILS SHALL BE COMMON WIRE GAUGE. IF POWER DRIVEN NAILS ARE TO BE USED, SUBMIT CERTIFICATION FOR WIRE GAUGE, LENGTH AND HEAD DIAMETER FOR REVIEW, IF NOT EQUAL TO COMMON WIRE SPECS.

L. HORIZONTAL AND VERTICAL WOOD STRUCTURAL MEMBERS USED IN EXPOSED DECKS, BALCONIES, PORCHES OR SUPPORTING MOISTURE PERMEABLE FLOOR OR ROOF SHALL BE PRESSURE TREATED OR MATERIALS OF NATURAL RESISTANCE TO DECAY.

SEC. 2306.9 AND 2306.12 U.B.C.

M. MANUFACTURED BEAM AND JOISTS: ALL MANUFACTURED BEAM AND JOISTS (i.e. "TRUSS JOIST MACMILLAN'S FRAME WORKS" PARALLAM, MICROLLAM AND TJ) USED ON THESE PLANS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN VALUES:

1. 3 1/2" WIDE AND LARGER :

SHEAR MODULUS OF ELASTICITY _____ G = 12500 PSI

MODULUS OF ELASTICITY _____ E = 2.0x10E6 PSI

FLEXURAL STRESS _____ Fb = 2900 PSI

COMPRESSION PERPENDICULAR _____ Fc = 650 PSI

TO GRAIN, PARALLEL TO WIDE

FACE OF STRANDS

COMPRESSION PARALLEL TO GRAIN _____ Fc = 2900 PSI

HORIZONTAL SHEAR PERPENDICULAR _____ Fv = 240 PSI

TO WIDE FACE OF STRAND

2. 1 7/8" WIDE AND LESS:

SHEAR MODULUS OF ELASTICITY _____ G = 11250 PSI

MODULUS OF ELASTICITY _____ E = 1.8x10E6 PSI

FLEXURAL STRESS _____ Fb = 2250 PSI

COMPRESSION PERPENDICULAR _____ Fc = 750 PSI

TO GRAIN, PARALLEL TO GLUE

COMPRESSION PARALLEL TO GRAIN _____ Fc = 285 PSI

HORIZONTAL SHEAR PERPENDICULAR

TO GLUE LINE

ALL BLOCKING AND NAILING SHALL CONFORM WITH THE MANUFACTURER'S RECOMMENDATION. EQUIVALENT PRODUCTS MAY BE SUBSTITUTED, AND THE PROVIDED ICBO REPORT SHALL BE SUBMITTED TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO INSTALLATION.

QUALITY ASSURANCE:

A. ADDITIONAL CONTRACTOR SUBMITTALS:

1. UPON REQUEST, CERTIFICATION THAT THE MATERIALS BEING USED MEET THE REQUIREMENTS SPECIFIED.

2. MANUFACTURER'S DATA FOR GROUTS AND EPOXIES.

B. OBSERVATION: THE ENGINEER SHALL BE NOTIFIED TO VISIT THE PROJECT SITE AS DICTATED BY CONSTRUCTION PROGRESS TO MAKE STRUCTURAL OBSERVATIONS ON THE WORK FOR GENERAL CONFORMANCE TO THE DESIGN INTENT PER CBC SECTION 1702.

C. GENERAL:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF ALL MATERIALS USED ON THE PROJECT AND SHALL BEAR THE BURDEN OF PROOF THAT THE MATERIALS USED COMPLY WITH THE PROJECT REQUIREMENTS.

DESIGN BASIS

1. APPLICABLE CODE
CALIFORNIA BUILDING CODE (CBC) 2016 EDITION
2. VERTICAL LIVE LOADS
- 2.1. (N) ROOF DEAD LOAD (AREA A) 13 PSF
- 2.2. (E) ROOF DEAD LOAD (AREA A) 13 PSF
- 2.3. ROOF LIVE LOAD 20 PSF
- 2.4. (E) FLOOR DEAD LOAD (AREA A) 15 PSF
- 2.4. (N) FLOOR DEAD LOAD (AREA A) 17.5 PSF
- 2.7. FLOOR LIVE LOAD 40 PSF
- 2.7. EXTERIOR WOOD WALLS 11.5 PSF
- 2.8. INTERIOR WOOD WALLS 8 PSF
- 2.9. (E) DECK DEAD LOAD (AREA A) 20.5 PSF
- 2.10.(N) DECK DEAD LOAD (AREA A) 24.5 PSF
- 2.11.DECK LIVE LOAD 60 PSF
3. MINIMUM LATERAL FORCES
- 3.4. SEISMIC
- $V = \frac{I \cdot S_d s \cdot W}{R}$
- 3.5. WIND
- 3.5.1. BASIC WIND SPEED 110 MPH
- 3.5.2. WIND IMPORTANCE FACTOR I=1.0
- 3.5.3. WIND PRESSURE B
- 3.5.4. INTERNAL PRESSURE COEFFICIENT ±0.18
- 3.5.5. COMPONENTS AND CLADDING DESIGN WIND PRESSURE 31 PSF
4. SEISMIC DESIGN CRITERIA
- 4.1. SEISMIC IMPORTANCE FACTOR I=1.0
- 4.2. OCCUPANCY CATEGORY II
- 4.3. MAPPED SPECTRAL RESPONSE ACCELERATIONS Ss=2.099
S1=0.995
D
- 4.4. SITE CLASS Sds=1.399
Sd1=0.995
E
- 4.5. SPECTRAL RESPONSE COEFFICIENTS
- 4.6. SEISMIC DESIGN CATEGORY
- 4.7. BASIC SEISMIC-FORCE-RESISTING SYSTEM(S) LIGHT-FRAMED WALL WITH WOOD STRUCTURAL PANELS.
- 4.8. DESIGN BASE SHEAR 137187 LBS
- 4.9. SEISMIC RESPONSE COEFFICIENT(S) Cs=0.22
- 4.10.RESPONSE MODIFICATION FACTOR(S) R=6.5
- 4.11.ANALYSIS PROCEDURE USED EQUIVALENT LATERAL FORCE PROCEDURE
5. LATITUDE AND LONGITUDE SITE COORDINATE DATA
- LATITUDE 37.762602° N
- LONGITUDE 122.504478° W

STEEL NOTES

- STEEL
1. STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING
- A. ANCHOR BOLTS: ASTM 307
- B. THREADED RODS: ASTM A307/ASTM A36

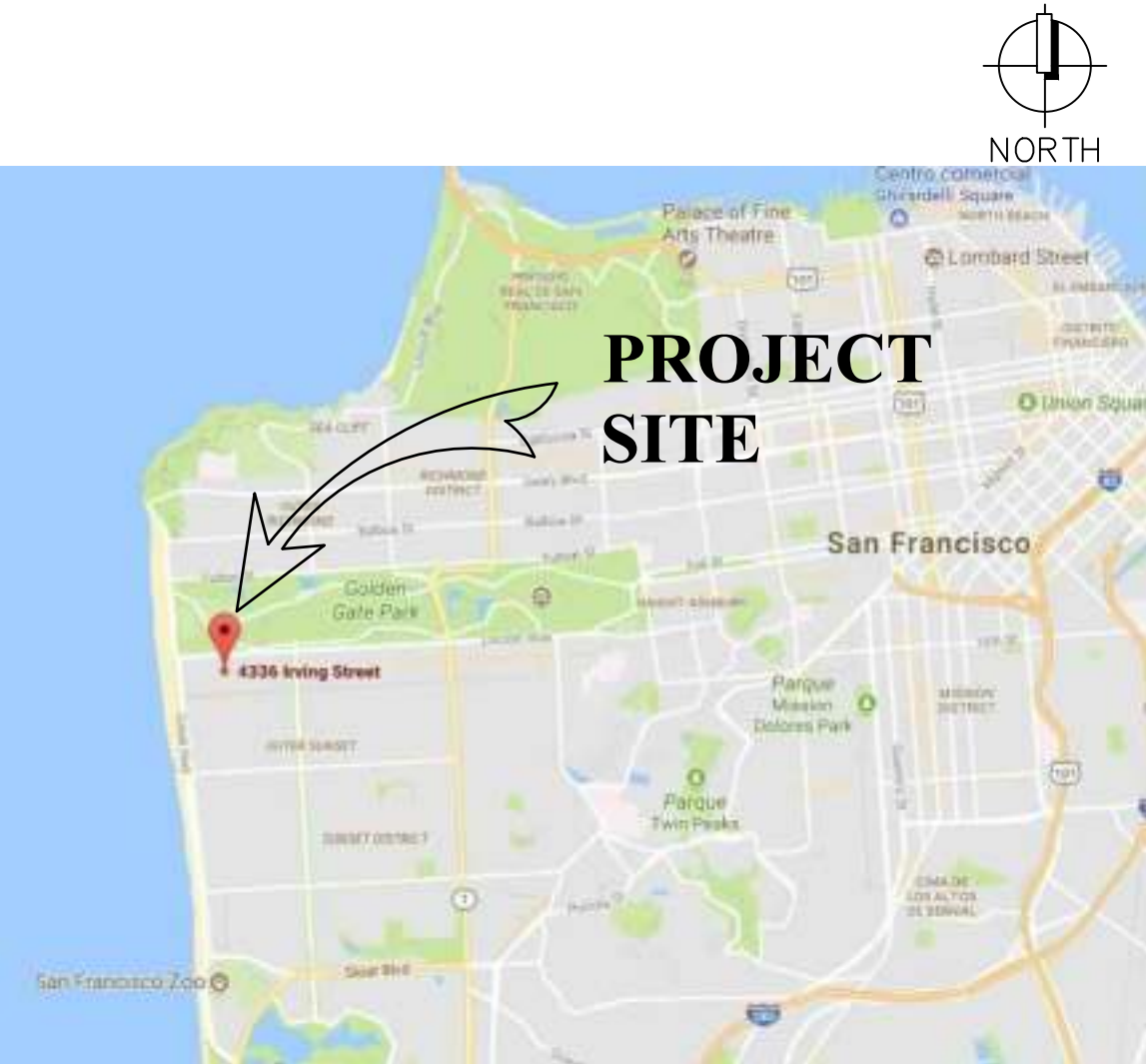
ADDITIONAL NOTES

- CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/COMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE ICC INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER SEC. 1709.1.
- IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.
- PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM. SPECIAL INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED WHERE THE FASTENER SPACING OF THE SHEATHING IS 4 INCHES ON CENTER OR LESS.
- FOUNDATION SILLS SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
- PROVIDE LEAD HOLE 40%-70% OF THREADED SHANK DIA. AND FULL DIA. FOR SMOOTH SHANK PORTION.
- HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLD-DOWNS SHALL BE FINGER TIGHT AND ½ WRENCH TURN JUST PRIOR TO COVERING THE WALL FRAMING. CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS IN ACCORDANCE WITH TABLE 2305.5 OF THE FAIRFIELD BUILDING CODE.
- ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. FLOOR SHALL HAVE TONGUE AND GROOVE OR BLOCKED PANEL EDGES. PLYWOOD SPANS SHALL CONFORM WITH TABLE 2304.7.
- ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED BOX.
- ALL BOLT HOLES SHALL BE DRILLED ½2" TO ½6" OVERSIZED.
- HOLD-DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.

RESEARCH REPORT

ICC-ES REPORT #			
HDU	ESR-2330	CC COLUMN CAP	ESR-2604
U HANGER	ESR-2549	STRAP	ESR-2105
SHOT PINS	ESR-1799	PARALLAM	ESR-1040
FRAMING CLIPS	ESR-2606	SET-XP EPOXY	ESR-2508

VICINITY MAP



PROJECT DESCRIPTION

FOUNDATION AND FRAMING STRUCTURAL REVISION TO PA# 201908280016

Q-architecture

architecture landscape engineering urbanism

Q-ARCHITECTURE, INC.
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T +1 415 695 2700
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www.que-arch.com

REVISIONS

4326 - 4336 IRVING ST.
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CA 94122

BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
	11/14/2019	PERMIT SUBMITAL
SHEET TITLE		

GENERAL NOTES

JOB NO:17140

SCALE:N.A. DATE:09/01/20

DRAWN BY:DMA/MAA

FILE:

DRAWING NO:1 OF12

SHEET NO:

S-1.1

FLOOR FRAMING NOTES

- FLOOR SHALL BE 3/4" PLYWOOD CDX, PII 32/16 T & G W/10d COMMON NAILS @ 6", 12" O.C. FOR PLYWOOD SHEATHING LAYOUT SEE
- ALL SHEAR WALLS ARE FULL HEIGHT TO THE ROOF AND FLOOR DIAPHRAGM.
- ALL POSTS ARE 4 x 6 MINIMUM U.N.O.
- ALL POSTS SHALL BE CONNECTED TO SILL PLATE WITH "A35" AT EA. SIDE TYP. UNLESS HARDWARE IS NOTED ON PLAN.
- ALL EXT. WALLS, SHEAR WALLS & BEARING WALLS EXCEEDING 10'-0" AND LESS THAN 15'-0" HEIGHT SHALL BE 2x6 OR 3x4 @ 16" O.C.
- ALL WOOD FRAMING MEMBERS U.N.O. SHALL BE:
2x MEMBER DF #2 OR BETTER
4x MEMBER DF #2 OR BETTER
2x STUDS DF #2 OR BETTER
- ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED BOX.
- FASTENERS IN PRESERVATIVE TREATED WOOD OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL.
- PROVIDE 2 F.J. MIN. BELOW ALL BEARING / SHEAR WALLS PARALLEL TO FLOOR JOISTS.
- FLOOR SHALL HAVE TONGUE AND GROOVE OR BLOCKED PANELS EDGES.
- ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. PLYWOOD SPANS SHALL CONFORM TABLE 2304.7
- ALL WOOD BEAM SHALL BE CONNECTED TO POST WITH COLUMN CAP. UNLESS HARDWARE IS NOTED ON PLAN.
- ALL WOOD HEADER SHALL BE CONNECTED TO POST OR 2-2x TRIMED STUD WITH POST CAP. UNLESS HARDWARE IS NOTED ON PLAN.
- ALL INTERIOR WOOD HEADER BEAMS SHALL BE 4x6 D.F. #2 MINIMUM. ALL EXTERIOR WOOD HEADER BEAMS SHALL BE 6x6 D.F. #2 MINIMUM. UNLESS HARDWARE IS NOTED ON PLAN.

LEGEND	
	INDICATES SHEAR WALL TYPE, SEE SCHEDULE
	INDICATES GRID LINE
	INDICATES KING POST ABOVE
	INDICATES POST ABOVE
	INDICATES POST BELOW
	INDICATES WALL ABOVE
	INFILL (E) FLOOR OPENING
	INDICATES NEW WALL
	(N) FLOOR OR DECK JOIST (F.J. OR D.J.) - SIZE AND SPACING PER PLAN (N) ROOF RAFTER (R.R.) - SIZE AND SPACING PER PLAN
	(E) FLOOR OR DECK JOIST (F.J. OR D.J.) (E) ROOF RAFTER (R.R.)
	INDICATES (E) FOOTING
	INDICATES (N) FOOTING
ABBREVIATIONS	
HDR	DENOTES HEADER
FBM	DENOTES FLUSH BEAM
DBM	DENOTES DROPPED BEAM BELOW FLOOR/ROOF JOISTS.
LBM	DENOTES LANDING BEAM

FOUNDATION NOTES

- ALL HOLDOWNS & ANCHOR BOLTS SHALL BE SET IN PLACE BY TEMPLATE PRIOR TO FOUNDATION INSPECTION.
- ALL POSTS SHALL BE CONNECTED TO SILL PLATE WITH "A35" AT EA. SIDE TYP. UNLESS HARDWARE IS NOTED ON PLAN.
- ALL FOOTING SHALL HAVE F'c = 2500 PSI UNLESS NOTED OTHERWISE.
- PLATE WASHERS ARE REQUIRED FOR ALL HOLDOWNS BRACKETS.
- ALL BOLT HOLES SHALL BE DRILLED A MAXIMUM OF 1/16" OVERSIZED. INSPECTOR TO VERIFY.
- ALL HOLDDOWN ANCHOR NUTS SHALL BE FINGER TIGHT AND 1/2 WRENCH TURN JUST PRIOR TO COVERING THE WALL FRAMING.
- HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS.
- CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS IN ACCORDANCE AF&PA'S 2015 SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC (SDPWS-15)
- FOUNDATION SILL SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE FIELD-TREATED PER AWPA M4.
- CONTRACTOR TO VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL PLANS PRIOR TO STARTING ANY WORK.
- ALL STUDS OVER 10 FEET TALL AND LESS THAN 15 FEET SHALL BE 2x6 OR 3x4 @ 16" O.C.
- FASTENERS IN PRESERVATIVE TREATED WOOD OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL.

LRFD - Shear Wall Schedule from Table 4.3A SDPWS-2015 (values multiplied by 0.8)

Wall ID 	Sheathing Material	Panel Nailing		Shear transfer, Bttom sill and Top Plate A35 @	Anchor Bolt 1/8" @	Bolt Embed.	Bolt Edge Distance (N) Footing	Bolt Edge Distance (E) Footing	Shear (lbs/ft)	Sill-Plate Connection	Min. Blkg. Thk. below Sill-Plate	Special Inspection
		Edges	Fields									
1	15/32" Struct I	8d @ 6" o.c.	8d @ 12" o.c.	24" o.c. to Blkg.	48" o.c.	7"	1.75"	2"	448	20d common nail @ 6" o.c.	1.5"	NO
2	15/32" Struct I	10d @ 6" o.c.	10d @ 12" o.c.	16" o.c. to Blkg.	48" o.c.	7"	1.75"	2"	544	20d common nail @ 6" o.c.	1.5"	NO
3	15/32" Struct I	10d @ 4" o.c.	10d @ 12" o.c.	8" o.c. to Blkg.	32" o.c.	7"	1.75"	2"	816	3/8" Dia. x 6" long lag @ 8" o.c	2.5"	YES See note 4
4	15/32" Struct I	8d @ 3" o.c.	8d @ 12" o.c.	8" o.c. to Blkg.	24" o.c.	7"	1.75"	2"	880	3/8" Dia. x 6" long lag @ 6" o.c	2.5"	YES See note 4
5	15/32" Struct I	8d @ 2" o.c.	8d @ 12" o.c.	8" o.c. to Blkg.	24" o.c.	7"	1.75"	2"	1,168	3/8" Dia. x 6" long lag @ 6" o.c	2.5"	YES See note 4
6	15/32" Struct I	10d @ 2" o.c.	10d @ 12" o.c.	8" o.c. to Blkg.	24" o.c.	7"	1.75"	2"	1,392	1/2" Dia. x 6" long lag @ 12" o.c.	2.5"	YES See note 4
7	15/32" Struct I* Both Sides	8d @ 2" o.c.	8d @ 12" o.c.	8" o.c. to Blkg.	16" o.c.	7"	1.75"	2"	2,336	1/2" Dia. x 6" long lag @ 8" o.c.	2.5"	YES See note 4
8	15/32" Struct I* Both Sides	10d @ 2" o.c.	10d @ 12" o.c.	8" o.c. to Blkg.	12" o.c.	7"	1.75"	2"	2,784	1/2" Dia. x 6" long lag @ 6" o.c.	2.5"	YES See note 4

- Notes:**
- This nailing schedule is for common nails only and all panels edges fastened to framing. Plywood can be installed either horizontally or vertically.
 - Shear Panels 3 to 8 requires 3X framing members at the bottom sill plate when resting on concrete, and behind vertical or horizontal panel edges. Also minimum 1/2" edge nailing distance at panel ends and edges.
** Framing at adjoining panel edges shall be nominal 3" or wider. nails shall be staggered in two lines along panel edges when nail spacing is 2" o.c., or when 10d common nails spaced 3" o.c. penetrate framing more than 1-5/8".*
 - Use square plate washers 3" x 3" x 1/4" thk. for 5/8" diameter bolts.
 - Deputy inspection required where the fastener spacing of the sheathing is 4 - inches on center or less. Applies to shear panel 3, 4, 5, 6, 7 & 8.

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NOTES

JOB NO: 17140

SCALE: N.A. DATE: 09/01/20

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FILE:

DRAWING NO: 2 OF 12

SHEET NO:

S-2.0

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FOUNDATION PLAN

JOB NO: 17140

SCALE: N.A.

