BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of CAROLE BROWN,	Appeal No. 14-12 6
Appellant(s)	
VS.)
DEPARTMENT OF BUILDING INSPECTION, PLANNING DEPARTMENT APPROVAL Respondent	

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on July 03, 2014, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on June 26, 2014, to Scott Dylewski, Alteration Permit (new deck at rear of main level of existing house with exterior stair to the rear yard; new doors at the rear main level; replace windows "in-kind"; new lower living level; alter lower level to remodel existing bedroom and incorporate new hallway) at 179 Hamerton Avenue.

APPLICATION NO. 2014/06/04/7453

FOR HEARING ON August 27, 2014

Address of Appellant(s):	Address of Other Parties:
Carole Brown, Appellant	Scott Dylewski, Permit Holder
173 Hamerton Avenue	179 Hamerton Avenue
San Francisco, CA 94131	San Francisco, CA 94131
	<u> </u>



Date Filed:

JUL 0 3 2014 APPEAL # /4 - 126

CITY & COUNTY OF SAN FRANCISCO BOARD OF APPEALS

PRELIMINARY STATEMENT OF APPEAL

I / We, Carole Brown, hereby appeal the following departmental action: ISSUANCE of Alteration Permit 2014/06/04/7453 by the Department of Building Inspection which was issued or became effective on: June 26, 2014, to: Scott Dylewski, for the property located at: 179 Hamerton Avenue.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: **August 07, 2014**, **(no later than three (3) Thursdays prior to the hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with an original and 10 copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day.

Respondent's and Other Parties Briefs are due on or before: August 21, 2014, (no later than one (1) Thursday prior to hearing date), up to 12 pages in length, doubled-spaced, with unlimited exhibits, with an original and 10 copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day.

Only photographs and drawings may be submitted by the parties at hearing.

Hearing Date: Wednesday, August 27, 2014, 5:00 p.m., City Hall, Room 416, One Dr. Carlton B. Goodlett Place.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should submit an original and 10 copies of all documents of support/opposition no later than one (1) Thursday prior to hearing date by 4:30 p.m. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection at the Board's office. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

If you have any questions please call the Board of Appeals at 415-575-6880

The reasons for this appeal are as follows:

The exterior stairs proposed for 179 Hamerton are 1 foot next to my exterior deck & stairs at 173 Hamerton. I'm suggesting the stairs be relocated to 179's kitchen door.

Appellant or Agent (Circle One):	
Signature: Carole Brown	
Print Name: Carole Brown	_



JUN 27 2014

M.

BUILDING ENLARGEMENT DESCRIPTION □ VERTICAL HORIZONTAL

APPLICATION FOR BUILDING PERMIT

ADDITIONS, ALTERATIONS OR REPAIRS

TOM C. HUI, S.E. DIRECTOR DEPT. OF BUILDING LODGE CTOOL

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION APPROVED

FOR ISSUANCE

201

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1-7453

APPLICATION NUMBER

FORM 3

OTHER AGENCIES REVIEW REQUIRED FORM 8 OVER-THE-COUNTER ISSUANCE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF **BUILDING INSPECTION OF SAN FRANCISCO FOR** PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

OSHA APPROVAL REQ'D 🗀 NUMBER OF PLAN SETS ▼ DO NOT WRITE ABOVE THIS LINE ▼ (1) STREET ADDRESS OF JOB BLOCK & LOT FILING FFF RECEIPT NO DATE HI HD 179 Hamerton Ave B1.6759 ESTEMATED COST OF JOB PERMIT NO 20K 27 14 426 132 INFORMATION TO BE FURNISHED BY ALL APPLICANTS LEGAL DESCRIPTION OF EXISTING BUILDING (7A) PRESENT USE (9A) NO. OF DWELLING (5A) NO. OF STORIES OF OCCUPANCY: (4A) TYPE OF CONSTR. (6A) NO. OF BASEMENTS UNITS: AND CELLARS **DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION** (5) NO. OF STORIES OF OCCUPANCY: (6) NO. OF BASEMENTS AND CELLARS: (7) PROPOSED USE (LEGAL USE) (9) NO. OF DWELLING (11) WILL STREET SPACE BE USED DURING CONSTRUCTION? (10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES (13) PLUMBIN WORK TO BE NO PERFORMED? YES (12) ELECTRICAL WORK TO BE NO SO PERFORMED? YES 🗅 YES 🗀 MO NO. (14) GENERAL CONTRACTOR ADDRESS ZIP PHONE CALIE LIC. NO. EXPIRATION DATE OWNER (15 OWNER - LESSEE (CROSS OUT ONE) ADDRESS ZIP BTBC# PHONE (FOR CONTACT BY DEPT.) Scott Dylewsk 79 Hamenton Ave 408 306 4851 (18) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT) Near alter remode bedroom (over hall ADDITIONAL INFORMATION YES (20) IF (18) IS YES, STATE NEW GROUND NO PLOOR AREA (19) DOES THIS ALTERATION CREATE DECK OR HORIZ. (17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES (18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT SQ. FT. EXTENSION TO BUILDING? YES (23) ANY OTHER EXISTING BLDG.
NO JOY DON PLOT PLAN) (21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? (22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? (24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES 🖸 YES [] YES 🗆 No 154 NO Ø NO Jab OR ENGINEER (DESIGN - CONSTRUCTION (1) ADDRESS CALIF. CERTIFICATE NO. 305 San Anselmo Are San Anselmo CA 415 317 3272 Fudio upwall (28) CONSTRUCTION LENDER (ENTER NAME AND BRANCK DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") NONE

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. Ses San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scuffolding used during construction is to be closer than 6°0° to any wire containing more than 780 volts. See Sec 385, California Penal Code:

Pursuant to San Francisco Suffding Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grado lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRE

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE DUESTIONS (10) (11) (12) (13) (22)

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

in dwellings, all insulating materials must have a clearance of not loss than two inches from all electrical

CHECK	APPROX	PRIATE	803

OWNER LESSEE ID CONTRACTOR

ARCHITECT
AGENT
BIGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by screptures of the permit, agree(s) to injurisably and hold harmless the Dity and County of San Francisco from and against any and all claims, demands and analisms for damages reguliting from operations under this permit, regardless of negligence of the Oily and County of San Prancisco, and to assume the defense of the City and County of San Prancisco against all such claims, demands or actions.

in conformity with the provisions of Section 3800 of the Labor Code of the State of Catillareals, the applicant shaw have worker's compensation coverage under (t) or (t) designated below, or shall had code likes (III), (W), or (V), whichever is applicable. If however item (V) is choiced, item (IV) must be checked as settle. Where the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for worker's commensation, as by Section 3700 of the Labor Code, for the performance of the work for which thin permit is
- I have and wife maintain worker's companisation insurance, as required by Saction 3700 of the Labor Code, for the performance of the work for which this permit is issued. My yeuthur's companisation insurance carrier and policy member are:

- () III. The cost of the work to be done is \$100 or less.
- IV. I certify that in the performance of the work for which this permit is teased, I shall not employ any paraton in any meanair as as in become subject to the worker's compensation leves of California.

 I further scknowledge that I understand that in the event that I should become subject to the worker's
 compensation provisions of the Labor Code of California and that to comply testimeth with the
 provisions of Section 3800 of the Labor Code of California and that to comply testimeth with the
- V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's simpensation laws of California and who, rifer to the commencement of any work, will file a completed copy of this form with the Cantral Parmit Bureau.

OFFICE COPY

CONDITIONS AND STIPULATIONS EFER APPROVED: DATE: TO: REASON: NOTIFIED MR. BUILDING INSPECTOR, DEPT. OF BLDG. INSP. APPROVED: new dect at live of building white it entered stairs new door at very from from the road existing between the DATE: . REASON: **BOARD OF APPEALS** JUL 0 3 2014 DEPARTMENT OF CITY PLANNING NOTIFIED MR. APPEAL # 14-126. APPROVED: DATE: _ REASON: NOTIFIED MR. BUREAU OF FIRE PREVENTION & PUBLIC SAFETY APPROVED: DATE: REYNALDOGRTEGA **REASON:** NOTIFIED MR. MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION APPROVED: DATE: _ REASON: CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION NOTIFIED MR. APPROVED: DATE: REASON: BUREAU OF ENGINEERING NOTIFIED MR. APPROVED: DATE: . **REASON:** DEPARTMENT OF PUBLIC HEALTH NOTIFIED MR. APPROVED: DATE: **REASON:** REDEVELOPMENT AGENCY NOTIFIED MR. APPROVED:

DATE: ___ REASON:

NOTIFIED MR.

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

HOUSING INSPECTION DIVISION

I have filed an appeal against the deck/staircase plans of Mr. Scott

Dylewski and Ms. Shannon Leonard of 179 Hamerton Ave. S.F. CA 94131.

I am requesting the relocation of the staircase and a field inspection as to the fire safety of my property at 173 Hamerton Ave. for the following reasons;

- The staircase is 1.5 feet from my property and its closeness would interfere with my privacy.
- The proximity of the staircase would make my property less secure.
- The nearness of the staircase would create noise that would interfere with the enjoyment of my property.
- The plan does not show a fire wall for the deck/staircase that would protect my property.

<u>Privacy</u>

The closeness of the staircase would interfere with my privacy. I am a 78 year old widow living alone and have had extensive foot surgeries. As a result of the surgeries I'm required to spend a lot of time at home in order to stay off my feet.

My house has a reverse floor plan with the main living areas in the rear of the house: the living room, dining room, kitchen and deck (attached figs. 1 and 2, X = proposed staircase). The proposed staircase, 1.5 feet from my property, would give anyone of average height on the stair

#173 Main Living Areas









#173 Upper Deck & Stairs









treads #4, 5 & 6 a direct view into my main living areas (attached fig. 3).

In turn, from inside my house, I would see anyone using the staircase.

Security

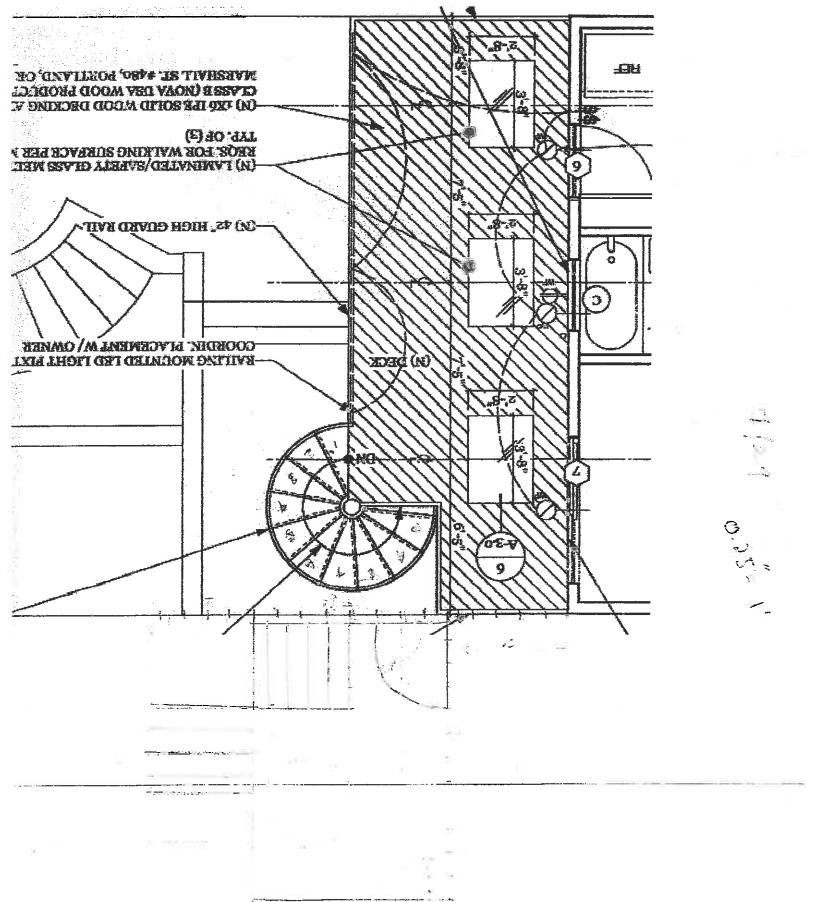
The closeness of the proposed staircase would make it easy for anyone to cross over to my property. The garden of #179 is open to a wall on Acadia Street. The concrete wall is approx. 5 feet high and provides easy access to #179's garden (attached fig. 4, X = wall). Anyone could come over the wall, walk up through my neighbors' garden, come up the proposed staircase and step over onto the ledge of my deck. I normally keep the dining room door open daily for fresh air, especially for the kitchen. In addition I often have to keep the door open for cross ventilation when I'm in another part of the house. My house has a flat roof and when it is hot the house can stay at 80° for several days without cross ventilation. With the closeness of my neighbors' proposed staircase I would not feel safe in keeping my door open.

The recent spate of car thefts on our block, "The Mayor's Street"

(attached fig. 5) demonstrate that our home's security concerns are well founded.

Noise

Mr. Dylewski and Ms. Leonard have a very large garden and work in it a lot. I would be able to hear my neighbors' activities going up and down











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Car thieves hit S.F. mayor's street, despite lights, video

Phillip Matier And Andrew Ross Updated 7:38 am, Monday, July 14, 2014

> NEXT > **₹ PREV** 1 of 4

Bloomberg

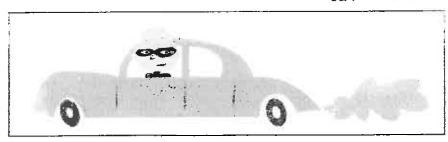


Photo: Steven Boyle, The Chronicle









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Talk about brazen - three doors down from Mayor Ed Lee's Glen Park home, a pair of thieves were caught on video the other night nonchalantly spending 10 minutes hot-wiring a car.

The pair didn't seem to care that they were being illuminated by motion-sensitive garage

lights as they methodically stole the 2006 Honda Accord.

"This is the third car stolen from our one-block street in the past few months," said the owner, who asked not to be identified.

Ingleside Station Capt. Tim Falvey confirmed that car thefts are up about 6 percent in his district this year. Citywide, the increase is 10 percent.

Last year, San Francisco saw 5,574 auto thefts. About one-fifth of them were in the Ingleside police jurisdiction, with older Hondas that are easier to hot wire being a favorite target.

"We are working to try to bring (the total) down," Falvey said.

Mayoral spokeswoman Christine Falvey, who just happens to be the police captain's sister, said her boss thought it was "pretty unusual" to have three cars stolen in his neighborhood in such a short time. He's asked police to attend the next neighborhood association meeting to talk about crime prevention.

As for that stolen Honda Accord - we're told police found it in Pacifica. They're still looking for the thieves.

Taking aim: The soft-pitch politics of the Oakland mayoral race has turned to hardball, with activist attorney Dan Siegel filing a pair of ethics complaints against rival mayoral candidate and Oakland City Councilwoman Rebecca Kaplan.

Siegel has reached back in time a bit and is accusing Kaplan of "an illegal shell game" for allegedly using a countywide Coalition for Safe Streets and Local Jobs committee to

San Francisco Chronicle

On SFChronicle.com



High-end retailers follow tech money in S.F., South Bay

Site helps people choose Medicare plan Female writers get e-format of their own the staircase to and from the garden. I do not wish to be made aware of my neighbors' constant activities nor do I think they want me to be aware of them. As it is, because our houses are attached I already hear them using their front, interior stairs.

Fire Wall & Property Line

The proposed deck/staircase plans do not show a fire wall protection for my property while the proposed staircase is 1.5 feet from my property and the deck is right next to my property. In researching the required distance between a structure and a property line I found it difficult to ascertain a constant guideline but 1.5 feet seems too close not to require a fire wall. For example, on 4/08/14 Mr. Dylewski emailed that the City code requires every deck to have a full fire wall when the structure is within 5 feet of the property line. And on 8/11/14 Mrs. Else Townsend, Zephyr Real Estate, emailed that it is her understanding that if a structure is closer than 3 feet to the property line it must have a one hour fire wall. Finally, Ms. Lily Langlois of SF Planning Information and Ms. Mehret of SF Inspection Services informed me over the phone that a field inspection of #179 would determine the need of a fire wall protection. In addition to the staircase Mr. James Kaentje, American Institute of Architects (attached fig. 6), noted that the buried support for one of the deck posts is on my property line, which I have not agreed to (attached

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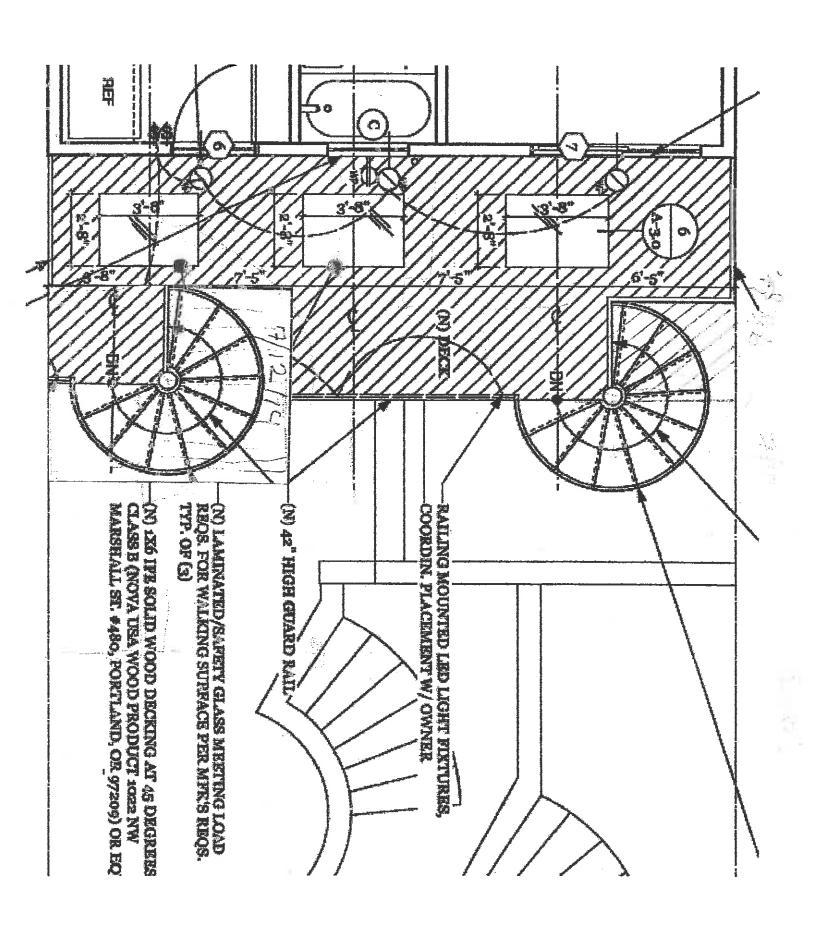
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fig. 7). He also noted that combustible materials may be used on the stairs, deck and posts which would not be good for fire safety.

