

**PROJECT SPONSOR'S BRIEF IN OPPOSITION TO
APPEAL #: 14-170**



Property: 456 27th Street (Block 6580, Lot 018)

Building Permit No.: 2013.03.11.1903S

Project Sponsors:

Robert Edmonds and Vivian Lee, Owner-Occupants

Hearing Date: December 10, 2014

Attorneys for Project Sponsors:

REUBEN, JUNIUS & ROSE, LLP

One Bush Street, Suite 600 San Francisco, CA 94104
t] 415 567 9000 f] 415 399 9480

Table of Contents:

I. Project Background.....	Page 1
II. Response to Appellant’s Claims.....	Page 3
- Appellant received the Section 311 notification and participated in the planning process.....	Page 3
- Appellant’s access to light is not significantly impacted by the Project.....	Page 3
- Proposed Project modifications are not warranted.....	Page 4
- Project Sponsor conducted all appropriate outreach.....	Page 5
III. Conclusion.....	Page 6
IV. Exhibits	
Exhibit A: Letter from Project Sponsors	
Exhibit B: Context Photographs of the Project Site and Project Block	
Exhibit C: Renderings of the Proposed Building	
Exhibit D: Project Timeline	
Exhibit E: Discretionary Review Analysis	
Exhibit F: Quotes from Planning Commissioners Moore and Fong	
Exhibit G: Interior-Courtyard Comparison Between RDG and Actual Conditions	
Exhibit H: Project Sponsor’s Daylight Analysis	
Exhibit I: Appellant’s Daylight Analysis	
Exhibit J: Eight Support Letters from adjacent and surrounding neighbors	
Exhibit K: Project Plans and Elevations	

REUBEN, JUNIUS & ROSE, LLP

December 4, 2014

By Messenger

President Ann Lazarus and Commissioners
San Francisco Board of Appeals
1650 Mission Street, Room 304
San Francisco, CA 94103

Re: Opposition to Appeal No. 14-170
Hearing Date: December 10, 2014
Property: 456 - 27th Street
Building Permit No. 2013.03.11.1903S
Our File No.: 7990.01

Dear President Lazarus and Commissioners:

On behalf of Robert Edmonds and Vivian Lee (“Permit Holders”), the owners of 456 - 27th Street (“Property”), we are writing to oppose the appeal of Lorna Murdoch (“Appellant”) of the above-identified building permit.

I. Project Background:

Permit Holders obtained Building Permit No. 2013.03.11.1903S to construct a single family home with an in-law unit at the Property. (See Exhibit B for existing conditions and Exhibit C for renderings of Proposed Project.) All required notices were given by the Planning Department. Ms. Murdock asserts that she moved into her apartment on February 15, 2013 and thereby "missed her opportunity" to review the Project plans. The assertion is false. The Planning Department's Section 311 Notice to Neighbors was delivered to Ms. Murdock and all other tenants of 462 27th Street on December 17, 2013.

During the 30-day, Section 311 notification period, Planning Staff was contacted by Ms. Murdock and her concerns were investigated by Staff and the Residential Design Team (“RDT”). (See Exhibit D for Project Timeline.) The RDT determined, “that private views are not protected under the Residential

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin
Sheryl Reuben¹ | David Silverman | Thomas Tunny | Jay F. Drake | John Kevlin
Lindsay M. Petrone | Melinda A. Sarjapur | Kenda H. McIntosh | Jared Eigerman^{2,3} | John McInerney III²

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

www.reubenlaw.com

Design Guidelines and that the site design of the proposed three-story building would be consistent with the Residential Design Guidelines and would result in no significant impact on the current southern exposure through the tenant's living room windows facing the light court." (See Exhibit E for full Planning Department Discretionary Review Analysis.)

A discretionary review ("DR") was held at the Planning Commission on May 22, 2014 in which the Appellant voiced her concerns to the Planning Commission. The Planning Commission found that the Appellant did not demonstrate any reason for the Commission to intervene, and the Planning Commission unanimously approved the Project. Two commissioners even went so far as to praise the Project Sponsor and their design of the Project (see also Exhibit F):

Commissioner Kathrin Moore: "I would actually like to note that this is a very sensitively designed infill project. If there is densification, this is the way you want to do it. You stay within the common demising lines. You respect the courtyards and I think it creates spaces including its roof line that are very, very sensitive to the context. We actually do not have rules against densification which has the type of shadow we are experiencing in this project. There is indeed room for densification, but it is not in a way impacting in the way we sometimes see it in other cases where we modify a building."

Commissioner Rodney Fong: "I agree with Commissioner Moore, and to the opposition I understand that this is in that courtyard, but I think this project actually is pretty sensitive in the way it steps back in the rear part and we see other projects that are much more aggressive. So I am supportive of the project."

II. Response to Appellant Claims

In her brief, the Appellant makes many claims which are factually untrue and without merit. The following is the Project Sponsor's response to each of the claims made.

Claim #1: The Appellant moved into 462 27th Street too late to have proper review, notification and proper consideration of her concerns.