DATE: 09/01/20

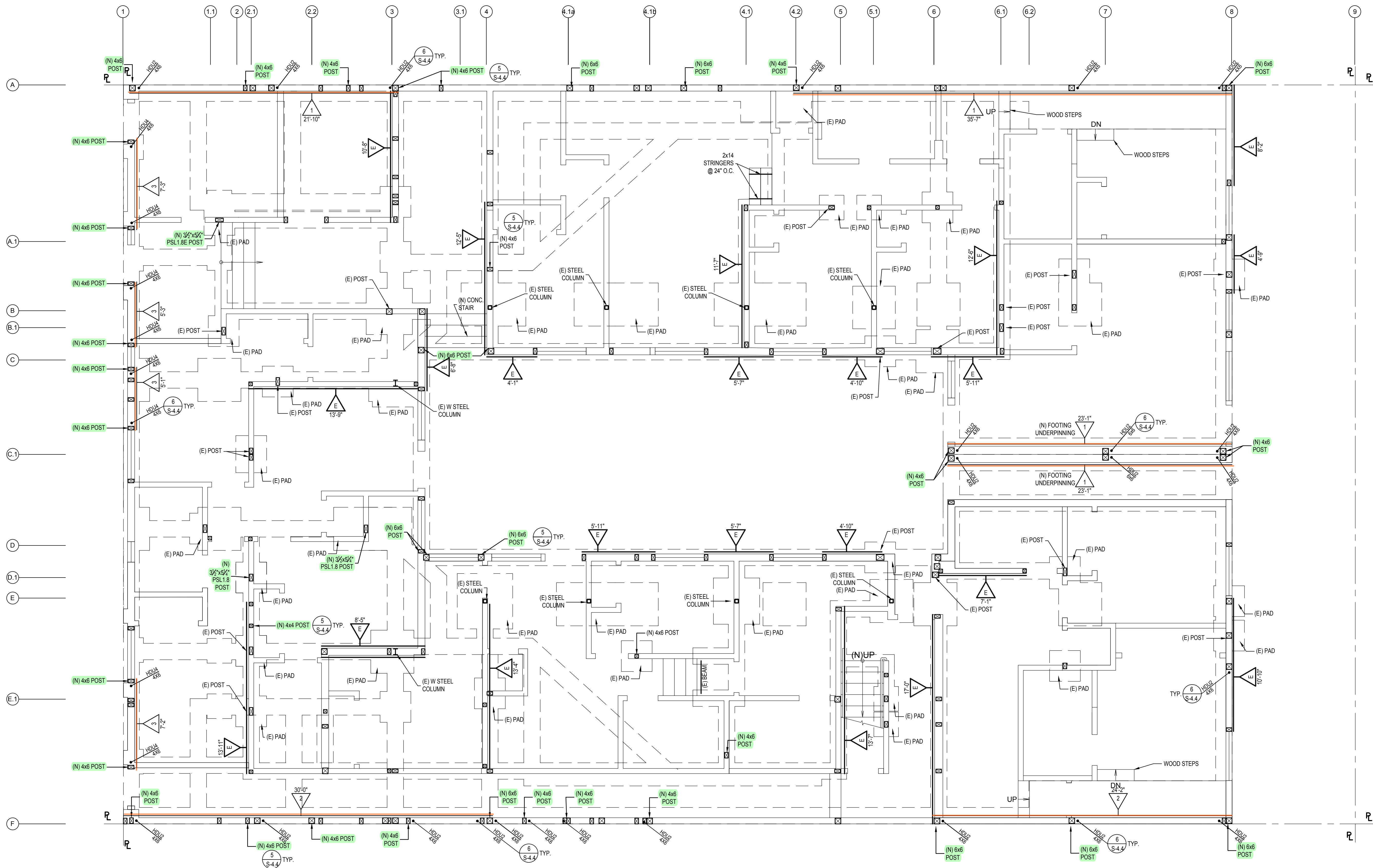
DRAWN BY: DMA/MAA

FILE:

DRAWING NO: 3 OF 12

SHEET NO:

S-2.1



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

LEGEND	
(N) FLOOR FRAMING	
(N) DECK FRAMING	
(N) SHEARWALL	
(N) BEAMS	
(N) DECK JOIST AND FLOOR JOIST	
(N) POST	

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SLAB PLAN

JOB NO: 17140

SCALE: N.A. DATE: 09/01/20

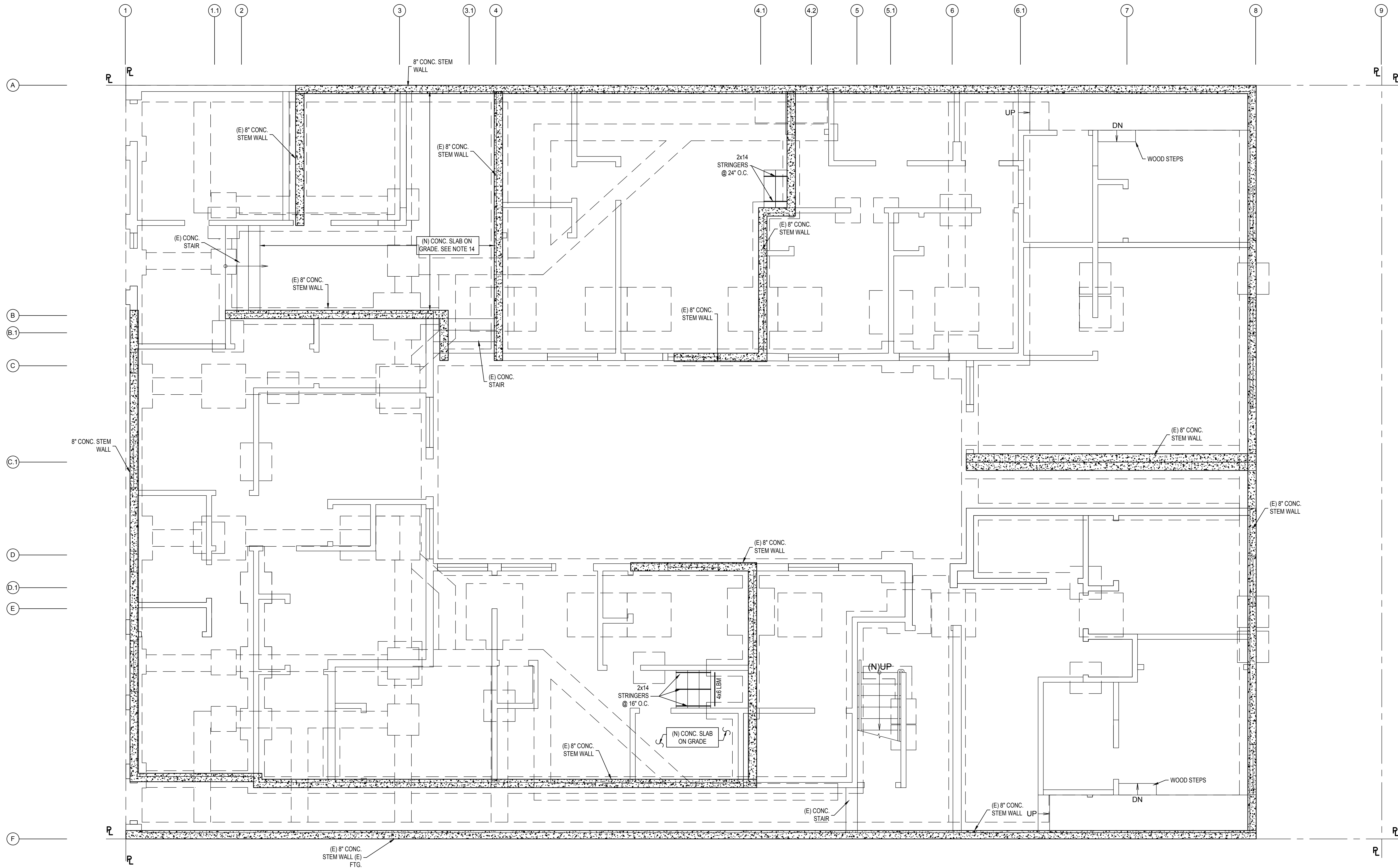
DRAWN BY: DMA/MAA

FILE:

DRAWING NO: 4 OF 12

SHEET NO:

S-2.1.1



SLAB AND FOOTING PLAN

SCALE: 1/4" = 1'-0"

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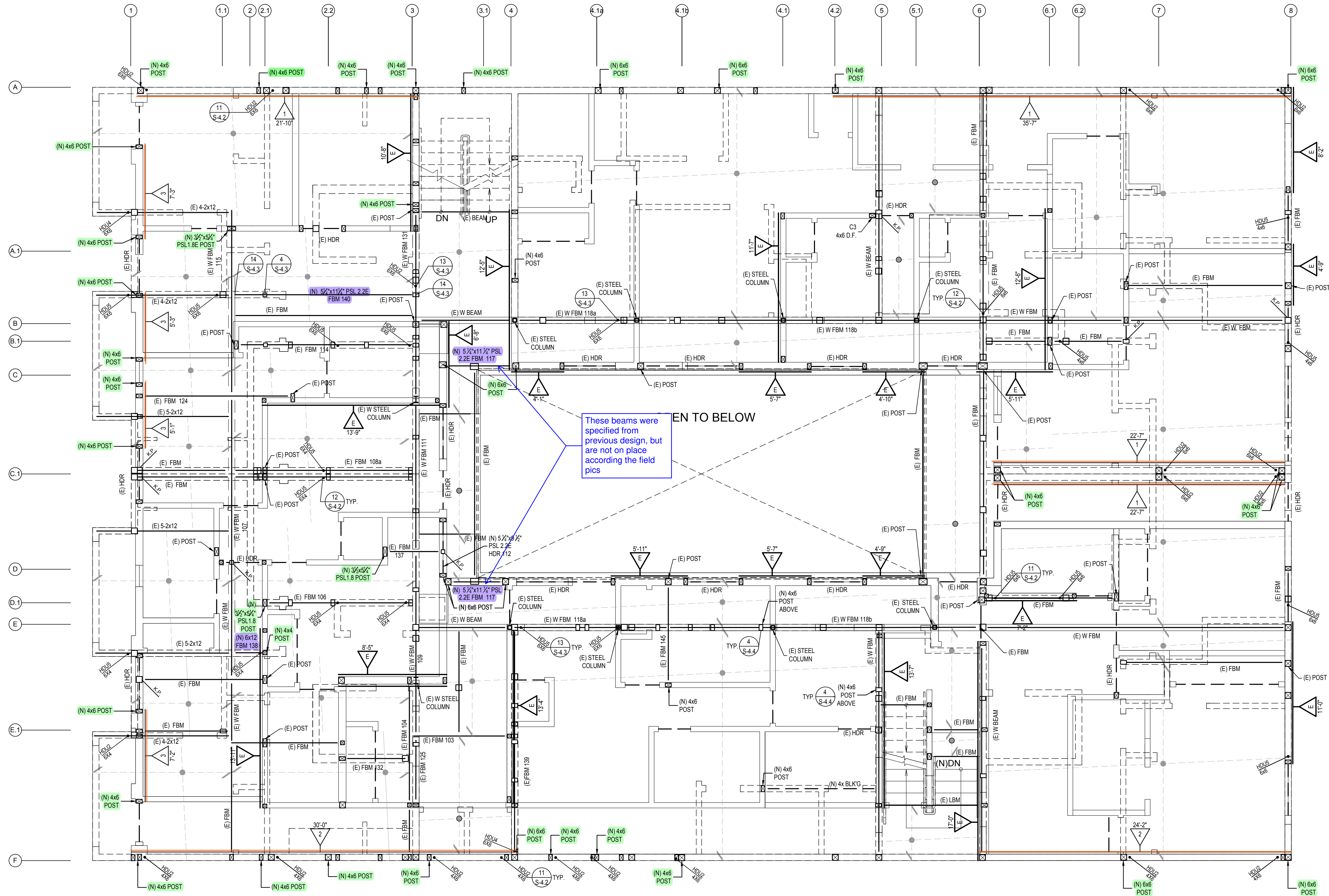
SHEET TITLE

1st FLOOR FRAMING PLAN

JOB NO: 17140
SCALE: N.A. DATE: 09/01/20
DRAWN BY: DMA/MAA
FILE:

5 OF 12

S-2.2



1st. FLOOR FRAMING PLAN & GROUND WALLS BELOW

SCALE: 1/4" = 1'-0"

LEGEND

- (N) FLOOR FRAMING
- (N) DECK FRAMING
- (N) SHEARWALL
- (N) BEAMS
- (N) DECK JOIST AND FLOOR JOIST
- (N) POST

This shows the shear walls that does not have the sheathing panel yet according the field pics.

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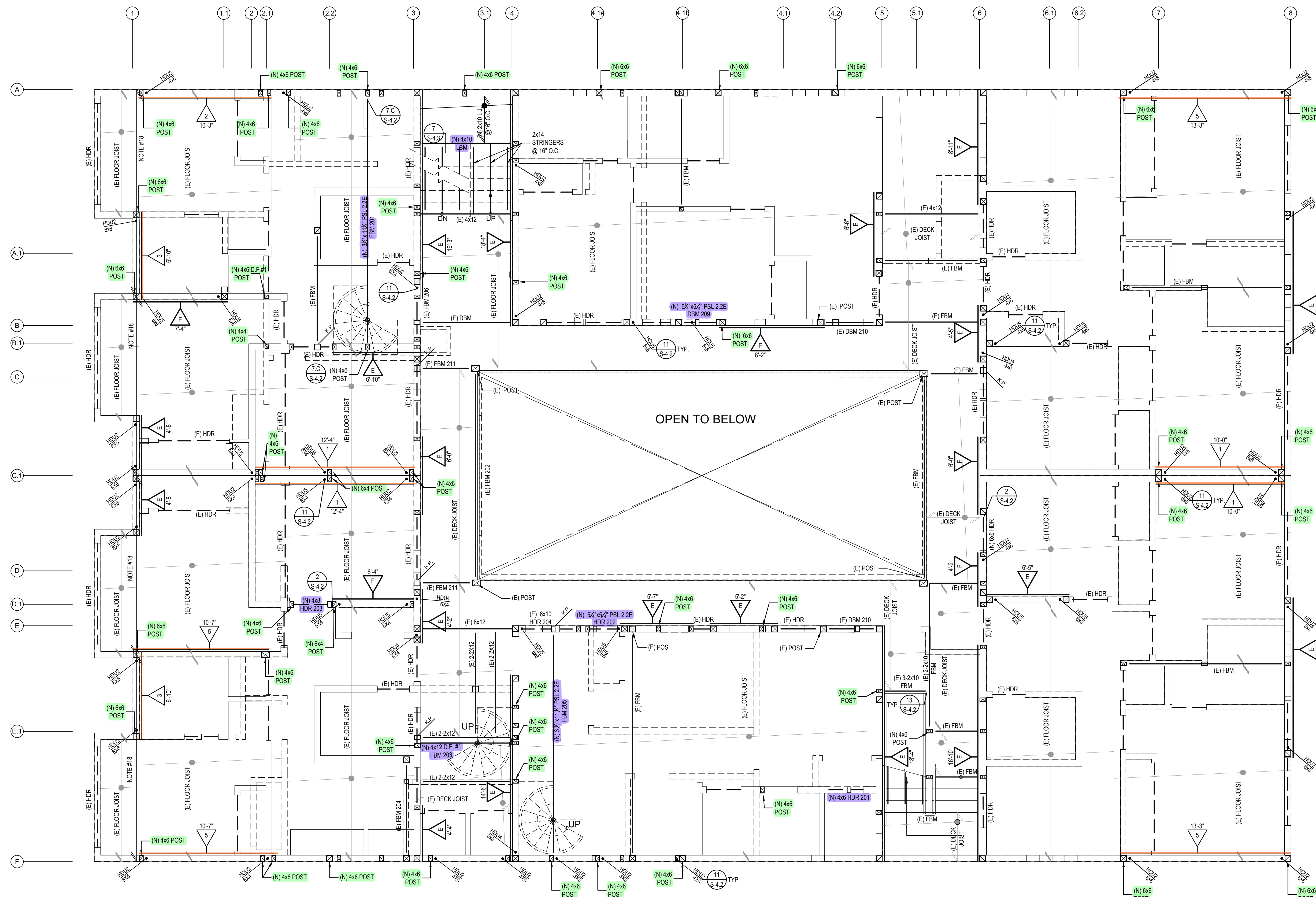


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2nd FLOOR FRAMING PLAN

SHEET NO:

S-2.3



2nd. FLOOR FRAMING PLAN & 1st. FLOOR SHEAR WALLS BELOW

SCALE: 1/4" = 1'-0"

LEGEND

- (N) FLOOR FRAMING
- (N) DECK FRAMING
- (N) SHEARWALL
- (N) BEAMS
- (N) DECK JOIST AND FLOOR JOIST
- (N) POST

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3rd FLOOR FRAMING PLAN

JOB NO: 17140

SCALE: N.A. DATE: 09/01/20

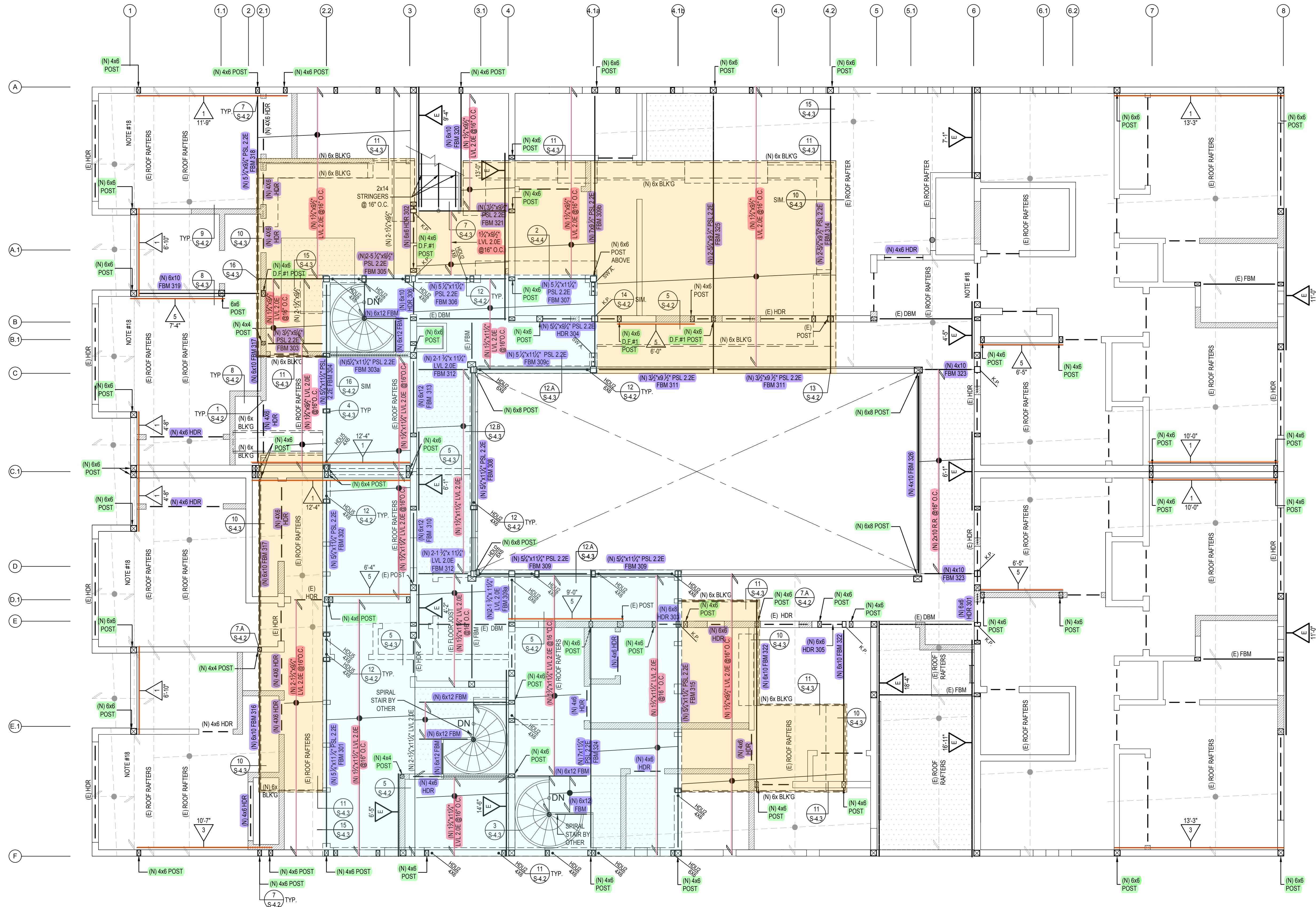
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FILE:

DRAWING NO: 7 OF 12

SHEET NO:

S-2.4



3rd. FLOOR FRAMING PLAN & 2nd. FLOOR SHEAR WALLS BELOW

SCALE: 1/4" = 1'-0"

LEGEND

- (N) FLOOR FRAMING
- (N) DECK FRAMING
- (N) SHEARWALL
- (N) BEAMS
- (N) DECK JOIST AND FLOOR JOIST
- (N) POST

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ROOF PLAN

JOB NO: 17140

SCALE: N.A. DATE: 09/01/20

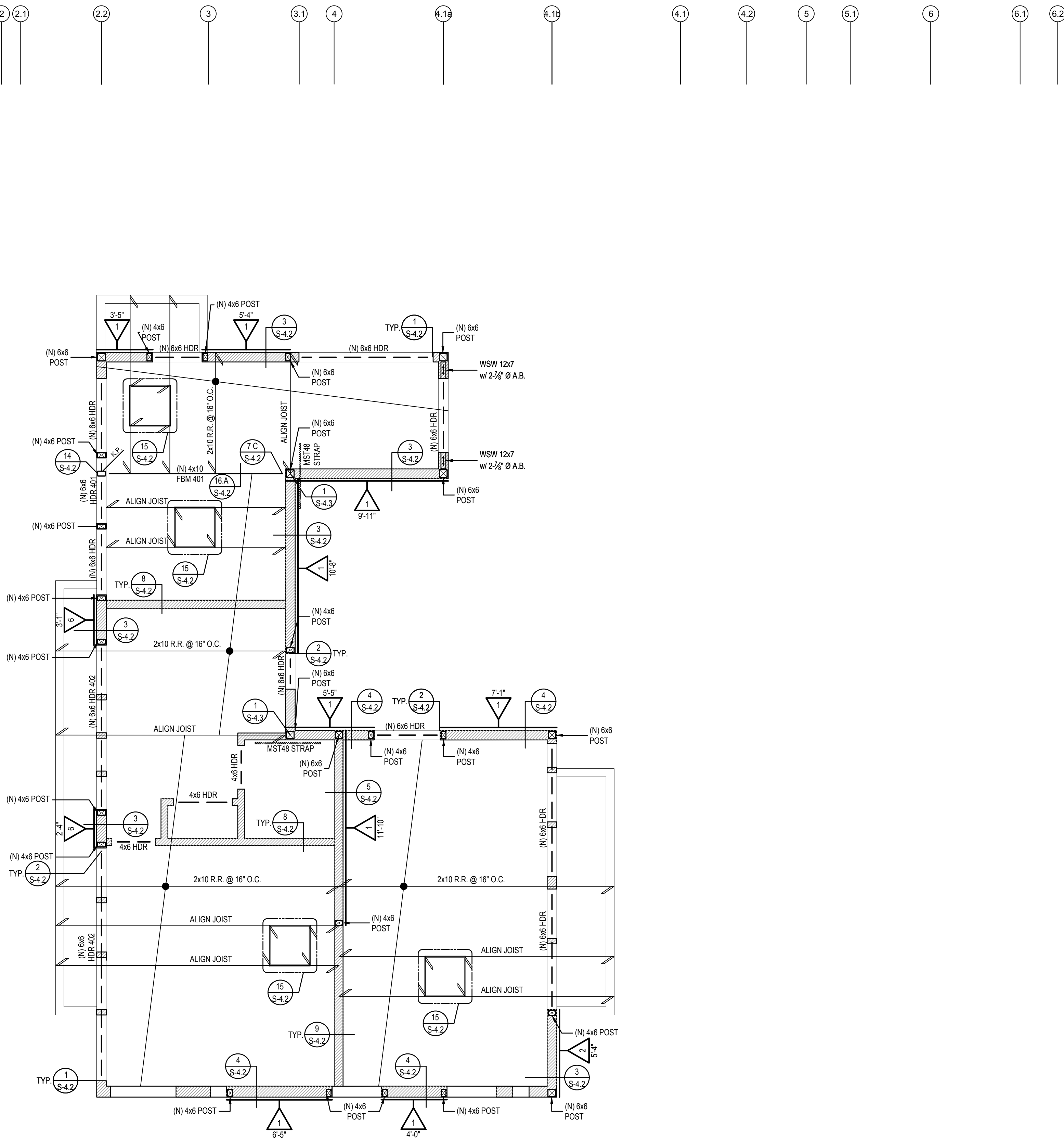
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FILE:

DRAWING NO: 8 OF 12

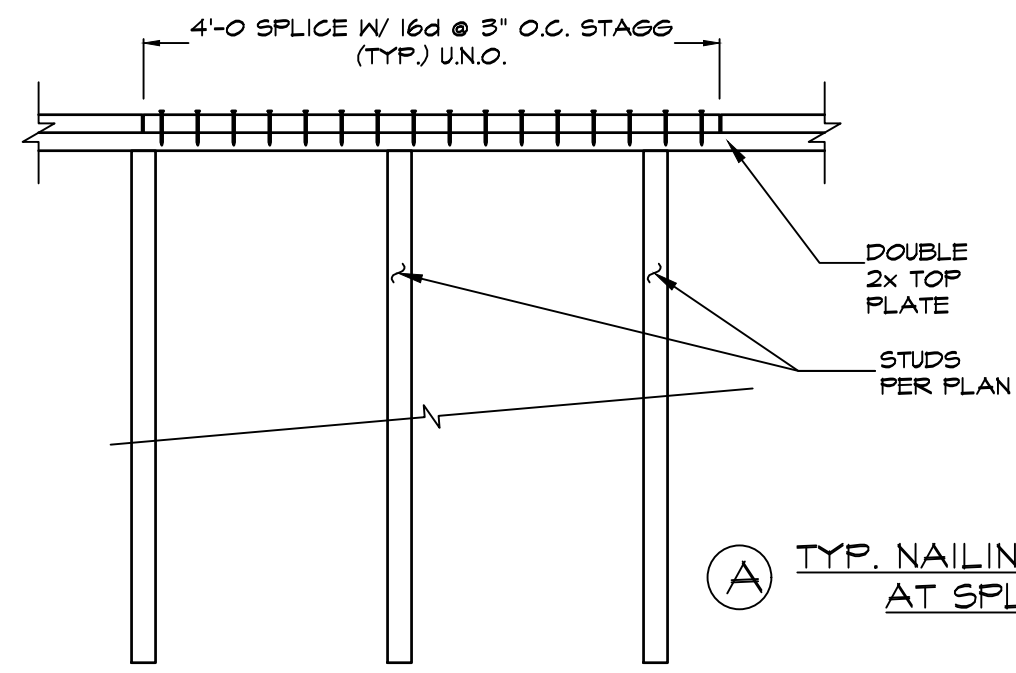
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S-2.5

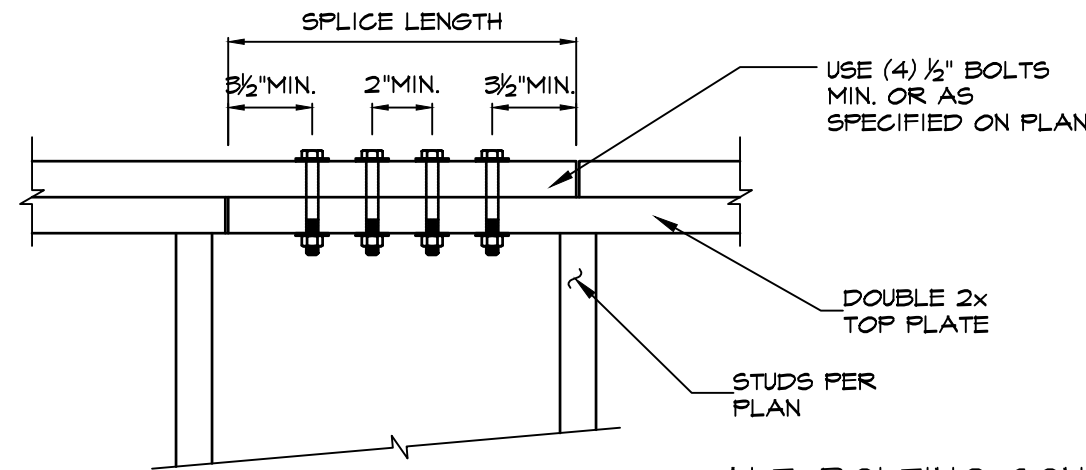


ROOF FRAMING PLAN & 3rd. FLOOR SHEAR WALLS BELOW

SCALE: 1/4" = 1'-0"



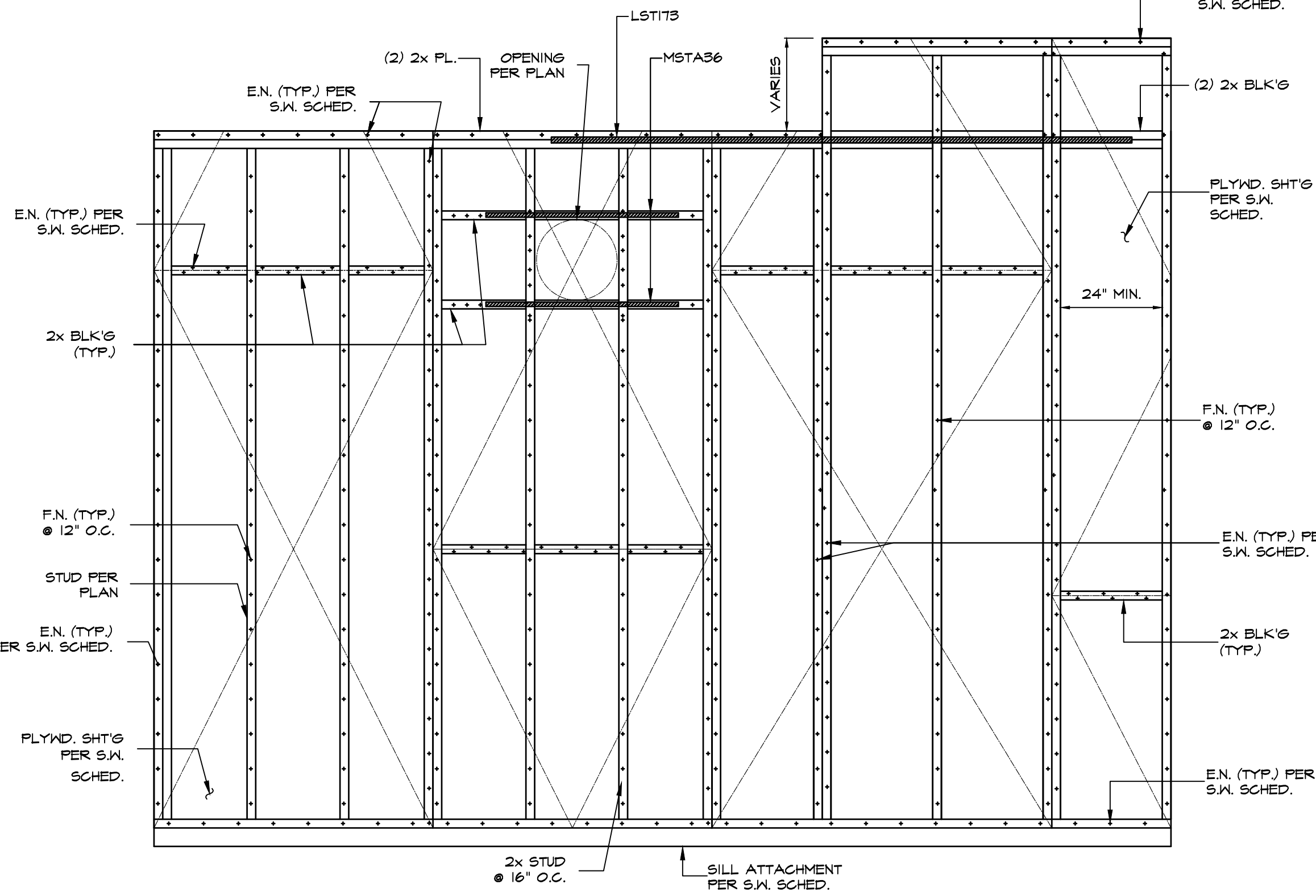
(A) TYP. NAILING CONN. AT SPLICE



(B) ALT. BOLTING CONN. AT SPLICE

NOTE:

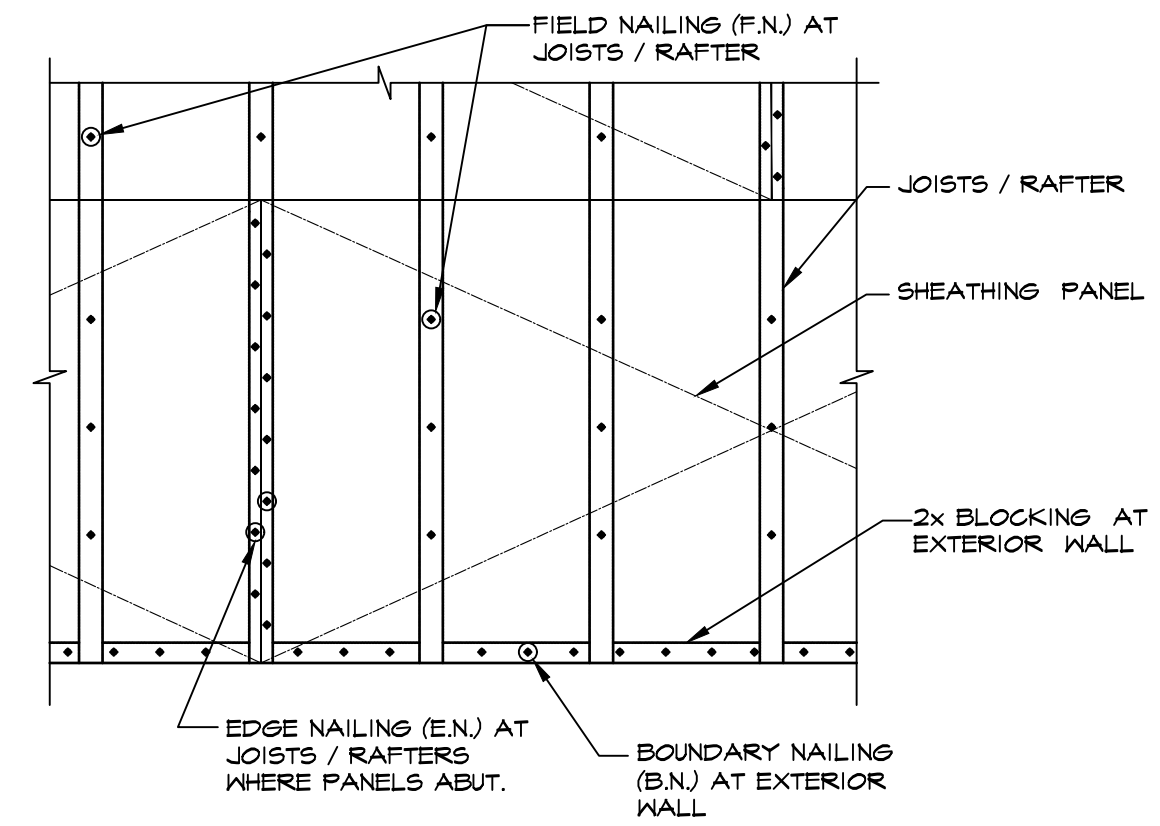
1. SPLICE SHOULD NOT BE WITHIN SHEAR WALL PANELS WITH EDGE NAILING CLOSER THAN 6" O.C. OR DOUBLE SIDED SHEAR WALLS. SPLICE ALSO SHOULD NOT BE WITHIN THE LENGTH OF ANY STEEL STRAPS
2. CONNECTION.
3. WHEN SPLICE OF TOP PLATES CAN NOT BE RELOCATED OUTSIDE THE AFOREMENTIONED SHEAR PANEL OR STRAP CONNECTION, OR WHERE REQUIRED PER PLAN, USE ALT. BOLTING CONNECTION "B".



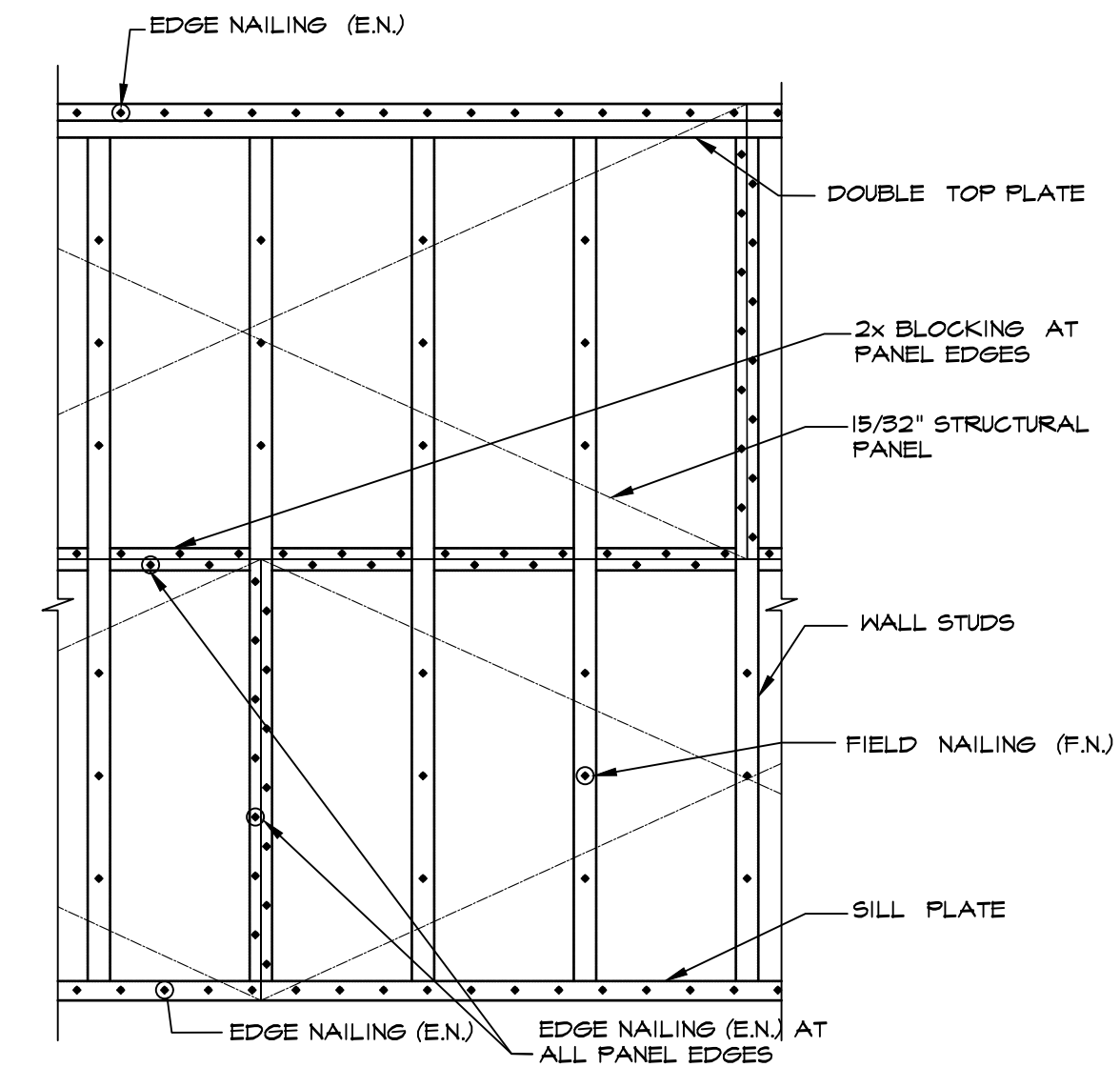
10

TYPICAL SHEAR WALL NAILING DETAIL

ROOF / FLOOR SHEATHING



WALL SHEATHING



PANEL NAILING SCHEDULE

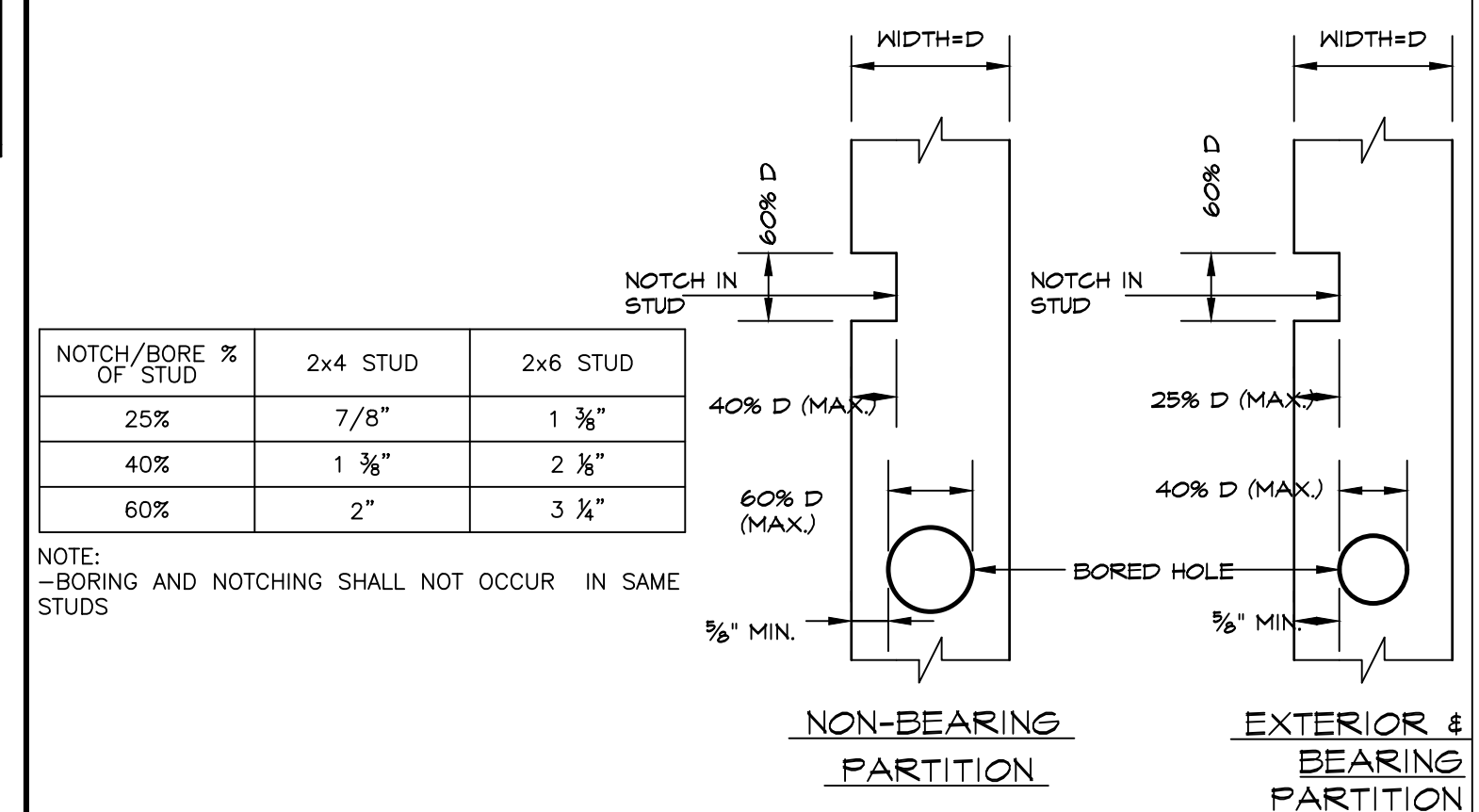
	B.N. / E.N. / F.N.
ROOFS:	8d @ 6" / 6" / 12"
FLOORS:	10d @ 6" / 6" / 10"
WALLS:	8d @ 6" / 12"

NOTES:

1. NAILS SHALL BE PLACED 3/8" FROM PANEL EDGES.
2. PROVIDE 1/8" GAP BETWEEN SHEATHING PANEL.
3. MINIMUM DIMENSION OF SHEATHING PANEL IN ANY DIRECTION SHALL BE 2'-0".
4. WALL SHEATHING PANEL MAY BE INSTALLED WITH THE LONG DIRECTION ORIENTED VERTICALLY.