Conclusion

On 7/17/14 Mr. Dylewski brought me a revised plan showing the relocation of the stairs to the other side of his deck, outside his kitchen door. But Mr. Dylewski would not provide me with a copy of the revision because to paraphrase, he didn't want me to show it to the City. My adaptation of this revision illustrates that the relocation of the stairs is feasible and in keeping with his deck plans (attached fig. 8). Mr. Kaentje also suggested that the stairs be relocated to the center of the deck thus avoiding property line issues with both of Mr. Dylewski's neighbors. This is a very quiet and supportive group of homes on Hamerton Ave. Many of us share keys to each other's homes while greatly respecting each other's privacy. It is my hope that the Commisson will approve the relocation of the staircase and insure the safety of my property as I would like to continue to live in the comfort, peace and tranquility of my home.

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Respondent's Brief for Appeal No. 14-126, Subject Property: 179 Hamerton Ave

Summary:

When we started the process of designing a deck with our architect over a year ago, we discussed this informally with the appellant, Ms. Brown, and other adjacent neighbors.

Ms. Brown let us know very clearly that she was worried about our proposed deck blocking the light onto her deck and yard. In order to mitigate this concern (and our own privacy concerns), we worked with our architect to design a deck and stairs in the following way:

- 1. The rear edge of our deck extends out 3 feet less than Ms. Brown's deck, and we cannot see into her home while standing on our deck.
- 2. The upper landing of the spiral stairs is inset into our deck rather than extending out, so our deck will not block her view or sunlight.
- 3. The spiral staircase is made of galvanized steel to mitigate any fire risk.
- 4. The spiral staircase winds down and to the left, so that when we are closest to Ms. Brown's property, we will be walking faster and tend to look down the stairs and away from Ms. Brown's deck and home.
- The staircase is located so it does not block our single rear, first-level exit
 door from our garage, nor does it block the view from our lower-level
 window.

We also evaluated (at considerable expense to produce the drawings) a straight staircase but decided against this option because it would extend 3 feet beyond the rear edge of our deck, blocking Ms. Brown's view and prevent use of our very limited flat upper yard.

Overall, this deck is a modest design that allows us to enjoy our personal open space and view of the Bay in the same way that Ms. Brown enjoys hers. The impact to Ms. Brown's privacy is minimal and we have tried to propose alternative solutions to mitigate the impact, however small it is. Unfortunately, Ms. Brown was not willing for us to address her individual concerns, but instead insists on our stairs being moved. We have followed all the rules of the City and our plans were approved. Because of this, we propose the approved plans are allowed to be built as-is, or if mitigation is requested, then a privacy lattice be added to our deck that extends out to the location where our stairs is closest to Ms. Brown's property line.

Response to Ms. Brown's individual concerns:

Privacy:

We agree that it would be possible for someone to stand on stair treads #4, 5, or 6 and look around or through Ms. Brown's privacy lattice and into part of her living room or kitchen windows when her blinds are open. However, we do not expect anyone to loiter on the stairs, and given this minor concern, we have designed the stairs to turn down and to the left so when walking down the stairs, people will tend to look down and ahead instead of over their right shoulder into Ms. Brown's property. There is no privacy concern when walking up the stairs because we will be facing outwards and away from her windows.

Respondent's Brief for Appeal No. 14-126, Subject Property: 179 Hamerton Ave Furthermore, any home on the lots behind ours can currently see into Ms. Brown's windows (albeit with binoculars or a camera). We and Ms. Brown's neighbor on her opposite side can also see into her windows from the rear yard, so she cannot expect to have unlimited privacy today. Given the reality of owning property in a dense urban environment with zero lot-line homes, along with the strong glare off her glass during the day (Exhibit 1), any privacy concern is very small. We are happy to add some additional lattice in order for Ms. Brown to feel like her privacy is not diminished.

Security:

Ms. Brown notes that it is possible to jump over a 5-foot tall cinder-block wall at the end of Acadia Street to get into our neighbor's backyard and thus our yard. If a person were to climb over this wall, he or she could currently obtain access to Ms. Brown's property in the following ways:

- 1. Climb up an existing 4-foot tall fence onto her deck (Exhibit 2)
- 2. Climb over an existing 6-foot chain-link fence between our yard and her yard and then walk up her deck stairs (Exhibit 3)
- 3. Walk over the 3-foot fence on the opposite side of her property and then walk up her deck stairs. (This opposite yard is not accessible by jumping over the Acadia Street wall, but could be accessed from any number of yards that are back to back between Hamerton Avenue and Chilton Avenue.)

Given the existing potential illicit access routes to Ms. Brown's property currently, and the fact that she often leaves her back door open suggests that she is not too worried about security. Our addition of a staircase may provide one additional route to climb

Respondent's Brief for Appeal No. 14-126, Subject Property: 179 Hamerton Ave onto her deck, but given the ease with which other routes are available, it is unclear why anyone would choose to climb over a 42-inch railing 1.5 feet away from her deck with a 10-foot drop below instead of the other safer, and more-convenient routes. Nonetheless, we are happy to add privacy lattice in this area to prevent would-be thieves from accessing her property from the proposed deck stairs.

Noise:

Ms. Brown notes that she can hear us walk up and down our home's interior wood stairs because the sound travels easily through our adjacent walls. Since this is currently our only way to go down to our garden, we use the interior stairs often. It is quite clear that adding an additional exterior, detached stairway far away from her living space will reduce the noise impact to Ms. Brown significantly.

Firewall:

Similar to Ms. Brown experience, we too have received conflicting recommendations as to what the requirements were for firewalls on decks. We are not experts at the building and planning codes, and every person we spoke with gave us a different response. Since the Planning and Building departments approved our plans in the current state, we believe they meet the current San Francisco building and planning codes. A firewall that extends 42 inches above our deck would completely block her side view and limit the light into her kitchen. Of course, we would assent to build such a firewall at considerable expense to us if it is required and would allay all of Ms. Brown's concerns.

Respondent's Brief for Appeal No. 14-126, Subject Property: 179 Hamerton Ave

Property Line:

We do not think it is appropriate for Ms. Brown to modify our drawings by changing the footing location and then claim that we would somehow build on her property (after presumably knocking down some of her walls?). The approved drawings show the footings near her property line do not extend over the property line. The Department of Building Inspection has approved these footings and required additional inspections on the footings before we pour cement to ensure they meet all required codes.

Infeasibility of moving the stairs:

Moving the stairs to the other side of our deck would place the stairs directly in front of our only lower exit door. It would make egress more difficult and as an avid woodworker and gardener, it would be much harder to roll a wheelbarrow, move a 10-foot long board, or carry a piece of plywood into the backyard to cut. Stairs in this location would also make the flow down into our rear yard steps awkward, and would limit what we could do with the area under our deck. Additionally, our rear yard is terraced and steep, and the only flat area greater than 15 feet long is just outside of our garage door (Exhibit 4). Breaking up our only flat area by placing a stairway in the middle would mean that we cannot throw a ball with our small dog nor use it for a children's play area.

Conclusion:

We have been very friendly with Carole ever since we moved to 179 Hamerton, and she has been a great neighbor. We would like to make reasonable changes to our project to

Respondent's Brief for Appeal No. 14-126, Subject Property: 179 Hamerton Ave address her concerns while also ensuring we can enjoy our own property. So far, none of the issues Ms. Brown has brought up require moving the stairs from their ideal location. Easy mitigation with some simple lattice can solve most of her concerns. As we worked with her to try to find a solution, she was not willing to compromise (see e-mail Attachment A). On 7/17/2014, our discussions broke down after she would not allow us to measure her deck to understand just how much we would be able to see into her living-room windows.

We have been open and shared all of our planned drawings, including an estimate of how her deck and ours would look next to each other (Exhibit 5 and Exhibit 6). It is clear from these drawings that some simple lattice extending 1 or 2 feet would be enough to mitigate her concerns.

Respondent's Brief for Appeal No. 14-126, Subject Property: 179 Hamerton Ave

Attachment A: Ms. Brown's e-mail response to our compromise solutions:

The wall was already constructed. I've requested that the stairs be relocated to the "other side" away from my property.

Bye for now, Carole

On Monday, July 7, 2014 12:14 PM, Scott Dylewski wrote:

Carole,

Yes, thanks for the bread! We haven't had that one before, so it was a nice treat.

The backyard approach probably worked well for lumber and such, but wasn't that before that big cement wall was constructed?

I drew some examples of the stairs on the other side, so we can go over that when I finish drawing the bottom level as well as the top.

I just want to make sure we're clear on your preferences... can you give some ratings/preferences on the options below? Perhaps a 5/10 rating with some simple reasoning?

Respondent's Brief for Appeal No. 14-126, Subject Property: 179 Hamerton Ave

- 1. Deck with stairs on your side with no 14' tall wall (current plan).
- 2. Deck with stairs on your side with a 14' tall wall on your side for privacy/security (nobody will be able to jump onto your deck/stairs).

 The wall will extend out to the edge of your top deck level. The stairs will extend slightly beyond the wall, but we won't be able to see into your windows because of the wall.
- 3. Deck with stairs on the "other side" of our property, and the deck corner will extend out to the end of your upper deck and block the bottom half of your lattice. You'll be able to see through the top half of your lattice up onto to the top of our deck.
- 4. Deck with stairs on the "other side" of our property with a 14' tall wall against your property extending out to the end of your upper deck.

 This would block all of your lattice, just like option (2).
- 5. Deck with stairs on your side but instead of a solid wall, add some privacy lattice with vines along our property that extends out sufficiently far past your deck to prohibit us from being able to see

Respondent's Brief for Appeal No. 14-126, Subject Property: 179 Hamerton Ave into your home windows from the stairs. I'm guessing that it will extend at most 1-2 feet beyond your current lattice. I think this is our preference at this time.

From our discussion yesterday, it seems that (3) is your strongest preference, but we wonder how you feel about the other options also. Hopefully we can come to some sort of agreement, but if we need to go to the appeals board, the August 27th won't work for us (vacation), so we want to change it to September 10th. I'll bring by a form for you to sign if you're ok with the date change.

-Scott

Exhibit 1

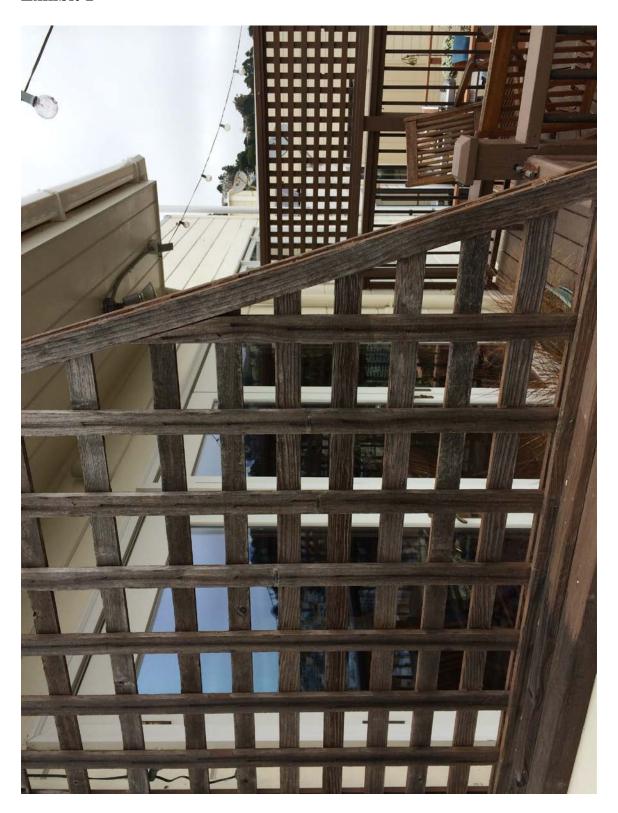


Exhibit 2

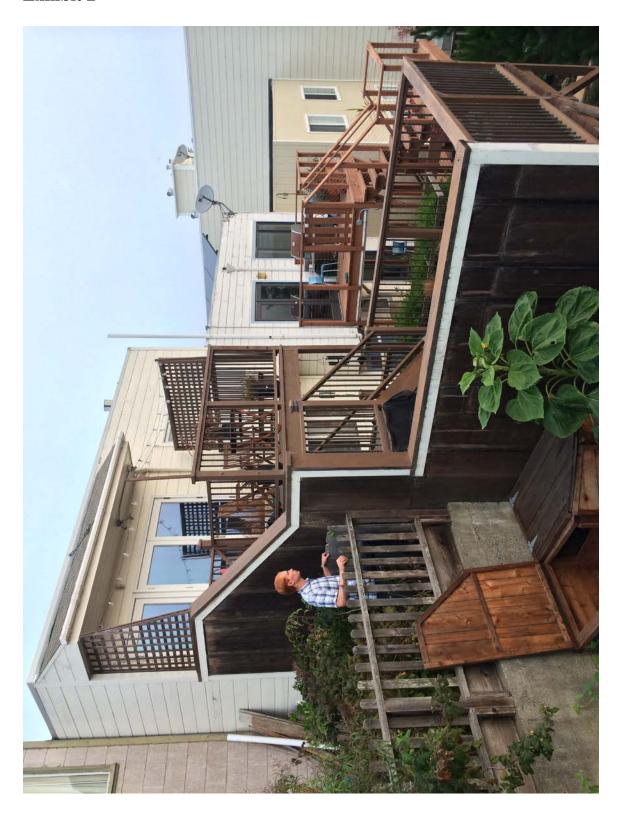


Exhibit 3



Exhibit 4

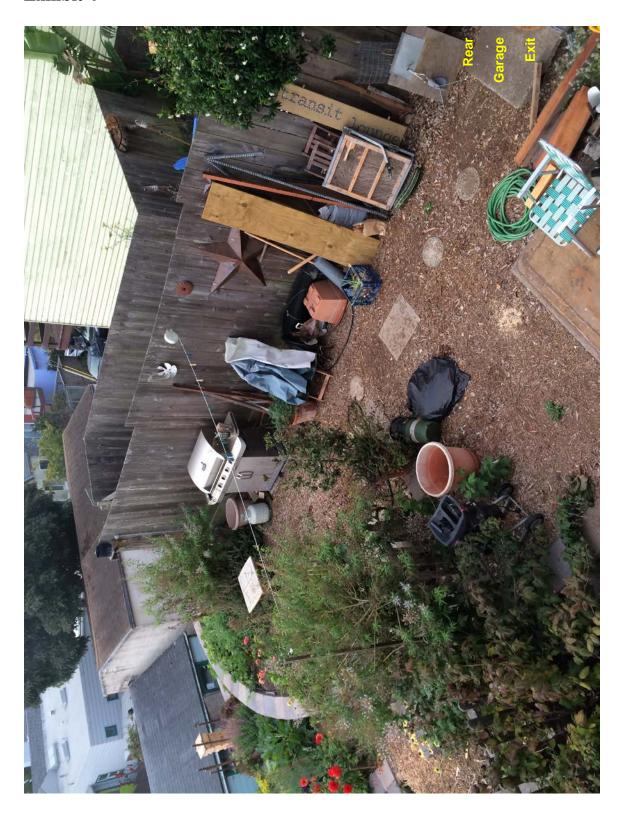


Exhibit 5

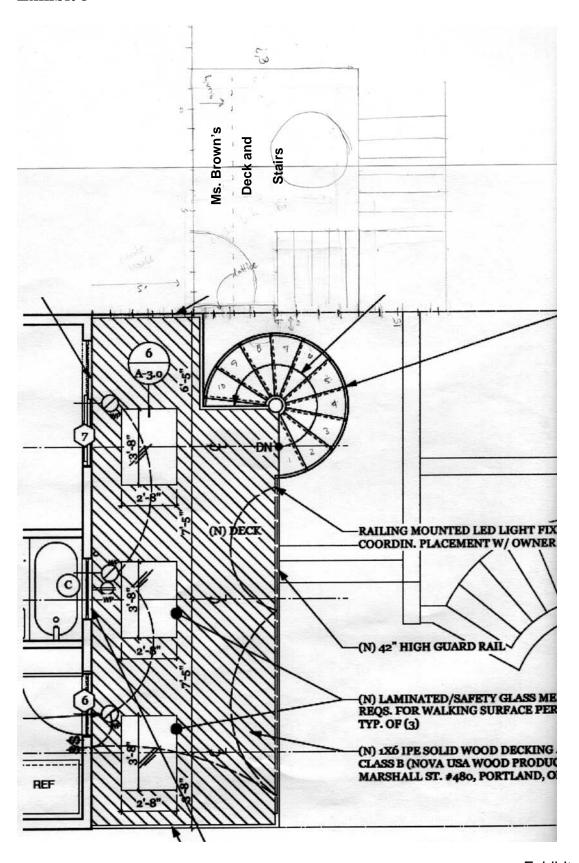
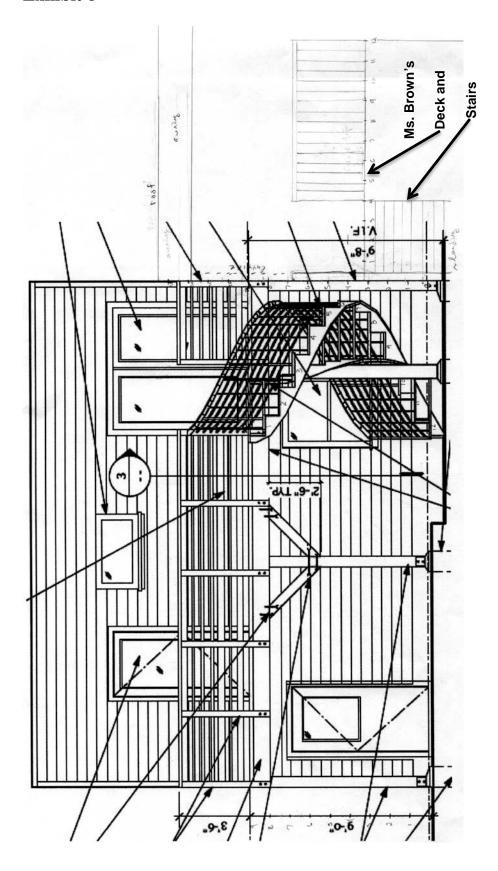


Exhibit 6



to the Architect's attention immediately.

