

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal No. 05-002

Appeal of  
GARY RAUSH,  
 )  
 ) Appellant(s)  
 )  
 )  
 ) vs.  
 )  
 )  
DEPT. OF BUILDING INSPECTION,  
 )  
PLANNING DEPARTMENT DISAPPROVAL Respondent

**NOTICE OF APPEAL**

**NOTICE IS HEREBY GIVEN THAT** the above named appellant(s) appeals to the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the denial on January 4, 2005, of Site Permit to Alter a Building (application association with variance case no. 2004.0061V to reflect as-built conditions of garage door; to resolve NOV no. 200341797) at 2220-2222 Sacramento Street.

**APPLICATION NO. 2004/10/18/7116S**

Address & Tel. of Appellant(s):

Address & Tel. of Other Partie(s):

Gary Raugh, Appellant(s) C/o Jeremy Paul, Agent for Appellant(s) 60 Otis Street SF, CA 94103 415.552.1888 (tel) 415.552.1889 (fax)	Not applicable.
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I, Eve Hodson declare under penalty of perjury that the foregoing is true and correct.

Entered on Jan. 5, 2005 at San Francisco, California.

FOR HEARING ON April 13, 2005

  
 .....  
 Appellant or Agent

**PRELIMINARY STATEMENT OF APPEAL**

**COPY**

Date BOARD OF APPEALS

Filed: JAN 05 2005

APPEAL # 05-002

I/We, Gary Raugh, hereby appeal the following departmental action: disapproval of permit 2004/10/18/7116, which was

(Building Permit Application No.; ZA determination or variance decision; Dept. of Public Works Order No. etc.)

issued / became effective on: January 4, 2005 for the property at 2220-2222 Sacramento

**Briefing Schedule (Based on date appeal filed):**

Note: If any of the following submittal deadlines fall on a weekend or holiday, staff will adjust the date to the next business day.

Appellant's Brief is due (15) days after date of filing on or before Jan 20, 2005 twelve pages maximum with unlimited exhibits, with eleven copies delivered to the Board office by 4 p.m., & with additional copies served on the other parties the same day. Received: \_\_\_\_\_ By: \_\_\_\_\_

Permit Holder's Brief, Respondent's Brief & Other Parties' Brief are due (7) days later on or before January 27, 2005 twelve pages maximum with unlimited exhibits (including a set of reduced plans for the permit holder's brief), with eleven copies delivered to the Board office by 4 p.m., and with additional copies served on the other parties the same day. Received: \_\_\_\_\_ By: \_\_\_\_\_

Appellant's Reply is due (10) days later on or before Monday, Feb 7, 2005, six pages maximum with unlimited exhibits, with eleven copies delivered to the Board office by 4 p.m., & with additional copies delivered to the other parties the same day. Received: \_\_\_\_\_ By: \_\_\_\_\_

Hearing Date: Wednesday April 13, 2005.

Place: **City Hall, Room 416, One Dr. Carlton B. Goodlett Place (formerly 301 Polk Street)**  
**5:00 p.m. (Everyone is required to arrive no later than 5:00 p.m., no matter which item their appeal is on the calendar because cases are often withdrawn, rescheduled, and taken out of order)**

All parties to an appeal must adhere to the briefing schedule above, unless a briefing schedule extension request is granted. Members of the public and other non-parties, however, may submit letters of support/opposition no later than the Thursday prior to hearing by 4 p.m., with an original and 10 copies required of all documents submitted. Only photographs or drawings may be submitted at hearing. If you have any questions or problems, please call this office as soon as possible at 575-6880.

**DO NOT WRITE ABOVE THIS LINE. FOR STAFF USE ONLY.**

The reasons or grounds for this appeal are as follows (please summarize, or continue on 2<sup>nd</sup> page):

This application was denied because the landmarks commission could not reach a consensus. We believe the Board of Appeals will make an appropriate discretionary call and uphold the permit application.

[Signature]  
Signature of Appellant or Agent

**DEPARTMENT OF BUILDING INSPECTION**

City &amp; County of San Francisco

1660 Mission Street, San Francisco, California 94103-2414

December 15, 2004

Building Application: 200410187116'S'  
Job Address: 2220-2222 Sacramento St.Double-D Engineering  
67 Haight Street  
San Francisco, CA 94102

Dear Applicant:

The above referenced applications have **"NOT BEEN APPROVED"** by The Department of City Planning because the information contained on the applications and/or the plans are improper to grant approval. Therefore, unless revised information is submitted and the applications are made approvable within 21 days from the above date, you are hereby notified that your applications for a building permit at the above noted address(es) will be cancelled on January 5, 2004.

However, if you choose to file an appeal with the Board of Appeals, you must request that your application be **"DISAPPROVED"** per Section 106.3.8 of the San Francisco Building Code. A "Request for Disapproval of Building Permit Application" form is attached. The request must be filed with the Department of Building Inspection within 21 days from the above date. Upon receipt of the written request for disapproval, a written notice will be sent to you indicating that your application has been disapproved.

To file an appeal with the Board of Appeals, you may file an appeal in person with the Technical Services Division, 1<sup>st</sup> Floor, 1660 Mission Street, San Francisco, Attention: Simon Tam within fifteen (15) days from the date of the disapproval letter. If you have any questions regarding the appeal, please call Simon Tam at (415)558-6084.

A ONE TIME EXTENSION OF 60 DAYS, AT ANY POINT DURING THE APPROVAL PROCEDURE, MAY BE GRANTED BY THE DIRECTOR UPON WRITTEN REQUEST BY THE APPLICANT WITH A NON REFUNDABLE PAYMENT OF \$34.93 MADE PAYABLE TO DEPARTMENT OF BUILDING INSPECTION.

If you have further questions, please call our office at (415)558-6070.

Very truly yours,

Frank Y. Chiu/Director  
Carolynn Tusch/CPB Manager

Attachment

CERTIFIED MAIL RETURN RECEIPT ON FILE



**DEPARTMENT OF BUILDING INSPECTION**

City & County of San Francisco  
1660 Mission Street, San Francisco, California 94103-2414

Attachment

**REQUEST FOR DISAPPROVAL OF BUILDING PERMIT APPLICATION**

Date: 1/4/05

Mr. Simon Tam  
Board of Permit Appeals  
Customer Services Division  
Department of Building Inspection  
1660 Mission Street, 1<sup>st</sup> Floor  
San Francisco, CA 94103-2414

Dear Mr. Tam:

I request that my Building Permit Application No. 2004/10/18/71165 be disapproved for the purpose of taking the matter before the Board of Appeals. I understand that the other Checking Stations may not have concluded their portion of the review necessary to approve the application for a building permit.

I agree that the application shall be returned to: DBI, PLANNING for continuation of the permit processing after the Board of Appeals decision, if I wish to continue to pursue the permit.

Applicant's Signature

Print Name: EVE HODSON

Mailing Address: QUICKDRAW PERMIT CONSULTING  
60 OTIS ST  
SF, CA 94103

Contact Phone No. (415) 552-1888

APPROVED FOR DISAPPROVAL BY:   
Simon Tam

Date: 1/4/05

CITY AND COUNTY OF SAN FRANCISCO  
Department of Building Inspection



**DECLARATION OF INTENTION TO APPEAL**  
**BOARD OF APPEALS**  
1660 Mission Street, 3<sup>rd</sup> Floor San Francisco, CA 94103

Date: 1/4/05

Application: 2004.10.18.7116 S

Address of subject property: 2220-2222 SACRAMENTO ST

To Department of Building Inspection:

Housing Inspection Division Yes  No

**1. DISAPPROVAL**

I hereby declare my intention to appeal the disapproval of the following Department:  
PLANNING

This disapproval was given for the following reason: PER CERTIFICATE OF APPROPRIATENESS CASE NO 2004.0543A

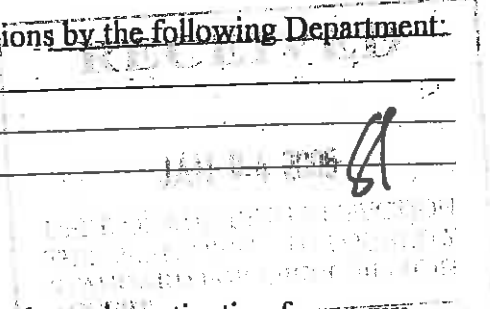
Code/Section: \_\_\_\_\_

**2. STIPULATIONS/CONDITIONS**

I hereby declare my intention to appeal the stipulations/conditions by the following Department:

**3. PENALTY**

I hereby declare my intention to appeal the imposition of a penalty or investigation fee on my permit application for the following reason:



Regular Fee(s): \$ \_\_\_\_\_

Penalty Fee(s): \$ \_\_\_\_\_

Optional Declaration: The work stated as being done without permit was completed:

Prior to January 1, 1960  From 1960 to present

I have attached the following documents in support of the above declaration:  
(Building Permit Application – both sides must be attached).

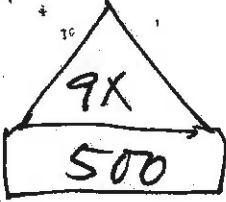
**I HEREBY AGREE TO COMPLY WITH ALL OTHER STIPULATIONS AND CONDITIONS AS INDICATED UPON ISSUANCE OF MY PERMIT.**

[Signature]  
Owner (Signature)  
EVE HODSON / AGENT  
Name  
60 OTIS ST, SF CA 94103  
Address (Mailing)  
(415) 532-1888  
Phone (home) ( ) (work) ( )

# SITE PERMIT

OCT 18 2004

THIS APPLICATION APPROVED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



**DISAPPROVED**  
 DATED 10/18/04  
 CANCELLED ON: 11/5/05  
 NOTIFIED:  
 MAILED ON: 12/15/04

BLDG. FORM **3/8**

APPROVED FOR ISSUANCE

OSHA APPROVAL REQ.

APPLICATION NUMBER **(11)**

APPROVAL NUMBER:

## APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3  OTHER AGENCIES REVIEW REQUIRED

FORM 8  OVER-THE COUNTER ISSUANCE

**2** NUMBER OF PLAN SETS

## CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

WRITE ABOVE THIS LINE ▼

DATE FILED <b>10/18/04</b>	FILING FEE RECEIPT NO. <b>3416714</b>	(1) STREET ADDRESS OF JOB <b>2220-2222 SACRAMENTO ST. 0627/005</b>	BLOCK & LOT
PERMIT NO.	ISSUED	(2A) ESTIMATED COST OF JOB <b>\$1.00</b>	(2B) REVISED COST: BY DATE

### INFORMATION TO BE FURNISHED BY ALL APPLICANTS

#### LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. <b>VN</b>	(5A) NO. OF STORIES OF OCCUPANCY: <b>0</b>	(6A) NO. OF BASEMENTS AND CELLARS: <b>0</b>	(7A) PRESENT USE: <b>GARAGE</b>	(8A) OCCUP. CLASS <b>U1</b>	(9A) NO. OF DWELLING UNITS <b>0</b>
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#### DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. <b>VN</b>	(5) NO. OF STORIES OF OCCUPANCY: <b>0</b>	(6) NO. OF BASEMENTS AND CELLARS: <b>0</b>	(7) PROPOSED USE (LEGAL USE) <b>GARAGE</b>	(8) OCCUP. CLASS <b>U1</b>	(9) NO. OF DWELLING UNITS <b>0</b>
----------------------------------	--	---	---	-------------------------------	---------------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--	--	--	--

(14) GENERAL CONTRACTOR: **NOT SELECTED** ADDRESS: \_\_\_\_\_ ZIP: \_\_\_\_\_ PHONE: \_\_\_\_\_ CALIF. LIC. NO.: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

(15) OWNER, LESSEE (OR GROSS OUT ONE): **MITCH MENAGED** ADDRESS: **2222 SACRAMENTO ST** ZIP: \_\_\_\_\_ BTRC#: \_\_\_\_\_ PHONE (FOR CONTACT BY DEPT.): **QUICKDRAW 552-1888**

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)  
**APPLICATION ASSOCIATED WITH VARIANCE 2004.0061V. TO REFLECT AS-BUILT CONDITIONS OF GARAGE DOOR - 18' TO RESOLVE N.O.V - ATTACHED BID NOW # 200341797**

### ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT. _____	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT. _____
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN  CONSTRUCTION ): **DOUBLE-D ENGINEERING** ADDRESS: **67 HAIGHT ST SF CA 94102** CALIF. CERTIFICATE NO.: **S 3928**

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER 'UNKNOWN')  
**UNKNOWN**

### IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this Bureau for approval.

ANY STIPULATION OR BY CODE MAY BE APPEALED.

A CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING WHEN GRANTED, WHEN REQUIRED.

APPROVAL OF THE BUREAU OF ELECTRICAL PERMIT FOR THE WIRING AND PLUMBING PERMIT ANSWER IS 'YES' TO ANY OF THE FOLLOWING QUESTIONS:

THIS IS NOT A BUILDING PERMIT IS ISSUED.

In dwellings all in electrical wires or

CHECK APPROPRIATE BOX:  
 OWNER  
 LESSEE  
 CONTRACTOR

I HEREBY CERTIFY THAT THE WORK DESCRIBED IN THIS APPLICATION IS IN ACCORDANCE WITH THE CITY AND COUNTY ORDINANCES.

FEE ESTIMATE

FIRE FEE 7299

### NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demand and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below.

- I hereby affirm under penalty of perjury one of the following declarations:
- ( ) I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
  - ( ) II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_
  - ( ) III. The cost of the work to be done is \$100 or less.
  - ( ) IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fall to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
  - ( ) V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature: \_\_\_\_\_ Agent  
 Date: **10/18/04**

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED:	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <i>per Certificate of Appropriateness</i> <i>Case No. 2004-0543A (copy attached)</i> <i>David Bendraj 12/8/04</i> DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: CIVIL ENGINEER, DEPT. OF BLDG INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT

HOLD SECTION - NOT DATED AND NUMBER OF ALL TYPING IN THIS FIELD BEING RECORDED

# QUICKDRAW

PERMIT CONSULTING

60 Otis Street  
San Francisco CA  
94103-1220  
Ph 415 552-1888  
Fx 415 552-1889

May 5, 2005

President Hisashi Sugaya  
San Francisco Board of Appeals  
1660 Mission St. Third floor  
San Francisco, CA 94103

Re: 2220 Sacramento Street.  
Block 0627, Lot 005

Dear President Sugaya and Honorable Commissioners:

The subject property is a nine thousand square foot lot with a massive historically significant and now magnificently restored 1886 mansion.