3

SHEATHING NAILING



NOTCH/BORE % OF STUD	2x4 STUD	2x6 STUD
25%	7/8"	1 3/8"
40%	1 3/8"	2 3/8"
60%	2"	3 1/4"

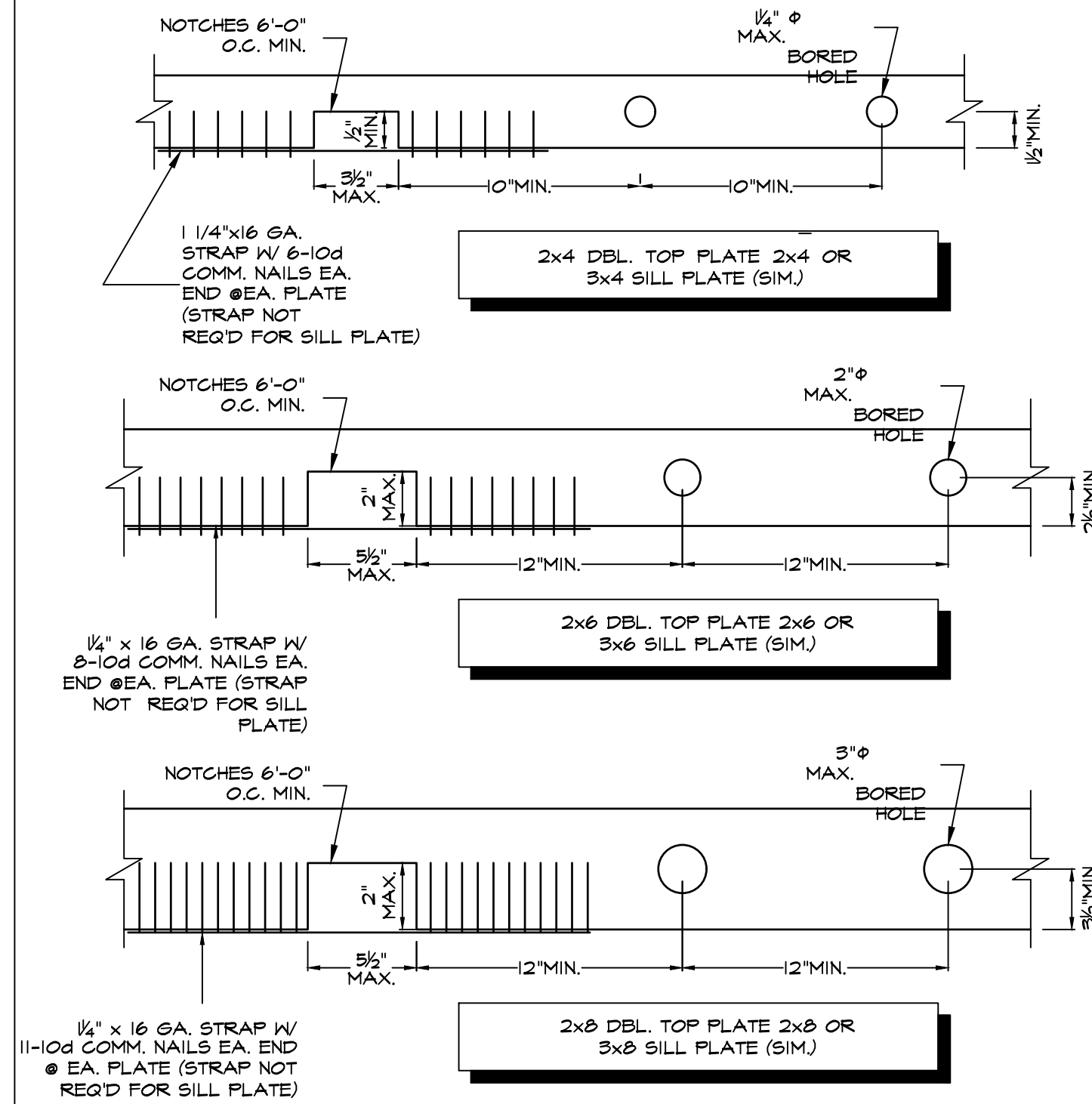
NOTE:
-BORING AND NOTCHING SHALL NOT OCCUR IN SAME STUDS

4

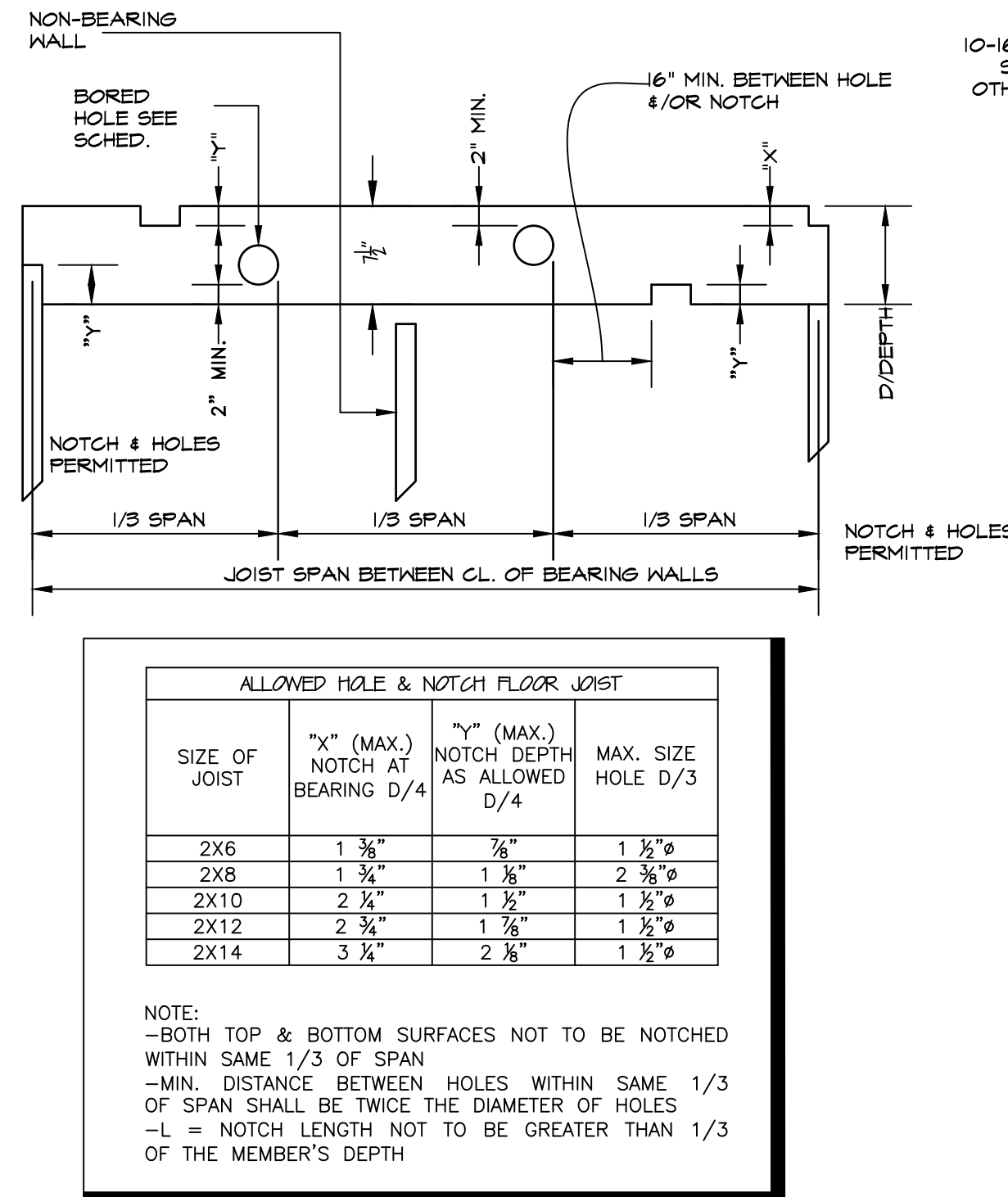
TYPICAL STUD WALL BORING & NOTCHING DETAIL

14

TYP. PLATE SPLICE

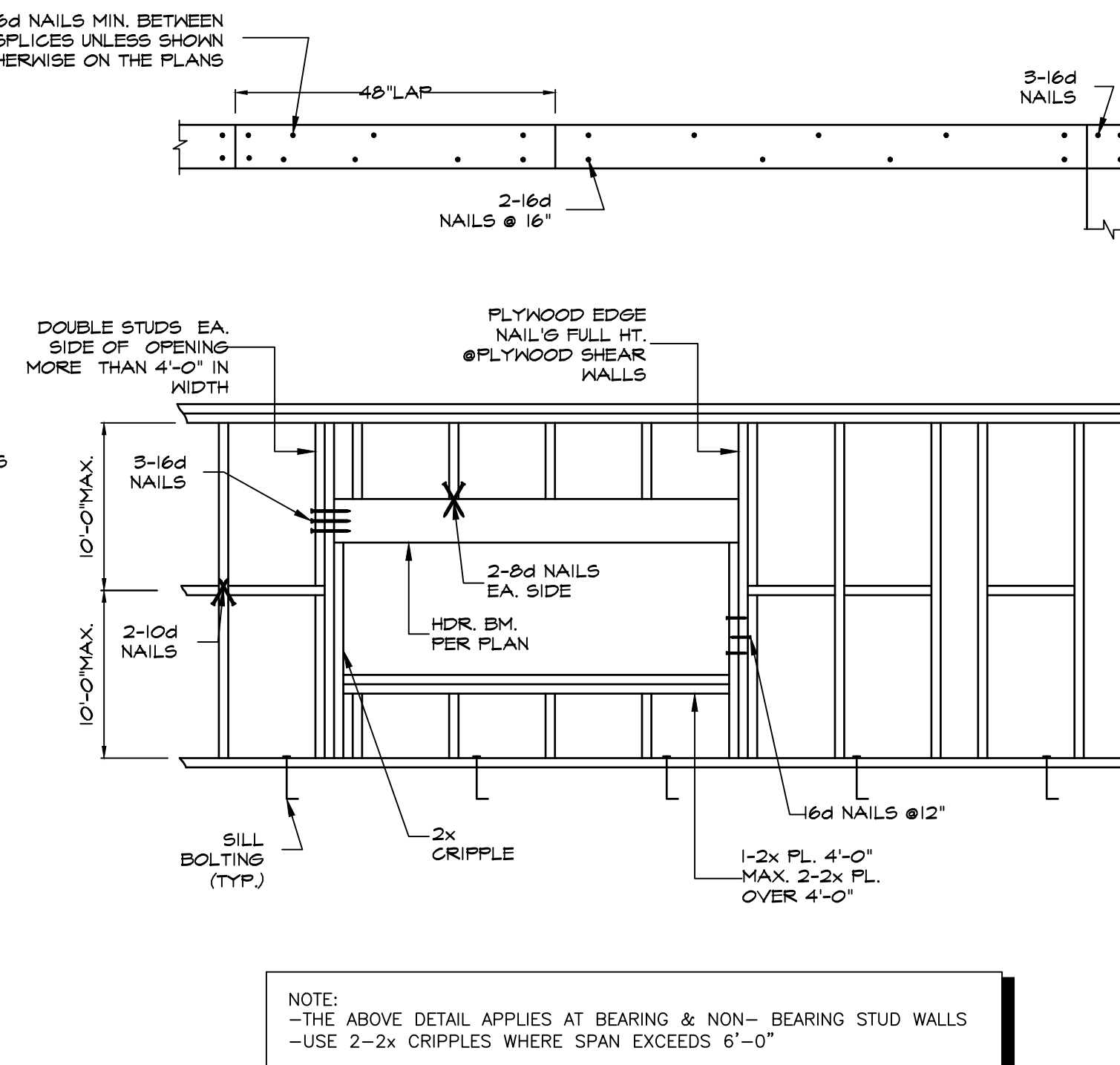


TYPICAL BORING & NOTCHING AT TYPICAL FLOOR & ROOF JOIST SHEAR WALL PLATE DETAIL



SIZE OF JOIST	"X" (MAX.) NOTCH AT BEARING D/4	"Y" (MAX.) NOTCH DEPTH AS ALLOWED D/4	MAX. SIZE HOLE D/3
2X6	1 3/8"	7/8"	1 1/2"
2X8	1 3/4"	1 1/8"	2 3/8"
2X10	2 3/4"	1 1/2"	1 1/2"
2X12	2 3/4"	1 7/8"	1 1/2"
2X14	3 1/4"	2 1/8"	1 1/2"

NOTE:
-BOTH TOP & BOTTOM SURFACES NOT TO BE NOTCHED WITHIN SAME 1/3 OF SPAN
-MIN. DISTANCE BETWEEN HOLES WITHIN SAME 1/3 OF SPAN SHALL BE TWICE THE DIAMETER OF HOLES
-L = NOTCH LENGTH NOT TO BE GREATER THAN 1/3 OF THE MEMBER'S DEPTH



NOTE:
-THE ABOVE DETAIL APPLIES AT BEARING & NON-BEARING STUD WALLS
-USE 2-2x CRIPPLES WHERE SPAN EXCEEDS 6'-0"

TYPICAL STUD WALL FRAMING DETAIL

16

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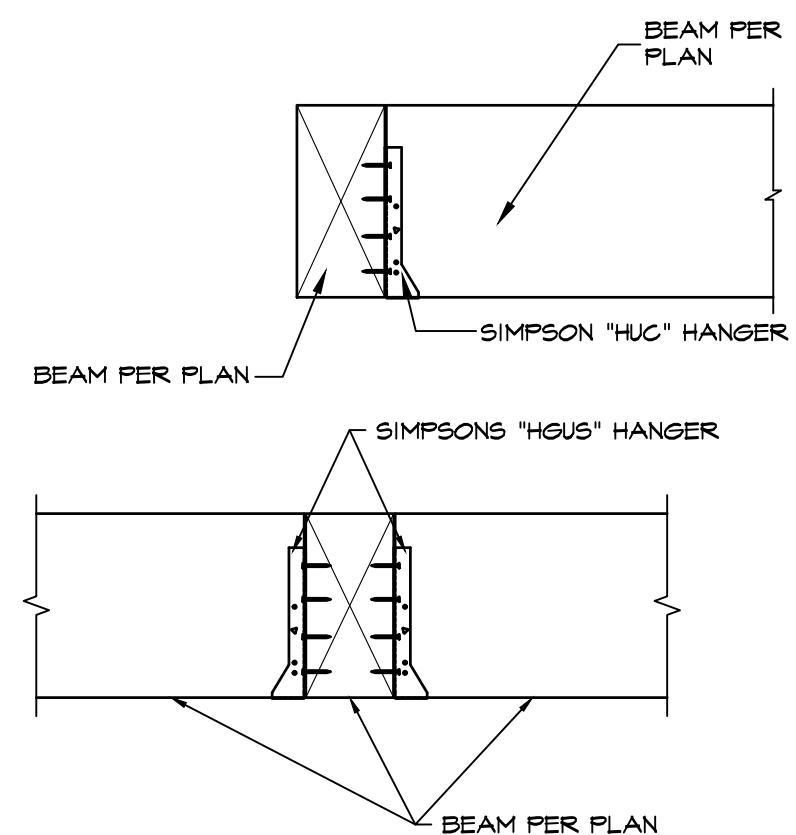
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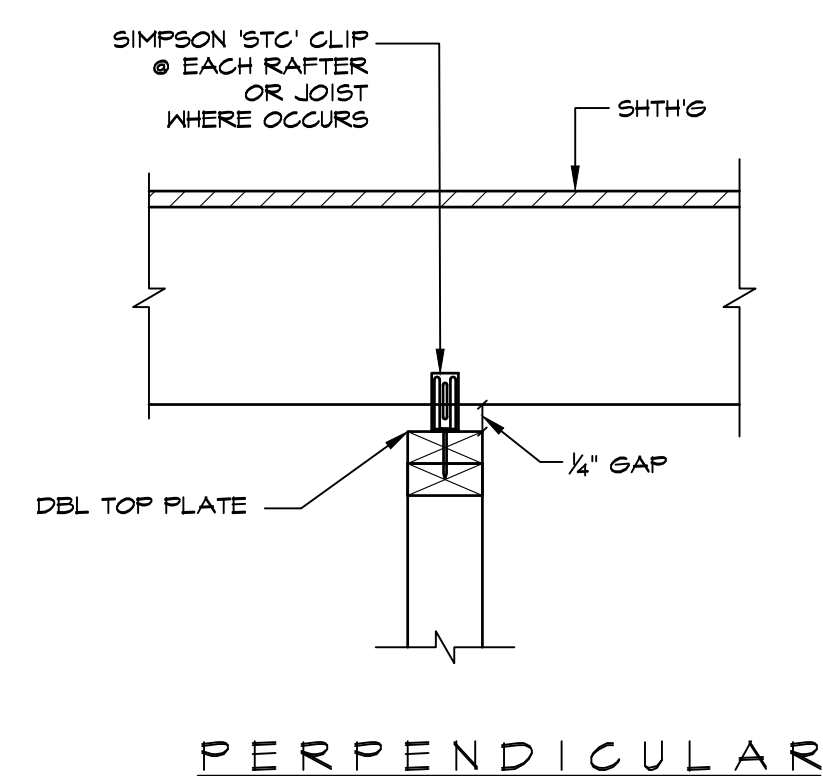
FRAMING DETAILS

JOB NO: 17140
SCALE: N.A. DATE: 09/01/20
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FILE:
DRAWING NO: 9 OF 12
SHEET NO:

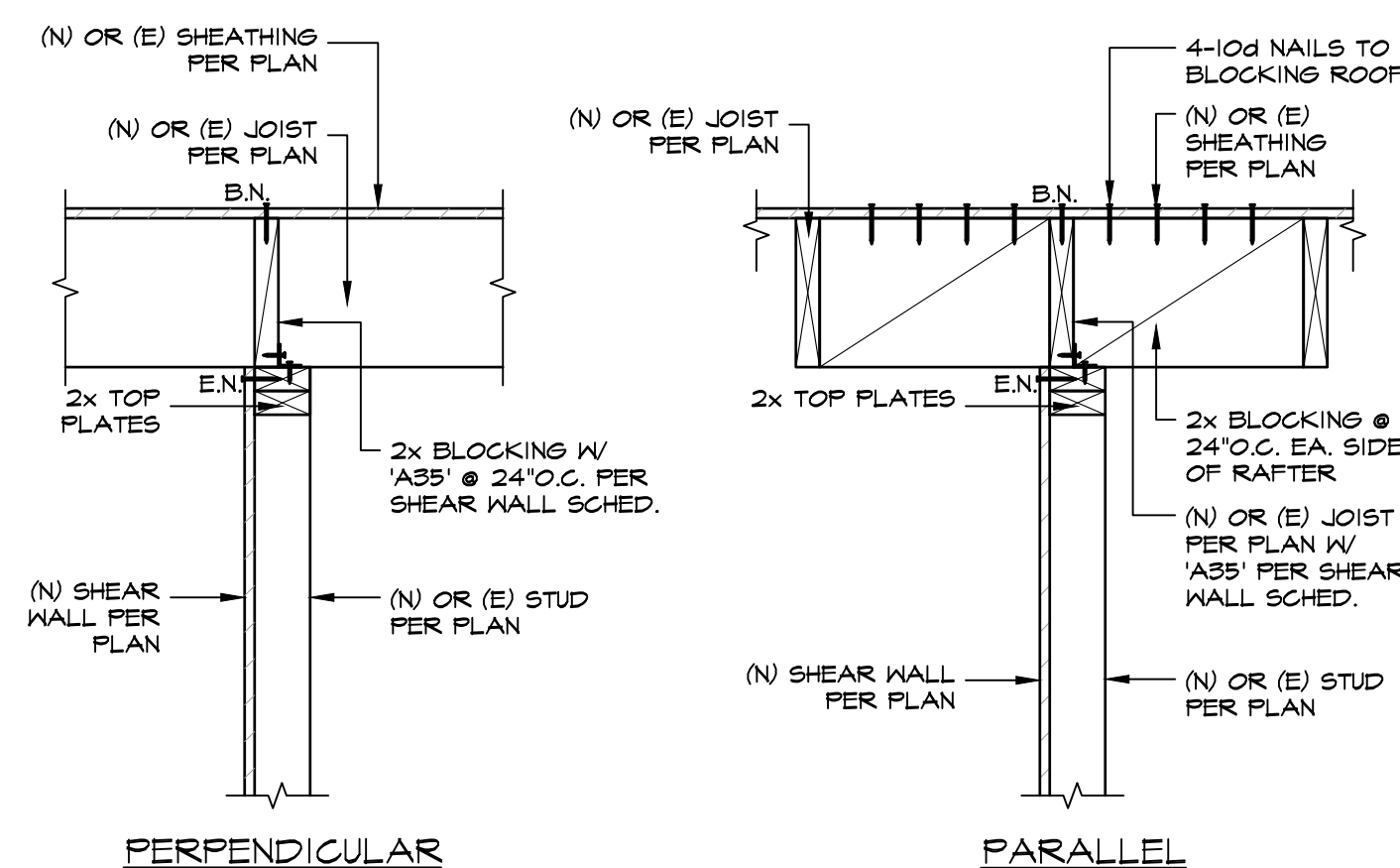
S-4.1



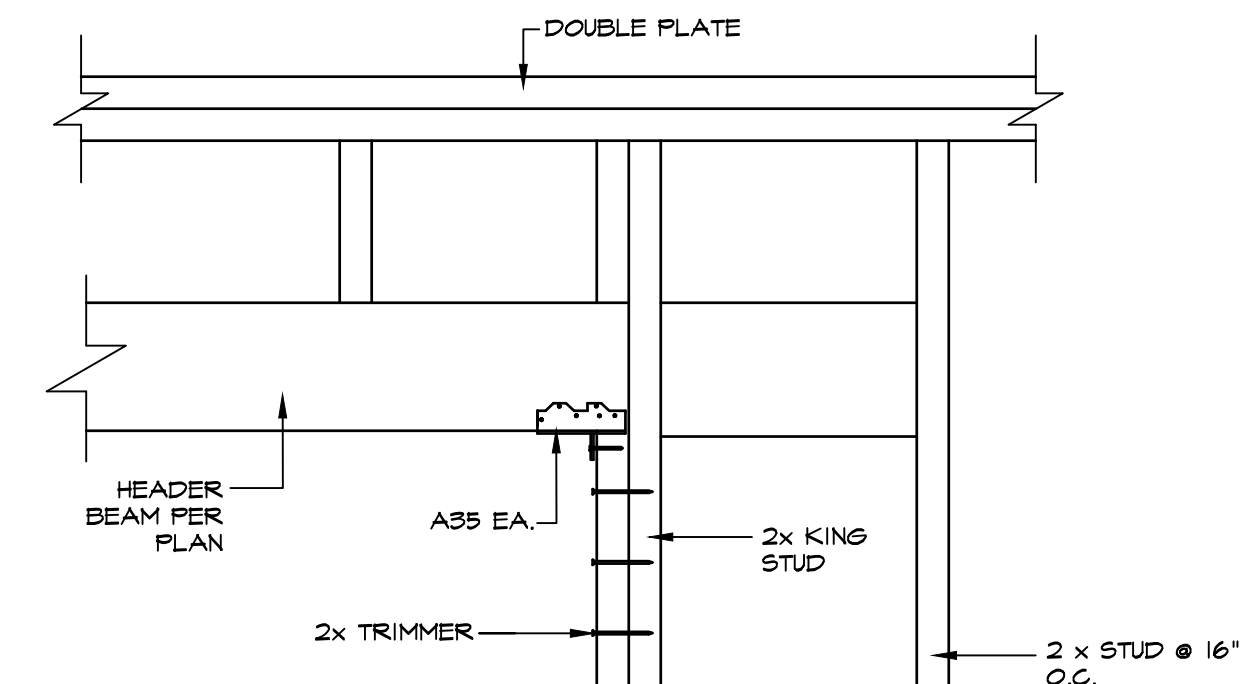
13 BEAM TO BEAM CONN.