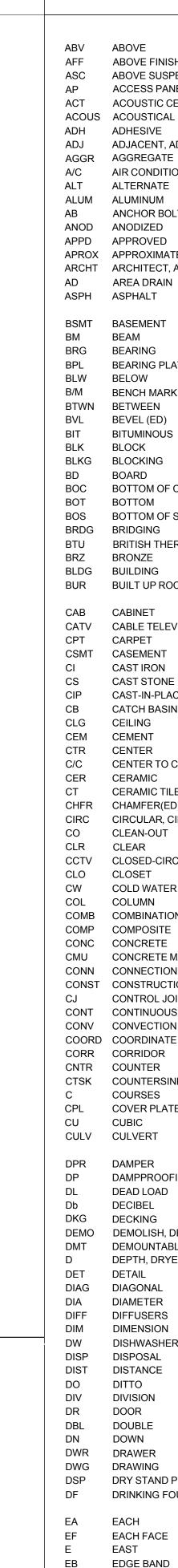
- 1. All work and materials shall be in full accord with the latest rules and regulations of the Safety Orders of the Division of Industrial Safety, California Labor Code and all applicable federal, state and/or local health regulations. References to "code" or to "building code" not otherwise identified shall mean the Edition of the California Building Code in effect in the city of San Francisco (CBC 2010), on the date(s) permits are granted. Nothing in the Drawings or these Specifications is to be construed as requiring or permitting work that is contrary to these rules, regulations and codes.
- 2. Any reference to standards shall comply with requirements of latest revision.
- 3. Construction shall comply with all State of California Title 24 requirements and mandatory measures per Compliance certification herein.
- 4. Documents: The Construction Documents include these Drawings and Notes, Specifications and all revisions, additions and addenda's. Drawings are as accurate as possible, but are not guaranteed. Drawings do not illustrate every detail but show only special requirements to assist Contractor. Contractor is to thoroughly examine the drawings and specifications, and existing site conditions and by entering into the work, states that the documents are sufficient to provide a complete installation of all portions of the work. Report any questions or requests for clarification to the Architect/Designer immediately. If, in the opinion of any contractor, any construction details shown or otherwise specified are in conflict with accepted industry standards for quality construction or might interfere with his full guarantee of the work, he/she is to notify the Architect immediately for clarification. No omission or lack of detailed requirements in the drawings or
- 5. DO NOT SCALE DRAWINGS. Drawings of larger scale take precedence over drawings of smaller scale. Specifications take precedence over drawings. (1") indicates actual size. 1x indicates nominal size.

specifications is to be construed as allowing any materials or workmanship below industry standards.

- 6. All dimensions are to face of stud unless otherwise noted. Vertical dimensions are to finish floor
- unless noted otherwise. It is the contractor's responsibility to establish sub floor elevations. 7. It is the Contractor's responsibility to maintain a complete and organized set of construction
- documents at the project site at all times when work is in progress. 8. Site Conditions: Contractor shall verify and be responsible for job site conditions, measurements and levels. If differing from Contract Drawings or reviewed Submittals, discrepancies shall be brought
- 9. At all times the Contractor shall be solely and completely responsible for the conditions of the job site including safety of persons and property, and for all necessary independent engineering reviews of these conditions. The Architect's/Designer's and or Structural Engineer's job site review is not intended to included review of the adequacy of the Contractor's safety measures. The Contractor shall take all precautions necessary to protect workmen and public from injury; protect from damage all existing utility lines, structures, and property, on and adjacent to project site; keep the job site and adjoining premises free from accumulations of waste materials resulting from the Work. The Contractor shall not bury or burn rubbish on Owner's premises.
- 10. Safe temporary shoring and bracing necessary to support the incomplete structure is the Contractor's responsibility.
- 11. Contractor shall supervise and direct the work, inspect all work in progress and materials as they arrive for compliance with the Contract Documents and reject defective work or materials immediately upon performance or delivery; deliver, store and handle all materials and products in a manner which will prevent their damage and deterioration; make all repairs or replacement necessary at no additional cost to the Owner in the event of damage.
- 12. Prior to commencement of any portion of work, the Contractor shall carefully inspect and verify that work is complete to the point where new work may properly commence and all areas of discrepancy have been fully resolved. In event of failure to do so, the Contractor shall be responsible for correction of any errors at no expense to the Owner.
- 13. The Contractor shall coordinate the relations of various trades to see that required anchorage or blocking is furnished and set at proper times.
- 14. All materials and equipment are to be installed in strict accordance with the latest edition of manufacturer's written installation instructions and specifications. Generic materials not specified by manufacturer are to be installed in accordance with recommendations of applicable trade associations (For example, Concrete Steel Institute, Gypsum Association, etc.)
- 15. The Contractor shall coordinate work in order to produce harmony of matching finishes, textures, colors, etc. throughout various components of the project.
- 16. Wood imbedded into the ground, in direct contact with the earth & used for the support of permanent structures shall be treated wood. All foundation plates or sills and sleepers on a concrete or masonry slab which are in direct contact with the earth, and sills which rest on concrete or masonry foundations, shall be treated wood.
- 17. Provide draft stops and fire blocking as required by code
- 18. All interior wall and ceiling finishes shall comply with code
- 19. Stucco shall be three coat 7/8 " min. thick exterior stucco application per code. Provide two layers of grade D building paper under stucco where applied over wood sheathing. Provide a min. 26 gauge corrosion resistant weep screed with a min. vertical attachment flange of 3 1/2" at or below the foundation plate line on all exterior stud walls, placed a minimum of 4 inches above grade such that trapped water is allowed to drain to the exterior of the building.
- 20. Provide tightly sealed 5/8" type "X" gypsum sheathing underlayment under cement board siding per code
- 21. Doors and panels of shower and bath enclosures and adjacent wall openings within 60 inches above a standing surface and drain inlet shall be fully tempered, laminated safety glass or approved plastic and shall comply with code
- 22. Shower area walls shall be finished with a hard non absorbent surface to a height of not less than 70" above drain outlet. Provide water resistant gypsum green backing board for tile or wall panels for tub, shower or water closet compartment walls. Provide cementious backing unit board as a base for thin-set and glue-on tile for tub/shower enclosure walls. Provide shower drain which has a finished dam, curd, or threshold which is at least one inch lower than the sides and back of such drain and should be sloped per California Plumbing Code. On ceiling where water-resistant gypsum green backing board is used provide support at 12" on maximum on center

GENERAL ELECTRICAL NOTES

- 1. Fixtures indicated for damp or wet locations shall be approved for use in such locations.
- 2. Provide separate branch circuit rated per manufacturer's recommendations for garbage disposal, furnace, dishwasher, pumps, and other equipment and appliances.
- 3. Mount all switches at 42" above finish floor unless otherwise shown or indicated. Mount outlets vertically at 10" to centerline above finish floor unless shown or indicated otherwise. Mount switches and outlets horizontally at 9" to centerline above countertops. Gang all switches and outlets with single piece cover plate where shown grouped on the drawings. See interior elevations.
- 4. Align all switches and outlets on centerline vertically where shown stacked on drawings. See interior elevations for additional information on locations of outlets, fixtures and switches. When questions arise as to exact locations, center in relationship to adjacent perpendicular surfaces.
- See Specifications for Light Fixture Schedule.
- 6. Provide two min. separate 20 amp. circuits to kitchen appliances, and one min. separate 20 amp. circuit to laundry appliances.
- 7. Smoke detectors shall be permanently hard wired with battery backup per code
- 8. Provide GFCI protected outlets in the following locations: -in garage and unfinished basement, except receptacles on dedicated circuit for appliances and equipment -within 6 feet of kitchen sinks.
- in bathrooms
- 9. Provide weatherproof and GFCI outlets at exterior locations.
- 10. Provide backdraft damper on kitchen hood and other exhaust fans.
- 11. Waterheaters shall have non rigid water connections and be secured with rigid anchors to resist earthquakes
- 12. Provide pressure relief valve with drain to outside at water heaters.
- 13. Comply with general notes sheet A-0.1 and mandatory requirements of Title 24.



EWC

EWH

ELEC

ELEV

EMER

ENCL

ENGR

EQ

EST

EP

EL

ELECTRIC WATER COOLER

ELECTRIC WATER HEATER

ELECTRIC, ELECTRICAL

ELEVATION (SURVEY)

ELECTRICAL PANEL

ELEVATOR

ENCLOSE

ENGINEER

EQUAL

ESTIMATE

EMERGENCY

EXC EXCAVATE LTL LINTEL LOC LOCATION ABOVE FINISHED FLOOR EXEC EXECUTIVE ABOVE SUSPENDED CEILING EXH **EXHAUST** LKR LOCKER **ACCESS PANEL** EX **EXHAUST FAN** LONG LEG HORIZONTAL ACOUSTIC CEILING TILE EXIST **EXISTING** LLV LONG LEG VERTICAL ACOUSTICAL **EXPANSION JOINT** LOUVER EJ LVR **ADHESIVE** EXP EXPANSION, EXPOSED LP LOW POINT ADJACENT, ADJUSTABLE EXT EXTERIOR LB POUND AGGREGATE **EXTR** EXTRUDED AIR CONDITIONING MACH MACHINE FAB **ALTERNATE** FABRICATE MH **MANHOLE ALUMINUM FWC** FABRIC WALL COVERING MANUFACTURER ANCHOR BOLT FACE BRICK MB MARKER BOARD FΒ **ANODIZED** FOC FACE OF CONCRETE MSRY MASONRY FOF MO MASONRY OPENING **APPROVED** FACE OF FINISH **APPROXIMATE** FOM M/L MATCHLINE FACE OF MASONRY ARCHITECT, ARCHITECTURAL FOS MATL FACE OF STUDS MATERIAL AREA DRAIN FCU FAN COIL UNIT MAXIMUM **ASPHALT** FAS FASTEN OR FASTENER MECH MECHANICAL FLD DIM FIELD DIMENSION MED MEDIUM BASEMENT FIN FINISH / FINISHED MEMB MEMBRANE FINISHED FLOOR MET METAL BEARING FO FINISHED OPENING MEZZ MEZZANINE **BEARING PLATE** FIRE ALARM MLWK MILLWORK FDR FIRE DOOR MIN MINIMUM **BENCH MARK** FIRE EXTINGUISHER MIR MIRROR FF MISC **BETWEEN** FEC FIRE EXTINGUISHER CABINET MISCELLANEOUS BEVEL (ED) FHC FIRE HOSE CABINET MOD MODULAR **BITUMINOUS** FΗ FIRE HYDRANT MON MONUMENT **FPRF** MLD MOULDING BLOCK FIREPROOF(ED) MTD **BLOCKING** FIRE RATING MOUNTED FIRE RETARDANT TREATED MOV BOARD MOVABLE **BOTTOM OF CURB** FXD FIXED MUL MULLION BOTTOM FIX **FIXTURE BOTTOM OF STEEL** FLG FLANGE NLR NAILER NAT **BRIDGING** FLASHING NATURAL NOISE REDUCTION COEFFICIENT **BRITISH THERMAL UNIT FHMS** FLAT HEAD MACHINE SCREW NRC **FHWS** NOM BRONZE FLAT HEAD WOOD SCREW NOMINAL BUILDING FLEX NPS NOMINAL PIPE SIZE FLEXIBLE **BUILT UP ROOFING** FLR FLOOR NS NON-SLIP FLOOR DRAIN NORTH CABINET FLG N/A NOT APPLICABLE FLOORING **CABLE TELEVISION FLUOR** FLUORESCENT NIC NOT IN CONTRACT FOOT, FEET NOT TO SCALE CARPET FT NTS FOOTING FTG CASEMENT NO. NUMBER **FDTN** FOUNDATION CAST IRON **CAST STONE** FRZR **FREEZER** OC ON CENTER **FURRING** CAST-IN-PLACE **FURR** OPNG OPENING CATCH BASIN / CORNER BEAD **FURN** FURNACE, FURNITURE **OPPOSITE** OH OPPOSITE HAND CEILING CEMENT ORN ORNAMENTAL GΑ GAGE OR GAUGE **CENTER GALV** GALVANIZED ΟZ OUNCE **OUTSIDE DIAMETER (DIMENSION)** CENTER TO CENTER GALVANIZED IRON OD CFRAMIC GSM GALVANIZED SHEET METAL OA OVERALL **CERAMIC TILE** OVERHEAD GAS WATER HEATER OH CHAMFER(ED **GSKT** GASKET CIRCULAR, CIRCUMFERENCE GC GENERAL CONTRACTOR **PNT** PAINT PTD CLEAN-OUT GLASS BLOCK PAINTED GLB GLASS FIBER REINFORCED GYPSUM PR CLOSED-CIRCUIT TELEVISION GL GLASS OR GLAZING **PNL** PAR CLOSET GCMU GLAZED CONCRETE MASONRY UNIT PARALLEL **COLD WATER** GB GRAB BAR PRKG PARKING PARTICLE BOARD COLUMN GRADI COMB COMBINATION OR COMBINE GVL GRAVEL **PART** PARTITION GND GROUND PSGR PASSENGER GROUND FAULT INTERRUPTOR CONCRETE GFI **PVMT** PAVEMENT CONCRETE MASONRY UNITS GT GROUT PED PEDESTAL GYP **GYPSUM** PERF PERFORATE CONNECTION GYPSUM WALLBOARD CONSTRUCTION GWB PERI PERIMETER CONTROL JOINT PERP PERPENDICULAR CONTINUOUS PH HDCP HANDICAPPED PHASE HDBD PLAM PLASTIC LAMINATE HARDBOARD HDWR HARDWARE PL PLATE CORRIDOR HDWD HARDWOOD PLBG PLUMBING HDR COUNTER HEADER PLYWD PLYWOOD COUNTERSINI HTR HEATER PEN PLYWOOD END NAIL COURSES HTG HEATING PNEU PNEUMATIC COVER PLATE **HVAC** HEATING, VENTILATION, PT POINT PVC AND AIR CONDITIONING POLY VINYL CHLORIDE **HEAVY DUTY** HD LB POUND HT HEIGHT PSF POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PSI DAMPER HP HIGH POINT **DAMPPROOFING** HC **HOLLOW CORE** PC PRECAST **DEAD LOAD** НМ PREFAB PREFABRICATED **HOLLOW METAL** HORIZ PREP DECIBEL HORIZONTAL, HORIZON PREPARE HB PT PRESSURE TREATED **DECKING** HOSE BIB DEMOLISH, DEMOLITION HW HOT WATER PROJ PROJECT/PROJECTED **DEMOUNTABLE** HR HOUR PR PROPERTY OP PROPOSED DEPTH, DRYER HYD HYDRANT QTY QUANTITY DIAGONAL INCH, INCHES QT **QUARRY TILE** DIAMETER INCL INCLUDING QTR QUARTER **DIFFUSERS** INFO **INFORMATION DIMENSION** ID INSIDE DIMENTION RAD RADIATOR INST INSTALLATION **RADIUS** DISHWASHER RLG DISPOSAL INSUL INSULATE, INSULATION RAILING DISTANCE INT INTERIOR RWL RAIN WATER LEADER (DS) REC RECESSED INV INVERT RDWD REDWOOD DIVISION **JANITOR** JAN REFERENCE (ALSO SEE RE) DOUBLE JOINT **RFL** REFLECTED JT JOINT FILLER RFRG REFRIGERATOR JF DRAWER JST JOIST RE REGARDING, REFER TO DRAWING REG REGISTER DRY STAND PIPE KICK PLATE REINF REINFORCED, REINFORCING KPL DRINKING FOUNTAIN KD KILN-DRIED RELOC RELOCATED KIT KITCHEN REM REMOVE(D) KO KNOCK OUT REQ'D REQUIRED **EACH FACE** KNOCKED DOWN REQ REQUIRMENTS RES RESILIENT