Response: Regardless of the exact date of when the Appellant moved into 462 27th Street, the Appellant was notified of the project verbally by the Project Sponsor at a neighbor's Pre-Application Meeting on November 19, 2013 and also via the Section 311 Notification which was delivered to her and all relevant neighbors on December 17, 2013. Upon receipt of the 311 notification, the Appellant contacted Planning Staff, Tom Wang, to share her concerns. Staff proceeded to thoroughly review her concerns which included an in-person site visit by Planner Tom Wang on January 7, 2014. The Project was also reviewed a second time by the Residential Design Team (RDT). Staff worked with the Project Sponsor to review design alternatives such as mirroring the front roof. The unanimous conclusion reached by Staff, the RDT and the Planning Commission was that the Project was already, "...consistent with the Residential Design Guidelines and would result in no significant impact on the current southern exposure through the tenant's living room windows facing the light court. The light court, approximately 18 feet long along the common west side lot line and 16 feet wide, is part of the original design of the apartment building to provide adequate sunlight, by itself along, to those apartment units surrounding it. Therefore, no changes to the proposed three-story, two-family dwelling are warranted." (See Exhibit E for full Planning Department Discretionary Review Analysis.)

Claim #2: The Proposed Project significantly impacts access to daylight to the apartments at 462 27th Street

Response: The proposed Project does not limit access to daylight to the apartments at 462 27th Street. The Project Sponsor has always agreed that the Proposed Project will cast some shadows on the

adjacent property, however, these shadows will be limited to the morning hours of the day, mostly in the winter when a reduction of light is to be expected and will have no impact during the afternoon hours anytime of the year. (See Exhibit H for the Project Sponsor's shadow study of the interior-courtyard of 462 27th Street.) The impact of these shadows is minimal and is more than compensated by the over-sized nature of the courtyard which is seventeen feet wide by eighteen feet long and provides adequate daylight to the apartments. Planning Staff, the RDT and the Planning Commission also came to the same conclusion noting that access to light was not diminished and is within the standards of the Planning Code. (See Exhibit G for a scale comparison of the Appellant's interior-courtyard to standard size light wells as shown in the Residential Design Guidelines.)

Additionally, review of the Appellant's daylight study reveals some instances of possible calculation errors, however, for the most part, the Appellant's daylight study corroborates what the Project Sponsor has stated throughout. There will be almost no change in the lighting conditions most of the hours of the day throughout the entire year, and the available daylight levels within the Appellant's apartment will be within the normal range for interior spaces even under the new conditions of the Project. (See Exhibit I for Project Sponsor's analysis of Appellant's daylight study and recommended light levels for residential interiors.) Furthermore, the Appellant's daylight study also indicates that there will be times of year when her apartment will have an INCREASE in light levels due to the indirect light reflected from the Proposed Project's wall surface.

Claim #3: The Appellant's suggested modifications are reasonable and would not have an impact on the proposed Project.

Response: Modifications to the proposed Project to address the Appellant's concerns have already been studied and reviewed by the Project Sponsor in conjunction with Planning Department Staff prior to the Planning Commission hearing. All of Ms. Murdock's suggested modifications were found to be not warranted by the Planning Department since the proposed Project as designed is already 10'-0" lower than the allowable building height, and the impact to available daylight is negligible due to the already over-sized interior-courtyard space at 462 27th Street. Computerized shadow analysis has also

demonstrated that the light patterns within the courtyard of 462 27th Street to be nearly identical between the existing and proposed conditions for most hours of the day throughout the year.

Furthermore, Ms. Murdock's requested modifications to the Project would result in awkward ceiling and interior spaces, present a hardship for the Project Sponsors requiring additional structural engineering and construction costs, and would not result in any material benefit to Ms. Murdock.

Claim #4: The Project Sponsor has not been responsive to attempts at communication with the Appellant or addressed her concerns.

Response: Throughout the course of the last two years, the design and planning process has been open, transparent, comprehensive and included review in a public forum at the Planning Commission. Extensive outreach was conducted as part of the design process. When legitimate concerns have been identified, the Project Sponsor has been pro-active in making voluntary modifications to the Project for the benefit of the neighbors.

Regardless of whether or not the Appellant was a resident of 462 27th Street at the time of the neighborhood outreach, her concerns along with her landlord's were properly and duly investigated by the Planning Department and found to not be legitimate. After such a comprehensive review, it is entirely inappropriate for the Appellant to disregard the professionalism of the Planning Department Staff and the unanimous opinion of the Planning Commission to continually request modifications to the Project that have been found to be not warranted.

III. Conclusion:

Contrary to the many false claims made by the Appellant in her brief, there are no new or different facts or circumstances that have arisen that would have affected the outcome of the Planning Commission. There also have not been any procedural errors by the Planning Department or Project Sponsor. The Project as designed and permitted is compliant with the San Francisco Planning Code and Residential Design Guidelines. The facts of the Project are the following:

- The Project Sponsors conducted extensive outreach and appropriately and sensitively balanced and addressed neighborhood concerns.
- When the Project Sponsors learned of Lorna Murdock's concerns they actively studied alternatives and concluded that they were not feasible.
- Daylight and shadow analysis demonstrated that Ms. Murdock's suggested modifications would not have any material benefit for Ms. Murdock.
- Ms. Murdock's concerns have been thoroughly reviewed by The Planning Department staff and the Residential Design Team ("RDT"). RDT agreed there is no material impact on Ms. Murdock.
- The Planning Commission voted unanimously to approve the Project and the Project was praised by commissioners Kathrin Moore and Rodney Fong.

President Ann Lazarus and Commissioners
San Francisco Board of Appeals
December 4, 2014
Page 7

In summary, Appellant's allegations are meritless and the appeal should be denied.