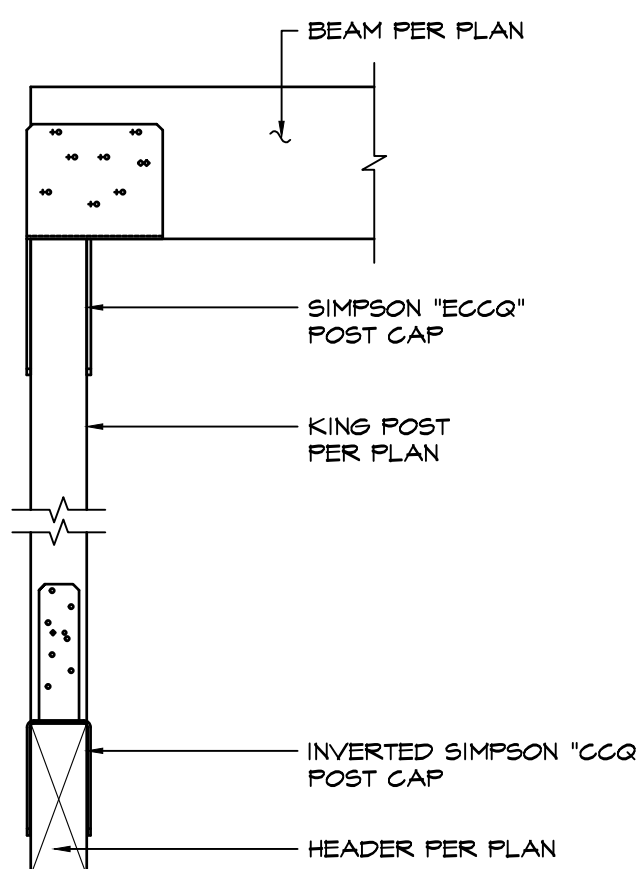
TYP. NON-BEARING WALL



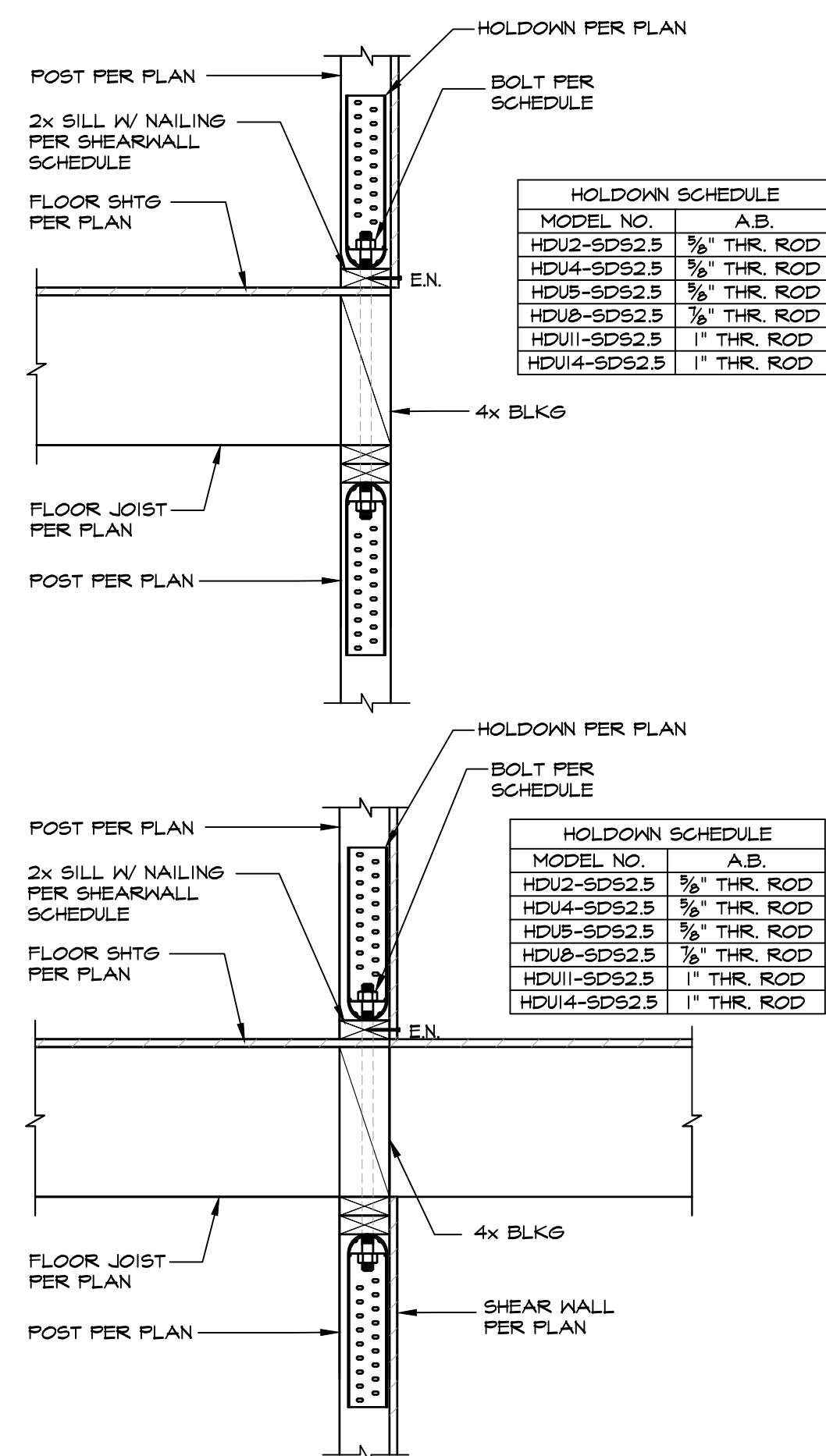
INT. SHEAR WALL



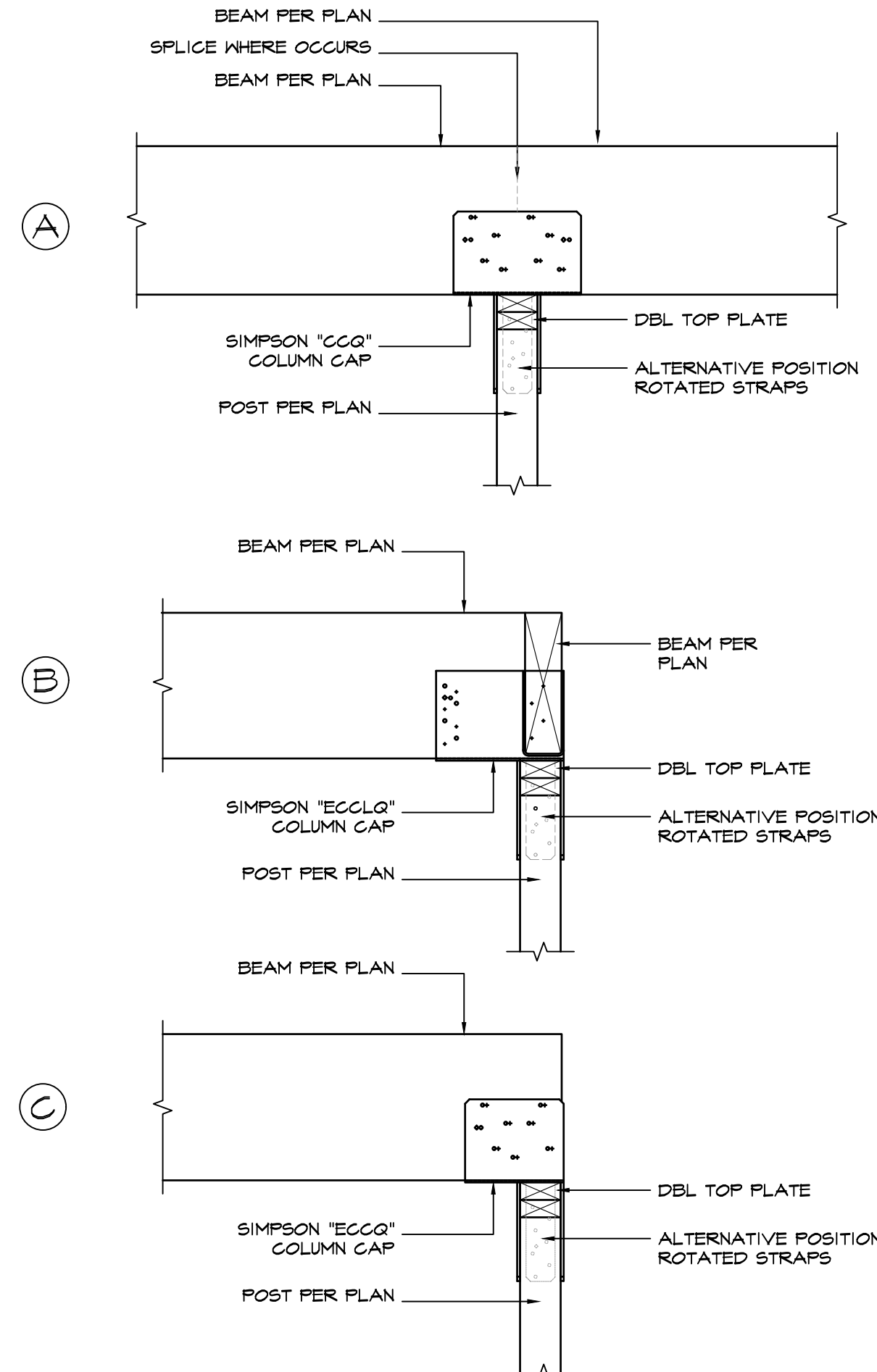
TYP. HEADER



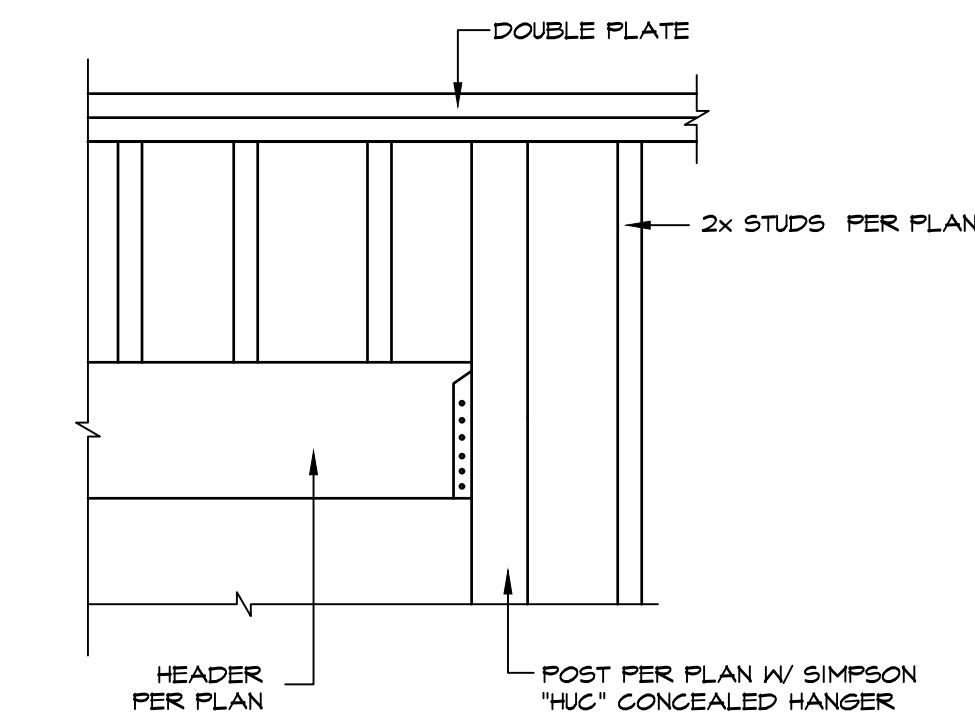
14	BEAM TO HEADER CONN.
----	----------------------



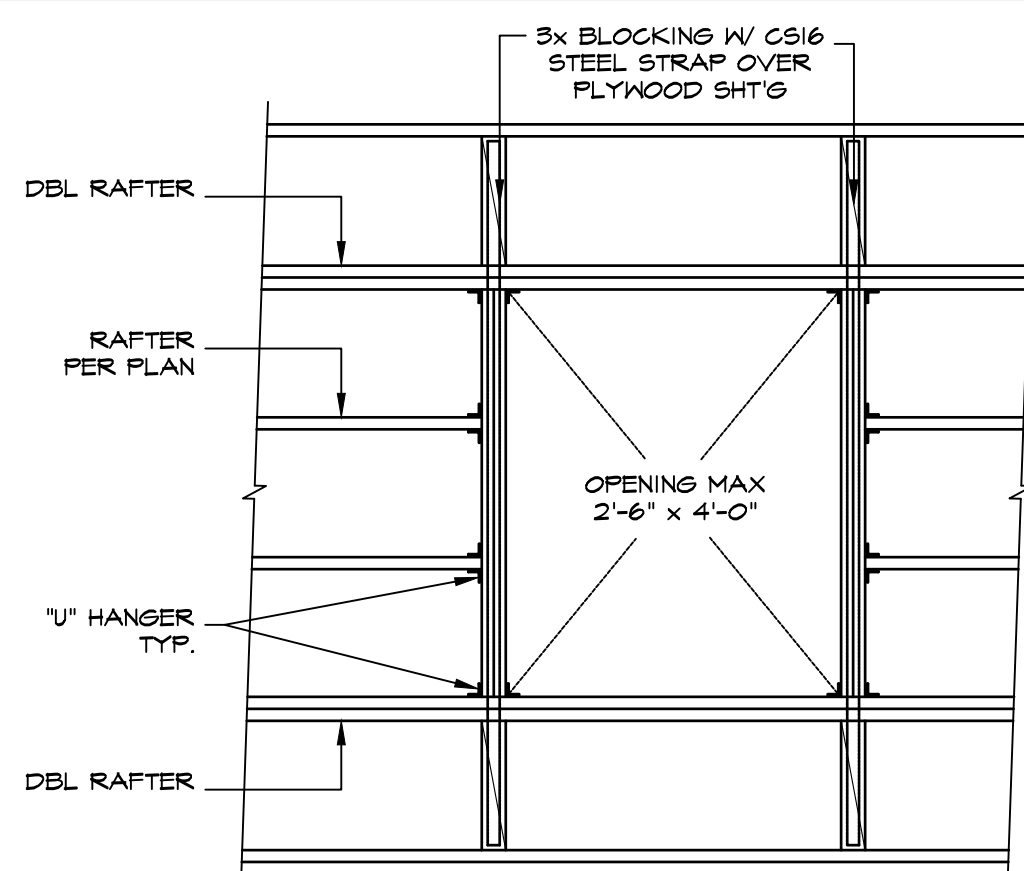
HDU-STRAP FLOOR TO FLOOR



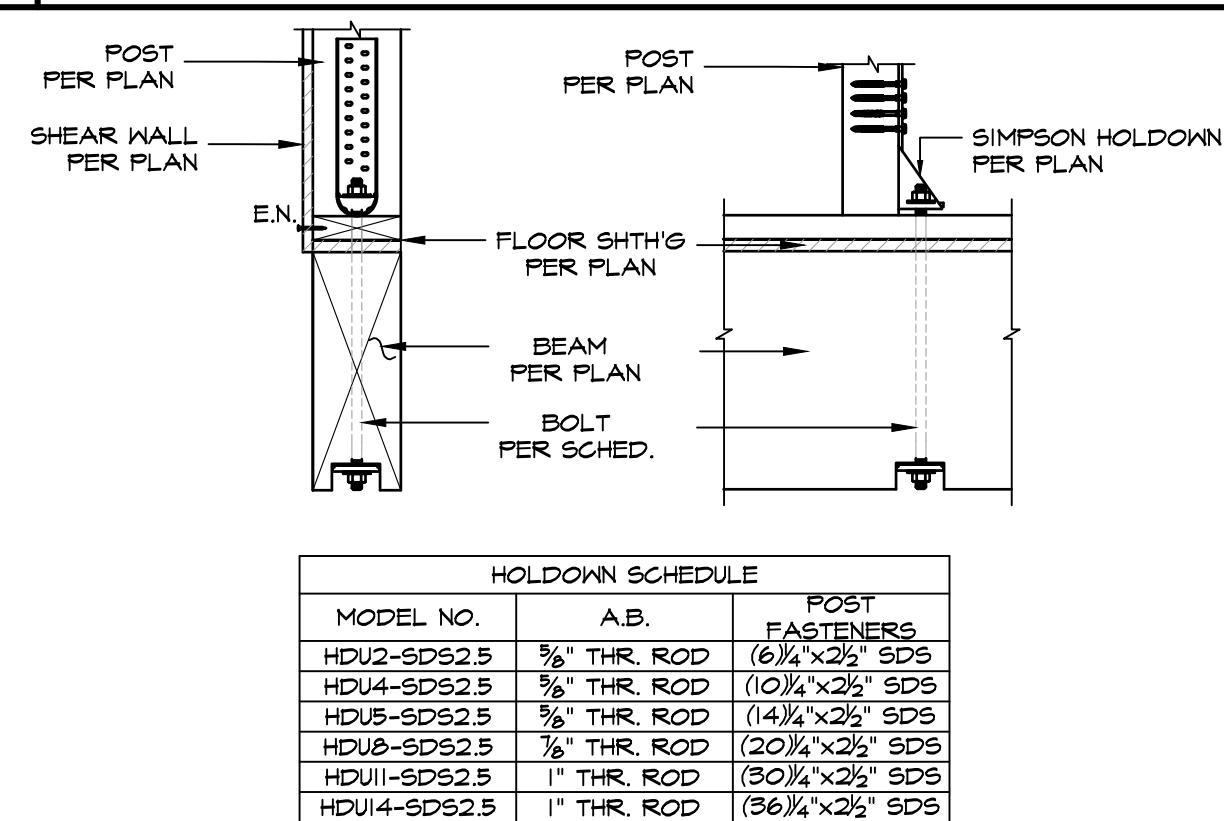
TYP. BEAM TO POST CONN.



