

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
GREG BLEDNYH & MARIA MAZZEI,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
Respondent)

Appeal No. 13-142

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on November 05, 2013, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on October 23, 2013, to Steven Fujii, Alteration Permit (drainage of property at rear; revision to BPA Nos. 2001/04/04/6019 and 2012/12/28/6978) at 181 Edgehill Way.

APPLICATION NO. 2013/09/19/7262

FOR HEARING ON December 18, 2013

Address of Appellant(s):	Address of Other Parties:
Greg Blednyh & Maria Mazzei, Appellants c/o Pat Buscovich, Agent for Appellants 235 Montgomery Street #823 San Francisco, CA 94104	Steven Fujii, Permit Holder c/o Bernd Koepke, Agent for Permit Holder 1460 Bancroft Ave. San Francisco, CA 94124



Date Filed:

BOARD OF APPEALS

CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS

NOV 05 2013
APPEAL # 13-142

PRELIMINARY STATEMENT OF APPEAL

I / We, **Greg Blednyh & Maria Mazzei**, hereby appeal the following departmental action: **ISSUANCE** of **Alteration Permit BPA NO. 2013/09/19/7262** by **Department of Building Inspection** which was issued or became effective on: **October 23, 2013**, to: **Steven Fujii**, for the property located at: **181 Edgehill Way**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: **November 27, 2013, (no later than three (3) Thursdays prior to the hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with an original and 10 copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day.

Respondent's and Other Parties' Briefs are due on or before: **December 12, 2013, (no later than one (1) Thursday prior to hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with an original and 10 copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day.

Only photographs and drawings may be submitted by the parties at hearing.

Hearing Date: **Wednesday, December 18, 2013, 5:00 p.m., City Hall, Room 416, One Dr. Carlton B. Goodlett Place.**

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should submit an original and 10 copies of all documents of support/opposition no later than one (1) Thursday prior to hearing date by 4:30 p.m. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection at the Board's office. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

If you have any questions please call the Board of Appeals at 415-575-6880

The reasons for this appeal are as follows:

see attached

Appellant or Agent (Circle One):

Signature: Maria Mazzei

Print Name: MARIA MAZZEI / Gregory Blednyh

PRELIMINARY STATEMENT OF APPEAL

Date

Filed:

BOARD OF APPEALS

NOV 05 2013

APPEAL # 13-142

SUMMARY OF REASONS OR GROUNDS FOR APPEAL CONTINUED:

PERMIT ISSUED IN ERROR



GREGORY B. BLEDSOE

1 EDGEHILL WAY

SF 94127

MAN MUYZEI

State Industrial Safety Permit

The attached application falls under the Labor Code Sec. 6500 in that it involves the type of construction work checked below:

- Construction of trenches or excavations which are 5 feet or deeper and into which a person is required to descend.
- The construction of any building, structure, falsework, or scaffolding more than 3 stories high or the equivalent height (36 ft.).
- The demolition of any building, structure, falsework, or scaffolding, more than 3 stories high or the equivalent height (36 ft.).

APPROVED

Dept. of Building Inspection

OCT 23 2013

Tara C. Hui
TOM C. HUI, S.E.
ACTING DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

OCT 23 2013

BLDG FORM 3/8

APPLICATION NUMBER

OSHA APPROVAL REQ'D

APPROVAL NUMBER

2013-900181



BOARD OF APPEALS

NOV 05 2013

APPEAL # 13-192

**APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS**

**CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION**

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

FORM 3 OTHER AGENCIES REVIEW REQUIRED

FORM 9 OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

DATE SUBMITTED OCT 23 2013	FILING FEE RECEIPT NO. 119-13	(1) STREET ADDRESS OF JOB 181 EDGEHILL WAY	BLOCK & LOT 2933 / 003
PERMIT NO. 295525	ISSUED OCT 23 2013	(2A) ESTIMATED COST OF JOB 100	(2B) REVISED COST: \$30,000 + 2 HR. PARKING BY: [Signature] DATE: 6/4/13

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING					
(4A) TYPE OF CONSTR. V	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 0	(7A) PRESENT USE: SINGLE FAM RESID.	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) TYPE OF CONSTR. V	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 0	(7) PROPOSED USE (LEGAL USE) SINGLE FAM RESID.	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? NO	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? NO	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(13) PLUMBING WORK TO BE PERFORMED? NO	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>				
(14) GENERAL CONTRACTOR SCHEPTEL CO 30658 TRANT WATER DR 415-671-0202	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
(15) OWNER - LESSEE (CROSS OUT ONE) STEVEN FUJII	ADDRESS	ZIP	BTRC#	PHONE (FOR CONTACT BY DEPT.)	

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

DRAINAGE OF PROPERTY AT REAR REVISION 10: # 2001/0404/10019 AND # 2012/1228/6978

ADDITIONAL INFORMATION					
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? NO	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? NO	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? NO	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? NO	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) NO	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? NO
(25) ARCHITECT OR ENGINEER (DESIGNER) TRIAID/HOLMES ENG	ADDRESS	ZIP	CALIF. CERTIFICATE NO.		
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")	NONE				

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

- CHECK APPROPRIATE BOX
- OWNER
 - ARCHITECT
 - LESSEE
 - AGENT
 - CONTRACTOR
 - ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:



- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier: STATE FUND
Policy Number: 1933456
- () III. The cost of the work to be done is \$100 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

() V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work will file a completed copy of this form with the Central Permit Bureau.

Doreen Kaye 919-13
Signature of Applicant or Agent Date

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED: URGENT REVIEW & APPROVAL PERMIT TO STABILIZE EXISTING OPEN GUT ACROSS THE SLOPE -  BUILDING INSPECTOR, DEPT. OF BLDG. INSP.
<input type="checkbox"/>	APPROVED: N/A DEPARTMENT OF CITY PLANNING
<input type="checkbox"/>	APPROVED: BUREAU OF FIRE PREVENTION & PUBLIC SAFETY
<input type="checkbox"/>	APPROVED: MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION
<input checked="" type="checkbox"/>	APPROVED:  CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION
<input type="checkbox"/>	APPROVED: N/A BUREAU OF ENGINEERING
<input type="checkbox"/>	APPROVED: DEPARTMENT OF PUBLIC HEALTH
<input type="checkbox"/>	APPROVED: REDEVELOPMENT AGENCY
<input type="checkbox"/>	APPROVED: HOUSING INSPECTION DIVISION

DATE: _____
REASON: _____
NOTIFIED MR. _____
DATE: _____
REASON: _____
NOTIFIED MR. _____
DATE: _____
REASON: _____
NOTIFIED MR. _____
DATE: _____
REASON: _____
NOTIFIED MR. _____
DATE: _____
REASON: _____
NOTIFIED MR. _____
DATE: _____
REASON: _____
NOTIFIED MR. _____



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HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

 OWNER'S AUTHORIZED AGENT



BOARD OF APPEALS

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Application # 2013-0919-7262

APPEAL # 13-182

Address 181 EDGE Hill

LICENSED CONTRACTOR'S STATEMENT

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number C-743902

License Class C-743902

Expiration Date 6-15-2016

Contractor SPTA CO
PRINT

[Signature]
SIGNATURE

Owner-Builder Declaration

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law, Business and Professions Code (Sec. 7031.5). **Mark the appropriate box below.**

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044). I further acknowledge that I understand and agree that in the event that any work is commenced contrary to the representations contained herein, that the Permit herein applied for shall be deemed suspended.

Architect, Agent

I, as owner of the property, am exclusively contracting with licensed contractors to construct this project (Sec. 7044). I certify that at the time such contractors are selected, I will have them file a copy of this from (Licensed Contractor's Declaration) prior to the commencement of any work. I further acknowledge that I understand and agree that, in the event that said contractors fail to file a copy of the Declaration with the Central Permit Bureau, that the Permit herein applied for shall be deemed suspended.

I am exempt under Business and Professions Code Section _____

Reason _____

Architect (PRINT) _____

Date _____ Agent (PRINT) _____

Owner (PRINT) _____

(SIGNATURE) _____

NOTE: "Any violation of the Bus. & Prof. Code Sec 731.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 04/30/2010

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APPEAL # 13-1472

STATE OF CALIFORNIA
DEPARTMENT OF INDUSTRIAL RELATIONS
DIVISION OF OCCUPATIONAL SAFETY AND HEALTH

No: **2013-900181**

ANNUAL PERMIT

Permit Issued To

(Insert Contractor/Project Administrator's Name, Address and Telephone No.)

Soil Engineering Construction Inc
Attn: Safety Mgr or Sadhana Naicker
927 Arguello St
Redwood City CA 94063-1310

(650) 967-9595

No. _____
Date 2/26/2013
Region 1
District 3
Tel. (650) 573-3812

Type of Permit: **T1-ANNUAL TRENCH/EXCAVATION**

Pursuant to Labor Code Sections 6500 and 6502, this Permit is issued to the above-named employer for the projects described below.

State Contractor's License Number		Permit Valid through		
268082		February 26, 2014		
Description of Project	Location Address	City and County	Anticipated Dates	
			Starting	Completion
Various Conditions of Issuance:	Statewide		Feb 26, 2013	Feb 26, 2014

This Permit is issued upon the following conditions:

1. That the work is performed by the same employer. If this is an annual permit the appropriate District Office shall be notified, in writing, of dates and location of job site prior to commencement.
2. The employer will comply with all occupational safety and health standards or orders applicable to the above projects, and any other lawful orders of the Division.
3. That if any unforeseen condition causes deviation from the plans or statements contained in the Permit Application Form the employer will notify the Division immediately.
4. Any variation from the specification and assertions of the Permit Application Form or violation of safety orders may be cause to revoke the permit.
5. This permit shall be posted at or near each place of employment as provided in B CCR 341.4

Received From Sadhana Naicker	Received By Permit Unit	
<input type="checkbox"/> Cash	Amount	Date
<input checked="" type="checkbox"/> Check #4267	\$100.00	2/26/13

Investigated by

Approved by

Safety Engineer
Robert E. Law
District Manager/Permit Unit
Date: 2/26/2013



DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

DATE: OCT 23 2013

PERMIT APPLICANT AND AUTHORIZED AGENT
DISCLOSURE AND CERTIFICATION

- New
Amended

Permit Application No.: 2013-0919-7262 Job Address: 181 EDGEHILL WAY

This form must be completed in its entirety in connection with an application for a building permit (Forms 1/2, 3/8, 4/7, 5 and 8). The form must be amended for all new information or change in information for duration of project. Please be advised that the Department does not regulate permit expeditors/consultants or afford them preferential treatment.

A. Permit Applicant Information

I hereby certify that for the purpose of filing an application for a building or other permit with the Central Permit Bureau, or completion of any form related to the San Francisco Building Code, or to City and County ordinances and regulations, or to state laws and codes, I am the owner, the lessee or the agent of the owner/lessee and am authorized to sign all documents connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct. I am the permit applicant and I am

Check box(es):

- The owner (B)
The lessee (C)
The authorized agent. Check entity(s):
Architect (D)
Engineer (E)
Contractor (F)
Attorney (G)
Permit Consultant/Expediter (H)
Other

Print Applicant Name: BERND KOEPLER
Sign Name: B. Koepfle

B. Owner Information

Name: STEVEN FUJII
Phone: 415 470 7969
Address: 181 EDGEHILL WAY, SAN FRANCISCO CA 94127
City: SAN FRANCISCO State: CA Zip: 94127

C. Lessee Information

Name:
Phone:
Address:
City: State: Zip:

D. Architect / Engineer Information

- None
List all Architect(s)/Engineer(s) on project

1. Name: GEORGE DREW
Architect
Phone No.: 415-307-9595
Firm Name: SAIL ENGINEERING CONSTRUCTION
License #: 20087
Expiration Date: 9-3-15
Firm Address: 977 ARGUELLO ST, Redwood City CA 94063
City: Redwood City State: CA Zip: 94063

2. Name:
Architect
Engineer
Phone No.:
Firm Name:
License #:
Expiration Date:
Firm Address:
City: State: Zip:

3. Name:
Architect
Engineer

Phone No.:
Firm Name:
License #:
Expiration Date:
Firm Address:
City: State: Zip:

E. General Contractor Information

Note: Complete separate licensed contractor's statement also.

Name: MIKE CAO
Phone: 415-671-0202
Firm Name: SCEPTER CO
License #: C-743902
Expiration Date: 6-15-2010
Firm Address: 30655 TIDEWATER DR UNION CITY CA 94587
City: UNION CITY State: CA Zip: 94587

- Contractor not yet selected. If this box is checked, submit an amended form when known.
Owner - Builder. If this box is checked, submit owner-builder declaration form.

F. Attorney Information

Name:
Phone:
Firm Name:
Firm Address:
City: State: Zip:

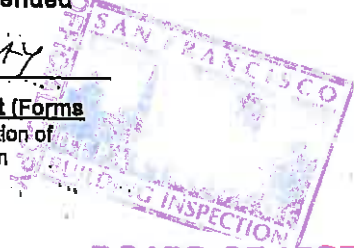
G. Permit Consultant / Expediter

Name:
Phone:
Firm Name:
Firm Address:
City: State: Zip:

H. Authorized Agent - Others

Name: BERND KOEPLER
Phone: 415-671-0202
Firm Name: SCEPTER CO
Firm Address: 30655 TIDEWATER DR UNION CITY CA 94587
City: UNION CITY State: CA Zip: 94587

Please describe your relationship with the owner



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4-D 12/18/13

WWW.BUSCOVICH.COM

Patrick Buscovich & Associates Structural Engineers, Inc.

235 MONTGOMERY STREET, SUITE 823, SAN FRANCISCO, CALIFORNIA 94104-2506 • TEL: (415) 788-2708 FAX: (415) 788-8653

November 27, 2013

President Chris Hwang and Members of
The San Francisco Board of Appeals
1650 Mission Street, Room 304
San Francisco, CA 94103

FILE

BOARD OF APPEALS

NOV 27 2013 *off*

APPEAL # 13-142

Job#: 13.178

Re: Response to Appeal No. 13-108

BPA No 2013/09/1917262 - \$30,000

Revision 2001/04/04/6019 & 2012/12/28/6978, drainage of property at Rear.

2001/04/0416019 Horizontal Addition Northwest Corner

2012/12/2816978 Renew 2001/04/04/6019

181 Edgehill Way, San Francisco, CA.

The subject building permits (application no 2013/09/19/7262 was issued on October 23, 2013 and appealed on November 5, 2013.

This is an appeal of a "revision permit plus drainage" that really is a retaining wall permit that was issued as an emergency. This "Emergency Situation" was recently created by the project sponsor and his contractor by a 4 to 5 foot tall vertical excavation/cut in a steep hillside. This cut is 45 feet wide in a know landslide zone, directly above my clients home (appellant). After the project sponsor made this destabilizing excavation cut, he ran to the San Francisco Department of Building Inspection (DBI) and claimed the situation he created was so dangerous that DBI had to waive a key building code provision and grant an emergency building permit plus a revision to two other permits. This waived code section is the Edgehill Landslide Zone Protection Act. This code section requires a Structural Advisory Committee (SAC) review of projects of this type. A SAC usually involves an independent review by a Geotechnical Engineer, a Geologic Engineer and a Structural Engineer. This section was adopted after the disastrous Knockash Landslide in the late 1990's.

DBI was absolutely correct in issuing this emergency permit. The situation on this extremely steep section (steeper than 1:1) of Edgehill Way is beyond dangerous, particularly to my client. My client lives directly below this 45 foot wide by ±5 foot tall vertical cut. This 45 foot wide cut is parallel to Edgehill and is about 15 feet below the street. Directly below this 45 foot long section is my client's house. If the section of the hill between Edgehill Way and this 4 to 5 foot cut moves, then my clients house is in the direct path of a very large landslide. The emergency permit was properly issued by DBI for a tieback retaining wall. My client is fully aware that a landslide during the upcoming winter is a high probability. My client appealed this building permit to get a handle of what is going on at this site. After the appeal, we promptly met with the project sponsor and his contractor. We then suggested a meeting with their geotechnical engineer and then a meeting with the senior building inspector. During these meetings, my client asked that an arborous investigate the hillside to determine the effect of the tieback design could have on the five (5) Monterey Pine trees between Edgehill Way and this downhill vertical cut. The arborous stated that the tree roots are growing uphill and stabilized this section of the hill. However, the tieback could damage these trees. The tiebacks were then dropped from the design and a new revision permit is suggested for this cut. The proposed revision design is a 45 foot long wall

with cantilever hand dug pit into the bedrock. I suggested to DBI that they allow the contractor, under an emergency basis, dig pit number 3 to:

1. Get a better idea of the geologic conditions at this site, especially now without a SAC review.
2. Try to get at least some stability to this destabilized 45 foot long section of the hillside. Hand Dug Pit (HDP) #3 is in the middle of the 5 pits.

I knew this "Test Pit" was going to take a lot of time while this appeal was headed to the Board of Appeals on December 18, 2013. After the meeting with the senior building inspector and within 7 days of the appeal, permission was granted by DBI to start digging HDP #3 as a test pit. Since permission was granted over a week ago, only a couple of feet of HDP #3 has been dug. This pit is about 10 feet deep. By the time the Board of Appeals Hearing, this pit should be done.

If everyone agrees this work is an emergency (DBI, Project Sponsor, and Project Appellant), then why the appeal.

History

In 1995 an odyssey of serial permitting started. In 2000, a variance was granted for a three car garage in the same 45 foot wide section of the hillside. My client appealed the variance to build this massive carport directly above their house. The Board of Appeals agreed and this variance was overturned. A variance was then issued for a one car garage directly next to the project sponsor's house - above my client's house. My client entered into an agreement with the owner of 181 Edgehill Way regarding this new one (1) car garage. The existing garage was torn down and a series of permits, revision permits, and renewal permits began. During the last 13 years, more than 26 permits of some kind have been issued. Earlier this year, the project contractor came into DBI and got a \$1 permit to administratively final work that was 100% completed but the permit was expired. This work was for some drainage in another section of this hillside. Nevertheless, the contractor then started digging above my client's house. After he destabilized a 45 foot wide section of the hillside (without a proper permit), he asked DBI to issue him an emergency permit - an emergency he created. A DBI permit without a SAC review. A hazardous condition that threatens my client's house. A landslide hazard at the beginning of winter. *When it rains, the soil will get saturated with water. This makes the soil heavier which overlays the rock below. The water will also reduce the friction between the soil and the rock below. Heavier soil on a steep slope with less friction between this soil and the rock below is the perfect recipe for a landslide. If this soil slides, it would wipe out my client's house.*

My client is scared beyond belief. They sleep every night knowing if it rains, they may lose their house - maybe more.

Summary

After 18 years, my clients have had enough. They also know they have to cooperate with the emergency work to stabilize this section of the hillside their uphill neighbor just destabilized. They also know this work will probably be completed in February 2014 - long after the winter rains have started.

The appealed permit does three things at a \$30,000 valuation.

1. Revision to PA 2001/04/04/6019. However, 2001/04/04/6019 is an expired permit (expired 1/4/2013) for a horizontal addition on the lower 2 levels on the northwest side of this building.
2. Revision to PA 2012/12/28/6978. 2012/12/28/6978 is a \$1.00 permit to obtain final inspection for work approved under PA 2001/04/04/6019. All work is complete. 2001/04/04/6019 is the above permit in item 1 above. This makes no sense.
3. Drainage of property.

As far as I can tell, the work in #1 and #2 is all done with a valuation of \$1.00. Item #3 is additional "drainage" work with a valuation of \$30,000. Mixing two revision permits with emergency shoring called "drainage" is in appropriate. We ask the Board of Appeals to:

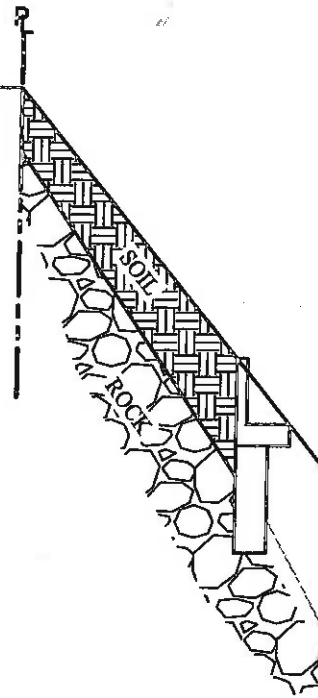
1. Take jurisdiction and delete from the subject permit item 1 and item 2, but waive the one (1) year moratorium. This allows the project applicant to refile a regular building permit to address 2001/04/04/6019. This work is done and a "\$1.00 100% complete to final" is probably okay. The project applicant does not need to refile a second regular building permit to finalize permit 2012/12/28/6978. This permit is still active until 12/28/20013.
2. Allow the project sponsor to file a Special Condition Permit (SCP) for a cantilever pit retaining wall with following caveat; We have asked the Board of Appeals to direct the project sponsor to extend this retaining wall to the full length of his excavation. The current cut he made is longer than 45 feet. He only wants to do a 45 feet long wall and leave a gap between this wall and his house, even though he has excavated in this gap. This makes no sense to us. I also believe that Sr Inspector B. Curran will issue a correction notice telling him to extend the wall. To put it another way, If DBI issue a correction notice - we ask the Board of Appeals to include this in the Special Condition Permit (SCP).
3. The value of this wall with hand dug pits is closer to \$100,000. We ask the Board of Appeals to impose a penalty based upon the true cost of construction with findings that the work was done without a building permit.

Thank you,

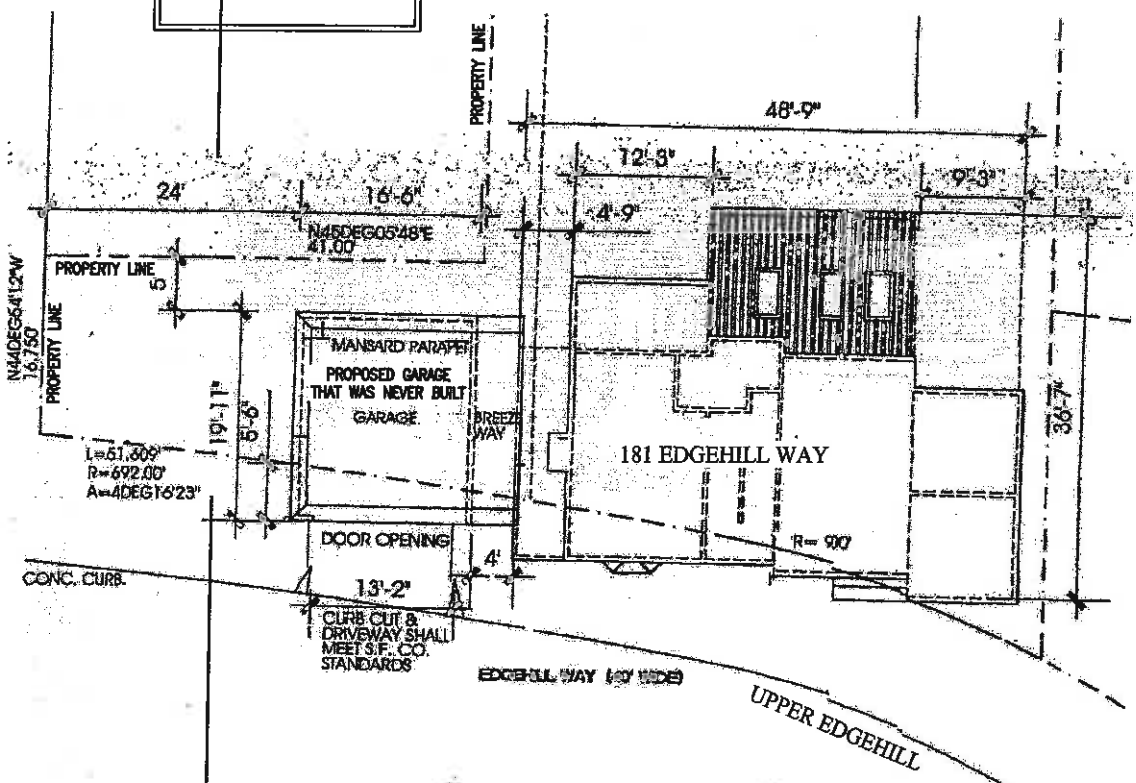
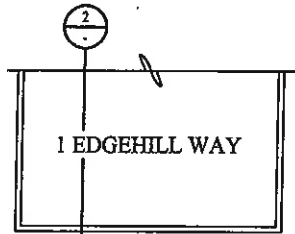


Patrick Buscovich
Structural Engineer

UPPER
EDGEHILL
WAY



LOWER
EDGEHILL

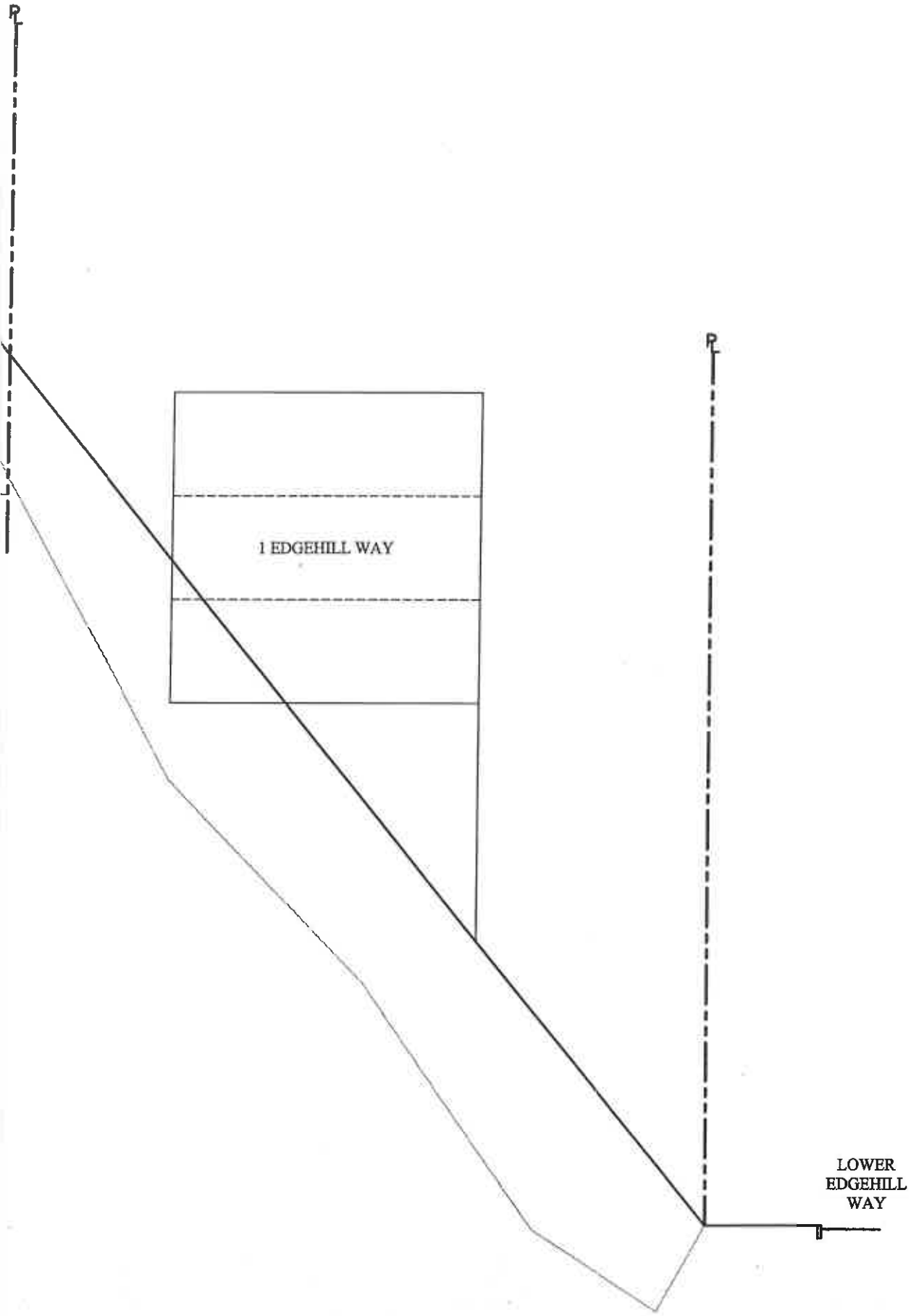


SITE PLAN



NOT TO SCALE

L:\2013\13178 - 181 Edgehill Way\52-0.dwg, Layout1, 11/27/2013 3:42:12 PM, dean, Kyocera M4-2560 FX, Ledger (11 x 17), 1:2.26333



2

SECTION

NOT TO SCALE

REV.	DATE	DESCRIPTION
1		
2		
3		
4		

**PATRICK BUSCOVICH
AND ASSOCIATES
STRUCTURAL ENGINEERS, INC.**
235 MONTGOMERY STREET, SUITE 823
SAN FRANCISCO, CALIFORNIA 94104
(415) 788-7788
© COPYRIGHT 2013



181 EDGEHILL WAY
SAN FRANCISCO, CA.

DESIGN	DA
DESIGNED/CHECKED	PB
DATE	
SCALE	AS NOTED
JOB NO.	
SHEET	
S2.0	
OF	SHEETS



November 05, 2013

Steven Fujii, Permit Holder
c/o Bernd Koepke, Agent for Permit Holder
1460 Bancroft Ave.
San Francisco, CA 94124

Appeal No.: 13-142
Appeal Title: Blednyh & Mazzei vs. DBI
Subject Property: 181 Edgehill Way
Permit Type: Alteration Permit
Permit No.: 2013/09/19/7262

Dear Permit Holder(s):

This is to notify you that an appeal has been filed with this office protesting the **ISSUANCE** of your permit. Pursuant to Article I, §8(i)(5) of the San Francisco Business & Tax Regulations Code, your permit is hereby **suspended** until the Board of Appeals decides this matter and releases a notice of decision and order.