Respectfully submitted,

REUBEN, JUNIUS & ROSE, LLP

By: 

David Silverman
Attorneys for Permit Holders
Robert Edmonds and Vivian Lee

Enclosures: Exhibits

cc: Commissioner Frank Fung
Commissioner Darryl Honda
Commissioner Bobbie Wilson
Lorna Murdoch, Appellant
Robert Edmonds and Vivian Lee, Permit Holders

(All with Exhibits)

REUBEN, JUNIUS & ROSE, LLP

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

www.reubenlaw.com

Exhibit A

December 4, 2014

President Ann Lazarus and Commissioners
San Francisco Board of Appeals
1650 Mission Street, Room 304
San Francisco, CA 94103

Dear President Lazarus and Commissioners:

For nearly the last two years, our family has been working hard to design and create a new, multi-generational home for ourselves, our two young children (ages 4 & 8) and their grandmother. We have worked diligently with neighbors to inform them of the process, learn of their concerns, and whenever possible incorporate their feedback into the design of the project.

We have worked closely with Planning Staff and the Residential Design Team to create what we believe to be quality building that respects the existing neighborhood fabric, is a text-book example of the Residential Design Guidelines, and provides much needed additional housing to a city that currently has one of the worst housing crises in the nation.

Unfortunately, even after our project has been through extensive review by planning staff, two reviews by the Residential Design Team, a public hearing, and unanimous approval by the Planning Commission, the appellant still refuses to accept the truth which is that the impact to her building will be negligible and is well within the acceptable standards of the San Francisco Planning Code.

Four generations of our family have been proud to call San Francisco our home. Three generations of our family currently call San Francisco our home. As small business owners in this city and as a family that has chosen to stay and raise our children in San Francisco, we have invested heavily in this city, our neighborhood and our community. We find the insinuations to the contrary by the appellant in her brief to be irresponsible and without merit.

We sincerely hope you agree and will deny this frivolous appeal.

Sincerely yours,

A handwritten signature in black ink, appearing to read "The R. Edmonds", written in a cursive style.

Family at 456 27th Street:

Vivian Lee & Robert Edmonds (along with our children, Andersen & MacCall Edmonds)

Exhibit B



SIX-UNIT APARTMENT
462 27TH STREET

LORNA MURDOCK
APARTMENT

SUBJECT PROJECT
456 27TH STREET

Context View of Front (South) Along 27th Street with Adjacent Properties

Image Date: 11:00 AM, May 2, 2014



Context View of Rear (North) with Adjacent Properties

Image Taken From Rear Yard of 4061 Cesar Chavez. Image Date: 1:00 Pm, August 7, 2013



Driveway area of Adjacent Six-Unit Apartment (462 27Th Street)

Image Taken From Roof of Subject Property. Image Date: 1:00 Pm, August 7, 2013



LORNA MURDOCK
APARTMENT

SIX-UNIT APARTMENT
462 27TH STREET

SUBJECT PROJECT
456 27TH STREET

REAR-YARD PARKING LOT

Context View of Rear (North) of Adjacent Six-Unit Apartment (462 27th Street)

Image Taken From Roof of Subject Property. Image Date: 1:00 Pm, August 7, 2013



SIX-UNIT APARTMENT
462 27TH STREET

SUBJECT PROPERTY
456 27TH STREET

450 27TH STREET

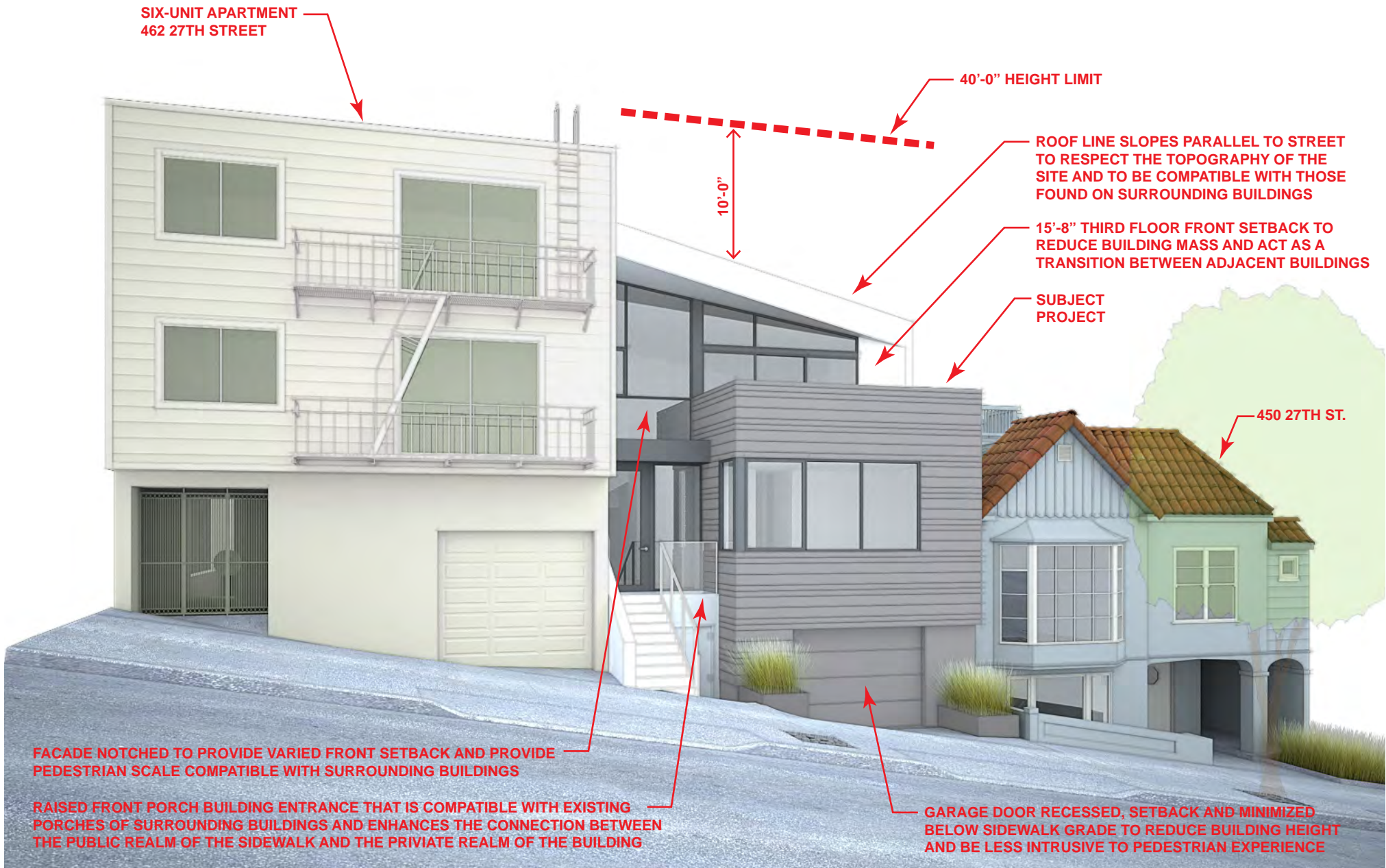
Context View of Front (South) Along 27th Street Looking East Toward Sanchez Street

