

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
IRVING ZARETSKY,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
Respondent)

Appeal No. 14-164

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on September 25, 2014, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on September 17, 2014, to Mark Casey, of an Alteration Permit (response to NOV No. 201168794; retrofit of existing planter box only) at 2655 Broderick Street.

APPLICATION NO. 2012/04/06/7781

FOR HEARING ON December 10, 2014

Address of Appellant(s):

Irving Zaretsky, Appellant
3111 Jackson Street
San Francisco, CA 94115

Address of Other Parties:

Mark Casey, Permit Holder
c/o Craig Nikitas, Agent for Permit Holder
2555 - 32nd Ave.
San Francisco, CA 94116



Date Filed:

BOARD OF APPEALS

SEP 25 2014

APPEAL #

14-164

CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS

PRELIMINARY STATEMENT OF APPEAL

I / We, **Irving Zaretsky**, hereby appeal the following departmental action: **ISSUANCE of Alteration Permit BPA NO. 2012/04/06/7781** by the **Department of Building Inspection** which was issued or became effective on: **September 17, 2014**, to: **Mark Casey**, for the property located at: **2655 Broderick Street**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: **November 20, 2014, (no later than three (3) Thursdays prior to the hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with (eleven) 11 copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day.

Respondent's and Other Parties' Briefs are due on or before: **December 04, 2014, (no later than one (1) Thursday prior to hearing date)**, up to 12 pages in length, doubled-spaced, with unlimited exhibits, with (eleven) 11 copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day.

Only photographs and drawings may be submitted by the parties at hearing.

Hearing Date: **Wednesday, December 10, 2014, 5:00 p.m., City Hall, Room 416, One Dr. Carlton B. Goodlett Place.**

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should submit (eleven) 11 copies of all documents of support/opposition no later than one (1) Thursday prior to hearing date by 4:30 p.m. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection at the Board's office. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

If you have any questions please call the Board of Appeals at 415-575-6880

The reasons for this appeal are as follows: see attached.

Appellant or Agent (Circle One):

Signature: _____

Print Name: _____

Irving Zaretsky

PRELIMINARY STATEMENT OF APPEAL

BOARD OF APPEALS
Date Filed: SEP 25 2014
APPEAL # 14-164

SUMMARY OF REASONS OR GROUNDS FOR APPEAL CONTINUED:

Planter surcharges retaining wall of 2701
Green Street. This is one of three
permits. The other two are on appeal
with the Planning Commission.

Permits #: 201309126711 and
201309126709. They may need to be
combined with this appeal since
they all deal with the same matter

Irving Zaretsky
9/25/14



APPROVED Dept. of Building Insp.

SEP 17 2014

Tom C. Hui

TOM C. HUI, S.E. DIRECTOR DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

BLDG. FORM 318

068, 2011 39322 BID, 2011 68794, 2011 73477, 2011 68793, 2011 74515

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 OTHER AGENCIES REVIEW REQUIRED FORM 8 OVER-THE-COUNTER ISSUANCE 27 NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

Table with columns: DATE FILED (APR 06 2012), PERMIT NO. (1836212), FILING FEE RECEIPT NO. (12048994), ISSUED (SEP 17 2014), (1) STREET ADDRESS OF JOB (2655 BRODERICK), BLOCK & LOT (0955/002), (2) ESTIMATED COST OF JOB (\$2000), (3) REISED COST (\$18,000), (4) OCCUP. CLASS (R3), (5) NO. OF DWELLING UNITS (1).

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING and DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION. Includes fields for (4A) TYPE OF CONSTR. (IB), (5A) NO. OF STORIES OF OCCUPANCY (3), (6A) NO. OF BASEMENTS AND CELLARS (1), (7A) PRESENT USE (SINGLE FAMILY HOME), (8A) OCCUP. CLASS (R3), (9A) NO. OF DWELLING UNITS (1).

(10) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT NECESSARY) RESPONSE TO NOU # 201168794 FOR THE RETROFIT OF EXISTING PLANTER BOX ONLY; REMOVING THE EXISTING PLANTER BOX ADJACENT TO THE NORTHERN PROPERTY BOUNDARY & REPLACING WITH A NEW REINFORCED CONCRETE PLANTER BOX WITH REINFORCED CONC. FOUNDATION PIERS FOUNDED ON SANDSTONE BEDROCK.

ADDITIONAL INFORMATION

Table with fields for (11) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?, (12) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?, (13) ARCHITECT OR ENGINEER DESIGN, (14) CONSTRUCTION LEADER.

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code. No portion of building or structure or scaffolding used during construction, is to clear less than 10' to any side exceeding more than 700 volts per Sec 306, California Penal Code. Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approval plans and application being kept at building site. Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown on drawings showing correct grade lines, call out the engineer with complete details of existing walls and soil findings required must be submitted to this Department for approval. ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED. BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED. APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKS OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WORKS AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (1) (11) (12) (13) (14) OR (24). THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED. In drawings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of said permit, agrees to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City or County of San Francisco against all such claims, demands or actions. In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (5), or (6) designated below or check indicate item (5), or (6), or (7), whichever is applicable. If however item (7) is checked item (7) must be checked as well. Mark the appropriate method of occupation below. I hereby affirm under penalty of perjury and of the following declarations: (1) I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. (2) I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are: Carrier: Policy Number: (3) The cost of the work to be done is \$100 or less. (4) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked. (5) I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who, complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a certified copy of this form with the Central Permit Bureau.

CHECK APPROPRIATE BOX: OWNER, ARCHITECT, LICENSEE, AGENT, CONTRACTOR, ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

Signature of Applicant or Agent: [Signature] Date: 4/6/12 OFFICE COPY

APPLICATION NUMBER: 2012-04-06-7781

BOARD OF APPEALS P 25 2014 #14-164

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO:

DEPARTMENT OF BUILDING INSPECTION

PERMITS 1570, to schedule inspections for building, electrical and plumbing. This application is approved without site inspection. Detailed plumbing or electrical plan review and/or field consultation an approval of the building work authorities must be done in strict accordance with applicable codes. Any electrical or plumbing work shall require appropriate separate permits.

Richard Tam, DBI
RICHARD TAM, DBI
SEP 15 2014

DATE: 4.6.12
REASON: OK TO PROCESS FOR COMPLIANCE WITH MAY 2011 GS PA NO PENALTIES PER NOV. NOTIFIED MR. TV

APPROVED:

N/A

BUILDING INSPECTOR, DEPT. OF BLDG. Insp.

DATE: 10/8/12
REASON:

BOARD OF APPEALS

NOTIFIED MR.

APPROVED:

N/A

DEPARTMENT OF CITY PLANNING

DATE: SEP 25 2014

REASON:

APPEAL # 14-164

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

NOTIFIED MR.

APPROVED:

MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION

DATE:

REASON:

NOTIFIED MR.

APPROVED:

SPECIAL INSPECTIONS AND TESTS ARE REQUIRED AS PER BUILDING CODE SECTION 1704

Robert Chun, DBI
Richard Tam, DBI
OCT 19 2012
SEP 15 2014

CIVIL ENGINEER, DEPT. OF BLDG INSPECTION

DATE:

REASON:

NOTIFIED MR.

APPROVED:

Separate permit from the Bureau of Street Use & Mapping is required for work involving alterations, reconstruction or repair of sidewalk, curb or gutter in the City right-of-way. Call 558-6060 for information.

No. 10-4
BY: Danny Milano, DPW/BSM
10-23-12

BUREAU OF ENGINEERING

DATE:

REASON:

NOTIFIED MR.

APPROVED:

N/A

DEPARTMENT OF PUBLIC HEALTH

DATE:

REASON:

NOTIFIED MR.

APPROVED:

REDEVELOPMENT AGENCY

DATE:

REASON:

NOTIFIED MR.

APPROVED:

HOUSING INSPECTION DIVISION

DATE:

REASON:

NOTIFIED MR.

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

APPEAL #14-164: RESPONSE BRIEF FROM PERMIT HOLDER

FOR HEARING: December 11, 2014
SUBJECT ADDRESS: 2655 Broderick Street
PERMIT APPL. #: 2012 04 06 7781
PROJECT: Remove & Replace Planter Constructed w/o Permit
FILING DATE: December 4, 2014

Dear President Lazarus and Commissioners of the Board:

On behalf of the property owners Mark and Carrie Casey, we offer this information and these responses to the appeal of the subject permit. Some background information on the project and the property follows this aerial site photo:



**2731 GREEN ST
(NEUTRAL ON PROJECT)**

**SUBJECT PLANTER @
2655 BRODERICK ST**

**2645 BRODERICK ST
(SUPPORTS PROJECT)**

The permit now under appeal was filed by Mr. Mark Casey, the owner of the property at 2655 Broderick St. The scope of work is to remove a planter near the north property line, adjacent to a light court cut a story below the Casey's grade, for the Appellant's twelve-unit apartment building at 2701 Green Street, and replace the planter with a new concrete structure that is to be built with deep piers to prevent transfer of any forces on the retaining wall on the Appellant's property line caused by the planter, either by gravity (vertical) loading, or by wind (lateral) loading.

The existing planter was constructed by previous owners, years before October of 2007, when the Casey family acquired the property. It contains some tall, slender mature birch trees, as shown in the following photograph.



Permits are generally not required for structures built within three feet of natural grade. Although the top of the planter is about three feet above the existing wooden deck, its height does exceed three feet above the soil level below the deck. Also, for as long as twenty years predating the Caseys' purchase of the property, other structures including part of a deck above the planter, and stairs from that deck to grade, were built under approved permits, but never received their required final inspection, and were thus rendered illegal. Also, a roof deck, originally proposed as part of a 1985 permit, but removed from the scope of work prior to that permit's issuance, was built illegally by a previous owner. The Casey family was unaware of these issues, as there was no disclosure regarding them from real estate agents, previous owners, or neighbors, and no record of violations prior to the purchase of the property.

Sometime in early 2008 the Appellant (Mr. Irving Zaretsky) approached the Caseys with objections to the presence of the stair adjacent to his property, stating that City codes did not permit that. When told that the structure was allowed by Code, the Requester said he would have the Code changed so that it wouldn't be allowed, and that his legal pursuits would cost the Casey's \$75,000 or more. Because the Caseys chose to legalize a stair in a location that had been approved by permit, but had not received its final inspection under previous ownership, on a property they recently purchased in good faith, the Appellant began a six-year campaign of bureaucratic complaints, a civil suit, and a relentless broadcast of distortions, misconceptions, and misstatements sent to the Mayor, the District Supervisor, the City Attorney, various DBI and Planning Department directors, managers and staff, the Zoning Administrator, City Commissioners, Mr. Zaretsky's colleagues in The Cow Hollow Association, and others. He has filed 12 complaints with DBI, several of them identical to each other.

Mr. Zaretsky's use of every means possible to impede approval of any application filed by the Caseys, including that which would legalize the planter, has taken its toll of time, City resources, and funding on both sides. Although this virtual war has been waged by Mr. Zaretsky on a broad front, the focus of this current appeal is specifically on the permit issued by DBI that would legalize a 4' x 14' planter, and upon completion, would clear the Notice of Violation and Order of Abatement regarding it.

No brief was filed by the Appellant, so our response will address the Preliminary Statement of Appeal, which comprises two points as grounds for the appeal.

In the first point, he states that the "Planter surcharges retaining wall of 2701 Green Street." The permit application was with the City for a year of review. Mr. Zaretsky's cadre of structural and geotechnical engineers reviewed every aspect of the application, and made numerous requests for refinements and revisions. Those which DBI staff agreed were prudent or useful were implemented in the revised application that was approved and issued by the City. It's hard to imagine that any planter box design has ever received such intense scrutiny by all three parties: the applicant's design team, the professional staff of the City, and the Appellants consultants.

The design of the replacement planter was carefully crafted to AVOID surcharging the retaining wall. As the attached drawings show, the planter is founded on piers which are into sandstone bedrock, 5.5' deeper than the face of the retaining wall. The piers are conservatively designed, with heavy shear reinforcement at mid-length. The planter is heavily reinforced, concrete, with appropriate drainage and filter fabric to protect that drainage and contain tree roots. Potential additional lateral forces from wind loading on the trees in the planter were

considered. The design is based on an exhaustive geotechnical report, and derived from 35 pages of structural calculations. Here is a detailed narrative of the design evolution:

On March 31, 2011, Patrick Shires (of Cotton, Shires and Associates, Inc. hereafter "CSA") inspected the properties with Patrick Buscovich (a structural engineer retained by Mr. Zaretsky), Mr. Zaretsky and his attorney, Robert de Vries. Shires' field notes from that inspection indicate that:

"The retaining wall is still in relatively good shape. No significant cracks in wall. Therefore no damage so why repair? Wall is 98 years old. Batter is 3-1/4 inches to 3-1/2 inches over 4 feet where braced by structure and 3/4 inch to 1 inch over 4 feet where not braced by structure. Makes sense if not restrained. Garage wall battered 7/16 inch over 4 feet, but west of garage (where no bracing) is 4-1/8 inch over 4 feet batter. Therefore no retaining wall issues have manifested in decades of planter and trees being there; why should they suddenly impact wall within a few years? Also, no-one knows depth of planter footing or details of battered wall construction."