We are enclosing a copy of the **Preliminary Statement of Appeal** for your information.

The hearing regarding this matter has been scheduled for **December 18, 2013, at 5:00 p.m., City Hall, Room 416**, One Dr. Carlton B. Goodlett Place.

If you have any further questions, you may call this office at (415) 575-6880.

Sincerely,

BOARD STAFF

cc: Dept. of Building Inspection c/o BID, and Planning Dept.

Greg Blednyh & Maria Mazzei, Appellants
c/o Pat Buscovich, Agent for Appellants
235 Montgomery Street # 823
San Francisco, CA 94104

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of

Appeal No. 13-142

<u>GREG BLEDNYH & MARIA MAZZEI,</u>)
)
Appellant(s))
)
vs.)
)
<u>DEPARTMENT OF BUILDING INSPECTION,</u>)
)
Respondent)

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on November 05, 2013, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on October 23, 2013, to Steven Fujii, Alteration Permit (drainage of property at rear; revision to BPA Nos. 2001/04/04/6019 and 2012/12/28/6978) at 181 Edgehill Way.

APPLICATION NO. 2013/09/19/7262

FOR HEARING ON December 18, 2013

Address of Appellant(s):

Address of Other Parties:

<p>Greg Blednyh & Maria Mazzei, Appellants c/o Pat Buscovich, Agent for Appellants 235 Montgomery Street #823 San Francisco, CA 94104</p>	<p>Steven Fujii, Permit Holder c/o Bernd Koepke, Agent for Permit Holder 1460 Bancroft Ave. San Francisco, CA 94124</p>
--	--





Permits, Complaints and Boiler PTO Inquiry

You selected:

Address: 181 EDGEHILL WY Block/Lot: 2933 / 012

Please select among the following links, the type of permit for which to view address information:

Electrical Permits Plumbing Permits Building Permits Complaints

(Building permits matching the selected address.)

Permit #	Block	Lot	Street #	Street Name	Unit	Current Stage	Stage Date
201309197262	1	2933	003	181		SUSPEND 07A	11/05/2013
201306058772	2	2933	012	181		SUSPEND 08A	09/06/2013
201306058776	3	2933	012	181	0	ISSUED	06/05/2013
201306058775	4	2933	012	181	0	ISSUED	06/05/2013
201306058774	5	2933	012	181	0	ISSUED	06/05/2013
201306058773	6	2933	012	181	0	ISSUED	06/05/2013
201306058771	7	2933	012	181	0	ISSUED	06/05/2013
200104046019	8	2933	003	181		EXPIRED	01/04/2013
200511027251	9	2933	003	181		EXPIRED	01/04/2013
200601122052	10	2933	003	181		EXPIRED	01/04/2013
200601122054	11	2933	003	181		EXPIRED	01/04/2013
200705252281	12	2933	012	181	0	EXPIRED	01/04/2013
200705252283	13	2933	012	181	0	EXPIRED	01/04/2013
200712100034	14	2933	003	181		EXPIRED	01/04/2013
201212286978	15	2933	003	181		ISSUED	12/28/2012
201212286980	16	2933	012	181	0	ISSUED	12/28/2012
201212286979	17	2933	012	181	0	ISSUED	12/28/2012
200902202516	18	2933	003	181		EXPIRED	10/24/2011
200008016628	19	2933	003	181		CANCELLED	12/21/2004
200109148343	20	2933	003	181		EXPIRED	01/14/2002
200102262958	21	2933	003	181		EXPIRED	06/26/2001
200008319454	22	2933	003	181		EXPIRED	04/22/2001
200008117640	23	2933	003	181		EXPIRED	12/11/2000
200003013142	24	2933	003	181		SUSPEND	08/22/2000
97136478	25	2933	003	181		REVOKED	04/05/2000
9917181	26	2933	003	181		EXPIRED	02/19/2000
9309707		2933	003	181		COMPLETE	08/17/1993
9311151		2933	003	181		COMPLETE	08/17/1993
8919042		2933	003	181		COMPLETE	01/08/1990

Review
Review
Review
REMOVED

30,150
30,150

Online Permit and Complaint Tracking home page.

Technical Support for Online Services

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26 PERMIT IN 16 YEAR (1997-2013)

Permits, Complaints and Boiler PTO Inquiry

APPEALED
TO BOARD
OF APPEALS

Permit Details Report

Report Date: 11/26/2013 10:57:23 PM
Application Number: 201309197262
Form Number: 3
Address(es): 2933 / 003 / 0 181 EDGEHILL WY
Description: REVISION TO PA# 2001-0404-6019 & 2012-1228-6978. DRAINAGE OF PROPERTY AT REAR.
Cost: \$30,000.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

SUNROOM

Disposition / Stage:

Action Date	Stage	Comments
9/19/2013	TRIAGE	
9/19/2013	FILING	
9/19/2013	FILED	
10/23/2013	APPROVED	
10/23/2013	ISSUED	
11/5/2013	SUSPEND	requested by BPA ltr dd 11/05/2013

Contact Details:

Contractor Details:

License Number: 743902
Name: YOUNG KEUN CHO
Company Name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*
Address: 30658 TIDEWATER DR * UNION CITY CA 94587-0000
Phone: 4156710202

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	INTAKE	9/19/13	9/19/13			9/19/13	BAZILE TARA	
2	BLDG	10/11/13	10/11/13			10/11/13	YAU WILLY HOI-C	Not approved; Application should be taken in for back of house review; cursory comment provided for submittal completeness; revision to original project with Structural Advisory Committee approval & shall be conferred with committee for revision.
3	BLDG	10/23/13	10/23/13			10/23/13	LE THOMAS	10/23/13: Urgent review & approval for work to stabilize existing open-cut across the slope in Edge Hill Slope Protection area.
4	CPB	10/23/13	10/23/13			10/23/13	YAN BRENDA	

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			1	CONCRETE (PLACEMENT &	placement

				SAMPLING)	
o			4	REINFORCING STEEL AND PRESTRESSING TENDONS	reinforcing steel
o			11	PILING, DRILLED PIERS AND CAISSONS	piers and caissons
o			24F	OTHERS	tieback
o			23	OTHERS: AS RECOMMENDED BY PROFESSIONAL OF RECORD	tieback installation & testing
o			24A	FOUNDATIONS	
o			24C	CONCRETE CONSTRUCTION	
o			12	SHOTCRETE	

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

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Permits, Complaints and Boiler PTO Inquiry

Permit Details Report

Report Date: 11/26/2013 11:04:07 PM

Application Number: 200104046019

Form Number: 3

Address(es): 2933 / 003 / 0 181 EDGEHILL WY

Description: HORIZONTAL ADDITION ON THE LOWER 2 LEVELS ON THE NORTHWEST SIDE/ADDING SUNROOM

Cost: \$43,000.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
4/4/2001	TRIALGE	
4/4/2001	FILING	
4/4/2001	FILED	
8/15/2003	PLANCHECK	
8/15/2003	APPROVED	
8/25/2003	ISSUED	
1/4/2013	EXPIRED	

Contact Details:

IGNACIO GONZALEZ ARCH.2516 OCEAN FRONT DR,NV -

Contractor Details:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CP-ZOC	4/5/01	4/6/01			5/11/01	BORDEN ALLISON	
2	PAD-MAJ	5/14/01	6/6/01	5/13/03		7/25/03	YAU WILLY HOI-C	
3	PID-PC	8/13/03	8/13/03			8/13/03	KING DENNIS	
4	ONE-STOP	8/15/03	8/15/03			8/15/03	TJOE MAOE	
5	CPB	8/15/03	8/15/03			8/15/03		APPROV BY BYAN

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
1/4/2013	Thomas Fessler	EXPIRE	EXPIRE
3/23/2004	Raymond Berrios	ROUGH FRAME	ROUGH FRAME
3/16/2004	Raymond Berrios	LATH, EXTERIOR	LATH, EXTERIOR

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			1	CONCRETE (PLACEMENT & SAMPLING)	
0			2	BOLTS INSTALLED IN CONCRETE	
				PILING, DRILLED PIERS	

0			11	AND CAISSONS	
0			13	SPECIAL GRADING, EXCAVATION AND FILLING (GEO. ENGINEERED)	
0			23	OTHERS:AS RECOMMENDED BY PROFESSIONAL OF RECORD	
0			20	HOLDOWNS	
0			24A	FOUNDATIONS	
0			24C	CONCRETE CONSTRUCTION	
0			24E	WOOD FRAMING	
0			19	SHEAR WALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS	

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

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Technical Support for Online Services

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Permits, Complaints and Boiler PTO Inquiry

Permit Details Report

Report Date: 11/26/2013 11:05:45 PM
Application Number: 201212286978
Form Number: 8
Address(es): 2933 /003 /0 181 EDGEHILL WY
Description: OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 2001-0404-6019.
 ALL WORK IS COMPLETE
Cost: \$1.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
12/28/2012	TRIAGE	
12/28/2012	FILING	
12/28/2012	FILED	
12/28/2012	APPROVED	
12/28/2012	ISSUED	

Contact Details:

Contractor Details:

License Number: 743902
Name: YOUNG KEUN CHO
Company Name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*
Address: 30658 TIDEWATER DR * UNION CITY CA 94587-0000
Phone: 4156710202

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	BID-INSP	12/28/12	12/28/12			12/28/12	FESSLER THOMAS	
2	CPB	12/28/12	12/28/12			12/28/12	BAZILE TARA	

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

Online Permit and Complaint Tracking home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Permits, Complaints and Boiler PTO Inquiry

Permit Details Report

Report Date: 11/26/2013 10:57:09 PM

Application Number: 201306058772

Form Number: 8

Address(es): 2933 / 012 / 0 181 EDGEHILL WY

Description: TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200003013142 ALL WORK IS COMPLETE.

Cost: \$1.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

SUSPENDED BY DBI
9/6/2013

SUSPENDED BY DBI
8/22/2000

REVOKED 9/5/2000

Disposition / Stage:

Action Date	Stage	Comments
6/5/2013	TRIAGE	
6/5/2013	FILING	
6/5/2013	FILED	
6/5/2013	APPROVED	
6/5/2013	ISSUED	
9/6/2013	SUSPEND	per Chief Bldg. Inspector Patrick O'Riordan, Org. PA#20000413142 suspended per NOV#200008591 8/22/00

Contact Details:

Contractor Details:

License Number: 743902
Name: YOUNG KEUN CHO
Company Name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*
Address: 30658 TIDEWATER DR * UNION CITY CA 94587-0000
Phone: 4156710202

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	BID-INSP	6/5/13	6/5/13			6/5/13	CHIU YUANG-TAM	
2	CPB	6/5/13	6/5/13			6/5/13	CHUNG JANCE	

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

Online Permit and Complaint Tracking home page.

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Permits, Complaints and Boiler PTO Inquiry

Permit Details Report

Report Date: 11/26/2013 10:59:38 PM

Application Number: 200003013142

Form Number: 3

Address(es): 2933 / 003 / 0 181 EDGEHILL WY

Description: REVISION TO APP #9713647-S1 TO CONVERT SINGLE CAR GARAGE TO LIVING SPACE

Cost: \$87,000.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
3/1/2000	TRIAGE	
3/1/2000	FILING	
3/1/2000	FILED	
8/21/2000	APPROVED	
8/21/2000	ISSUED	
8/22/2000	SUSPEND	This permit issued in error as 97113647S was already revoked. See NOV#200008591

Contact Details:

Contractor Details:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CNT-PC	3/7/00	3/7/00			3/7/00	PADA RODOLFO	TO CP-ZOC 1ST, THEN CNT-PC/RUDY PADA
2	CP-ZOC	3/8/00	6/15/00			8/10/00	BORDEN ALLISON	approved subject to condits. - please see attachments, including itr. from Zoning Administrator, appeal docs., NSR, and encroachment application
3	CP-NP	3/8/00	6/15/00	7/11/00	8/10/00	8/10/00	BORDEN ALLISON	notif. cancelled at request of applicant on 7/11/2000; project in hold while waiting for materials to support agreement w/neighbor
4	CNT-PC	8/11/00				8/21/00	PADA RODOLFO	
5	ONE-STOP	8/21/00	8/21/00			8/21/00		
6	CFB	8/21/00	8/21/00			8/21/00		

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
8/22/2000	Raymond Birmingham	SUSPEND PERMIT	SUSPEND PERMIT

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

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Permits, Complaints and Boiler PTO Inquiry

Permit Details Report

Report Date: 11/26/2013 11:01:09 PM

Application Number: 9713647S
Form Number: 3
Address(es): 2933 / 003 / 0 181 EDGEHILL WY
Description: REMODEL EXISTING RMS INTO 2BR&1BA,ADD 50 SF TO DINING RM/KCH
Cost: \$150,000.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
7/22/1997	FILED	
4/17/1999	CANCELLED	
8/19/1999	REINSTATED	
1/25/2000	SUSPEND	
4/5/2000	REVOKED	

Contact Details:

ELLIS A. SCHIOCHET AIA -

Contractor Details:

Addenda Details:

Description:

FINAL

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Phone	Hold Description
1	CP-ZOC	7/24/97	7/30/97	7/30/97		8/11/98	TCW	415-558-6377	
2	CPB							415-558-6070	

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
1/25/2000	Raymond Birmingham	SUSPEND PERMIT	SUSPEND PERMIT
1/11/2000	Raymond Birmingham	ROUGH FRAME	OK TO POUR

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			02	BOLTS IN CONCRETE	
0			04	REBAR/TENDONS	
0			20	SPECIAL CASES	
0			19	SHEAR DIAP	
0			11	PILING/PIERS	

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

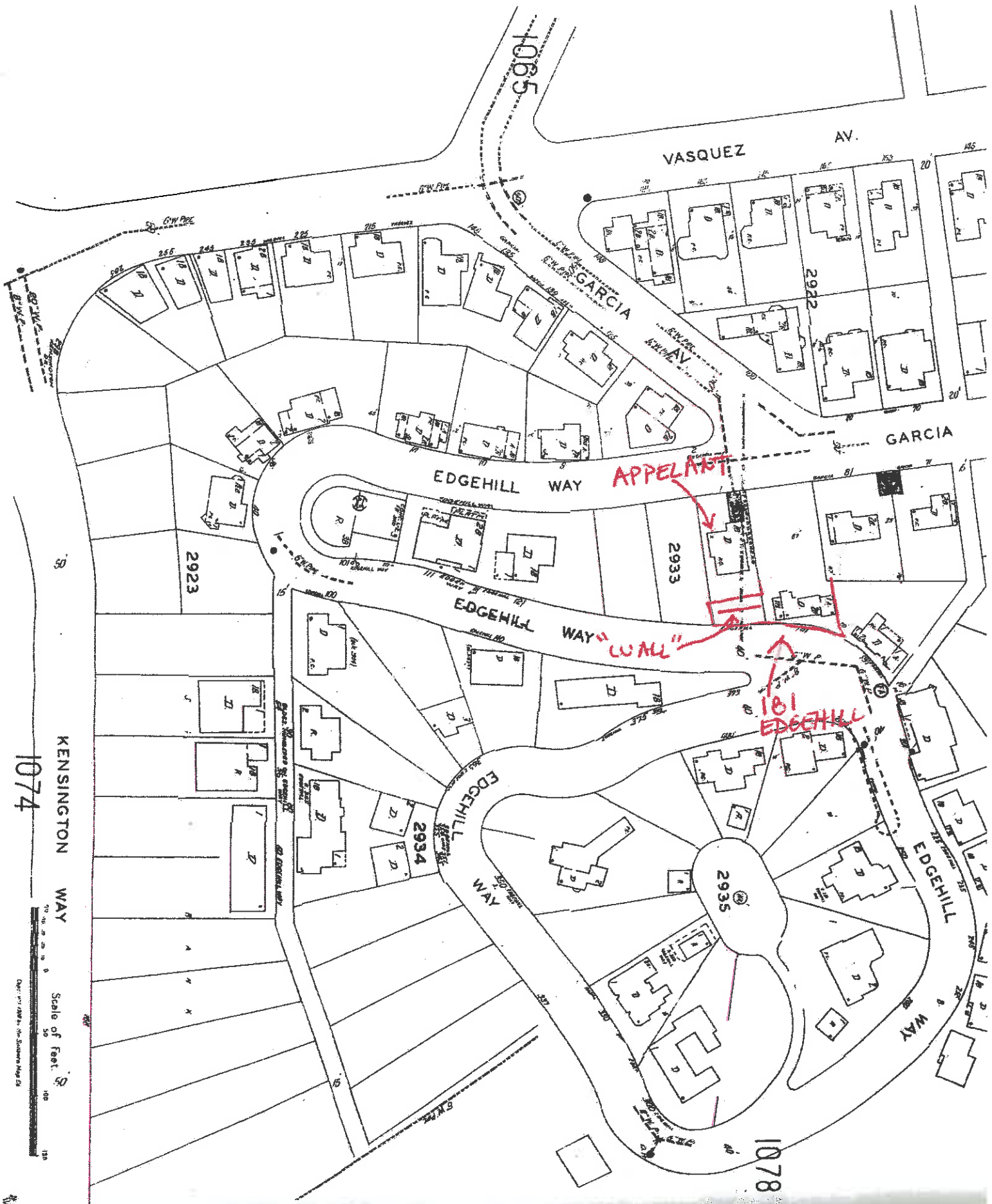
Station Code Descriptions and Phone Numbers

Online Permit and Complaint Tracking home page.

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VASQUEZ AV.

AV.

1065

GARCIA AV.

GARCIA

EDGEHILL WAY

APPELLANT

2933

EDGEHILL WAY "WALL"

101 EDGEHILL

2923

EDGEHILL WAY

2934

2935

EDGEHILL WAY

KENSINGTON WAY

1074

1078

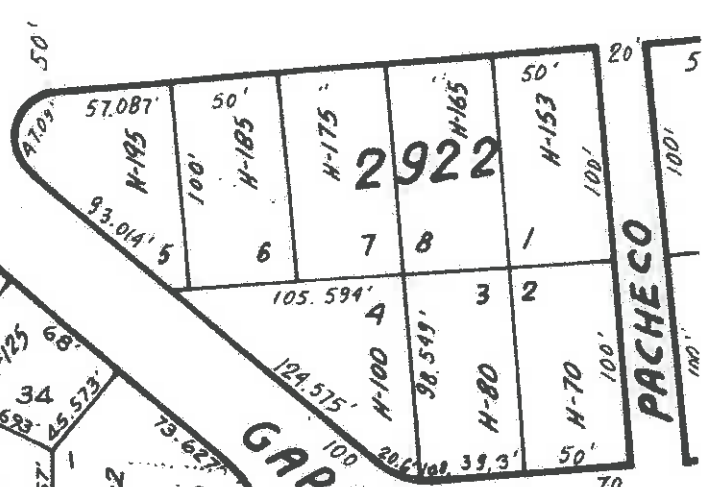
Scale of feet



0 25 50 75 100 125

0 25 50 75 100 125

VASQUEZ



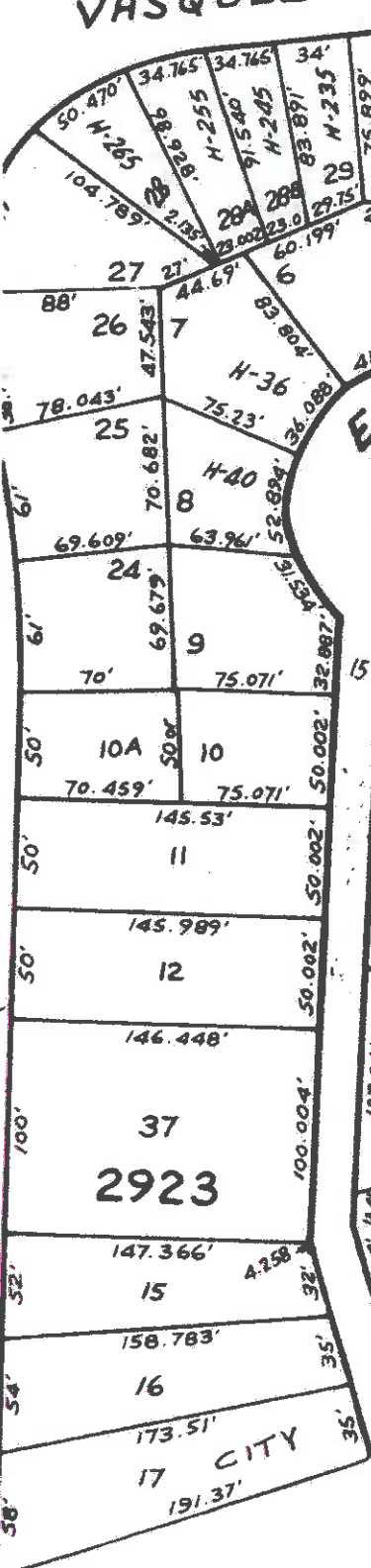
EDGE HILL

WAY

GARCIA

APPELLANT LOT

SUBJECT LOT



2923

2934

EDGE HILL

2935

WAY

PACHECO

2933

2922



1A-K – Penalties, Hearings, Code Enforcement Assessments. Such applications shall be canceled only through specific action by the Building Official.

106A.3.8 Disapproval of application. Any application that does not meet the requirements of this code or any other laws, ordinances or regulations enforced by any interested departments or agencies shall be disapproved by the Building Official or upon request by the applicant. If such a request is not made, the application shall be held in abeyance and then canceled as provided for in Section 106A.3.7.

106A.3.8.1 Withdrawal of application. Applications filed for permits may be withdrawn by the owner, provided that no part of the work proposed on the application has been performed.

106A.4 Permits issuance.

106A.4.1 Issuance. The application, plans, specifications, computations and other data filed by an applicant for a permit shall be reviewed by the building official. Such plans may/shall be reviewed by other departments of this jurisdiction to verify compliance with any applicable laws under their jurisdiction. If the Building Official finds that the work described in an application for a permit and the plans, specifications and other data filed therewith conform to the requirements of this code and other pertinent laws and ordinances, and that the fees specified in Section 107 have been paid, the building official shall issue a permit therefor to the applicant.

When the building official issues the permit where plans are required, the building official shall endorse in writing or stamp the plans and specifications APPROVED. Such approved plans and specifications shall not be changed, modified or altered without authorizations from the building official, and all work regulated by this code shall be done in accordance with the approved plans.

The building official may issue a permit for the construction of part of a building or structure before the entire plans and specifications for the whole

building or structure have been submitted or approved, provided adequate information and detailed statements have been filed complying with all pertinent requirements of this code. The holder of a partial permit shall proceed without assurance that the permit for the entire building or structure will be granted.

106A.4.1.1 Transfer of permit. Permits are transferable without payment of fees per Table 1A-D when the new owner submits a letter to the Department agreeing to all conditions of approval, stipulations and agreements contained on the approved application.

106A.4.1.2 Edgehill Mountain Slope Protection Area.

106A.4.1.2.1 Creation. There is hereby created the Edgehill Mountain Slope Protection Area, which is generally bounded by Garcia Avenue, Vasquez Avenue, Kensington Way and Ulloa Street and traversed by Edgehill Way. The Edgehill Mountain Slope Protection Area is comprised of the following Assessor's Block Numbers: 2875, 2876, 2923, 2933, 2934, 2935, 2936A and 2936B. Heightened review of certain permit applications, as provided in this section, shall be made in this area.

106A.4.1.2.2 Purpose. Because landslides, earth movement, ground shaking and subsidence are likely to occur on or near the Edgehill Mountain Slope Protection Area, causing severe damage and destruction to public and private improvements, the Board of Supervisors finds that the public health, safety and welfare is best protected if the Building Official of Building Inspection causes permit applications within the Edgehill Mountain Slope Protection Area for either (1) construction of new buildings or structures or (2) alterations that involve a substantial increase in the envelope of an existing building or structure, to be peer reviewed for structural integrity and effect on hillside stability. The requirements herein for projects in the Edgehill Mountain Slope Protection Area are in addition to all other applicable laws and regulations, including any and all requirements for environmental review under the California Environmental Quality Act;

CONTRACT AND SETTLEMENT AGREEMENT

This Contract and Settlement Agreement ("Agreement") is entered into by and between Greg and Maria Blednyh ("Blednyh") and Steve Fujii ("Fujii").

RECITALS

A. Fujii and Blednyh have mutually agreed to enter into this Agreement to resolve a dispute between the parties relating to proposed and actual construction at 179 and 181 Edgehill Way, San Francisco, California ("the Property"). Fujii has applied for two building permits from the City and County of San Francisco ("Permit or Permits") one to complete an existing building project and one to build a new garage.

B. On June 15, 2000, the San Francisco Planning Department provided notice pursuant to Section 311 of the Planning Code of the building permit application filed by Fujii to complete his existing building project at the Property.

AGREEMENT

In consideration of the mutual promises contained in this Agreement, it is hereby agreed as follows:

1. Non-Opposition to the Issuance of the Permits. In exchange for the agreement by Fujii as detailed below, and his compliance in full with each of its terms, Blednyh agrees not to oppose the issuance of Permits for construction of a garage and for the completion of work already begun at the Property. Blednyh reserves the right to take appropriate action, including litigation, to enforce the terms of the Permits and this Agreement.
2. Conditions. Fujii agrees to the following conditions relating to the Permits. To the extent these conditions impose greater restrictions on Fujii than the conditions imposed by the City and County of San Francisco, the conditions of this Agreement shall control.
 - a. Fujii agrees to fully disclose to Blednyh the full plans for the garage to be built on 181 Edgehill Way prior to submitting the plans to the Planning Department. Said plans will propose that a single car garage be constructed in place of the existing patio with a walkway between the proposed garage structure and the existing residence. The garage structure will be 19 feet and 11 inches overall depth by 20 feet 6 inches wide

(including the walkway). The size and dimensions of the proposed garage structure and the walkway shall be constructed in strict accordance with the plans that were disclosed to Blednyh and submitted to the planning department for approval. The garage and walkway as built shall not vary from the above disclosed plans. Attached to this document are a true and correct copy of the plans to be submitted to the planning department.

The construction shall not extend further west than 20' 6" from the existing western kitchen. M. Fujii 7/14/00

DB 7/14/00 b. Fujii will submit said plans for the garage, along with any required variance and encroachment permits, for review and approval by the appropriate city departments. Once said plans are deemed in compliance with appropriate city codes and in compliance with the terms of this Agreement, Blednyh agrees not to oppose or object to the issuance of the Permits for construction of the garage and for completion of the work already begun at the Property.. The garage will be constructed pursuant to the plans submitted to and approved by the Planning Department and in full conformance with the Edgehill Slope Stabilization Ordinance.

c. Fujii shall not remove any of the trees located at 179 Edgehill Way, ~~unless a tree must be removed for purposes of constructing the garage. Fujii may trim the trees for safety reasons.~~ *M. Fujii 7/14/00*

DB 7/14/00 d. Blednyh wishes to construct a fence along the property line between the Blednyh and Fujii properties. Fujii will not oppose or hinder the construction of the fence to be built on Blednyh's property line so long as it is constructed pursuant to applicable code and permit requirements and is located on Blednyh's property.

e. Fujii agrees that he not build or cause to be built a structure on the lot adjacent to 181 Edgehill Way known as 179 Edgehill Way, other than the walkway and the garage as shown in the submitted plans, and to that end Fujii will execute promptly on demand a deed or other recordable instrument giving up the right to build any structure on that property. Said instrument shall be recorded by Blednyh.

3. Incorporation into Permit. Fujii agrees to take all steps necessary to have the terms of this Agreement that relate to the proposed new garage incorporated into and made a material part of the Permit for the garage but agrees that under no circumstance will the garage or walkway be built in violation of any of the terms of this Agreement.

4. General Release and Waiver. Blednyh and Fujii desire to and hereby do fully and generally settle, compromise, discharge and waive all claims or demands or causes of action which either party may have against the other, the other's agents and

representatives, relating to both Permits and to the conduct of the parties regarding the Permits and specifically to the opposition of Blednyh to the issuance of the Permits. The parties further waive the provisions of Section 1542 of the California Civil Code, which section reads as follows: " general release does not extend to claims which the creditor does not know or suspect to exist in his favor at the time of executing the release, which if known by him must have materially affected his settlement with the debtor."