Image Date: 11:00 AM, May 2, 2014

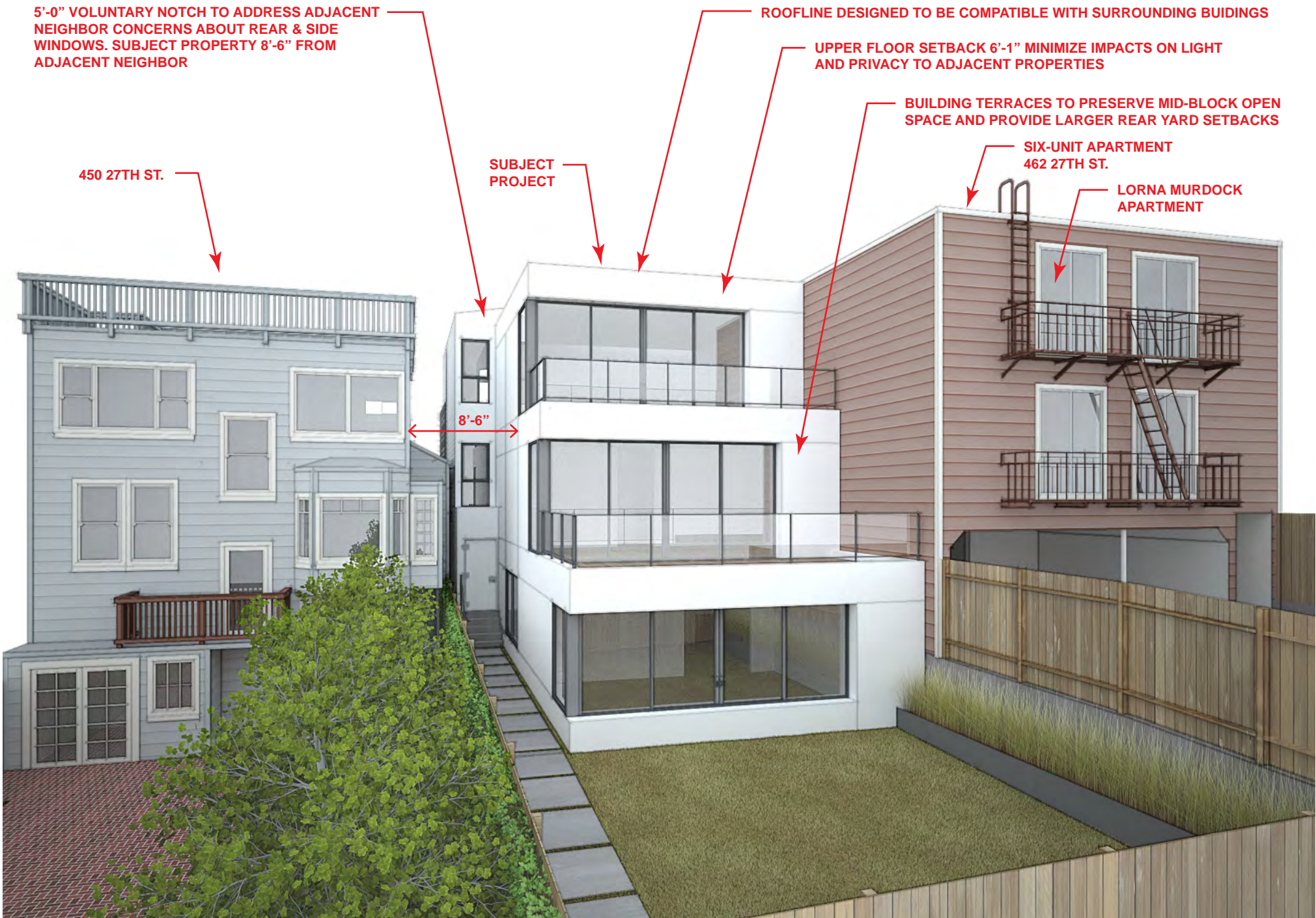


Aerial View of Subject Property and Surrounding Block
Photo Taken From Bing Maps

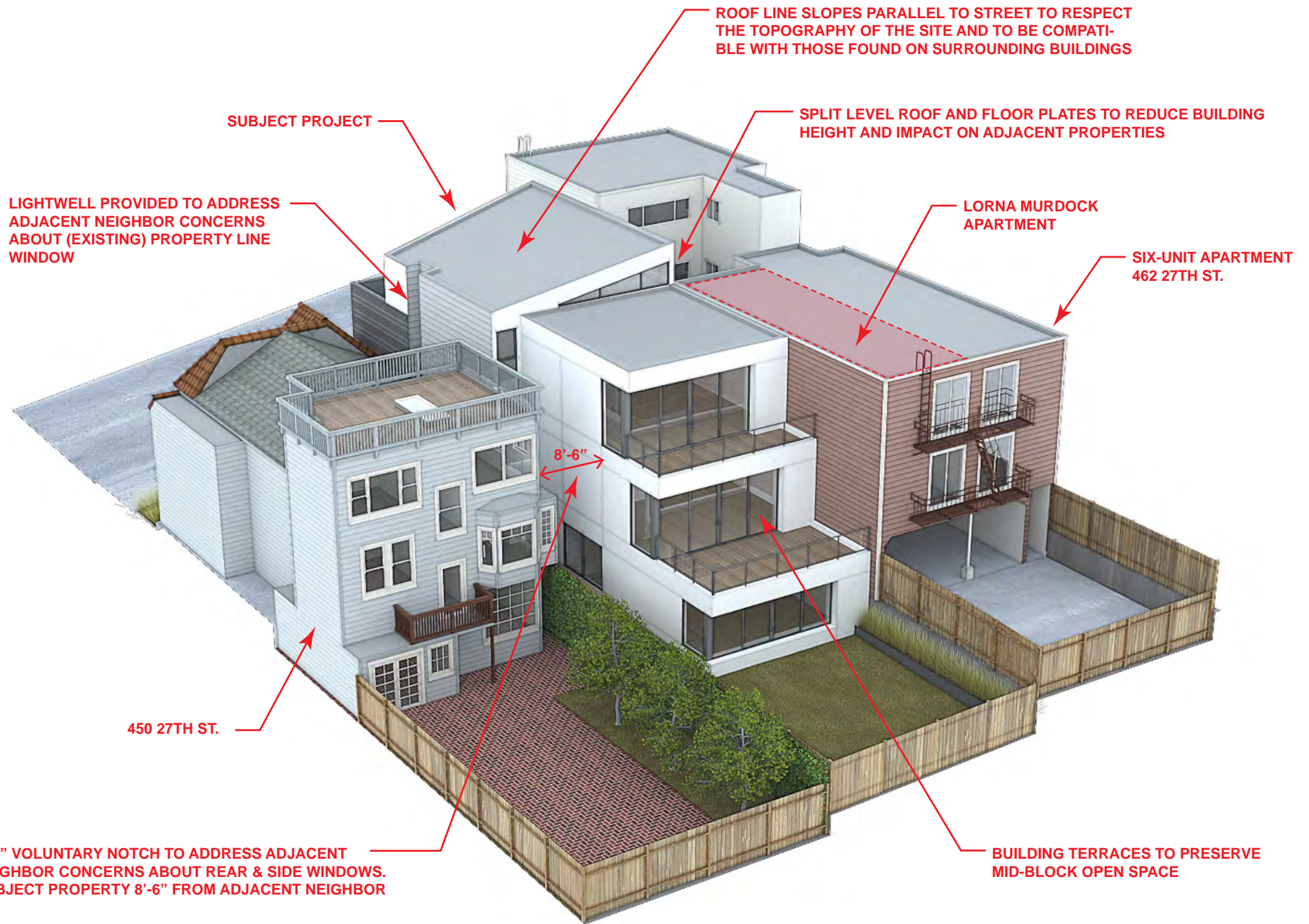
Exhibit C



(PROPOSED) Rendering of Front (South) Along 27th Street with Adjacent Properties



(PROPOSED) Rendering of Rear (North) with Adjacent Properties



(PROPOSED) Aerial Rendering of Rear (North) with Adjacent Properties

Exhibit D

Project Timeline

January – February, 2013

Invitations were sent to surrounding neighbors to meet on an individual basis and to discuss the proposed project prior to the Pre-Application meeting. Six neighbors chose to meet with the Project Sponsors to discuss their concerns.

February 15, 2013

Lorna Murdock moves into the 6-unit apartment building at 462 27th Street as noted in her September 30, 2014 appeal letter to the Board of Appeals.

March 5, 2013

The Pre-Application Meeting was hosted at the Project Sponsor's home. There were ten attendees including one tenant and the two owners of the 6-unit apartment building at 462 27th Street. Lorna Murdock failed to attend the meeting.