CSA conducted a geotechnical investigation of the surcharge problem and submitted a report entitled "Geotechnical Investigation of Northern Side Yard Improvements, 2633 (sic) Broderick Street, San Francisco, California" dated February 3, 2012. In that investigation, CSA found that there was sandstone bedrock located 1.7 feet beneath the deck staircase concrete footing and 2.2 to 2.5 feet beneath the concrete planter box. The fill overlying the bedrock was found through laboratory testing to have significant cohesion which is known in soil mechanics to restrict the amount of lateral load that can be transferred to retaining walls. Soil mechanics calculations indicated that **no** surcharge lateral load would be transmitted to the retaining wall from the planter box, hence explaining the relatively good performance of and lack of distress to the old retaining wall. Nevertheless, out of concern for future seismic performance and

conservatism, CSA recommended underpinning the planter box a minimum 2 feet into the underlying sandstone bedrock to assure no future lateral impact to the wall. CSA then prepared underpinning drawings and specifications for the existing planter box dated April 2, 2012.

In December of 2012, Mr. Zaretsky dropped the civil lawsuit to pursue action through the DBI complaint process. He retained geotechnical engineer Frank Rollo to review CSA's report and recommendations. Mr. Rollo introduced concerns about tree loads and root loads on the retaining wall including lateral loads on the wall from wind on the trees. CSA conducted research into the impact of roots and lateral loads on walls from trees and found that there was no technical basis for this concern in the geotechnical design and textbook literature and the only detailed study of such a phenomenon was a study that was done in Hong Kong where there are numerous trees growing atop and behind stone gravity retaining walls. This study found no negative (in fact a positive) impact from trees or tree roots on these walls and no wall failures caused by wind loading on trees. CSA prepared a technical response to the Rollo and Cox allegations with detailed information and calculations dated March 26, 2013.

A meeting was held on July 16, 2013 at DBI with Rollo, Cox, Rodrigo Sanchez (structural engineer), Mr. Zaretsky, three representatives from the City (Richard Tam, Rudi Pada and Ed Sweeney) plus owner Mark Casey, Tony Sanchez-Correia of ARS and Patrick Shires. The City of San Francisco DBI determined that we still needed to address tree roots and wind loading as a potential problem because the trees in San Francisco were of a different species than the trees in Hong Kong. Mr. Rollo stated that if the planter box did not have a bottom, simply underpinning it would not be sufficient. CSA indicated it probably did not have a bottom as that would kill the trees. DBI's plan checker agreed with Mr. Rollo. CSA then

conducted a field study and determined that the planter did in fact not have a bottom. Consequently, a decision was made by Mr. Casey to remove and replace the planter box.

CSA addressed the tree loading problem and the wind on trees loading problem in a report dated April 7, 2014. Design drawings for a new planter box that was founded deep into sandstone bedrock to counter possible wind loading of trees were prepared and submitted. Mr. Rollo still had a concern that lateral loads from the deep piers would somehow impact the retaining wall if the reinforced concrete piers were to deflect toward the wall. Consequently, the drawings were revised and void forms were added to the retaining wall side of the piers. Mr. Rollo and Mr. Cox still had a problem because maybe the sides of the piers would create lateral loading on the retaining wall. Consequently, the plans were revised and void forms were added to the sides of the piers. Mr. Cox still had a problem because maybe tree roots would escape from the drain openings on the back of the planter box (away from the retaining wall) and somehow make their way out and around the planter box and back toward the retaining wall where they would somehow add lateral load to the wall. Consequently, the plans were revised at the counter to add geotextile fabric to the drain holes to limit root escape through the drain holes. The permit was approved by DBI, but Mr. Zaretsky appealed the permit based on a new allegation that the original retaining wall had two feet of freeboard and that two feet of soil was added by the prior property owner to surcharge the retaining wall. Removing two feet of soil would create a hole behind the wall toward which surface water would flow and collect adding a hydrostatic surcharge to the back of the wall unless it is somehow pumped out. CSA refuted this allegation and refused to modify the drawings with this soil removal because it is not good engineering and in fact could be considered negligent engineering.

This issue relates to the second point raised by the Appellant in his Preliminary Statement of Appeal. The notion of recent additional fill against placed his retaining wall has become an *idée fixe* of Mr. Zaretsky. He believes that somehow, the grade of the Casey s' rear yard has been raised recently by two feet. In November of 2011, it was presumably Mr. Zaretsky who filed a complaint with DBI about this very issue.

Code Enforcement Inspector Donal Duffy abated that complaint over two years ago. The Caseys did remove some soil from their rear yard, to correct grading and drainage issues that could cause some water flow off their property. This corrected any Code issues to the City's satisfaction, if not Mr. Zaretsky's. The month after his first complaint about soil level was cleared, he filed a second, identical complaint. This complaint was found to be without merit, and was abated in December of 2012 with no work required on the Casey property.

Mr. Zaretsky (presumably it was he; complainant information is suppressed on-line) filed a third complaint about the soil level at 2655 Broderick (see Fig. 5), and his consultant Paul Cox twisted the findings in CSA's soils report as follows, in reference to the rear stairs in a letter Mr. Cox wrote to Planner Mary Woods dated September 9, 2014:

"Specifically, the vertical dimension showing that the existing stair at 3-feet above the ground level meets the 25-foot setback is incorrect in at least two ways. First, it is measured from the top of the existing unpermitted patio tile and not the top of the soil. Second, the soil level itself is backfill that is part of the illegal surcharge on the neighboring retaining wall that must be significantly reduced ..."

"For background on the surcharge issues, I refer you to Cotton, Shires and Associates' report to Mr. Casey's then attorney James Biernat, dated February 3, 2012, and to WJE's report to Mr. Zaretsky's then attorney Robert Hendrickson, dated November 14, 2012. If you do not have copies of these reports, please let me know and I will forward them to you." [Emphasis added]

CSA's report stated clearly that three types of soil were found in the rear yard at 2655 Broderick: Type 1, the reuse of native soil; Type 2 fill: imported fill placed at the time of construction of the properties about 100 years ago; and Type 3 fill, several inches of recent accumulation from landscape activities. Mr. Cox claims that Mr. Shire's report verifies the absurd assertion that two feet of the Type 2 fill was added in recent times, surcharging the wall long after its design and construction. Here is engineer Shire's response to this distortion:

"Regarding Mr. Zaretsky's claim that Mr. Casey's predecessor added 2 feet of soil behind the retaining wall and his use of our report as justification for that claim:

"Nowhere in our referenced geotechnical report did we state or imply that the original backfill of the old retaining wall was augmented within the past several decades by adding Type 2 fill. In the early 1900's as it is today, it was/is common practice when constructing cut/fill lots such as those along Broderick Street to use both the native materials removed as fill as well as importing fill from offsite. They would cut on the upslope side of the lot and fill on the downslope side of the lot, building retaining walls at the property lines to add more level area for yards, etc. Because the builder of Mr. Zaretsky's lot wanted a parking garage beneath the structure and because his lot fronts on Green Street, they had to cut an additional depth to create a level lot and had to build a higher retaining wall to support that deeper cut. It was not the practice in the early 1900s, nor is it now, to build retaining walls at the boundaries of cut/fill lots that have 2 feet of freeboard (2 feet of unused retaining wall sticking up in the air). The different types of fill logged in our test pits behind the retaining wall simply represent Type 1 - the re-use of native materials, Type 2 - the import of offsite materials for the original lot construction as described above, and Type 3, more recent infill from detritus and landscaping activities. We are recommending that more recent Type 3 materials be removed in the area of the new planter box, but not the Type 1 and Type 2 materials from original construction. Those Type 1 and Type 2 materials have been behind Zaretsky's wall since it was built and removing them would create a sinkhole to trap water behind the wall, adding

hydrostatic pressure to it unless the water is somehow caught and pumped away. We recommend leaving the wall backfill conditions as they were intended to be when the wall was constructed.” [Emphasis added.]

For engineer Cox willfully to attribute to another design professional the misstatement that off-site fill imported to the site a century ago is recently added fill is unconscionable.

Mr. Shire’s report does make clear that a few inches of soil have accumulated since Mr. Zaretsky’s wall was constructed – designated “Type 3” in his report. This additional soil volume is attributable to landscaping activities – the accumulation of duff, tanbark, and the expansion of the soil level as plants mature and root systems expand. The Caseys have agreed, per Mr. Shire’s recommendation, to remove some of this accumulation in the vicinity of the property line shared with 2701 Green St. It is a few inches (not two feet) in depth.

Rationality demands the answers to these questions: 1) Where is there any evidence of the preposterous idea that the original retaining wall was constructed more than two feet higher than the soil it was installed to retain? 2) Are there photographs, permit drawings, or other evidence of that freeboard? 3) What was the methodology for importing several dump truck loads of soil into the landlocked rear yard of 2655 Broderick (hundreds of wheelbarrow loads rolled through the garage and up the stairs to the yard above, or a crane with a scoop soaring over the roof)? And, 4) how did that allegedly raised soil level avoid burying the top of the Casey home’s rear foundation, and the top of the retaining wall along the Casey’s rear (west) property line, both tops of which are visible today? Were those structures also built, like Mr. Zaretsky apparently believes his retaining wall was, two feet higher than required to retain the soil level original to grading of the lots? DBI experts do not find this to be likely, nor do we.

This fictional idea of a 2-foot surcharge on the century-old retaining wall, on which both CSA engineer Shires and DBI Inspector Duffy saw no signs of poor performance or recent damage, is the basis for another attempt to derail the permitting process the Caseys have undertaken to clear the violations for structures which they did not install.

Two applications now under Planning Department review, of which Mr. Zaretsky has requested Planning Commission Discretionary Review, deal with a rear stair to grade, and with legalization of a roof deck. Mr. Zaretsky states that none of these three independent structures can be considered in isolation because they all relate to the issue of this imagined surcharge on his wall. He has failed to explain how a roof deck at the front of the property, supported on the deep foundations of the Casey home, surcharges a retaining wall on the other side of the lot. The soils report and engineering work of CSA also makes clear that a light-weight wood-frame stair and its landing near the supported span of Mr. Zaretsky's retaining wall do not apply any lateral load to the wall. And finally, regarding the permit under appeal and now before the Board, extraordinary measures have been taken to ensure that no loads from the planter or the trees within it will affect the retaining wall.

We therefore respectfully request that the Board uphold the planter permit, and deny the appeal.

Yours truly,


Craig Nikitas

City and County of San Francisco
DEPARTMENT OF BUILDING INSPECTION

J O B C A R D



OFFICE HOURS: THE BUILDING INSPECTION IS OPEN DAILY, MONDAY THRU FRIDAY,
FROM 8:00 a.m. TO 5:00 p.m. DISTRICT BUILDING INSPECTORS KEEP OFFICE HOURS DAILY,
MONDAY THRU FRIDAY, FROM 8:00 a.m. TO 8:30 a.m. AND FROM 3:00 p.m. TO 4:00 p.m.

REQUESTS FOR INSPECTIONS ARE TAKEN 24 HOURS A DAY/7DAYS A WEEK
BY CALLING (415) 575-6955

APPLICATION NO. 2012 0406 7781 ISSUED SEP 17 2014
JOB ADDRESS: 2655 BRODERICK BLOCK: _____ LOT: _____
NATURE OF WORK: _____

WORK PERMITTED UNDER AUTHORITY OF THIS BUILDING PERMIT NUMBER MUST BE COMPLETED
PRIOR TO EXPIRATION DATE OF 9-12-15.

EXTENSION OF TIME TO COMPLETE WORK UNDER THIS BUILDING PERMIT NUMBER MAY BE GRANTED UPON
WRITTEN REQUEST PRIOR TO THE DATES NOTED ABOVE.

For informations on the Permit Process, Building Plans Review, Access Issues, etc., please see page 4 of this
JOB CARD for useful and appropriate telephone numbers.

*** ELECTRICAL & PLUMBING WORK MUST HAVE PERMITS SEPARATE FROM A BUILDING PERMIT. ***

**KEEP THIS CARD POSTED IN A CONSPICUOUS PLACE ON THE JOB SITE AT ALL TIMES.
PLANS AND PERMIT DOCUMENTS SHALL BE ON THE JOB SITE
AT ALL TIMES WHEN WORK IS IN PROGRESS.
AFTER COMPLETION OF WORK, RETAIN THIS CARD FOR YOUR RECORDS.**



DEPARTMENT OF BUILDING INSPECTION

INSPECTION RECORD

APPLICATION NO. 2012 0406 7781 ISSUED SEP 17 2014
 JOB ADDRESS: 2655 BRODERICK BLOCK: _____ LOT: _____
 NATURE OF WORK: _____

Do Not Pour CONCRETE until the following are signed

INSPECTIONS	Dates	Inspectors
Foundation Forms		
Foundation Steel		
Grounding Electrode		
O.K. TO POUR		

Do Not CONCRETE SLAB until the following are signed

INSPECTIONS	Dates	Inspectors
Plumbing Underground		
Electrical Underground		
Fire Service Underground		

Do Not COVER until the following are signed

INSPECTIONS	Dates	Inspectors
Rough Plumbing		
Shower Pan		
Flu, Vents & Ducts (PLBG)		
Heating Hydrostatic Test		
Rough Sprinklers (PLBG)		
Rough Electrical		
Rough Sprinklers (FIRE)		
Hydrostatic (FIRE)		
Sound Transmission		
Rough Framing		
Insulation		
Environmental Air, Vents, Ducts (BLDG)		
Lath		
O.K. TO COVER		

ADDITIONAL WORK REQUIRING APPROVALS

INSPECTIONS	Dates	Inspectors
Special		
Special		
Special		
Fire Alarm		
Energy Ordinance		

FINAL INSPECTION REQUIRED

INSPECTIONS	Dates	Inspectors
Disabled Access		
Sprinklers (PLBG)		
Mechanical		
Plumbing		
Electrical		
Street Use & Mapping		
Urban Forestry		
Fire Department		
Health Department		
Building		
CERTIFICATE OF FINAL COMPLETION		

FOR INFORMATION ON THE PERMIT PROCESS, CALL THE DEPARTMENT OF BUILDING INSPECTION'S CUSTOMER SERVICES DIVISION AT 415-558-6088.