LAB

LACQ

LAM

LAV

LC

LH

LOA

LTG

LTWT

LF

LT

LABORATORY

LACQUER

LAMINATE

LAVATORY

LEFT HAND

LENGTH OVERALL

LENGTH

LIGHTING

LIGHTWEIGHT

LINEAR FEET

LIGHT

LEAD-COATED COPPER

RET

RA

RAG

REV

RH

RF

RD

RFG

RM

RO

RND

RETURN, RETAINING

RETURN AIR GRILLE

REVISE OR REVISION

RETURN AIR

RIGHT HAND

ROOF DRAIN

ROUGH OPENING

ROOFING

ROOM

ROUND

RISER

ROOF

SANITARY SCHED SCHEDULE SLNT SEALANT SELF-CLOSING SCL SERVICE SINK SHT SHEET SHTG SHEETING OR SHEATHING SHELVING, SHELF SHOWER SIMILAR SLAB ON GRADE SLOPE SMOKE DETECTOR SOLID CORE SCWD SOLID CORE WOOD DOOR SOUND TRANSMISSION COEFFICIENT SOUTH SPKR SPEAKER **SPECIFICATION** SPEC **SPRINKLER** SQUARE SQUARE FOOT/FEET SQUARE INCH/INCHES SQUARE YARD STAINLESS STEEL STANDARD STD STA STATION STL STEEL STORAGE STOR STR STRINGER STRUC STRUCTURE, STRUCTURAL SUBSTITUTE SUPPLY AIR SUSPENDED

VICINITY MAP

SYMMETRICAL SYN SYNTHETIC SYSTEM TACKABLE ACOUSTICAL PANEL TECHNICAL TECH TEL TELEPHONE TEMP TEMPERATURE/TEMPORARY/ **TEMPERED** TERM **TERMINATE** TC TERRA COTTA/TOP OR CURB TERRAZZO THK THICK, THICKNESS THRES THRESHOLD

SD

SC

SY

SS

TZ **TOILET PAPER DISPENSER TOLERANCE** TOL T&G TONGUE AND GROOVE TOP OF CONCRETE TOP OF EXT. MASONRY VENEER TOF TOP OF FINISH TOM TOP OF MASONRY TOS TOP OF STEEL TOP OF WALL TOW TB &S TOP, BOTTOM AND SIDES

TWD TREATED WOOD TYPICAL UNDERCUT UC UNFIN UNFINISHED UNIT VENTILATOR UON,UNO UNLESS OTHERWISE NOTED UR URINAL

TREAD

TRTD

TREATED

VAC VACUUM VA VALVE VB VAPOR BARRIER VAR VARIABLE VENT VENTILATION VIF **VERIFY IN FIELD** VERMICULITE VERM VERT VERTICAL VG VERTICAL GRAIN VESTIBULE VB VINYL BASE VINYL COMPOSITION TILE VWC VINYL WALL COVERING

WSCT WAINSCOT WASTE RECEPTACLE, WATER RESISTENT WH WATER HEATER WSTO WATER STOP (@ CONC JOINT) WATERPROOF, WATERPROOFING WSTRP WEATHERSTRIP WT WEIGHT WELDED WIRE FABRIC OR MESH WHERE OCCURS WF WIDE FLANGE WIDTH, WASHER, WEST, WATER WDW WINDOW W/ WITH

WPT **WORKING POINT** WI WROUGHT IRON AND ΑT **ANGLE** BY

WITHOUT

WOOD BASE

WOOD

W/0

WD

CENTERLINE **EQUAL** POUND PROPERTY LINE







Joost Ave

Mangels Ave

DRAWING INDEX

A-o.o COVER SHEET

A-0.1 GENERAL NOTES A-0.2 SURROUNDING IMAGES

A-0.3 TITLE 24 REPORT-1 A-0.4 TITLE 24 REPORT-2

A-1.0 SITE PLAN A-2.0 EXISTING/ DEMO FLOOR PLANS

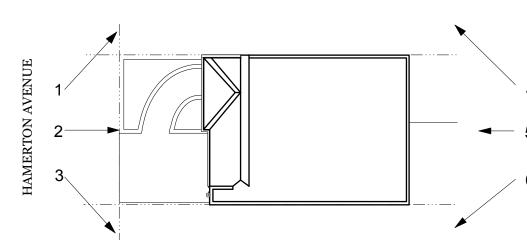
A-2.1a PROPOSED FLOOR PLANS A-3.0 EXISTING & PROPOSED ELEVATIONS & DETAILS

A-4.0 PROPOSED SECTION & DETAILS

NEIGHBORING PHOTOS, SEE A-0.2

179 HAMERTON AVENUE

Joost Ave



SCOPE OF WORK

CONSTRUCTION OF NEW DECK LOCATED AT THE REAR MAIN LEVEL OF THE EXISTING HOUSE WITH EXTERIOR STAIR TO REAR YARD. NEW DOORS AT THE REAR MAIN LEVEL, AND ONE DOOR AT THE REAR REMOVE & REPLACE BATHROOM WINDOW "IN-KIND".

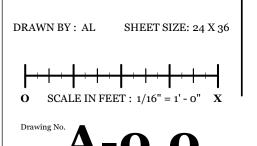
NEW LOWER LIVING LEVEL: ALTER LOWER LEVEL TO REMODEL EXST. BEDROOM & INCORPORATE NEW HALLWAY. ENLARGE WINDOW AT REMODELED BEDROOM.

PROPERTY/PROJECT INFORMATION

LOT: 16 BLOCK: 6759 ZONING: RH-1 OCCUPANCY: BUILDING USE: 1 FAMILY DWELLING CONSTRUCTION: TYPE V YEAR BUILT: 1957 LOT AREA: 2,495 SQ. FT. BUILDING SQ. FT.: 847 SQ. FT. 3 BEDROOMS

05.17.14 PERMIT SET

NO DATE ISSUES/REVISIONS **COVER SHEET**



B ALL STRUCTURAL POSTS AND FRAMING STUDS SHALL BE SPRUCE PINE GRADE #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES BENDING STRESS "Fb"=875 PSI HORIZONTAL SHEAR "FV"=135 PSI COMPRESSION PERPENDICULAR TO GRAIN "Fc"=425 PSI COMPRESSION PARALLEL TO GRAIN "Fc"=1150 PSI

MODULOUS OF ELASTICITY "E"=1,400,000 PSI C PLYWOOD LAMINATED (MICROLAM) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

BENDING STRESS "Fb"=2800 PSI HORIZONTAL SHEAR "Fb"=200 PSI

MODULUS OF ELASTICITY "E"=2,000,000 PSI D CUTTING AND NOTCHING FLOOR JOISTS SHALL CONFORM TO THE

FOLLOWING: NOTCH DEPTH IN THE TOP OR BOTTOMOF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AT THE ENDS OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN (INCLUDING BIRDS MOUTH CUTS).

NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE FOURTH THE DEPTH OF THE MEMBER THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS OF FOUR INCHES OR GREATER IN NOMINAL THICKNESSSHALL NOT BE NOTCHED, EXCEPT AT THE ENDS OF MEMBER.

HOLES BORED OR CUR INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOISTS.

- E PROVIDE BLOCKING BETWEEN ALL JOISTS AT INTERVALS NOT TO EXCEED EIGHT FEET.
- PROVIDE SOLID BLOCKING AT FOUR FEET ON CENTER BETWEEN JOISTS AND FIRST INTERIOR PARALLEL JOISTS.
- JALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER HAVING THE FOLLOWING MINIMUM PROPERTIES: COMPRESSION PARALLEL TO GRAIN "Fc"=425 PSI
- MODULUS OF ELASTICITY "E"=1,200,000 PSI H HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD
- OF STUD WIDTH. ALL STUD BEARING WALL TO BE PROVIDED WITH TWO CONTINUOUS TOF PLATES AND ONE CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL UNLESS OTHERWISE NOTED. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.
- J | ALL LINTELS OVER ALL FRAMED OPENINGS TO BE AS SHOWN BELOW **JUNLESS OTHERWISE NOTED:** 2-2X8: FOR OPENINGS UP TO 4'-6"

2-2X10: FOR OPENINGS UP TO 5'-6"

2-2X12: FOR OPENINGS UP TO 7'-10"

- K | WOOD TRUSS RAFTERS SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED SIXTEEN GAUGE TOOTHED METAL PLATES OR 20 GAUGE NAIL STEEL GUSSET PLATES. CONNECTION SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL ECCENTRICITIES. SHOP DRAWING SHALL BE SUBMITTED FOR APPROVAL SHOWING THE DESIGN OF THE TRUSS RAFTERS. FLOOR TRUSSES SHALL BE CAPABLE OF SUSTAINING A TOTAL SUPERIMPOSED LOAD OF EIGHTY PSF OR FIFTY PSF (PER LOCATION) ALONG THE TOP CHORD AND FIVE PSF ALONG THE BOTTOM CHORD. ROOF TRUSSES SHALL BE CAPABLE OF SUSTAINING A TOTAL SUPERIMPOSED LOAD OF FORTY FIVE PSF ALONG THE TOP CHORD AND SIX PSF ALONG THE BOTTOM CHORD. APPROPRIATE TRIANGULAR LOADING SHALL BE USED IN THE DESIGN OF THE DIAGONALLY PLACED TRUSSES. CONCENTRATED LOADS AT FOLDING PARTITION AREAS MUST BE INCLUDED IN THE DESIGN.
- TRUSSES SHALL BE FABRICATED AND ERECTED IN CONFORMANCE WITH A.I.T.C. 102-65. ALL LUMBERS SHALL BE KILN DRIED
- M ALL ROOF RAFTERS AND TRUSSES SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE EIGHTEEN GAUGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# LOADING UNLESS OTHERWISE INDICATED.
- N | ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO STEEL OR CONCRETE FRAMING WITH POWER ACTUATED FASTENERS OR 3/8" DIAMETER BOLTS UNLESS OTHERWISE NOTED. FASTENERS SHALL BE SPACED AT 24" MAXIMUM O.C. AND SHALL BE STAGGERED. FASTENERS ISHALL HAVE A MINIMUM CAPACITY OF 100# IN SHEAR AND PULLOUT UNLESS OTHERWISE NOTED.

General Construction Notes

Occupancy During Construction: The residence will be occupied during construction.

A. Protection of Existing Conditions: Protect and secure site, building, materials and equipment from theft, vandalism and unauthorized entry. Protect existing landscaping, windows, interior and exterior walls and doors from damage during construction. Protect finished floors from dirt, wear and damage. Protect existing house from construction dust and debris and damage to the greatest extent possible.

B. Demolition: Carefully remove existing structures, materials and items noted or required to be removed so as not to cause damage to adjacent surfaces or equipment. Take special care with items which are to be reused. All materials removed from the building or site shall become the property of the Contractor unless specifically designated by the Owner. All debris generated is to be removed from the building on a daily basis and either hauled away or stored in a dumpster. At completion of work all damaged surfaces shall be restored to the optimum condition. Repair areas damaged by demolition operations. All areas of renovation of existing conditions shall be finished to match existing, unless otherwise noted.

C. Unforseen Conditions: The Contractor shall promptly notify the Owner and Designer of any condition which requires the Contractor to perform work which could not have been reasonably ascertained from either the construction documents or inspection of existing conditions prior to the commencement of construction. If such a condition is found to exist, the Contractor shall submit a change order for the remedying of the condition.

D. Cleaning upon Completion of Work: At the completion of work, the Contractor shall be responsible for cleaning areas of the house where work has been done thoroughly, including, but not limited to the following: all carpeted areas shall be vacuumed, all hard surface floors shall be mopped, all bathrooms and fixtures shall be cleaned, all existing windows shall be cleaned on the inside, all new windows shall be cleaned inside and out, all interior and exterior walls shall be cleaned of construction dust, all new light fixtures shall be dusted.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES, REGARDLESS OF WHAT IS SHOWN, OR NOT SHOWN, IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL OTHER APPLICABLE STATE OR
- LOCAL ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL APPLY. THE GENERAL CONTRATOR (G.C.) SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENTS, SERVICES AND
- RANSPORTATION TO COMPLETE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS. 3. THE OWNER SHALL PAY FOR THE GENERAL BUILDING PERMIT. ALL OTHER RELATED PERMITS AND INSPECTIONS
- REQUIRED TO EXECUTE THE WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR (G.C.). 4. CONTRUCTION METHODS: NEITHER THE ARCHITECT OR THE OWNER SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS. METHODS OR TECHNIQUES. SEQUENCES OR PROCEDURES OF THE CONTRACTOR SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR OR FAILURE OF THE CONTRACTOR TO PERFORM
- THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. 5. CONFLICTS / INTERPRETATION OF DIMENSIONS ON CONTRACT DOCUMENTS:
- a. THE GENERAL CONTRATOR (G.C.) SHALL REVIEW ALL DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE SHOWN ANY CONFLICTS OR OMISSIONS ETC. SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION, G.C. SHALL NOT PROCEED ON ASSUMPTIONS
- b. IN CASE OF DISCREPANCIES OR CONFLICTS IN INFORMATION OR REQUIREMENTS WITHIN SPECS. OR BETWEEN THE DRAWINGS AND SPECS, THE MOST EXPENSIVE REQUIREMENT SHOWN OR SPECIFIED SHALL BE THE BASIS OF THE CONTRACT FOR CONSTRUCTION.
- c. IN CASE OF CONFLICT BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- d. THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR ILLUSTRATION PURPOSES ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LAYOUTS AND EXISTING CONDITIONS PRIOR TO EXECUTING THE WORK. G.C. IS REPSONSIBLE TO COORDINATE ALL ILLUSTRATED WORK W/ SUBCONTRACTOR PRIOR TO EXECUTING THE

e. DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

f. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC SCALE SHOWN. DIMENSIONS SHOULD NOT BE DETERMINED BY TAKING MEASUREMENTS FROM SCALED DRAWINGS. IF ADDITIONAL DIMENSIONS ARE NEEDED THEY SHOULD BE REQUESTED FROM THE ARCHITECT.

g. ALL DIMENSIONS ARE TO FACE OF STUD, U.N.O. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING GYPSUM BOARD. TRIM, CARPET, TILE, ETC.

- h. GRID LINES (IF SHOWN) ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY IMPLY STRUCTURAL COLUMN CENTER LINES OR EXISTING EDGES
- i. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO. AT A GIVEN LOCATION, SHALL BE CONSIDERED TO BE TYPICAL FOR SAME OR SIMILAR CONDITIONS UNLESS NOTED 6. ALL SYSTEMS AND ASSEMBLIES SHALL BE FOR COMPLETE AND FULLY FUNCTIONAL OPERATION EVEN IF NOT
- FULLY DESCRIBED IN THE CONTRACT DOCUMENTS. IN THE EVENT CERTAIN FEATURES OF CONTSRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, OR CALLED FOR IN THE SPECS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER OF SIMILAR CONDITIONS SHOWN OR CALLED FOR, OR SHALL BE INSTALLED PER ACCEPTED INDUSTRY STANDARDS. 7. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS, AND BY SUBMITTING A BID SHALL ACCEPT THE CONDITIONS UNDER WHICH THE WORK SHALL BE PERFORMED.
- 8. ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE. WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH NORMAL OPERATION OF OVERTIME, NON-REGULAR BUSINESS HOUR BASIS TO BE COORDINATED WITH THE PROJECT OWNER & ITS 9. INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, APPLIANCES, AND ACCESSORIES IN CONFORMANCE WITH THE
- MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. VERIFY ALL SUCH REQUIREMENTS PRIOR TO STARTING THE WORK IN THE AREAS WHERE THEY OCCUR. 10. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL AND TRUE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 11. UNLESS OTHERWISE NOTED ALL CONNECTIONS SHALL BE CONCEALED. THE USE OF SURFACE FASTENERS SHALL BE APPROVED BY THE ARCHITECT. ALL EXTERIOR FASTENERS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
- 12. SURVEY FIELD CONDITIONS AND VERIFY, THAT WORK IS FEASIBLE AS SHOWN; VERIFY LOCATION OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURE AND OTHER ELEMENTS 13. NEITHER THE ARCHITECT NOR THE OWNER SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, OR SAFETY PRECAUTIONS EMPLOYED BY THE G.C. OR SUBCONTRACTORS IN ORDER TO COMPLETE THE WORK.
- COORDINATE WITH OWNER TO ENSURE SECURITY. 15. ALL PENETRATIONS SHALL BE SEALED FOR WATER TIGHT PERFORMANCE. INSTALL POLYURETHANE BASED SEALANT AT ALL PENETRATIONS AND JOINTS. FOR JOINTS LARGER THAN 1/2" SEALANT SHALL BE INSTALLED OVER APPROVED SOLID BACKER ROD

14. WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL

GENERAL NOTES (EXISTING CONSTRUCTION)

- G.C. SHALL NOTIFY THE ARCHITECT OF ANY EXISTING UTILITIES. NOT COVERED IN THE CONSTRUCTION / DEMOLITION DOCUMENTS. WHICH MAY INTERFERE WITH THE INSTALLATION/COMPLETION OF SCOPE OF WORK. THE G.C. SHALL DISCUSS THE REMOVAL OF THESE UTILITIES WITH THE ARCHITECT AND THE BUILDING INSPECTOR PRIOR TO PROCEEDING WITH WORK. WHEN REMOVAL IS APPROVED BY THE ARCHITECT AND THE BUILDING INSPECTOR, G.C. SHALL DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO THE SOURCE (OR PERIMETER OF PROJECT SITE) AND CAP, ALL BUILDING PENETRATIONS RESULTING FROM THIS REMOVAL OR THIS CONSTRUCTION SHALL BE SEALED WITH NEW CONSTRUCTION TO MATCH ADJACENT BUILDING FINISHES
- PATCH & REPAIR ALL AREAS AFFECTED BY CONSTRUCTION OF SCOPE OF PROJECT AT NO COST TO OWNER. PATCH AND REPAIR SURFACES TO MATCH MATERIALS AND FINISHES OF ADJACENT SURFACES. REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM
- OPERATIONS. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED. a. BEFORE REMOVING WALLS OR EXST. CONST. G.C. SHALL INSPECT EXST. FRAMING AND PROVIDE ADEQUATE TEMPORARY SHORING. G.C. SHALL NOTIFY ARCHITECT OF ANY LOAD BEARING CONSTRUCTION INDICATED TO BE REMOVED PRIOR TO PROCEEDING WITH DEMOLITION. b. IN INDICATED AREAS PROVIDE SELECTIVE DEMOLITION OF EXISTING CONDITIONS. CUTTING SHALL BE MADE CLEANLY AND IN STRAIGHT LINES WITHOUT DAMAGING SURROUNDING WORK. CUT AND CAP EXISTING UTILITIES AS REQUIRED. DISPOSE OF ALL WASTE MATERIAL OFF SITE IN A LEGAL MANNER. c. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY, AND IN A CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION ON A DAILY

FRAMING/FINISH NOTES

- 1. a. Unless noted otherwise, all framing lumber shall be: FSC Certified b. Unless noted otherwise, all exposed (unpainted) finish lumber shall be: select or better grade S4S. c. Unless noted otherwise, all painted trim shall be: paint grade American Poplar. d. All wood to be left exposed to weather shall be NON ARSENIC CONTAINING COPPER AZOLE treated wood or Redwood
- (does not include siding material). All connectors, hardware, screws and nails for same shall be galvanized or stainless steel. e. Provide non-combustible material within 18" at all surfaces of heat producing equipment as per code requirements. 2. a. PROVIDE FIRE BLOCKING AND DRAFT STOPS IN CONCEALED CAVITIES IN ACCORDANCE WITH CBC SECTION

b. PROVIDE SOLID BLOCKING & BACKING AT ALL RAILS, CABINETS, AND MOUNTING OF EQUIPMENT AND ACCESSORIES (eg TOWEL BARS, SHELVES, ETC.).