Historic San Francisco Homes bought the building in 2001; at that time a hotel had been operating on the premises illegally for decades. This property was subject of great community interest and controversy. The Code Enforcement Division of the Department of Building Inspection and the Office of the City Attorney accrued over \$600,000 in enforcement costs to shut down the hotel operation widely known as "Pritikin's Mansion" or simply the "Mansion Hotel"

The greatest source of controversy during the course of the operation of the Mansion Hotel was not the bi-weekly musical saw concert, nor the late-night trappings of "Lady Edna" the resident ghost; it was the tremendous impact on street parking. Thus the only neighborhood concern ever expressed during the conversion was such a large building must improve its offstreet parking provisions.

A Certificate of Appropriateness was granted in 2000 for a new garage at the sidewalk approximately 35 feet in front of the mansion as the conversion to the current two-family use was underway. Planning Code section 144 (Exhibit 1) would have permitted a 20 foot wide garage door if it had been requested at that time. Unfortunately, the project sponsor requested and was granted 16 feet. During the construction phase a decision was made on site to increase the opening width to the full 18 feet of the structural steel installed above the new garage opening.

On completion of the garage construction (permit number 2000/05/26/1151 plans and



permit attached Exhibit 2) the Building Inspector determined that the garage door was wider than permitted and must be corrected for completion. 1 foot square spacers were subsequently installed for final inspection at either end of the garage opening thereby temporarily altering the door to 16 feet. The permit was signed off on the garage structure, the mansion remodel was completed in the property was sold to two new owner occupants. Some time thereafter the spacers were removed and the two new units were occupied.

The District Building Inspector happened by one day and noticed the spacers missing and wrote a Notice of Violation for alteration without permit. Not understanding the history of the project, and not wishing to give up the additional offstreet parking space made accessible by the removal of these spacers the owners sought legalization of the wider door.

This office filed a Building Permit Application to authorize the new door width. We applied for and were granted an Environmental Exemption yet we were still required to go before the Landmarks Preservation Advisory Board. The Certificate of Appropriateness issued on April 4, 2000, by the Landmarks Board granting a new garage structure on the lot specifically states that the garage, as a separate non-historic structure, would not impact the Landmark.

A new Certificate of Appropriateness was sought for the alteration and Planning Staff's recommendation was we reinsert the ugly concrete spacers at either side of the door to reduce the width. At hearing, the Landmarks Preservation Advisory Board was unable to reach a decision on the matter to either approve or to deny such an application. Two months later the Acting Planning Director issued a new C of A disallowing the new garage door width without findings (Exhibit 3).

Please study the attached photos (Exhibit 4) and drive-by this site. You will find that the subject block is dominated by huge curb-cuts and rows of garage doors both large and standard. 2220 - 2222 Sacramento Street is a 70 foot wide lot, the garage door and adjacent entry stair and the associated vegetation growth make for an attractive interruption in what would otherwise be a massive wall above the sidewalk.

To deny this permit would be to effectively remove an offstreet parking space from use with no compensating public benefit. There is no opposition to this application nor has there ever been, however, if this application were specifically to remove an offstreet parking space - as a denial of this permit would - I'm sure there would be great neighborhood interest.

Please exercise the discretionary powers of this Board and allow this garage entry to be legally altered to maximize its use and benefit to the neighborhood.

Respectfully submitted,

  
Jeremy Paul

San Francisco Planning Department  
**HISTORIC RESOURCES INVENTORY**

**ID No.** 4692 **Historic Name** CHAMBERS MANSION

**Address** 2220- 2222 SACRAMENTO ST

**Landmark No.** 119

**Year Built** 1887/1917

**HISTORIC DISTRICT**

**Existing**

**Rating**

**GENERAL PLAN**

**Area Plan**

**Rating**

**Downtown Plan Rating**

**Conservation District**

**NATIONAL REGISTER**

**Rating**

**District**

**SPECIAL SURVEY**

**Survey Name**

**Rating**

**OTHER RATINGS**

**California Register**

**DCP 1976 3**

**UMB**

**Here Today Page 291**

**Heritage**

**Original Owner** R.C. CHAMBERS

**Original Tenant** R.C. CHAMBERS

**Builder** UNKNOWN

**Original Use** RESIDENCE

**Current Use** RESIDENCE

**Architect** J.C. MATTEWS AND SON

**Height** **Stories** 2+A

**Style** QUEEN ANNE

**Construction**

**Exterior**

**Sources** LPAB CASE REPORT 1/9/80;H.T.;

**Notes**

**Alterations**

**Other Information** ONE OF GROUP OF 3, W/ 2212 & 2224 SACRAMENTO, THAT GIVE BLOCK A MONUMENTAL LOOK. ORIGINAL HOUSE DESIGNED BY MATTHEWS FEATURED SINGLE TOWER AND PORCH; 1917 REMODEL FOR HEIRS BY HOUGHTON SAWYER DIVIDED HOUSE INTO 2, ADDED 2ND TOWER AND ADDITIONAL ENTRY. R.C.CHAMBERS MADE HIS FORTUNE IN SILVER MINING IN UTAH; HE WAS ACTIVE IN DEMOCRATIC POLITICS; FOUNDED SALT LAKE HERALD, 1 OF 1ST DAILIES IN UTAH.

**ASSOCIATED PARCELS**

**Block** **Lot**  
0627 005

**EXHIBIT 1****CERTIFICATE OF APPROPRIATENESS**

Case No: 2000.141A

Assessor's Block: 0627 Lot: 005

Address of Property: 2220-2222 Sacramento Street

Date Application Filed: February 10, 2000

Landmark No.: 119

**Description of Proposed Work:** Exterior alterations as detailed in Architectural Plan labeled EXHIBIT B in the file docket for 2000.141A: for exterior work including expansion of existing (non-historic) garage to two (2) spaces; replacement of original foundation with reinforced concrete; repair of the original windows where conditions permit; and replacement of non-conforming windows (aluminum and otherwise).

**Action by the Landmarks Preservation Advisory Board on April 5, 2000:** Recommendation of no significant impact and no potential detrimental effect on the Historic District per the findings in the record of the hearing.

**Action by the Planning Department:** APPROVED

I have reviewed the proposed work and the recommendation of the Landmarks Preservation Advisory Board and have determined that the proposed work would not have a significant impact upon, and would not be potentially detrimental to the Landmark.


**Conditions:**

- Proposed new garage door is approved as shown in Exhibit C (see attached).

**Findings:**

- The proposed work is appropriate for and consistent with the effectuation of the purposes of Article 10;
- That the proposed garage work would replace an existing stucco non-historic addition that was added to the building in 1922, therefore the proposed project will not adversely affect the special character or special historical, architectural or aesthetic interest or value of the landmark site;
- That the proposed changes to doors and windows would not impact nor disturb those architectural elements for which the building was designated;
- That the installation of a reinforced concrete foundation and new would be all but impossible to see from the surrounding streets, and would match the existing building fabric;
- That the proposed conversion of the structure from hotel to a more appropriate two-family use helps to maintain the quality of the landmark, and therefore would have a positive impact to the neighborhood overall;
- That generally the changes proposed would enhance the architecture of the building and character of the landmark;
- For these reasons, the proposal overall meets the standards set forth in Article 10 and the Secretary of the Interior's Standards for Rehabilitation and would not have a detrimental impact on City Landmark No. 119.

Date

4-17-00
  
 Gerald G. Green  
 Director of Planning

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Director of Planning. Implementation of this Certificate of Appropriateness is accomplished by completion of construction work (verified by a job card signed by a Building Inspector) after issuance of an appropriate Building Permit.

**Appeal:** Any aggrieved person may appeal the action on this Certificate of Appropriateness by appealing the issuance of the Building Permit required to implement the proposed work. Contact the Board of Appeals (558-6720) for instructions on filing a permit appeal.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OCCUPANCY (UNLESS NO BUILDING PERMIT IS OTHERWISE REQUIRED FOR THE WORK). PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION AND ANY OTHER APPROPRIATE AGENCIES MUST FIRST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.** EMO:\WPB\1\CASES-LM\CERTIFIC\MANSIONS.CCR

(c) The species of trees selected shall be suitable for the site, and, in the case of trees installed in the public right-of-way, the species and locations shall be subject to approval by the Department of Public Works. Procedures and other requirements for the installation, maintenance and protection of trees in the public right-of-way shall be as set forth in Article 16 of the Public Works Code.

(d) In any case in which the Department of Public Works cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 143 may be modified or waived by the Zoning Administrator to the extent necessary.

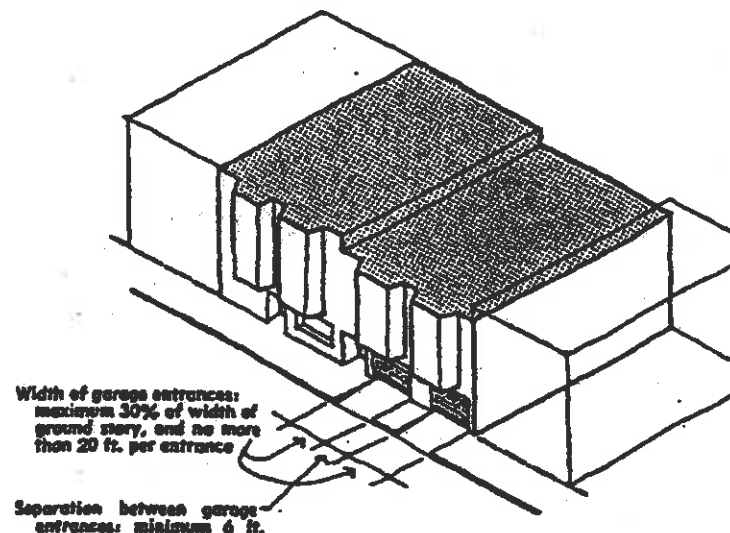
(e) In C-3 and South of Market Districts, the Zoning Administrator may allow the installation of planter boxes or tubs or similar landscaping in place of trees when that is determined to be more desirable in order to make the landscaping compatible with the character of the surrounding area, or may waive the requirement in C-3 districts where landscaping is considered to be inappropriate because it conflicts with policies of the Downtown Plan, a component of the Master Plan, such as the policy favoring unobstructed pedestrian passage. (Amended by Ord. 414-85, App. 9/17/85; Ord. 69-87, App. 3/13/87; Ord. 115-90, App. 4/6/90)

#### SEC. 144. TREATMENT OF GROUND STORY ON STREET FRONTAGES, RH-2, RH-3, RM-1 AND RM-2 DISTRICTS.

(a) **General.** This Section is enacted to assure that in RH-2, RH-3, RM-1 and RM-2 Districts the ground story of dwellings as viewed from the street is compatible with the scale and character of the existing street frontage, visually interesting and attractive in relation to the pattern of the neighborhood, and so designed that adequate areas are provided for front landscaping, street trees and on-street parking between driveways.

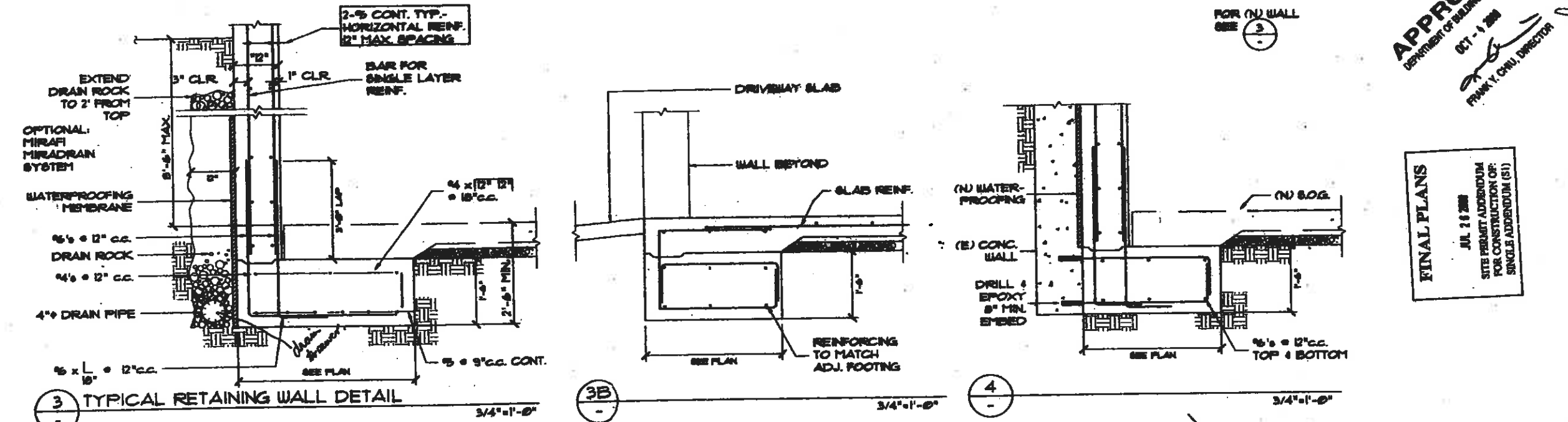
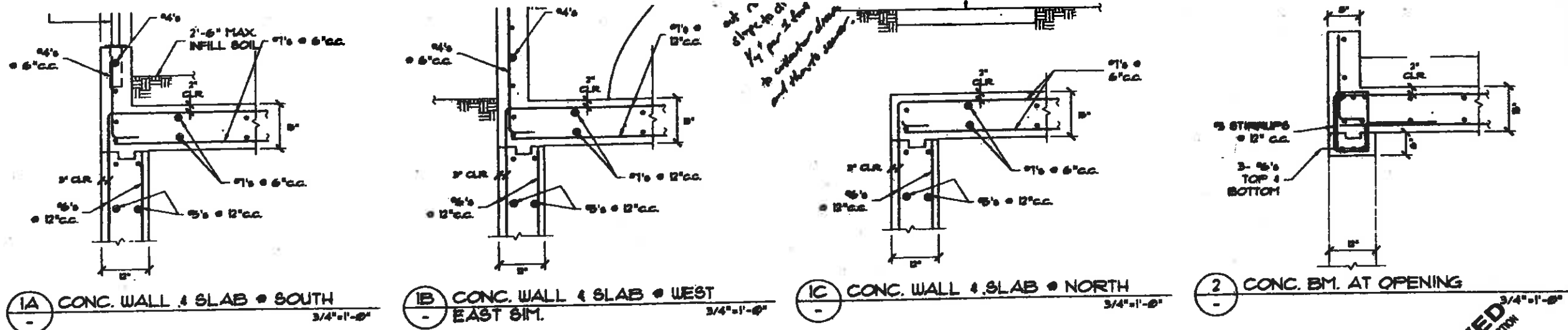
(b) **Entrances to Off-Street Parking.** Except as otherwise provided herein, in the case of every dwelling in such districts no more than 30 percent of the width of the ground story along the front lot line, or along a street side lot line, or along a building wall

that is set back from any such lot line, shall be devoted to entrances to off-street parking, except that in no event shall a lot be limited by this requirement to a single such entrance of less than 16 feet in width. In addition, no entrance to off-street parking for a dwelling on any lot shall be wider than 20 feet, and where two or more separate entrances are provided there shall be a minimum separation between such entrances of six feet. The requirements of this Subsection (b) shall not be applicable where the lot has an upward or downward slope from the front lot line to the forward edge of the required rear yard, along the centerline of the building, of more than 20 percent; or where the lot depth and the requirements of this Code for dimensions, areas and open spaces are such that the permitted building depth is less than 40 feet in an RH-2 District or less than 65 feet in an RH-3, RM-1 or RM-2 District.