5. Complete Agreement; Written Modification Only. Except for the terms of the Permits themselves, this Agreement contains the entire agreement of the parties and constitutes the complete, final and exclusive embodiment of their agreement with respect to the subject matter hereof. This Agreement supersedes any and all prior correspondence, arrangements, representations and understandings, whether written or oral, express or implied, with respect to the subject matter hereof. This Agreement may not be modified except by a written agreement which specifically sets forth each modification and is signed by all parties.

6. Severability. If any provision of this Agreement is deemed or held invalid or unenforceable in whole or in part for any reason, the same shall be deemed severed from the remainder of this Agreement, and shall in no way affect or impair the validity or enforceability of any portion or all of this Agreement, which shall otherwise remain in full force and effect.

7. Counterparts. This Agreement may be deemed executed in two or more counterparts, each of which shall be deemed an original, but all of which taken together shall constitute one and the same instrument.


The parties have executed this Agreement as of the last date set forth below.

DATED: 7/14/2000



Steve Fujii

DATED: 7-14-00

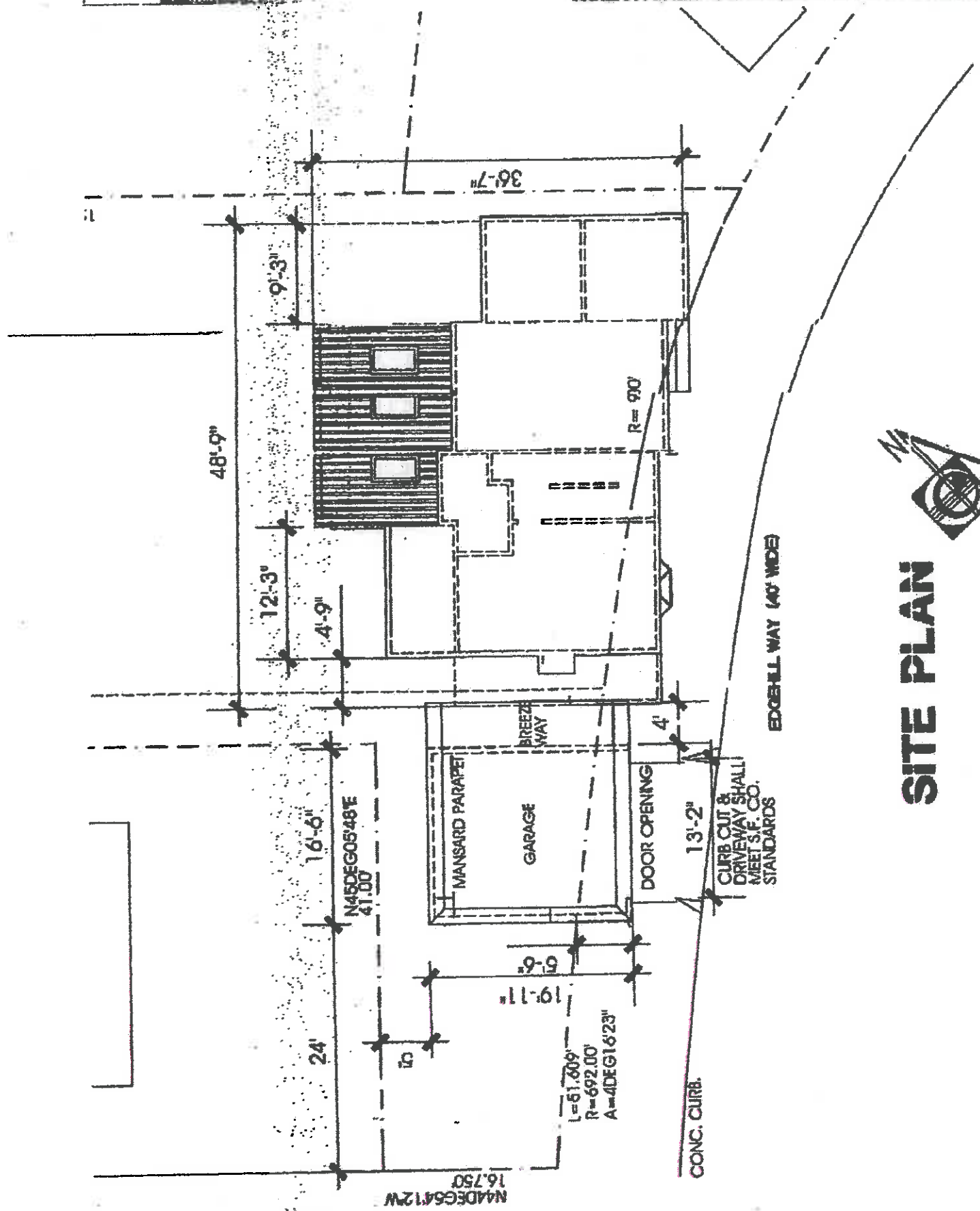


Maria Blednyh

DATED: 7-14-00



Gregory Blednyh



SITE PLAN

N44DEG64'12W 16.750'

N45DEG05'48"E 41.00'

L=61.609'
R=692.00'
A=4DEG16'23"

CONC. CURB.

EDGEHILL WAY (40' WIDE)

CURB CUT & DRIVEWAY SHALL MEET S.F. CO. STANDARDS

DOOR OPENING

GARAGE

MANSARD PARAPET

BREEZE WAY

R=90'

48'-9"

36'-7"

9'-3"

12'-3"

4'-9"

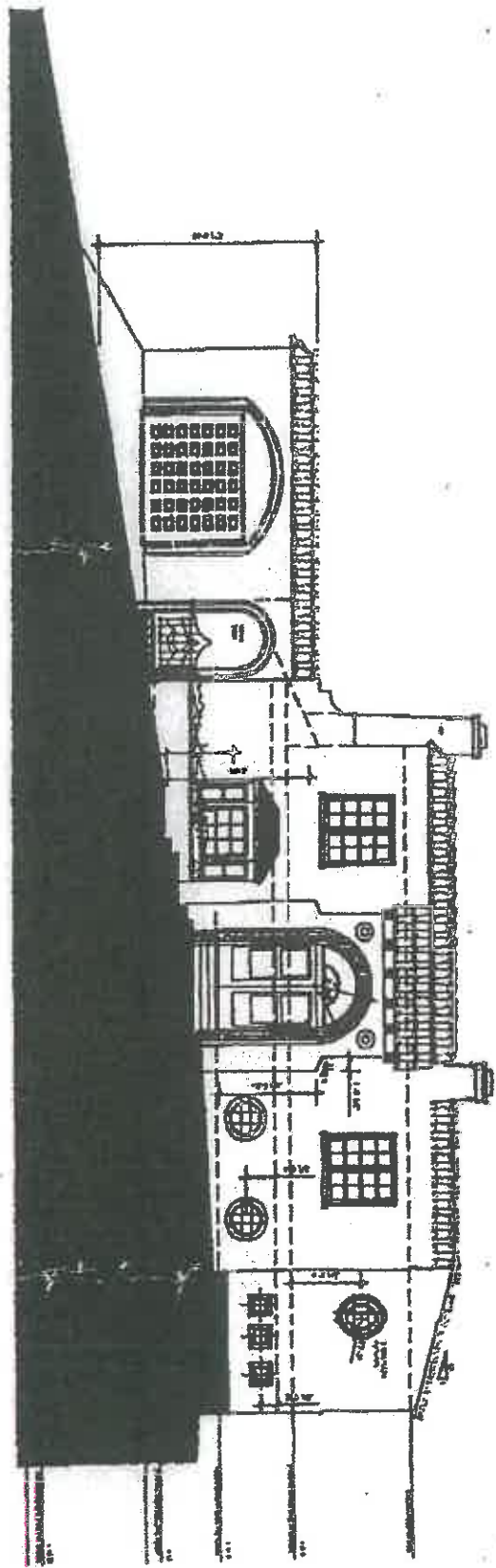
16'-6"

19'-11"

5'-6"

13'-2"

24'



FULM RESIDENCE RENOVATION
 1234567890
 1234567890

FRONT ELEVATION

MR. STEVE FULM
 1234567890



1 MARC SEIDENFELD
2 Attorney at Law
3 177 Post Street, Suite 550
4 San Francisco, CA 94108

5 Telephone: (415) 677-8520

6 Attorney for Appellants

7
8 BEFORE THE BOARD OF PERMIT APPEALS
9 CITY AND COUNTY OF SAN FRANCISCO

10
11 In re

Appeal No. 00-012

12 181 Edgehill Way.

Hearing Date: March 8, 2000

13 _____ / Appellants' Rebuttal Brief

14 Respondents' brief submitted in this matter is remarkable as
15 much for what it does not say, as for what it does say.

16 No where in it do respondents deny that they are required to
17 have an off street parking place. Nor do they deny that they have
18 taken the existing garage and incorporated it into the house as
19 living space. Nor do they deny that they had no permit to do this.
20 Nor do they deny that a permit is required to remove an off street
21 parking place. Nor do they deny that they intend to build a new
22 garage and that by removing the existing one and not leaving any
23 other space available, as a practical matter they will have to
24 build the new one directly above appellants' residence, endangering
25 both the lives and property of appellants. See Exhibit A.

26 Respondents state that they have not eliminated any off street
27 parking. Yet they admit that their garage has been converted to
28 living space. Their excuse is that the garage had been used as

1 storage for several years and that no variance is required to
2 convert a storage area into living space.

3 This argument is based on an entirely false premise, one that
4 respondents know is false. This is not a question of a variance.
5 The garage they eliminated may have been used as a storage area, a
6 common situation, but it was and still is considered a garage by
7 the City. The permit history of the property shows no application
8 has ever been made to remove the garage from use as a garage. And
9 it is absolutely forbidden to remove an existing off street parking
10 place in the City of San Francisco without a permit from the City
11 to do so. But as previously noted, respondents are not especially
12 concerned about permits.

13 Respondents complain that this appeal "amounts to blackmail to
14 force the Fujiis not to build a garage that is still nothing more
15 than an idea."

16 From day one in this matter, appellants have tried to work
17 with respondents to resolve these matters. Respondents refused
18 point blank to talk to appellants or to respond to them in any way.
19 Appellants were left with no alternative but to call the Bldg.
20 Dept. All of a sudden, when work was stopped, respondents were
21 willing to talk with appellants.

22 Appellants have offered several possible compromises but each
23 has been rejected out of hand by respondents. For example, the
24 suggestion that the parties hire a mutually acceptable engineer as
25 an expert to report on the safety of the project is not acceptable
26 to respondents because they will not agree that if the expert
27 decides it is unsafe, the project will not be built. What would be
28 the point of having a mutually agreed expert make such a report if

1 one party is free to disregard it if the report is against that
2 party? Respondents make light of this by calling it a red herring
3 because they "would not and could not build a garage that was
4 unsafe."


5 This goes right to the heart of the matter. Respondents also
6 could not legally do what they have already done - remove an
7 existing off street parking place, but they did it anyway.

8 The basic problem is that respondents refuse to acknowledge
9 that appellants and other neighbors have legitimate concerns that
10 need to be addressed. No resolution is possible until that occurs.
11 See Exhibit B attached hereto.

12 Respondents claim that building a new garage is nothing more
13 than an "idea" at this time. Yet respondents showed appellants and
14 their counsel fully drawn plans for such a garage and stated that
15 these plans would be submitted to the Bldg. Dept. after work on the
16 house was completed. It is clearly not just an "idea." They want
17 to create a fait accompli. They are attempting to create a
18 situation where it will be impossible to have the required off
19 street parking place without building it in a place which threatens
20 appellants' lives and property.

21 Appellants respectfully request that respondents be compelled
22 to comply with the law like everyone else who wants to build in
23 this City. The permit should be rescinded, respondents should be
24 ordered to restore the illegally removed garage and to submit an
25 application with appropriate plans to the Bldg. Dept. for all the
26 work they plan to do.

27 DATED: March 2, 2000



Marc Seidenfeld
Attorney for Appellants

March 1, 2000

To: Department of Building Inspection
From: William and Louise Pynchon
80 Garcia Ave.
Re: Property at 181 Edgehill Way
Appeal No. 00-012

My property is downhill and across the street from 181 Edgehill Way. I walk Edgehill Way daily and could not help but notice the construction being done at the site. The work began in October 1999 and there appeared to be no contractor in charge and there was no posting from Building Permit indicating that a permit had been issued. I observed that the existing garage had been removed and incorporated into the house. I observed two men hand digging the hillside to pour the foundation. In an attempt to keep the rocks on the property the builders strung orange webbing, normally used to keep people out of a danger zone. The rocks proceeded to tumble down the hill and crash into the street. A second restraining line was installed to no avail.

The builders have not taken the safety of the neighbors into account, apparently they have not followed the rules of the Department of Building Inspection and do not believe they must abide by the guidelines within the Edgehill Mountain Slope Protection Area.

The safety of this structure definitely is questionable since Mr. Fujii does not believe he has to follow any of the rules that are designed to protect him and the neighbors that live around him. Mr. Fujii should be required to follow the laws of the building code for the safety of his neighbors.

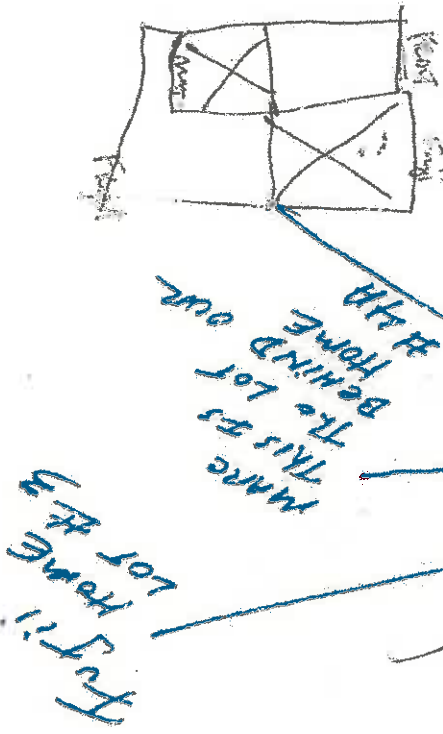
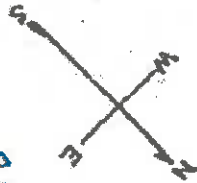
Yours Truly,

William & Louise Pynchon
Louise Pynchon
Mr. & Mrs. W. Pynchon

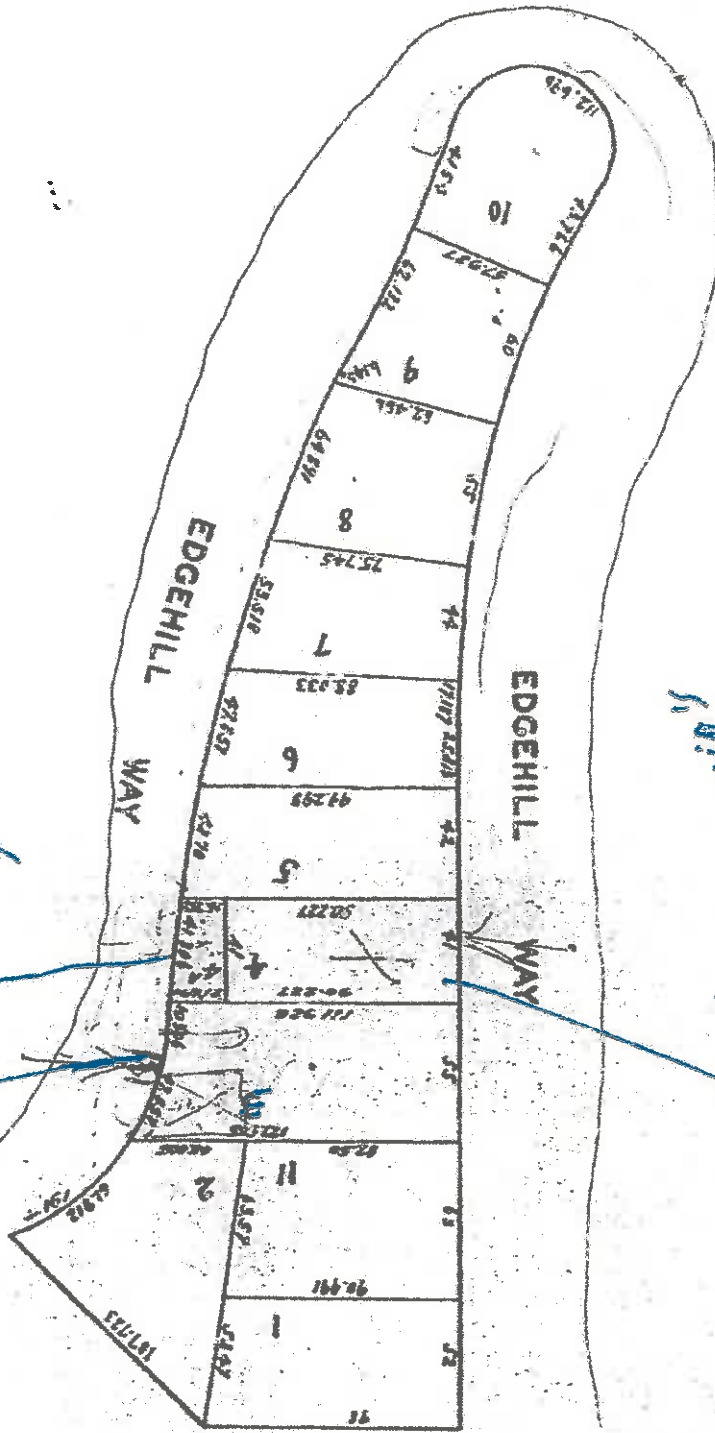
EXHIBIT B

2933

So
TRAILOR BEHIND
HOME SE 5 4A
PUT IT HOME
LOT 3



MARG
LOT # 3
PUT IT!
MARG
THIS IS
BEHIND OUR
HOME
31 41A



6009
H 17
6009
31 41A



SAN FRANCISCO PLANNING DEPARTMENT

San Francisco Property Information Map - <http://propertymap.sfplanning.org>

Report for: 181 edgehill



Property Report: 181 edgehill

General information related to properties at this location.

PARCELS (Block/Lot):

2933/012

PARCEL HISTORY:

2933/004A became 2933/012 on 6/26/1997

2933/003 became 2933/012 on 6/26/1997

ADDRESSES:

181 EDGEHILL WAY, SAN FRANCISCO, CA 94127

NEIGHBORHOOD:

West of Twin Peaks

CURRENT PLANNING TEAM:

SW Team

SUPERVISOR DISTRICT:

District 7 (Norman Yee)

CENSUS TRACTS:

2010 Census Tract 030600

TRAFFIC ANALYSIS ZONE:

Traffic Analysis Zone: 118

REPORT OF RESIDENTIAL BUILDING RECORD (3-R):

None

CITY PROPERTIES:

None

ASSESSOR'S REPORT:

Address: 181 EDGEHILL WY
Mailing Address: 181 EDGEHILL WAY, SAN FRANCISCO CA, 94127
Parcel: 2933012
Assessed Values:
Land: \$396,208.00
Improvements: \$549,484.00
Fixtures: -
Personal Property: -
Last Sale: -
Last Sale Price: -
Year Built: -
Building Area: -
Parcel Area: -
Parcel Shape: -
Frontage: -
Depth: -
Construction Type:
Use Type: Dwelling
Units: -
Stories: -
Rooms: -
Bedrooms: -
Bathrooms: -
Owner: STEPHEN KATSUTOSHI
STEPHEN KATSUTOSHI
181 EDGEHILL WAY
SAN FRANCISCO CA, 94127
Owner Date: 06/16/05

Zoning Report: 181 edgehill

Planning Department Zoning and other regulations.

ZONING DISTRICTS:

RH-1(D) - RESIDENTIAL- HOUSE, ONE FAMILY- DETACHED

HEIGHT & BULK DISTRICTS:

40-X

SPECIAL USE DISTRICTS:

None

SPECIAL SIGN DISTRICTS:

None

LEGISLATIVE SETBACKS:

None

COASTAL ZONE:

Not in the Coastal Zone

PORT:

Not under Port Jurisdiction

LIMITED AND NONCONFORMING USES:

None

REDEVELOPMENT AREAS:

None

OTHER INFORMATION:

<i>Control:</i>	<i>Seismic Hazard - Landslide</i>
Description:	CEQA Impact: an Environmental Evaluation Application may be required for some types of development. Additionally, any new construction is subject to a mandatory Interdepartmental Project Review.
Added:	3/20/2013
Planner:	JIONIN

<i>Control:</i>	<i>Slope of 20% or greater</i>
Description:	CEQA Impact: an Environmental Evaluation Application may be required for some types of development.
Added:	3/19/2013
Planner:	MPEREIRA

<i>Control:</i>	<i>Stormwater Management Ordinance</i>
Description:	Projects that disturb 5,000 square feet or more of the ground surface must comply with the Stormwater Design Guidelines and submit a Stormwater Control Plan to the SFPUC for review. To view the Guidelines and download instructions for preparing a Stormwater

Control Plan, go to <http://stormwater.sfwater.org/> . Applicants may contact stormwaterreview@sfwater.org for assistance.

Added: 8/6/2010
Planner: JNAVARRE

Control: Urban Bird Refuge

Description: This property is within 300' of a possible urban bird refuge. Planning Commission Resolution 18406 established policies concerning the window treatment, lighting design, and wind generation for certain projects in this area. For more information please consult the 'Standards for Bird-Safe Buildings'.

Added: 11/8/2011
Planner: ELOVEJOY

MAYOR'S INVEST IN NEIGHBORHOODS INITIATIVE AREA:

None

COMMUNITY BENEFIT DISTRICT:

None

SCHOOLS:

Within 1,000ft of: St. Brendan's School

NOTICE OF SPECIAL RESTRICTIONS:

NSR No.: G797372
Restriction: Permit hold for work being done at 181 Edgehill Way ("subject property") exceeded the Scope of Work of Building Permit.
Permit No: 0030113142
NSR Date: 7/10/2000

NSR No.: G829507
Restriction: Permit holder exceeded the Scope or Work
Permit No: 200008319454
NSR Date: 9/12/2000

ZONING LETTERS OF DETERMINATION:

None

Historic Preservation Report: 181 edgehill

Historic preservation surveys and evaluations. The Historic Resource status shown on this page is tentative, to confirm the status of your property please speak to a Preservation Technical Specialist. Tel: 415-558-6377; Email: pic@sfgov.org

HISTORIC EVALUATION:

Parcel: 2933012
Building Name:

Address: 181 EDGEHILL WA
 Planning Dept. Historic Resource Status: B - Potential Historic Resource
 California Register:
 National Register:

ARTICLE 10 DESIGNATED HISTORIC DISTRICTS AND LANDMARKS:

None

ARTICLE 11 PRESERVATION DESIGNATION:

None

NATIONAL REGISTER HISTORIC DISTRICTS:

None

HISTORIC SURVEYS:

None

HISTORIC RESOURCE EVALUATION RESPONSES:

None

ARCHITECTURE:

Unknown

Projects Report: 181 edgehill

Permits are required in San Francisco to operate a businesses or to perform construction activity. The Planning Department reviews most applications for these permits in order to ensure that the projects comply with the Planning Code. The 'Project' is the activity being proposed.

PROJECTS:

Case No.: 2000.792R
Case Planner: ALLISON H. BORDEN Tel: 415-558-6377 (no longer with the Planning Department)
Case Type:
Case Status: Closed
Case Filed: 10/16/2000
Applicant: Christopher Moscone
 Moscone, Emblidge & Quadra, LLP
 180 Montgomery Street, Suite 1240
 San Francisco, CA 94104
 Tel: 362-3599

Case Description:
Action: 6/14/2001 - DCP - Letter signed by DIR was approved.
Construction Cost: -
Initial Fee: \$224.00
Docket Location: SOUTHWEST
Project Name: 181 EDGEHILL WY
Project Description: 10/16/2000 Build single car garage with an adjacent breezeway to satisfy off-street parking requirements. Proposal to construct a one-car garage and entry gate to the south of the existing house at 181 Edgehill way. This proposal is under BPA No. 200008016628, and requires a variance under Planning Code Sections 132 and 134. The applicant has also filed for an encroachment permit through the Dept. of Public Works.

Project Sponsor: Christopher Moscone
 Moscone, Emblidge & Quadra, LLP
 180 Montgomery Street, Suite 1240
 San Francisco, CA 94104
 Tel: 362-3599

Project Decision: Approved
 Project Decision Date: 9/27/2000

Case No.: 2000.792V
Case Planner: ALLISON H. BORDEN Tel: 415-558-6377 (no longer with the Planning Department)

Case Type:
 Case Status: Closed
 Case Filed: 8/1/2000
 Applicant: Christopher Moscone
 Moscone, Emblidge & Quadra, LLP
 180 Montgomery Street, Suite 1240
 San Francisco, CA 94104
 Tel: 362-3599

Case Description: 132, 134
 Action: 9/27/2000 - DCP - Granted
 Construction Cost: \$40,000.00
 Initial Fee: \$1,189.00
 Docket Location: SOUTHWEST
 Project Name: 181 EDGEHILL WY
 Project Description: 10/16/2000 Build single car garage with an adjacent breezeway to satisfy off-street parking requirements. Proposal to construct a one-car garage and entry gate to the south of the existing house at 181 Edgehill way. This proposal is under BPA No. 200008016628, and requires a variance under Planning Code Sections 132 and 134. The applicant has also filed for an encroachment permit through the Dept. of Public Works.

Project Sponsor: Christopher Moscone
 Moscone, Emblidge & Quadra, LLP
 180 Montgomery Street, Suite 1240
 San Francisco, CA 94104
 Tel: 362-3599

Project Decision: Approved
 Project Decision Date: 9/27/2000

Case No.: 1996.034S
Case Planner: JIM MILLER Tel: 415-558-6377 (no longer with the Planning Department)

Case Type:
 Case Status: Closed
 Case Filed: 1/17/1996
 Applicant: DPW Bureau of Street Use & Mapping
 875 Stevenson Street
 San Francisco, CA 94102
 Tel: 554-5827

Case Description:
 Action: 1/19/1995 - DCP - APPR
 Construction Cost: -
 Initial Fee: \$300.00
 Docket Location: SOUTHWEST
 Project Name: 181 EDGEHILL WAY
 Project Description: Merge 2 lots.
 Project Sponsor: DPW Bureau of Street Use & Mapping
 875 Stevenson Street
 San Francisco, CA 94102
 Tel: 554-5827

Project Decision: Approved

Project Decision Date: 1/19/1995

Building Permits Report: 181 edgehill

Applications for Building Permits submitted to the Department of Building Inspection.
The data in the Building Permits Report (this page) is updated once a month. The last update was on 11/4/2013. More recent updates can be found at the Department of Building Inspection's [Permit Tracking](#) site.