- c. USE 5/8" TYPE WR GYP. BD. ("GREEN BOARD") AT ALL WET LOCATIONS.
- d. USE 5/8" TYPE 'X' GYP. BD. AT ALL BLINDWALLS AND IN FIRE RATED ASSEMBLIES.
- e. ATTACH ALL GYP.BD. TO STUDS WITH A MIN. OF 1-3/4" LONG STEEL DRYWALL NAILS WITH 0.102" DIA. SHANK AND 0.29" DIA. HEAD, SPACED 7" O.C., U.N.O.
- ROOF VENTILATION NOTE: ALL ROOF FRAMING AND EXTERIOR SOFFITS SHALL BE ADEQUATELY VENTED (IN ACCORDANCE W/ CBC 1505.3) TO PREVENT MOISTURE RELATED ROT. SEE PLANS AND ELEVATIONS FOR LOCATIONS OF VENTS. TOP OF BATT INSULATION SHALL BE HELD DOWN 2" BELOW ROOF SHEATHING, AND CONTINUOUS AIR FLOW SHALL BE PROVIDED TO ALL ROOF CAVITIES. WHERE REQUIRED CUT 2" SQUARE NOTCHES @ 24" O.C. ALONG TOP EDGE OF JOIST/RAFTERS TO PROVIDE AIR FLOW BETWEEN ALL JOIST/RAFTER SPACES. IF NECESSARY, INSTALL VENTS IN ADDITION TO THOSE SHOWN ON THE DRAWINGS IN ORDER TO VENT ALL CAVITIES.

DESIGN-BUILD NOTES

ii. PLUMBING

- a. THE LAYOUT OF THESE SYSTEMS IN THE DRAWINGS IS SCHEMATIC IN NATURE AND IS ONLY INTENDED TO INDICATE THE GENERAL SCOPE OF THIS WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENSURING THE PROPOSED SYSTEMS ARE IN COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL PROVIDE ALL DESIGN DOCUMENTATION AS MAY BE REQUIRED FOR THE ISSUANCE OF RELATED PERMITS AND b. DESIGN-BUILD PORTIONS OF THE SCOPE OF WORK (TO BE UNDER SEPARATE PERMIT) INCLUDE: ELECTRICAL
- DESIGN-BUILD ELECTRICAL/MECHANICAL/PLUMBING NOTES: a. INDICATED DIMENSIONS ARE TO CENTERLINE OF THE OUTLET (SWITCH) OR CLUSTER OF OUTLETS (SWITCHES), U.N.O; GANG COVERPLATES SHALL BE ONE PIECE TYPE U.N.O. . b. AVOID MOUNTING OUTLETS BACK TO BACK ON OPPOSITE SIDES OF PARTITION. c. LOCATION OF THERMOSTATS ON ARCHITECTURAL DWGS SHALL ONLY BE A REFERENCE FOR COORDINATION. TYPE, QUANTITY AND LOCATION OF THERMOSTATS SHALL BE SHOWN ON MECH. DWGS. AND SHALL SUPERSEDE ARCH. DWGS. d. G.C. TO COORDINATE INSTALLATION OF TV AND TELEPHONE WIRING WITH VENDORS. e. LIGHT SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED WITH A SINGLE PLATE. f. COLOR OF ALL COVER PLATES, RECEPTACLES AND SWITCHES TO BE OF BRIGHT WHITE AND OF "LUTRON-STYLE", U.N.O. g. G.C O CONTACT AND NOTIFY LOCAL POWER COMPANY OF CONSTRUCTION AND ANY MODIFICATION TO EXISTING POWER SERVICES. G.C. TO NOTIFY OWNER OF SCHEDULING OF POWER SERVICE INTERUPTIONS/ MODIFICATIONS. h. IF ELECTRICAL/MECHANICAL CONTROLS CAN NOT BE INSTALLED AS INDICATED ON THE PLANS DUE TO THE CONFLICT WITH THE BUILDING ELEMENTS, NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK. i. INSTALL ELECTRICAL CONTROLS (eg SWITCHES, RECEPTACLES, SMOKE DETECTORS, EXIT SIGNS, ETC.) IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL WALL RECEPTICLES SHALL BE MOUNTED @ 18" A.F.F. U.N.O. WHERE RECEPTACLES ARE SHOWN OVER COUNTERTOPS (KITCHEN, BATH, ETC.) MOUNT @ 6" ABOVE FINISH COUNTER U.N.O. ALL RECEPTACLES IN WET AREAS TO BE "GFI" GROUND FAULT INTERUPT TYPE. j. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS PER CITY OF SAN FRANCISCO ORDINANCE.

LEGEND:

(N) WALL: 2x FRAMING @ 16" O.C. W/ 5/8" GYP. BD. EA. SIDE (N) CAST-IN PLACE CONC. WALL - SEE

STRUCTURAL DWGS. (N) 1 HR. RATED WALL: SIMA 2x FRAMING @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EA. SIDE

NEW SUPPLY AIR REGISTER IN FLOOR TEMPERED GLASS

NEW DOOR MARKER -

SEE DOOR SCHEDULE

NEW WINDOW MARKER

- SEE WINDOW SCHED.

NOTE TO CONTRACTORS:

LUMP SUM BIDS ARE NOT ACCEPTABLE. PROVIDE DETAILED BIDS FOR REVIEW BY OWNER/ARCHITECT WITH SEPARATE LINE ITEM AMOUNTS FOR EACH PORTION OF THE WORK.

EXISTING SITE CONDITIONS NOTES:

1. DIMENSIONS OF EXISTING BUILDINGS/SITE FEATURES ARE APPROXIMATED AND ARE NOT BASED ON SURVEY INFORMATION. GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

2. NO SOILS REPORT HAS BEEN PERFORMED. FOUNDATION DESIGN ASSUMES ADEQUATE SOIL BEARING CONDITIONS. OWNER & GENERAL CONTRACTOR TO VERIFY SOIL BEARING CONDITIONS AND OBTAIN SOILS REPORT IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED AT THE SITE.

"ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

"TYPICAL" OR "TYP" SHALL MEAN, THAT THE CONDITION IS REPRESENTATIVE OF SIMILAR CONDITIONS THROUGHOUT. U.N.O. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.

"SIMILAR" OR "SIM." MEANS COMPARABLE CHARATERISTICS FOR CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.

"S.A.D" = SEE ARCHITECTURAL DRAWINGS "S.S.D" = SEE STRUCTURAL DRAWINGS "B.O." = BOTTOM OF.

"T.O." = TOP OF "UNO" = UNLESS NOTED OTHERWISE

"O.C." = ON CENTER "GSM" = GALVANIZED SHEET METAL

____ DIMENSIONS ARE TO FACE OF FRAMING U.N.O.

ENERGY/INSULATION/WATER SAVING SPECIFICATIONS TO BE INCLUDED IN BASE BID:

1. Insulate roof to at least R-38. Insulate all cavities around structural beams and headers.

2. Insulate walls to at least R-19. Insulate all cavities around structural beams and headers.

3. Insulate existing raised floor (from crawl space) to R-30

4. All windows to be double glazed, wood-clad frame, low-E with maximum U factor of .39. All skylights (if included in project) to have maximum <u>U factor of .9</u>

5. New furnace to have minimum AFUE rating of 92%.

6. All ducts not in conditioned space to be insulated to a minimum R 8.0. All ductwork to be sealed in compliance with energy code

7. Domestic hot water heater to have minimum recovery efficiency of 82%.

8. Insulate all 3/4" or larger hot water pipes, and the first 5 feet of water pipes entering water heater, w/ R-4 or equivalent.

9. All Toilets to be Dual-Flush with avg. 1.6 gpf. All faucets to be

MATERIAL SPECIFICATIONS:

1. ALL EXTERIOR POSTS, JOISTS, BEAMS, AND STRINGERS TO BE PRESSURE TREATED: (NON ARSENIC CONTAINING) "WOLMANIZED" (COPPER AZOLE) OUTDOOR WOOD.

CERTIFIED WOOD. 3. ALL CONCRETE USED FOR THIS PROJECT TO CONTAIN 35% FLY-ASH, S.S.D.

2. DECKING, STAIR TREADS, AND RAILINGS TO BE FSC

4. FRAMING: ENGINEERED LUMBER, OSB, INSULATED HEADERS -

INTERIOR:

5. PAINT: ALL PAINT TO BE NON OR LOW-V.O.C. CONTAINING PAINTS (BY SAFECOAT OR EQUIV.)

6. BATT INSULATION: USE ONLY RECYCLED COTTON BATT, OR MINERAL WOOL BATT INSULATION. (FORMALDEHYDE-FREE FIBERGLASS BATT MAY BE ACCEPTABLE AS A COST SAVING MEASURE - CONFIRM WITH OWNER).

7. RIGID BOARD INSULATION: USE ONLY CFC & HCFC FREE (ZERO OZONE DEPLETION POTENTIAL) RIGID FOAM INSULATION.

studio upwall 305 San Anselmo Ave San Anselmo, Ca 94960 TEL: 415-317-3272

05.17.14 PERMIT SET

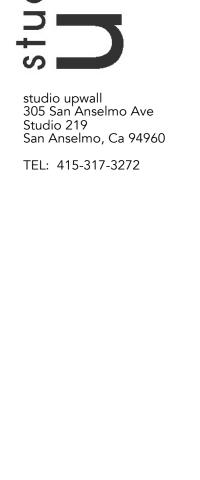
NO DATE ISSUES/REVISIONS **GENERAL NOTES**

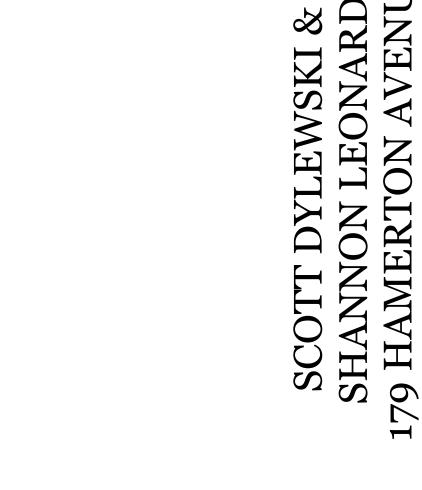
DRAWN BY: AL SHEET SIZE: 24 X 36

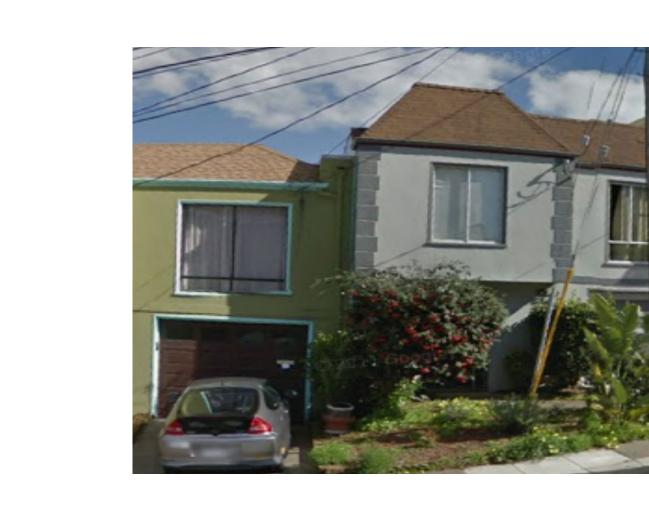






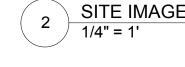






3 SITE IMAGE 1/4" = 1'

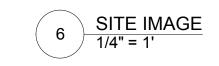
4 SITE IMAGE 1/4" = 1'









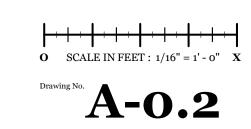


1 SITE IMAGE 1/4" = 1'

05.17.14 PERMIT SET

SURROUNDING IMAGES DRAWN BY: AL SHEET SIZE: 24 X 36

NO DATE ISSUES/REVISIONS



Project N			.1111110			ential			(Part	1 01 3)	CF-1I
,	_{ame} <i>Ylewski</i>			Buil	ding Type		gle Famil _! Iti Family		Addition Alone Existing+ Addition	on/Alteration	Date 5/16/201
Project A	ddress				ifornia Ene			Total (Cond. Floor Area	Addition	# of Stori
	merton Avenu				A Clima		e 03		1,102	94	2
FIELI	D INSPEC	TION	ENERG	Y CHE	CKLIS	ST					
☐ Yes	s ☑ No HE	RS M	easures -	- If Yes,	A CF-4	R mus	st be pr	rovid	ed per Part	2 of 5 of t	his form.
☑ Yes	s □ No Sp	ecial F	eatures	If Yes,	see Pa	ırt 2 of	5 of th	is fo	rm for detail	ls.	
	ATION					Area	Spe				
	ruction Ty	ре		Cav	/ity	(ft ²)	•		s (see Part	2 of 5)	Status
Wall	Wood Framed			R-13		911				<u> </u>	Existing
Door	Opaque Door			None		4					New
Floor	Wood Framed w	//Crawl S	pace	R-13		592					New
Slab	Unheated Slab-	on-Grade		None		161	Perim =	56'			Existing
Wall	Wood Framed			R-13		116					Altered
Wall	Wood Framed			R-13		114					New
Slab	Unheated Slab-	on-Grade		None		94	Perim =	40'			New
				-							
	STRATION	_	U-						Exterior		
Orient	tation Area	$a(ft^2)$	Factor	SHGC	Overh	ang	Sidefi	ns	Shades		Status
Front (W)		55.0	1.040	0.76	none		none		Bug Screen		Existing
Rear (E)		68.5	0.370	0.32	none		none		Bug Screen		New
Rear (E)		24.5	1.040	0.76	none		none		Bug Screen		Removed
Front (W)		6.5	0.370	0.32	none		none		Bug Screen		New
	SYSTEMS		Min F		poling		Min	Eff	The	urmoetat	Statue
Qty.	Heating		Min. E		poling		Min .			ermostat	Status Existing
			Min. E 80% AF		poling Cooling		Min. 13.0 S		The Setbac		Status Existing
Qty.	Heating Central Furnace	TION							Setbac	k	
Qty.	Heating Central Furnace CDISTRIBUT		80% AF	UE No	Cooling	Duc	13.0 S	SEER	Setbac	Duct	Existing
Qty. 1 HVAC Locati	Heating Central Furnace CDISTRIBUT	He	80% AF	UE No	Cooling		13.0 S	SEER	Setbac	Duct R-Value	Existing Status
Qty. 1 HVAC Locati	Heating Central Furnace CDISTRIBUT		80% AF	UE No	Cooling		13.0 S	SEER	Setbac	Duct	Existing
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HVAC Locati	Heating Central Furnace DISTRIBUT ion ER HEATING	He Ducted	80% AF	CC Duc	Cooling poling ted	Attic, C	13.0 S	tion vented	Setbac	Duct R-Value	Status Existing
HVAC Locati	Heating Central Furnace DISTRIBUT ion ER HEATING Type	He Ducted	80% AF	UE No	cooling cooling ted Min.	Attic, C	13.0 S Et Loca Ceiling Ins,	tion vented	Setbac	Duct R-Value	Status Existing Status
Qty. 1 HVAC Locati HVAC-1	Heating Central Furnace DISTRIBUT ion ER HEATING	He Ducted	80% AF	CC Duc	Cooling poling ted	Attic, C	13.0 S	tion vented	Setbac	Duct R-Value	Status Existing
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HVAC Locati HVAC-1 WATE Qty.	Heating Central Furnace DISTRIBUT ion ER HEATING Type	He Ducted	80% AF	Co Duc	cooling cooling ted Min.	Attic, (13.0 S Et Loca Ceiling Ins, Distrik Kitchen F	vented	Setbac	Duct R-Value	Status Existing Status