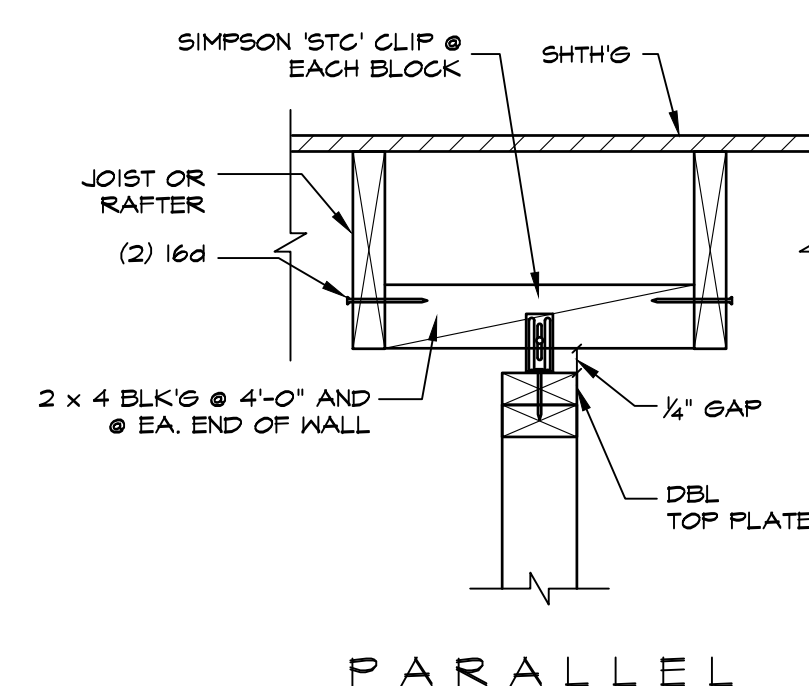
TYP. HEADER



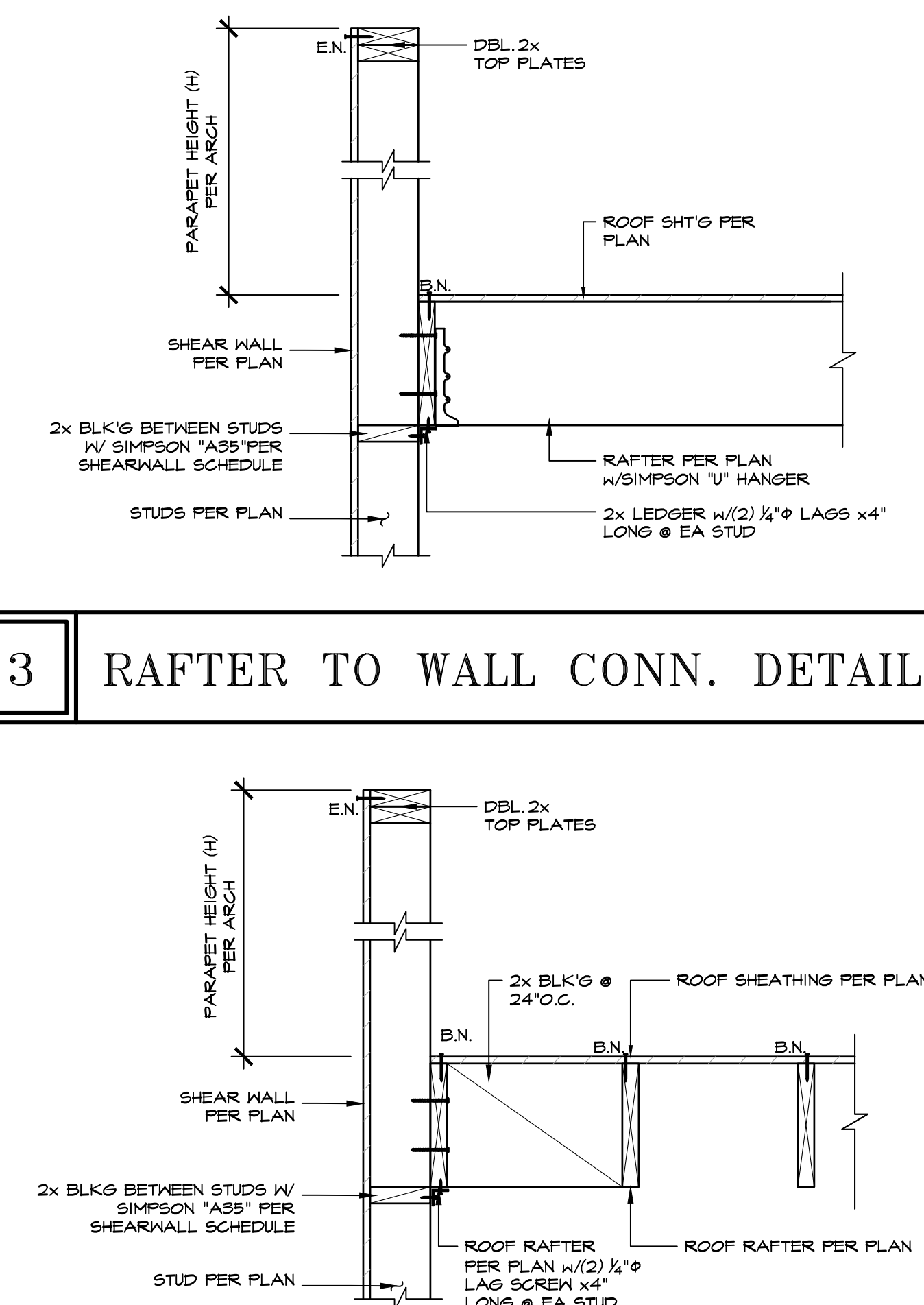
15 TYP. SKYLIGHT DETAIL



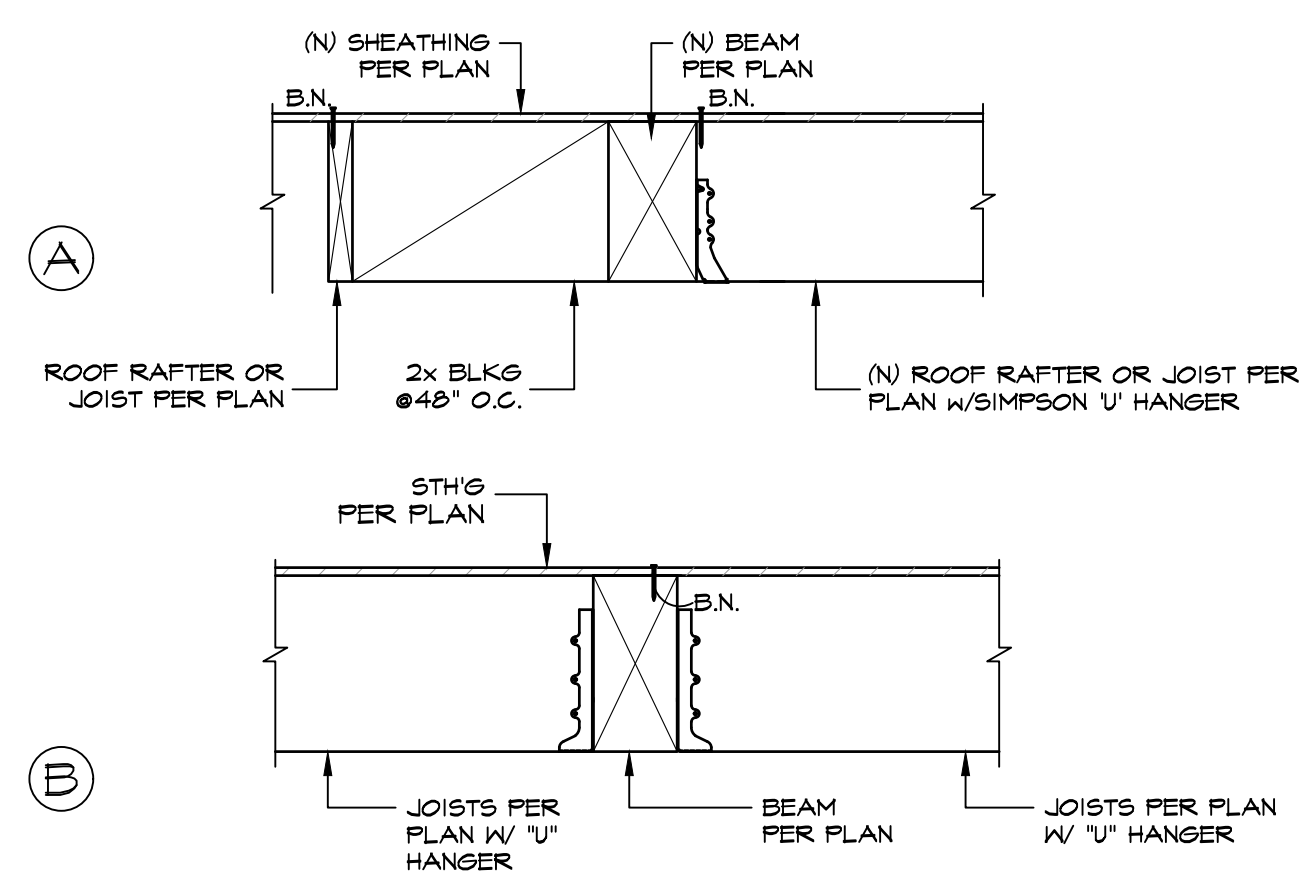
HDU TO BEAM DETAIL



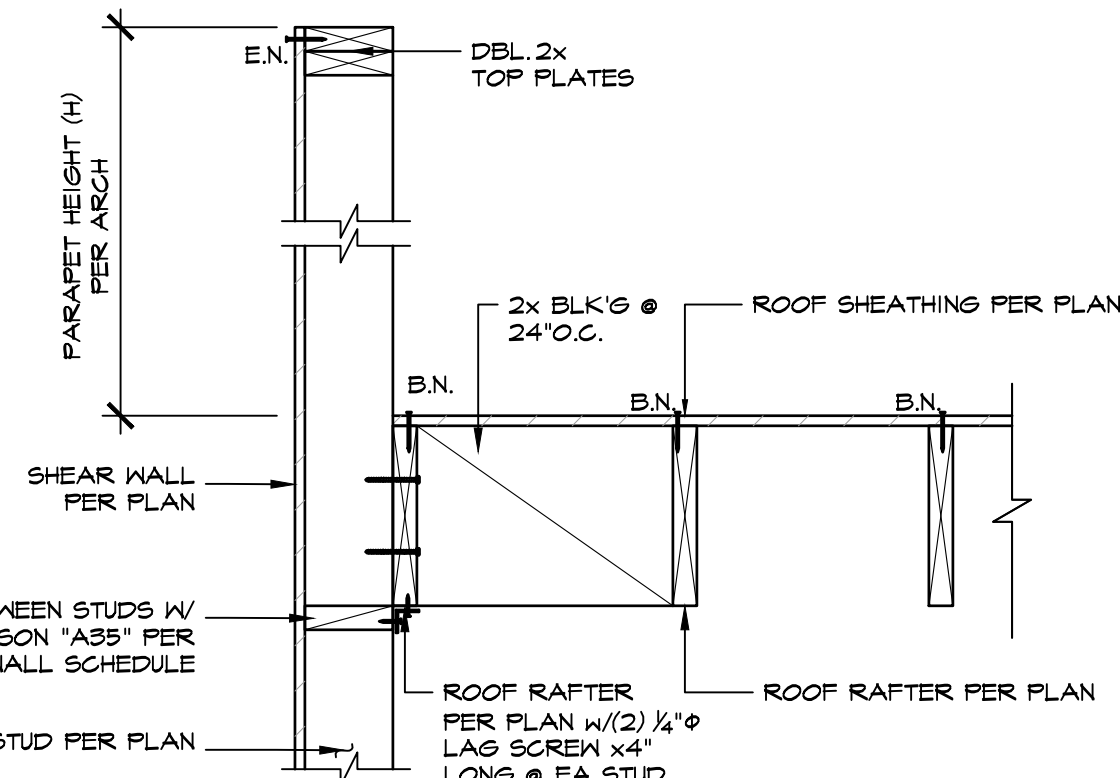
TYP. NON-BEARING WALL



RAFTER TO WALL CONN. DETAIL



16 JOISTS TO BEAM CONN.



RAFTER TO WALL CONN. DETAIL

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FRAMING DETAILS

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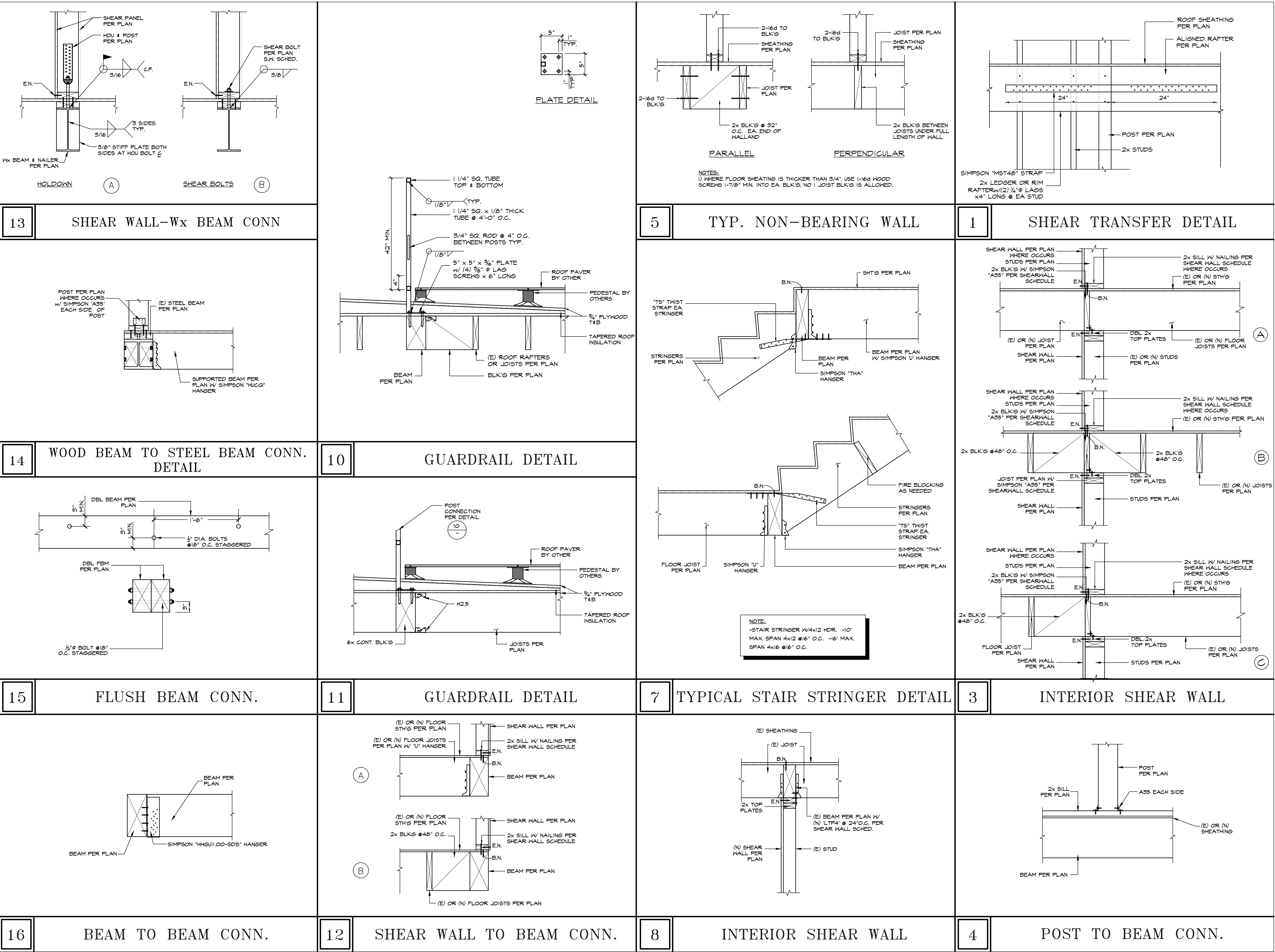
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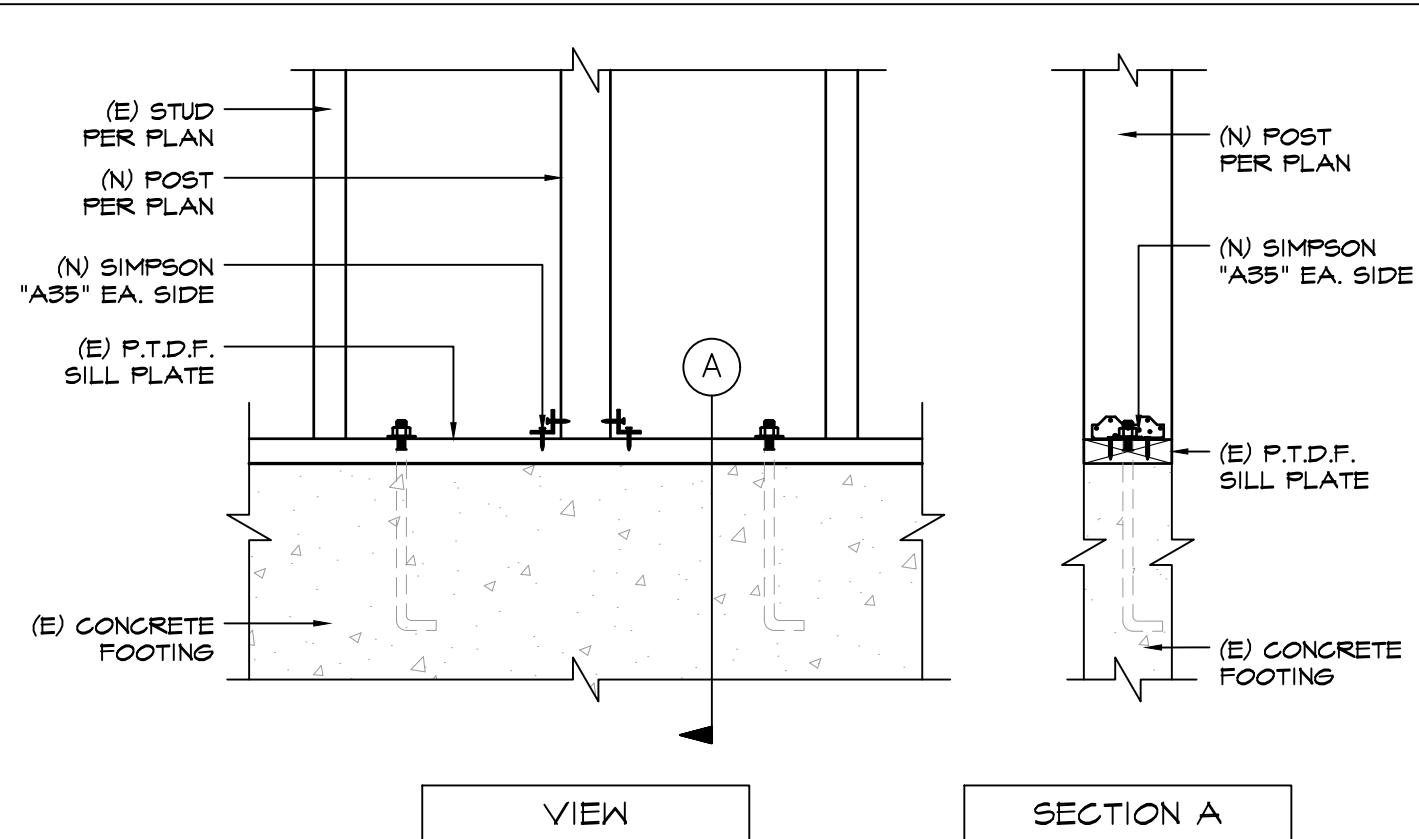
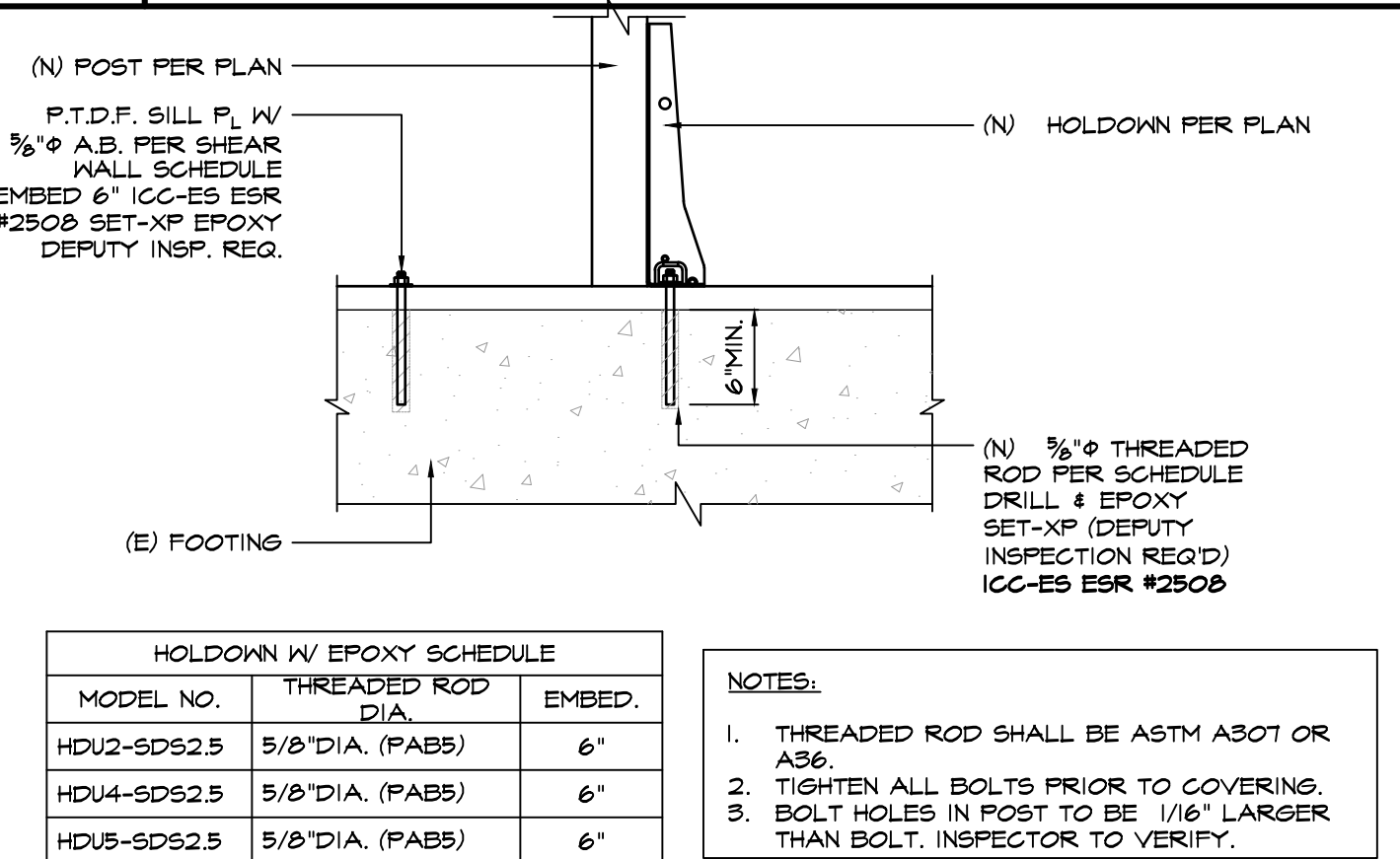
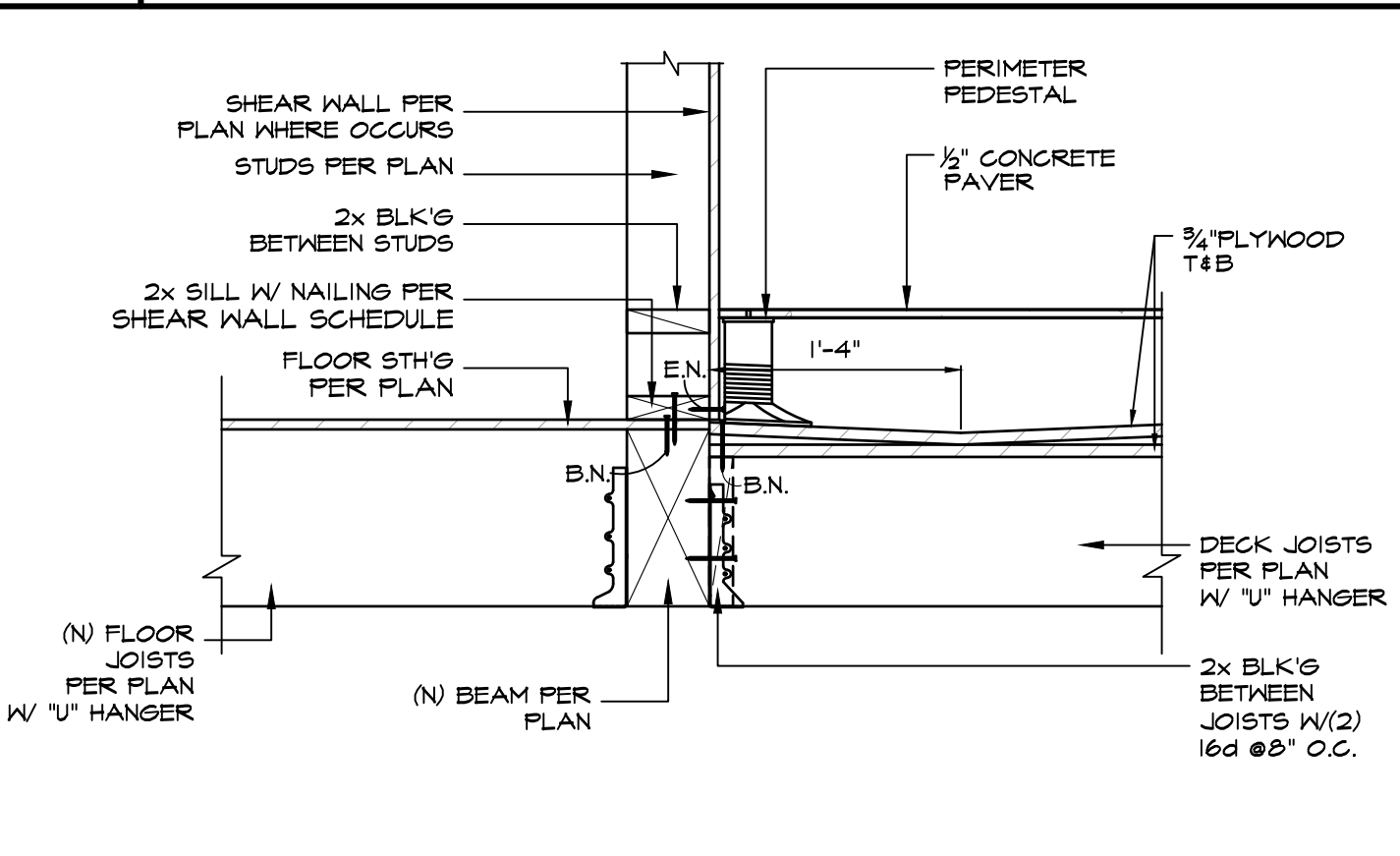
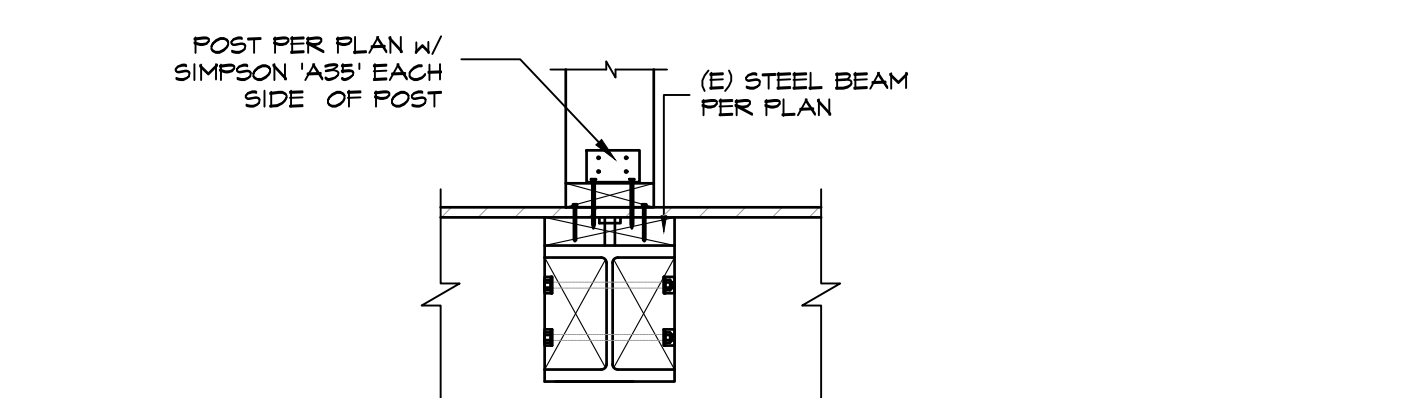
SHEET TITLE

FRAMING DETAILS

JOB NO: 17140
SCALE: N.A. DATE: 09/01/20
DRAWN BY: DMA/MAA
FILE:
DRAWING NO: 11 OF 12
SHEET NO:

S-4.3



							
13	NOT USED	9	NOT USED	5	TYP. POST CONNECTION	1	
							
14	NOT USED	10	NOT USED	6	(N) HOLDOWN TO (E) FTG DETAIL	2	ROOF DECK DETAIL
15	NOT USED	11	NOT USED	7	NOT USED	3	
							
16	NOT USED	12	NOT USED	8	NOT USED	4	WOOD POS TO STEEL BEAM DET.



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REVISIONS		
NO.	DATE	DESCRIPTION
	11/14/2019	PERMIT SUBMITAL

SHEET TITLE

FRAMING DETAILS

JOB NO: 17140

SCALE: N.A. DATE: 09/01/20

DRAWN BY: DMA/MAA

FILE:

DRAWING NO: 12 OF 12

SHEET NO:

S-4.4

EXHIBIT D

From: **Brian Veit** oceanrenter@gmail.com
Subject: Re: 4326-4336 Irving Meeting
Date: May 18, 2020 at 1:01 PM
To: David Weissglass david.weissglass@sfgov.org
Cc: Daisy Quan daisy.quan@sfgov.org, John Garrett johnwgarrett@gmail.com, Dawn Ma dma@que-arch.com



David,

I was just at the job site meeting with the inspector who came to shut us down because of a complaint from a neighbor that we "didn't have a permit for the 2nd and 3rd floor."