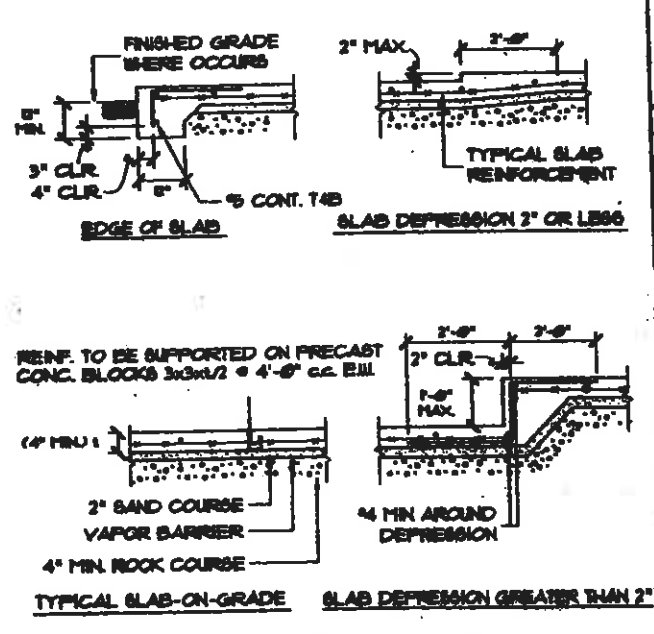


(c) **Features To Be Provided.** In the case of every dwelling in such districts, no less than 30 percent of the width of the ground story along the front lot line, along a street side lot line, and along a building wall that is set back from any such lot line, shall be devoted to windows, entrances for dwelling units, landscaping, and other architectural features that provide visual relief and interest for the street frontage. (Amended by Ord. 443-78, App. 10/6/78)

# EXHIBIT 2



**APPROVED** 3/4"=1'-0"  
 DEPARTMENT OF BUILDING INSPECTION  
 OCT - 1 2008  
 FRANK Y. CHU, DIRECTOR



**STANDARD HOOK LENGTH**

BAR SIZE	MAIN REINFORCEMENT		STIRRUP AND TIE HOOKS	
	30"	36"	30"	36"
#3	6"	4"	3"	4 1/2"
#4	8"	4"	4"	6"
#5	8 1/2"	4 1/2"	5"	7 1/2"
#6	11 1/2"	5 1/2"	6 1/2"	10"
#7	13 1/2"	6 1/2"	8 1/2"	11"
#8	15"	7"	9"	12"

**DIAMETER OF BENDS**

D1	D2
1/2" FOR #3 BARS	1 1/2" FOR #3 THRU #6 BARS
3/4" FOR #4 BARS	2" FOR #7 THRU #8 BARS
1" FOR #5 BARS	2 1/2" FOR #9 THRU #10 BARS
1 1/4" FOR #6 BARS	3" FOR #11 AND #14 BARS

NOTE: D1 TO BE USED FOR STIRRUPS, TIES & WALLS REINFORCING AT CORNERS.

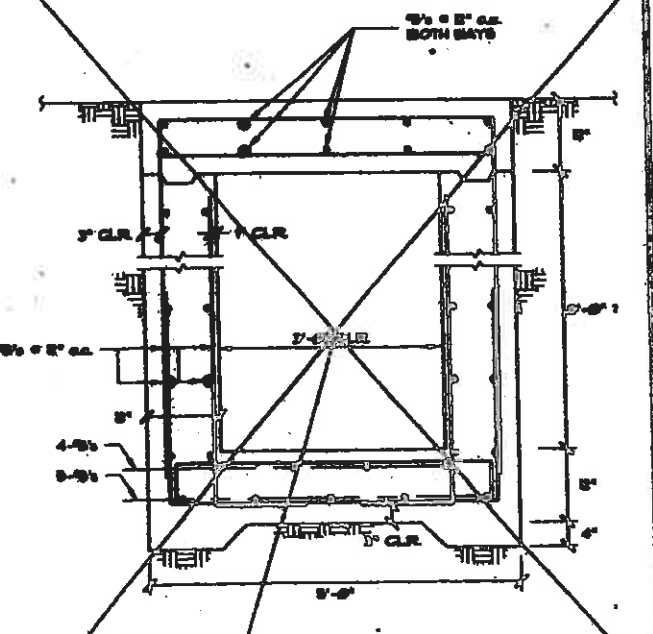
**CONCRETE SURFACE**

16 TIMES THE SPICE LENGTH (6" MAX)

WITH STANDARD HOOK WITHOUT HOOK

BAR SIZE	GRADE 40 REINFORCEMENT		GRADE 60 REINFORCEMENT	
	EMBEDMENT WITHOUT HOOK	EMBEDMENT WITH HOOK	EMBEDMENT WITHOUT HOOK	EMBEDMENT WITH HOOK
#3	8"	8"	7-3"	8"
#4	8"	8"	7-3"	8"
#5	8"	8"	7-3"	8"
#6	7-4"	8"	7-6"	8"
#7	7-8"	8"	7-6"	8"
#8	7-8"	8"	7-6"	8"
#9	7-8"	8"	7-6"	8"
#10	7-8"	8"	7-6"	8"

1 THE ABOVE LENGTHS ARE FOR CAST-IN-PLACE AND PRECAST CONCRETE.  
 2 ALL REINFORCING STEEL LAPS OR SPLICES SHALL BE AS INDICATED ON PLANS. WHERE LAP OR SPLICE LOCATIONS ARE NOT SPECIFICALLY INDICATED, LAPS OR SPLICES SHALL BE STAGGERED AT LEAST 7'-0" C.C.



DOUBLE-D ENGINEERING  
 71 HAYSTREET  
 SAN FRANCISCO, CA 94102  
 (415) 774-8888 FAX (415) 774-8888

**STRUCTURAL DETAILS**

**GARAGE EXTENSION  
 2220-22 SACRAMENTO  
 SAN FRANCISCO, CA**

Date: 1/2/08  
 Scale: AS NOTED  
 Drawn: ML  
 Job: 0030  
 Sheet: G-52  
 Of 4 Sheets

ALL VERIFY A. CONDITIONS AT JOB SITE BEFORE  
 B. AND SHALL REPORT ANY DISCREPANCIES TO THE  
 ENGINEER IMMEDIATELY UPON DISCOVERY OF THE DISCREPANCY.  
 ALL SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK FOR  
 THE PROJECT AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE  
 WORK AND MATERIALS BEFORE PROCEEDING WITH THE WORK.  
 ALL CHANGES TO THE DESIGN OR CONSTRUCTION SHALL BE  
 APPROVED BY THE ARCHITECT OR ENGINEER.  
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE  
 REQUIREMENTS OF THE SPECIFICATIONS AND THE CITY OF SACRAMENTO  
 ORDINANCES.  
 ALL MATERIALS SHALL BE OF THE QUALITY AND QUANTITY  
 SPECIFIED BY THE ARCHITECT OR ENGINEER.  
 ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL  
 BY THE CITY ENGINEER.  
 ALL MATERIALS SHALL BE STORED PROPERLY ON THE SITE.  
 ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME  
 FRAME.  
 ALL CHANGES TO THE DESIGN OR CONSTRUCTION SHALL BE  
 APPROVED BY THE ARCHITECT OR ENGINEER.  
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE  
 REQUIREMENTS OF THE SPECIFICATIONS AND THE CITY OF SACRAMENTO  
 ORDINANCES.

CONC: SEE FOUNDATION CODE, AND APPLICABLE LOCAL  
 CODES.

1/2" = 1'-0"  
 1/4" = 1'-0"

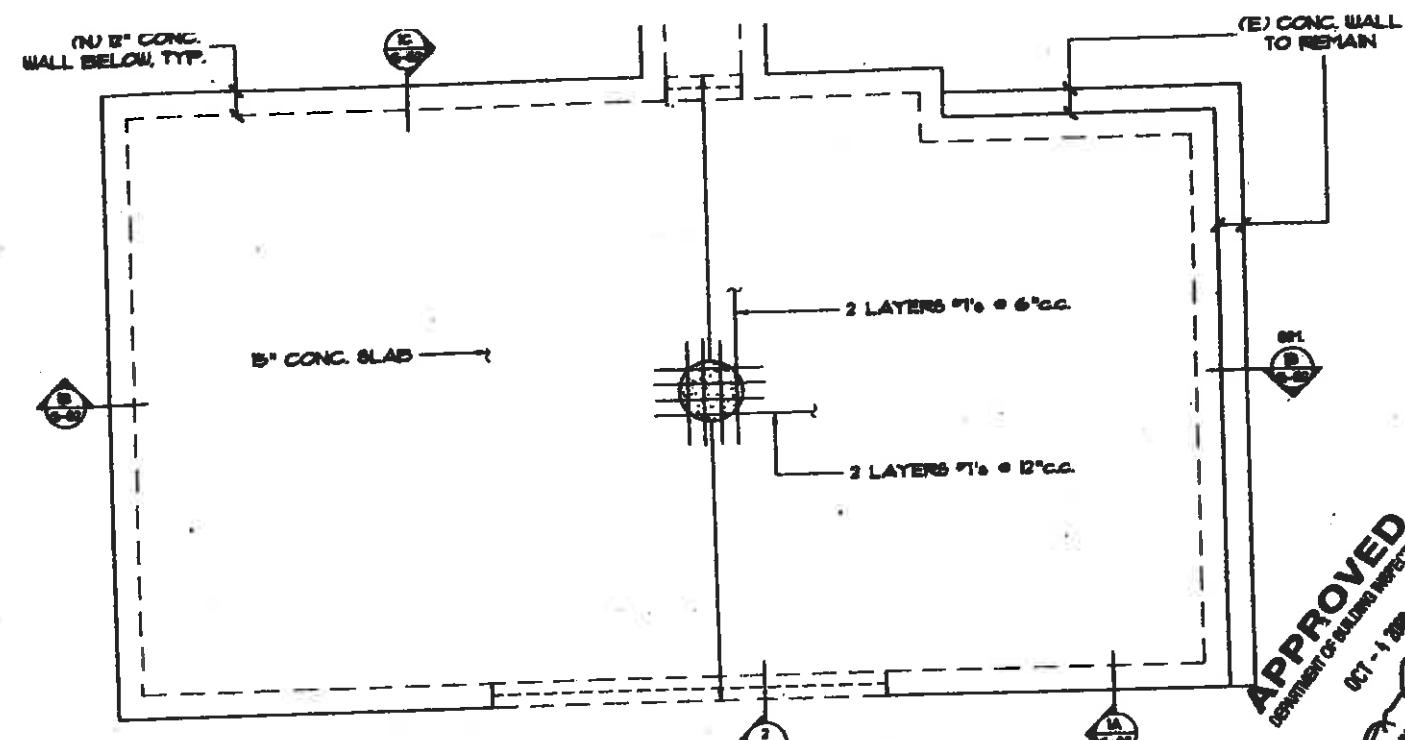
RECOMMENDATIONS:  
 (1) CONCRETE SHALL BE PLACED IN 24 HOURS AND SHALL  
 BE CURED BY SPRAYING WITH A CURING COMPOUND.  
 (2) ALL CONCRETE SHALL BE PLACED AT THE BOTTOM OF THE  
 FORMS.

LEARN	CONCRETE	FORMS	FORMWORK	REINFORCING	STEEL	STEEL
DIVISION	REINFORCING	STEEL	STEEL	STEEL	STEEL	STEEL
SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
ACH	ACH	ACH	ACH	ACH	ACH	ACH
SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION

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 ALL CONCRETE SHALL BE PLACED AT THE BOTTOM OF THE  
 FORMS.

LEARN	CONCRETE	FORMS	FORMWORK	REINFORCING	STEEL	STEEL
DIVISION	REINFORCING	STEEL	STEEL	STEEL	STEEL	STEEL
SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
ACH	ACH	ACH	ACH	ACH	ACH	ACH
SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION

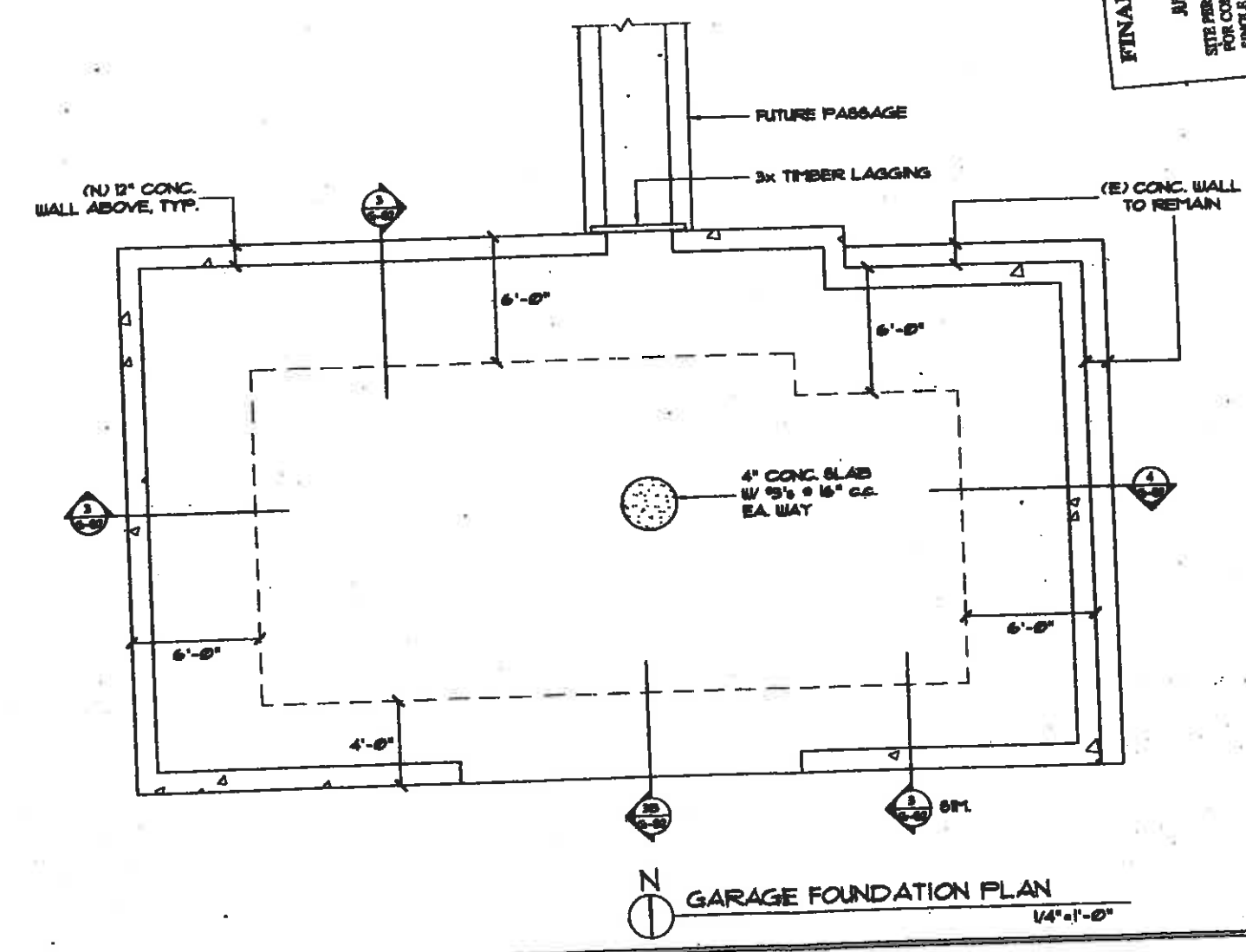
FOR REQUIRED FOR  
 CONCRETE WALL



**GARAGE FRAMING PLAN**  
 1/4" = 1'-0"

**APPROVED**  
 DEPARTMENT OF BUILDING INSPECTION  
 OCT 1 - 1 2000  
 FRANK Y. CHUI, DIRECTOR

**FINAL PLANS**  
 JUL 28 2000  
 SITE PERMIT ADDENDUM  
 FOR CONSTRUCTION OF:  
 SINGLE ADDENDUM (S1)



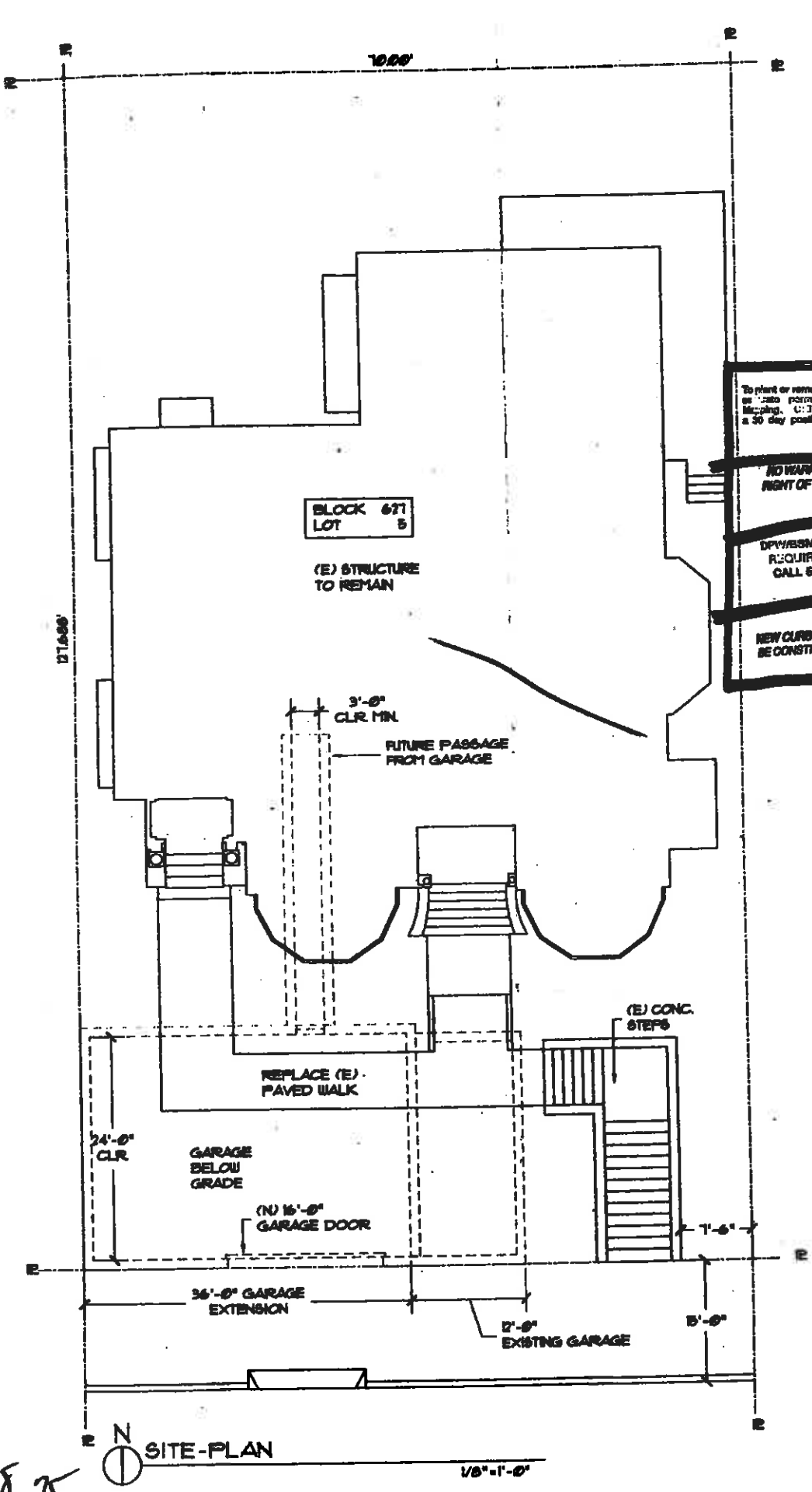
**GARAGE FOUNDATION PLAN**  
 1/4" = 1'-0"

DOUBLE-D ENGINEERING  
 71 HAIGHT STREET  
 SAN FRANCISCO, CA 94102  
 (415) 778-0088 FAX (415) 778-0088

**GARAGE AND FOUNDATION  
 FRAMING PLAN**

**GARAGE EXTENSION  
 2220-22 SACRAMENTO  
 SAN FRANCISCO, CA**

Date	12/00
Scale	AS NOTED
Drawn	M.
Job	0030
Sheet	G-51
Of 4 sheets	



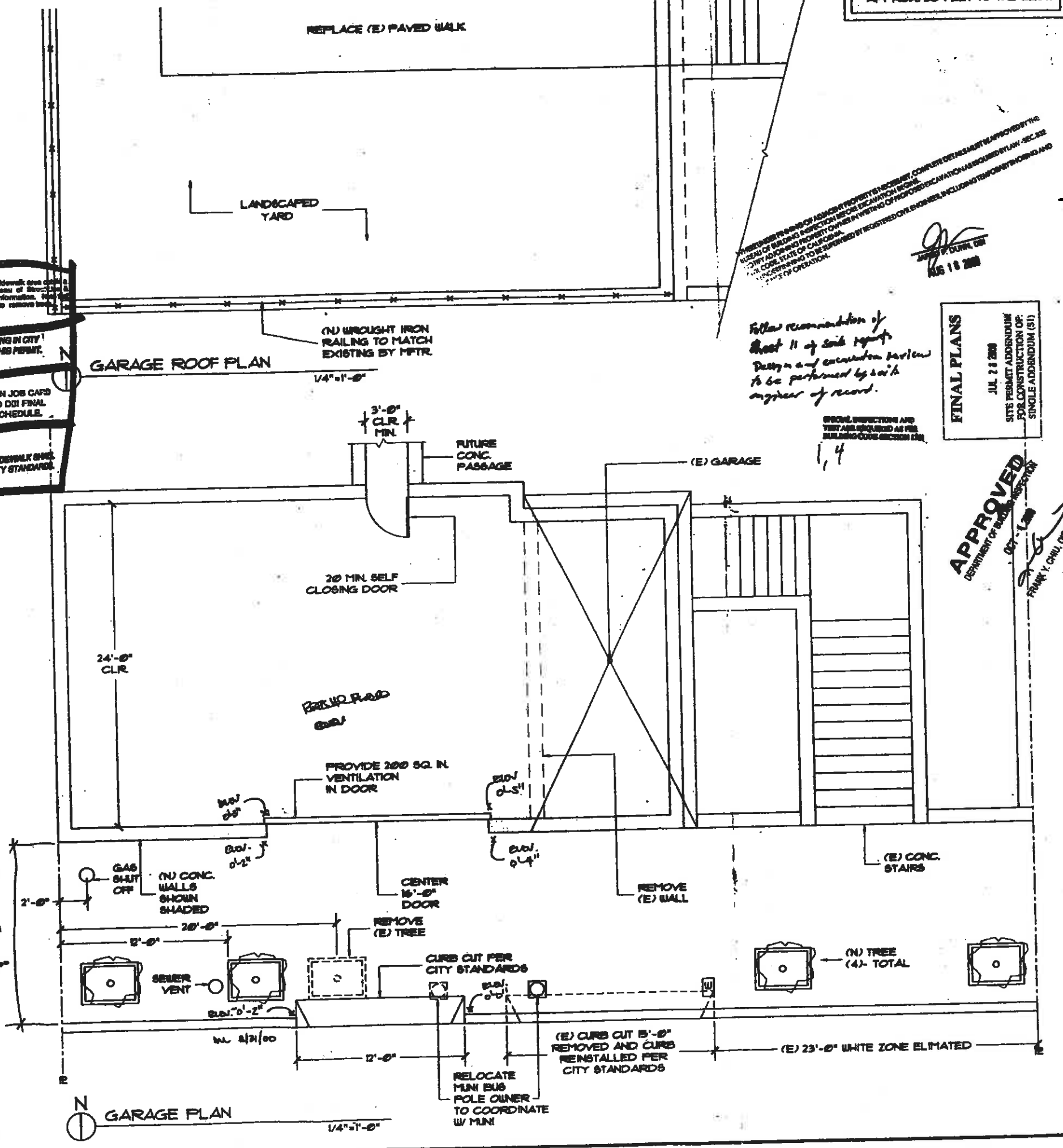
SITE-PLAN  
1/8" = 1'-0"

To plant or remove trees in the sidewalk area outside the lot, a permit from the Bureau of Street Mapping, 433 854-8753 for information. A 30 day posting is required to remove trees.

**NO WALKING OR TRAMPING IN CITY RIGHT OF WAY UNDER THIS PERMIT.**

**DEVIATION SIGN OFF ON JOB CARD REQUIRED PRIOR TO DOI FINAL. CALL 884-7148 TO SCHEDULE.**

**NEW CURB CUTS AND SIDEWALK SHALL BE CONSTRUCTED TO CITY STANDARDS.**



GARAGE PLAN  
1/4" = 1'-0"

APPROVAL OF ADJACENT PROPERTY IS SOLELY THE RESPONSIBILITY OF THE PROPERTY OWNER. COMPLETE DETAILS MUST BE APPROVED BY THE BUREAU OF BUILDING INSPECTION BEFORE CONSTRUCTION BEGINS.

CITY ADDRESS AND PROPERTY OWNER'S ADDRESS MUST BE PROVIDED TO THE BUREAU OF BUILDING INSPECTION AND THE CITY ENGINEER'S OFFICE.

THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF OPERATION.

*[Signature]*  
AUG 18 2008

*Follow recommendation of sheet 11 of submittal. Design and execution system to be performed by each engineer of record.*

**FINAL PLANS**

JUL 28 2008

SITS PERMIT ADDENDUM FOR CONSTRUCTION OF SINGLE ADDENDUM (S1)