PLEASE CALL THE FOLLOWING PHONE NUMBERS FOR QUESTIONS AND/OR COMPLAINTS RELATED TO PERMITTED WORK UNDER WAY:

BUILDING INSPECTION:	415-558-6570	ENERGY/MECHANICAL PLAN CHECK:	415-558-6133
CENTRAL PERMIT BUREAU:	415-558-6070	RECORDS:	415-558-6080
CODE ENFORCEMENT:	415-558-6454	PLANNING DEPARTMENT:	415-558-6377
PLAN REVIEW SERVICES:	415-558-6133	PLUMBING INSPECTION:	415-558-6570
DISABLED ACCESS:	415-558-6110	REROOFING INSPECTION:	415-558-6570
ELECTRICAL INSPECTION:	415-558-6570	SPECIAL INSPECTION:	415-558-6132
FIRE INSPECTION:	415-558-3300	DPW-BSM:	415-558-6060
FIRE PLAN CHECK:	415-558-6177	STREET USE & MAPPING AT 875 STEVENSON:	415-554-5810
GENERAL INFORMATION:	415-558-6088	BUREAU OF URBAN FORESTRY	415-641-2674
HEALTH INSPECTION:	415-558-2770		
HOUSING INSPECTION:	415-558-6220		

A FINAL REMINDER

AFTER COMPLETION OF WORK BEING PERFORMED UNDER AUTHORITY OF YOUR BUILDING PERMIT, RETAIN THIS JOB CARD WITH YOUR IMPORTANT BUILDING RECORDS.

IMPORTANT!

If this permit was applied for to clear a NOTICE OF VIOLATION issued by HOUSING INSPECTION SERVICES, you must take a copy of the completed JOB CARD and mail it to the attention of the HOUSING INSPECTOR who wrote the NOTICE at the following:

**San Francisco Department of Building Inspection
Housing Inspection Services
1660 Mission Street, 6th Floor
San Francisco, California 94103-24214**

SEP 17 2014

Tom C. Hui

TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

APPLICATION NUMBER
2012-04-06-7781

OSHA APPROVAL RECORD
APPROVAL NUMBER:

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

FORM 3 OTHER AGENCIES REVIEW REQUIRED

FORM 8 OVER-THE COUNTER ISSUANCE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

25 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

DATE FILED APR 06 2012	FLING FEE RECEIPT NO. 12048994	(1) STREET ADDRESS OF JOB 2655 BRODERICK	BLOCK & LOT 0955/002
PERMIT NO. 1336212	ISSUED SEP 17 2014	(2A) ESTIMATED COST OF JOB \$2000 (DCI FEE)	(2B) REVISED COST: \$18,000 (DATE: 11/14)

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. TB	(5A) NO. OF STORIES OF OCCUPANCY: 3	(6A) NO. OF BASEMENTS AND CELLARS: 1	(7A) PRESENT USE: SINGLE FAMILY HOME	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS: 1
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. TB	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY HOME	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS: 1
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--	--	--	--

(14) GENERAL CONTRACTOR OWNER/BUILDER	ADDRESS 2655 BRODERICK	ZIP 94115	PHONE 415-333-8080	CALIF. LIC. NO. ARS	EXPIRATION DATE
--	---------------------------	--------------	-----------------------	------------------------	-----------------

(15) OWNER - LESSEE (CROSS OUT ONE) OWNER	ADDRESS 2655 BRODERICK	ZIP 94115	BTRC# 470	PHONE (FOR CONTACT BY DEPT.) 333-8080
--	---------------------------	--------------	--------------	--

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
PREPARE TO NEW # 201164794 TO ~~REPLACE~~ THE PERMIT OF EXISTING

PLANTER BOX ONLY; RETAINING THE EXISTING PLANTER BOX ADJACENT TO THE NORTHERN PROPERTY BOUNDARY & REPLACING WITH A NEW REINFORCED CONCRETE PLANTER BOX WITH REINFORCED CONCRETE FOUNDATION PILLS FOUNDED ON SANDSTONE BEDROCK.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT.	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
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(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
---	--	--	--

(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> PAT SHIRAS	ADDRESS 330 VILLAGRA LANE	CALIF. CERTIFICATE NO. 26397
---	------------------------------	---------------------------------

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") NA	ADDRESS
--	---------

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6' to any wire containing more than 750 volts Sec. 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS AFFIDAVIT DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10), (11), (12), (13), (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

<input type="checkbox"/> OWNER	<input type="checkbox"/> ARCHITECT
<input type="checkbox"/> LESSEE	<input type="checkbox"/> AGENT
<input type="checkbox"/> CONTRACTOR	<input type="checkbox"/> ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (i), or (ii) designated below or shall business from (iii), or (iv), or (v), whichever is applicable. If however item (v) is checked item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance the work for which this permit is issued.
- () II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
- () III. The cost of the work to be done is \$100 or less.
- () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- () V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

4/6/12

CONDITIONS AND STIPULATIONS

REFER TO:	<p>APPROVED: 18-8570, to schedule inspections for building, electrical and / or plumbing. This application is approved without site inspection, detailed plumbing or electrical plan review and does not constitute an approval of the building. Work authorized must be done in strict accordance with applicable codes. Any electrical or plumbing work shall require appropriate separate permits.</p> <p style="text-align: right;"><i>[Signature]</i> Robert Chun, DBI OCT 19 2012</p> <p style="text-align: right;"><i>[Signature]</i> RICHARD TAM, DBI SEP 15 2014</p>	<p>DATE: <u>4.8.12</u></p> <p>REASON: <u>OK TO PROCESS FOR COMPLIANCE WITH NOV 2011 68794 TV NO PENALTIES DUE PER NOV.</u></p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p style="text-align: center; font-size: 2em;">N/A</p> <p style="text-align: center;">DEPARTMENT OF CITY PLANNING</p>	<p>DATE: <u>10/18/12</u></p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p style="text-align: center; font-size: 2em;">N/A</p> <p style="text-align: center;">BUREAU OF FIRE PREVENTION & PUBLIC SAFETY</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p style="text-align: center; font-size: 2em;">N/A</p> <p style="text-align: center;">MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input checked="" type="checkbox"/>	<div style="border: 1px solid black; padding: 5px; display: inline-block;"> <p>SPECIAL INSPECTIONS AND TESTS ARE REQUIRED AS PER BUILDING CODE SECTION 1704</p> </div> <p style="text-align: right;"><i>[Signature]</i> Robert Chun, DBI OCT 19 2012</p> <p style="text-align: right;"><i>[Signature]</i> RICHARD TAM, DBI SEP 15 2014</p> <p style="text-align: center;">CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED: Separate permit from the Bureau Of Street-Use & Mapping is required for work involving alterations, reconstruction or repair of sidewalk, curb or gutter in the City right-of-way. Call 558-6060 for information.</p> <p style="text-align: right; color: red; font-weight: bold;">No st. sp.</p> <p style="text-align: right; color: red; font-weight: bold;">BY <u>10-23-12</u></p> <p style="text-align: right;">Danny Miniano, DPW/BSM</p> <p style="text-align: center;">BUREAU OF ENGINEERING</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p style="text-align: center; font-size: 2em;">N/A</p> <p style="text-align: center;">DEPARTMENT OF PUBLIC HEALTH</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p style="text-align: center; font-size: 2em;">N/A</p> <p style="text-align: center;">REDEVELOPMENT AGENCY</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p style="text-align: center; font-size: 2em;">N/A</p> <p style="text-align: center;">HOUSING INSPECTION DIVISION</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>

HOLD SECTION - NOTE DATES AND NAME OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureau or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

[Signature]
OWNER'S AUTHORIZED AGENT



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

DEPARTMENT OF BUILDING INSPECTION NOTICE: 1
City and County of San Francisco
1660 Mission St. San Francisco, CA 94103

NUMBER: 201168794
DATE: 22-MAR-12

ADDRESS: 2655 BRODERICK ST

OCCUPANCY/USE: ()

BLOCK: 0955 LOT: 002

If checked, this information is based upon site-observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.

OWNER/AGENT: CASEY FAMILY TRUST
MAILING CASEY FAMILY TRUST
ADDRESS MARK L & CARRIE GAISER CASE
2655 BRODERICK ST
SAN FRANCISCO CA 94123

PHONE #: --

PERSON CONTACTED @ SITE: CASEY FAMILY TRUST

PHONE #: --

VIOLATION DESCRIPTION:

	CODE/SECTION#
<input checked="" type="checkbox"/> WORK WITHOUT PERMIT	106.1.1
<input type="checkbox"/> ADDITIONAL WORK-PERMIT REQUIRED	106.4.7
<input type="checkbox"/> EXPIRED OR <input type="checkbox"/> CANCELLED PERMIT PA#:	106.4.4
<input type="checkbox"/> UNSAFE BUILDING <input type="checkbox"/> SEE ATTACHMENTS	102.1

A complaint has been filed with this department regarding a planter box constructed in rear yard without required building permit. Planter Box (concrete) approx 3ft wide X 4ft long. Planter Box may impact adjacent retaining wall. SFBC 103A

CORRECTIVE ACTION:

- STOP ALL WORK SFBC 104.2.4 415-558-6120
- FILE BUILDING PERMIT WITHIN 30 DAYS (WITH PLANS) A copy of This Notice Must Accompany the Permit Application
- OBTAIN PERMIT WITHIN 60 DAYS AND COMPLETE ALL WORK WITHIN 90 DAYS, INCLUDING FINAL INSPECTION SIGNOFF.
- CORRECT VIOLATIONS WITHIN DAYS. NO PERMIT REQUIRED
- YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED , THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.
- FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN. SEE ATTACHMENT FOR ADDITIONAL WARNINGS.

Obtain building permit to legalize or remove concrete Planter Box adjacent to North property line. Obtain required inspections to abate this complaint.

INVESTIGATION FEE OR OTHER FEE WILL APPLY

- 9x FEE (WORK W/O PERMIT AFTER 9/1/60) 2x FEE (WORK EXCEEDING SCOPE OF PERMIT)
- OTHER: REINSPECTION FEE \$ NO PENALTY (WORK W/O PERMIT PRIOR TO 9/1/60)

APPROX. DATE OF WORK W/O PERMIT

VALUE OF WORK PERFORMED W/O PERMITS \$

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR: Donal J Duffy

PHONE # 415-558-6120

DIVISION: CES

DISTRICT :

By:(Inspectors's Signature) _____

CENTRAL PERMIT BUREAU
1660 Mission Street
San Francisco, California 94103

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION
(415)558-6088

Receipt No: 1336212
Application/Permit No: 201204067781

PERMIT IS GRANTED TO

ERECT ALTER BUILDING ERECT SIGN DATE OF ISSUE 17-SEP-14
 DEMOLISH BUILDING GRADE FILING FEE RECEIPT # 12048994
 LOWER CURB OCCUPY STREET SPACE
 EXCAVATE STREET OR SIDEWALK POST NOTICE
 HOUSE NUMBER CERTIFICATE REPAIR OR CONSTRUCT SIDEWALK

SUPPLEMENTAL FEE PAID:

FINAL PLAN CHECK EXPEDITER FEE PENALTY
 STRUCTURAL LTR DCP FEE

OWNER:

CASEY FAMILY TRUST (415)333-8080

LOCATION OF JOB: HOUSE NUMBER: EXISTING ASSIGNED
STREET ADDRESS: 2655 BRODERICK ST 0955/002 BLOCK/LOT

METES AND BOUNDS

FRONTAGE FT. 3 # STORIES 5 B TYPE R-3 LEGAL OCCUPANCIES
BUILDING USE 1 FAMILY DWELLING ESTIMATED COST \$ 18,000.00
SIDEWALK SQ. FTGE ST. SPACE LINEAR FT. 9 FT. CURB SECT. TO BE LOWERED
PARKING METER LINEAR FT. PARKING METER DAYS

WORK MUST COMMENCE ON BUILDING WITHIN TIME PER CODE, UNLESS EXTENSION AUTHORIZED PRIOR TO EXPIRATION. IF UNDER ENFORCEMENT ORDERS, SPECIAL TIME PERIODS SPECIFIED IN NOTICE OF VIOLATION OR ABATEMENT ORDER WILL APPLY.

TIME FOR COMPLETION OF WORK UNDER THIS BUILDING PERMIT EXPIRES 360 Days AFTER DATE OF ISSUANCE. IF UNDER ENFORCEMENT ORDERS, SPECIAL TIME PERIODS WHERE SPECIFIED WILL APPLY. (NOTE: STREET SPACE PERMIT EXPIRES ON COMPLETION OF WORK OR WHEN REVOKED BY DIRECTOR OF PUBLIC WORKS. SEE BACK OF FORM FOR OTHER TIME LIMITS.)