PERFORMANCE CERT			(Part 2 of 5)	CF-1
Project Name	Building Type		☐ Addition Alone	Date
Scott Dylewski		☐ Multi Family	☑ Existing+ Addition/Alteration	5/16/20
SPECIAL FEATURES IN The enforcement agency should pay s justification and documentation, and sp determines the adequacy of the justific	pecial attention to the items becial verification to be used ation, and may reject a build	specified in this ch with the performar	nce approach. The enforcement a	igency
the special justification and documenta	tion submitted.		•	. ,
The HVAC System Day & Night # 394DAD0	00100B does not include a cool	ling system, field veri	fication is not necessary.	
HERS REQUIRED VERI		ny a certified HFR	S Rater. The inspector must	receive a
HERS REQUIRED VERI Items in this section require field te completed CF-4R form for each of	sting and/or verification b	by a certified HER w for final to be g	S Rater. The inspector must iven.	receive a
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Items in this section require field te	sting and/or verification b	by a certified HER w for final to be g	S Rater. The inspector must iven.	receive a

				: Residen		(Part 3 of	<u>J)</u>	CF-1F
Project Name				Building Type	☑ Single Family	☐ Addition Alone		Date
Scott Dyle					□ Multi Family	☑ Existing+ Addition/A	Alteration	5/16/20
ANNUAL E	NERGY USE S							
TDV (kr		andard F	Proposed	Margin				
(KI	Stu/ft²-yr)	27.29	25.67	1.63				
Space Heat		21.29 4.18	25.67 1.95	2.23				
Space Cool	ing	6.30	5.57	0.73				
Fans	-+ \\ <i>I</i> -+	25.77	16.25	9.52				
Domestic H	lot vvater	0.00	0.00	0.00				
Pumps	Totals	63.54	49.44	14.11				
Darcant Ro	tter Than Sta		49.44	22.2 %				
			LIEC		DE VEDIE	CATION DE	ALUBE	_
B	UILDING	COMP	LIES	- NO HE	KS VERIF	CATION REC		
Duilding Ere	ont Orientation:		(W)	270 deg	Ext. Walls/R	oof Wall Area		estration Area
	Dwelling Units:		(**/	1.00	EXI. VV alis/ FI (W)	001 VV ali Area 238		Area 62
Fuel Availal			Nat	ural Gas	(N)	274		(
Raised Floo				592	(E)	292		69
Slab on Gra				255	(S)	470		(
	eiling Height:			7.9	Roof		0	(
Fenestration		J-Factor		0.65		TOTAL	L:	130
	Average S			0.51	F	enestration/CFA Ration		11.8 %
REMARKS								
STATEM	ENT OF CO	MPLIAN	CE					
This certific	ate of compliar	nce lists th arts 1 the A	e building i dministrati	ive Regulations	pecifications nee s and Part 6 the	ded		
This certific to comply w Efficiency S	ate of compliar vith Title 24, Pa standards of the	nce lists th arts 1 the A e California	e building t dministrati a Code of I	ive Regulations Regulations.				
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This certific to comply we Efficiency Some Efficiency Some Documer Company Address City/State/Zip The individuol of construct with any oth duct sealing installer test Designer Company Address City/State/Zip	ate of compliar vith Title 24, Pastandards of the entation author nation Authornation Authornation Authornation Authornation Authornation Authornation Authornation CA 956 and with overall tion documents her calculations by verification of ting and certification of the Coronary (STUDIO UPWALL) 2100 4th Street Standards of the S	nce lists the Are California r hereby conor for design resists consists submitted frefrigerar cation and per Busin L Studio #103	e building dministration of I a Code of I a Code of I bertifies that sponsibility ent with the I with this I at charge, if field verificates & P	Name Mangalo Phone 916-568 Thereby certifice other compliance other compliance other insulation instance other phone of the cation by an approfessions Compliance other compliance other compliance other compliance other compliance of the cation by an approfessions Compliance of the cation of the catio	ation is accurate ore Suresh 3-9360 es that the proposion, and recognizion, and recognizion, approved HERS ra	signed sed building design revorksheets, with the steet that compliance und building envelope ster.	epresented specification using duct sealing red	ate d in this s ons, and design, quire

	ct Name						Вι	uilding Typ			Family					Da	te
Scot	tt Dylews	ki								Multi F	amily	⊿ Exi	sting+ A	Addition	n/Alterati	on 5/1	6/20
OP/	AQUE SU	RFAC	E D	ETAIL	S												
Surf	-	_	J-			nsulatio	n						loint App	endix			
Ty	pe Area	Fa	ctor	Cavity	Exterior	Frame	Interio	r Frame	Azm	Tilt	Status		4		Loc	ation/Co	mme
Wall	14	3 0.	.102	R-13					270	9	Existing	4.3.	1-A3		Existi	ng Main L	evel
Wall	27			R-13					180		2 Existing	4.3.				ng Main L	
Wall	27			R-13					(2 Existing	4.3.				ng Main L	
Wall	14			R-13					90		2 Existing					ng Main L	
Door				None					90		New New	4.5.				ng Main L	
Floor Wall	59			R-13 R-13			-		90		D New D Existing	4.4.				ng Main L ng Lower	
Slab	16			None					90	18	Existing Existing	4.4.				ng Lower	
Wall	11			R-13					180		Altered		1-A3 (E=4	4 3 1-A1		ng Lower	
Wall				R-13					180		New	4.3.				Hallway	
Wall				R-13	1	1			270) New	4.3.				Hallway	
Slab		_		None					() New	4.4.				Hallway	
						<u> </u>											
FEN	IESTRATI	ON S	UR														
ID	Type	Area		U-Fa			GC ²	Azm	Stat			zing				ion/Com	
1	Window		7.5		Default		Default		Existi		ingle Non					1ain Level	
2	Window		7.5		Default		Default		Existi		ingle Non					lain Level	
3	Window		0.0 4.5	0.370 0.370			NFRC NFRC		New New		VC 5300 V VC 5300 V					lain Level lain Level	
5	Window Window		4.5 4.5		Default		Default		Remo		ingle Non					lain Levei Iain Level	
6	Window		4.0	0.370			NFRC		New		VC 5300 V					lain Level Iain Level	
7	Window		0.0	0.370			NFRC		New	1/1	VC 5300 V	invl/L	ow-E			ower Leve	
8	Window		0.0		Default		Default		Remo		ingle Non					ower Leve	
9	Window		6.5	0.370			NFRC		New		VC 5300 V				ew Hallw		
			+						1								
			+			-			1	-				-			
			+							- +							
-	(1) U-Facto	r Type	 e:	116-A	= Default	Table fro	m Stand	ards, NFF	RC = La	beled \	'alue						
	(2) SHGC				= Default	Table fro	m Stand	ards, NFF	RC = La	beled \	'alue						
EXT	ERIOR SI	IADI	NG	DETA	ILS												
						Windo			Overh	3			Left Fi	n		Right F	in
ID	Exterior	Shad	е Ту	pe S	SHGC	Hgt	Wd	Len I	-lgt	LExt	RExt	Dist	Len	Hgt	Dist	Len	Н
1	Bug Screen				0.76											ļ	
2	Bug Screen				0.76												1
3	Bug Screen				0.76										-		1
4	Bug Screen				0.76								1		-	1	1
5 6	Bug Screen Bug Screen				0.76 0.76								-		-	 	1
7	Bug Screen				0.76						+		1				1
8	Bug Screen				0.76				+				 		-	 	+
9	Bug Screen				0.76				-+								1
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_	gyPro 5.1 by	Enero	N/Sof	1 1100	er Number.	2849	Ru	nCode: 20	01/1-05	16T17	21.04	ID				Pa	ge 6 d

CERTIFICATE	UF	CC	MP	LIAN	ICE									art 5		5)		-1R
Project Name Scott Dylewski						Build	ling Ty			igle Fam Iti Famil						Iteration	Date	1004
BUILDING ZONE INF	OBI	ΛΔΤΙ	ON						L IVIG	iti i aiiiii	у		douing	- Addi	liOH/A	itoration	5/16	/201
DOILDING ZONE INF		44 II	J14							Floor A	rea ((ft ²)						
System Name				ne Name	е		Ne	w	Ex	risting	Α	Itered		emove	ed '	Volume		r Built
HVAC-1			g Main g Bed										347 161			6,776 1,208		
			lallway					9	4				101			705	1901	
					To	otals		9	4	0		1,0	008		0			
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System Name HVAC-1	(Qty.		ating Ty		Min.			Cooling	ng Type			. Eff. SFFR	Setbac		stat Type		Status isting
		•	-			00707	02					70.0		001.001				
HVAC DISTRIBUTIO	N										'							
System Name			Hea	tina		Coc	olina		Г	ouct Loc	ation	1		Duci R-Vali	-	Ducts Tested?	,	Status
HVAC-1	E	Ducted		ung		Ducted		Att		ing Ins, v				Tt van	4.2			isting
WATER HEATING S	YSTE	MS														_		
									R	ated	Tar	nk	Energ	v St	andby	Ext. Tank		
	_		_						In	put	Ca	p.	Facto	r Lo	oss or	Insul. I	-	
System Name TAKAGI T-K2	Qty.	Insta	Typ ant Gas		Kitch	Distrib nen Pipe				tuh) 175,000	(ga		or RE 0.85	:	Pilot n/a	Value n/a		Status tered
Standard Gas 50 gal or Le.	1	+	III Gas	•		altered f		ove		40,000	50		0.58		n/a	n/a		.0,00
MULTI-FAMILY WAT	ER F	IEA	ΓING			Die !	. 1	-11-		HYDR	ON	IC H	EATII	NG S	/STE	M PIPINO	G	
				HOT W	valer	Piping (ft)	, Leng	JUT	J.									
									Add ½" Insulation									
Control	Qty.	Ι,	НР	Plenur	n c	Dutside	Bu	ried	Adc	S	vste	m Na	ıme		Pipe ength	Pipe Diame		Insul Thick
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1R inte	e compliance approach used. More stringent energy measures listed on the Certificate of Compliance (CF-1R, CF-1R-ADD, or CR-ALT Form) shall supersede the items marked with an asterisk (*) below. This Mandatory Measures Summary shall be incorpore to the permit documents, and the applicable features shall be considered by all parties as minimum component performance ecifications whether they are shown elsewhere in the documents or in this summary. Submit all applicable sections of the MF-1F orm with plans.
	uilding Envelope Measures:
§1	16(a)1: Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.
§1	16(a)4: Fenestration products (except field-fabricated windows) have a label listing the certified U-Factor, certified Solar Heat Goefficient (SHGC), and infiltration that meets the requirements of §10-111(a).
§1	17: Exterior doors and windows are weather-stripped; all joints and penetrations are caulked and sealed.
	18(a): Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on CF-6R Form.
ins	18(i): The thermal emittance and solar reflectance values of the cool roofing material meets the requirements of §118(i) when the stallation of a Cool Roof is specified on the CF-1R Form.
*§	150(a): Minimum R-19 insulation in wood-frame ceiling or equivalent U-factor.
§1	50(b): Loose fill insulation shall conform with manufacturer's installed design labeled R-Value.
*§	150(c): Minimum R-13 insulation in wood-frame wall or equivalent U-factor.
*§	150(d): Minimum R-13 insulation in raised wood-frame floor or equivalent U-factor.
§1	50(f): Air retarding wrap is tested, labeled, and installed according to ASTM E1677-95(2000) when specified on the CF-1R Form
	50(g): Mandatory Vapor barrier installed in Climate Zones 14 or 16.
rat	50(I): Water absorption rate for slab edge insulation material alone without facings is no greater than 0.3%; water vapor permea te is no greater than 2.0 perm/inch and shall be protected from physical damage and UV light deterioration.
Fii	replaces, Decorative Gas Appliances and Gas Log Measures:
	50(e)1A: Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.
eq	50(e)1B: Masonry or factory-built fireplaces have a combustion outside air intake, which is at least six square inches in area and uipped with a with a readily accessible, operable, and tight-fitting damper and or a combustion-air control device.
	50(e)2: Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the tside of the building, are prohibited.
	pace Conditioning, Water Heating and Plumbing System Measures:
Co	10-§113: HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified by the Energy ommission.
	13(c)5: Water heating recirculation loops serving multiple dwelling units and High-Rise residential occupancies meet the air rele lve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §113(c)5.
§1 (ap	15: Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces, household cooking appliances opliances with an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool a a heaters.
§1	50(h): Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA.
§1	50(i): Heating systems are equipped with thermostats that meet the setback requirements of Section 112(c).
wit	50(j)1A: Storage gas water heaters rated with an Energy Factor no greater than the federal minimal standard are externally wrath insulation having an installed thermal resistance of R-12 or greater.
	50(j)1B: Unfired storage tanks, such as storage tanks or backup tanks for solar water-heating system, or other indirect hot water lks have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the land.
rec	50(j)2: First 5 feet of hot and cold water pipes closest to water heater tank, non-recirculating systems, and entire length of circulating sections of hot water pipes are insulated per Standards Table 150-B.
wa	50(j)2: Cooling system piping (suction, chilled water, or brine lines), and piping insulated between heating source and indirect ho ter tank shall be insulated to Table 150-B and Equation 150-A.
12	50(j)2: Pipe insulation for steam hydronic heating systems or hot water systems >15 psi, meets the requirements of Standards T 3-A.
§1	50(j)3A: Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. 50(j)3A: Insulation for chilled water piping and refrigerant suction lines includes a vapor retardant or is enclosed entirely in nditioned space.
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(Page 1 of 3) **MF-1R**

Date 5/16/2014

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MANDATORY MEASURES SUMMARY: Residential
Project Name
Scott Dylewski