**APPROVED**

DEPARTMENT OF BUILDING INSPECTION

*[Signature]*  
FRANK Y. CHIU, DIRECTOR

DOUBLE-D ENGINEERING  
71 HIGHT STREET  
SAN FRANCISCO, CA 94102  
(415) 398-1888

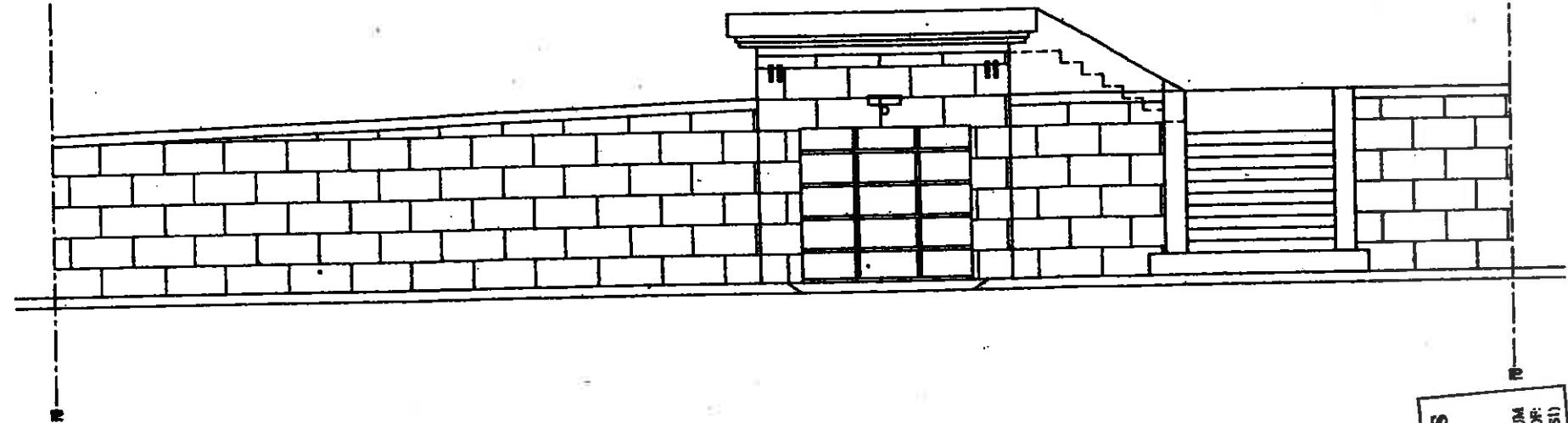


PROPOSED GARAGE PLAN  
GITEPI AN

GARAGE EXTENSION  
222D-22 SACRAMENTO

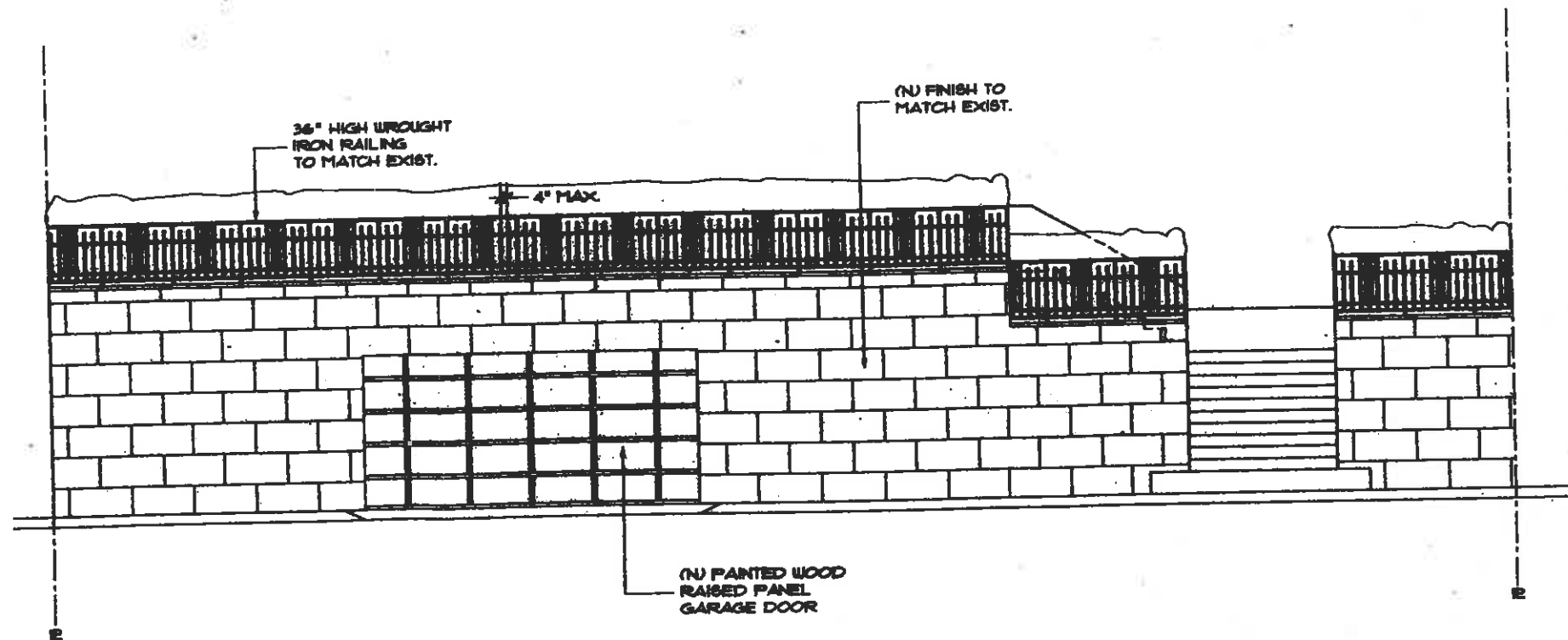
Date 1/28/08  
Scale AS  
Draw  
Job  
Sheet  
of 4

28.75  
67.50



**EXISTING GARAGE ELEVATION**  
1/4"=1'-0"

**FINAL PLANS**  
JUL 28 2009  
SITE PERMIT ADDENDUM  
FOR CONSTRUCTION OF:  
SINGLE ADDENDUM (S1)



**PROPOSED GARAGE ELEVATION**  
1/4"=1'-0"



**EXIST. & PROPOSED**  
**GARAGE ELEVATIONS**

**GARAGE EXTENSION**  
**2220-22 SACRAMENTO**

Date	7/28/09
Scale	AS SHOWN
Drawn	
Job	
Sheet	
Of	4



The attached application falls under the Labor Code Sec. 6500 in that it involves the type of construction work checked below:

- Construction of trenches or excavations which are 5 feet or deeper and into which a person is required to descend.
- The construction of any building, structure, falsework, or scaffolding more than 3 stories high or the equivalent height (36 ft.).
- The demolition of any building, structure, falsework, or scaffold, more than 3 stories high or the equivalent height (36 ft.).

A DEPT OF BUILDING Insp. D

OCT - 4 2000

DIRECTOR  
DEPT OF BUILDING INSPECTION

GARAGE PERMIT

APPROVAL FOR ISSUANCE

3/8

APPLICATION NUMBER: 5

APPROVAL NUMBER:

**APPLICATION FOR BUILDING PERMIT  
ADDITIONS, ALTERATIONS OR REPAIRS**

FORM 3  OTHER AGENCIES REVIEW REQUIRED

FORM 8  OVER-THE-COUNTER ISSUANCE

**CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF BUILDING INSPECTION**

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

2

NUMBER OF PLAN SETS

DATE FILED 5/26/00	FILING FEE RECEIPT NO. 312809	(1) STREET ADDRESS OF JOB 2229/2222 SACRAMENTO	BLOCK & LOT 0627/005
PERMIT NO. 923149	ISSUED 10-4-00	(2A) ESTIMATED COST OF JOB 75,000	(2B) REVISED COST: \$70,000
		BY: [Signature]	DATE: 8/7/00

**INFORMATION TO BE FURNISHED BY ALL APPLICANTS**

LEGAL DESCRIPTION OF EXISTING BUILDING					
(4A) TYPE OF CONSTR. I	(5A) NO. OF STORIES OF OCCUPANCY 2	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE: TWO FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 2
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) CONSTR. I	(5) NO. OF STORIES OF OCCUPANCY 2	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) TWO FAMILY	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 2

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES  NO

(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES  NO

(12) ELECTRICAL WORK TO BE PERFORMED? YES  NO

(13) PLUMBING WORK TO BE PERFORMED? YES  NO

(14) GENERAL CONTRACTOR: NONE SELECTED

(15) OWNER - LESSEE (CROSS OUT ONE): MITCH MENARD

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT):

CONVERT EXISTING ONE CAR GARAGE INTO A FOUR CAR GARAGE. RELOCATE CURB CUT. CONNECT GARAGE TO THE EXISTING BASEMENT. (ALL WORK IN CONNECTION WITH APPROVED CERTIFICATE OF APPROPRIATENESS, CASE # 2000.141A)

**ADDITIONAL INFORMATION**

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT. 	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT. 
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

3) ARCHITECT OR ENGINEER (DESIGN/CONSTRUCTION): DOUBLE-D ENGINEERING, 71 HAIGHT ST. 94102, CALIF. CERTIFICATE NO. 53923

4) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER 'UNKNOWN').

**IMPORTANT NOTICES**

... shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

... portion of building or structure or scaffolding used during construction, to be closer than 6'0" to overhead power lines or wires containing more than 750 volts. See Sec. 385, California Penal Code.

... pursuant to San Francisco Building Code, the building permit shall be posted on the job. The permit holder is responsible for approved plans and application being kept at building site.

... grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this department for approval.

... STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

... BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

... APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE ELECTRICAL AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF THE WORK IS TO BE DONE BY OTHER LICENSED PROFESSIONALS.

**NOTICE TO APPLICANT**

**HOLD HARMLESS CLAUSE:** The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below:

I hereby affirm under penalty of perjury one of the following declarations:

( ) I. I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

( ) II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier

# CONDITIONS AND STIPULATIONS

REFER TO: APPROVED: contact the district building inspector at the start of work call 58-8096. For plumbing inspection scheduling call 586-6054, for electrical inspection scheduling call 588-6030. This application is approved without site inspection, detailed plumbing or electrical plan review and does not constitute an approval of the building. Work authorized must be done in strict accordance with all applicable codes. Any electrical or plumbing work shall require appropriate separate permits.

**PROVIDE SMOKE DETECTOR(S)  
PER SFBC SEC. 1210 (a)**

*[Signature]* 8/7/00  
BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

DATE: \_\_\_\_\_  
REASON: \_\_\_\_\_  
  
NOTIFIED MR. \_\_\_\_\_

APPROVED: Rev 2000.141A

*[Signature]* 7/12/00  
DEPARTMENT OF CITY PLANNING

DATE: \_\_\_\_\_  
REASON: \_\_\_\_\_  
  
NOTIFIED MR. \_\_\_\_\_

APPROVED: *[Signature]*

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

DATE: \_\_\_\_\_  
REASON: \_\_\_\_\_  
  
NOTIFIED MR. \_\_\_\_\_

APPROVED: **SPECIAL INSPECTIONS AND TEST ARE REQUIRED AS PER BUILDING CODE SECTION 1701.**

*[Signature]*  
JARED P. DUNN, DBI  
AUG 18 2000

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

DATE: \_\_\_\_\_  
REASON: \_\_\_\_\_  
  
NOTIFIED MR. \_\_\_\_\_

APPROVED: As noted on plans.

*[Signature]*  
BUREAU OF ENGINEERING

*[Signature]*  
8-31-00 BSM

DATE: \_\_\_\_\_  
REASON: \_\_\_\_\_  
  
NOTIFIED MR. \_\_\_\_\_

APPROVED:

DEPARTMENT OF PUBLIC HEALTH

DATE: \_\_\_\_\_  
REASON: \_\_\_\_\_  
  
NOTIFIED MR. \_\_\_\_\_

APPROVED:

REDEVELOPMENT AGENCY

DATE: \_\_\_\_\_  
REASON: \_\_\_\_\_  
  
NOTIFIED MR. \_\_\_\_\_

APPROVED:

HOUSING INSPECTION DIVISION

DATE: \_\_\_\_\_  
REASON: \_\_\_\_\_  
  
NOTIFIED MR. \_\_\_\_\_

HOLD SECTION — NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

\_\_\_\_\_  
OWNER'S AUTHORIZED AGENT



## PLANNING DEPARTMENT

City and County of San Francisco • 1660 Mission Street, Suite 500 • San Francisco, California • 94103-2414

MAIN NUMBER  
(415) 558-6378

DIRECTOR'S OFFICE  
PHONE: 558-6411  
4TH FLOOR  
FAX: 558-6426

ZONING ADMINISTRATOR  
PHONE: 558-6350  
5TH FLOOR  
FAX: 558-6409

PLANNING INFORMATION  
PHONE: 558-6377  
MAJOR ENVIRONMENTAL  
FAX: 558-5991

COMMISSION CALENDAR  
INFO: 558-6422  
INTERNET WEB SITE  
WWW.SFGOV.ORG/PLANNING

### CERTIFICATE OF APPROPRIATENESS

**Case No:** 2004.0543A      **Assessor's Block:** 0627: Lot: 005

**Address of Property:** 2220 Sacramento Street

**Date Application Filed:** June 8, 2004

**Landmark No.:** 119    **Name of Structure:** Chambers Mansion

**Historic District:** none

#### **Description of Work Proposed:**

The subject lot is approximately 70 feet wide by 128 deep. This project proposes the legalization of a previous expansion (without benefit of a building permit) of the width of an existing garage door from 16 feet to 18 feet. The street level garage, located in the front setback of the subject property, provides side-by-side parking for four cars. The existing garage door is 7.5 feet tall and it is constructed with painted raised wood panels.

**Action by the Landmarks Preservation Board Advisory Board on October 20, 2004:** The Landmarks Preservation Advisory Board held a public hearing on this proposal on October 20, 2004. A motion to take staff recommendations and approve the project proposal with conditions to install two new garage doors, each 8 to 9 feet in width, and install landscaping on either side of the new garage doors, failed 4 to 3.

#### **Action by the Planning Department: APPROVED WITH CONDITIONS**

Staff has reviewed the proposed work and the action of the Landmarks Preservation Advisory Board and has determined that the proposed work would not have a significant impact upon, and would not be potentially detrimental to Landmark Number 119, the Chambers Mansion, in conformance with architectural plans (labeled Exhibit A and dated June 5, 2003) on file in docket no. **2004.0543A**, with the following conditions, based upon the following findings.

#### **Conditions**

- That the existing garage door, built without benefit of a permit, be reduced from 18 feet to 16 feet in width so as to be in compliance with Building Permit No. 2000.0526.1151 issued on September 1, 2000, and pursuant to Certificate of Appropriateness, Case No. 2000.141A, with action by the Landmarks Preservation Advisory Board on April 14, 2000 and approved by the Planning Department on July 18, 2002, to authorize the construction of a two-car garage with a 16 foot wide garage door.

## **CERTIFICATE OF APPROPRIATENESS**

Case No. 2004.0543A

2220 Sacramento Street

Page 2

- The garage door design, materials, detailing and form shall be compatible with the subject building and the two adjacent buildings on either side.
- The garage doors shall be flanked with landscaping, which shall be irrigated and maintained at all times.

### **Findings of the Department**

- That the existing garage door was expanded from the proposed width of 16 feet (per Building Permit No. 2000.0526.1151, issued on 9/1/2000, pursuant to Certificate of Appropriateness, Case No. 2000.141A, with action by the Landmarks Preservation Advisory Board on April 14, 2000 and approved by the Planning Department on July 18, 2002, to authorize the construction of a two-car garage with a 16 foot wide garage door) to an 18 - foot width, without benefit of a building permit and a new Certificate of Appropriateness authorization.
- The proposal will not entail the removal, alteration or obstruction of any, character-defining, historic feature.
- The historic features or characteristics of the Chambers Mansion, Landmark Number 119, would not be altered, removed or demolished; the project does not entail removing any of the features that are typical of the Landmark's structure, therefore the proposal is in conformance with the following Secretary of the Interior's Standards:

**Standard 2:**

*The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

- The proposal does not include alterations to the historic structure, but rather to the non-historic garage.

**Standard 9:**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

- The proposal does not include alterations to the historic structure, but rather to the non-historic garage, therefore the integrity of the historic structure will be protected. Materials and design will distinguish the improvements from the historic structure.

**CERTIFICATE OF APPROPRIATENESS**

Case No. 2004.0543A  
2220 Sacramento Street  
Page 3

*Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

- The proposal includes improvements to the non-historic garage and will be undertaken in such a way that the garage could be removed in the future and the essential form and integrity of the historic property and its environment would be unimpaired.
- For these reasons, the proposal will not adversely affect the exterior features of the Landmark structure;
- For these reasons, the proposal will not adversely affect the special character or special historical, architectural or aesthetic interest or value of the structure and site, as viewed both in themselves and in the setting;
- With the above conditions, the proposal overall is appropriate for and consistent with the purposes of Article 10 and meets the standards of Article 10 and the Secretary of Interior's Standards for Rehabilitation.