BUILDING PERMITS:

Permit: 201309197262
Form: 3 - ADDITIONS, ALTERATIONS OR REPAIRS
Filed: 9/19/2013
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: ISSUED
Action Date: 10/23/2013
Description: REVISION TO PA# 2001-0404-6019 & 2012-1228-6978. DRAINAGE OF PROPERTY AT REAR.
Cost: \$30,000.00

Permit: 201306058776
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 6/5/2013
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: ISSUED
Action Date: 6/5/2013
Description: TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200109148343 ALL WORK IS COMPLETE.
Cost: \$1.00

Permit: 201306058775
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 6/5/2013
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: ISSUED
Action Date: 6/5/2013
Description: TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200104046019 ALL WORK IS COMPLETE.
Cost: \$1.00

Permit: 201306058774

Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 6/5/2013
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: ISSUED
 Action Date: 6/5/2013
 Description: TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200102262958 ALL WORK IS COMPLETE.
 Cost: \$1.00

Permit: 201306058773
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 6/5/2013
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: ISSUED
 Action Date: 6/5/2013
 Description: TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200008117640 ALL WORK IS COMPLETE.
 Cost: \$1.00

Permit: 201306058772
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 6/5/2013
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: ISSUED
 Action Date: 6/5/2013
 Description: TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200003013142 ALL WORK IS COMPLETE.
 Cost: \$1.00

Permit: 201306058771
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 6/5/2013
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: ISSUED
 Action Date: 6/5/2013
 Description: TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 9917181 ALL WORK IS COMPLETE.
 Cost: \$1.00

Permit: 201212286980

Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 12/28/2012
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: ISSUED
Action Date: 12/28/2012
Description: TO OBTAIN A FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200902202516, ALL WORK IS COMPLETE.
Cost: \$1.00

Permit: 201212286979
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 12/28/2012
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: ISSUED
Action Date: 12/28/2012
Description: TO OBTAIN A FINAL INSPECTION FOR WORK APPROVED UNDER PA# 20008319454, ALL WORK IS COMPLETE
Cost: \$1.00

Permit: 201212286978
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 12/28/2012
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: ISSUED
Action Date: 12/28/2012
Description: OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 2001-0404-6019. ALL WORK IS COMPLETE
Cost: \$1.00

Permit: 200902202516
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 2/20/2009
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: EXPIRE
Action Date: 10/24/2011
Description: REVISION TO PA #200104046019 FOR DRAINAGE IN THE REARY YARD. THIS REPLACES THE ISSUED AND SUSPENDED APPL#200705252281 & ITS RENEWAL APPL#200712100034 WHICH WILL BE WITHDRAWN BY THE APPLICANT.
Planner Reviewed: SLAI
Cost: \$12,000.00

Permit: 200712100034
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 12/10/2007
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: EXPIRE
Action Date: 1/4/2013
Description: RENEW PA# 2007/05/25/2281 FOR FINAL INSPECTION ONLY.
Cost: \$1.00

Permit: 200705252283
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 5/25/2007
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: EXPIRE
Action Date: 1/4/2013
Description: RENEW APPL#200008319454 & 9309707
Cost: \$1.00

Permit: 200705252281
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 5/25/2007
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: EXPIRE
Action Date: 1/4/2013
Description: TO RENEW APPL#200104046019, 200109148343, 200102262958 FOR FINAL INSPECTION. REVISE PREVIOUS DRAINAGE PLAN, REVISION TO APPL#200104046019
Cost: \$1.00

Permit: 200601122054
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 1/12/2006
Address: 181 EDGEHILL WY
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Units: 1
Action: EXPIRE
Action Date: 1/4/2013
Description: RENEW 200008319454 & 9309707 FOR FINAL INSPECTION.
Cost: \$1.00

Permit: 200601122052
Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
Filed: 1/12/2006

Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: EXPIRE
 Action Date: 1/4/2013
 Description: RENEW 200104046019, 2001091218343 & 200102262958 FOR FINAL INSPECTION.
 Cost: \$1.00

Permit: 200511027251
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 11/2/2005
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: EXPIRE
 Action Date: 1/4/2013
 Description: RENEW APP #200104046019/DRAINAGE IN DITCH TO REAR OF BLDG
 Cost: \$10,000.00

Permit: 200109148343
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 9/14/2001
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: EXPIRED
 Action Date: 1/14/2002
 Description: EMERGENCY TEMP SUPPORT FOR PARTIAL FRAMING BELOW DECK/SNRM
 Cost: \$500.00

Permit: 200104046019
 Form: 3 - ADDITIONS, ALTERATIONS OR REPAIRS
 Filed: 4/4/2001
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: EXPIRE
 Action Date: 1/4/2013
 Description: HORIZONTAL ADDITION ON THE LOWER 2 LEVELS ON THE NORTHWEST SIDE/ADDING SUNROOM
 Planner Reviewed: ABORDEN
 Cost: \$43,000.00

Permit: 200102262958
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 2/26/2001
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING

Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: EXPIRED
 Action Date: 6/26/2001
 Description: REV TO PERMIT 200008319454R1-MODIFY LANDING AT ENTRY DUE TO FIELD CONDITION
 Cost: \$500.00

Permit: 200008319454
 Form: 3 - ADDITIONS, ALTERATIONS OR REPAIRS
 Filed: 8/31/2000
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: REINFORCING STEEL
 Action Date: 6/18/2001
 Description: REMODEL OF EXTG RESIDENCE/COMPLETE/REMODEL KITCHEN BATHRM(E) ADD NEW MASTER BATH
 Planner Reviewed: DWASHING
 Cost: \$1.00

Permit: 200008117640
 Form: 3 - ADDITIONS, ALTERATIONS OR REPAIRS
 Filed: 8/11/2000
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: EXPIRED
 Action Date: 12/11/2000
 Description: REMOVE WALL, GATE ENTRANCE & PATIO COVER CONSTRUCTED W/O PERMIT. DEMOLITION ONLY.
 Planner Reviewed: DWASHING
 Cost: \$1,800.00

Permit: 200008016628
 Form: 3 - ADDITIONS, ALTERATIONS OR REPAIRS
 Filed: 8/1/2000
 Address: 181 EDGEHILL WY
 Existing: PRKNG GARAGE/PRIVATE
 Proposed: PRKNG GARAGE/PRIVATE
 Units: 0
 Action: CANCELLED
 Action Date: 12/21/2004
 Description: REPLACE EXISTING DECK WITH REQUIRED GARAGE FOR OFF STREET PARKING
 Planner Reviewed: DWASHING
 Cost: \$40,000.00

Permit: 200003013142
 Form: 3 - ADDITIONS, ALTERATIONS OR REPAIRS
 Filed: 3/1/2000
 Address: 181 EDGEHILL WY

Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: SUSPEND PERMIT
 Action Date: 8/22/2000
 Description: REVISION TO APP #9713647-S1 TO CONVERT SINGLE CAR GARAGE TO LIVING SPACE
 Planner Reviewed: ABORDEN
 Cost: \$27,000.00

Permit: **9917181**
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 8/19/1999
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: EXPIRED
 Action Date: 2/19/2000
 Description: REPAIR/REBUILD EXISTING STAIRS AND DECKS AT NORTH WEST SIDE
 Cost: \$15,000.00

Permit: **9713647S**
 Form: 3 - ADDITIONS, ALTERATIONS OR REPAIRS
 Filed: 7/22/1997
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: SUSPEND PERMIT
 Action Date: 1/25/2000
 Description: REMODEL EXISTING RMS INTO 2BR&1BA,ADD 50 SF TO DINING RM/KCH
 Planner Reviewed: TWANG
 Cost: \$150,000.00

Permit: **9311151**
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 7/1/1993
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: FINAL INSPECT/APPRVD
 Action Date: 8/17/1993
 Description: REPLACE EXISTING WOODSASH WINDOW WITH NEW THERMOPANE WINDOW
 Cost: \$500.00

Permit: **9309707**
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 6/9/1993
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING

Units: 1
 Action: FINAL INSPECT/APPRVD
 Action Date: 8/17/1993
 Description: BATHRM REMODEL-NEW TUB, TILE, VANITY, TOILET.
 Cost: \$7,500.00

Permit: **8919042**
 Form: 8 - ADDITIONS, ALTERATIONS OR REPAIRS - 'I' OCCUPANCY WITH NO PLANS
 Filed: 10/6/1989
 Address: 181 EDGEHILL WY
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Units: 1
 Action: COMPLETE
 Action Date: 1/8/1990
 Description: REROOFING.
 Cost: \$3,000.00

Miscellaneous Permits Report: 181 edgehill

Depending on the activity being proposed a permit may need to be obtained from the Fire Department, Health Department, Police Department, Alcoholic Beverage Commission or other organization. The Planning Department reviews most applications for these permits in order to ensure compliance with the Planning Code.

MISCELLANEOUS PERMITS REVIEWED BY THE PLANNING DEPT:

None

Complaints Report: 181 edgehill

The Planning Department and the Department of Building Inspection operate programs that ensure compliance with the San Francisco Planning Code and Building Inspection Commission Codes respectively. Additionally, they respond to customer complaints of potential code violations and initiate fair and unbiased enforcement action to correct those violations and educate property owners to maintain code compliance.

COMPLAINTS - PLANNING DEPT:

None

Appeals Report: 181 edgehill

Planning Projects, Building Permits and Zoning Determinations appealed to the San Francisco Board of Appeals.

APPEALS:

Appeal No.: **00-012**
Address: 181 EDGEHILL WY
Nature of Appeal: PROTEST ISSUANCE OF PERMIT TO ALTER

Permit Appealed: 9713647S
Hearing Result: OVERRULED DEPARTMENT, DENIED PERMIT WITH FINDINGS
Filed: 1/21/2000
Referred to Planner: 1/26/2000
Response Due: 3/1/2000
Hearing Date: 3/8/2000
Findings Received Due: 4/12/2000
Rehearing Request:
Planner: TWANG
Closed: 4/12/2000
Decision Document: [View Appeal Decision Document](#)

Block Book Notifications Report: 181 edgehill

A Block Book Notification (BBN) is a request made by a member of the public to be notified of permits on any property that is subject to the San Francisco Planning Code.

BLOCK BOOK NOTIFICATIONS:*

None

NOTE

From: BERNIE CURRAN

558-6094

To:

Date: 11/18/13

Subject:

181 Edgehill (site discussion)

- ① Have arborist evaluate trees + proximity to pits. Prescribe a method of stabilization if necessary.
 - ② Cover hill w/ plastic & set up a ^{temporary} water collection system tied to sewer.
 - ③ Reentrench (E) Fence as need to create additional debris catcher.
 - ④ After arborist evaluation dig 1 pit @ center of wall farthest from trees to verify distance to bedrock etc...
 - ⑤ Revise plans to continue wall to house.
 - ⑥ Remove loose fill from prior excavation.
- (Present e meeting Pat Buscouch, Gregory Bleednyh, Maria Bleednyh accompanied by their Contractor. Bernd Koepke + Myself)



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:01:15

Permit details report

Application Number: 201309197262

Form Number: 3 **Application** REVISION TO PA# 2001-0404-6019 & 2012-1228-6978. DRAINAGE OF PROPERTY AT
Description: REAR.

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$30,000 **Occupancy code:** R-3 **Building Use:** 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
19-SEP-2013	TRIAGE	
19-SEP-2013	FILING	
19-SEP-2013	FILED	
23-OCT-2013	APPROVED	
23-OCT-2013	ISSUED	
05-NOV-2013	SUSPEND	requested by BPA ltr dd 11/05/2013

Contact Details:

Contractor Details

License No. : 743902
Name: YOUNG KEUN CHO
Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*
Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000

Phone:
4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	INTAKE	19-SEP-2013	19-SEP-2013			19-SEP-2013	BAZILE TARA	
2	BLDG	11-OCT-2013	11-OCT-2013			11-OCT-2013	YAU WILLY HOI-C	Not approved; Application should be taken in for back of house review; Cursory comment provided for submittal completeness; revision to original project with Structural Advisory Committee approval & shall be conferred with committee for revision.
3	BLDG	23-OCT-2013	23-OCT-2013			23-OCT-2013	LE THOMAS	10/23/13: Urgent review & approval for work to stabilize existing open-cut across the slope in Edge Hill Slope Protection area.
4	CPB	23-OCT-2013	23-OCT-2013			23-OCT-2013	YAN BRENDA	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:01:58

Permit details report

Application Number: 201306058776

Form Number: 8 **Application** TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200109148343 ALL
Description: WORK IS COMPLETE.

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
05-JUN-2013	TRIAGE	
05-JUN-2013	FILING	
05-JUN-2013	FILED	
05-JUN-2013	APPROVED	
05-JUN-2013	ISSUED	

Contact Details:

Contractor Details

License No. : 743902

Name: YOUNG KEUN CHO

Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*

Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000

Phone:

4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHIU YUANG-TAM	
2	CPB	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:04:04

Permit details report

Application Number: 201306058775

Form Number: 8 **Application** TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200104046019 ALL
Description: WORK IS COMPLETE.

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1 **Occupancy code:** R-3 **Building Use:** 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
05-JUN-2013	TRIAGE	
05-JUN-2013	FILING	
05-JUN-2013	FILED	
05-JUN-2013	APPROVED	
05-JUN-2013	ISSUED	

Contact Details:

Contractor Details

License No. : 743902
Name: YOUNG KEUN CHO
Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC* **Phone:**
Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000 4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	05-JUN-2013	05-JUN-2013			05-JUN-2013	YAM JOHN	
2	CPB	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:14:47

Permit details report

Application Number: 201306058772

Form Number: 8 **Application** TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200003013142 ALL
Description: WORK IS COMPLETE.

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
05-JUN-2013	TRIAGE	
05-JUN-2013	FILING	
05-JUN-2013	FILED	
05-JUN-2013	APPROVED	
05-JUN-2013	ISSUED	
06-SEP-2013	SUSPEND	per Chief Bldg. Inspector Patrick O'Riordan, Org. PA#20000413142 suspended per NOV#200008591 8/22/00

Contact Details:

Contractor Details

License No. : 743902

Name: YOUNG KEUN CHO

Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*

Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000

Phone:

4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHIU YUANG-TAM	
2	CPB	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:15:41

Permit details report

Application Number: 201306058774

Form Number: 8 **Application** TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200102262958 ALL
Description: WORK IS COMPLETE.

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1 **Occupancy code:** R-3 **Building Use:** 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
05-JUN-2013	TRIAGE	
05-JUN-2013	FILED	
05-JUN-2013	FILED	
05-JUN-2013	APPROVED	
05-JUN-2013	ISSUED	

Contact Details:

Contractor Details

License No. : 743902
Name: YOUNG KEUN CHO
Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*
Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000

Phone:
4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHIU YUANG-TAM	
2	CPB	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:15:48

Permit details report

Application Number: 201306058773

Form Number: 8 **Application** TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200008117640 ALL
Description: WORK IS COMPLETE.

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1 **Occupancy code:** R-3 **Building Use:** 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
05-JUN-2013	TRIAGE	
05-JUN-2013	FILING	
05-JUN-2013	FILED	
05-JUN-2013	APPROVED	
05-JUN-2013	ISSUED	

Contact Details:

Contractor Details

License No. : 743902
Name: YOUNG KEUN CHO
Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC* **Phone:**
Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000 4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHIU YUANG-TAM	
2	CPB	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:15:55

Permit details report

Application Number: 201306058772

Form Number: 8 **Application** TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200003013142 ALL
Description: WORK IS COMPLETE.

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
05-JUN-2013	TRIAGE	
05-JUN-2013	FILING	
05-JUN-2013	FILED	
05-JUN-2013	APPROVED	
05-JUN-2013	ISSUED	
06-SEP-2013	SUSPEND	per Chief Bldg. Inspector Patrick O'Riordan, Org. PA#20000413142 suspended per NOV#200008591 8/22/00

Contact Details:

Contractor Details

License No. : 743902
Name: YOUNG KEUN CHO
Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*
Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000

Phone:
4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHIU YUANG-TAM	
2	CPB	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:16:09

Permit details report

Application Number: 201306058771

Form Number: 8 **Application** TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 9917181 ALL
Description: WORK IS COMPLETE.

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1 **Occupancy code:** R-3 **Building Use:** 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
05-JUN-2013	TRIAGE	
05-JUN-2013	FILING	
05-JUN-2013	FILED	
05-JUN-2013	APPROVED	
05-JUN-2013	ISSUED	

Contact Details:

Contractor Details

License No. : 743902
Name: YOUNG KEUN CHO
Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC* **Phone:**
Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000 4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHIU YUANG-TAM	
2	CPB	05-JUN-2013	05-JUN-2013			05-JUN-2013	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:16:15

Permit details report

Application Number: 201212286980

Form Number: 8 Application TO OBTAIN A FINAL INSPECTION FOR WORK APPROVED UNDER PA# 200902202516,
Description: ALL WORK IS COMPLETE.

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1 Occupancy code: R-3 Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments	
28-DEC-2012	TRIAGE		
28-DEC-2012	FILING		
28-DEC-2012	FILED		
28-DEC-2012	APPROVED		
28-DEC-2012	ISSUED		

Contact Details:

Contractor Details

License No. : 743902
Name: YOUNG KEUN CHO
Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC* Phone:
Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000 4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BLDG	28-DEC-2012	28-DEC-2012			28-DEC-2012	FESSLER THOMAS	
2	CPB	28-DEC-2012	28-DEC-2012			28-DEC-2012	KARCS EVELYN	

APPROVED

Dept of Building Insp

FEB 20 2009

DIRECTOR DEPT OF BUILDING INSPECTION

NOV 2000 01400, 2000 083 91

FEB 20 2009 APPROVED FOR ISSUANCE

BLDD FORM 318 MARK WALLS DEB 2009 02 20

APPLICATION NUMBER

2116

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

FORM 3 [] OTHER AGENCIES REVIEW REQUIRED

FORM 8 [X] OVER THE COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH

DO NOT WRITE ABOVE THIS LINE

DATE FILED: 02/20/09, FILING FEE RECEIPT NO: [blank], (1) STREET ADDRESS OF JOB: 181 EDGEHILL WAY, BLACK & LOT: 2933/033, PERMIT NO: 1778731, (2) ESTIMATED COST OF JOB: \$1.00, (3) REVISED COST: \$12,000, DATE: 2/20/09

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(6A) TYPE OF CONSTR: I, (6B) NO OF STORIES OF OCCUPANCY: 3, (6C) NO OF BASEMENTS AND CELLARS: 0, (7A) PRESENT USE: SFD, (8A) OCCUP CLASS: R-3, (8B) NO OF DWELLING UNITS: 1

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(6) TYPE OF CONSTR: I, (6B) NO OF STORIES OF OCCUPANCY: 3, (6C) NO OF BASEMENTS AND CELLARS: 0, (7) PROPOSED USE (LEGAL USE): SFD, (8) OCCUP CLASS: R-3, (8B) NO OF DWELLING UNITS: 1

(10) IS AUTO HIGHWAY TO BE CONSTRUCTED OR ALTERED: YES [X], (11) WILL STREET SPACE BE USED DURING CONSTRUCTION: YES [X], (12) ELECTRICAL WORK TO BE PERFORMED: YES [X], (13) PLUMBING WORK TO BE PERFORMED: YES [X]

(14) GENERAL CONTRACTOR: ARTISAN BUILDERS, ADDRESS: 771 CLEMENTINA ST, SF 94103, PHONE: (415) 8603222, EXPIRATION DATE: 4/30/10

(15) OWNER: STEVE FUJIE, ADDRESS: 181 EDGEHILL WAY SF, PHONE FOR CONTACT BY DEPT: 415-420-1904

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT): REVISE ISSUED PA 2001 04 04 (2009) FOR DRAINAGE IN THE REAR YARD (THIS REPLACES THE ISSUED AND SUSPENDED PA 2007 12 10 0034 WHICH WILL BE WITHDRAWN BY APPLICANT)

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL WEIGHT ON STORY TO BUILDING?: YES [X], (18) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENDING TO PUBLIC WAY?: YES [X], (19) DOES THIS ALTERATION CREATE NEW EXHAUST FLOOR AREA: YES [X]

(21) WILL ORIGINAL OWNER BE REPAIRED OR ALTERED?: YES [X], (22) WILL BUILDING EXCEED BEYOND PROPERTY LINE?: YES [X], (23) ANY OTHER EXISTING BLDG ON LOT? YES [X], (24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?: YES [X]

(25) ARCHITECT OR ENGINEER FIRM: TEKTON ARCHITECTURE, ADDRESS: 771 CLEMENTINA ST, SF 94103, SELF CERTIFICATE NO: C-85448

(26) CONSTRUCTION LEADER: UNKNOWN

IMPORTANT NOTICES

No change shall be made in the character of the occupancy... without first obtaining a Building Permit...

No work shall be done... until the building permit shall be posted on the job...

Planned to San Francisco Building Code... the building permit shall be posted on the job...

Code... as shown on drawings... shall be assumed to be correct...

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED WHEN REQUIRED

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORK OR PLUMBING INSTALLATIONS... A SEPARATE PERMIT FOR THE WORK AND PLUMBING MUST BE OBTAINED...

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED

In drawings all building work shall have a date... of less than two... from date of official issue or expiration

CHECK APPROPRIATE BOX

OWNER [X], ARCHITECT [X], ENGINEER [X], CONTRACTOR [X], AGENT []

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION... ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The undersigned by acceptance of this permit... agrees to indemnify the City and County of San Francisco...

I certify that I am the owner of the property... and I am not applying any pressure in any manner... to the undersigned...

I have and will maintain sufficient cash on hand... to ensure the performance of the work...

STATE COMP INS FUND, Policy Number: 008540-1008

The cost of the work to be done is \$1200 or less

I certify that the performance of the work for which this permit is issued... shall not require any pressure in any manner...

I further acknowledge that I understand that in the event that I should become a defendant in the workers' compensation proceedings...

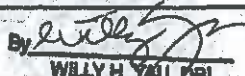
I certify as the owner of the property... that in the performance of the work for which this permit is issued...

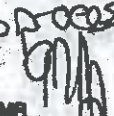
I will accept a certificate of completion... from the undersigned...

Signature: [Signature], Date: 12/20/09

OFFICE COPY

CONDITIONS AND STIPULATIONS

REFER TO	APPROVED	Call 415-369-0970 to schedule inspection for building, structural and / or plumbing. This application is approved without site inspection. Do not proceed with structural plan unless and until you receive an approval of the building. When you receive a permit, you must comply with all applicable codes. Any electrical or plumbing work must comply with applicable separate permits.	By  WILLY H YAU DBI FEB 20 2009 BUILDING INSPECTOR DEPT OF BLDG INS
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DATE	2/20/08
REASON	OK to proceed
NOTIFIED MR	

<input type="checkbox"/>	APPROVED	N/A &c	DEPARTMENT OF CITY PLANNING
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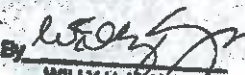
DATE	
REASON	
NOTIFIED MR	

<input type="checkbox"/>	APPROVED	N/A	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY
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DATE	
REASON	
NOTIFIED MR	

<input type="checkbox"/>	APPROVED	↓	MECHANICAL ENGINEER DEPT OF BLDG INSPECTION
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DATE	
REASON	
NOTIFIED MR	

<input checked="" type="checkbox"/>	APPROVED	SPECIAL INSPECTION FOR DRAINAGE INSTALLATION By  WILLY H YAU DBI FEB 20 2009 CIVIL ENGINEER, DEPT OF BLDG INSPECTION	CIVIL ENGINEER, DEPT OF BLDG INSPECTION
-------------------------------------	----------	--	---

DATE	
REASON	
NOTIFIED MR	

<input type="checkbox"/>	APPROVED	N/A	BUREAU OF ENGINEERING
--------------------------	----------	-----	-----------------------

DATE	
REASON	
NOTIFIED MR	

<input type="checkbox"/>	APPROVED	↓	DEPARTMENT OF PUBLIC HEALTH
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DATE	
REASON	
NOTIFIED MR	

<input type="checkbox"/>	APPROVED	↓	REDEVELOPMENT AGENCY
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DATE	
REASON	
NOTIFIED MR	

<input checked="" type="checkbox"/>	APPROVED	↓	HOLDING INSPECTION DIVISION
-------------------------------------	----------	---	-----------------------------

DATE	
REASON	
NOTIFIED MR	

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application and attached statements of conditions or stipulations which are hereby made a part of this application.

Number of attachments OWNER'S AUTHORIZED AGENT _____



DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco
1600 Mission Street, San Francisco, California 94103-2414

DATE 02/20/05

PERMIT APPLICANT AND AUTHORIZED AGENT
DISCLOSURE AND CERTIFICATION

New
Amended

Permit Application No 2009-0220-2514 Job Address 181 EDGEHILL WAY

This form must be submitted to the authority in connection with an application for a building permit (Forms 1/2, 3/8, 4/7, 8 and 9) The form must be amended for all new information or change in information for duration of project. Please be advised that the Department does not regulate permit expeditors/consultants or afford them preferential treatment.

A. Permit Applicant Information

I hereby certify that for the purpose of filing an application for a building or other permit with the Central Permit Bureau, or completion of any form related to the San Francisco Building Code, or to City and County ordinances and regulations, or to state laws and codes, I am the owner, the lessee or the agent of the owner/lessee and am authorized to sign all documents connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct. I am the permit applicant and I am

- Check box(es)
The owner (B)
The lessee (C)
The authorized agent Check only(s)
Applicant (D)
Engineer (E)
Contractor (G)
Attorney (F)
Permit Consultant/Expediter (G)
Other

Print Applicant Name James A Wolbridge
Sign Name [Signature]

B. Owner Information

Name STEVE FUJII
Phone 415-420-1204
Address 181 EDGEHILL WAY
City State Zip

C. Lessee Information

Name
Phone
Address
City State Zip

D. Architect/Engineer Information

- None
List all Architect(s)/Engineer(s) on project

1 Name James A Wolbridge
Architect
Phone No 415-203-2232
Firm Name Tekton Architecture
License # C-25449
Expiration Date 2/13/11
Firm Address 771 UNIVERSITY ST
City State Zip

2 Name Andrew J Lehn
Architect
Phone No 415-380-5072
Firm Name A J Lehn Civil Engineering
License # C-029140
Expiration Date 2/20/09
Firm Address 5102 14TH AVENUE
City State Zip

3 Name
Architect
Engineer
Phone No
Firm Name
License #
Expiration Date
Firm Address
City State Zip

E. General Contractor Information

Note Complete separate licensed contractor's statement also
Name James A Wolbridge
Phone 415-203-2232
Firm Name ARTEAN BUILDERS
License # B-124408
Expiration Date 01/30/10
Firm address 771 UNIVERSITY ST
City State Zip

- Contractor not yet selected If this box is checked, submit an amended form when known
Owner - Builder If this box is checked, submit owner-builder declaration form

F. Attorney Information

Name
Phone
Firm Name
Firm Address
City State Zip

G. Permit Consultant/Expediter

Name
Phone
Firm Name
Firm Address
City State Zip

H. Authorized Agent - Others

Name
Phone
Firm Name
Firm Address
City State Zip

Please describe your relationship with the owner





DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414
CENTRAL PERMIT BUREAU
1660 MISSION STREET
SAN FRANCISCO, CA 94103

Appl. # 2007-0820-2514
Address 131 EDGEMOOR WAY

LICENSED CONTRACTOR'S STATEMENT

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 724408
Expiration Date 10/30/10

License Class B
Contractor James A. Wallbridge
PRINT
[Signature]
SIGNATURE



Owner-Builder Declaration

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law, Business and Professions Code (Sec 7031.5) (Mark the appropriate box below)

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec 7044) I further acknowledge that I understand and agree that in the event that any work is commenced contrary to the representations contained herein, that the Permit herein applied for shall be deemed suspended.

architect, agent
I, as owner of the property, am exclusively contracting with licensed contractors to construct this project (Sec. 7044) I certify that at the time such contractors are selected, I will have them file a copy of this form (Licensed Contractor's Declaration) prior to the commencement of any work. I further acknowledge that I understand and agree that, in the event that said contractors fail to file a copy of the Declaration with the Central Permit Bureau, that the Permit herein applied for shall be deemed suspended.

I am exempt under Business and Professions Code Sec _____

Reason _____

Architect (PRINT) _____

Date _____ Agent (PRINT) _____

Owner (PRINT) _____

(SIGNATURE) _____

NOTICE "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec 7031.5

Revised 09/05/01



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:16:29

Permit details report

Application Number: 201212286979

Form Number: 8 **Application** TO OBTAIN A FINAL INSPECTION FOR WORK APPROVED UNDER PA# 20008319454,
Description: ALL WORK IS COMPLETE

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
28-DEC-2012	TRIAGE	
28-DEC-2012	FILING	
28-DEC-2012	FILED	
28-DEC-2012	APPROVED	
28-DEC-2012	ISSUED	

Contact Details:

Contractor Details

License No. : 743902

Name: YOUNG KEUN CHO

Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*

Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000

Phone:

4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BLDG	28-DEC-2012	28-DEC-2012			28-DEC-2012	FESSLER THOMAS	
2	CPB	28-DEC-2012	28-DEC-2012			28-DEC-2012	KARCS EVELYN	

APPROVED
Dept. of Building Insph.

DEC 28 2012

Tom C. [Signature]
TOM COURTNEY
ACTING PERMITTING
DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE
DEC 28 2012

BLDG. FORM 318

318

APPLICATION NUMBER
20012258-1975

APPROVAL NUMBER:



APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

FORM 3 OTHER AGENCIES REVIEW REQUIRED

FORM 8 OVER-THE COUNTER ISSUANCE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

NUMBER OF PLAN SETS 3

DO NOT WRITE ABOVE THIS LINE

DATE FILED 12-28-12	FILING FEE RECEIPT NO. 319257	(1) STREET ADDRESS OF JOB X 131 EDGEHILL WAY	BLOCK & LOT 2933/003
PERMIT NO. 128275 929174	ISSUE DATE DEC 28 2012	(2A) ESTIMATED COST OF JOB	(2B) REVISED COST: 1.00 TF DATE: 12/28/12

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. I	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 0	(7A) PRESENT USE SINGLE FAMILY RESIDENCE	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
---------------------------	---------------------------------------	--	---	-------------------------	---------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. I	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 0	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY RESIDENCE	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
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(10) IS AUTO HIGHWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--	---	---	---	---------------------------------------	---	-------------------------------------	---

(14) GENERAL CONTRACTOR SCOTTED CO	ADDRESS 160 BANCROFT AV	CITY SF	PHONE 941288	CALIF. LIC. NO. 743902	EXPIRATION DATE 12-12
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(15) OWNER - LESSEE (CHECK ONE) SIEVEN FURIT	ADDRESS 181 EDGEHILL WAY	CITY SF	PHONE (FOR CONTACT BY DEPT.) 415 420 1964
---	-----------------------------	------------	--

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
To obtain final inspection
or work approved under
A# 20008319454
all work is complete

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	FT.	(19) DOES THIS ALTERATION CREATE DECK OR PORCH, EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW FINISHED FLOOR AREA	SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? IF YES, SHOW ON PLOT PLAN	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN) <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/>	ADDRESS	CALIF. CERTIFICATE NO.
--	---------	------------------------

(26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER "UNKNOWN")	ADDRESS
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IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit including such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6' to any wire containing more than 750 volts (See Sec 396, California Penal Code).