KYLE THOMPSON (415) 333-8080

FEE PAYOR PERMIT 1336212

301 JUNIPERO SERRA APPEAL

ADDRESS

SAN FRANCISCO CA 94127

CITY

SEPARATE PERMITS MUST BE OBTAINED FOR ELECTRICAL, PLUMBING OR OTHER RELATED WORK
9003-18(Rev.10/95)

THIS PERMIT IS GRANTED IN ACCORDANCE WITH PROVISIONS OF THE CHARTER AND ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO AND/OR THE CURRENT STANDARD SPECIFICATIONS OF THE DEPARTMENT OF BUILDING INSPECTION

* ADDITIONAL INFORMATION REGARDING SPECIFIC PERMITS IS GIVEN ON THE BACK OF THIS FORM.

DBI P/C PAID AT FILING \$203.00

AUDITED FOR REFUND

FEE

DCP PLAN CHECK	281.12
BUILDING	202.00
PLAN REVIEW	284.00
RECORDS RETENTION	6.00
TECH SURCHARGE	15.46

SURCHARGE 0.00

BOA SURCHARGE 50.00

SUBTOTAL OF FEES WITH APPLICABLE SURCHARGES \$838.58

STRONG MOTION 2.34

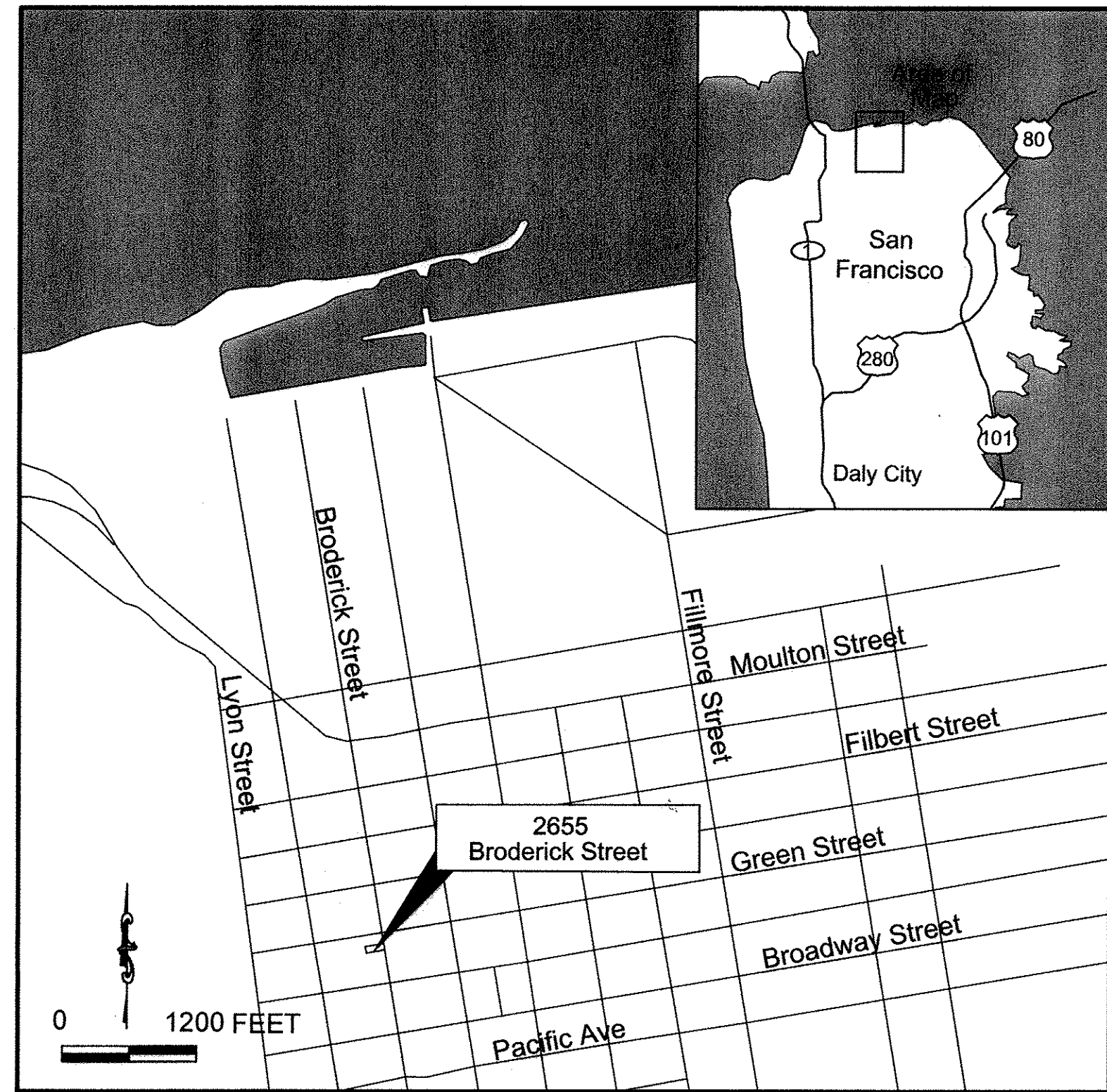
SUBTOTAL OTHER FEES 2.34

TOTAL \$840.92

2655 BRODERICK STREET PLANTER BOX PROJECT

San Francisco, California

Call 415-558-8570, to schedule inspections for building, electrical and / or plumbing. This application is approved without site inspection, detailed plumbing or electrical plan review and does not constitute an approval of the building. Work not authorized must be done in strict accordance with all applicable codes. Any electrical or plumbing work shall require appropriate separate permits.



LOCATION MAP

PROJECT DESCRIPTION NOTE

The 2655 Broderick Street Planter Box Underpinning Project consists of removing the existing planter box adjacent to the northern property boundary and replacing it with a new reinforced concrete planter box with reinforced concrete foundation piers founded in sandstone bedrock such that no vertical or lateral loads are imposed upon the existing adjacent retaining walls. The Project is intended to comply with NOV201168794, **FOR THE RETROFIT OF EXISTING PLANTER BOX ONLY.**

LIMITATIONS NOTE

This project was designed in accordance with generally accepted principles and practices of the Civil and Geotechnical Engineering professions. This warranty is in lieu of any other warranties, expressed or implied.

GENERAL NOTES

- For reference in these documents, the "Owner" is Mr. Mark Casey, the "Engineer" is Cotton, Shires and Associates, Inc. (CSA), the "Structural Engineer" is Hobach-Lewin Inc., and the "Contractor" is a separate entity retained by the Owner to accomplish the work described herein. The work of the Contractor shall be inspected by the Engineer, who is a separate entity retained by the Owner to design and inspect the project.
- The Contractor shall coordinate the work of all trades.
- The Contractor shall exercise particular care to preserve existing trees not identified for removal and other natural and/or domestic landscaping outside of the lines of work.
- The Contractor shall verify all site conditions, grades, dimensions and elevations prior to commencing work. Any conflicts or discrepancies in the drawings and specifications shall be brought to the attention of the Engineer and be resolved prior to the commencement of work. In no case shall dimensions be scaled from plans, sections or details on the drawings.
- In the event that any unusual conditions not covered by the drawings or specifications are encountered during construction operations, the Engineer shall be immediately contacted for recommendations.
- All materials, methods and work are to be in accordance with the project drawings and specifications as well as the Standard Specifications for Public Works Construction of the City (the latest edition, if applicable), "Greenbook" Standard Specifications for Public Works Construction (latest addition) and all addenda thereto.
- Any distress or damage, caused by the Contractor's actions, to existing structures not identified for construction, including buildings, decking, AC pavement, utilities, landscaping, etc. shall be repaired or replaced at the Contractor's expense.
- The Contractor shall notify the Engineer and Owner at least two (2) working days prior to commencing work or if work has been suspended for a period of more than twenty-four (24) hours at (408) 354-5542, FAX (408) 354-1852.
- The Contractor shall provide the Owner and Engineer with the name and telephone numbers of the responsible person(s) to contact, with regard to this project, 24 hours a day.
- The Contractor shall call U.S.A. (Underground Service Alert) at (800) 642-2444, forty-eight (48) hours prior to beginning any underground work to verify location of existing underground utilities.
- The Contractor shall conform to the rules and regulations of the State Construction Safety Orders pertaining to excavations and trenches, to the Local Building and safety codes, and all agencies having jurisdiction.
- Construction work shall occur between the hours of 7:30 A.M. and 5:30 P.M. Monday through Friday. Any deviation to this schedule shall be pre-approved by the Owner and the Engineer with a minimum of 48 hours advance notice.

- The Contractor shall provide adequate dust control at all times (24 hours per day 7 days per week, including weekends, holidays and outside regular work hours) as required by the Owner and the City of San Francisco. Any operation that creates excessive dust shall cease immediately until sufficient measures satisfactory to the Owner and the County and City of San Francisco have been taken to insure compliance with dust control requirements.
 - The Contractor shall furnish and install all signs, lights, barricades, and other traffic control or warning devices, including flagperson, as required by the Engineer and the City of San Francisco.
 - Streets are to remain clean and open to through traffic at all times. No temporary or long term parking or storage of construction equipment or materials shall occur without prior authorization from the Owner, and with City Permits.
 - A traffic control plan is required for any detours or rerouting of traffic. During construction, it shall be the responsibility of the Contractor to provide for safe traffic control in and around the site. This may include, but shall not be limited to, signs, flashing lights, barricades and flag persons as required by the Owner, Engineer, or City of San Francisco. The Contractor shall notify the City and the Neighbors prior to all lane closures.
 - Emergency service vehicles shall be allowed immediate safe passage at all times. The road shall be left open, free of debris and serviceable during all non-construction hours.
 - Erosion and drainage control features are to be available to be placed using Best Management Practices in the event of rain or other erosive action to prevent any sediment from leaving the site. Erosion control devices shall be installed and in place following daily construction activities during the entire year. The applicant shall notify the Engineer and Owner of any changes in construction, which will require additional erosion control measures.
 - Waste materials shall not be washed into the storm drain system. This includes, but is not limited to, soil, paint, stucco, grout, color coat, concrete dust, saw residues, grindings, oil, etc.
 - During the construction period, the project frontage(s) shall be swept and kept free of dirt, dust and debris at the end of each work day. Prior to the release of construction bonds (if any), the frontage(s) shall be inspected by the Engineer and/or the Owner and repairs effected as required. Earth material shall be kept from being tracked off site. Water shall not be used as a method to clean streets.
 - Any uncertainties, and need for clarifications, should be addressed to the Engineer in writing in the form of a Requests For Information (RFI's). The RFI forms shall include the date submitted, a reference to the sheet number, and a sketch if appropriate. The Contractor shall submit an RFI as soon as a question arises and understand that, depending on the complexity of the question, the answer may take some time to be resolved.
 - The Contractor shall provide submittals as may be required for the prosecution of the work and approval of materials and/or equipment. Submittals may include calculations, specifications, product data, samples, manuals, spare parts, photographs, schedules, or similar items required to be submitted to the Engineer. These submittals shall be approved by the Engineer and the City before any work involving these submittals is performed. No change shall be made by the Contractor to any submittal after it has been approved by the Engineer and the City. Submittals shall contain all required detailed information at a reasonable scale with enough views to clearly show the work to be done or the item to be furnished, and shall be properly checked. It is expressly understood, however, that approval of the Contractor's submittals shall not relieve the Contractor of any responsibility for accuracy of dimensions and details, or for mutual agreement of dimensions and details. The Contractor shall be solely responsible for agreement and conformity of submittals with the Contract Drawings and Specifications.
- For each submittal, a copy will be returned to the Contractor marked, "No Exceptions Noted," "Make Corrections Noted and Resubmit Final File Copy," "Rejected," "Revise and Resubmit," or "Submit Specified Items," within 10 days after receipt. The Contractor shall make any necessary corrections and revisions to returned submittals and shall resubmit the submittals within 10 days after receipt. The Contractor is responsible for furnishing submittals in sufficient time for approval action, including resubmittal, without delaying construction.
- Submittals shall be required for the following items: 1) Construction Schedule; 2) Permits and Licenses; 3) Construction Area Traffic Plan; 4) Public Notification; 5) Concrete Mix Designs; and 6) Rebar Shop Drawings. Submittals may also be required for other items as they come up during the course of construction.
 - All Substitutions shall be approved by the Engineer prior to acceptance on the project.
 - Changes of work of less than 25 percent of the total estimated quantity of any contract items shall result in an adjustment (add-on or deduct) according to the contract unit price. Changes resulting in greater than 25 percent of the total estimated quantity of any contract item shall result in a re-negotiated unit cost for said item.
 - Extra work shall require a signed Contract Change Order, or a written order from the Owner, authorizing Contractor to proceed with extra work for an agreed upon price. The expressed terms of the signed Change Order shall govern over any conflicting documents, including, but not limited to, any proposals for Change Orders.

SPECIFICATIONS

PART 1 GENERAL

- Construction work includes furnishing all necessary materials and installation of reinforced concrete planter box and foundation piers designated on these construction drawings and as specified herein.
 - Typical details and notes on these sheets shall apply unless specifically shown or noted otherwise. Construction details not shown or noted shall be similar to details shown for similar conditions. All work or construction shall comply with the 2010 edition of the California Building Code with San Francisco Amendments and all other applicable or pertinent Federal, State and local requirements, codes, laws and ordinances.
 - All work to be completed in accordance with the recommendations contained in the Design Geotechnical Investigation report by Cotton, Shires and Associates, Inc., dated February 3, 2012 which shall be reviewed by the Contractor and shall be inclusive as part of these construction documents.
 - Discrepancies - The Contractor shall verify all dimensions, elevations, and existing conditions (where applicable) at the job site as well as the provisions of the entire construction documents and bring to the Engineer's attention any discrepancy. In the event of a discrepancy in the construction documents, the note or detail utilizing the stricter requirement shall apply.