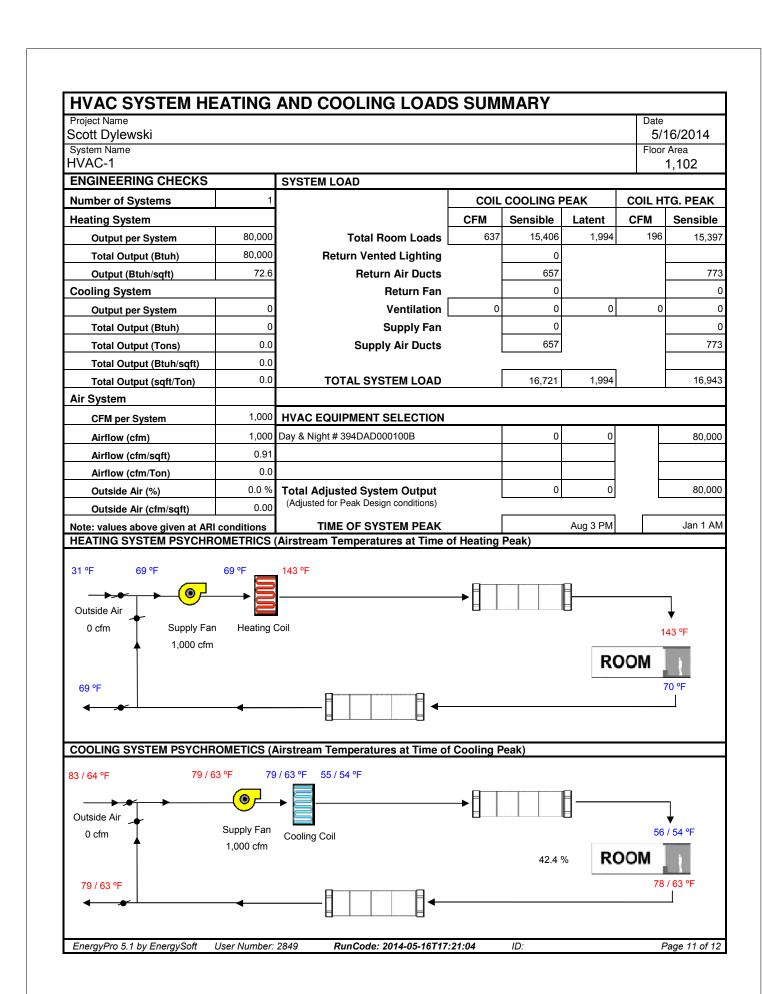
MANDATORY MEASURES SUMMARY: Residential	(Page 2 of 3)	M
Project Name Scott Dylewski		Date 5/16
Scott Dylewski		5/10
§150(m)1: All air-distribution system ducts and plenums installed, are sealed and insulated	d to meet the requirements of	CMC Se
601, 602, 603, 604, 605 and Standard 6-5; supply-air and return-air ducts and plenums are		
4.2 or enclosed entirely in conditioned space. Openings shall be sealed with mastic, tape of		
applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the		nastic or
used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or		
§150(m)1: Building cavities, support platforms for air handlers, and plenums defined or col		
sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Bu		
contain ducts. Ducts installed in cavities and support platforms shall not be compressed to of the ducts.	cause reductions in the cross	s-section
§150(m)2D: Joints and seams of duct systems and their components shall not be sealed v	vith cloth back rubber adhesiv	e duct ta
unless such tape is used in combination with mastic and draw bands.	VILLI CIOLIT DUCK TUDDOT UNITEDIV	o duot te
§150(m)7: Exhaust fan systems have back draft or automatic dampers.		
§150(m)8: Gravity ventilating systems serving conditioned space have either automatic or	readily accessible, manually of	perated
dampers. §150(m)9: Insulation shall be protected from damage, including that due to sunlight, moist	ure equipment maintenance	and win
Cellular foam insulation shall be protected as above or painted with a coating that is water		
radiation that can cause degradation of the material.	retardant and provides silield	ing ironi
§150(m)10: Flexible ducts cannot have porous inner cores.		
§150(n) 10. Flexible ducts cannot have porous inner cores. §150(o): All dwelling units shall meet the requirements of ANSI/ASHRAE Standard 62.2-20	007 Ventilation and Acceptable	a Indoor
Quality in Low-Rise Residential Buildings. Window operation is not a permissible method of		
required in Section 4 of that Standard.	5. p. 6. 1	9
Pool and Spa Heating Systems and Equipment Measures:		
§114(a): Any pool or spa heating system shall be certified to have: a thermal efficiency that	at complies with the Appliance	Efficienc
Regulations; an on-off switch mounted outside of the heater; a permanent weatherproof pl		
shall not use electric resistance heating or a pilot light.		
§114(b)1: Any pool or spa heating equipment shall be installed with at least 36" of pipe be	tween filter and heater, or ded	licated s
and return lines, or built-up connections for future solar heating.		
§114(b)2: Outdoor pools or spas that have a heat pump or gas heater shall have a cover.		
§114(b)3: Pools shall have directional inlets that adequately mix the pool water, and a time	e switch that will allow all pum	ps to be
programmed to run only during off-peak electric demand periods.		
§150(p): Residential pool systems or equipment meet the pump sizing, flow rate, piping, file	Iters, and valve requirements	of §150(
Residential Lighting Measures:		
§150(k)1: High efficacy luminaires or LED Light Engine with Integral Heat Sink has an efficiency	cacy that is no lower than the	efficacie
contained in Table 150-C and is not a low efficacy luminaire as specified by §150(k)2.		
§150(k)3: The wattage of permanently installed luminaires shall be determined as specifie		
§150(k)4: Ballasts for fluorescent lamps rated 13 Watts or greater shall be electronic and s 20 kHz.	snall have an output frequency	/ no less
§150(k)5: Permanently installed night lights and night lights integral to a permanently insta	illed luminaire or exhaust fan s	shall con
only high efficacy lamps meeting the minimum efficacies contained in Table 150-C and sh		
voltage lamp holder; OR shall be rated to consume no more than five watts of power as de		
medium screw-base socket.	, , , , , , , , , , , , , , , , , , , ,	
§150(k)6: Lighting integral to exhaust fans, in rooms other than kitchens, shall meet the ap	oplicable requirements of §150)(k).
§150(k)7: All switching devices and controls shall meet the requirements of §150(k)7.	<u>, , , , , , , , , , , , , , , , , , , </u>	,
§150(k)8: A minimum of 50 percent of the total rated wattage of permanently installed light	ting in kitchens shall be high e	fficacy
EXCEPTION: Up to 50 watts for dwelling units less than or equal to 2,500 ft ₂ or 100 watts		
exempt from the 50% high efficacy requirement when: all low efficacy luminaires in the kito		
sensor, dimmer, energy management system (EMCS), or a multi-scene programmable co	ntrol system; and all permane	ntly insta
luminaries in garages, laundry rooms, closets greater than 70 square feet, and utility room	s are high efficacy and contro	lled by a
manual-on occupant sensor.	00 " " "	
§150(k)9: Permanently installed lighting that is internal to cabinets shall use no more than	20 watts of power per linear for	oot of
illuminated cabinet.		
EnergyPro 5.1 by EnergySoft User Number: 2849 RunCode: 2014-05-16T17:21:04	ID:	Pag

Project Name	EASURES SUN	IMARY: Residential	(Page 3 of 3)	MF-1
Scott Dylewski				Date 5/16/2
shall be high efficacy. EXCEPTION 1: Permanent occupant sensor certified to EXCEPTION 2: Permanent manual-on occupancy sens §150(k)11: Permanently ins closets, and utility rooms shallowed provided they are con occupant sensor that co than 1000 square feet local §150(k)12: Luminaires rece Laboratories or other nation leakage less then 2.0 CFM the luminaire housing and c§150(k)13: Luminaires provided they are controlled by a manual one of the following con astronomical time clock not control system (EMCS) not luminaires used to comply sensing function provided to luminaires in or around swibe high efficacy luminaires. §150(k)14: Internally illuminaire than five watts of pow §150(k)15: Lighting for park requirements in Sections 1: §150(k)16: Permanently ins §150(k)16:	ly installed low efficacy loo comply with the applicate ly installed low efficacy loor. It alled luminaires located a controlled by either a dimmplies with the applicable on a residential site is essed into insulated ceiling ally recognized testing/rat 75 Pascals when testing outdoor lighting, in alconies, and porches, ward, EXCEPTION 1: Permual on/off switch, a montrols: a photocontrol not having an override or by having an override or by having an override or by with Exception1 to §150(nat the motion sensor is mming pool, water features and early and the stalled lighting in the enclosed.	In rooms or areas other than in kitche naires. EXCEPTION 1: Permanently in mer switch that complies with the applie e requirements of §119. EXCEPTION 5: not required to comply with §150(k) 1: not shall be listed for zero clearance in ating laboratory; and have a label that ed in accordance with ASTM E283; an cluding lighting for private patios in low which are permanently mounted to a remanently installed outdoor low efficacy ion sensor not having an override or by a having an override or by the having an override or by a switch that disables the astronor pass switch that disables the astronor which are permanently by a temporary automatically reactivated within six hours, or other location subject to Article 6.	at they are controlled by a mare feet are not required to be ans, bathrooms, garages, laun stalled low efficacy luminaires icable requirements of §119, 2: Lighting in detached storage. Sulation contact (IC) by Undecertifies the lumiunaire is airted be sealed with a gasket or a sidential building or to other be luminaires shall be allowed by pass switch that disables the hat disables the photocontrol mical time clock; OR an energy of be always on EXCEPTION override switch which bypasurs. EXCEPTION 3: Permane 680 of the California Electric (Italian a screw-base socket, and ite shall comply with the application of the comply with the residential buildings with four residential buildings with four	dry rooms, s shall be or by a manual-on ge building le rwriters ight with air caulk between four or more wildings on the motion sen of OR an
that they are controlled by a	an occupant sensor(s) ce	ertified to comply with the applicable re	quirements of §119.	

05.17.14 PERMIT SET

NO DATE ISSUES/REVISIONS TITLE 24

DRAWN BY: AL SHEET SIZE: 24 X 36



Project Name								Date	E /4 C /0	044
Scott Dylewski System Name								Floor	5/16/2 Area	014
System Name HVAC-1							1 1001	1,10	12	
ROOM LOAD SUM	MARY								1,10	
			ROO	M COOLING	3 PEAK	COII	COOLING	PΕΔK	COIL H	TG F
Zone Name	Room Name	Mult.	CFM	Sensible	Latent	CFM	Sensible	Latent	CFM	Sen
Existing Main Level	Existing Main Level	1	381	9,205	488	381	9,205	488	131	1
Existing Lower Level	Existing Bed Room	1	139	3,361	741	139	3,361	741	40	
New Hallway	New Hallway	1	118	2,841	765	118	2,841	765	25	
							_,,,,,,			
			1							
			1							
			1							
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				PAGE TOT	AL	637	15,406	1,994	196	1
				TOTA	L *	637	15,406	1,994	196	1
* Total includes ventiletis	on load for zonal systems.				•					

Studio upwall

studio upwall 305 San Anselmo Ave Studio 219 San Anselmo, Ca 94960 TEL: 415-317-3272

SCOTT DYLEWSKI & SHANNON LEONARI 179 HAMERTON AVENI

05.17.14 PERMIT SET

NO DATE ISSUES/REVISIONS
TITLE 24

DRAWN BY: AL SHEET SIZE: 24 X 36

O SCALE IN FEET: 1/16" = 1' - 0" X

rawing No. \mathbf{A}



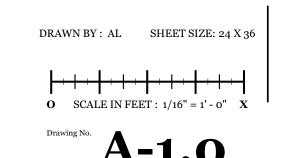
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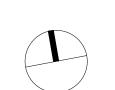
SCOTT DYLEWSKI & SHANNON LEONARD 179 HAMERTON AVENUE SAN FRANCIISCO, CA

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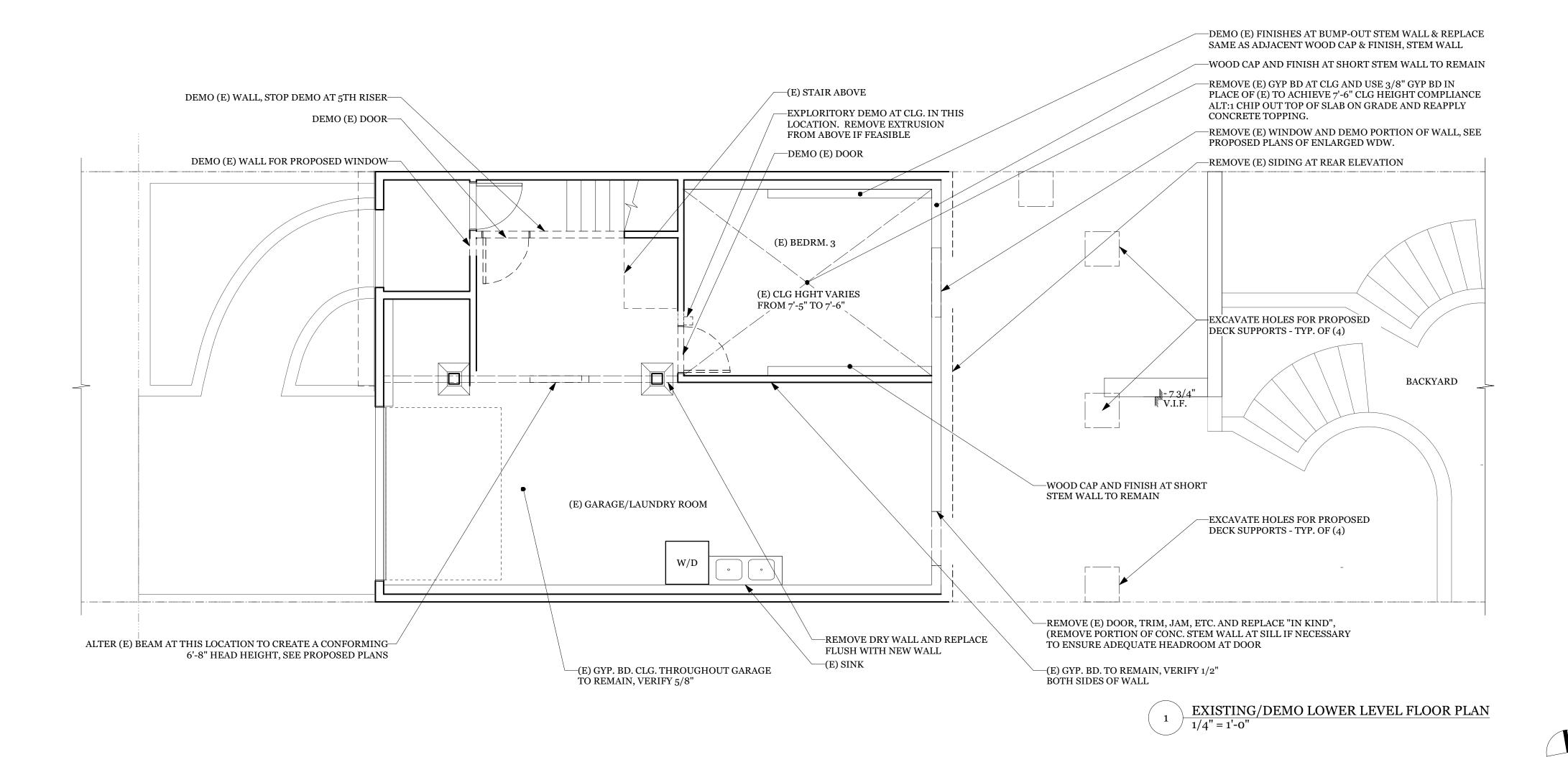
NO DATE ISSUES/REVISIONS

SITE PLAN





EXISTING/DEMO MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"





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SCOTT DYLEWSKI &
SHANNON LEONARD
179 HAMERTON AVENUE
SAN FRANCIISCO, CA

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EXISTING/DEMO
FLOOR PLANS

DRAWN BY: AL SHEET SIZE: 24×36 O SCALE IN FEET: 1/16" = 1' - 0" X



			ZING AT DOORS PER COD				
DOOR NO.	DOOR WIDTH	HEIGHT	MANUFACTURER MODEL #	ТҮРЕ	MATERIAL	ТҮРЕ	REMARKS
MAIN FLOOR	R PLAN						
1	36"	80"	PELLA OR EQ.	INTERIOR	1 3/4" SOLID CORE WD. DR.	SIMPLE SWING	20 MIN. RATED DOOR
2							
3	36"	80"	PELLA OR EQ.	EXTERIOR	1 3/4" SOLID CORE WD. DR.	SIMPLE SWING	1/2 LITE, TEMPERED
4	32"	80"	PELLA OR EQ.	INTERIOR	13/4" SOLID CORE WD. DR.	SIMPLE SWING	
5	26"	80"	PELLA OR EQ.	INTERIOR	1 3/4" SOLID CORE WD. DR.	BI-FOLD, BI-PART	
6	36"	80"	PELLA OR EQ.	EXTERIOR	SOLID CORE WD. DR.	SIMPLE SWING	FULL LITE, TEMPERED
7	72"	80"	PELLA OR EQ.	EXTERIOR	SOLID CORE WD. DR.	SLIDING DR.	FULL LITE, TEMPERED

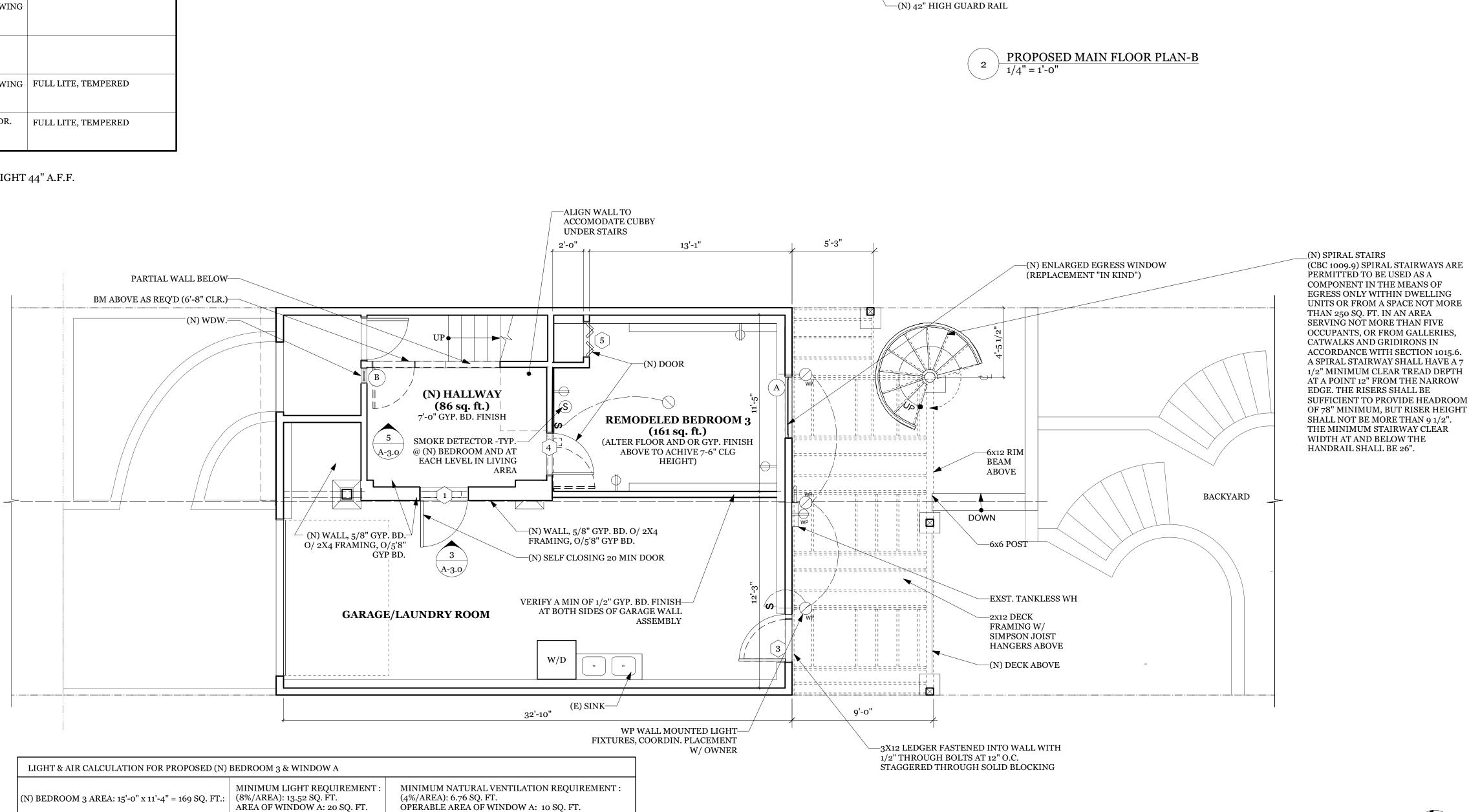
* EGRESS: OPERABLE WDW WITH MIN. NET CLEAR OPENING OF 5.7 SQ.FT. WITH MAX. SILL HEIGHT 44" A.F.F.