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Order lines on plans or drawings accompanying this application are assumed to be correct. If letter grades that are not shown or shown without elevations showing correct grade lines, cuts and fills together with necessary details of retaining walls and soil fastings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS 'YES' TO ANY OF ABOVE QUESTIONS (16) (17) (18) (23) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

<input type="checkbox"/> OWNER	<input type="checkbox"/> ARCHITECT
<input type="checkbox"/> LESSEE	<input type="checkbox"/> AGENT
<input type="checkbox"/> CONTRACTOR	<input type="checkbox"/> ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (i), or (ii) designated below or shall indicate item (iii), or (iv), whichever is applicable. If however item (v) is checked item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- (x) II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier: [Signature]
Policy Number: 1433456
- () III. The cost of the work to be done is \$100 or less.
- () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- () V. I certify as the architect (or the agent for the architect) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent: [Signature] Date: 12-28-12

CONDITIONS AND STIPULATIONS

<p>APPROVED: <i>[Signature]</i> TOM FESSLER, DBI DEC 28 2012 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: <i>MATF</i> 12/28/12 DEPARTMENT OF CITY PLANNING</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____ BUREAU OF FIRE PREVENTION & PUBLIC SAFETY</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____ MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____ CIVIL ENGINEER, DEPT. OF BLDG INSPECTION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____ BUREAU OF ENGINEERING</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____ DEPARTMENT OF PUBLIC HEALTH</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____ REDEVELOPMENT AGENCY</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____ HEALTH INSPECTION DIVISION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>



HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments _____
 OWNER'S AUTHORIZED AGENT _____



LICENSED CONTRACTOR'S STATEMENT

Application #: 201212286979 Address: 181 Edg hill Wy

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number	<u>743902</u>	License Class	<u>B1-C33</u>
Expiration Date	<u>12/31/13</u>	Contractor	<u>Young Leun Cho</u> PRINT
			<u>[Signature]</u> SIGNATURE

Owner-Builder Declaration

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law, Business and Professions Code (Sec. 7031.5). **Mark the appropriate box below.**

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044). I further acknowledge that I understand and agree that in the event that any work is commenced contrary to the representations contained herein, that the Permit herein applied for shall be deemed suspended.

Architect, Agent

I, as owner of the property, am exclusively contracting with licensed contractors to construct this project (Sec. 7044). I certify that at the time such contractors are selected, I will have them file a copy of this form (Licensed Contractor's Declaration) prior to the commencement of any work. I further acknowledge that I understand and agree that, in the event that said contractors fail to file a copy of the Declaration with the Central Permit Bureau, that the Permit herein applied for shall be deemed suspended.

I am exempt under Business and Professions Code Section: _____

Reason: _____

<input type="checkbox"/>	Architect (PRINT)	_____
<input type="checkbox"/>	Agent (PRINT)	_____
<input type="checkbox"/>	Owner (PRINT)	_____
<input type="checkbox"/>	(SIGNATURE)	_____

Date: _____

NOTE: "Any violation of the Business and Professions Code Sec. 731.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Business and Professions Code Sec. 7031.5. Revised 04/30/2010.



**SERVICE REQUEST APPLICATION
REQUIRING FIELD INSPECTION**

JOB ADDRESS: 181 EDGEHILL WAY BLOCK: 2933 LOT: 033

OWNER/CONTRACTOR: SCREPTER CO

MAILING ADDRESS: 1460 BANCROFT AV SF ~~94124~~ 94124

CONTACT PHONE NUMBER: _____

PERMIT APPLICATION NUMBERS	
BUILDING APPLICATION:	<u>20008319454</u>

Service is hereby requested for items indicated below from the Building Inspection Division:

	Service Requested	Subj ect Obj. #	Hrs	Minimum At Fee	Added 2% Technology Surcharge	Total Fee
1	New or Alteration Permit for Expired Permit Value of work to be completed - \$ <u>1.00</u> by <u>L.F.</u>	61117	1	\$160.00 plus 10% of the new permit issuance fees		
2	Temporary Certification of Occupancy/ TCO Extension Inspection	61117	2	\$170.00	\$340.00	\$ 6.80 \$346.80
3	PLACE OF ENTERTAINMENT INSPECTION (Entertainment Commission) AKA: POLICE PERMIT MASSAGE ESTABLISHMENT INSPECTION (Dept. of Public Health)	61117	1	\$170.00	\$170.00	\$ 3.40 \$173.40
4	Fire Permit Inspection	61117	1	\$170.00	\$170.00	\$ 3.40 \$173.40
5	Off-Hour Inspection (2 hours min., \$170.00 each for additional hours)	61119	2	\$170.00	\$340.00	\$ 6.80 \$346.80
6	Re-Inspection	61117	1	\$170.00	\$170.00	\$ 3.40 \$173.40
7	Pre-Application Inspection	61117	2	\$170.00	\$340.00	\$ 6.80 \$346.80
8	RECO Inspection	61118				
9	Subpoena Service	6104	1	\$150.00	\$150.00	\$150.00

General Receipt Number: 1282779
Date of Receipt: 12-28-12
Received by: EMK

Bud Keph
Applicant's Signature
Division: 310



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:16:36

Permit details report

Application Number: 201212286978

Form Number: 8 **Application** OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA# 2001-0404-6019. ALL
Description: WORK IS COMPLETE

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$1

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
28-DEC-2012	TRIAGE	
28-DEC-2012	FILING	
28-DEC-2012	FILED	
28-DEC-2012	APPROVED	
28-DEC-2012	ISSUED	

Contact Details:

Contractor Details

License No. : 743902

Name: YOUNG KEUN CHO

Company name: MAJESTIC SCEPTER* CHECK ID OR CONTR LIC*

Address: 30658 TIDEWATER DR UNION CITY CA 94587-0000

Phone:

4156710202

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	28-DEC-2012	28-DEC-2012			28-DEC-2012	FESSLER THOMAS	
2	CPB	28-DEC-2012	28-DEC-2012			28-DEC-2012	BAZILE TARA	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:16:41

Permit details report

Application Number: 200902202516

Form Number: 8 **Application Description:** REVISION TO PA #200104046019 FOR DRAINAGE IN THE REARY YARD. THIS REPLACES THE ISSUED AND SUSPENDED APPL#200705252281 & ITS RENEWAL APPL#200712100034 WHICH WILL BE WITHDRAWN BY THE APPLICANT.

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$12,000

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
20-FEB-2009	TRIAGE	
20-FEB-2009	FILING	
20-FEB-2009	FILED	
20-FEB-2009	PLANCHECK	
20-FEB-2009	APPROVED	
20-FEB-2009	ISSUED	
24-OCT-2011	EXPIRED	

Contact Details:

Contractor Details

License No. : 724408

Name: ANDREW PAUL SINOR

Company name: ARTISAN BUILDERS CORP

Address: 771 CLEMENTINA ST SAN FRANCISCO CA 94103-0000

Phone:

4158632232

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	INTAKE	20-FEB-2009	20-FEB-2009			20-FEB-2009	CHEUNG WAI FON	
2	CP-ZOC	20-FEB-2009	20-FEB-2009			20-FEB-2009	LAI SHARON	N/A
2	BID-INSP	20-FEB-2009	20-FEB-2009			20-FEB-2009	DUFFY JOSEPH	
4	BLDG	20-FEB-2009	20-FEB-2009			20-FEB-2009	YAU WILLY HOI-C	
5	CPB	20-FEB-2009	20-FEB-2009			20-FEB-2009	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:16:47

Permit details report

Application Number: 200712100034

Form Number: 8 **Application** RENEW PA# 2007/05/25/2281 FOR FINAL INSPECTION ONLY.
Description:

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$1

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
10-DEC-2007	TRIAGE	
10-DEC-2007	FILING	
10-DEC-2007	FILED	
10-DEC-2007	APPROVED	
10-DEC-2007	ISSUED	
04-JAN-2013	EXPIRED	

Contact Details:

Contractor Details

License No. : 724408

Name: ANDREW PAUL SINOR

Company name: ARTISAN BUILDERS CORP

Address: 771 CLEMENTINA ST SAN FRANCISCO CA 94103-0000

Phone:

4158632232

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	10-DEC-2007	10-DEC-2007			10-DEC-2007	SWEENEY EDWAR	
2	CPB	10-DEC-2007	10-DEC-2007			10-DEC-2007	CHAN AMARIS	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
 1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:16:53

Permit details report

Application Number: 200705252283

Form Number: 8 **Application Description:** RENEW APPL#200008319454 & 9309707

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1 **Occupancy code:** R-3 **Building Use:** 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
25-MAY-2007	TRIAGE	
25-MAY-2007	FILING	
25-MAY-2007	FILED	
25-MAY-2007	APPROVED	
25-MAY-2007	ISSUED	
04-JAN-2013	EXPIRED	

Contact Details:

Contractor Details

License No. : UNDECIDED
Name: UNDECIDED UNDECIDED
Company name: UNDECIDED
Address: UNDECIDED UNDECIDED CA 00000-0000

Phone:

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	25-MAY-2007	25-MAY-2007			25-MAY-2007	SWEENEY EDWAR	
2	CPB	25-MAY-2007	25-MAY-2007			25-MAY-2007	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:16:59

Permit details report

Application Number: 200705252281

Form Number: 8 Application TO RENEW APPL#200104046019, 200109148343, 200102262958 FOR FINAL INSPECTION.
Description: REVISE PREVIOUS DRAINAGE PLAN, REVISION TO APPL#200104046019

Address: 2933/012/0 181 EDGEHILL WY 0

Cost: \$1

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
25-MAY-2007	TRIAGE	
25-MAY-2007	FILING	
25-MAY-2007	FILED	
25-MAY-2007	PLANCHECK	
25-MAY-2007	APPROVED	
25-MAY-2007	ISSUED	
04-JAN-2013	EXPIRED	

Contact Details:

Contractor Details

License No. : UNDECIDED
Name: UNDECIDED UNDECIDED
Company name: UNDECIDED
Address: UNDECIDED UNDECIDED CA 00000-0000

Phone:

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	BID-INSP	25-MAY-2007	25-MAY-2007			25-MAY-2007	SWEENEY EDWAR	
2	CPB	25-MAY-2007	25-MAY-2007			25-MAY-2007	CHUNG JANCE	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:17:37

Permit details report

Application Number: 200601122054

Form Number: 8 Application RENEW 200008319454 & 9309707 FOR FINAL INSPECTION.

Description:

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$1

Occupancy
code: R-3

Building
Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
12-JAN-2006	TRIAGE	
12-JAN-2006	FILING	
12-JAN-2006	FILED	
12-JAN-2006	APPROVED	
12-JAN-2006	ISSUED	
04-JAN-2013	EXPIRED	

Contact Details:

Contractor Details

License No. : UNDECIDED

Name: UNDECIDED UNDECIDED

Company name: UNDECIDED

Phone:

Address: UNDECIDED UNDECIDED CA 00000-0000

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CNT-PC	12-JAN-2006	12-JAN-2006			12-JAN-2006	SWEENEY EDWAR	
2	CPB	12-JAN-2006	12-JAN-2006			12-JAN-2006	YAN BRENDA	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:17:44

Permit details report

Application Number: 200601122052

Form Number: 8 **Application Description:** RENEW 200104046019, 2001091218343 & 200102262958 FOR FINAL INSPECTION.

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$1 **Occupancy code:** R-3 **Building Use:** 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
12-JAN-2006	TRIAGE	
12-JAN-2006	FILING	
12-JAN-2006	FILED	
12-JAN-2006	APPROVED	
12-JAN-2006	ISSUED	
04-JAN-2013	EXPIRED	

Contact Details:

Contractor Details

License No.: UNDECIDED
Name: UNDECIDED UNDECIDED
Company name: UNDECIDED
Address: UNDECIDED UNDECIDED CA 00000-0000

Phone:

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CNT-PC	12-JAN-2006	12-JAN-2006			12-JAN-2006	SWEENEY EDWAR	
2	CPB	12-JAN-2006	12-JAN-2006			12-JAN-2006	YAN BRENDA	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:17:59

Permit details report

Application Number: 200511027251

Form Number: 8 **Application Description:** RENEW APP #200104046019/DRANAGE IN DITCH TO REAR OF BLDG

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$10,000

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
02-NOV-2005	TRIAGE	
02-NOV-2005	FILING	
02-NOV-2005	FILED	
02-NOV-2005	APPROVED	
02-NOV-2005	ISSUED	
04-JAN-2013	EXPIRED	

Contact Details:

Contractor Details

License No. : 861418

Name: JOHN POWER

Company name: POWER CONSTRUCTION INC.

Address: 63 SANDPOINT DR RICHMOND CA 94804-0000

Phone:

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CNT-PC	01-NOV-2005	01-NOV-2005			01-NOV-2005	POWER ROBERT	
2	BID-INSP	01-NOV-2005	01-NOV-2005			01-NOV-2005	SWEENEY EDWAR	
3	CPB	02-NOV-2005	02-NOV-2005			02-NOV-2005	SHAWL HAREGGEV	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:18:19

Permit details report

Application Number: 200104046019

Form Number: 3 **Application** HORIZONTAL ADDITION ON THE LOWER 2 LEVELS ON THE NORTHWEST
Description: SIDE/ADDING SUNROOM

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$43,000

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
04-APR-2001	TRIAGE	
04-APR-2001	FILING	
04-APR-2001	FILED	
15-AUG-2003	PLANCHECK	
15-AUG-2003	APPROVED	
25-AUG-2003	ISSUED	
04-JAN-2013	EXPIRED	

Contact Details:

IGNACIO GONZALEZ ARCH.2516 OCEAN FRONT DR,NV

Contractor Details

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CP-ZOC	05-APR-2001	06-APR-2001			11-MAY-2001	BORDEN ALLISON	
2	PAD-MAJ	14-MAY-2001	06-JUN-2001	13-MAY-2003		25-JUL-2003	YAU WILLY HOI-C	
3	PID-PC	13-AUG-2003	13-AUG-2003			13-AUG-2003	KING DENNIS	
4	ONE-STOP	15-AUG-2003	15-AUG-2003			15-AUG-2003	TJOE MAOE	
5	CPB	15-AUG-2003	15-AUG-2003			15-AUG-2003		APPROV BY BYAN



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:18:24

Permit details report

Application Number: 200102262958

Form Number: 8 **Application** REV TO PERMIT 200008319454R1-MODIFY LANDING AT ENTRY DUE TO FIELD
Description: CONDITION

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$500

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
26-FEB-2001	TRIAGE	
26-FEB-2001	FILING	
26-FEB-2001	FILED	
26-FEB-2001	APPROVED	
26-FEB-2001	ISSUED	
26-JUN-2001	EXPIRED	

Contact Details:

IGA ARCHITECTS 2516 OCEAN FRONT LAS VEGAS 89128

Contractor Details

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CNT-PC	26-FEB-2001	26-FEB-2001			26-FEB-2001	BROWN SIMON	
2	DPW-BSM	26-FEB-2001	26-FEB-2001			26-FEB-2001		EISENER,NICK
3	CPB	26-FEB-2001	26-FEB-2001			26-FEB-2001		



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:18:30

Permit details report

Application Number: 200008319454

Form Number: 3 **Application** REMODEL OF EXTG RESIDENCE/COMPLETE/REMODEL KITCHEN BATHRM(E) ADD
Description: NEW MASTER BATH

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$1

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
31-AUG-2000	TRIAGE	
31-AUG-2000	FILING	
31-AUG-2000	FILED	
22-DEC-2000	PLANCHECK	
22-DEC-2000	APPROVED	
22-DEC-2000	ISSUED	
22-APR-2001	EXPIRED	

Contact Details:

Contractor Details

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CP-ZOC	31-AUG-2000	05-SEP-2000			15-SEP-2000	BORDEN ALLISON	APPROVED PER PLANS AND APPLICATION TO LEGALIZE WORK THAT EXCEEDED S.O.W. ON BPA#9713647-S1 PER DIRECTION OF BOARD OF APPEALS DECISION (CASE NO. 00-012. IN ORDER TO SATISFY ITEM 1 OF THE BOARD'S DECISION, THE APPLICANT HAS FILED FOR 3 OTHER APPROVALS: 2000.792V; BPA #200008016628'S; AND DPW ENCROACHMENT PERMIT 97-MSE-191. AS PER THE ATTACHED LETTER FROM THE ZONING ADMINISTRATOR, SHOULD THESE BE DENIED THE APPLICANT WILL BE IN VIOLATION OF PLANNING CODE SECTION 151.
2	PAD-MECH	20-DEC-2000	20-DEC-2000			20-DEC-2000	WONG ROBERT	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:18:30

Permit details report

200008319454

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
3	PAD-MAJ	15-SEP-2000	16-OCT-2000	20-DEC-2000		22-DEC-2000	YAU WILLY HOI-C	
3	CNT-PC	22-DEC-2000	22-DEC-2000			22-DEC-2000		NO WORK DONE
4	CP-ZOC	20-DEC-2000	20-DEC-2000			20-DEC-2000	WASHINGTON DEL	BACKCHECK FOR SCOPE REDUCTION & FIRE ESCAPE ADDITION.
5	DPW-BSM	20-DEC-2000	20-DEC-2000			20-DEC-2000		APPRVD BY ERIC OMOKARO
6	ONE-STOP	22-DEC-2000	22-DEC-2000			22-DEC-2000	BURNS PETER	
7	CPB	22-DEC-2000	22-DEC-2000			22-DEC-2000	BUFKA SUSAN	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:18:35

Permit details report

Application Number: 200008117640

Form Number: 3 **Application** REMOVE WALL, GATE ENTRANCE & PATIO COVER CONSTRUCTED W/O PERMIT.
Description: DEMOLITION ONLY.

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$1,800

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
11-AUG-2000	TRIAGE	
11-AUG-2000	FILING	
11-AUG-2000	FILED	
11-AUG-2000	PLANCHECK	
11-AUG-2000	APPROVED	
11-AUG-2000	ISSUING	
11-AUG-2000	ISSUED	
11-DEC-2000	EXPIRED	

Contact Details:

Contractor Details

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CP-ZOC	11-AUG-2000	11-AUG-2000			11-AUG-2000	PDW	
2	CNT-PC	11-AUG-2000	11-AUG-2000			11-AUG-2000	JH	
3	ONE-STOP	11-AUG-2000	11-AUG-2000			11-AUG-2000	RZ	
4	CPB	11-AUG-2000	11-AUG-2000			11-AUG-2000	SIMPSON GARLAN	



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:18:40

Permit details report

Application Number: 200008016628

Form Number: 3 **Application Description:** REPLACE EXISITING DECK WITH REQUIRED GARAGE FOR OFF STREET PARKING

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$40,000

Occupancy code: U-1

Building Use: 86 -PRKNG
GARAGE/PRIVATE

Disposition/Stage:

Action Date	Stage	Comments
01-AUG-2000	TRIAGE	
01-AUG-2000	FILING	
01-AUG-2000	FILED	
13-OCT-2004	PLANCHECK	
13-OCT-2004	DISAPPROVED	
21-DEC-2004	CANCELLED	

Contact Details:

Contractor Details

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CP-ZOC	03-AUG-2000	10-AUG-2000		06-AUG-2004	06-AUG-2004	WASHINGTON DEL	Cancellation because no response from the Applicant.
2	CPB	13-OCT-2004	13-OCT-2004			13-OCT-2004	SIMPSON GARLAN	
3	CNT-PC							
4	CNT-CE							
5	DPW-BSM							
6	CPB							



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:18:42

Permit details report

Application Number: 200008016628(1)

Form Number: 3

Application Description: REPLACE EXISTING DECK WITH REQUIRED GARAGE FOR OFF STREET PARKING

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$40,000

Occupancy code: U-1

Building Use: 86 -PRKNG GARAGE/PRIVA

Disposition/Stage:

Action Date	Stage	Comments
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Contact Details:

Contractor Details:

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan checked by	Hold Description
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DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:18:48

Permit details report

Application Number: 200003013142

Form Number: 3 Application REVISION TO APP #9713647-S1 TO CONVERT SINGLE CAR GARAGE TO LIVING SPACE
Description:

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$87,000

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
01-MAR-2000	TRIAGE	
01-MAR-2000	FILING	
01-MAR-2000	FILED	
21-AUG-2000	APPROVED	
21-AUG-2000	ISSUED	
22-AUG-2000	SUSPEND	This permit issued in error as 97113647S was already revoked. See NOV#200008591

Contact Details:

Contractor Details

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CNT-PC	07-MAR-2000	07-MAR-2000			07-MAR-2000	PADA RODOLFO	TO CP-ZOC 1ST, THEN CNT-PC/RUDY PADA
2	CP-ZOC	08-MAR-2000	15-JUN-2000			10-AUG-2000	BORDEN ALLISON	approved subject to condits. - please see attachments, including ltr. from Zoning Administrator, appeal docs., NSR, and encroachment application
3	CP-NP	08-MAR-2000	15-JUN-2000	11-JUL-2000	10-AUG-2000	10-AUG-2000	BORDEN ALLISON	notif. cancelled at request of applicant on 7/11/2000; project in hold while waiting for materials to support agreement w/neighbor
4	CNT-PC	11-AUG-2000				21-AUG-2000	PADA RODOLFO	
5	ONE-STOP	21-AUG-2000	21-AUG-2000			21-AUG-2000		
6	CPB	21-AUG-2000	21-AUG-2000			21-AUG-2000		



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:19:03

Permit details report

Application Number: 9917181

Form Number: 8 **Application Description:** REPAIR/REBUILD EXISTING STAIRS AND DECKS AT NORTH WEST SIDE

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$15,000

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
19-AUG-1999	FILED	
19-AUG-1999	APPROVED	
19-AUG-1999	ISSUED	
19-FEB-2000	EXPIRED	

Contact Details:

STEVE/KOKO FUJII

Contractor Details

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CPB	19-AUG-1999	19-AUG-1999					



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:19:08

Permit details report

Application Number: 9713647S

Form Number: 3 **Application Description:** REMODEL EXISTING RMS INTO 2BR&1BA,ADD 50 SF TO DINING RM/KCH

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$150,000

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
22-JUL-1997	FILED	
17-APR-1999	CANCELLED	
19-AUG-1999	REINSTATED	
25-JAN-2000	SUSPEND	
05-APR-2000	REVOKED	

Contact Details:

ELLIS A. SCHIOCHET AIA

Contractor Details

Addenda Details:

Description: [FINAL

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan Checked by	Hold Description
1	CP-ZOC	24-JUL-1997	30-JUL-1997	30-JUL-1997		11-AUG-1998	TCW	
2	CPB							



DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Date: 11/14/13 12:19:09

Permit details report

Application Number: 9713647S(1)

Form Number: 3

Application Description: REMODEL EXISTING RMS INTO 2BR&1BA,ADD 50 SF TO DINING RM/KCH

Address: 2933/003/0 181 EDGEHILL WY

Cost: \$150,000

Occupancy code: R-3

Building Use: 27 -1 FAMILY DWELLING

Disposition/Stage:

Action Date	Stage	Comments
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Contact Details:

ELLIS A. SCHIOCHET AIA

Contractor Details:

Addenda Details:

Description:

Step #	Station	Arrive Date	Start Date	In Hold	Out Hold	Finish Date	Plan checked by	Hold Description
1	PAD-CLRK	16-DEC-1999	16-DEC-1999			16-DEC-1999	IBB	LOG OUT/NO WORK DONE;
2	CPB							

Permits, Complaints and Boiler PTO Inquiry

You selected:

Address: **181 EDGEHILL WY** Block/Lot: **2933 / 012**

Please select among the following links, the type of permit for which to view address information:

[Electrical Permits](#) [Plumbing Permits](#) [Building Permits](#) [Complaints](#)

(Complaints matching the selected address.)

Complaint #	Expired	Date Filed	Active	Div	Block	Lot	Street #	Street Name
200735736		12/18/2007	N	BID	2933	012	181	EDGEHILL WY
200119510		07/27/2001	N	PID	2933	003	181	EDGEHILL WY
200118613		06/18/2001	N	BID	2933	003	181	EDGEHILL WY
200008591		08/22/2000	Y	BID	2933	003	181	EDGEHILL WY
200001410		01/28/2000	N	BID	2933	003	181	EDGEHILL WY

[Online Permit and Complaint Tracking home page.](#)

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City and County of San Francisco ©2000-2009



COMPLAINT DATA SHEET

COMPLAINT NUMBER : 200735736

OWNER/AGENT: STEPHEN KATSUTOSHI
 STEPHEN KATSUTOSHI
 181 EDGEHILL WAY
 SAN FRANCISCO CA

DATE FILED: 18-DEC-07
 LOCATION: 181 EDGEHILL WY
 BLOCK: 2933 LOT: 012
 SITE:

94127
 OWNER'S PHONE --
 CONTACT NAME
 CONTACT PHONE --

RATING: OCCUPANCY CODE
 RECEIVED BY: Christina Wang DIVISION: BID
 COMPLAINT SOURCE: TELEPHONE

COMPLAINANT: Nancy

ASSIGNED TO DIVISION: BID

SAN FRANCISCO

COMPLAINANT'S PHONE 415-661-2782

DESCRIPTION: Beyond scope of work - building retaining wall despite sewer easement.
 INSTRUCTIONS:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	HARTLEY	6208	13	

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
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COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIVISION	INSPECTOR	STATUS	COMMENT
18-DEC-07	CASE OPENED	BID	D HARTLEY	CASE RECEIVED	
19-DEC-07	WRK OVER PRMIT SCOPE	BID	D HARTLEY	CASE UPDATE	On site visit a.m. - owner will schedule inspection for investigation.
21-DEC-07	WRK OVER PRMIT SCOPE	BID	D HARTLEY	CASE UPDATE	Complaint not valid - work is in compliance with approved plans and not on sewer easement. On site at 9:40 a.m.
24-DEC-07	WRK OVER PRMIT SCOPE	BID	D HARTLEY	CASE ABATED	On site visit - complaint not valid. Ok to abate.

COMPLAINT ACTION BY DIVISION

DIVISION	DATE	DESCRIPTION	ACTION COMMENT
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NOV (HIS) NOV (BID)



COMPLAINT DATA SHEET

COMPLAINT NUMBER : 200119510

OWNER/AGENT: STEPHEN KATSUTOSHI & TAKAKO
 STEPHEN KATSUTOSHI & TAKAKO

181 EDGEHILL WAY
 SAN FRANCISCO CA
 94127

OWNER'S PHONE --
 CONTACT NAME
 CONTACT PHONE --

DATE FILED: 27-JUL-01

LOCATION: 181 EDGEHILL WY

BLOCK: 2933 LOT: 003

SITE:

RATING: OCCUPANCY CODE

RECEIVED BY: Alma Canindin DIVISION: PID

COMPLAINT SOURCE: TELEPHONE

COMPLAINANT: Maria Mazzei
 1 Edgehill Way
 SAN FRANCISCO 94127

ASSIGNED TO DIVISION: PID

COMPLAINANT'S PHONE 415-731-6330

DESCRIPTION: All the gutter drain is not connected and is water is draining into 1 Edgehill Way.

INSTRUCTIONS: Please call Ms. Mazzei when inspector is coming.

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
PID	SHEA III	1066	8	

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
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COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIVISION	INSPECTOR	STATUS	COMMENT
27-JUL-01	STORM WATER DRAINAGE	PID	D SHEA III	CASE RECEIVED	
30-JUL-01	OTHER PLUMB VIOLATN	PID	D SHEA III	OFFICE/COUNTER VISIT	Left message.
02-AUG-01	OTHER PLUMB VIOLATN	PID	D SHEA III	OFFICE/COUNTER VISIT	Cancelled by complainant.
03-AUG-01	OTHER PLUMB VIOLATN	PID	D SHEA III	INSPECTION OF PREMISES MADE	Site #1 Edgehill. Access by complainant. Viewed RWL on #181 from rear appear, valid now. Directed to ground between buildings.
24-AUG-01	OTHER PLUMB VIOLATN	PID	D SHEA III	OFFICE/COUNTER VISIT	Warning of NOV to owner 181 Edgehill to abatement.
28-AUG-01	OTHER PLUMB VIOLATN	PID	D SHEA III	OFFICE/COUNTER VISIT	Copy of notice from building inspector (district and chief) RE: need of building approved plans, permit, and card. Completed and sent 1st NTA to owner.
12-MAY-05	OTHER PLUMB VIOLATN	PID	D SHEA III	CASE ABATED	Plumbing Inspector K. Young: Storm drains and rain leaders can be seen connected to



City and County of San Francisco
 Department of Building Inspection
 1660 Mission Street
 San Francisco, CA 94103

COMPLAINT DATA SHEET

COMPLAINT NUMBER : 200119510

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIVISION	INSPECTOR	STATUS	COMMENT
					sanitary sewer exiting back of house. See permit #416039 and permit #416347. Complaint abated.