- Excavation, Shoring, and Bracing - It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, formwork, etc., as required for protection of life and property, to support any construction loads, and to maintain all building components safely in place prior to their final assembly and anchorage into the completed structure.

1.2 Reference Standards

- California Building Code - 2010.
- San Francisco Building Code - 2010.
- American Concrete Institute (ACI) - 301 Latest edition ACI specifications for structural concrete for buildings.
- American Concrete Institute (ACI) - 318 Latest edition ACI specifications for reinforced concrete.
- A.I.S.C. Latest edition specifications for the design, fabrication and erection of structural steel for buildings.
- A.W.S. Latest edition structural welding code - D1.1 and D1.4.
- A.I.S.I. Latest edition specifications for the design of cold-formed steel structural members.
- Standard Specifications for Public Works Construction (SSPWC).
- American Society for Testing Materials (ASTM).
- Occupational Safety Health Administration (OSHA).

1.3 Delivery, Storage and Handling

- Contractor shall check the materials upon delivery to assure that proper material has been received.
- Contractor shall prevent excessive mud, wet cement, epoxy, and like materials which may affix themselves, from coming in contact with the materials.
- Contractor shall protect the materials from damage.
- Contractor shall not stockpile or store material within 8 feet of the top of the retaining wall on the adjacent property.

PART 2 REINFORCED CONCRETE

- Cement shall conform to ASTM C 150, Type V.
- Aggregates for normal weight concrete shall conform to ASTM C 33.
- Concrete shall be mixed and delivered in accordance with ASTM C 94.
- Concrete work shall conform to all requirements of ACI 301, "Specifications for Structural Concrete for Buildings," except as modified by these notes.
- Admixtures shall be used only with prior written approval of the Engineer. Admixtures shall comply with ASTM C 494 and be of a type that increases the workability of the concrete, but which shall not reduce the specified minimum cement content. Calcium chloride shall not be used.
- Contractor shall submit mix designs for review before fabrication and installation.

Planter box and foundation piers	2,500 psi
----------------------------------	-----------
- Slumps shall be in a range of 4 to 6 inches.
- Concrete shall be placed in a continuous operation until each foundation pier is completed. Concrete shall be placed in foundation piers in one continuous pour. Concrete shall be of a consistency to permit placing intimately around reinforcing bars and against forms.
- Exposed surfaces of concrete shall be kept moist or cured by protective coverings applied in accordance with manufacturer's specifications.
- Forms shall be tight, clean and wetted before placing concrete.
- Chamfer all exposed edges of concrete 3/4" unless noted otherwise.
- All defective work shall be repaired by the Contractor as specified.
- Aggregate: coarse aggregate shall not exceed 3/4 inch for concrete.
- Curing: during the curing periods specified herein, concrete shall be maintained above 40 degrees (F) and in moist condition. In initial curing, concrete shall be kept moist for 24 hours after placement is complete. Final curing shall continue for seven days after pouring or shotcreting, for three days if high-early strength cement is used, or until the specified strength is obtained. Final curing shall consist of a fog spray or an approved moisture retaining cover or curing compound forming a membrane.
- Inspections: during placement, special inspection is required. The special inspector shall provide inspection of the placement of the reinforcement and continuous inspection of the concrete placement and shall submit a statement indicating compliance with the drawings and specifications.

LIST OF DRAWINGS

Drawing No.	Sheet No.	Drawing Title
C-1	1 of 4	Location Map, Notes, Specifications and List of Drawings
C-2	2 of 4	Specifications (cont.), Lot, and Special Inspection Requirements
C-3	3 of 4	Structural Details
C-4	4 of 4	Planter Box Details

PART 3 REINFORCING STEEL

- Reinforcing shall be in accordance with ASTM A615, Grade 60. Tie wires shall be 18 ga, or heavier, black annealed steel.
- Minimum lap splices of steel reinforcing bars shall be as follows: Class B as defined in ACI 318-11.
- Reinforcement detailing, bending, and placement shall be in accordance with the Concrete Reinforcing Steel Institute "Manual of Standard Practice", latest edition.

SPECIAL INSPECTIONS AND TESTS ARE REQUIRED AS PER BUILDING CODE SECTION 1704.

Richard Tam, DBI
RICHARD TAM, DBI
SEP 15 2014

PLAN REVISION
MAY 21 2014
DEPARTMENT OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING.

APPROVED
Dept. of Building Insp.

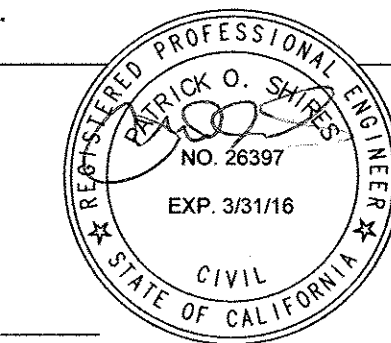
SEP 17 2014

Tom C. Hu
TOM C. HU, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

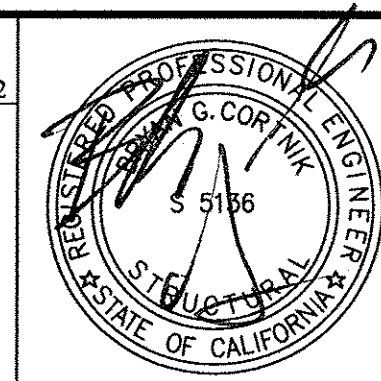
NO.	REVISIONS	BY	DATE	APP'D
1	Revise Specifications 1.1.A and 1.2 and List of Drawings	TPS	4/14/14	POS/BC
2	No Changes This Sheet	TPS	5/6/14	POS/BC

COTTON, SHIRES & ASSOCIATES, INC.
CONSULTING ENGINEERS AND GEOLOGISTS

Patrick O. Shires, P.E. 12/19/13
DESIGNED DATE
Jamie Smith 12/19/13
DRAWN DATE
David T. Schrier, P.E. 12/19/13
CHECKED DATE



330 Village Lane
Los Gatos, California 95030
(408) 354-5542 Fax: (408) 354-1852



FOR:
Mr. Mark Casey
2655 Broderick Street
San Francisco California 94123

Project Information:
Block 0955, Lot 002
Type of Construction: 5B
Occupancy Class: R3

DRAWING TITLE:

Location Map, Notes, Specifications and List of Drawings

2655 Broderick Street
Planter Box Project
San Francisco, California

DRAWING NO.

C-1

SHEET NO.

1 of 2

CSA PROJECT NO. E5270

2012.04.06.778/R-5

SPECIFICATIONS (cont.)

- 3.4 Reinforcing steel shall be provided with the following amounts of cover for concrete application:
 - A. Concrete deposited against earth: 3 in.
 - B. Concrete surface exposed to air or weather: 2".
- 3.5 All reinforcing, shall be rigidly secured in place prior to pouring concrete. Mortar blocks or other approved method of support shall be used at footings and slabs-on-grade. All reinforcing steel shall be inspected by the Engineer prior to pouring concrete.
- 3.6 The clear distance between parallel bars in a layer shall not be less than 1-1/2 times the nominal diameter of the bars, or 1-1/3 times the maximum size aggregate, nor less than 1-1/2".
- 3.7 Unless otherwise noted, lap splices of bottom footing bars shall be staggered at least 5'-0" minimum from laps in other bottom footing bars. Stagger lap splices of top footing bars similarly.
- 3.8 Reinforcing bars shall be lapped and spliced as shown on drawings. Minimize laps and splices using bars in as long lengths as can be handled. Where length of splice is not shown on drawings, use standard lap splice length as shown in ACI318-11 (Class B).
- 3.9 When lap splicing reinforcement bars of different sizes, Contractor shall use the largest bar lap splice length.

PART 4 FOUNDATION PIERS

- 4.1 Foundation Piers
 - 4.1.1 Rock/soil material shall be excavated as required for foundation piers as shown on these construction drawings, or as recommended by the Engineer.
 - 4.1.2 Foundation pier excavations shall be logged by the Engineer during excavation by Contractor.
 - 4.1.3 Loose material at the bottom of the foundation pier excavations shall be removed prior to placing steel or pouring of concrete.
 - 4.1.4 The Contractor shall anticipate both caving and hard-rock excavation, and therefore provide suitable equipment capable of extending the pier holes to their design depth. Water shall not be added to the pier holes as a method of hole stabilization unless approved by the Engineer.
- 4.2 Foundation Pier Installation
 - 4.2.1 A minimum 3 inches of clearance all around shall be maintained between the structural steel and the sides of the excavation.
 - 4.2.2 If more than 3 inches of water has accumulated in the hole, the water shall be removed prior to the pouring of concrete.

PART 5 VOID FORMS

5.1 Void Forms

5.1.1 3-inch thick corrugated paper void forms (SurevoidR, or approved equivalent) shall be placed against the 3 sides of the pier excavations facing the existing retaining wall in the "Neglected Zone" as shown on these construction drawings or as recommended by the Engineer.

RICHARD TAM, DBI
SEP 15 2014

PLAN REVISION
MAY 21 2014
DEPARTMENT OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR IMAGING
ACCEPTED BY _____

City and County of San Francisco
Department of Building Inspection
Edwin M. Lee, Mayor
Tom C. Hui, S.E., Acting Director

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6132. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1710. The building permit will not be finalized without compliance with the structural observation requirements.

Special Inspection Services Contact Information

- 1. Telephone: (415) 558-6132
- 2. Fax: (415) 558-6474
- 3. Email: dbi.specialinspections@sfgov.org
- 4. In person: 3rd floor at 1660 Mission Street

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6132 - FAX (415) 558-6474 - www.sfdbi.org

APPROVED
Dept. of Building Insp.

SEP 17 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS: 2655 Broderick Street APPLICATION NO. 2012.04.06.7781 ADDENDUM NO. _____
OWNER NAME: MARK CASEY OWNER PHONE NO. (415) 333-8080
C/O ARS

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1710. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1701:1703:1704 (2010 SFBC), Special Inspection and/or testing is required for the following work:

- | | | |
|--|--|--|
| 1. <input checked="" type="checkbox"/> Concrete Placement | 6. <input type="checkbox"/> High-strength bolting | 18. Bolts installed in existing concrete or masonry: |
| 2. <input type="checkbox"/> Bolts installed in concrete | 7. <input type="checkbox"/> Structural masonry | 19. <input type="checkbox"/> Concrete |
| 3. <input type="checkbox"/> Special moment-resisting concrete frame | 8. <input type="checkbox"/> Reinforced gypsum concrete | 20. <input type="checkbox"/> Masonry |
| 4. <input checked="" type="checkbox"/> Reinforcing steel and prestressing tendons | 9. <input type="checkbox"/> Installing concrete fill | 21. <input type="checkbox"/> Pullout tests per SFBC Sec. 1607C & 1615C |
| 5. <input checked="" type="checkbox"/> Structural welding: | 10. <input type="checkbox"/> Spray-on fireproofing | 22. <input type="checkbox"/> Shear walls and floor systems used as shear diaphragms |
| A. Periodic Visual Inspection | 11. <input checked="" type="checkbox"/> Piling, drilled piers and caissons | 23. <input type="checkbox"/> Hold-downs |
| 1. Single pass fillet welds 6/16" or smaller | 12. <input type="checkbox"/> Shotcrete | 24. <input type="checkbox"/> Special cases: |
| 2. Steel deck | 13. <input type="checkbox"/> Special grading, excavation and filling (Geo. Engineer) | 1. <input type="checkbox"/> Shoring |
| 3. Welded studs | 14. <input type="checkbox"/> Adhesive placement system | 2. <input type="checkbox"/> Underpinning |
| 4. Cold formed studs and joists | 15. <input type="checkbox"/> Demolition | 3. <input type="checkbox"/> Others |
| 5. Stair and railing systems | 16. <input type="checkbox"/> Exterior Fining | 4. <input type="checkbox"/> Crane safety (Apply to the operation of lower cranes on highrise building) |
| 6. Reinforcing steel | 17. <input type="checkbox"/> Retrofit of unreinforced masonry buildings: | 5. <input type="checkbox"/> Others: "As recommended by professional of record" |
| 7. <input checked="" type="checkbox"/> Continuous Visual Inspection and NDT (Section 1704) | 1. <input type="checkbox"/> Testing of mortar quality and shear bolts | |
| 8. <input type="checkbox"/> All other welding (NDT exception: Fillet weld) | 2. <input type="checkbox"/> Inspection of repointing operations | |
| 9. <input type="checkbox"/> Reinforcing steel and <input type="checkbox"/> NDT required | 3. <input type="checkbox"/> Installation inspection of new shear bolts | |
| 10. <input type="checkbox"/> Moment-resisting frames | 4. <input type="checkbox"/> Pre-installation inspection for embedded bolts | |
| 11. <input type="checkbox"/> Others | 5. <input type="checkbox"/> Pullout tests per SFBC Sec. 1607C & 1615C | |
| | 6. <input type="checkbox"/> Others | |

24. Structural observation per Sec. 1710 (2010 SFBC) for the following: Foundations Steel framing
 Concrete construction Masonry construction Wood construction
Other: PRECONSTRUCTION MEETING WITH ENGINEER, GEOTECHNICAL ENGINEER, AND SPECIAL INSPECTOR.