December 7 2004  
Date

Dean L. Macris  
Dean L. Macris  
Interim Director of Planning

This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Director of Planning. Implementation of this Certificate of Appropriateness is accomplished by completion of construction work (verified through a job card signed by a District Building Inspector) after issuance of an appropriate Building Permit.

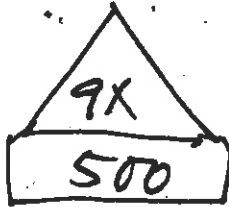
**APPEAL:** Any aggrieved person may appeal the action on this Certificate of Appropriateness by appeal of the issuance of the Building Permit required to implement the proposed work. Contact the Board of Appeals (575-6880) for instructions on filing a permit appeal.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

# SITE PERMIT

OCT 18 2004

THIS APPLICATION APPROVED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



**DISAPPROVED**  
 CANCELLED ON: 1/5/05  
 NOTIFIED:  
 MAILED ON: 12/15/04

BLDG. FORM

3/8

APPROVED FOR ISSUANCE

APPLICATION NUMBER

APPROVAL NUMBER

110  
 No. V. 200341797 for Gary Lee - dk S

## APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

## CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

FORM 3  OTHER AGENCIES REVIEW REQUIRED

FORM 8  OVER-THE COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

WRITE ABOVE THIS LINE

DATE FILED 10/18/04	FILING FEE RECEIPT NO. 246714	(1) STREET ADDRESS OF JOB 2220-2222 SACRAMENTO ST.	BLOCK & LOT 0627/005
PERMIT NO.	ISSUED	(2A) ESTIMATED COST OF JOB \$1.00	(2B) REVISED COST: BY: DATE:

### INFORMATION TO BE FURNISHED BY ALL APPLICANTS

#### LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. VN	(5A) NO. OF STORIES OF OCCUPANCY 0	(6A) NO. OF BASEMENTS AND CELLARS 0	(7A) PRESENT USE GARAGE	(8A) OCCUP. CLASS U1	(9A) NO. OF DWELLING UNITS 0
----------------------------	---------------------------------------	--	----------------------------	-------------------------	---------------------------------

#### DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. VN	(5) NO. OF STORIES OF OCCUPANCY 0	(6) NO. OF BASEMENTS AND CELLARS 0	(7) PROPOSED USE (LEGAL USE) GARAGE	(8) OCCUP. CLASS U1	(9) NO. OF DWELLING UNITS 0
---------------------------	--------------------------------------	---------------------------------------	--	------------------------	--------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--	--	--	--

(14) GENERAL CONTRACTOR NOT SELECTED	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
---	---------	-----	-------	-----------------	-----------------

(15) OWNER (CHECK ONE) MITCH MENAGED	ADDRESS 2222 SACRAMENTO ST	ZIP	BTRC#	PHONE (FOR CONTACT BY DEPT.) DICKDRAW 552-1888
---	-------------------------------	-----	-------	---

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)  
 APPLICATION ASSOCIATED WITH VARIANCE 2004.0061V.  
 TO REFLECT AS-BUILT CONDITIONS OF GARAGE DOOR - 18'  
 TO RESOLVE N.D.V - ATTACHED BID NO. 200341797

#### ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT.	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW-GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/> DOUBLE-D ENGINEERING	ADDRESS 67 Haight St SF CA 94102	CALIF. CERTIFICATE NO. S3928
--	-------------------------------------	---------------------------------

(26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER "UNKNOWN") UNKNOWN	ADDRESS
---	---------

#### IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 60" to any wire containing more than 750 volts See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this approval.

ANY STIPULATIONS OR BY CODE MAY BE APPEALED.

#### NOTICE TO APPLICANT

**HOLD HARMLESS CLAUSE.** The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

( ) 1. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance the work for which this

# CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED:	DATE: REASON: <i>Provisional Compliance</i>
<input type="checkbox"/>	<p style="text-align: center;">BUILDING INSPECTOR, DEPT. OF BLDG. INSP.</p> <p><i>DLB</i> APPROVED: <i>per Certificate of Appropriateness</i>  <i>Case No. 2004.0543A (copy attached)</i>  <i>Daniel Ludwig 12/8/04</i>                  DEPARTMENT OF CITY PLANNING</p>	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	<p style="text-align: center;">BUREAU OF FIRE PREVENTION &amp; PUBLIC SAFETY</p>	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	<p style="text-align: center;">MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION</p>	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	<p style="text-align: center;">CIVIL ENGINEER, DEPT. OF BLDG INSPECTION</p>	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	<p style="text-align: center;">BUREAU OF ENGINEERING</p>	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	<p style="text-align: center;">DEPARTMENT OF PUBLIC HEALTH</p>	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	<p style="text-align: center;">REDEVELOPMENT AGENCY</p>	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DATE: REASON:

# EXHIBIT 4



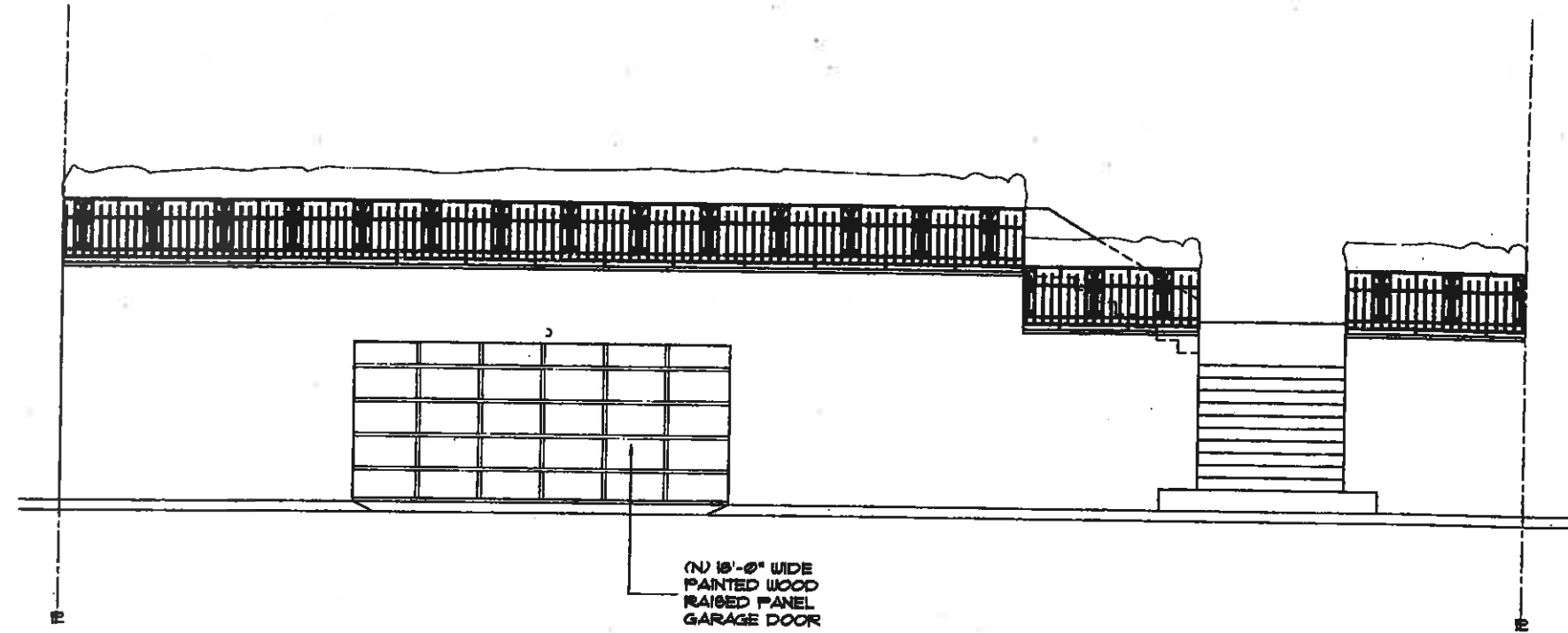




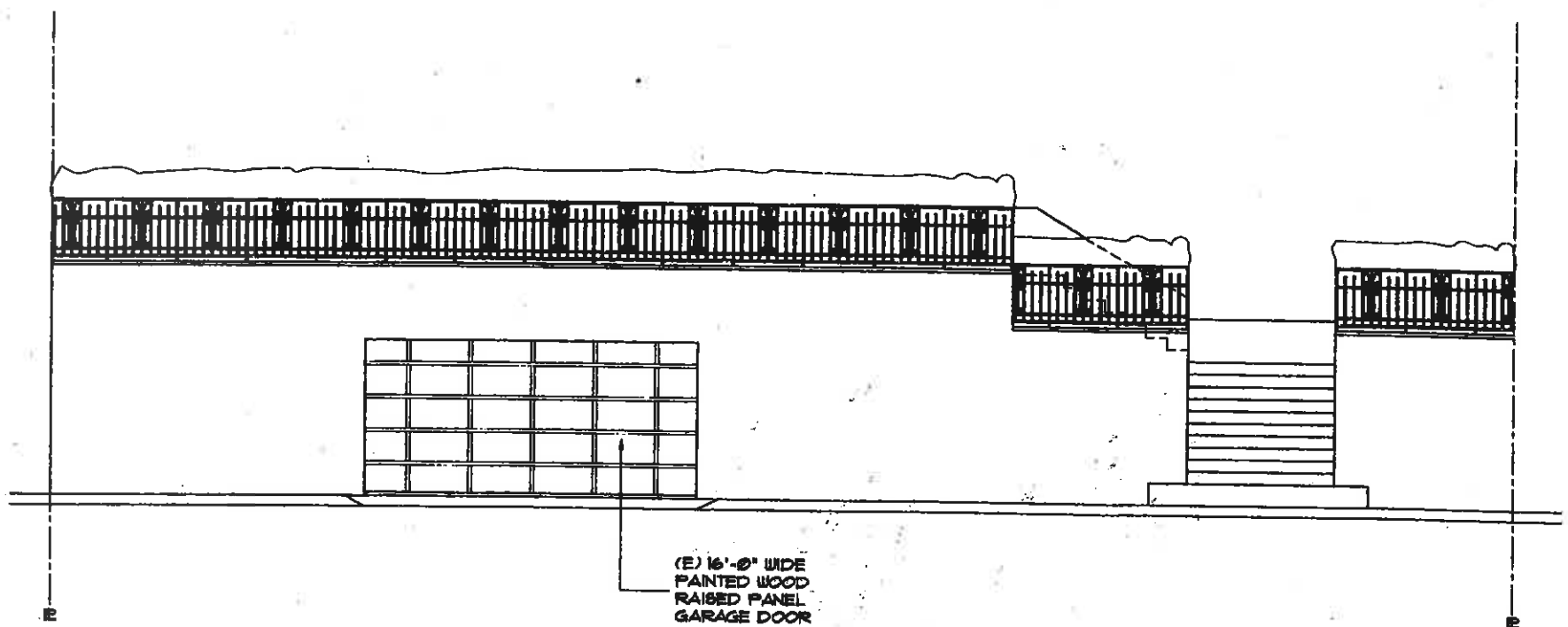
Across Street from Subject Property



# EXHIBIT 5



PROPOSED GARAGE ELEVATION  
1/4" = 1'-0"



PROPOSED GARAGE ELEVATION  
1/4" = 1'-0"

NO.	REVISIONS

DOUBLE-D ENGINEERING  
67 HAIGHT STREET  
SAN FRANCISCO, CA 94102  
(415) 774-2800 OFFICE (415) 774-2801 FAX



EXIST. & PROPOSED  
GARAGE ELEVATIONS

GARAGE DOOR WIDENING  
2220-22 SACRAMENTO  
SAN FRANCISCO, CA

Date 6/25/03  
Scale AS NOTED  
Drawn FZ

# COPY

## Case Tracking

BOARD OF APPEALS

MAY 04 2005

Case No. 2004-0064  
Project Name 2220 SACRAMENTO ST

Parcel Number 0627 / 005 Zoning

APPEAL # 05-002

Cross Streets

Sponsor Jeremy Paul

Description Variance sought for garage door width in the RH-2 District per Section 144 of the Planning Code. The proposal is to legalize the 18' wide garage door at the property.

### Case Information

Suffix	File Date	Planner	Docket Location	Status
E	07/15/2004	NANNIE TURRELL	MEA	Closed

#### Case Information

Construction Cost	Initial Fee	Balance
	\$160.00	

Action Date	Entity	Action	Action No.
07/26/2004	MEA	Cat Ex Class 1(a)	

Suffix	File Date	Planner	Docket Location	Status
	01/20/2004	ELAINE TOPE	5TH FLOOR RECORD CENTER	Closed

#### Case Information

Section 144 and 305.

Construction Cost	Initial Fee	Balance
\$500.00	\$1,065.00	

Action Date	Entity	Action	Action No.
10/24/2004	DCP	By Vacant	

### Building Permit Applications

Application No.

200410187116

FAML6500 V4.2

CITY/COUNTY OF SAN FRANCISCO PRODUCTION: FAMIS

03/23/2005

LINK TO:

ACCOUNT DETAIL INQUIRY

4:41 PM

ACTIVE

FISCAL MO/YR : 07 2005 JAN 2005 FUNDING PD : CURRENCY CODE :

INDEX CODE : 290225 CURRENT PLANNING - REV

SUBOBJ : 60188 CITY PLANNING APPLIC USERCD :

PROJ : PJDTL :

GRANT : GR DTL :

G/L : - T/C :

CLASS :

S	POST DATE	T/C	DOCUMENT	DOCUMENT REF	CHECK NO	AMOUNT
			D E S C R I P T I O N		VENDOR	
	01/10/2005	217	RRCR05000015 01 CPC05040		02837870	-1,065.00
	*T20040070*		FEE REFUND - CASE NO. 2004.0061V		QUICKDRAW PERMIT CONSULT	
	01/28/2005	217	RRCR05000016 01 CPC05042		02850538	-117.00
			FEE REFUND DUE TO WITHDRAWAL REQUEST OF APPLICANT		THEODORE BROWN & PARTNER	

F1-HELP

F2-SELECT

F4-PRIOR

F5-NEXT

F7-PRIOR PG F8-NEXT PG F9-LINK

G014 - RECORD FOUND



# PLANNING DEPARTMENT

City and County of San Francisco • 1660 Mission Street, Suite 500 • San Francisco, California • 94103-241

MAIN NUMBER  
(415) 558-6378

DIRECTOR'S OFFICE  
PHONE: 558-6411  
4TH FLOOR  
FAX: 558-6426

ZONING ADMINISTRATOR  
PHONE: 558-6350  
5TH FLOOR  
FAX: 558-6409

PLANNING INFORMATION  
PHONE: 558-6377  
MAJOR ENVIRONMENTAL  
FAX: 558-5991

COMMISSION CALENDAR  
INFO: 558-6422  
INTERNET WEB SITE  
WWW.SFGOV.ORG/PLANNING

## CLAIM FOR REFUND(Administrative Code Section 10-43)

[Fill out any blanks above the double line not already completed (item 7 is optional) and return to the Department of City Planning.]