COMPLAINT ACTION BY DIVISION

DIVISION	DATE	DESCRIPTION	ACTION COMMENT
NOV (HIS)	NOV (BID)		
	24-AUG-01		



COMPLAINT DATA SHEET

COMPLAINT NUMBER : 200118613

OWNER/AGENT: STEPHEN KATSUTOSHI & TAKAKO
 STEPHEN KATSUTOSHI & TAKAKO

181 EDGEHILL WAY
 SAN FRANCISCO CA
 94127

OWNER'S PHONE --
CONTACT NAME
CONTACT PHONE --

DATE FILED: 18-JUN-01

LOCATION: 181 EDGEHILL WY

BLOCK: 2933 **LOT:** 003

SITE:

RATING: **OCCUPANCY CODE**

RECEIVED BY: Renee Craig **DIVISION:** BID

COMPLAINT SOURCE: TELEPHONE

COMPLAINANT:

ASSIGNED TO DIVISION: BID

SAN FRANCISCO

COMPLAINANT'S PHONE --

DESCRIPTION: CONSTRUCTION DEBRIS INCLUDING (50 LB WEIGHT) CHUNKS OF CONCRETE HAVE CASCADED DOWN THE SLOPE AT THE REAR OF THE PROPERTY INTO YARD AT 81 GARCIA.
INSTRUCTIONS:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	O'RIORDAN	6183	13	

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
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COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIVISION	INSPECTOR	STATUS	COMMENT
18-JUN-01	CASE OPENED	BID	P O'RIORDAN	CASE RECEIVED	
18-JUN-01	OTHER BLDG/HOUSING VIC	BID	P O'RIORDAN	FIRST NOV SENT	FIRST NOV ISSUED BY INSPECTOR PATRICK O'RIORDAN.
28-JUN-01	OTHER BLDG/HOUSING VIC	BID	P O'RIORDAN	CASE ABATED	Close file - abated

COMPLAINT ACTION BY DIVISION

DIVISION	DATE	DESCRIPTION	ACTION COMMENT
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NOV (HIS)	NOV (BID)
	18-JUN-01



COMPLAINT DATA SHEET

COMPLAINT NUMBER : 200008591

OWNER/AGENT: STEPHEN KATSUTOSHI & TAKAKO
 STEPHEN KATSUTOSHI & TAKAKO

181 EDGEHILL WAY
 SAN FRANCISCO CA
 94127

OWNER'S PHONE --
CONTACT NAME
CONTACT PHONE --

COMPLAINANT:

SAN FRANCISCO

COMPLAINANT'S PHONE --

DESCRIPTION: PA #200003013142 IS SUSPENDED. ISSUED IN ERROR.
INSTRUCTIONS:

DATE FILED: 22-AUG-00

LOCATION: 181 EDGEHILL WY

BLOCK: 2933 **LOT:** 003

SITE:

RATING: **OCCUPANCY CODE**

RECEIVED BY: Renee Craig **DIVISION:** BID

COMPLAINT SOURCE: TELEPHONE

ASSIGNED TO DIVISION: BID

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	BIRMINGHAM	1043	13	

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
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COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIVISION	INSPECTOR	STATUS	COMMENT
22-AUG-00	CASE OPENED	BID	R BIRMINGHAM	CASE RECEIVED	
22-AUG-00	OTHER BLDG/HOUSING VIC	BID	R BIRMINGHAM	FIRST NOV SENT	FIRST NOV ISSUED BY INSPECTOR RAYMOND BIRMINGHAM.

COMPLAINT ACTION BY DIVISION

DIVISION	DATE	DESCRIPTION	ACTION COMMENT
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NOV (HIS) NOV (BID)
 22-AUG-00



COMPLAINT DATA SHEET

COMPLAINT NUMBER : 200001410

OWNER/AGENT: STEPHEN KATSUTOSHI & TAKAKO
 STEPHEN KATSUTOSHI & TAKAKO
 181 EDGEHILL WAY
 SAN FRANCISCO CA

DATE FILED: 28-JAN-00

LOCATION: 181 EDGEHILL WY

BLOCK: 2933 **LOT:** 003

SITE:

94127

RATING: **OCCUPANCY CODE**

OWNER'S PHONE --

RECEIVED BY: Carmela Villasica **DIVISION:** BID

CONTACT NAME

COMPLAINT SOURCE: FIELD OBSERVATION

CONTACT PHONE --

COMPLAINANT:

ASSIGNED TO DIVISION: BID

SAN FRANCISCO

COMPLAINANT'S PHONE --

DESCRIPTION: 1-25-00 FIRST NOV: YOUR PERMIT HAS BEEN SUSPENDED PER APPEAL#00-012, PA#9713647
INSTRUCTIONS:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	BIRMINGHAM	1043	13	

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
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COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIVISION	INSPECTOR	STATUS	COMMENT
25-JAN-00	CONST WORK NO PERMIT	BID	R BIRMINGHAM	FIRST NOV SENT	ISSUED BY RAY BIRMINGHAM
01-JUN-12	CONST WORK NO PERMIT	INS	R BIRMINGHAM	CASE ABATED	Abated by E. Sweeney. -- mst.

COMPLAINT ACTION BY DIVISION

DIVISION	DATE	DESCRIPTION	ACTION COMMENT
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NOV (HIS) NOV (BID)
 25-JAN-00

FILE

Bernd Koepke
1450 Griffith Av. San Francisco 94124

12-2-2013 page1

President Chris Hwang and Members of
The San Francisco Board of Appeals
1650 Mission Street, Room 304
San Francisco, Ca. 94103

BOARD OF APPEALS

DEC 18 2013 e

APPEAL # 13-142

Re: Response to Appeal No. 103-142

The Property location is 181 Edgehill Way, San Francisco, Ca.

ABP # 2013/09-19-7262 valued at \$ 30,000.00 is cancelled as of 12-9-13 by
DBI and the new re-issued ABP # 2013-12-09-3639
ABP # 2013/12/09/3639 due to revision of design change with increase of cost

AT NO TIME, WAS A BPA REQUESTED, FOR ANY TYPE OF STRUCTURE
The " J " Drain/retaining wall is an open SWALE style Drain out of concrete.

ABP HISTORY "Drainage of Property at Rear "(swale type drain)
Permit # 2001/0404/6019 to be renewed with
ABP # 2005/11-02-7251 valued at \$ 10,000.00 for remaining work.

BPA # 2012/1228/6978 N/A to this permit since ALL work was completed
and signed off by DBI . Listing ABP # 2012/1228/6978 was a clerical error,

DBI should have listed 2012/1228/6980 which was for ABP # 2009/0220/2516
which was withdrawn and not completed as approved "Grading and Drainage "
Approved Drainage Drawing Revision 12/26/2002 and again approved
8/25/2003 as project drawings. The appropriate building permits were issued and
Vacated or reissued but never completed. EXHIBIT 1, SHT 1 of 2 and 2 of 2

The Subject ABP # 2013/09/19/7262 issued on October 23, 2013 as permit #1308050
With notification on the back of the permit as to urgency of completion by the Director
of Building Inspection.

The issue started in June of 2013 due to work BELIEVED appropriate, based on permit
2005/11/02/7251 and misinterpreted based on permit # 2013/0605/8775 a crew
Started to implement the Grading/ Drain work as indicated on the approved project
Drawings. EXHIBIT 1, SHT 1 of 2 and 2 of 2

The existing land area slope is 1.5:1 when a 36" vertical depth at the south
Side feathering out to 0" on the North side, with 55" wide horizontal area by 33'
Lineal feet in length was cleared parallel to the neighboring property, work was stopped.

EXHIBIT 2, Photo of the area in question

It was noticed by the present contractor that the existing soil conditions are not conducive to the details as indicated on the approved project drawings. The contractor contacted "Soil Engineering and Construction" and Geotechnical Consultants Michelucci & Associated for consultation at the site. It was decided that new drawings must be provided for these soil conditions. The contractor conferred with DBI that a revision to the existing Drainage Design must be submitted.

With new drawings for a "J" Drain/retaining wall and the required engineering data. The SFBD plan check received the drawings. During the plan check process, Plan Check engineers requested meetings with the Soil Consultant, for their final decision on the new plans. It was then decided that a new building permit will have to be issued, and SFBD Plan Check Engineering valued the J Drain/Retaining wall at \$ 30,000.

The Building permit was issued with the notification of urgent to complete.

EXHIBIT # 3. SHEET 1 and 2 new drain/retaining wall

On November 5th, 2013 the Appeal against the existing permit was filed and all work came to a halt. (This was an orchestrated move by the Appellant for future legal motivation, since weather condition is a factor in a successful process, the delay of the Appeal and the length of time into December was the plan.)

Critical construction time was lost due the filing of the appeal with an excellent weather window.

After Two job site meetings with DBI, the Contractor and Soil Consultant Decision to create a test Dig to insure DBI and the Soil Consultant that Bed Rock as the Early Borings indicated are indeed as it was recorded. Since one of the Appellants Indicated that the "J" drain / retaining Tieback rods will damage the trees on their neighbors property, (Owner of property in question) the "J" Drain /Retaining design was changed with the verbal approval of DBI (Future Plan Check to make final Decision) Since the comment of Tree welfare was voiced, the Contractor and DBI decided that the Arborist shall be summoned for the professional opinion. The following day this was concluded with a letter to the DBI confirming that the trees are fine and that the area of construction should be completed as soon as possible so that the soil is replaced. **EXHIBIT #4,**

The test Dig is completed and there are 5 holes total to be dug at roughly 8' or 7' on center, each hole 36 "square and based on the drawing, they will be 7' to 13' deep into bedrock. These penetrations will have the steel reinforcing inserted tied together with the steel reinforcing of the retaining wall, and then all will be embedded into concrete.

At this time all worked is stopped since the Appellant is unwilling to remove the appeal, and the weather conditions are not in the favor of construction.

From November to present December , the 5 holes could have had the steel inserted.

On December 9, 2013 DBI decided to approve the work with limitation to 3 center piers With the appropriate retaining wall attached to the piers. This will leave one each pier at each end for future work.

Installing the 3 center piers with attached retaining wall now, will insure that the raining season ahead will have no issue at the questionable site.

The drawing was reviewed by the Plan check Director of Building Inspection as to the calculation of structural integrity and correct application for the area of 181 Edghill, and 179 Edgehill Way, along with the changes of eliminating the Rock Bolts and the deeper DIG into the Bed Rock.

The additional change is that DBI issued a all-new ABP with permit # 1311854 issued 12/9/13. This new ABP eliminated the ABP 200104046019 and 201212286972.

As to " Project History", listing the last 13 years of agony associated with this project, And including copies of documents associated with 26 permits over 13 years, is side stepping the main issue at this time and I feel it is not correct to cloud up the main issue,

Getting this "J" "Drain/Retaining Wall completed without further delay is the priority.

The responsibility of directing any and all work at this project lies with myself and only Myself. No other individual or Company had any input as to the use of documents available and the information which I used to determine my actions.

Bernd Koepke

Conclusion; I have read the Buscovich Appeals Response.

His report is distorted, untruthful, exaggerated, bias with intent of supporting his paying client at all cost.

The dimension of the open earth parallel to his client's fence is as stated in our Brief, With the vertical cut 36" inches, the temporary plywood in front of the Cut stands 48" tall, The hill side slope is 1.5 to 1,

The Director of Engineering, Plan check called the completion "Urgent" nothing else, The open area for the Drain/retaining wall is 35 feet in length, the contractor did NOT run to DBI, the contractor hired the professional expertise to resolve the issue, then took the findings and design to DBI for approval.

The Knockash Court area is 180 degrees opposite location from "Forest Hill "Location of the property in question and approximately 1 mile away.

As to SAC, the normal condition warrant the review, in this case, outside experts achieved the same thing, plus the stringent review of the SFBD PLAN CHECK ENGINEERING

The requirement, This Drain/ Retaining wall is designed by a California Registered Structural Engineer specializing in these hillside terrain extremes, and the Geotechnical Consultants, also California Registered Engineers, with 40 plus years of field experience and consistently used as expert witnesses. The Plan check and DBI department found that the information given, the interviews and consultation warranted the issuance of the permit for this J Drain/retaining wall.

At this time the only emphasis is on completing the " J Drain/retaining wall " nothing else is on schedule other then getting the final inspection and closure of outstanding permits.

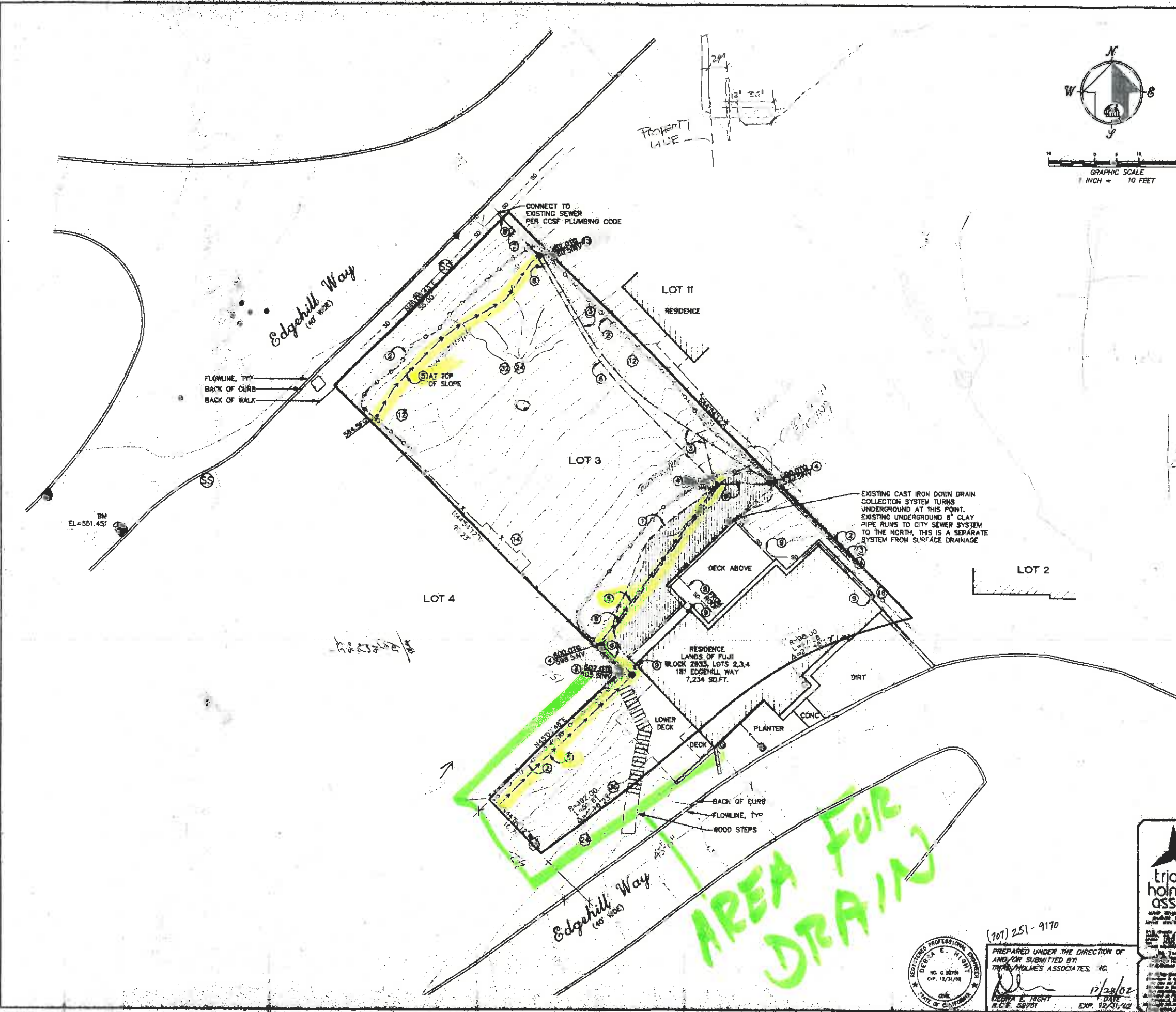
As to further distorting representation, there are 3 trees not five within the area of concern, and the Arborist gave this situation a clean bill of health.

The area of Drain/Retaining wall is 45 feet away from Edgehill Way, not 15 feet as stated,

The Owners residence was build at the location in 1935 and is still standing at the same place without issue with past earth quakes.

The closing statements of the remaining report are basically untrue and with out reasonably Ethical substance. It is without saying that a rebuttal to the remaining statements and issues is deviating from the main subject at hand.

As to the "Owner of the property "he at no time gave direction, or input or having any requirements, or knowledge of the issue. After approximately 10 years of unresolved issues and uncompleted final, he wishes a completed residence and a stop of the harassment, meddling and control issue by others neighbors on his property.

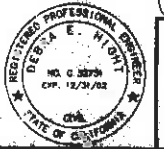


- KEYED NOTES**
- RESTORE ORIGINAL SLOPE CONDITIONS PER GEOTECHNICAL REPORT; REVEGETATE PER CITY/COUNTY OF SAN FRANCISCO STANDARDS AND GEOTECHNICAL RECOMMENDATIONS. ANY FILL LEFT ON-SITE SHALL BE PLACED PER GEOTECHNICAL REPORT.
 - INSTALL FILTER FENCE FOR DETAIL SHEET 2; FILTER FENCING SHALL REMAIN IN PLACE UNTIL ALL GRADING/DRAINAGE WORK IS COMPLETE AND REVEGETATION HAS BEEN COMPLETED.
 - CONSTRUCT 3 FOOT GROUTED RIP-RAP LINED SWALE PER DETAIL, SHEET 2.
 - INSTALL AREA DRAIN, 12" DIA. JENSEN PRECAST DROP INLET, OR EQUAL PER MANUFACTURER'S INSTRUCTIONS.
 - CONSTRUCT 3 FOOT NONGROUTED RIP-RAP LINED SWALE PER DETAIL, SHEET 2.
 - INSTALL NEW 8" PVC SDR35 PIPE PER TRENCH DETAIL, SHEET 2.
 - INSTALL NEW 8" CAST IRON PIPE PER TRENCH DETAIL, SHEET 2.
 - INSTALL CAST IRON TRAP & VENT AT PROPERTY LINE, PER CITY OF SF PLUMBING CODE, SECTION 705 AND DETAIL, SHEET 2.
 - EXISTING, SEPARATE, CAST IRON ROOF DOWN DRAIN SYSTEM TO MAIN SEWER DRAIN THROUGH EXISTING 6" CLAY PIPE, EXACT LOCATION UNKNOWN.
 - INSTALL/CONSTRUCT 14'X10' CATCH BASIN PER CITY OF SF BUILDING INSPECTION EXISTAL, SHEET 2; AND CITY OF SF PLUMBING CODE, SEC. 710.
- NOTES**
- INSTALL CLEANOUTS AT ALL ANGLE POINTS OF TRENCH DRAIN.
 - ANY DISCREPANCIES BETWEEN THESE PLANS AND SOILS REPORT, THE GEOTECHNICAL RECOMMENDATIONS SHALL APPLY.
 - THIS PLAN DEPICTS CONSTRUCTION OF THE NEW SURFACE DRAINAGE SYSTEM WITH AREA DRAINS. THE EXISTING ROOF DRAIN SYSTEM CONNECTS TO THE SEWER MAIN THROUGH AN EXISTING 6" CLAY PIPE, EXACT LOCATION NOT IDENTIFIED IN THE FIELD.

REVISION
 12/21/02
 DRAINAGE SYSTEM IS THE PROPERTY OF THE CITY OF SAN FRANCISCO

DATE	BY	SCALE
GRADING AND DRAINAGE PLAN		
181 EDGEMOOR WAY		
PREPARED AT THE REQUEST OF		
STEVE FUJII		
FUJII RESIDENTIAL RENOVATION		
BLOCK 2933, LOTS 2,3,4, SAN FRANCISCO		
MAILING ADDRESS		
38 UNION WAY, SUITE F		
VACAVILLE, CALIFORNIA 95687		
SEEING LOT 3 & A PORTION OF LOTS 2 & 4		
OF BOOK H AT PAGES 84, 85 & 86, ORCCSF		
 MERIDIAN SURVEYING ENGINEERING, INC.		SUBMITTAL DATE: 07/01/02 SHEET NO: 1 of 2 SCALE: 1"=10' DATE: 12/21/02

AREA FOR DRAIN



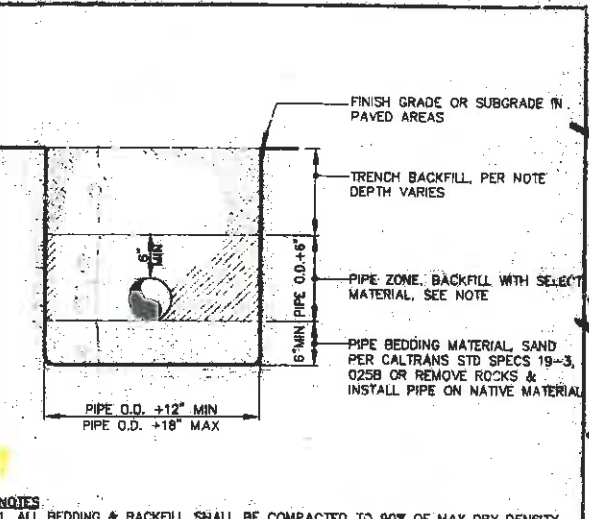
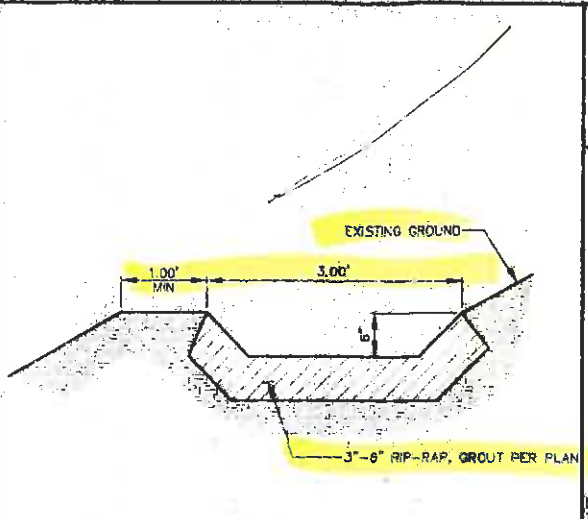
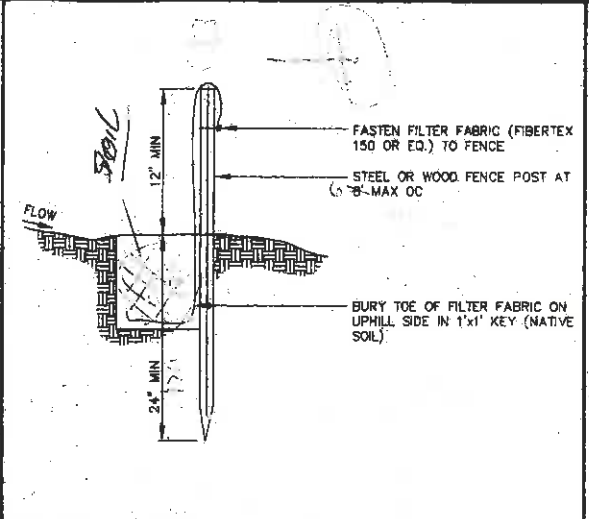
(707) 251-9170
 PREPARED UNDER THE DIRECTION OF AND/OR SUBMITTED BY:
 TRIAD/HOLMES ASSOCIATES, INC.
 DEBRA E. HIGHT
 R.C.P. 53701
 DATE: 12/21/02
 EXP. 12/31/02



EXIBIT 1

GENERAL NOTES

1. ALL WORK TO BE DONE SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY & COUNTY OF SAN FRANCISCO (CCSF) AND CALTRANS STANDARD SPECIFICATIONS, LATEST REVISION. HOURS OF WORK SHALL BE IN ACCORDANCE WITH THE GRADING PERMIT OR AS ALLOWED BY THE STANDARD SPECIFICATIONS OF THE CCSF. THE GRADING PERMIT TAKING PRECEDENCE.
2. CONTRACTOR SHALL KEEP THE CITY POLICE, FIRE DEPARTMENT AND PUBLIC WORKS DEPARTMENT INFORMED DAILY REGARDING EXCAVATIONS, BARRICADES, AND DETOURS. CONTRACTOR SHALL LEAVE AN EMERGENCY TELEPHONE NUMBER WITH THE ABOVE DEPARTMENTS.
3. THE SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATIONS. ALL ROOFS SHALL BE EQUIPPED WITH GUTTERS & DOWNSPOUTS THAT DISCHARGE INTO A SOLID DRAINAGE LINE. ALL DRIVEWAYS & FLAT AREAS SHALL DRAIN INTO CONTROLLED COLLECTION POINTS & ALL FOUNDATION & RETAINING WALLS CONSTRUCTED WITH BACKDRAINAGE SYSTEMS. SURFACE DRAINAGE SYSTEMS, E.G. ROOFS, DITCHES & GROP INLETS MUST BE MAINTAINED SEPARATELY FROM FOUNDATION & BACKDRAINAGE SYSTEMS. A BENTONITE SEAL SHALL BE PLACED AT THE TRANSITION POINT BETWEEN DRAINPIPES & SOLID PIPES. ALL CROSS SLOPE FOUNDATIONS SHALL HAVE BACKDRAINAGE. THE TOP OF THE DRAINAGE PIPE SHALL BE MINIMUM OF SIX INCHES BELOW THE ADJACENT INTERIOR GRADE.
4. UTILITIES SHOWN ARE FROM AVAILABLE RECORDS AND MINIMAL FIELD MEASUREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY AND TAKE PRECAUTIONS TO PROTECT EXISTING UTILITIES AND STRUCTURES.
5. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL CONTACT THE UNDERGROUND SERVICE ALERT AT 800-642-2444. THE CONTRACTOR SHALL NOTIFY THE CCSF ENGINEER, THE SURVEYOR AND THE SOILS ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR REQUESTING SERVICE/INSPECTION (SPECIFY GRADING PERMIT NUMBER WHEN CALLING).
6. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN CONFORMANCE WITH THE CONSTRUCTION SAFETY ORDERS OF THE STATE OF CALIFORNIA, DEPARTMENT OF INDUSTRIAL RELATIONS, DIVISION OF INDUSTRIAL SAFETY. IN ADDITION, CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF GENERAL OSHA STANDARDS FOR THE PROTECTION OF WORKMEN AND THE GENERAL PUBLIC.
7. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT & CAL/OSHA STANDARDS AND ALL APPLICABLE STATE REGULATIONS. IN ADDITION TO THE CCSF TRENCH SHORING DETAILS, OSHA PERMITS ARE REQUIRED FOR TRENCHES 4' OR DEEPER.
8. ALL WORK IN CCSF RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT AND SHALL COMPLY WITH THE TERMS, CONDITIONS AND REQUIREMENTS OF THAT ENCROACHMENT PERMIT.
9. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO CONTROL DUST IN CONSTRUCTION AREAS OR ON ACCESS ROADS. SUFFICIENT WATER TRUCKS SHALL BE MADE AVAILABLE FOR DUST CONTROL PURPOSES. ALL EXPOSED SOIL SHALL BE MOISTENED OR DUST MITIGATIVE APPLIED AS REQUIRED TO AVOID NUISANCE CONDITIONS AND INCONVENIENCES FOR LOCAL RESIDENTS AND TRAVELERS OF NEARBY ROADWAYS.
10. SHOULD ANY COMPACTION TEST FAIL TO MEET THE MINIMUM REQUIRED DENSITY AS SPECIFIED ON THE PLANS OR IN THE GEOTECHNICAL REPORT, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT HIS EXPENSE TO THE SATISFACTION OF THE SOILS ENGINEER. THE EXPENSE OF RE-TESTING SUCH AN AREA SHALL BE BORNE BY THE CONTRACTOR, AT NO COST TO THE OWNER.
11. ALL SITE PREPARATION AND CONSTRUCTION SHALL BE REVIEWED AT THE PLAN STAGE AND OBSERVED DURING CONSTRUCTION BY THE GEOTECHNICAL ENGINEER AND SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL STUDY PREPARED BY MERRILL VAN MONTEGOMERY, DATED 13 JULY 2000. ANY DISCREPANCIES IN THESE PLANS VERSUS THE GEOTECHNICAL RECOMMENDATIONS, THE GEOTECHNICAL RECOMMENDATIONS SHALL APPLY.
12. GROUND IN AREAS TO BE PAVED SHALL BE SCARIFIED, MOISTENED, AND RECOMPACTED TO A MIN 95% OF MAX. DRY DENSITY AT A MIN OF 2% OVER OPTIMUM MOISTURE CONTENT FOR THE UPPER 6 INCHES. EXISTING SLOPES STEEPER THAN 3:1 SHALL BE KEYED WITH EQUIPMENT WIDTH BENCHES BEFORE PLACEMENT OF FILL.
13. FINISH GRADES IN ALL AREAS SHALL COMPLY WITH PLAN ELEVATIONS. NO AREA SHALL BE LEFT SO A PONDING CONDITION OCCURS. AT NO TIME SHALL WATER BE ALLOWED TO POND ADJACENT TO FOUNDATIONS, SLABS, OR PAVING. AREAS AROUND HOUSE PERIMETER SHALL BE GRADED TO DRAIN AWAY FROM BUILDING AT 5% MINIMUM.
14. AGGREGATE BASE SHALL BE CLASS 2, 3/4-INCH MAXIMUM GRADING, AND SHALL CONFORM TO THE PROVISIONS OF SECTION 20, "AGGREGATE BASES," OF THE 1992 CALTRANS STANDARD SPECIFICATIONS AND SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY.
15. CORRUGATED PLASTIC PIPE CULVERTS SHALL CONFORM TO THE PROVISIONS IN SECTION 64, "CORRUGATED PLASTIC PIPE," OF THE 1992 CALTRANS STANDARD SPECIFICATIONS.
16. PORTLAND CEMENT CONCRETE FOR CURB, GUTTER, SIDEWALK AND DRIVEWAY PURPOSES SHALL BE CLASS B AND CLASS A FOR VALLEY CURB PURPOSES PER THE 1992 CALTRANS STANDARD SPECIFICATIONS. SECTION 90. CONCRETE SHALL BE SEALED WITH SILICONE-BASED SEALER "SYNAK" OR APPROVED EQUAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
17. ALL TOPSOIL AND OTHER MATERIALS TO BE STOCKPILED SHALL BE PLACED WITHIN THE CONSTRUCTION PERIMETERS AS SHOWN ON THESE PLANS OR IN AREAS AS APPROVED BY THE CCSF.
18. EQUIPMENT MAY BE PARKED WITHIN THE CONSTRUCTION PERIMETERS IN AREAS AS APPROVED BY THE CCSF.
19. THE CONTRACTOR SHALL CONSTRUCT THE INTERIM EROSION CONTROL HEREON.
20. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.