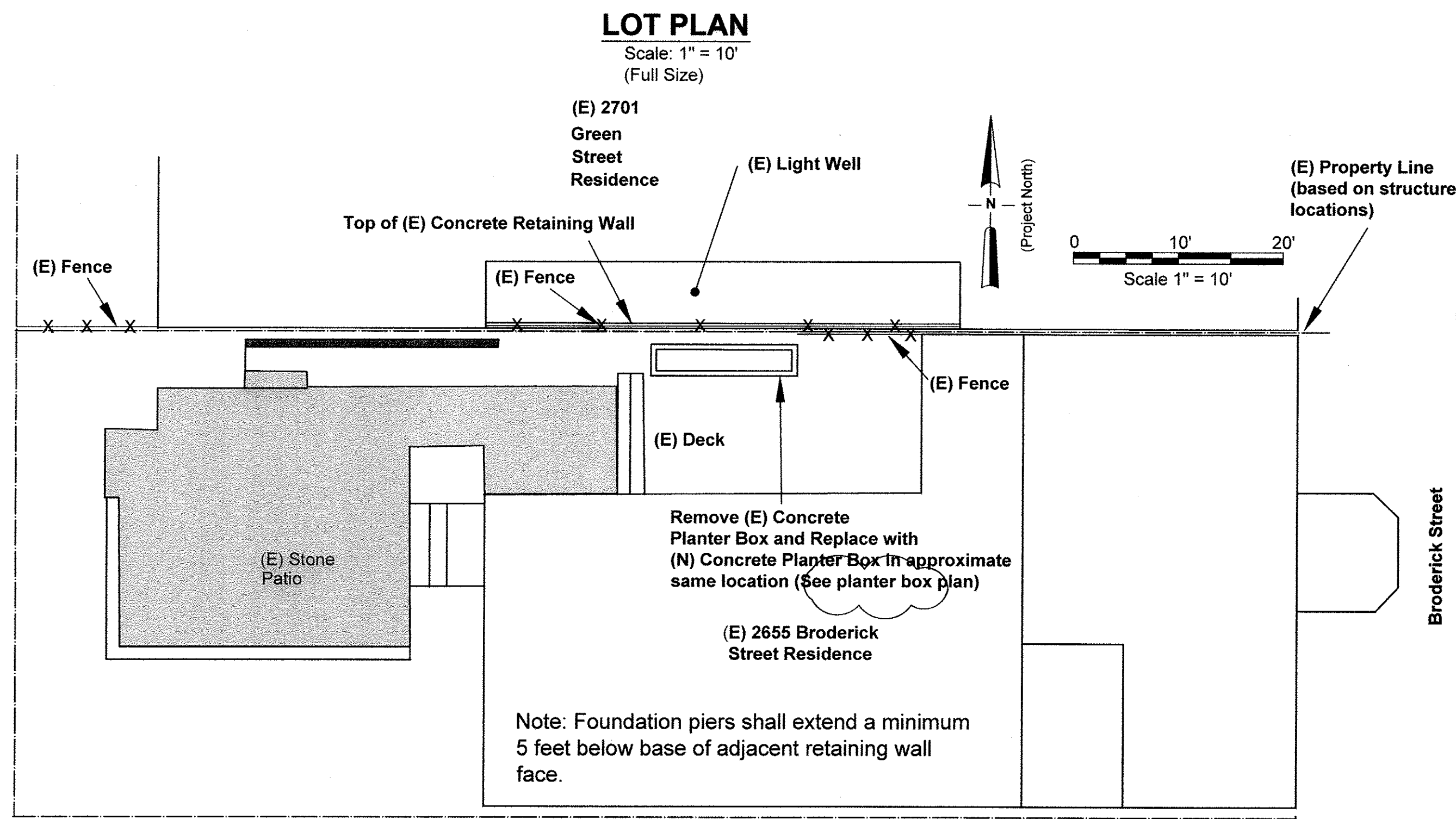
25. Certification is required for: GSI components
HOHBACH-LEWIN, INC. STRUCTURAL ENGINEERS
Prepared by: BRYAN G. COBURN, S.E., SS136 Phone: (650) 617-5930
Engineer/Architect of Record

Required Information:
FAX: (650) 617-5932 Email: BCORTNIK@HOHBACH-LEWIN.COM

Review by: RICHARD TAM Phone: (415) 575-6824
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports.)
DATE _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO:
Special Inspection Services (415) 558-6132, or dbi.specialinspections@sfgov.org; or FAX (415) 558-6474



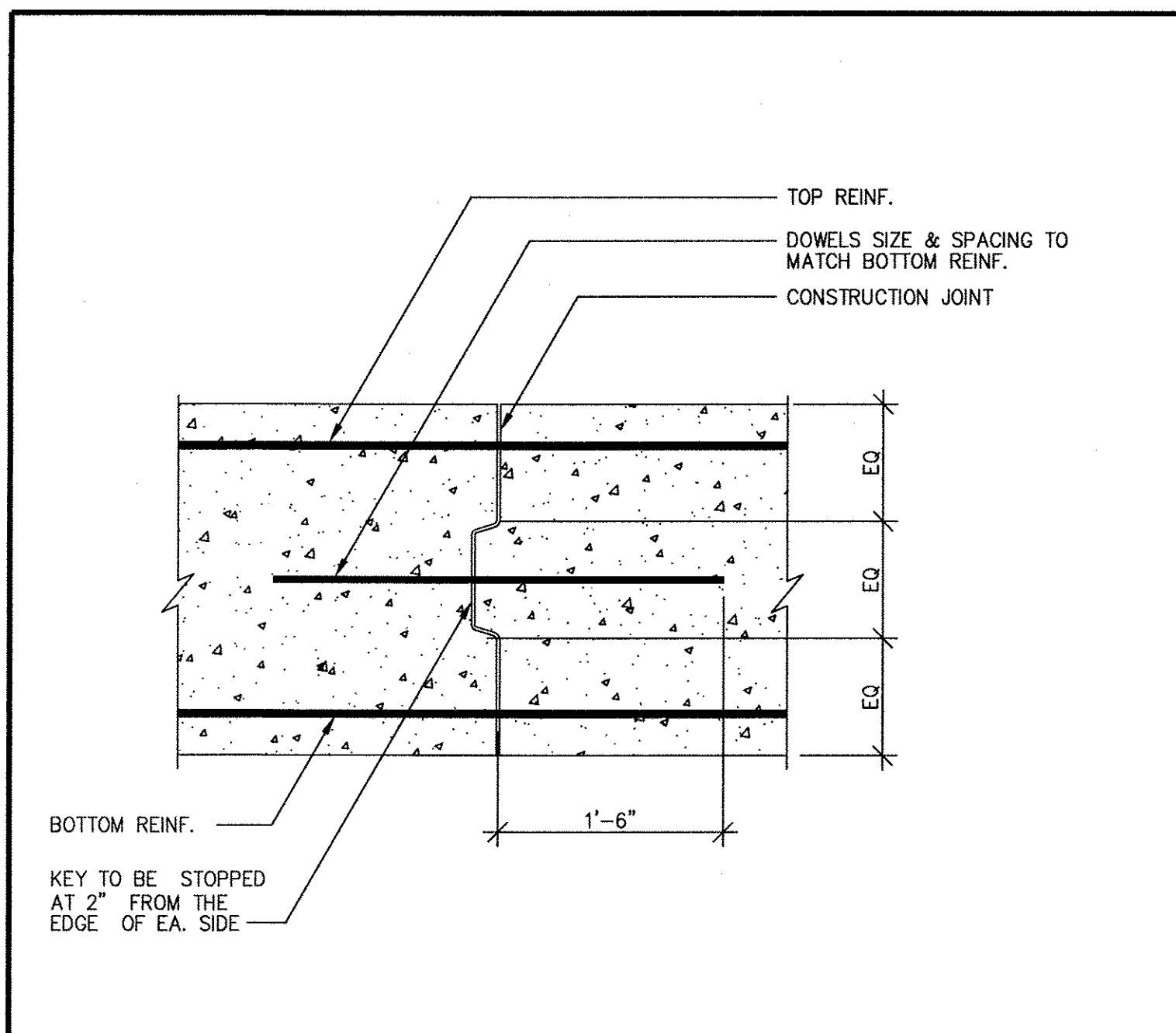
DESIGN BASIS

- A. LATERAL LOADS:
 - 1. DESIGN WIND CRITERIA: PER ASCE 7-10
NOMINAL DESIGN WIND SPEED: 85 mph
WIND EXPOSURE: B
 - 2. DESIGN SEISMIC CRITERIA:
SITE CLASS: D
SDS = 1.00g
SD1 = 0.654g
IMPORTANCE FACTOR, I = 1
SEISMIC DESIGN CATEGORY = D
RISK CATEGORY = II
RESPONSE MODIFICATION COEFF., R = 3
DESIGN SEISMIC COEFF., V = 0.33W (STRENGTH)
- B. GEOTECHNICAL CRITERIA:
 - 1. DESIGN OF FOUNDATION IS BASED ON THE CRITERIA PER GEOTECHNICAL REPORT PREPARED BY: COTTON, SHIRES AND ASSOCIATES, INC.
REPORT #: E5270A
DATED: APRIL 7, 2014
 - 2. ALLOWABLE SKIN FRICTION:
DEAD + LIVE: 750 psf
 - 3. ALLOWABLE ACTIVE PRESSURE: 47 pcf
 - 4. PASSIVE PRESSURE UNIFORM: 8,075 psf (BELOW BASE OF EXISTING WALL)
PASSIVE PRESSURE EWF: 545 pcf (BELOW BASE OF EXISTING WALL)

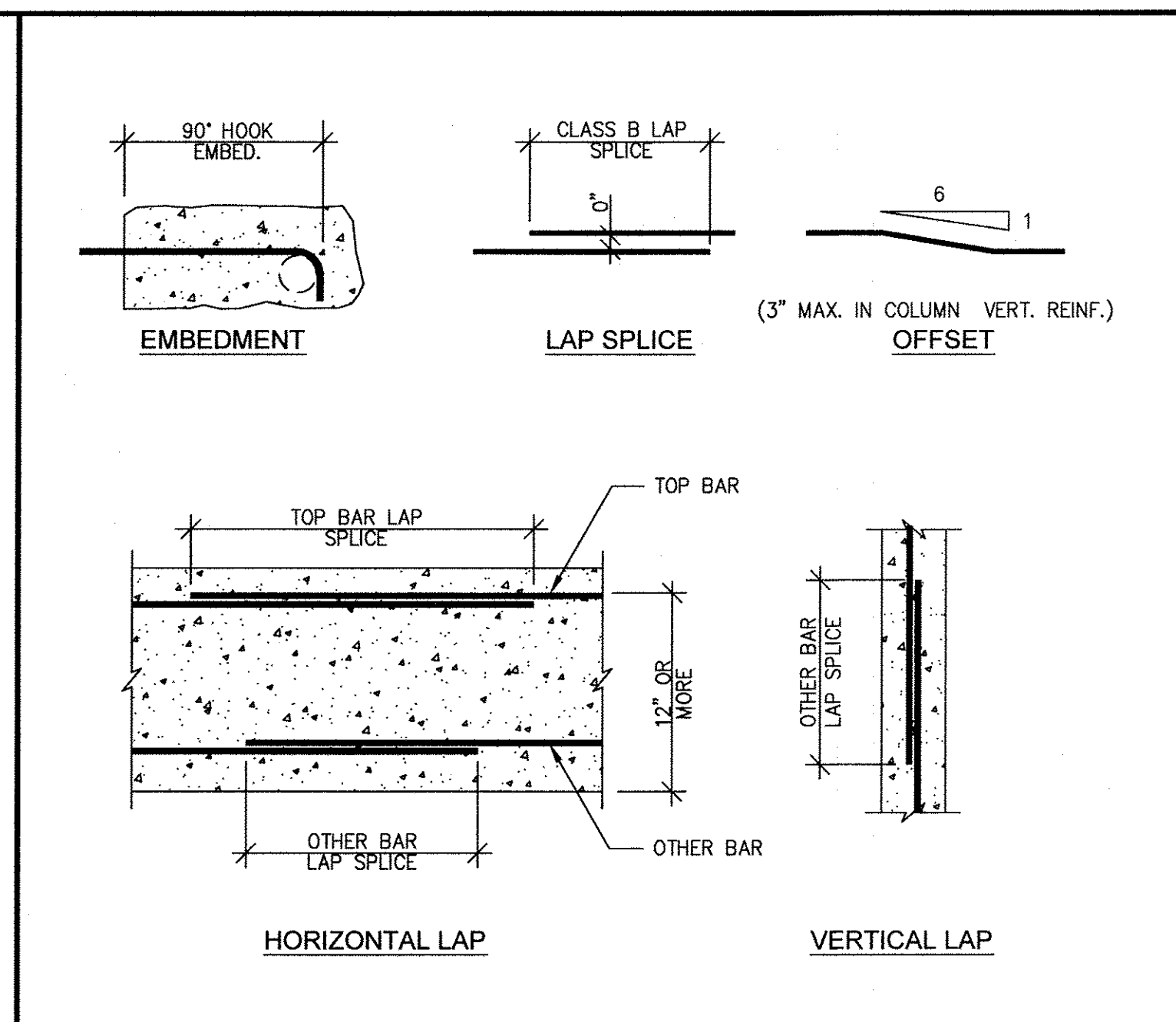
Property Information

Block 0955
Lot 002
Type of Construction: 5B
Occupancy Class: R3

<p>△ Add Design Loads, Special Inspections Forms 2 Add Part 5 Specifications</p>	<p>TPS 4/14/14 POS/BC TPS 5/6/14 POS/BC</p>	<p>COTTON, SHIRES & ASSOCIATES, INC. CONSULTING ENGINEERS AND GEOLOGISTS 330 Village Lane Los Gatos, California 95030 (408) 354-5542 Fax: (408) 354-1852</p>	<p>FOR: Mr. Mark Casey 2655 Broderick Street San Francisco California 94123</p>	<p>DRAWING TITLE: Specifications (cont.), Lot, and Special Inspection Requirements</p>	<p>DRAWING NO. C-2</p>
<p>DESIGNED: Patrick O. Shires, P.E. 12/19/13 DATE: 12/19/13 DRAWN: Jamie Smith DATE: 12/19/13 CHECKED: David T. Schrier, P.E. 12/19/13 DATE: 12/19/13</p>	<p>REVISIONS</p>	<p>SUBMITTED: _____ EXP. 3/31/16</p>	<p>Project Information: Block 0955, Lot 002 Type of Construction: 5B Occupancy Class: R3</p>	<p>2655 Broderick Street Planter Box Project San Francisco, California</p>	<p>SHEET NO. 2 of 4 CSA PROJECT NO. E5270</p>