Claimant makes a claim as described below for refund of money paid to the City and County of San Francisco.

1. Claimant's Name: Quickdraw Permit Consulting
2. Address: c/o Mr. Jeremy Paul, Quickdraw Permit Consulting, 60 Otis Street, San Francisco, CA 94103
3. To whom was payment made: Planning Department
4. Purpose of payment: Variance Application
5. Paid: \$ 1,065.00  
Receipt No.: T20040070  
Case#: 2004.0061 V  
Date: 01/20/2004
6. Reason for refund request: Intake Error
7. Describe any other facts surrounding your transaction and request for refund so as to permit an understanding of the merits of your claim.  

---

(Use other side, if necessary)

This claim is filed within HALF YEAR after the last item of the account or claim accrued, with the head of the department, board or commission originally receiving the money and the amount claimed is justly due.

I DECLARE (OR AFFIRM) UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT.

(Signed)

Execution: \_\_\_\_\_  
(City, County, State where executed)

Date of execution:

If signed by a person other than claimant named above, state relationship, name and address:

=====  
To: Controller, City Hall, Room 316, 1 Carlton B. Goodlett Place, San Francisco, CA 94102  
I certify that the claim made above is legally allowable and recommend a refund of \$ 1,065.00 under authority of Administrative Code Section 10-43 and Planning Code Section 351(f).

\_\_\_\_\_  
Lawrence B. Badiner,  
Zoning Administrator  
Planning Department  
Date: \_\_\_\_\_



# PLANNING DEPARTMENT

City and County of San Francisco • 1660 Mission Street, Suite 500 • San Francisco, California • 94103-24

MAIN NUMBER  
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FAX: 558-5991

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INFO: 558-6422  
INTERNET WEB SITE  
WWW.SFGOV.ORG/PLANNING

November 8, 2004

Mr. Jeremy Paul  
Quickdraw Permit Consulting  
60 Otis Street  
San Francisco, CA 94103-1220

**RE: Case #: 2004.0061 V  
Variance Application's Refund  
2220 Sacramento Street**

Dear Mr. Paul:

Please sign and date the attached Claim for Refund form and return it to:

Planning Department  
City and County of San Francisco  
1660 Mission Street, 5th Floor  
San Francisco, CA 94103-2414

ATTN: Yvonne Ko

You may reach her at (415) 558-6386 should you have any questions.

Sincerely,

Linda D. Avery  
Chief of Administration & Finance  
San Francisco Planning Department



**Elaine Tope**

10/05/2004 04:14 PM

To: Yvonne Ko

cc:

cc:

Subject: 2220 Sacramento Street, case # 2004.0061

Yvonne: Per Larry B's determination that this garage door width expansion does not require a variance, please issue a full refund for this case. Do your records indicate a fee of \$1,065?

Thanks,  
et

Elaine Tope  
Neighborhood Planning, Northwest Team  
City and County of San Francisco  
1660 Mission Street  
San Francisco, CA 94103-2414  
Voice: 415 558 6316  
Fifth Floor Fax: 415 558 6409



**Elaine Tope**

10/05/2004 04:22 PM

To: Marge Gambelin/CTYPLN/SFGOV@SFGOV  
cc: Larry Badiner/CTYPLN/SFGOV@SFGOV, David  
Lindsay/CTYPLN/SFGOV@SFGOV, Neil  
Hart/CTYPLN/SFGOV@SFGOV

Subject: 2220 Sacramento Street, case # 2004.0061

Marge: Per Larry's determination that this garage door width expansion does not require a variance, please remove this case from the Oct. 27th calendar.

2220 Sacramento Street, case # 2004.0061

Thank you  
et

Elaine Tope  
Neighborhood Planning, Northwest Team  
City and County of San Francisco  
1660 Mission Street  
San Francisco, CA 94103-2414  
Voice: 415 558 6316  
Fifth Floor Fax: 415 558 6409



RETURN DOCKET TO:  
(PRINT IN LEAD)

Stalinski  
5/04

PLANNER ASSIGNED

*Elope*

5/26/04  
Case No.

SITE LOCATION 2220 Sacramento Street

BLOCK/LOTS) 627/005

CASE NO. 04.006

FILING DATE	1/20/04	CONST. COST:	500.00	FEE	1065.00	RECEIPT NO.	
APPLICANT	Savary Paul	Quickens Point Courtg Street	60 045	ADDRESS	94103	PHONE	552-1888
OWNERS	Gary Raygo	2220 Sacramento	94115	ADDRESS		PHONE	552-1888

TEAM FORMER NEIGHBORHOOD	<i>Team former Pacific Heights</i>	ZONING	RH-2
--------------------------	------------------------------------	--------	------

PROPOSAL: *Various small fee garage door with in RH-2 District per Section 144 TL prepared in to log for the 18 inch garage door*

NOTICE OF INCOMPLETE APPLICATION  
DATE SENT: \_\_\_\_\_  
REASONS: \_\_\_\_\_

ACTION OF BOARD OF SUPERVISOR'S COMMITTEE  
DATE: \_\_\_\_\_  
RECOMMENDATION: \_\_\_\_\_  
FILE NO: \_\_\_\_\_

RELATED PROPOSALS: NO BPA - Lot A in Area - Ck Ck

PLANNER ASSIGNED  
EE NO. \_\_\_\_\_  
DATE NEG DECER FINALIZED: \_\_\_\_\_  
RES. NO. \_\_\_\_\_  
ADDITIONAL ACTION/DATE: \_\_\_\_\_

ACTION OF BOARD OF SUPERVISORS  
DATE: \_\_\_\_\_  
FILING: \_\_\_\_\_  
APPEAL:  \_\_\_\_\_  
FILE INK: \_\_\_\_\_

REMARKS: *NEW'S CFE & before 7 am on 3/24/04 - No Workweek Activities*

ACTION OF LANDMARK PRESERVATION ADVISORY BOARD  
DATE: \_\_\_\_\_  
FILING: \_\_\_\_\_  
RES. NO. \_\_\_\_\_

ACTION OF ZONING ADMINISTRATOR  
DATE: \_\_\_\_\_  
FILING: \_\_\_\_\_  
LETTER DATE: \_\_\_\_\_  
EFFECTIVE DATE: \_\_\_\_\_

ADDITIONAL FEES: \_\_\_\_\_  
RECEIPT NO: \_\_\_\_\_

ACTION OF CITY PLANNING COMMISSION  
DATE: *Nov 30 2004*  
FILING: *627-27-2004*  
MTN. NO. \_\_\_\_\_

ACTION ON BUILDING PERMIT APPLICATIONS  
DATE: \_\_\_\_\_  
SUBJECT: \_\_\_\_\_  
ACTION: \_\_\_\_\_  
DATE: \_\_\_\_\_

COPY

Case Tracking

05-002

Received 5/11/05

From DCP  
for 5/11

Case No. 2004.0543  
Project Name 2220 Sacramento Street  
Parcel Number 0627 / 005  
Cross Streets  
Sponsor Eve Hodson

BOARD OF APPEALS

MAY 04 2005

Zoning

APPEAL # 05-002

Description Widen garage door from 16 feet to 18 feet on a detached garage, which provides parking for a Landmark Building. The garage was built in 2001, permit No. 2000.05.26.1151. C of A No. 2000.141A for garage construction.

Case Information

Suffix	File Date	Planner	Docket Location	Status
	06/08/2004	ELAINE TOPE	5th Floor Record Center	Closed

Case Information

Construction Cost	Initial Fee	Balance
\$350.00	\$223.00	

Action Date	Entity	Action	Action No.
10/20/2004	LFB	Motion to approve	
12/07/2004	DCP	Co/A approved/cond	



# PLANNING DEPARTMENT

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WWW.SFGOV.ORG/PLANNING

## CERTIFICATE OF APPROPRIATENESS

**Case No:** 2004.0543A      **Assessor's Block:** 0627: Lot: 005

**Address of Property:** 2220 Sacramento Street

**Date Application Filed:** June 8, 2004

**Landmark No.:** 119      **Name of Structure:** Chambers Mansion

**Historic District:** none

### **Description of Work Proposed:**

The subject lot is approximately 70 feet wide by 128 deep. This project proposes the legalization of a previous expansion (without benefit of a building permit) of the width of an existing garage door from 16 feet to 18 feet. The street level garage, located in the front setback of the subject property, provides side-by-side parking for four cars. The existing garage door is 7.5 feet tall and it is constructed with painted raised wood panels.

**Action by the Landmarks Preservation Board Advisory Board on October 20, 2004:** The Landmarks Preservation Advisory Board held a public hearing on this proposal on October 20, 2004. A motion to take staff recommendations and approve the project proposal with conditions to install two new garage doors, each 8 to 9 feet in width, and install landscaping on either side of the new garage doors, failed 4 to 3.

### **Action by the Planning Department: APPROVED WITH CONDITIONS**

Staff has reviewed the proposed work and the action of the Landmarks Preservation Advisory Board and has determined that the proposed work would not have a significant impact upon, and would not be potentially detrimental to Landmark Number 119, the Chambers Mansion, in conformance with architectural plans (labeled Exhibit A and dated June 5, 2003) on file in docket no. 2004.0543A, with the following conditions, based upon the following findings.

### **Conditions**

- That the existing garage door, built without benefit of a permit, be reduced from 18 feet to 16 feet in width so as to be in compliance with Building Permit No. 2000.0526.1151 issued on September 1, 2000, and pursuant to Certificate of Appropriateness, Case No. 2000.141A, with action by the Landmarks Preservation Advisory Board on April 14, 2000 and approved by the Planning Department on July 18, 2002, to authorize the construction of a two-car garage with a 16 foot wide garage door.

## **CERTIFICATE OF APPROPRIATENESS**

Case No. 2004.0543A

2220 Sacramento Street

Page 2

- The garage door design, materials, detailing and form shall be compatible with the subject building and the two adjacent buildings on either side.
- The garage doors shall be flanked with landscaping, which shall be irrigated and maintained at all times.

### **Findings of the Department**

- That the existing garage door was expanded from the proposed width of 16 feet (per Building Permit No. 2000.0526.1151, issued on 9/1/2000, pursuant to Certificate of Appropriateness, Case No. 2000.141A, with action by the Landmarks Preservation Advisory Board on April 14, 2000 and approved by the Planning Department on July 18, 2002, to authorize the construction of a two-car garage with a 16 foot wide garage door) to an 18 - foot width, without benefit of a building permit and a new Certificate of Appropriateness authorization.
- The proposal will not entail the removal, alteration or obstruction of any, character-defining, historic feature.
- The historic features or characteristics of the Chambers Mansion, Landmark Number 119, would not be altered, removed or demolished; the project does not entail removing any of the features that are typical of the Landmark's structure, therefore the proposal is in conformance with the following Secretary of the Interior's Standards:

**Standard 2:** *The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

- The proposal does not include alterations to the historic structure, but rather to the non-historic garage.

**Standard 9:** *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

- The proposal does not include alterations to the historic structure, but rather to the non-historic garage, therefore the integrity of the historic structure will be protected. Materials and design will distinguish the improvements from the historic structure.

**CERTIFICATE OF APPROPRIATENESS**

Case No. 2004.0543A

2220 Sacramento Street

Page 3

*Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

- The proposal includes improvements to the non-historic garage and will be undertaken in such a way that the garage could be removed in the future and the essential form and integrity of the historic property and its environment would be unimpaired.
- For these reasons, the proposal will not adversely affect the exterior features of the Landmark structure;
- For these reasons, the proposal will not adversely affect the special character or special historical, architectural or aesthetic interest or value of the structure and site, as viewed both in themselves and in the setting;
- With the above conditions, the proposal overall is appropriate for and consistent with the purposes of Article 10 and meets the standards of Article 10 and the Secretary of Interior's Standards for Rehabilitation.

December 7 2004

Date

Dean L. Macris

Dean L. Macris  
Interim Director of Planning

This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Director of Planning. Implementation of this Certificate of Appropriateness is accomplished by completion of construction work (verified through a job card signed by a District Building Inspector) after issuance of an appropriate Building Permit.

**APPEAL:** Any aggrieved person may appeal the action on this Certificate of Appropriateness by appeal of the issuance of the Building Permit required to implement the proposed work. Contact the Board of Appeals (575-6880) for instructions on filing a permit appeal.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

PLANNING DOCKET TO:

PLANNER ASSIGNED

SITE LOCATION 2220 SACRAMENTO STREET

BLOCK/LOT(S)

CASE NO.

0627 005 2004.05431

APPLICANT: EYE QUICKDRAWPC@yahoo.com

CONST. COST: \$1,065.00

FEE: \$1,065.00

RECEIPT NO: 120040735

ADDRESS: 60 OTIS ST. SE. CA

PHONE: 415-552-1888

NEIGHBORHOOD

ZONING RH-3

PROPOSAL: WIDEN GARAGE, BUILT IN 2001, 20'x16' TO 18' GARAGE PROVIDES PARKING FOR LANDMARK BLD. 2004.05.7.110

NOTICE OF INCOMPLETE APPLICATION

DATE SENT:

REASONS:

RESPONSE DATE:

DATE ACCEPTED AS COMPLETE:

ENVIRONMENTAL REVIEW

EE NO. PLANNER ASSIGNED

DATE NEG DEC/DIR FINALIZED:

ADDITIONAL ACTION DATE:

RES. NO. RES. NO.

REMARKS: 19 CHARBERS MANSION 276-A SUEVEREADITY 3 KEBE TODAY 291

ADDITIONAL FEES:

RECEIPT NO:

ACTION OF CITY PLANNING COMMISSION

DATE

RULING

MTN. NO.

ACTION OF LANDMARK PRESERVATION ADVISORY BOARD

DATE

RULING

RES. NO.

ACTION OF BOARD OF SUPERVISORS

DATE

RULING

APPEAL

FILE NO.

MAYOR'S ACTION/DATE:

ORD NO./S:

ACTION OF ZONING ADMINISTRATOR

DATE

RULING

LETTER DATE

EFFECTIVE DATE

ACTION OF BOARD OF PERMIT APPEALS

DATE

RULING

NO.

ACTION ON BUILDING PERMIT APPLICATIONS

NO.

SUBJECT

ACTION

DATE

RECORD OF PROCEEDINGS

DEPARTMENT OF CITY PLANNING

CITY AND COUNTY OF SAN FRANCISCO

PLANNING DOCKET TO:

PLANNER ASSIGNED

SITE LOCATION 2220 SACRAMENTO STREET

BLOCK/LOT(S)

CASE NO.