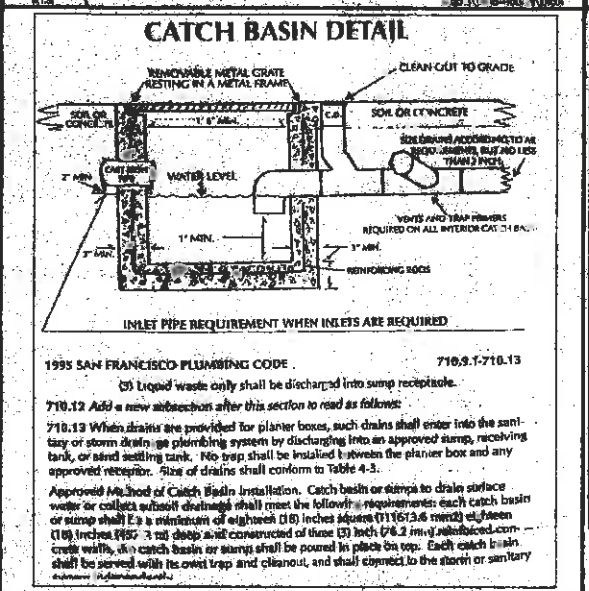
INTERIM DRAINAGE & EROSION CONTROL MEASURES INCLUDE:
 1. INSTALLATION OF FILTER FABRIC FENCING PRIOR TO INITIATION OF GRADING ACTIVITIES ALONG PERIMETER OF CONSTRUCTION AREA.
 2. FILTER FABRIC FENCE SHALL REMAIN IN PLACE UNTIL COMPLETION OF PAVING, DRIVEWAYS, CURBS & PERMANENT DRAINAGE STRUCTURES.

NOTES
 1. ALL BEDDING & BACKFILL SHALL BE COMPACTED TO 90% OF MAX DRY DENSITY. IN AREAS OF FUTURE ROADWAY PAVEMENT THE MIN COMPACTION SHALL BE 95% OF MAX DRY DENSITY FOR THE UPPER 2.5 FEET
 2. BACKFILL MATERIALS SHALL BE FREE OF STONES EXCEEDING 3\"/>

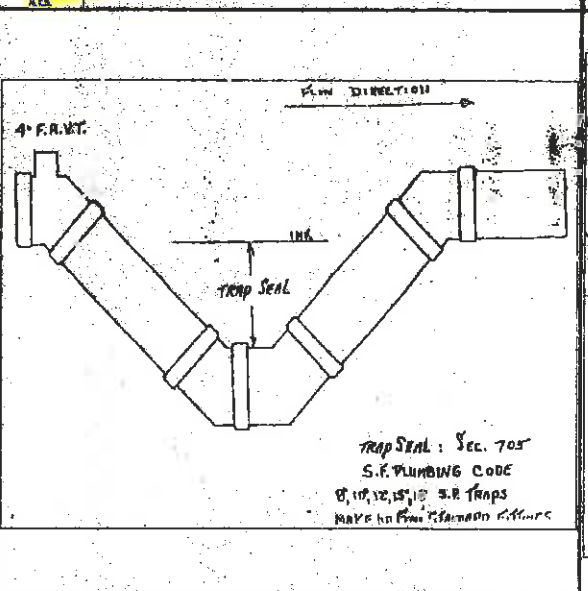
2 INTERIM EROSION CONTROL

3/5 LINED SWALE

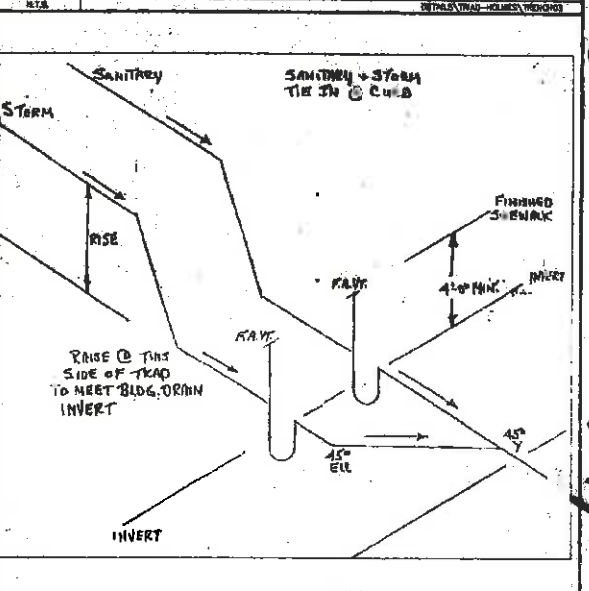
6 TRENCH, TYPICAL



7 CATCH BASIN STANDARD



8 TRAP SEAL STANDARD



8 SEWER TIE-IN STANDARD

REVISION
 JAN 2 2003
 DEPT OF BUILDING SECTION
 THIS PLAN MEETS THE QUALITY STANDARD FOR THE CITY OF SAN FRANCISCO
 ACCEPT

MARK	DATE	INITIAL

GRADING AND DRAINAGE PLAN
 101 EDGEMOOR WAY
 PREPARED AT THE REQUEST OF
 STEVE FUJII
 FUJII RESIDENTIAL RENOVATION
 BLOCK 2933, LOTS 2,3,4, SAN FRANCISCO
 MAILING ADDRESS
 34 UNION WAY, SUITE F
 VACAVILLE, CALIFORNIA 95687
 BEING LOT 3 & A PORTION OF LOTS 2 & 4
 OF BOOK 14 AT PAGES 84, 85 & 86, DRC 25'

triod/homes/assoc.
 civil engineering
 1115/03



MERIDIAN SURVEYING ENGINEERING INC.
 100 DRAVES LANDING RD, #54
 SAN FRANCISCO, CA 94125
 (415) 469-4131 info@meridiansurveying.com (415) 461-1241


SCALE: 1\"/>

418/6100/40/40/1002
 418/6100/40/40/1002

2-0" x 8-10" logs,
PLYWOOD
AT FENCE LINE
← EXTEND OF
CUT SOIL

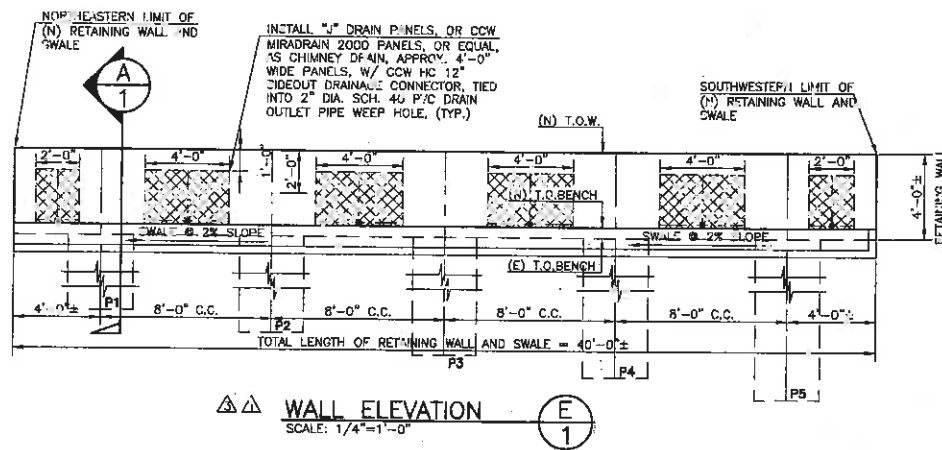
EXTR



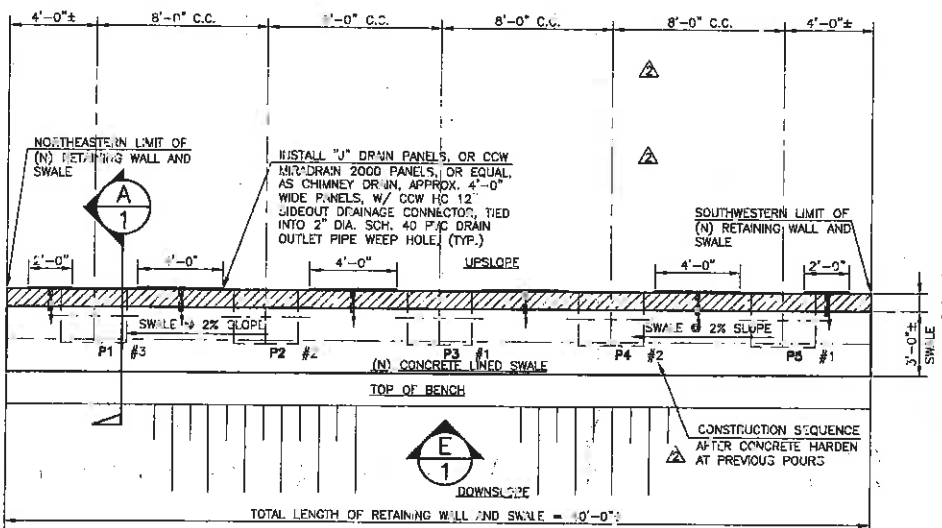


AREA UNDER
DECK
NOT DISTURBED

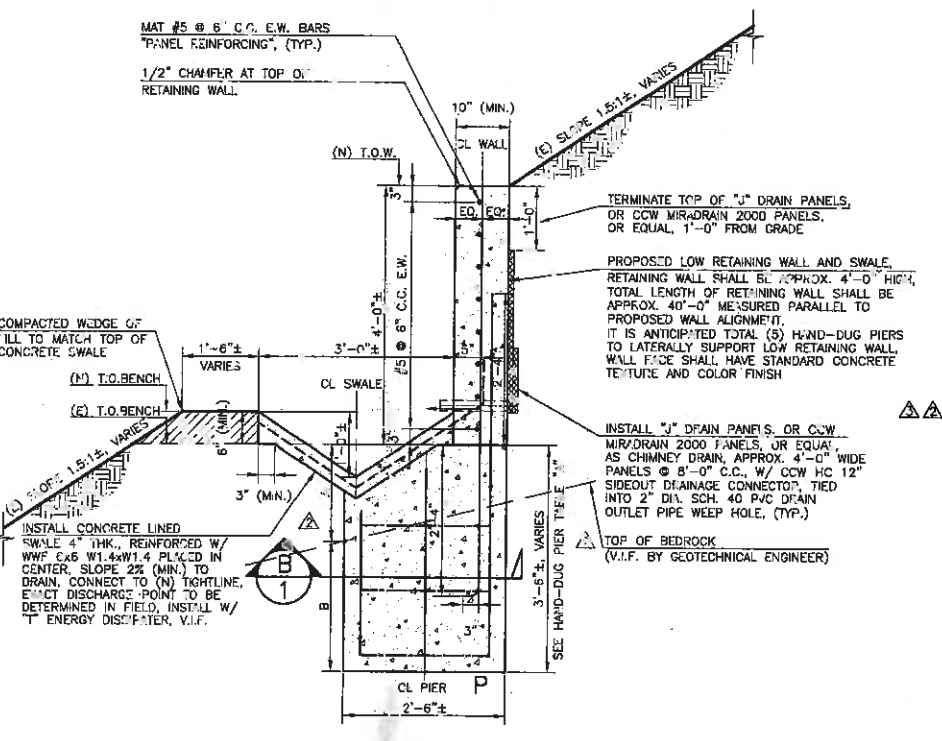
EXHIBIT 2.



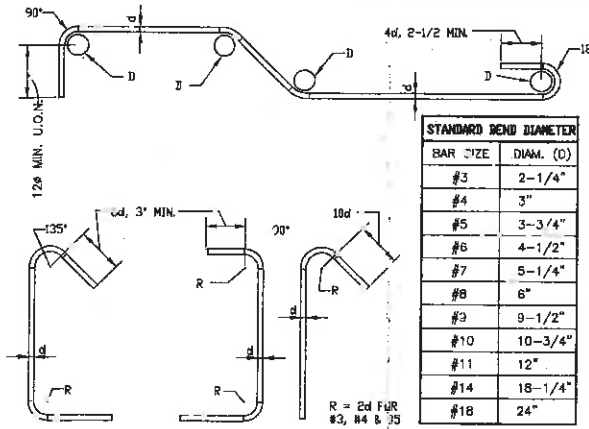
WALL ELEVATION (E)
SCALE: 1/4"=1'-0"



PLAN-RETAINING WALL AND SWALE (1)
SCALE: 1/4"=1'-0"

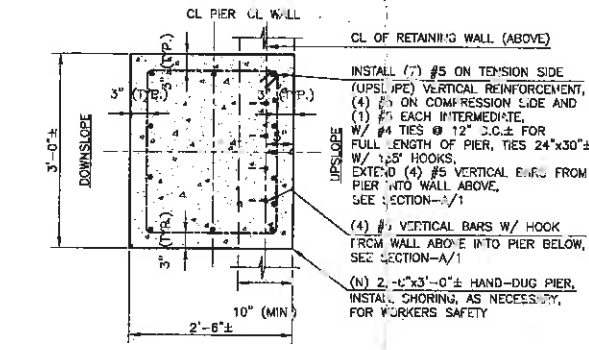


SECTION-RETAINING WALL AND SWALE (TYP.) (A)
SCALE: 3/4"=1'-0"



STANDARD REINF. HOOKS AND BENDS

- NOTES:
- HOOK LENGTHS ARE MINIMUMS. LONGER HOOKS SHALL BE PROVIDED WHERE DETAILED ON DRAWINGS.
 - BAR STIRRUPS AND THE CONFIGURATION SHALL BE AS SHOWN ON DRAWINGS.



SECTION-HAND-DUG PIER (B)
SCALE: 3/4"=1'-0"

HAND-DUG PIER TABLE "A"

MARK	DISTANCE TO TOP OF BEDROCK	DEPTH INTO SUPPORTING BEDROCK (MIN.)	TOTAL DEPTH FROM TOP OF EXISTING BENCH GRADE	HAND-DUG PIER REINFORCEMENT	NOTE
P1	1'-6"	7'-3"	8'-6"	(1) #5 UPSLOPE & (4) #5	
P2	2'-6"	7'-0"	9'-6"	(7) #5 UPSLOPE & (4) #5	
P3	3'-6"	7'-8"	11'-0"	(7) #5 UPSLOPE & (4) #5	
P4	4'-6"	8'-0"	12'-6"	(7) #5 UPSLOPE & (4) #5	
P5	5'-6"	8'-0"	13'-6"	(7) #5 UPSLOPE & (4) #5	

- NOTES:
- DISTANCE TO TOP OF BEDROCK VARIES, ESTIMATED BASED ON BORINGS AND REPORT BY MICHELLOCCI & ASSOCIATES, INC., 5'-6"± AT NORTHEASTERN END AND 3'-6"± AT SOUTHWESTERN END (4'-0"± ALREADY EXCAVATED TO TOP OF BENCH).
 - DEPTH INTO SUPPORTING BEDROCK 2'-0" (MIN.), AS PER REPORT BY MICHELLOCCI & ASSOCIATES, INC.
 - AT CONTRACTOR'S OPTION, W/ ENGINEER APPROVAL, ALSO OTHER EQUIVALENT STEEL CAGE MAY BE UTILIZED.
 - TOTAL DEPTH MEASURED FROM TOP OF EXISTING BENCH GRADE.
 - FOR EACH MARK LOCATION SEE PLAN AND WALL ELEVATION.
 - INSTALL SHORING, AS NECESSARY, FOR WORKERS SAFETY.

PROJECT NOTES:

GENERAL NOTES:

- DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH 2010 CBC, AS AMENDED BY STAT. OF CALIFORNIA, CITY AND COUNTY OF SAN FRANCISCO CODES AND ORDINANCES.
- ALL DIMENSIONS, CONDITIONS AND LOCATION OF FACILITIES TO BE VERIFIED AND DETERMINED IN FIELD.
- EXACT LOCATION AND EXTENT OF PROPOSED LOW RETAINING WALL AND DRAINAGE SWALE MAY BE ADJUSTED AS FIELD CONDITIONS REQUIRE AT TIME OF CONSTRUCTION. ENGINEER OF RECORD SHALL BE INFORMED ON ANY DEVIATION FROM APPROVED LOCATION OF RETAINING WALL AND WILL SUBMIT TO BUILDING OFFICIALS REVISED CALCULATIONS AND REVISED DRAWINGS FOR APPROVAL.
- ALL EXPOSED STEEL, IF ANY, SHALL BE GALVANIZED OR COATED WITH CORROSION INHIBITING PAINT.
- CAST-IN-PLACE CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
 - RETAINING WALL/HAND-DUG PIER/SWALE: $f_c=3,000$ PSI
 - MAXIMUM WATER-CEMENTITIOUS MATERIAL RATIO, BY WEIGHT, NORMAL WEIGHT CONCRETE, TO BE OF 0.50.
 - USE CEMENT TYPE II - V PORTLAND CEMENT.
 - CONCRETE TEST SPECIMEN SPECIAL INSPECTION MAY BE REQUIRED.
- REINFORCING STEEL SHALL CONFORM TO ASTM #515, GRADE 60 FOR #4 BARS AND ABOVE.
- STEEL MEMBERS, IF ANY, SHALL BE:
 - ALL WIDE FLANGE STEEL MEMBERS SHALL CONFORM TO ASTM A572, GRADE 50.
 - MISCELLANEOUS CHANNELS, ANGLE, AND PLATES SHALL CONFORM TO ASTM A36.
- ALL PERMIT ANCHORS, LEVELERS AND HARDWARE TO BE BY SIMPSON STRONG-TIE COMPANY, INC., OR EQUAL.
- SECTION AT CONSTRUCTION JOINT (C.J.) MAKE ROUGH AND FORM KEY.
- REINFORCEMENT COVER (2010 CBC SEC. 16.07.7.1):
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH SHALL HAVE MINIMUM 3" CONCRETE COVER.
 - CONCRETE EXPOSED TO EARTH OR WEATHER SHALL HAVE MINIMUM 2" CONCRETE COVER FOR #6 BARS AND ABOVE, 1 1/2" FOR #5 BARS AND BELOW.
- SPLICES OF REBAR TO BE CLASS (B) SPLICE. FOR WIDOTRETE METHOD LAP SPLICES OF REINFORCING BARS IN SIOTCRETE SHALL BE BY NON-CONTACT LAP SPLICE METHOD WITH AT LEAST 2 1/2" CLEARANCE BETWEEN BARS (2010 CBC SEC. 18.13.4.2).
- EPOXY ADHESIVE, IF ANY, TO BE "SET-XP" BY SIMPSON STRONG-TIE COMPANY, INC., ESR-2508, OR EQUAL. CONCRETE / GROUT PATCH SHALL BE APPROVED HIGH STRENGTH CEMENT BASED COMPOUND.
- SPECIAL INSPECTION (2010 CBC SEC. 1704):
 - SEE SPECIAL INSPECTION SCHEDULE.
 - UPON CONCLUSION OF CONSTRUCTION, ENGINEER OF RECORD WILL PREPARE SUMMARY LETTER OF HIS OBSERVATIONS RELATIVE TO RETAINING WALL, AND IS-BUILT CONSTRUCTION CONDITIONS.
- DESIGN RECOMMENDATIONS AND PARAMETERS:
 - GEOTECHNICAL STUDY, PROPOSED GARAGE ADDITION, 181 EDGEHILL WAY, SAN FRANCISCO, CALIFORNIA, BY JENSEN-VAN LIENDEEN ASSOCIATES, INC., JOB NO. J242AA, DATED JULY 31, 2000.
 - SUPPLEMENTAL GEOTECHNICAL CONSULTATION, PROPOSED NEW LANDSCAPE RETAINING WALL AND ACCOMPANYING DRAINAGE IMPROVEMENTS, 181 EDGEHILL WAY, SAN FRANCISCO, CALIFORNIA, BY MICHELLOCCI & ASSOCIATES, INC., JOB 13-4229, DATED OCTOBER 10, 2013.
- CIVIL ENGINEER OF RECORD: MICHELLOCCI & ASSOCIATES, INC., SHALL CONFIRM THAT THIS PLAN AND SPECIFICATIONS HAVE BEEN REVIEWED AND THAT IT HAS BEEN DETERMINED THAT RECOMMENDATIONS IN THEIR GEOTECHNICAL REPORT(S) ARE PROPERLY INCORPORATED INTO CONSTRUCTION PLAN. APPROVAL LETTER SHALL BE SUBMITTED TO CITY OF SAN FRANCISCO BUILDING AND PLANNING DEPARTMENT.

PUBLIC WORKS REQUIREMENTS:

- OWNER SHALL APPLY FOR AND OBTAIN TEMPORARY ENCROACHMENT PERMITS, IF APPLICABLE, FROM DEPARTMENT OF PUBLIC WORKS FOR ALL WORK IN RIGHT OF WAY, EASEMENTS OF PROPERTY IN WHICH CITY HOLDS INTEREST, INCLUDING DRIVEWAYS, SIDEWALKS, SEWER CONNECTIONS, SEWER CLEANOUTS, CURB DRAINS, OR STORM DRAIN CONNECTIONS IN FIELD.
- ALL CONSTRUCTION RELATED ACTIVITIES WHICH REQUIRE CITY PERMIT SHALL BE ALLOWED ONLY DURING HOURS OF 8:00 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 4:00 P.M. SATURDAYS. NO CONSTRUCTION ACTIVITY OR RELATED ACTIVITIES SHALL BE ALLOWED OUTSIDE OF AFOREMENTIONED HOURS OR ON SUNDAYS AND FOLLOWING HOLIDAYS: NEW YEAR'S DAY, PRESIDENT'S DAY, MEMORIAL DAY, 4TH OF JULY, LABOR DAY, THANKSGIVING DAY, AND CHRISTMAS DAY. ALL GASOLINE POWERED CONSTRUCTION EQUIPMENT SHALL BE EQUIPPED WITH AN OPERATING MUFFLER OR BATTING SYSTEM AS ORIGINALLY PROVIDED BY MANUFACTURER, AND NO MODIFICATION TO THESE SYSTEMS IS PERMITTED. VERIFY AFOREMENTIONED HOLIDAY SCHEDULE AND HOURS WITH CITY AND COUNTY OF SAN FRANCISCO BUILDING DEPARTMENT.
- CONTRACTOR SHALL ENSURE THAT APPLICABLE BEST MANAGEMENT PRACTICES (BMPs) FROM CITY AND COUNTY OF SAN FRANCISCO STORMWATER PREVENTION PROGRAM (SWPP) ARE FOLLOWED TO PREVENT DISCHARGE OF SOIL OR AN CONSTRUCTION MATERIAL INTO GUTTER, STORM DRAIN, OR CREEK.

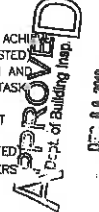
SITE WORK NOTES:

- ALL EXISTING TREES TO REMAIN.
- ALL PIPING SHALL HAVE GLEED JOINTS AND FITTINGS IN DIRECTION MORE THAN 45 DEGREES SHALL BE PROVIDED LONG SWEEP FITTINGS TO ALLOW FOR PROPER FLOW. ALL PERFORATED PIPING SHALL BE INSTALLED WITH PERFORATIONS DOWN.

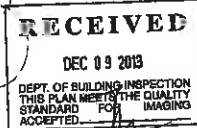


STATEMENT OF SPECIAL INSPECTIONS (2010 CBC SEC. 1704):

- SOILS (2010 CBC TABLE 1704.7):
 - VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE DESIGN BEARING CAPACITY (PERIODICALLY DURING TASK LISTED)
 - VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL (PERIODICALLY DURING TASK LISTED)
 - VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL, IF ANY (CONTINUOUS DURING TASK LISTED)
 - ENGINEER'S REPRESENTATIVE TO VERIFY HAND-DUG PIERS DURING EMBODIMENT INTO SUPPORTING BEDROCK.
 - CONCRETE CONSTRUCTION (2010 CBC TABLE 1704.4):
 - INSPECTION OF REINFORCING STEEL AND PLACEMENT IS REQUIRED (PERIODIC).
 - VERIFY USE OF REQUIRED DESIGN MIX FOR CONCRETE: $f_c=3,000$ PSI, W/C RATIO=0.50, TYPE II - V CEMENT. LAB TESTING OF CONCRETE SPECIMENS MAY BE REQUIRED.
 - DRAINS/EROSION CONTROL INSPECTION (2010 CBC):
 - VERIFY MATERIALS AND PLACEMENT OF DRAINS/EROSION CONTROL (PERIODICALLY DURING TASK LISTED).
- FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN INSPECTIONS SHALL BE SUBMITTED AT POINT IN TIME (NOTED UPON) BY PERMIT APPLICANT AND BUILDING OFFICIAL PRIOR TO START OF WORK. IF NOT SPECIFICALLY AGREED AND/OR REQUIRED, FINAL REPORT WILL BE SUBMITTED AFTER WORK COMPLETION.



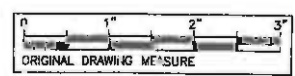
URGENT REVIEW IN APPROVAL FOR WORK TO STABILIZE THE EXISTING OPEN CUT ACROSS THE SLOPE



NOTE: GEOTECHNICAL CONSULTANT: MICHELLOCCI & ASSOCIATES, INC. JOSEPH MICHELLOCCI, R.C.E., G.E. 1801 MURCHISON DRIVE, SUITE #88 BURLINGAME, CALIFORNIA 94010 TEL. (650) 632-3153, FAX. (650) 692-0169 THIS DRAWING AND INFORMATION IT COVERS IS TO BE READ IN CONJUNCTION WITH OTHER PROJECT DOCUMENTS FOR ABOVE PROPERTY, CIVIL PLAN (SHEET C1) DATED SEPTEMBER 17, 2013, BY TRIPPO/HOLMES ASSOCIATES.