March 11, 2013

Permit Applications were filed for the construction of the Project.

November 19, 2013

Project Sponsors attended a Pre-Application meeting for a project across the street at 461 27th Street where they met Lorna Murdock for the first time. Project Sponsors informed Ms. Murdock that she would be receiving 311 notification materials in the near future and that she could contact Project Sponsors directly if she needed any further information about the Project.

December 17, 2013

Section 311 Notice is given to all neighbors by the Planning Department.

December 31, 2013

This is the first time that the Project Sponsor learns of Lorna Murdock's concerns via email correspondence. Project Sponsors study design alternatives and work diligently with Planning Staff to see if there are any modifications that could be made to address Lorna Murdock's concerns. After thorough analysis and a second review by the Residential Design Team it was determined that further modifications were not feasible and that the Project as designed did not have any substantial impact on the 6-unit apartment building at 462 27th Street.

January 7, 2014

In-person site visit to Lorna Murdock's apartment by Planning Staff Tom Wang

January 16, 2014

Section 311 30-day Notice period ends.

May 22, 2014

Public hearing held on the Project at the Planning Commission. The Planning Commission unanimously approves of the Project (6-0).

Exhibit E



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis Residential Demolition/New Construction HEARING DATE: MAY 22ND, 2014

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: May 15th, 2014
Case No.: 2013.0344D/2014.0671D
Project Address: 456 27th Street
Zoning: RH-2 (Residential, House, Two-Family)
 40-X Height and Bulk District
Block/Lot: 6580/018
Project Sponsors: Robert Edmonds & Vivian Lee
 Edmonds + Lee Architects, Inc.
 San Francisco, CA 94105
Staff Contact: Tom Wang – (415) 558-6335
 Thomas.wang@sfgov.org
Recommendation: Do not take DR and approve demolition and new construction as proposed.

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2013.0344D	New Building Case Number	2014.0671D
Recommendation	Do Not Take DR and Approve	Recommendation	Do Not Take DR and Approve
Demolition Application Number	2013.03.11.1908	New Building Application Number	2013.03.11.1903
Number Of Existing Units	One	Number Of New Units	Two
Existing Parking	None	New Parking	Two in Tandem
Number Of Existing Bedrooms	One	Number Of New Bedrooms	Unit No. 1: Two Unit No. 2: Three
Existing Building Area	± 918 Sq. Ft.	New Building Area	Unit No. 1: ± 923 Sq. Ft. Unit No. 2: ± 2,661 Sq. Ft.
Public DR Also Filed?	None	Public DR Also Filed?	None
311 Expiration Date	January 16 th , 2014	Date Time & Materials Fees Paid	Yes

PROJECT DESCRIPTION

The proposal includes the demolition of the existing one-story, single-family dwelling and construction of a new three-story, two-family dwelling.

SITE DESCRIPTION AND PRESENT USE

The subject property at 456 27th Street is on the north side of 27th Street between Noe and Sanchez streets, located within an RH-2 (Residential, House, Two-Family) Zoning District and a 40-X Height and Bulk District. The subject lot has a frontage of 27 feet 6 inches along 27th Street and a lot depth of 114 feet. Current grade at the front property line of the subject lot is approximately 2 feet 6 inches below street and slopes downward. The grade differential between the front and rear property lines is approximately 7 feet.

The existing building contains a one-story, detached, single-family dwelling with one bedroom and one bathroom. The current dwelling contains a floor area of approximately 918 square feet and is 14 feet tall at the street. The current dwelling is setback approximately 5 feet, 8 inches from the front property line with a rear yard depth of 48 feet. It is also set in 2 feet 9 inches and 6 feet 8 inches from east and west side lot lines, respectively. City records indicate that the subject building was originally constructed circa 1900.

The subject single-family dwelling has been occupied by the current owners since 2012 and is not subject to rent control. A recent Residential Appraisal Report, prepared by Jones Real Estate Appraisal in San Francisco, indicates the market value of the subject property, as of February 27th, 2014, is \$1,310,000. Although this value is \$196,000 lower than \$1,506,000, which is the “value greater than at least 80th percentile of the combined land and structure values of single-family homes in San Francisco” established by the Department, the existing single-family dwelling is considered to be marginally affordable or financially accessible housing by the Department’s threshold.

As noted in the Historic Resource Evaluation Response (HRER) under Case No. 2013.0327E, the subject property is not located within the boundaries of any designated or previously identified historic district, and would not qualify as a newly identified potential historic district.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The subject property is in the Noe Valley neighborhood. The surrounding residential neighborhood consists of predominately single- and two-family homes. Existing homes are mostly two or three stories in height at the street level along the subject block-face and opposite block-face. Buildings along the subject block-face were constructed with fairly uniform front setbacks but varied rear yard depths and a mix of architectural styles. The adjacent lot to the east measure 30 feet wide and 114 feet deep and is developed with a three-story, single-family dwelling. The adjacent lot to the west measures 27 feet 6 inches wide and 114 feet deep and is developed with a three-story, 6-unit apartment building. The subject block-face along 27th Street contains a steep, lateral down slope from west (Noe Street) toward east (Sanchez Street).

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	May 12 th , 2014	May 9 th , 2014	13 days
Mailed Notice	10 days	May 12 th , 2014	May 9 th , 2014	13 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	Two	Six*	-
Other neighbors on the block or directly across the street	Three	-	-
Neighborhood groups	-	-	-

*Adjacent neighbors opposed include tenants from five units at the adjacent apartment building (462 27th Street) and the owner of the apartment building.