I showed the inspector the permit and he was fine with us proceeding.

I just think Barbara should be aware of that development. Thank you for communicating with her.

Thank you,
BV

On May 18, 2020, at 11:51 AM, Weissglass, David (CPC) <david.weissglass@sfgov.org> wrote:

Hi Daisy,

Brian is indeed correct. To provide clarification on point 3, the 311 notification period is extended until **May 22nd** to allow neighbor(s) to file for DR and become "party" to the hearing if they so choose.

Brian, Barbara Delaney wanted to call me today so I'm going to speak with her just to clarify the dates for her. I'm aware you've been in communication.

Thanks,

David Weissglass, Planner
Flex Team, Current Planning Division
San Francisco Planning Department
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415.575.9177 | www.sfplanning.org
[San Francisco Property Information Map](#)

The Planning Department is open for business during the Stay Safe at Home Order. Most of our staff are working from home and we're [available by e-mail](#). Our [Public Portal](#), where you can file new applications, and our [Property Information Map](#) are available 24/7. The Planning and Historic Preservation Commissions are convening remotely and [the public is encouraged to participate](#). The Board of Appeals, Board of Supervisors, and Planning Commission are [accepting appeals](#) via e-mail despite office closures. All of our in-person services at 1650 and 1660 Mission Street are suspended until further notice. [Click here for more information](#).

From: Brian Veit <oceanrenter@gmail.com>
Sent: Monday, May 18, 2020 11:49 AM
To: Quan, Daisy (BOS) <daisy.quan@sfgov.org>
Cc: Weissglass, David (CPC) <david.weissglass@sfgov.org>; John Garrett <johnwgarrett@gmail.com>; Dawn Ma <dma@que-arch.com>
Subject: Re: 4326-4336 Irving Meeting

Dear Daisy,

Briefly, I think it was:

- 1) PC Hearing June 4th for the ~2,400sf "pop-up" to add 8 beds and baths.
- 2) Planning department is withdrawing opposition to and hearing discussion of 2nd and 3rd floors, while recognizing the PC could so choose.
- 3) Notices posted for both the upcoming PC hearing and extending 311 notifications.

Thank you,
BV

On May 18, 2020, at 11:33 AM, Quan, Daisy (BOS)
<daisy.quan@sfgov.org> wrote:

Apologies that I was unavailable. What was the outcome of this meeting?

From: Brian Veit <oceanrenter@gmail.com>
Date: Monday, May 11, 2020 at 3:03 PM
To: "Weissglass, David (CPC)" <david.weissglass@sfgov.org>
Cc: Dawn Ma <dma@que-arch.com>, Theo Revlock <trevlock@que-arch.com>, "Kwiatkowska, Natalia (CPC)" <natalia.kwiatkowska@sfgov.org>, "Watty, Elizabeth (CPC)" <elizabeth.watty@sfgov.org>, "Quan, Daisy (BOS)" <daisy.quan@sfgov.org>, John Garrett <johnwgarrett@gmail.com>
Subject: Re: 4326-4336 Irving Meeting

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

David,

If you don't mind I'm going to try to get in a few minutes early since last time I was unable to get teams to work from the app on my Mac.

If it doesn't work I'll just call in.

Thank you

On May 11, 2020, at 2:58 PM, Weissglass, David (CPC)
<david.weissglass@sfgov.org> wrote:

Hi all, I invited those I assumed would want to be involved. For those without Microsoft Teams, please see the call-in number and conference ID.

Join Microsoft Teams Meeting

+1 415-906-4659 United States, San Francisco (Toll)

Conference ID: 982 204 850#

EXHIBIT E

From: **OceanRenter** oceanrenter@gmail.com
Subject: Re: 4326-4336 Irving Street IRV planning commission date
Date: **February 29, 2020 at 2:06 PM**
To: Weissglass, David (CPC) david.weissglass@sfgov.org
Cc: Dawn Ma dma@que-arch.com, John Garrett johnwgarrett@gmail.com

Dear David,

Here is the notice posted today



Brian Veit
Cell: [415-672-2485](tel:415-672-2485)

On Feb 28, 2020, at 17:15, Weissglass, David (CPC) <david.weissglass@sfgov.org> wrote:

No – the notice dates for 311 neighborhood notification are March 2nd to April 1st so those are the dates you should write. 311 neighborhood notification is actually separate from the hearing notice, which will occur a bit later. The reason we're doing neighborhood notice now is so that it will expire on April 1st. That way, *if* a spot opens up on the April 2nd hearing, you will have already completed neighborhood notification. We'll notice the *hearing* separately.

David Weissglass, Planner
Flex Team, Current Planning Division
San Francisco Planning Department
1650 Mission Street, Suite 400, San Francisco, CA 94103

1650 Mission Street, Suite 400, San Francisco, CA 94103

Direct: 415.575.9177 | www.sfplanning.org

[San Francisco Property Information Map](#)

From: Brian Veit <oceanrenter@gmail.com>

Sent: Friday, February 28, 2020 5:06 PM

To: Weissglass, David (CPC) <david.weissglass@sfgov.org>

Cc: Dawn Ma <dma@que-arch.com>; John Garrett <johnwgarrett@gmail.com>

Subject: Re: 4326-4336 Irving Street IRV planning commission date

I'm posting the notice — should I put “April 23rd” on the orange “notice date”?

Brian Veit

oceanrenter@gmail.com

415-993-2690

On Feb 28, 2020, at 4:49 PM, Weissglass, David (CPC) <david.weissglass@sfgov.org> wrote:

Hi Brian,

Per my last email, the hearing date is currently set for **April 23rd**. However, I am going to continue to check in with staff as we move into next week in the hopes that a DR scheduled for the April 2nd or April 16th hearing is withdrawn, opening up a spot that we might be able to slip in to.

David Weissglass, Planner

Flex Team, Current Planning Division

San Francisco Planning Department

1650 Mission Street, Suite 400, San Francisco, CA 94103

Direct: 415.575.9177 | www.sfplanning.org

[San Francisco Property Information Map](#)

From: Brian Veit <oceanrenter@gmail.com>

Sent: Friday, February 28, 2020 4:36 PM

To: Weissglass, David (CPC) <david.weissglass@sfgov.org>

Cc: Dawn Ma <dma@que-arch.com>; John Garrett <johnwgarrett@gmail.com>

Subject: Re: 4326-4336 Irving Street IRV planning commission date

Importance: High

David,

Do we have a date yet?

Brian Veit

oceanrenter@gmail.com

415-993-2690

On Feb 24, 2020, at 6:16 PM, Brian Veit <oceanrenter@gmail.com> wrote:

Dear David,

I am not quite sure I understand entirely, but I think all i need to know is:

"When I get the fee email, hustle down to the planning and pay the fee and pick up the poster to have any shot at April 2nd."

Will do!

Thank you

Brian Veit
oceanrenter@gmail.com
415-993-2690

On Feb 24, 2020, at 5:58 PM, Weissglass, David (CPC) <david.weissglass@sfgov.org> wrote:

Thank you Brian, I do understand and I've been conveying that to everyone I've spoken to in the Department including the ZA, Deputy Director of Current Planning, and Secretary of Commission Affairs. There's only so much we can do given the number of cases that need to go to commission, but I can assure you we're doing all we can for a case like this.

After working around a few people, I've confirmed the earliest possible hearing date for a hearing of this sort, which is **April 23rd, 2020**. I know this isn't what you were looking for, but the Commission Secretary already has a number of DR cases on the previous hearings. *However*, I've spoken to the individual in charge of the other DR cases on April 2nd and April 16th (the two possible hearings before April 23rd), and he let me know there's a chance that a DR on one of those dates may be withdrawn soon. If that occurs, I'll jump ASAP to grab one of those slots. I'm going to check in with him next week to see what I can do. As long as we get word at least 20 days or so before the hearing, we can likely work it out. But for now, the official date is April 23rd.

Regardless, we're going to get started on neighborhood notification per Planning Code Section 311 now. This notice is *separate* from the noticing that will go out for the hearing, but we need this 30-day noticing to be completed before the hearing anyway – if it isn't, then there runs the chance of someone filing a DR *after* the hearing, which means the Commission and ZA likely wouldn't act at the hearing anyway. So basically I'm trying to get this noticing started ASAP to ensure that it is completed by April 2nd; that way, if we are able to get lucky and find a slot on the April 2nd calendar, 311 will have been completed. If not and we have to stay on April 23rd, no harm done because 311 will have

been completed already.

As such, I've forwarded the 311 noticing materials to support staff and expressed urgency in getting this done. What that means is this week (hopefully tomorrow or Wednesday) they will email you the required fee for sending out the mailing as well as instructions. When you get that email, please try to deliver the fee ASAP and pick up the poster. That will enable us to get noticing started early enough so that if April 2nd becomes available, we'll be in good shape.

Thank you, and let me know if you have any questions right now.

David Weissglass, Planner
Flex Team, Current Planning Division
San Francisco Planning Department
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415.575.9177 | www.sfplanning.org
[San Francisco Property Information Map](#)

From: Brian Veit <oceanrenter@gmail.com>
Sent: Monday, February 24, 2020 9:25 AM
To: Weissglass, David (CPC) <david.weissglass@sfgov.org>
Cc: Dawn Ma <dma@que-arch.com>; John Garrett <johnwgarrett@gmail.com>
Subject: Re: 4326-4336 Irving Street IRV planning commission date

Dear David,

Every day is extremely costly to us so just a reminder that we seek earliest calendar date.

Thank you

Brian Veit
oceanrenter@gmail.com
415-993-2690

On Feb 21, 2020, at 5:06 PM, Weissglass, David (CPC) <david.weissglass@sfgov.org> wrote:

Hi all, still waiting on the Commission Secretary to confirm (tried to grab him in person today and couldn't). I talked to a few folks and I *think* I might swing a way for us to have an Acting ZA for the April 2nd hearing, so if the Commission Secretary allows us to be on that calendar, that could work.

The April 9th hearing is also cancelled (I don't know why there are so many random cancellations coming up) so if April 2nd doesn't work, it would be April 16th. I'm going to try like hell to get April 2nd, but I just want to keep you updated.

Thanks,

EXHIBIT F

**THE IRV
 DEVELOPMENT :
 ADU PERMIT**
 4326 - 4336 IRVING ST.
 SAN FRANCISCO
 CA 94122

BLOCK/LOT: 1706/051
 & 1706/050



NO.	DATE	DESCRIPTION
1	12/11/18	PERMIT SUBMITTAL
2	02/07/19	RESPONSE TO RCE

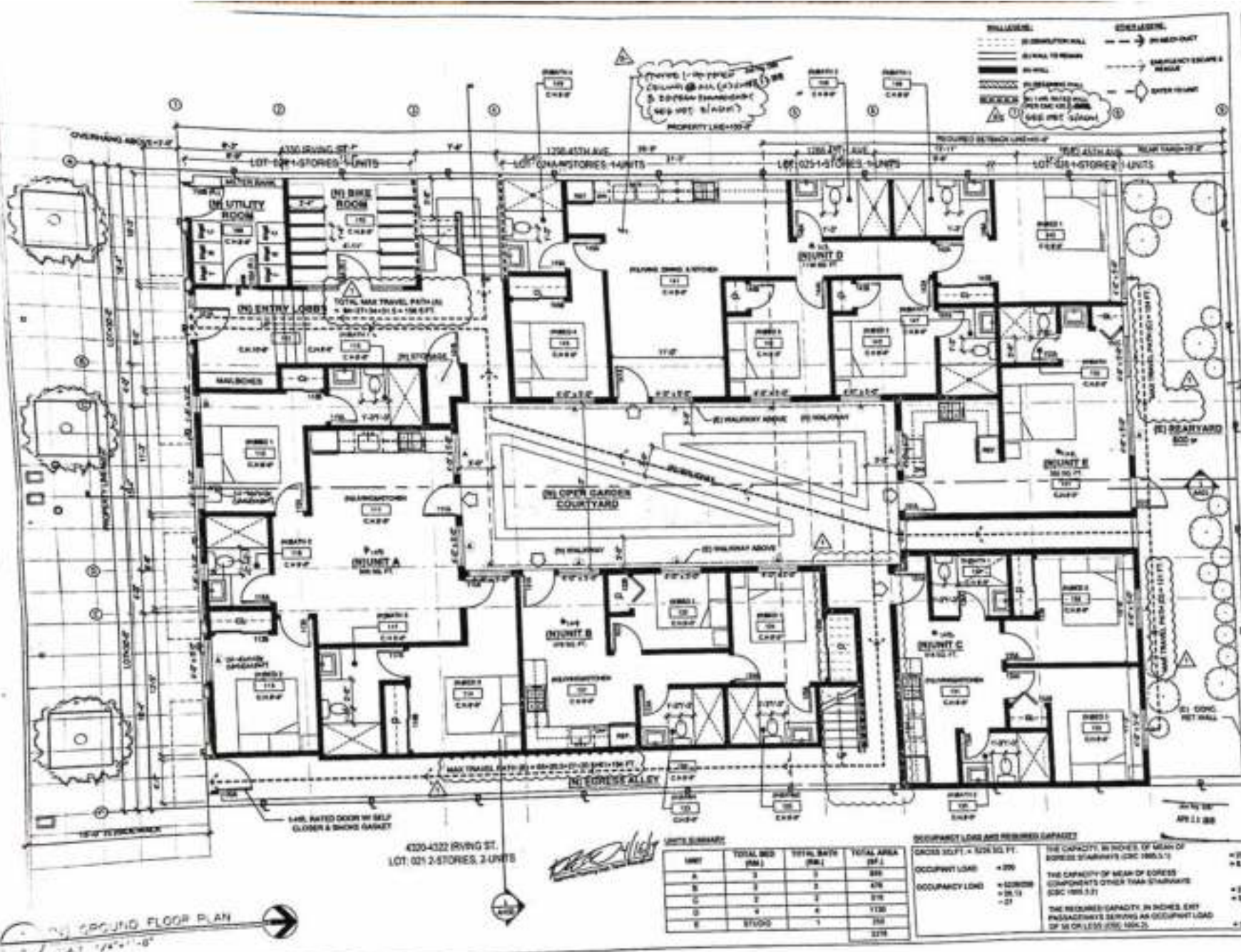


SHEET TITLE

**(N) GROUND
 FLOOR PLAN**

JOB NO.	17140
SCALE	1/4"=1'-0"
DATE	02/07/19
DRAWN BY	SM/TS
FILE	17140_01/01.dwg
DRAWING NO.	1 OF 21
SHEET NO.	

A103



UNIT SUMMARY

UNIT	TOTAL BED (RM)	TOTAL BATH (RM)	TOTAL AREA (SF)
A	3	2	280
B	3	2	276
C	3	2	276
D	3	2	276
E	STUDIO	1	276
			276

DECKING, LOADING AND REQUIRED CAPACITY

GROSS SQ. FT. - 1,000 SQ. FT.	THE CAPACITY, IN INCHES, OF MEAN OF EXISTING STAIRWAYS (CSC 1905.3.1)	• 276.1
OCCUPANT LOAD = 200	THE CAPACITY OF MEAN OF EXISTING COMPONENTS OTHER THAN STAIRWAYS (CSC 1905.3.2)	• 276.2
OCCUPANCY LOAD = 200	THE REQUIRED CAPACITY, IN INCHES, EXISTING STAIRWAYS SERVING AN OCCUPANT LOAD OF 100 OR LESS (CSC 1905.3.3)	• 276.3

FOR REFERENCE

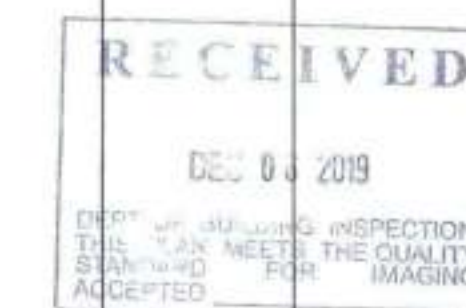
REVISIONS

4326 - 4336 IRVING ST.
SAN FRANCISCO
CA 94122

BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
1	11/18/19	PERMIT SUBMITTAL
1	12/04/19	RESPONSE TO BUILD. PCC

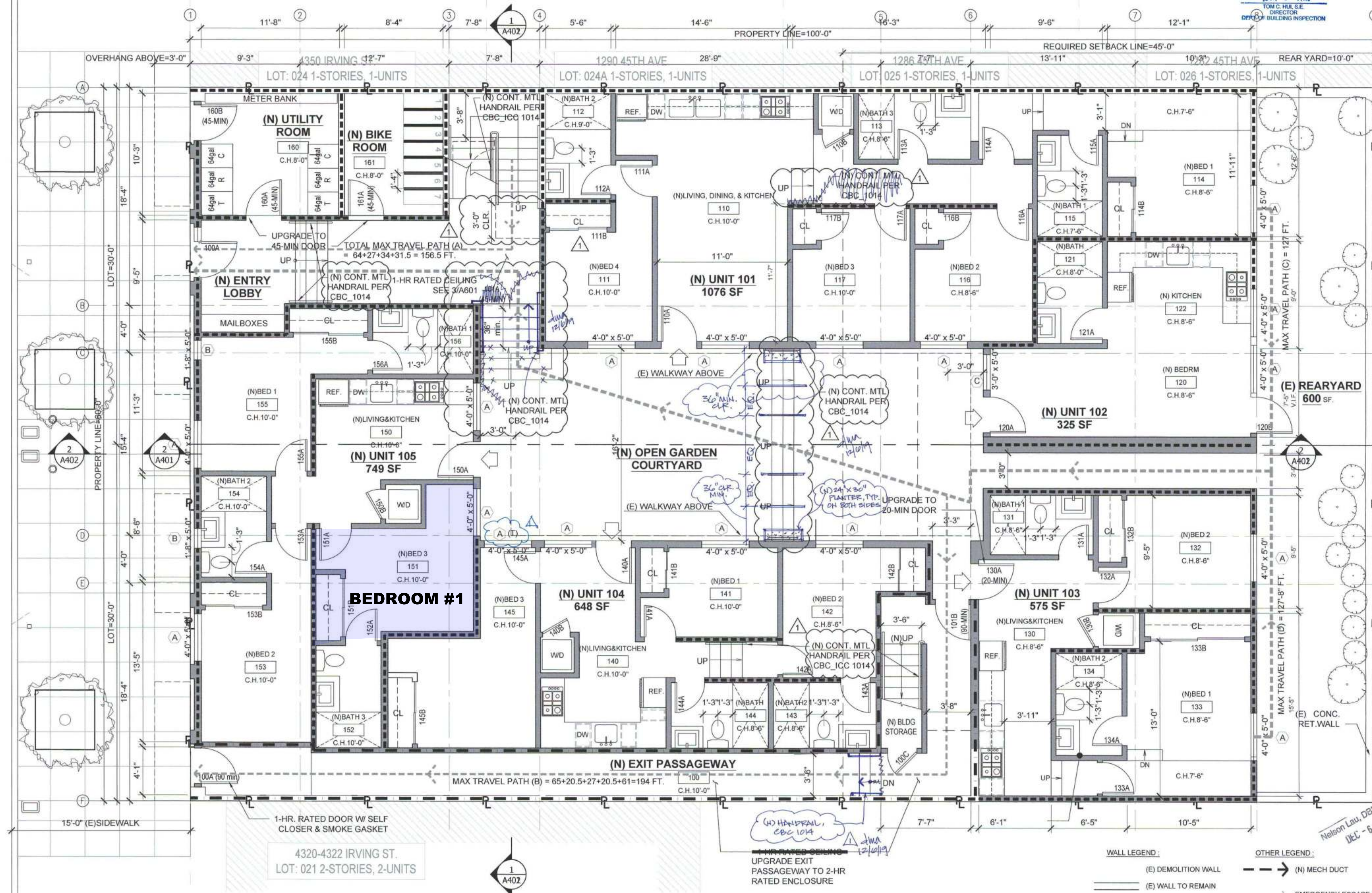


SHEET TITLE

(N) FIRST FLOOR PLAN

JOB NO: 17140
SCALE: 1/4"=1'-0" DATE: 11/18/19
DRAWN BY: DMA / DRG
FILE: 17140_A0100-STRUCTURAL REVISION.dwg
DRAWING NO: 5 OF 42
SHEET NO:

A104



WALL LEGEND:

- (E) DEMOLITION WALL
- (E) WALL TO REMAIN
- (N) WALL
- (N) RETAINING WALL
- (N) 1-HR. RATED WALL (PER CMC 420.2, 420.3) SEE 4.5 (A601)
- (N) 2-HR. RATED WALL (PER CMC 420.2, 420.3) SEE 4.5 (A601)

OTHER LEGEND:

- (N) MECH DUCT
- EMERGENCY ESCAPE & RESCUE
- ENTER TO UNIT
- ENTER TO SISTER UNIT

Dee Lau, SFFD
DEC 6 2019

Nelson Lau, DBI
DEC - 6 2019

PA #201811166157
REFER TO ADU
(N) FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

**THE IRV
 DEVELOPMENT**
 4326 - 4335 IRVING ST.
 SAN FRANCISCO
 CA 94122

BLOCKLOT: 1706059
 41768059



NO.	DATE	DESCRIPTION
1	04/11/20	PROJECT REVIEW MTC

RECEIVED

APR 14 2020
 CITY OF SAN FRANCISCO
 DEPARTMENT OF PUBLIC WORKS
 DIVISION OF BUILDING PERMITS

APPROVED

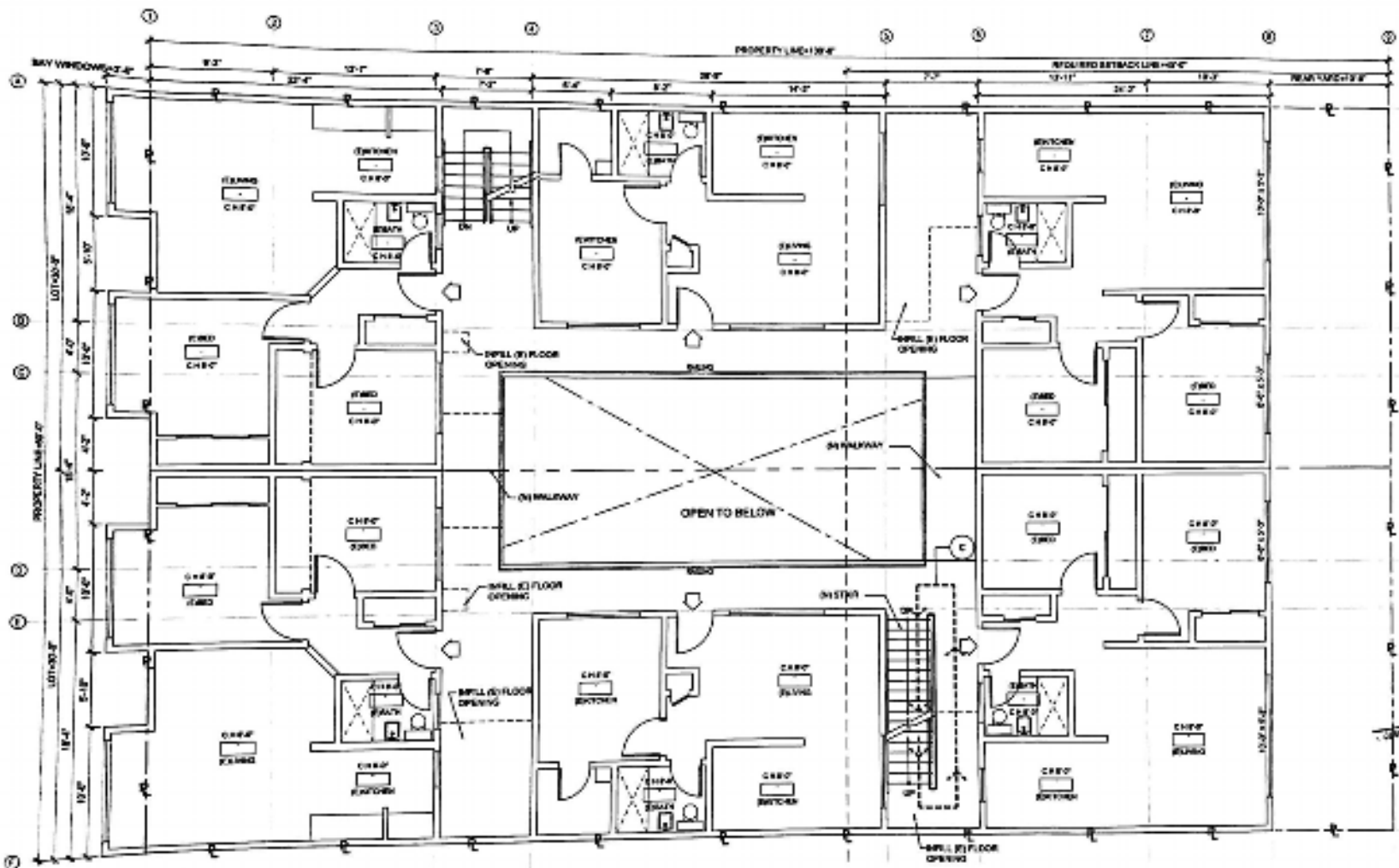
APR 15 2020

SHEET TITLE

**(N) 1ST FLOOR PLAN
 - ADU PERMIT**

ADD NO.	1740
SCALE	1/8" = 1'-0"
DATE	11/19/19
DRAWN BY	DAVID
FILE	1740_ADU_Bg
DRAWING NO.	1 OF 21
SHEET NO.	

A105



(N) 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

APR 11 2020

FOR REFERENCE

THE IRV
 DEVELOPMENT
 4326 - 4336 IRVING ST.
 SAN FRANCISCO
 CA 94122

BLOCKLOT: 1706055
 1706055



NO.	DATE	DESCRIPTION
1A		PROJECT PRELIMINARY

RECEIVED

APR 11 2008

DEPT. OF BUILDING INSPECTION
 1000 MARKET STREET
 SAN FRANCISCO, CA 94102

APPROVED

APR 25 2008

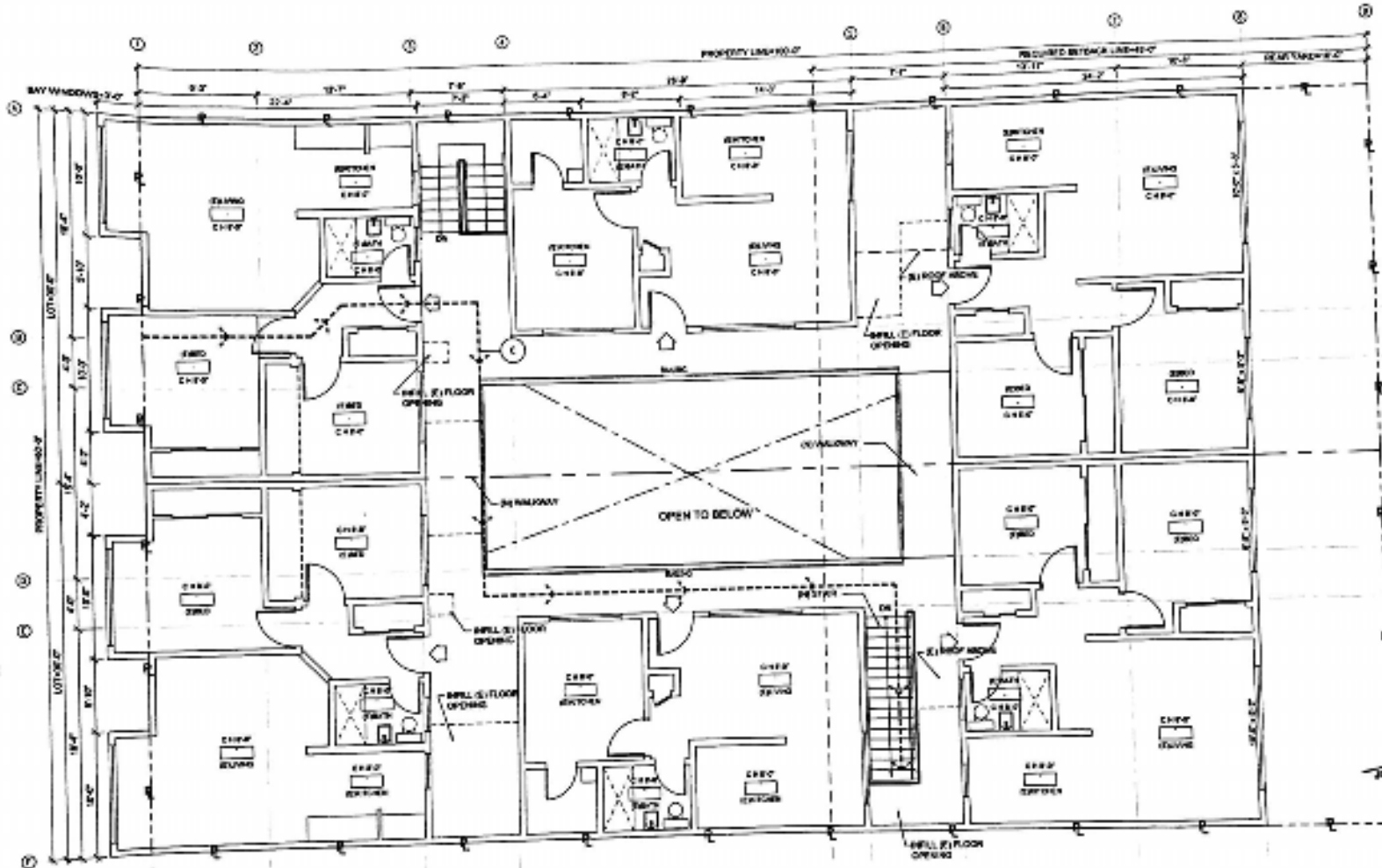
1000 MARKET STREET
 SAN FRANCISCO, CA 94102

SHEET TITLE

(N) 2ND FLOOR PLAN
 - ADU PERMIT

JOB NO.	1112
SCALE	1/8" = 1'-0"
DATE	11/15/07
DRAWN BY	DAVE
FILE	1706055.dwg
DRAWING NO.	2 OF 2
SHEET NO.	

A107



(N) 2ND FLOOR PLAN
 SCALE 1/8" = 1'-0"

FOR REFERENCE

**THE IRV
 DEVELOPMENT :
 EXISTING UNITS
 REMODEL**

4326 - 4336 IRVING ST.
 SAN FRANCISCO
 CA 94122

BLOCK/LOT: 1706/071



REVISIONS		
NO.	DATE	DESCRIPTION
1	07/15/10	PERMIT SUBMITTAL

APPROVED
 SEP 02/10
 [Signature]

RECEIVED
 JUL 14/10

**SHEET TITLE
 (N) 2ND
 FLOOR PLAN
 UNITS REMODEL**

JOB NO: 10100
 SCALE: 1/8"=1'-0" DATE: 07/10
 DRAWN BY: DMAYE
 FILE: 10100_0000.dwg
 DRAWING NO: 11 OF 31
 SHEET NO:

A107A

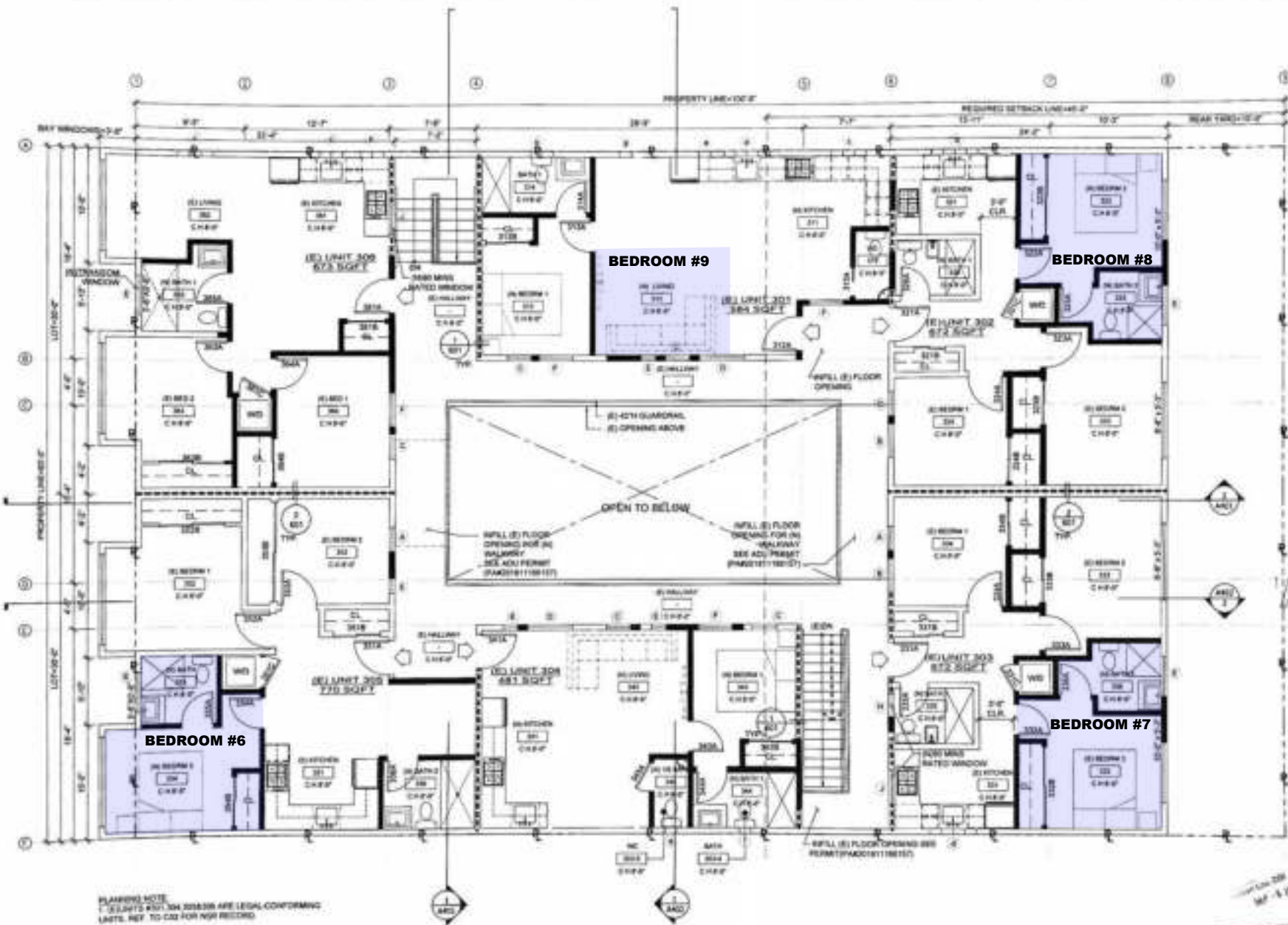


EXHIBIT G

ASCE's CODE OF ETHICS

Preamble

Members of The American Society of Civil Engineers conduct themselves with integrity and professionalism, and above all else protect and advance the health, safety, and welfare of the public through the practice of Civil Engineering.

Engineers govern their professional careers on the following fundamental principles:

- create safe, resilient, and sustainable infrastructure;
- treat all persons with respect, dignity, and fairness, in a manner that fosters equitable participation without regard to personal identity;
- consider the current and anticipated needs of society; and
- utilize their knowledge and skills to enhance the quality of life for humanity.

All members of The American Society of Civil Engineers, regardless of their membership grade or job description,

commit to all of the following ethical responsibilities. In the case of a conflict between ethical responsibilities, the five stakeholders are listed in the order of priority. There is no priority of responsibilities within a given stakeholder group with the exception that 1a. takes precedence over all other responsibilities.¹

1. Society

Engineers:

- a. first and foremost, protect the health, safety, and welfare of the public;
- b. enhance the quality of life for humanity;
- c. express professional opinions truthfully and only when founded on adequate knowledge and honest conviction;
- d. have zero tolerance for bribery, fraud, and corruption in all forms, and report violations to the proper authorities;
- e. endeavor to be of service in civic

affairs;

- f. treat all persons with respect, dignity, and fairness, and reject all forms of discrimination and harassment;
- g. recognize the diverse historical, social, and cultural needs of the community, and incorporate these considerations in their work;
- h. consider the capabilities, limitations, and implications of current and emerging technologies when part of their work; and
- i. report misconduct to the appropriate authorities where necessary to protect the health, safety, and welfare of the public.

2. Natural and Built Environment

Engineers:

- a. adhere to the principles of sustainable development;
- b. consider and balance societal, environmental, and economic impacts, along with opportunities for

- improvement, in their work;
- c. mitigate adverse societal, environmental, and economic effects; and
- d. use resources wisely while minimizing resource depletion.

3. Profession

Engineers:

- a. uphold the honor, integrity, and dignity of the profession;
- b. practice engineering in compliance with all legal requirements in the jurisdiction of practice;
- c. represent their professional qualifications and experience truthfully;
- d. reject practices of unfair competition;
- e. promote mentorship and knowledge-sharing equitably with current and future engineers;
- f. educate the public on the role of civil engineering in society; and
- g. continue professional development to enhance their technical and non-technical competencies.

4. Clients and Employers

Engineers:

- a. act as faithful agents of their clients and employers with integrity and professionalism;
- b. make clear to clients and employers any real, potential, or perceived conflicts of interest;
- c. communicate in a timely manner to clients and employers any risks and limitations related to their work;
- d. present clearly and promptly the consequences to clients and employers if their engineering judgment is overruled where health, safety, and welfare of the public may be endangered;
- e. keep clients' and employers' identified proprietary information confidential;
- f. perform services only in areas of their competence; and
- g. approve, sign, or seal only work products that have been prepared or reviewed by them or under their responsible charge.

5. Peers

Engineers:

- a. only take credit for professional work they have personally completed;
- b. provide attribution for the work of others;
- c. foster health and safety in the workplace;
- d. promote and exhibit inclusive, equitable, and ethical behavior in all engagements with colleagues;
- e. act with honesty and fairness on collaborative work efforts;
- f. encourage and enable the education and development of other engineers and prospective members of the profession;
- g. supervise equitably and respectfully;
- h. comment only in a professional manner on the work, professional reputation, and personal character of other engineers; and
- i. report violations of the Code of Ethics to the American Society of Civil Engineers.

¹This Code does not establish a standard of care, nor should it be interpreted as such.

EXHIBIT H

From: OceanRenter oceanrenter@gmail.com
Subject: Re: 4326 irving
Date: April 29, 2020 at 7:36 PM
To: Weissglass, David (CPC) david.weissglass@sfgov.org
Bcc: johnwgarrett@gmail.com, dma@que-arch.com



Dear David,

As I've explained we are willing to grant any opponent who wishes the same hearing time they would have gotten had they DR'd.

Given the staff DR, which is quite sufficient, it's really a moot point anyway.

Thank you.

Brian Veit
Cell: [415-672-2485](tel:415-672-2485)

On Apr 29, 2020, at 17:03, Weissglass, David (CPC) <david.weissglass@sfgov.org> wrote:

Hi Brian, as a reminder the hearing is scheduled for **May 28th**, not May 23rd.

I am corresponding with staff internally per our discussion yesterday to ensure that this date still works given that many in the neighborhood were unable to file their own DR, as they believed the project would not be pursued. This is obviously an unprecedented situation and I'll update you ASAP.

David Weissglass, Planner
Flex Team, Current Planning Division
San Francisco Planning Department
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415.575.9177 | www.sfplanning.org
[San Francisco Property Information Map](#)

The Planning Department is open for business during the Shelter in Place Order. Most of our staff are working from home and we're [available by e-mail](#). Our [Public Portal](#), where you can file new applications, and our [Property Information Map](#) are available 24/7. The Planning Commission is convening remotely and [the public is encouraged to participate](#). The Board of Appeals and Board of Supervisors are [accepting appeals](#) via e-mail despite office closures. All of our in-person services at 1650 and 1660 Mission Street are suspended until further notice. [Click here for more information.](#)

From: Brian Veit <oceanrenter@gmail.com>
Sent: Wednesday, April 29, 2020 4:51 PM
To: Weissglass, David (CPC) <david.weissglass@sfgov.org>
Subject: 4326 irving

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

David, pursuant to our call yesterday, just want to confirm in writing that we will proceed with our planning commission hearing March 23rd.

Thank you,

Brian Veit
oceanrenter@gmail.com

oceanneter@gmail.com

415-672-2485

EXHIBIT I

On Apr 3, 2020, at 12:51 PM, Weissglass, David (CPC) <david.weissglass@sfgov.org> wrote:

Hi Brian, I hope you and your family is staying safe. I come bearing what I think you'll find to be good news. I wanted to send this to you first, but we'll of course want to talk to Dawn about it too if this is the path you choose.

I just had a conversation with senior management, and we've determined that if you were willing to withdraw the 4th story addition from the scope of work, we will likely allow the interior alterations move forward. If this were to occur, it would of course mean that the staff-initiated DR and the Variance would be moot, and you would be entitled to a refund of a significant portion of those fees.

You would in theory be permitted to withdraw this permit, and also be permitted to withdraw permit no. 2020.0204.3524. That is the permit that Dawn filed at our request to return the interior layouts back to their existing/approved status – since we would allow the previous permits (ending in 7535 and 6367) to move forward without issue, there's no need for that 3524 permit anymore, nor is there any need for this permit, because to my understanding this permit's scope of work – work that had NOT already been approved under another permit's scope – was really just the 4th floor addition.

Regarding Section 311 neighborhood notification, you are correct that since the interior alterations do not require neighborhood notification if

EXHIBIT J

From: Brian Veit oceanrenter@gmail.com
Subject: 4326 irving
Date: April 29, 2020 at 4:51 PM
To: David Weissglass david.weissglass@sfgov.org
Bcc: dma@que-arch.com, trevlock@que-arch.com, johnwgarrett@gmail.com

David, pursuant to our call yesterday, just want to confirm in writing that we will proceed with our planning commission hearing March 23rd.

Thank you,

Brian Veit
oceanrenter@gmail.com
415-672-2485