0627 005

2004.05431

APPLICANT: EYE quickdrawpc@yahoo.com  
 CONST. COST: \$1,665.00  
 RECEIPT NO. 120040735  
 PHONE 415-552-1888  
 ADDRESS 2220 SACRAMENTO ST. SE. CA  
 PHONE 415-552-1888  
 ADDRESS 2220 SACRAMENTO ST. SE. CA

NOTICE OF INCOMPLETE APPLICATION

DATE SENT:

REASONS:

PROPOSAL: NIDEN GARAGE, BUILT IN 2001  
 BETH 16' TO 18' GARAGE  
 PROMOTES PARKING FOR  
 LANDMARK BLDG.  
 2004.05.07.115

COLE

RELATED PROPOSALS: NO BPA -  
 EXISTING 2004.0061V sub. 10.27.04

REMARKS:

9. CHAMBERS MANSION  
 276-A SWEETHEARTS  
 BEBE TODAY 291

ADDITIONAL FEES:

RECEIPT NO:

ACTION OF CITY PLANNING COMMISSION

DATE

RULING

MTN. NO.

ACTION OF LANDMARK PRESERVATION ADVISORY BOARD  
 DATE RULING RES. NO.

RESPONSE DATE:

DATE ACCEPTED AS COMPLETE:

ENVIRONMENTAL REVIEW

EE NO.

DATE NEG DECISION FINALIZED:

ADDITIONAL ACTION DATE:

PLANNER ASSIGNED

RES. NO:

RESPONSE DATE:

DATE ACCEPTED AS COMPLETE:

ENVIRONMENTAL REVIEW

EE NO.

DATE NEG DECISION FINALIZED:

ADDITIONAL ACTION DATE:

PLANNER ASSIGNED

RES. NO:

ACTION OF BOARD OF SUPERVISORS'S COMMITTEE

RECOMMENDATION

DATE

FILE NO.

ACTION OF BOARD OF SUPERVISORS

RULING

DATE

FILE NO.

MAYOR'S ACTION DATE:

ORD NO.S:

ACTION OF ZONING ADMINISTRATOR

DATE

RULING

LETTER DATE

EFFECTIVE DATE

ACTION OF BOARD OF PERMIT APPEALS

RULING

DATE

NO.

ACTION ON BUILDING PERMIT APPLICATIONS

SUBJECT

ACTION

NO.

DATE

RECORD OF PROCEEDINGS

DEPARTMENT OF CITY PLANNING

CITY AND COUNTY OF SAN FRANCISCO

**SF Board of Appeals**

**Re: 2220 & 2222 Sacramento St.  
Widening of Garage Opening**

**For years this building created tremendous parking difficulties in our neighborhood.**

**Since the new garage was installed "The Mansion" has been an asset to our neighborhood.**

**We now understand that the City may require the garage door to be one foot narrower on each side. Thereby impeding the functionality of the garage. This action would be insensitive to our needs and the needs of our neighborhood which is already over-stressed with on street parking.**

**Please allow the door to remain 18' for all of our benefit.**

<b>Name</b>	<b>Address</b>	
Vicki Blum	2212 Sacramento St	
Joan Hupka	2241 Sacramento	
Jim Karnstedt	2263 1/2 Sacramento	346-6205
C. ABRAMSON	2263 SACRAMENTO	474-3628
Tanaya Macheel	2261 Sacramento St	



COPY

SF Board of Appeals

BOARD OF APPEALS

Re: 2220 & 2222 Sacramento St.  
Widening of Garage Opening

JUN 02 2005

APPEAL # 05-002

For years this building created tremendous parking difficulties in our neighborhood.

Since the new garage was installed "The Mansion" has been an asset to our neighborhood.

We now understand that the City may require the garage door to be one foot narrower on each side. Thereby impeding the functionality of the garage. This action would be insensitive to our needs and the needs of our neighborhood which is already over-stressed with on street parking.

Please allow the door to remain 18' for all of our benefit.

Name

Address

- JEFF SEHORNACK 2263 Sacramento St
- Michele Triewer 2066 40th Ave St Ct
- Lillian Reich 346 Park St. SF CA 94110
- Jennifer Henry 2153 Sacramento St #7 SF CA 94109
- Paul Nahhas 2153 Sacramento St #7 SF CA 94109
- Hannah Kalschied 2201 Sacramento St CA 94115
- Marie Strusinski 2153 Sacramento #10
- Mary Valerio 2333 Buchanan
- Rebecca Y... 1610 Lowdin St. S.F. 94109
- C. ZICREE ht Jh 2647 Buchanan St., SF 94116
- V YRIAKS AKPARAS 2250 Buchanan St 94116

Back

2241 Brook Apartment ass. Apto 4

2230 Sacramento #9

2202 CLAY ST. ~~W. Schuman~~  
Jan 5th

2218 Clay St

2207 CLAY ST. HOWARD SCHUMAN

*Howard Schuman*

SF Board of Appeals

Re: 2220 & 2222 Sacramento St.  
Widening of Garage Opening

For years this building created tremendous parking difficulties in our neighborhood.

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Please allow the door to remain 18' for all of our benefit.

Name	Address
<i>Carole F. Kott</i>	2261 Sacramento St.
<i>Martin G. ...</i>	2205 Sacramento St 905 SE CA
<i>Billy Jones</i>	2200 SAC Lobby 94115
<i>One Howard</i>	2200 Sacramento St. 804, SF CA
<i>Sam Williams</i>	2200 Sacramento St Lobby



**NOTICE OF VIOLATION**  
of the San Francisco Municipal Codes Regarding Unsafe,  
Substandard or Noncomplying Structure or Land or Occupancy

BOARD OF APPEALS

MAY 02 2005

APPEAL # 05-002

**DEPARTMENT OF BUILDING INSPECTION**  
City and County of San Francisco  
1660 Mission St. San Francisco, CA 94103

NOTICE: 1

NUMBER: 200341797

DATE: 30-JUN-03

ADDRESS: 2220 SACRAMENTO ST  
OCCUPANCY/USE: R-3 ((I) RESIDENTIAL)

BLOCK: 0627 LOT: 005

If checked, this information is based upon site-observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.

OWNER/AGENT: RAUGH GARY D  
MAILING ADDRESS: RAUGH GARY D  
2220 - 2222 SACRAMENTO ST  
SAN FRANCISCO CA

PHONE #: --

94115

PERSON CONTACTED @ SITE:

PHONE #: --

**VIOLATION DESCRIPTION:**

VIOLATION DESCRIPTION:	CODE/SECTION#
<input checked="" type="checkbox"/> WORK WITHOUT PERMIT	106.1.1
<input type="checkbox"/> ADDITIONAL WORK-PERMIT REQUIRED	106.4.7
<input type="checkbox"/> EXPIRED OR <input type="checkbox"/> CANCELLED PERMIT PA#:	106.4.4
<input type="checkbox"/> UNSAFE BUILDING <input type="checkbox"/> SEE ATTACHMENTS	102.1

Widening of garage door opening from 16' to 18' without benefit of building permit. Section 106.1.1 SFBC

**CORRECTIVE ACTION:**

STOP ALL WORK SFBC 104.2.4

415-558-6283

- FILE BUILDING PERMIT WITHIN 30 DAYS  (WITH PLANS) A copy of This Notice Must Accompany the Permit Application
- OBTAIN PERMIT WITHIN 60 DAYS AND COMPLETE ALL WORK WITHIN 90 DAYS, INCLUDING FINAL INSPECTION SIGNOFF.
- CORRECT VIOLATIONS WITHIN DAYS.  NO PERMIT REQUIRED
- YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED , THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.

● FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN.  
SEE ATTACHMENT FOR ADDITIONAL WARNINGS.

File for and obtain building permit (plans and Dept of City Planning approval required) to legalize work. Alternately restore original condition.

**INVESTIGATION FEE OR OTHER FEE WILL APPLY**

- 9x FEE (WORK W/O PERMIT AFTER 9/1/60)  2x FEE (WORK EXCEEDING SCOPE OF PERMIT)
- OTHER:  REINSPECTION FEE \$  NO PENALTY (WORK W/O PERMIT PRIOR TO 9/1/60)

APPROX. DATE OF WORK W/O PERMIT

VALUE OF WORK PERFORMED W/O PERMITS \$500

**BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION**

CONTACT INSPECTOR: Patrick G O'Riordan

PHONE # 415-558-6283

DIVISION: BID

DISTRICT : 4

By: (Inspectors's Signature) \_\_\_\_\_



# NOTICE OF VIOLATION

the San Francisco Municipal Codes Regarding Unsafe, Substandard or Noncomplying Structure or Land or Occupancy

**DEPARTMENT OF BUILDING INSPECTION**  
 City and County of San Francisco  
 1660 Mission St. • San Francisco, CA 94103 - 2414

- FIRST NOTICE  
 SECOND NOTICE  
 OTHER: \_\_\_\_\_

COMPLAINT NUMBER

ADDRESS 2220 Sacramento St  
 OCCUPANCY / USE R-3  
 CONST. TYPE VN

210341797  
 DATE 6/30/03  
 BLOCK \_\_\_\_\_ LOT \_\_\_\_\_  
 STORIES \_\_\_\_\_  BASEMENT

If checked, this information is based upon site observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.  
 OWNER / AGENT \_\_\_\_\_ PHONE # \_\_\_\_\_  
 MAILING ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ ZIP \_\_\_\_\_  
 PERSON CONTACTED @ SITE \_\_\_\_\_ PHONE # \_\_\_\_\_

## VIOLATION DESCRIPTION:

<input checked="" type="checkbox"/> WORK WITHOUT PERMIT (SFBC 106.1.1);	<input type="checkbox"/> ADDITIONAL WORK-PERMIT REQUIRED (SFBC 106.4.7);	
<input type="checkbox"/> EXPIRED PERMIT (SFBC 106.4.4);	<input type="checkbox"/> CANCELLED PERMIT (SFBC 106.3.7)	PA# _____;
<input type="checkbox"/> UNSAFE BUILDING (SFBC 102);	<input type="checkbox"/> SEE ATTACHMENTS	CODE / SECTION #
<u>Widening of garage door opening 16' to 18' without Building Permit</u>		<u>106-1.1</u>

BC - Building Code    HC - Housing Code    PC - Plumbing Code    EC - Electrical Code    MC - Mechanical Code

## CORRECTIVE ACTION:

- STOP ALL WORK SFBC 104.2.4
- FILE BUILDING PERMIT APPLICATION WITHIN 30 DAYS  WITH PLANS (A Copy of This Notice Must Accompany the Permit Application)
- OBTAIN PERMIT WITHIN 30 DAYS AND COMPLETE ALL WORK WITHIN 90 DAYS, INCLUDING FINAL INSPECTION AND SIGNOFF.
- CORRECT VIOLATIONS WITHIN \_\_\_\_\_ DAYS.     NO PERMIT REQUIRED
- YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED \_\_\_\_\_, THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.
- FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN. SEE REVERSE SIDE FOR ADDITIONAL WARNINGS.
- File for and obtain building permit (Plans + Dept of City Planning approval required) to legalize work. Attachments include original condition

INVESTIGATION FEE OR OTHER FEE WILL APPLY    See reverse side for further explanation

- 9x Fee (Work w/o Permit after 9/1/60)     2x Fee (Work Exceeding Scope of Permit)  
 Other \_\_\_\_\_     Reinspection Fee \$ \_\_\_\_\_     No penalty (Work w/o permit prior to 9/1/60)
- APPROX. DATE OF WORK W/O PERMIT MAY '03    VALUE OF WORK PERFORMED WITHOUT PERMITS \$5000

## BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR PATRICK KRIBIAN  
 (Inspector - Print Name)  
 OFFICE HOURS 7:30 TO 3:30 AM AND 3 TO 4 PM  
 PHONE # 558 6916  
 By: (Inspector's Signature) Patrick Kribian DISTRICT # 4  
 CC:  DCP     EID     PID     BID     HIS     CED     CPC     DAD     SFFD     DPH     RPC

- Building Inspection Division  
 3rd Floor, 1660 Mission St.    558-6096  
 Housing Inspection Services  
 6th Floor, 1660 Mission St.    558-6220  
 Electrical Inspection Division  
 3rd Floor, 1660 Mission St.    558-6030  
 Plumbing Inspection Division  
 3rd Floor, 1660 Mission St.    558-6054  
 Code Enforcement Division  
 3rd Floor, 1660 Mission St.    558-6454

GARY RAUGH VS. DEPARTMENT OF BUILDING INSPECTION, PLANNING DEPARTMENT DISAPPROVAL.

APPEALING THE DENIAL ON JANUARY 4, 2005, OF SITE PERMIT TO ALTER A BUILDING (APPLICATION ASSOCIATION WITH VARIANCE CASE NO. 2004.0061V TO REFLECT AS-BUILT CONDITIONS OF GARAGE DOOR; TO RESOLVE NOV. 200341797) AT 2220-2222 SACRAMENTO STREET, A TWO-FAMILY HOUSE.

Application No.: 2004/10/18/7116S

Type: Alteration

Date of Department Action: January 4, 2005

Date Filed: January 5, 2005

60 days expired: March 7, 2005

Date of Hearing: June 8, 2005

Address: 2220-2222 Sacramento Street, left side, between Buchanan and Laguna Streets.

Block: 627

Lot: 05

Zoning: RH-2

Neighborhood: Nob Hill

Supervisory District: 3

Special Use District: None

Appellant/Permit Holder: Gary Raugh, 552-1888

Appellant's Agent: Jeremy Paul, 552-1888

Respondent: Department of Building Inspection, Planning Department Disapproval by Planner David Lindsey, 558-6393.

Section 14 Parties: None

Appellant's Statement: This application was denied because the Landmarks Board could not reach a consensus. The Appellant believes the Board of Appeals will make an appropriate discerning call and uphold the permit application.

Project: Application associated with Variance 2004.0061, (no date) to reflect as-build conditions of garage door – 18' wide, resolve N.O.V. 200341797

Engineer/Designer: Double-D Engineering

Environmental Review Status: Categorically Exempt

Prop M: Exempt

Department Hearing: Landmarks Board Certificate of appropriateness dated December 8, 2004.

Relevant Code Sections: Plans do not meet Building and Planning Codes.

Support/Opposition: None

Prior Appeal(s): None at this site.

Companion Case(s): None

Date of this case report: June 2, 2005

The case file is available for inspection and review and is part of the record before the Board.

**ITEM NO. 12, APPEAL NO. 05-002**