REPLACEMENT STRUCTURE

The replacement structure, a three-story, two-family dwelling will be set back 5 feet 8 inches from the front property line and provide a rear yard depth of 28 feet 10 inches. The proposed building will contain a depth of 79 feet 6 inches and will be 21 feet tall at the two-story front façade (measured from top of curb at the center of the front property line), rising to a maximum height of 30 feet 6 inches at the third story roof. The third story will be set back 10 feet from the front main building wall. The second story and third story will be set back 11 feet and 17 feet from the ground story rear wall, respectively.

The ground floor will contain a garage, accommodating two parking spaces in a tandem fashion, and one dwelling unit. The proposed ground floor unit with a floor area of approximately 923 square feet will feature a living/dining area, kitchen, two bedrooms, one full-bathroom and laundry facilities. The second and third floors will be occupied by a second dwelling unit with a total floor area of approximately 2,623 square feet. The proposed second dwelling unit will feature a living room, dining/family room, kitchen and one half-bathroom on the second floor and three bedrooms, two full-bathrooms and front and rear roof decks on the third floor.

The replacement structure’s flat roof raised front entry and 10-foot wide garage door are all compatible with similar features that currently exist at other buildings along the subject block-face and opposite block-face. The materials applied to the front façade include stucco, wood, and glass, which are also consistent with exterior materials on most of the other residential buildings in the immediate vicinity. The overall scale and modern design of the proposed replacement structure will be a complement to the current residential neighborhood character. In addition, the Project Sponsors indicate that they have experience in building LEED Platinum homes and that they expect to build the replacement structure to that standard.

PUBLIC COMMENT

The Project has completed the Section 311 neighborhood notification and Mandatory Discretionary Review notification. Although no public Discretionary Review Application was submitted to the Department, staff received telephone calls and e-mails from the owner of the adjacent 6-unit apartment building at 462 27th Street as well as from a tenant residing in a unit on the apartment’s third story. Both the property owner and tenant are concerned that the proposed three-story, two-family dwelling will affect the current views from and sunlight to a few units, including the tenant’s unit.

However, the tenant is most concerned that because the proposed three-story building will abut on the apartment building's light court (also serving as part of a driveway connecting the apartment's off-street parking behind the apartment building and 27th Street), it will obstruct current sunlight to their living room windows from the south through the light court and cast shadow on these windows. The tenant provided a packet to the Commission, including photographs of the light court taken by their living room windows through elapsed time (7 a.m. to 5 p.m.), and a number of suggested amendments to the proposed building.

GENERAL PLAN COMPLIANCE

The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10:

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

While the Project does not propose affordable housing, it will replace a one-bedroom, single-family dwelling with a two-family dwelling, including one three-bedroom, family-sized unit, within a residential district zoned for a density of two units per lot.

The location of the subject property is within the service area of a variety of neighborhood commercial uses along Church Street and is approximately half a block from Muni line along Noe Street.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

The Project's contemporary architecture will not detract from but rather complement the current attractive residential neighborhood character.

OBJECTIVE 13:

PRIORITIZE SUSTAINABLE DEVELOPMENT IN PLANNING FOR AND CONSTRUCTING NEW HOUSING.

Policy 13.4:

Promote the highest feasible level of “green” development in both private and municipally-supported housing

The Project Sponsors indicate that they have experience in building LEED Platinum homes and that they expect to build the replacement structure to that standard.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The Project does not remove any neighborhood-serving uses and will help enhance future opportunities for resident employment in and ownership of such businesses because it will replace the existing single-family dwelling with a two-family dwelling.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposed building scale and exterior materials are compatible with those found in the surrounding residential neighborhood, and therefore, the Project will not disrupt the existing neighborhood character.

3. That the City's supply of affordable housing be preserved and enhanced.

The existing single-family dwelling is not subject to rent control. A recent Residential Appraisal Report, prepared by Jones Real Estate Appraisal in San Francisco, indicates the market value of the subject property, as of February 27th, 2014, is \$1,310,000. Although this value is \$196,000 lower than \$1,506,000, which is the “value greater than at least 80th percentile of the combined land and structure values of single-family homes in San Francisco” established by the Department, the existing single-family dwelling is considered to be marginally affordable or financially accessible housing by the Department’s threshold.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project will not create any affect on where commuter traffic impedes MUNI service. The Project also includes two off-street parking spaces, one for each unit, while none is available for the existing single-family dwelling.

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and those future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not affect industrial and service sectors as it is within a residential zoning district.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed according to current Building Code to protect against injury and loss of life in an earthquake.

7. Landmarks and historic buildings be preserved.

The subject property is not an historic resource or a landmark building.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The Proposed building will be within the 40-foot height limit and does not require a shadow study per Planning Code Section 295. The Project is not located adjacent to any parks or open space.

ENVIRONMENTAL REVIEW

Under Case No. 2013.0327E, the existing single-family dwelling proposed for demolition was determined not to be a historic resource for the purposes of CEQA on September 20th, 2013, and the proposed two-family dwelling was issued a Categorical Exemption from Environmental Review, Classes 3 [State CEQA Guidelines Section 15301(1)(1) and 15303(a)], on September 23rd, 2013.