5 TYPICAL CONSTRUCTION JOINT AT FOUNDATION S5.10-06A
1"=1'-0"



3 TYPICAL REINFORCEMENT EMBED, LAP SPLICE AND OFFSET S5.10-03
1"=1'-0"

BAR SIZE	STANDARD HOOK	
	D (IN.)	HOOK LENGTH (IN.)
		90° 180°
#3	2 1/4	4 1/2 2 1/2
#4	3	6 2 1/2
#5	3 3/4	7 1/2 2 1/2
#6	4 1/2	9 3
#7	5 1/4	10 1/2 3 1/2
#8	6	12 4
#9	9	13 1/4 1 1/2

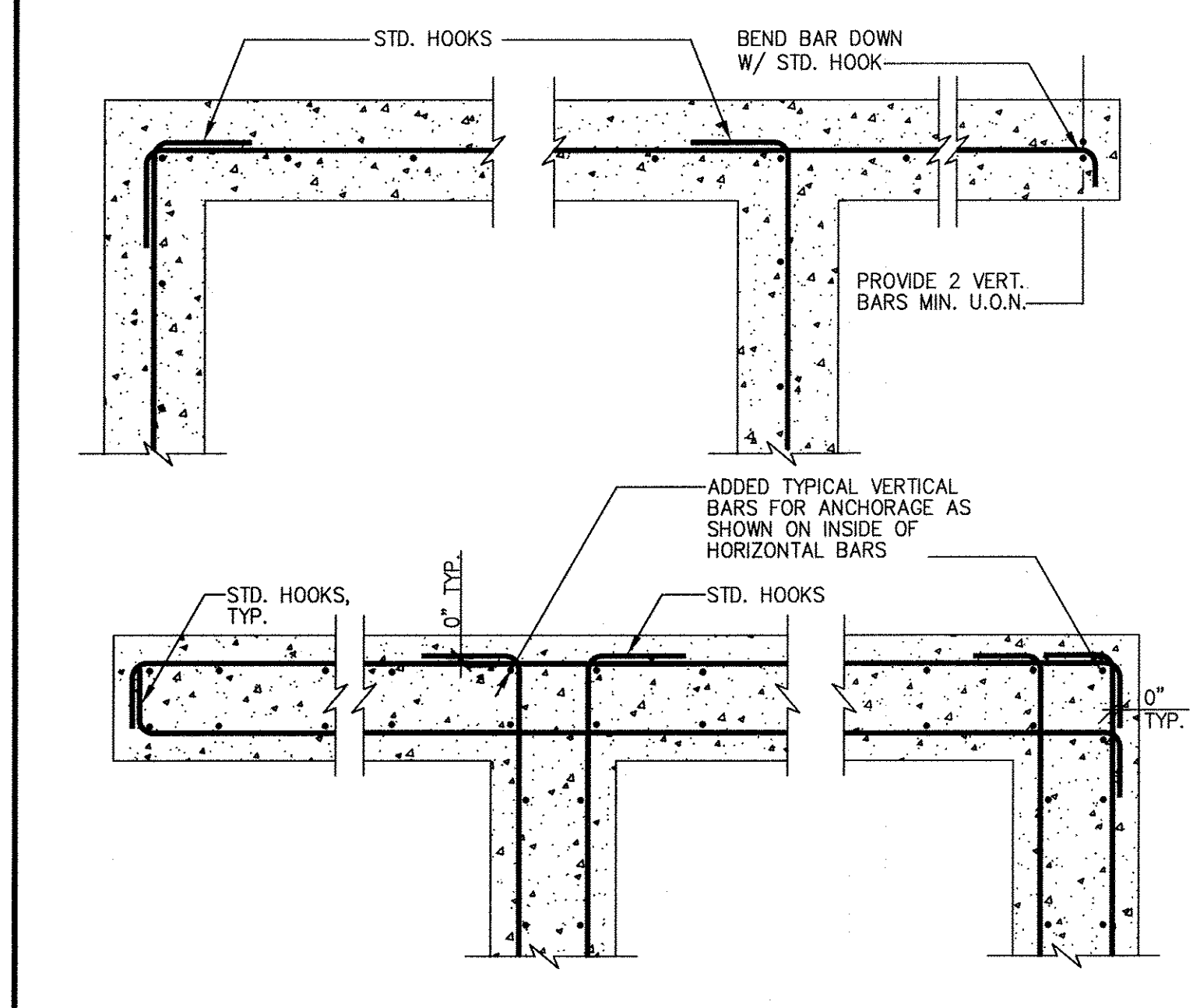
NOTE:
d = BAR DIAMETER
D = MINIMUM DIAMETER OF BEND
D = 6d FOR #3 THROUGH #8
D = 8d FOR #9 THROUGH #11

1A STANDARD REINFORCING STEEL HOOKS N.T.S.

BAR SIZE	STIRRUP & TIE HOOK	
	D (IN.)	HOOK LENGTH (IN.)
		90° 135°
#3	1 1/2	3 3
#4	2	3 3
#5	2 1/2	4 4

NOTE:
d = BAR DIAMETER
D = MINIMUM DIAMETER OF BEND
D = 4d FOR #5 AND SMALLER

1 TYPICAL STIRRUP AND TIE HOOKS S5.10-01
N.T.S.



4 TYPICAL CONCRETE MEMBER INTERSECTIONS S5.10-04
1"=1'-0"

TOP BARS - 90° HOOK EMBEDMENT AND CLASS B TENSION LAP SPLICE FOR GRADE 60 REINF.

BAR SIZE	f'c 2,500 PSI		f'c 3,000 PSI		f'c 4,000 PSI		f'c 5,000 PSI	
	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)
#3	9	31	9	28	8	25	7	22
#4	12	41	11	38	10	33	9	29
#5	15	51	14	47	12	41	11	36
#6	18	61	17	56	15	49	13	44
#7	21	89	20	81	17	71	15	63
#8	24	102	22	93	19	81	17	72
#9	27	115	25	105	22	91	20	81

OTHER BARS - 90° HOOK EMBEDMENT AND CLASS B TENSION LAP SPLICE FOR GRADE 60 REINF.

BAR SIZE	f'c 2,500 PSI		f'c 3,000 PSI		f'c 4,000 PSI		f'c 5,000 PSI	
	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)
#3	9	24	9	22	8	19	7	17
#4	12	32	11	29	10	25	9	23
#5	15	39	14	36	12	31	11	28
#6	18	47	17	43	15	37	13	34
#7	21	69	20	63	17	54	15	49
#8	24	78	22	72	19	62	17	56
#9	27	88	25	81	22	70	20	63

NOTES:
1. TOP BARS = HORIZONTAL BARS (OTHER THAN IN WALLS) PLACED WITH MORE THAN 12" OF FRESH CONCRETE IS CAST BELOW THEM. SEE DET. 3/
2. ABOVE TABLES ARE BASED UPON MINIMUM CLEAR COVER GREATER THAN 1.0db AND MINIMUM CLEAR SPACING GREATER THAN 2db. WHERE EITHER OF THESE REQUIREMENTS IS NOT MET, INCREASE THE EMBEDMENT OR LAP LENGTH BY 50%.
3. USE CLASS B LAP SPLICE FOR ALL BAR SPLICES TYP.
4. FOR ADDITIONAL INFORMATION SEE DET. 3/-

2 TYPICAL REINFORCEMENT EMBED AND LAP SPLICE S5.10-02
N.T.S.

△	Add This Sheet	TPS	4/14/14	POS/BC
2	No Changes This Sheet	TPS	5/6/14	POS/BC
NO.	REVISIONS	BY	DATE	APP'D

COTTON, SHIRES & ASSOCIATES, INC.
CONSULTING ENGINEERS AND GEOLOGISTS

330 Village Lane
Los Gatos, California 95030
(408) 354-5542 Fax: (408) 354-1852

Patrick O. Shires, P.E. 12/19/13
DESIGNED DATE

Jamie Smith 12/19/13
DRAWN DATE

David T. Schrier, P.E. 12/19/13
CHECKED DATE

SUBMITTED:

FOR:
Mr. Mark Casey
2655 Broderick Street
San Francisco California 94123

Project Information:
Block 0955, Lot 002
Type of Construction: 5B
Occupancy Class: R3

DRAWING TITLE:
Structural Details
2655 Broderick Street
Planter Box Project
San Francisco, California

DRAWING NO.
C-3

SHEET NO.
3 OF 4

CSA PROJECT NO.
E5270

PLAN REVISION

MAY 21 2014

DEPARTMENT OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR IMAGING.