** OWNER TO APPROVE FINAL COLOR

WINDOW NOTES

- 1. ALL WINDOWS AND PATIO DOORS TO BE WOOD FRAME, CLAD EXTERIOR, DOUBLE GLAZED,
- LOW E SQUARED GLAZING, PELLA "PRO-LINE" OR EQUIV.
- 2.T.O. ALL WINDOWS @ 6'-8" ABOVE FLOOR UNLESS NOTED OTHERWISE.
- 3.SUPPLY ALL WINDOWS W/BUG SCREEN.
- 4.TEMPERED GLAZING IN LOCATIONS DEFINED IN BY BUILDING CODE.

 $\langle T \rangle$ = TEMPERED GLAZING



(N) 6'-o" SLIDER—

(E) BEDRM. 1

(E) BATHRM

(E) KITCHEN

(3) WP WALL MOUNTED-LIGHT FIXTURES,

OWNER_

REF

COORDIN. PLACEMENT W/

(N) DECK

—(N) WINDOW IN EXST OPENING (REPLACEMENT "IN KIND")

(E) BEDRM. 2

(E) FAMILY RM.

_(N) SPIRAL STAIRS (CBC 1009.9) SPIRAL STAIRWAYS ARE PERMITTED TO BE USED AS A COMPONENT IN THE MEANS OF EGRESS ONLY WITHIN DWELLING UNITS OR FROM A SPACE NOT MORE THAN 250 SQ. FT. IN AN AREA SERVING NOT MORE THAN FIVE OCCUPANTS, OR FROM GALLERIES, CATWALKS AND GRIDIRONS IN ACCORDANCE WITH SECTION 1015.6. A SPIRAL STAIRWAY SHALL HAVE A 7 1/2" MINIMUM CLEAR TREAD DEPTH AT A POINT 12" FROM THE NARROW EDGE. THE RISERS SHALL BE SUFFICIENT TO PROVIDE HEADROOM OF 78" MINIMUM, BUT RISER HEIGHT SHALL NOT BE MORE THAN 9 1/2". THE MINIMUM STAIRWAY CLEAR WIDTH AT AND BELOW THE HANDRAIL SHALL BE 26".

—(N) 42" HIGH GUARD RAIL

—EQ. RISERS AT 9.5" MAX

-RAILING MOUNTED LED LIGHT FIXTURES,

–(N) LAMINATED/SAFETY GLASS MEETING LOAD REQS. FOR WALKING SURFACE PER MFR'S REQS.

-(N) 1X6 IPE SOLID WOOD DECKING AT 45 DEGREES,

MARSHALL ST. #480, PORTLAND, OR 97209) OR EQUAL

PROPOSED BASEMENT FLOOR PLAN-B 1/4" = 1'-0"

CLASS B (NOVA USA WOOD PRODUCT 1022 NW

—COORDIN. PLACEMENT W/ OWNER

−(N) 42" HIGH GUARD RAIL



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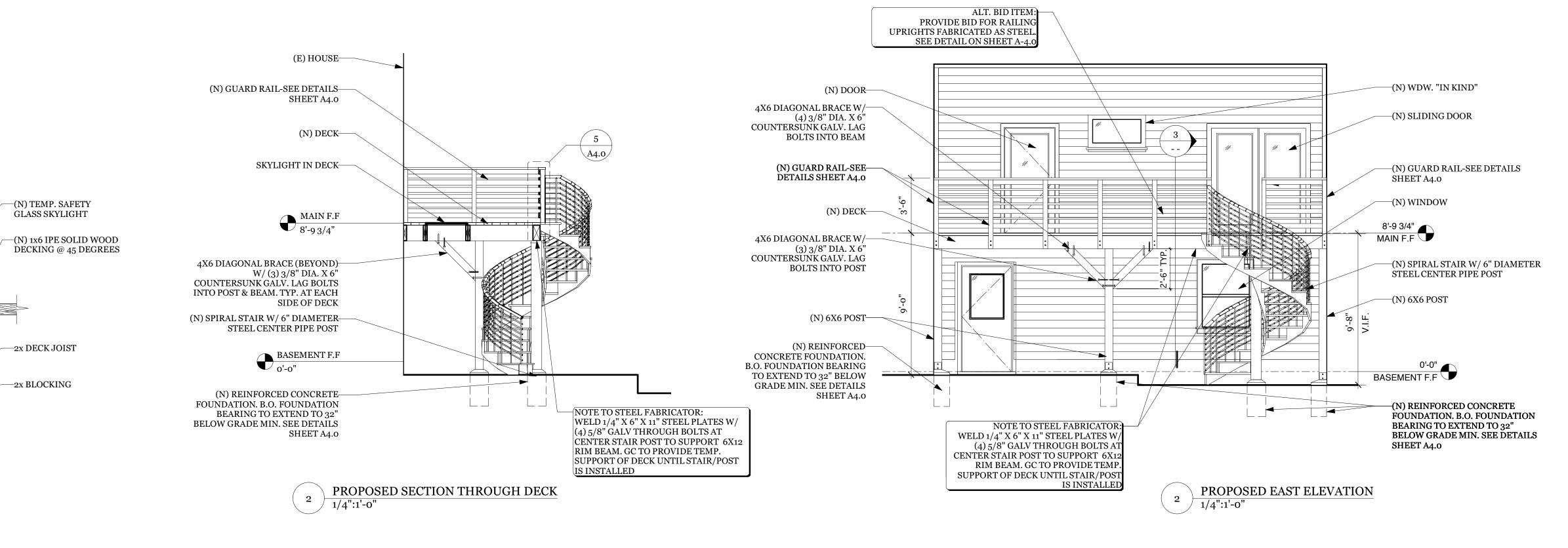
05.17.14 PERMIT SET

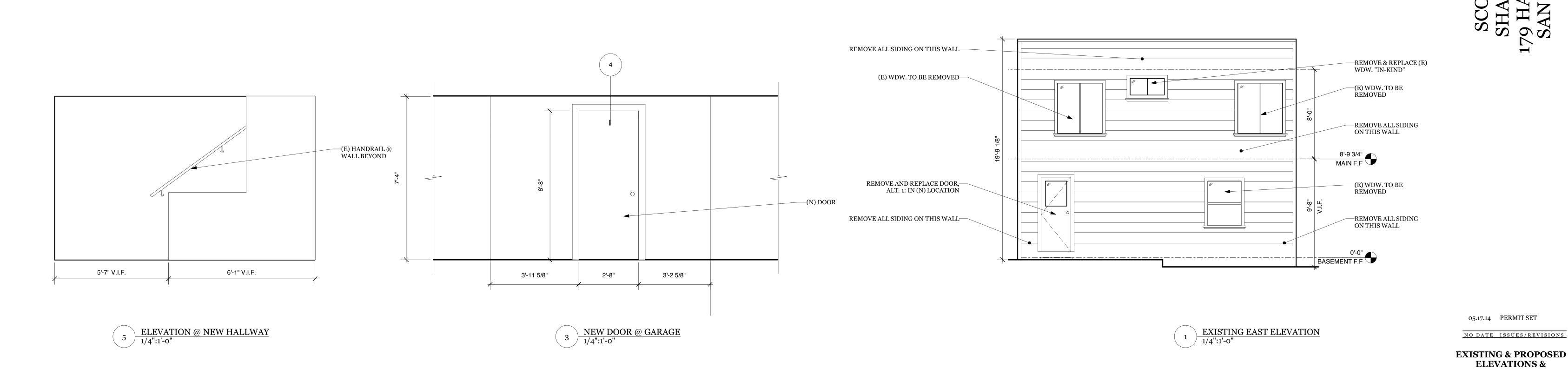
NO DATE ISSUES/REVISIONS **PROPOSED FLOOR PLANS**

DRAWN BY: AL SHEET SIZE: 24 X 36 O SCALE IN FEET: $1/16'' = 1' - 0'' \times X$

DETAILS DRAWN BY: AL SHEET SIZE: 24 X 36

O SCALE IN FEET: 1/16" = 1' - 0" X





—(N) TEMP. SAFETY

GLASS SKYLIGHT

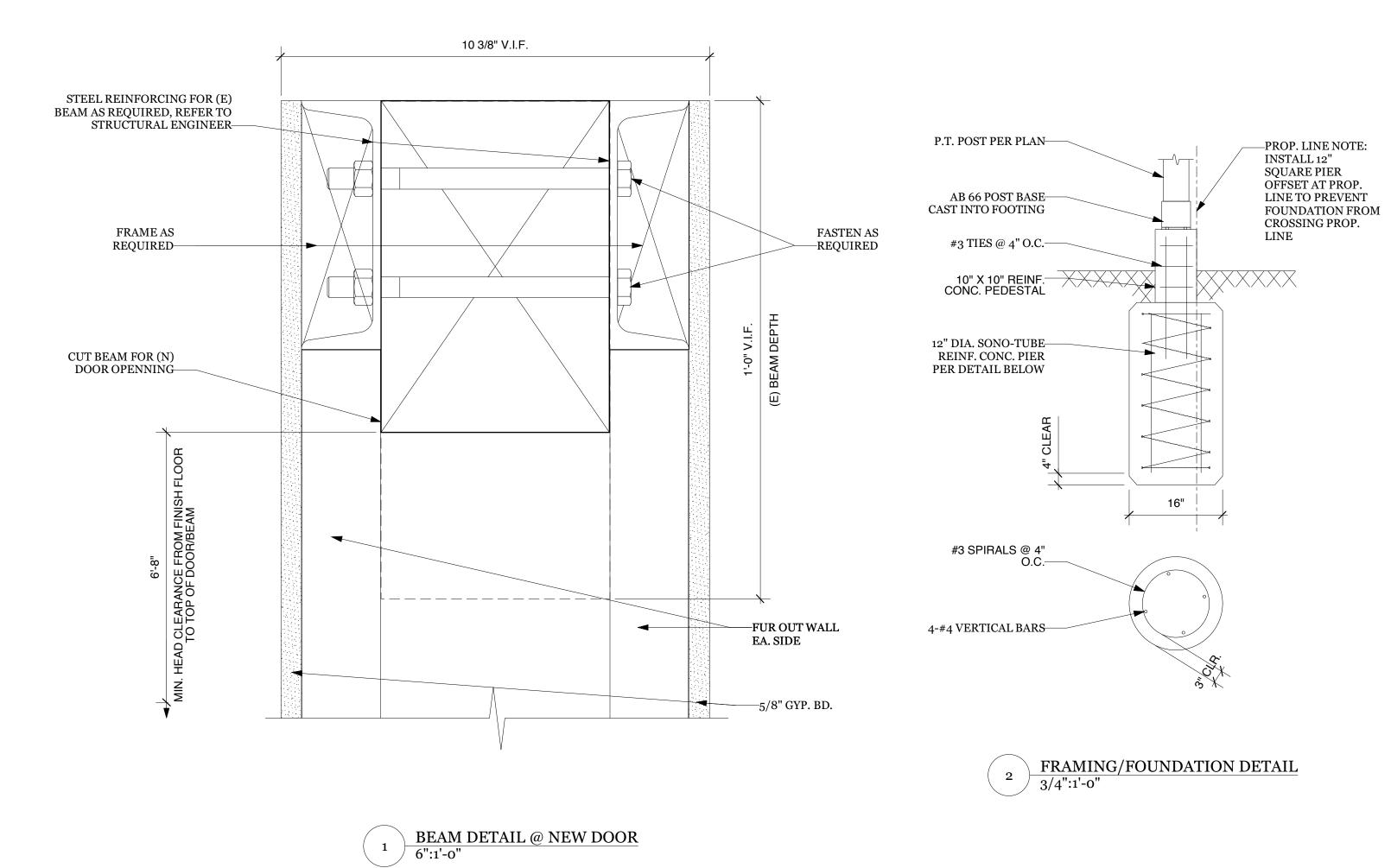
—2x DECK JOIST

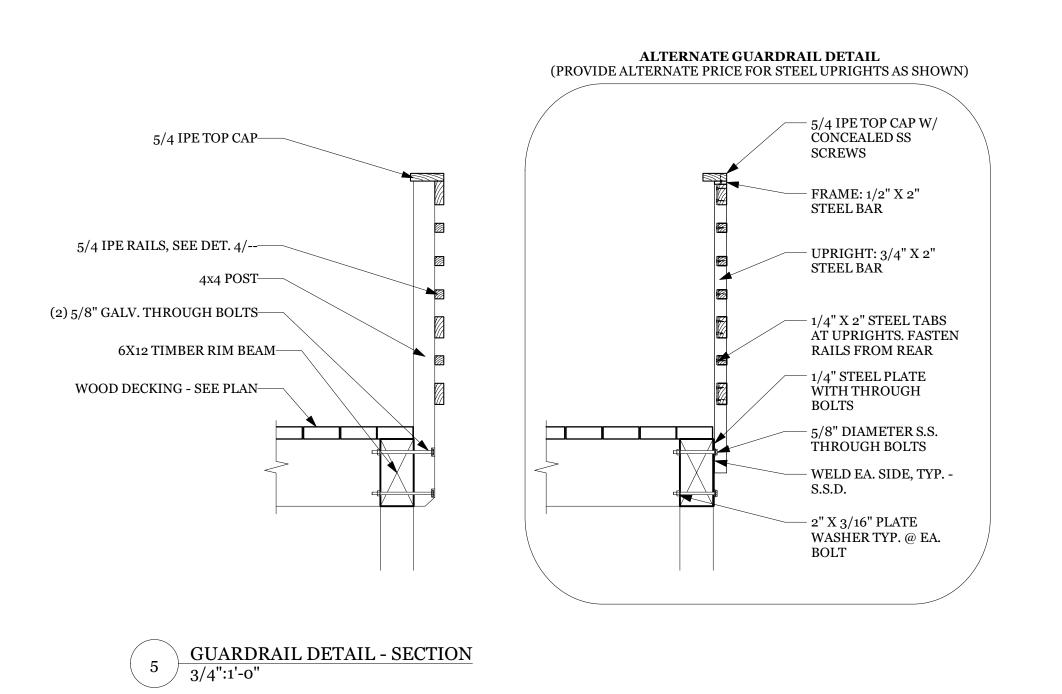
-2x BLOCKING

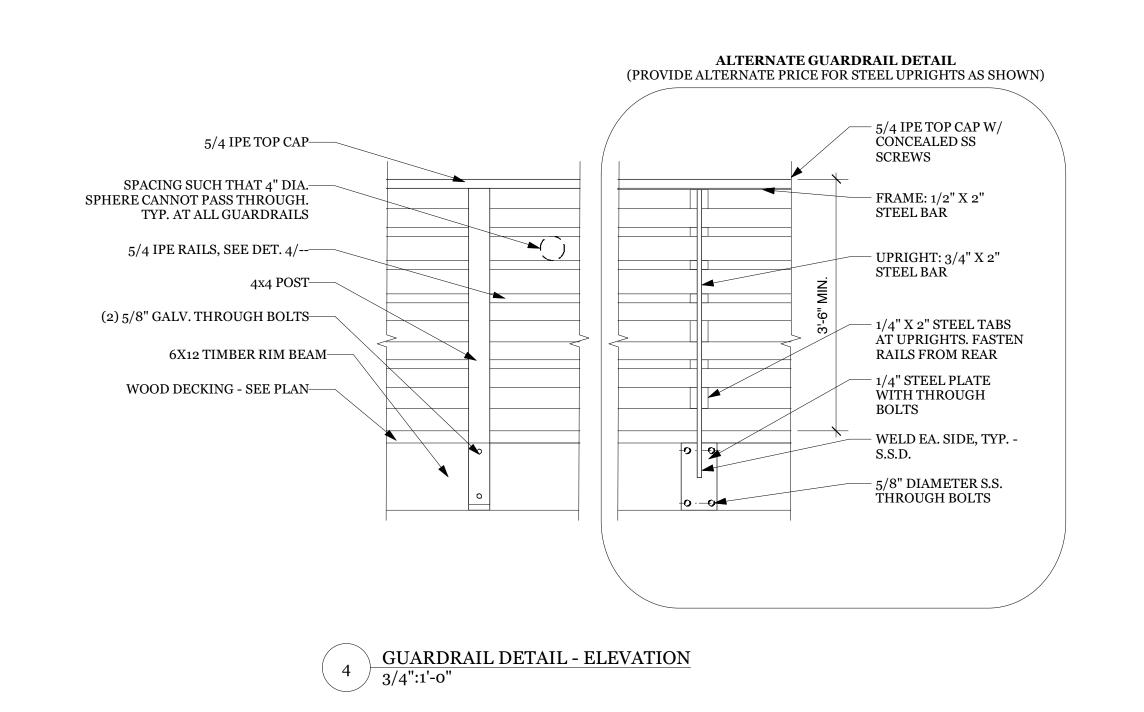
—(N) 1x6 IPE SOLID WOOD DECKING @ 45 DEGREES

5 SKYLIGHT DETAIL @ NEW DECK 6":1'-0"

TEL: 415-317-3272







O5.17.14 PERMIT SET

NO DATE ISSUES/REVISIONS

PROPOSED

DETAILS

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O SCALE IN FEET: 1/16" = 1' - 0" X

SECTION &

Drawing No.