ABBREVIATIONS:

- C.C. - CENTER TO CENTER
- C.O. - CLEAN OUT
- E.W. - EACH WAY
- (E), (N) - EXISTING, NEW
- N.C. - NOT IN CONTRACT
- P.T.U.F. - PRESSURE TREATED DOUGLAS FIR
- T.O.G.P. - TOP OF GRADE BEAM
- T.O.W. - TOP OF WALL
- T. & B. - TOP AND BOTTOM
- U.N.D. - UNLESS NOTED OTHERWISE
- V.I.F. - VERIFY IN FIELD
- B.O.W. - BOTTOM OF WALL
- G.B.W. - GRADE BELOW OF WALL
- B.O.P. - BOTTOM OF PIER
- T.O.G. - TOP OF GRADE
- E.F. - EACH FACE
- T.O.C. - TOP OF CONCRETE



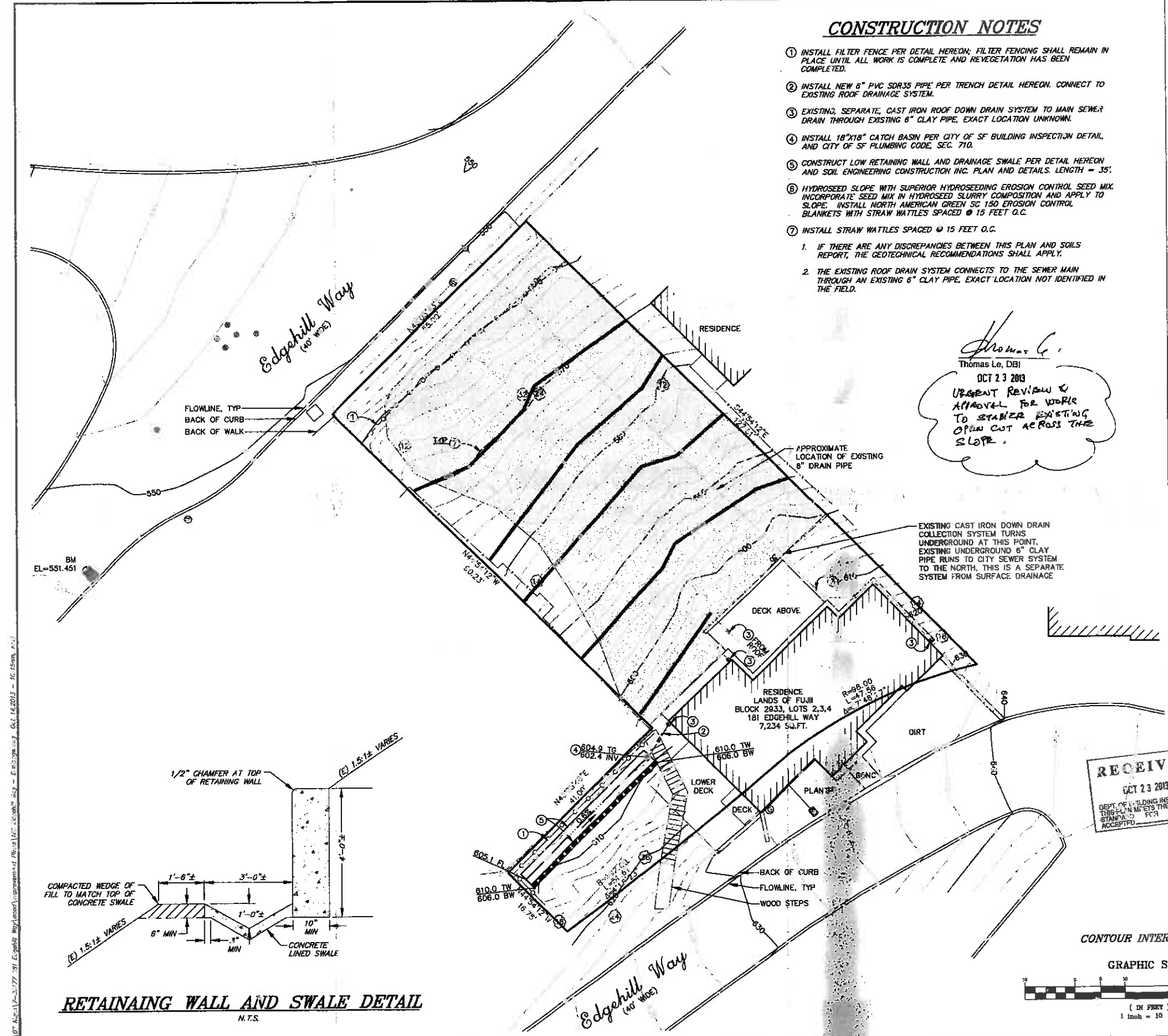
SOIL ENGINEERING CONSTRUCTION, INC.
827 ARGUELLO STREET, REDWOOD CITY, CALIFORNIA 94063
PHONE (650) 397-0985 FAX (650) 397-6139



PLAN, WALL ELEVATION, SECTION, TABLES AND PROJECT NOTES

LOW RETAINING WALL AND DRAINAGE SWALE AND CONSTRUCTION

BLOCK/LOT: 2933/012
181 EDGEHILL WAY, SAN FRANCISCO, CALIFORNIA 94127

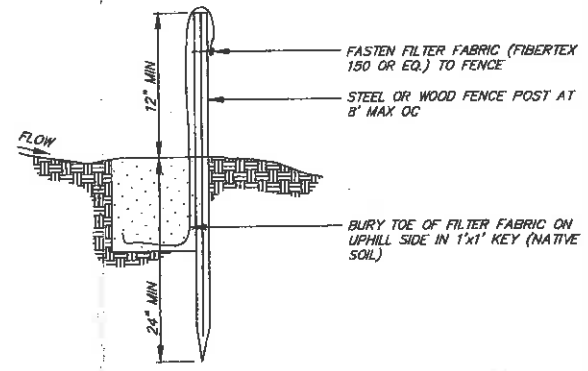


CONSTRUCTION NOTES

- ① INSTALL FILTER FENCE PER DETAIL HEREON; FILTER FENCING SHALL REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE AND REVEGETATION HAS BEEN COMPLETED.
- ② INSTALL NEW 6" PVC SDR35 PIPE PER TRENCH DETAIL HEREON. CONNECT TO EXISTING ROOF DRAINAGE SYSTEM.
- ③ EXISTING, SEPARATE, CAST IRON ROOF DOWN DRAIN SYSTEM TO MAIN SEWER DRAIN THROUGH EXISTING 6" CLAY PIPE. EXACT LOCATION UNKNOWN.
- ④ INSTALL 18"x18" CATCH BASIN PER CITY OF SF BUILDING INSPECTION DETAIL, AND CITY OF SF PLUMBING CODE, SEC. 710.
- ⑤ CONSTRUCT LOW RETAINING WALL AND DRAINAGE SWALE PER DETAIL HEREON AND SOIL ENGINEERING CONSTRUCTION INC. PLAN AND DETAILS. LENGTH = 35'.
- ⑥ HYDROSEED SLOPE WITH SUPERIOR HYDROSEEDING EROSION CONTROL SEED MIX. INCORPORATE SEED MIX IN HYDROSEED SLURRY COMPOSITION AND APPLY TO SLOPE. INSTALL NORTH AMERICAN GREEN SC 150 EROSION CONTROL BLANKETS WITH STRAW WATTLES SPACED @ 15 FEET O.C.
- ⑦ INSTALL STRAW WATTLES SPACED @ 15 FEET O.C.

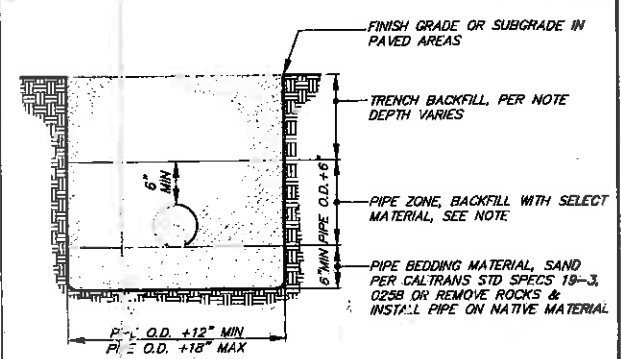
1. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS PLAN AND SOILS REPORT, THE GEOTECHNICAL RECOMMENDATIONS SHALL APPLY.
2. THE EXISTING ROOF DRAIN SYSTEM CONNECTS TO THE SEWER MAIN THROUGH AN EXISTING 6" CLAY PIPE. EXACT LOCATION NOT IDENTIFIED IN THE FIELD.

Thomas Le
 Thomas Le, DBI
 OCT 23 2013
 URGENT REVIEW & APPROVAL FOR WORK TO STABILIZE EXISTING OPEN CUT ACROSS THE SLOPE.



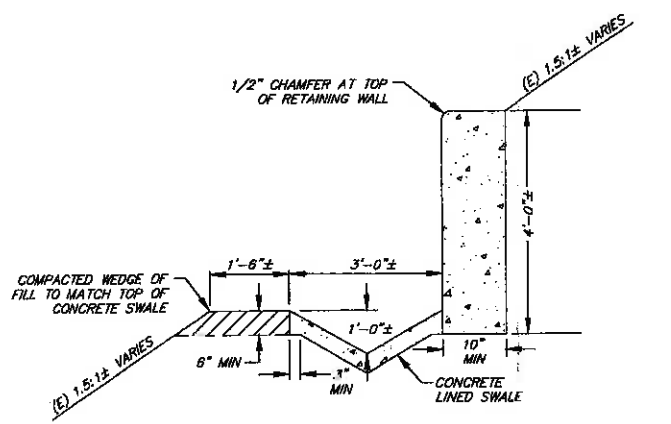
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FILTER FENCE DETAIL



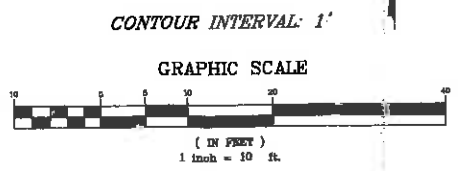
NOTES:
 1. ALL BEDDING & BACKFILL SHALL BE COMPACTED TO 90% OF MAX DRY DENSITY. IN AREAS OF FUTURE ROADWAY PAVEMENT THE MIN. COMPACTION SHALL BE 95% OF MAX DRY DENSITY FOR THE UPPER 2.5 FEET.
 2. BACKFILL MATERIALS SHALL BE FREE OF STONES EXCEEDING 3" IN GREATEST DIMENSION, OR ORGANIC OR OTHER UNSATISFACTORY MATERIAL. BACKFILL MAY BE EXCAVATED TRENCH MATERIAL.

TYPICAL TRENCH DETAIL



RETAINING WALL AND SWALE DETAIL

RECEIVED
 OCT 23 2013
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARDS FOR SEALING ACCEPTED



LEGEND

	PROPERTY LINE
	EDGE OF PAVEMENT
	FENCE
	TREE & SIZE
	EXISTING GROUND CONTOUR & ELEV.
	SEWER MANHOLE
	EXISTING STORMDRAIN
	FILTER FENCE
	STRAW WATTLE
	AREA TO BE HYDROSEEDED

th
 triad/holmes assoc.
 civil engineering
 land surveying
 MAMMOTH LAKES
 BISHOP
 REDWOOD CITY
 SAN LUIS OBISPO

PREPARED & SUBMITTED BY:
 THOMAS A. PLATZ
 REGISTERED PROFESSIONAL ENGINEER
 NO. C 41036
 STATE OF CALIFORNIA
 DATE: 10-02-13

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REVISIONS: BY: DATE: DESCRIPTION:
 1. N.T.S. 08/17/2013

APPROVED:
 Dept. of Building Insp.
 OCT 23 2013

PREPARED FOR:
 DOUG LIPSON

BLOCK 2933, LOTS 2, 3, 4, SAN FRANCISCO
 DRAINAGE AND SLOPE REMEDIATION
 SAN FRANCISCO, STATE OF CALIFORNIA

DATE: 09/17/2013
 SCALE: 1"=10'
 DRAWN: SR
 JOB NO.: 07.00177
 DWG: C1

2013-0919-7262
 2013-12-09-3639

City and County of San Francisco
 Department of Building Inspection
APPROVED
 Dept. of Building Insp.



Edwin M. Lee, Mayor
 Tom C. Hui, S.E., Acting Director

DEC 09 2013

NOTICE

THOMAS LE, DBI
 DEC 09 2013

Tom C. Hui

TOM C. HUI, S.E.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

SPECIAL INSPECTION REQUIREMENTS

Please note that Special Inspections shown on the approved plan and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required *in addition to* the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6132. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by Special Inspection Services. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1710. The building permit will not be finalized without the compliance of the structural observation requirements.

Special Inspection Services Contact Information

- Telephone: (415) 558-6132
- Fax: (415) 558-6474
- Email: dbi.specialinspections@sfgov.org
- In person: 3rd floor at 1660 Mission Street

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

J:\PAD\Form\Special Inspection\2012 S I Form.doc

Special Inspection Services
 1660 Mission Street - San Francisco CA 94103
 Office (415) 558-6132 - FAX (415) 558-6474 - www.sfdbi.org

PLAN REVIEW
 DEC 09 2013
 DEPARTMENT OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING
 ACCEPTED BY

2013-1209-3689

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS 181 EDGEHILL WY APPLICATION NO 2013-12-09-3639 ADDENDUM NO. _____

OWNER NAME STEVEN FUJII OWNER PHONE NO. (415) 420-1964

Employment of a special inspector is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec.1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1710. A preconstruction conference is recommended for owner/builder or designér/builder projects, complex and high rise projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1701;1703;1704 (2010 SFBC), Special Inspection and/or testing is required for the following work:

- | | | |
|---|--|--|
| 1. <input checked="" type="checkbox"/> Concrete (placement & sampling) | 6. <input type="checkbox"/> High-strength bolting | 18. Bolts installed in existing concrete or masonry: |
| 2. <input type="checkbox"/> Bolts installed in new concrete | 7. <input type="checkbox"/> Structural masonry | <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry |
| 3. <input type="checkbox"/> Special moment-resisting concrete frame | 8. <input type="checkbox"/> Reinforced gypsum concrete | <input type="checkbox"/> Pull/torque tests per SFBC Sec.1607C,1615C |
| 4. <input checked="" type="checkbox"/> Reinforcing steel and prestressing tendons | 9. <input type="checkbox"/> Insulating concrete fill | 19. <input type="checkbox"/> Shear walls and floor systems used as shear diaphragms |
| 5. Structural welding: | 10. <input type="checkbox"/> Sprayed-on fireproofing | 20. <input type="checkbox"/> Holdowns |
| A. Periodic visual inspection | 11. <input checked="" type="checkbox"/> Piling, drilled piers and caissons | 21. Special cases: |
| <input type="checkbox"/> Single pass fillet welds <5/16" or smaller | 12. <input checked="" type="checkbox"/> Shotcrete | <input type="checkbox"/> Shoring |
| <input type="checkbox"/> Steel deck | 13. <input type="checkbox"/> Special grading, excavation and filling (Geo. Engineered) | <input type="checkbox"/> Underpinning- Not affecting adjacent property |
| <input type="checkbox"/> Welded studs | 14. <input type="checkbox"/> Smoke-control system | <input type="checkbox"/> Underpinning- Affecting adjacent property: PA: _____ |
| <input type="checkbox"/> Cold formed studs and joists | 15. <input type="checkbox"/> Demolition | <input type="checkbox"/> Others: _____ |
| <input type="checkbox"/> Stair and railing systems | 16. <input type="checkbox"/> Exterior facing | 22. <input type="checkbox"/> Crane safety (Apply to the operation of tower cranes on highrise building) Section (1704.20). |
| <input type="checkbox"/> Reinforcing steel | 17. Retrofit of unreinforced masonry building: | 23. <input checked="" type="checkbox"/> Others: As recommended by professional of record <u>DRAINS & EROSION CONTACT</u> |
| <input type="checkbox"/> All other welding (NDT exception: Fillet weld) | <input type="checkbox"/> Testing of mortar quality and shear tests | |
| <input type="checkbox"/> Reinforcing steel; and <input type="checkbox"/> NDT required | <input type="checkbox"/> Inspection of reporting operations | |
| <input type="checkbox"/> Moment-resisting frames | <input type="checkbox"/> Installation inspection of new shear bolts | |
| <input type="checkbox"/> Others _____ | <input type="checkbox"/> Pre-installation inspection for embedded bolts | |
| | <input type="checkbox"/> Pull/torque tests per SFBC Sec.1607C & 1615C. | |

24. Structural observation per Sec. 1710 (2010 SFBC) for the following: Foundations Steel framing
 Concrete construction Masonry construction Wood framing
 Other: HAND-DUG PIERS BY GROTECH ENGINEER

25. Certification is required for: Glu-lam components
 Prepared by: GEORGE DREW Engineer/Architect of Record Phone: 408-888-3422
(650) 367-9595

Required information:
 Fax: _____ and/or email: _____

Review by: THOMAS LE DBI Engineer or Plan Checker Phone: (415) 558- 6140

APPROVAL (Based on submitted reports)

DATE _____ DBI Engineer, Plan Checker or Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO Special Inspection Services (415) 558-6132; or, dbi.specialinspections@sfgov.org ; or FAX (415) 558-6474

SPECIAL INSPECTIONS AND TESTS ARE REQUIRED AS PER SFBC CHAPTER 17



Michelucci & Associates, Inc.
Geotechnical Consultants

Joseph Michelucci, G.E.
joe@michelucci.com

Richard Quarry
rich@michelucci.com

November 15, 2013
Job No. 13-4299

via e-mail: sceptorco@yahoo.com

Mr. Bernd Koepke
1450 Griffith Street
San Francisco, CA 94124

Re: Review of Plans
Proposed Low Retaining Wall and Drainage Swale
181 Edgehill Way
San Francisco, California
Block/Lot: 2933/012



Dear Mr. Koepke:

As requested, we have reviewed the revised plans for the proposed low retaining wall and drainage swale prepared by Soil Engineering Construction, dated September 9, 2013 with a latest revision date of November 8, 2013. As you know, we previously provided a plan review letter on October 15, 2013.

The plans have been modified eliminating the then proposed tie-backs and the wall will now be of cantilever design with deeper hand excavated piers. The hand dug pier table presented on Sheet 1 of 1 indicates that the depth of the piers will range from 7 to 8 feet into bedrock with anticipated total depths of 8-feet, 6 inches to 13-feet, 6 inches.

In our opinion, the plans conform to the intent of the recommendations that were provided.

It is important that we be contacted at least 48 hours in advance of construction so the appropriate personnel may be scheduled to provide observation services.

Page 2
November 15, 2013
Job No. 13-4299

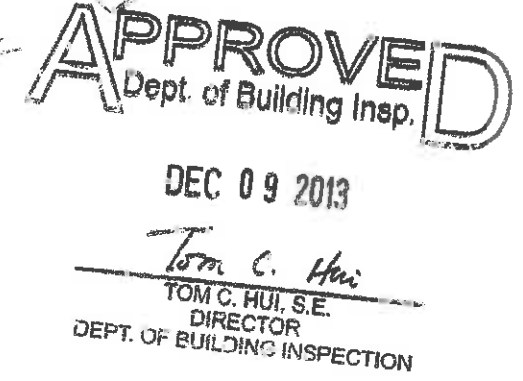
It is a pleasure working with you on this project. Please call if you have any questions or comments.

Very truly yours,
MICHELUCCI & ASSOCIATES, INC.

Joseph Michelucci
Geotechnical Engineer #593
(Expires 03/31/15)



Thomas Le, DBI
DEC 09 2013



2013-1209-3639

cc: Soil Engineering Construction, Attn: George Draw (via e-mail only: GCD!nc94@aol.com)



Michelucci & Associates, Inc.
Geotechnical Consultants

Joseph Michelucci, C.E.
joe@michelucci.com

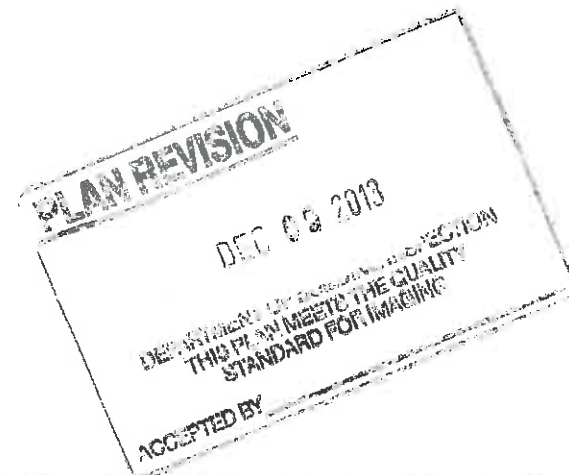
Richard Quarry
rich@michelucci.com

December 3, 2013
Job No. 13-4299

via e-mail: scejtranco@yahoo.com

Mr. Bernd Koepke
1450 Griffith Street
San Francisco, CA 94124

Re: Initial Observations
Retaining Wall Hand Dug Pier Excavation
181 Edgehill Way
San Francisco, California
Block/Lot: 2933/012



Dear Mr. Koepke:

As authorized, we are providing ongoing (and will continue to provide daily) observations of the excavations that are taking place to construct the new retaining wall at the above referenced property. At the present time (as requested by the City of San Francisco), a test pit is being excavated at the location of hand dug pier P2, and as of the morning of December 3, 2013 the pit had extended about 8 feet 9 inches below grade. As was anticipated, dense chert bedrock was encountered at 3-1/2 feet below grade along the downhill side of the pit, and thus, the existing conditions are as anticipated.

We understand (and have observed) that soil spoils will continue to be off-hauled from the site on a daily basis, and we have reiterated that this is important as the job progresses.

We concur that the digging of the hand-dug pier excavations should be performed in such a sequence as indicated on the approved plans and wish to point out that the plans are well founded and should be adhered to as quickly as possible.

Page 2
December 3, 2013
Job No. 13-4299

We are pleased to be of service to you. Please contact us with any questions or comments.

Very truly yours,
MICHELUCCI & ASSOCIATES, INC.

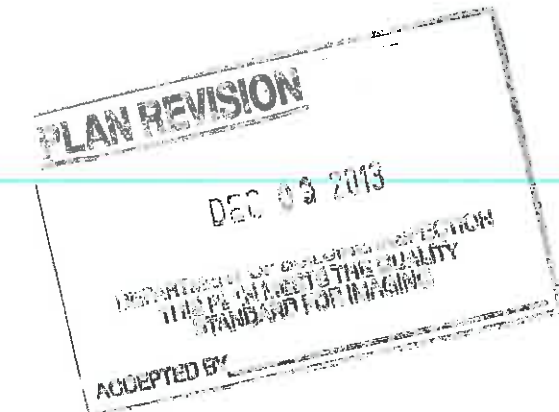
[Signature]
John Petroff
Staff Geologist

[Signature]
Joseph Michelucci
Geotechnical Engineer #593
(Expires 03/31/15)



DEC 09 2013

[Signature]
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION



DEC 09 2013

[Signature]
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

[Signature]
Thomas L. DBI
DEC 09 2013

cc: Soil Engineering Construction, Attn: George Drew (via e-mail only: GCDinc94@aol.com)
Bernie Curran, Department of Building Inspection, City & County of San Francisco
(via e-mail: bernie.curran@sfgov.org)

2013-12-09-3639

2/11/13
 26301904 40
 Nathan
 BID: 200008591

APPROVED
 Dept. of Building Insp.

DEC 9 2013

Tom C. Hui
 TOM C. HUI, S.S.
 DIRECTOR

APPROVED FOR ISSUANCE

BLDG. FORM 318
 APPLICATION NUMBER
 2013-12-09-510

**APPLICATION FOR BUILDING PERMIT
 ADDITIONS, ALTERATIONS OR REPAIRS**

FORM 3 OTHER AGENCIES REVIEW REQUIRED

FORM 8 OVER-THE COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

W/C 12-1-2014

DEPT. OF BUILDING INSPECTION
 CITY AND COUNTY OF SAN FRANCISCO
 DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DATE FILED DEC 9 2013	PLUMBING PERMIT NO.	(1) STREET ADDRESS OF JOB 181 Edschoill	BLOCK & LOT 2933/003
PERMIT NO. 1311854	ISSUED 12/9/13	(2A) ESTIMATED COST OF JOB \$1500	(2B) REVISED COST \$1500

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING					
(A4) TYPE OF CONSTR. <input checked="" type="checkbox"/>	(A5) NO. OF STORIES OF OCCUPANCY 3	(A6) NO. OF BASEMENTS AND CELLARS 0	(A7) PRESENT USE Single Family Dwelling	(A8) OCCUP. CLASS R-3	(A9) NO. OF DWELLING UNITS 1

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(B4) TYPE OF CONSTR. <input checked="" type="checkbox"/>	(B5) NO. OF STORIES OF OCCUPANCY 3	(B6) NO. OF BASEMENTS AND CELLARS 0	(B7) PROPOSED USE (LEGAL USE) Single Family Dwelling	(B8) OCCUP. CLASS R-3	(B9) NO. OF DWELLING UNITS 1

(10) IS ALTO MINOR TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL EGRESS SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(14) GENERAL CONTRACTOR Sector Co. 30658 Tenth Water Dr.		(15) OWNER - (CHECK ONE) (BUY ONE) Steven Fujii 181 Edschoill		PHONE (415) 671-0202 / (415) 420-1964		EXPIRATION DATE 1-31-15	

(16) WRITE IN DESCRIPTION OF ALL WORK DONE UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

Revision to PA 201309147262 T-
 document design changes.
 This permit also removes any reference to PA's 2011046019 + 1201212286978
 Rock bolts eliminated + deeper piers will be used

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	FT.	(19) DOES THIS ALTERATION CREATE DECK OR PORCH, EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW SQUARE FOOT AREA	SQ. FT.
(21) WILL SIGNIFICANT OVER-SIDE-DRIVEWAY SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ARE ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLAN)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION)
 Triad/Holmes Eng. San Eng. George Drew

(26) CONSTRUCTION LEADER (ENTER NAME AND DESIGNATION IF ANY, IF THERE IS NO DESIGN CONSTRUCTION LEADER, ENTER "UNDESIGNED")
 NONE

IMPORTANT NOTICES

No change shall be made in the structure of the company or use without first obtaining a Building Permit...
 No portion of building or structure or scaffolding used during construction, to be closer than 6' to any wire...
 Pursuant to San Francisco Building Code, the building permit shall be posted on the job...
 Plans to be shown on drawings accompanying this application are assumed to be correct...
 ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
 BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.
 APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKING OR PLUMBING INSTALLATIONS...
 THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
 In change of all building materials must have a clearance of not less than two inches from all electrical wires or equipment.
 CHECK APPROPRIATE BOX
 OWNER ARCHITECT
 LICENSEE AGENT
 CONTRACTOR ENGINEER

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agrees to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit...
 In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (1), or (2) designated below or shall indicate item (3), or (4), whichever is applicable...
 I hereby affirm under penalty of perjury one of the following declarations:
 () I. I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided by Section 5700 of the Labor Code...
 (X) II. I have and will maintain workers' compensation insurance, as required by Section 5700 of the Labor Code...
 () III. The cost of the work to be done is \$1000 or less.
 () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California...
 () V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of the form with the County Permit Bureau.

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THIS PERMIT AND ALL LAWS AND ORDINANCES THEREBY WILL BE COMPLIED WITH.

5003-03 (REV. 1/05)

Beal Kuyke 12-9-13
 Signature of Applicant or Agent

APPLICANT COPY

CONDITIONS AND STIPULATIONS

<p>APPROVED: _____ Thomas Le, DBI DEC 09 2013</p> <p><i>[Signature]</i> Thomas Le, DBI DEC 09 2013</p> <p>BUILDING INSPECTOR, DEPT. OF BLDG. INF.</p>	<p>DATE: <u>12/9/13</u> REASON: <u>OK to process</u> <u>B. Curran</u> NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><i>N/A</i></p> <p>DEPARTMENT OF CITY PLANNING</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>BUREAU OF FIRE PREVENTION & PUBLIC SAFETY</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____ Thomas Le, DBI DEC 09 2013</p> <p><i>[Signature]</i> Thomas Le, DBI DEC 09 2013</p> <p>CIVIL ENGINEER, DEPT. OF BLDG INSPECTION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><i>N/A</i></p> <p>BUREAU OF ENGINEERING</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>DEPARTMENT OF PUBLIC HEALTH</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>REDEVELOPMENT AGENCY</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>HOUSING INSPECTION DIVISION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT _____



77 Blake St Apt D
San Francisco Ca 94118
415 310 7781
Jean-claude@arboristnow.com
guillaume@arboristnow.com
Lic # [961415](#)
Wednesday November 20th 2013

Arborist report:

Prepared for: Bernd Koepke, Scepter Company

Owner: n/a

Description :

- **Species :** Cupressus macrocarpa
- **Height :** approx. 60-80 feet
- **Number of trees :** 3
- **Location:** in slope around West property line at 181 Edgehill Way, San Francisco
- **Health and structure condition:** The trees are in good health. No signs of decay or disease visible from the ground. Structure of the trees is limbed up but overall fairly balanced. One tree is slightly leaning in the direction of the slope.



EXHIBIT 4

Tree risk assessment:

A trench for installation of a drain was dug approximately seven feet downhill from the base of the trunk of the closest tree. After visual inspection of the dug area, we did not observe any significant damage to the root system of any of the trees. The largest exposed cut root found is approximately 1 ½ inch in diameter.



The main risk associated with the digging is soil erosion. The trees and the terrain have an intricate relationship holding each other in place.

Our recommendation is to install the engineered retaining wall **without delay** to hold the soil.

To minimize the impact of the construction on the trees, maximum precaution shall be used to avoid concrete dust or other work related debris to contaminate or change PH of the soil. It is also important to minimize traffic around the base and under the drip line of the trees to avoid soil compaction.

Further assessment by a Certified Consulting Arborist is an option to confirm this visual assessment and analyze soil structure and root system establishment.

Please read carefully the Arborist Disclaimer attached.
Feel free to contact us with any questions you may have.

Guillaume Pernet, Jean-Claude Fochat
Arborist Now, inc.

ARBORIST DISCLAIMER

Arborists are tree specialists who use their education, knowledge, training, experience, and research to examine trees and woodlands. Arborists recommend measures to enhance the beauty and health of trees and forests, while attempting to reduce the risk of living near them. Clients may choose to accept or disregard the recommendations of the arborist. Or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms subject to attack by disease, insects, fungi and other forces of nature. There are some inherent risks with trees that cannot be predicted with any degree of certainty, even by a skilled and experienced arborist. Arborists cannot predict acts of nature including, without limitation, storms of sufficient strength, which can cause even a healthy tree to fail. Any entity who develops land and builds structures with a tree in the vicinity should be aware and inform future residents of the risks of living with trees and this arborists disclaimer.

Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise remedial treatments cannot be guaranteed 100%.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborists services, such as property boundaries, property ownership, disputes between neighbors and other issues. Consulting arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist by the client. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Neither this author nor Arborist Now, Inc. has assumed any responsibility for liability associated with the trees on or adjacent to this project site, their future demise and/or any damage, which may result therefrom. To live near trees is to accept some degree of risk.

Thank you for choosing Arborist Now, Inc. to provide arborist service for your project. If you have any questions, or additional service requests, please don't hesitate to contact us.

Sincerely,

Guillaume Pernet
President
Arborist Now, Inc
www.arboristnow.com
(415) 310-7781