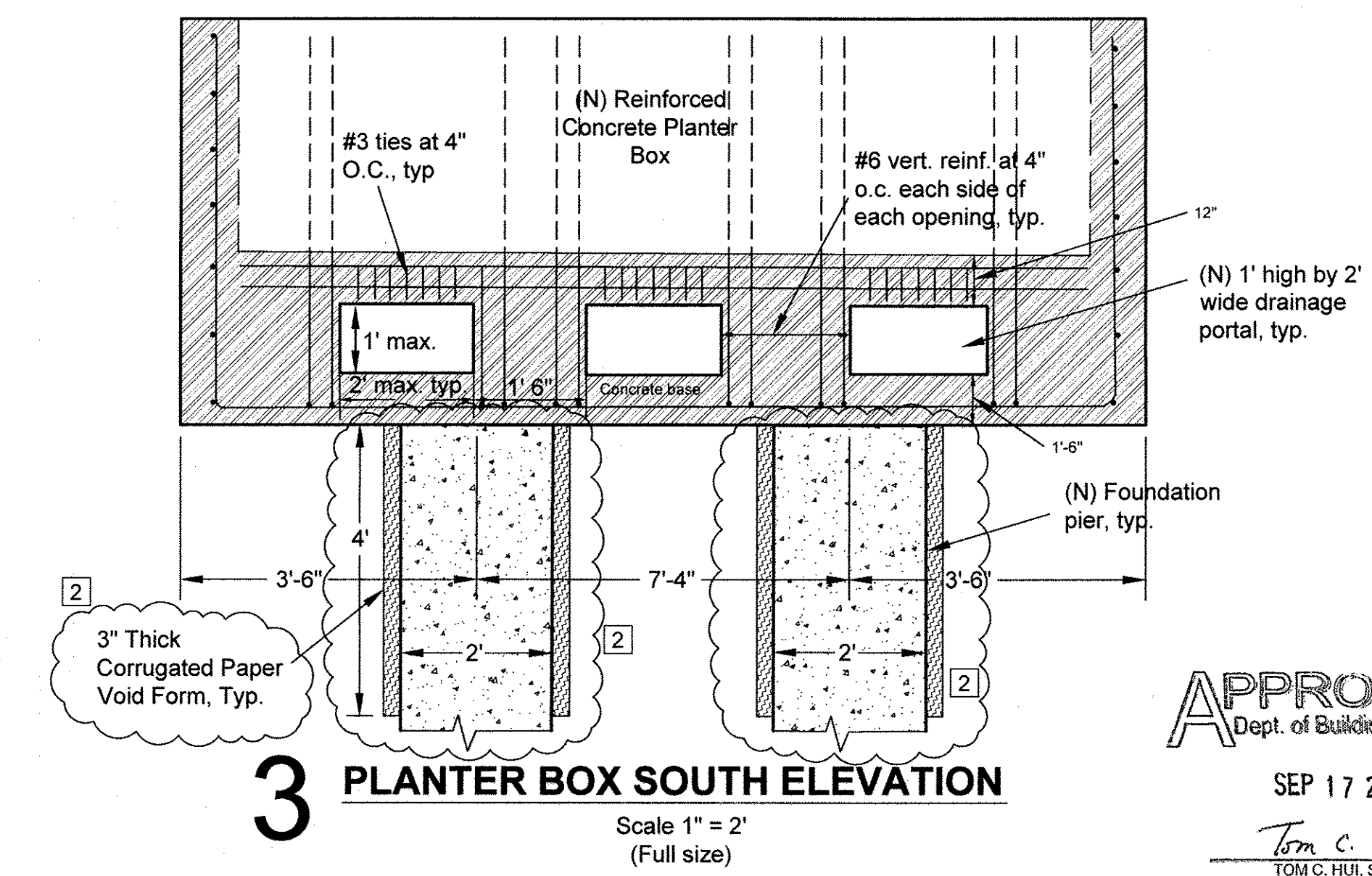
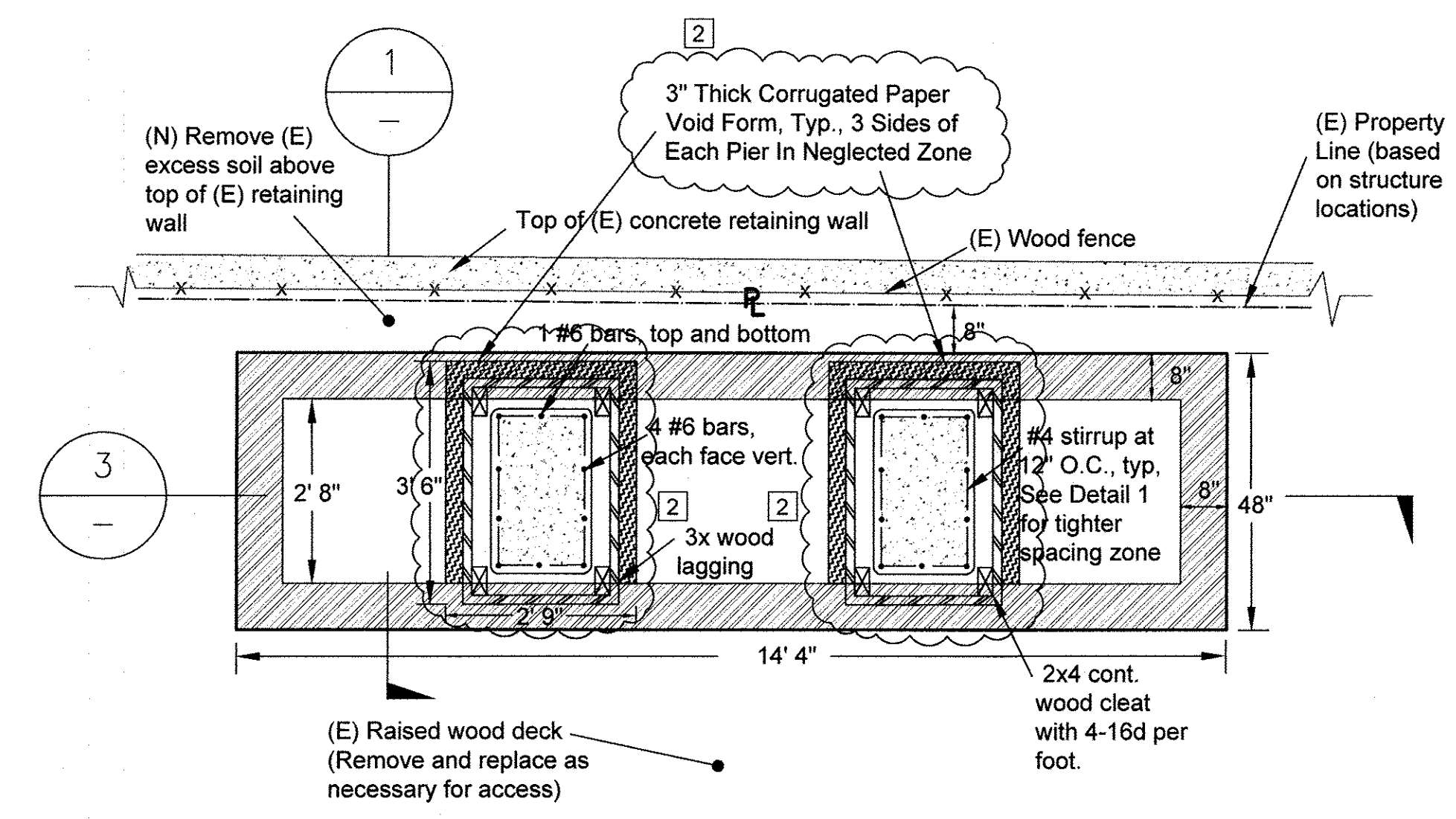
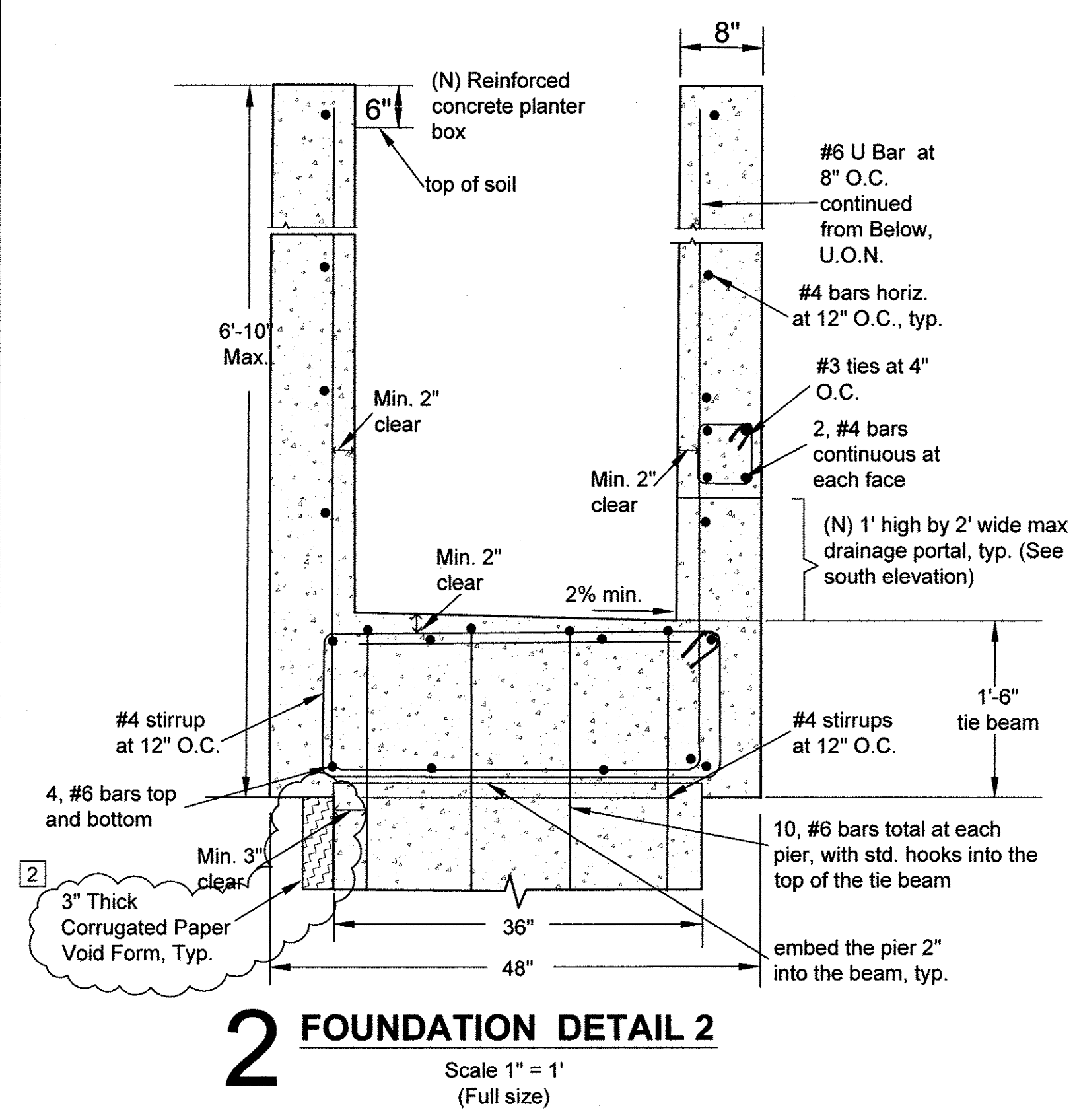
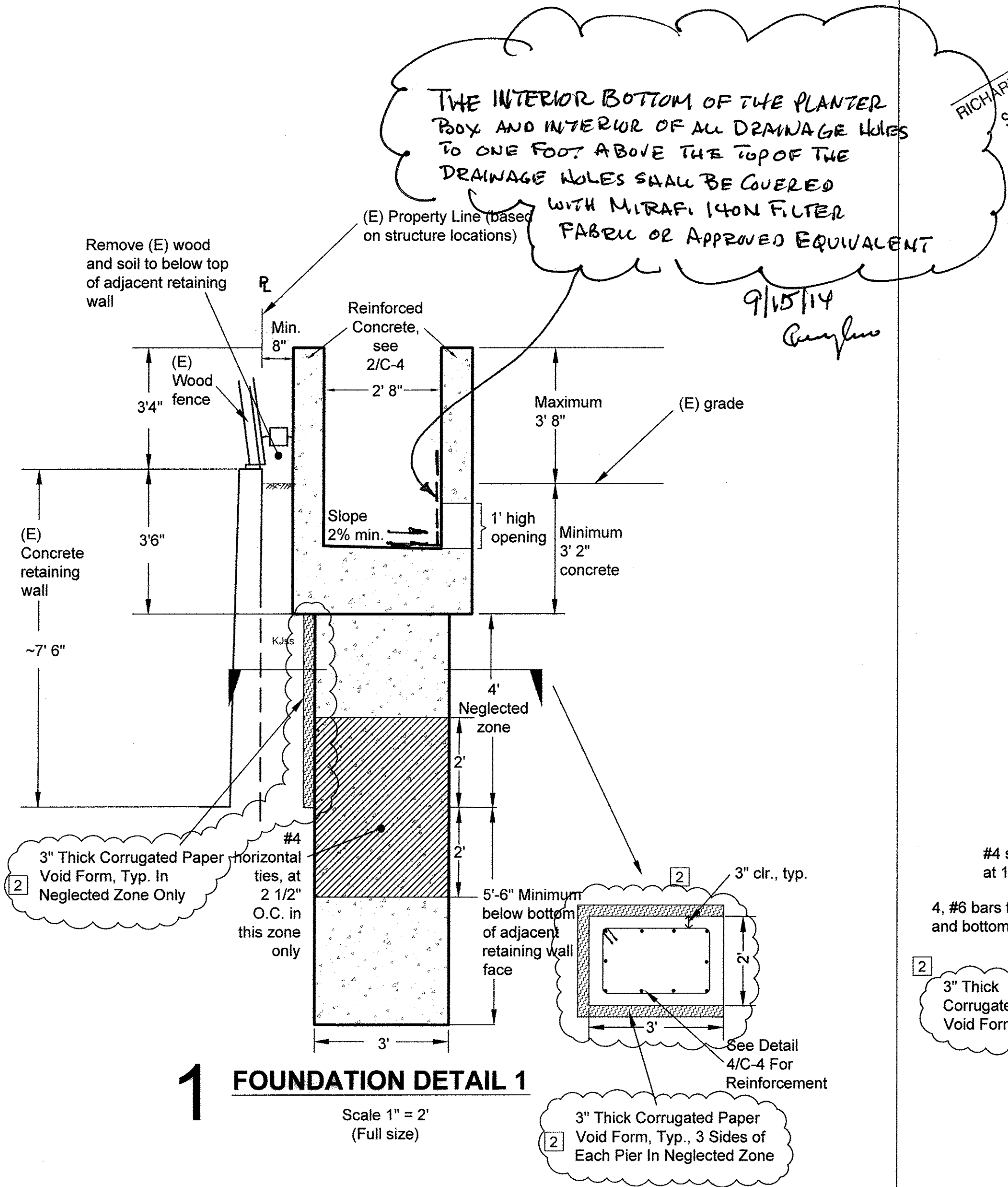
ACCEPTED BY

RICHARD TAM, DBI
SEP 15 2014

APPROVED
Dept. of Building Insp.

SEP 17 2014

Tom C. Hull, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION



PLAN REVISION
MAY 21 2014
DEPARTMENT OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING.
ACCEPTED BY

RICHARD TAM, DBI
SEP 15 2014

APPROVED
Dept. of Building Insp.

SEP 17 2014
Tom C. Hui, S.E.
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

NO.	REVISIONS	BY	DATE	APP'D
1	Revise Details 1-4	TPS	4/14/14	POS/BC
2	Add Void Forms to Details 1-4	TPS	5/6/14	POS/BC

COTTON, SHIRES & ASSOCIATES, INC.
CONSULTING ENGINEERS AND GEOLOGISTS

330 Village Lane
Los Gatos, California 95030
(408) 354-5542 Fax: (408) 354-1852

Patrick O. Shires, P.E. 12/19/13
DESIGNED DATE
Jamie Smith 12/19/13
DRAWN DATE
David T. Schrier, P.E. 12/19/13
CHECKED DATE

SUBMITTED:

REGISTERED PROFESSIONAL ENGINEER
NO. 26397
EXP. 3/31/16
CIVIL
STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER
NO. 51136
STRUCTURAL
STATE OF CALIFORNIA

FOR:
Mr. Mark Casey
2655 Broderick Street
San Francisco California 94123

Project Information:
Block 0955, Lot 002
Type of Construction: 5B
Occupancy Class: R3

DRAWING TITLE:

Planter Box Details

2655 Broderick Street
Planter Box Project
San Francisco, California

DRAWING NO.
C-4

SHEET NO.
4 of 4

CSA PROJECT NO.
E5270