RESIDENTIAL DESIGN TEAM REVIEW

Residential Design Team (RDT) reviewed the proposed two-family dwelling. The RDT supports the Project and determines that it complies with the applicable quantitative standards of the Planning Code, including front setback, rear yard, building height and usable open space, and that its design is also consistent with the Residential Design Guidelines.

As stated under "PUBLIC COMMENT," staff reported to the RDT the concerns from the owner of the adjacent apartment building at 462 27th Street as well as from a tenant residing in a unit on the apartment building's third story. The RDT reviewed the Project a second time, including findings from staff's site observation at the light court through the tenant's living room windows, and the tenant's opposition letter and time elapsed photographs. The RDT determines that private views are not protected under the Residential Design Guidelines and that the site design of the proposed three-story building would be consistent with the Residential Design Guidelines and would result in no significant impact on the current southern exposure through the tenant's living room windows facing the light court. The light court, approximately 18 feet long along the common west side lot line and 16 feet wide, is part of the original design of the apartment building to provide adequate sunlight, by itself alone, to those apartment units surrounding it. Therefore, no changes to the proposed three-story, two-family dwelling are warranted.

Staff further discussed the Project and issues with the Department senior managers at a Project Coordination Meeting. The Department senior managers concur with the RDT determination.

Under the Commission's pending DR Reform Legislation, this Project would be referred to the Commission, as this Project involves residential demolition and new construction within an RH-2 zoning district.

BASIS FOR RECOMMENDATION

The Department recommends that the demolition of the existing single-family dwelling and the construction of a new single-family dwelling be approved. The Project is consistent with the Objectives and Policies of the General Plan and complies with the Residential Design Guidelines and Planning Code. The Project meets the criteria set forth in Section 101.1 of the Planning Code in that:

- The Project will not result in any reduction of housing units in the City's current housing stock.
- The project will replace an existing single-family dwelling, containing only one bedroom and no off-street parking, with a two-family dwelling and two off-street parking spaces. One of the proposed two units will be a three-bedroom, family-sized unit.
- No tenants will be displaced as a result of this Project because the dwelling proposed for demolition is currently occupied by the subject property owners.
- Given the scale of the project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- Although the existing structure is more than 45 years old, a review of the Historic Resource Evaluation resulted in a determination that the existing building is not an historic resource or landmark for the purposes of CEQA.
- The RH-2 Zoning District permits a maximum of two dwelling units on the subject lot. The proposed two-family dwelling will be a density that is compatible with the prevailing density of two units per lot in the surrounding neighborhood.
- The Project would result in no significant impact on the current sunlight to those units in the adjacent apartment building that surround the apartment building's light court.

RECOMMENDATION:

Case No. 2013.0344D – Do not take DR and approve the demolition.

Case No. 2014.0671D – Do not take DR and approve the new construction as proposed.

DEMOLITION CRITERIA - ADMINISTRATIVE REVIEW

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

Project Does not Meet Criterion

A recent Residential Appraisal Report, prepared by Jones Real Estate Appraisal, an independent third party, for this Project in San Francisco, indicates the market value of the subject property, as of February 27th, 2014, is \$1,310,000. Although this value is \$196,000 lower than \$1,506,000, which is the "value greater than at least 80th percentile of the combined land and structure values of single-family homes in San Francisco" established by the Department, the existing single-family dwelling is considered to be marginally affordable or financially accessible housing by the Department's threshold.

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings);

Project Does Not Meet Criterion

The Project Sponsors did not submit a soundness report for the subject property. The Project Sponsors stated they had planned a major alteration to expand the current building, including the addition of a second dwelling unit. However, that proposal would have been rendered to be tantamount to demolition pursuant to the "definition of Residential Demolition" under Planning Code Section 317. The current proposal would fulfill the project Sponsors' goal to develop a new two-family dwelling on their property without involving the issue of de facto demolition.

DEMOLITION CRITERIA

Existing Building

1. Whether the property is free of a history of serious, continuing code violations;

Project Meets Criterion

A review of the database maintained by the Department of Building Inspection and by the Planning Department did not reveal any enforcement cases or notices of violation.

2. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project Meets Criterion

The current dwelling is free of Housing Code violations and appears to have been maintained in a decent, safe, and sanitary condition.

3. Whether the property is a "historical resource" under CEQA;

Project Meets Criterion

Although the structure is more than 45-years old, a review of the Historic Resource Evaluation resulted in a determination that it is not an historic resource for the purposes of CEQA.

4. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

Criterion Not Applicable to Project

The subject property has been determined not to be a historical resource.

Rental Protection

5. Whether the Project converts rental housing to other forms of tenure or occupancy;

Criterion Not Applicable to Project

The subject dwelling has been owner-occupied since 2012 and thus not rental housing.

6. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance or affordable housing;

Project Meets Criterion

The subject dwelling is currently owner-occupied and is not a rental unit.

Priority Policies

7. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project Does Not Meet Criterion

The Project does not meet this criterion because the existing dwelling will be demolished. However, the Project will result in a no loss of housing and a replacement of a single-family dwelling with a two-family dwelling. One of the proposed dwellings will be a family-sized unit which will preserve the cultural and economic diversity within the neighborhood.

8. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project Meets Criterion

The Project will conserve the neighborhood character by constructing a replacement building that is compatible with the dwellings in the surrounding neighborhood, including scale, exterior materials, glazing pattern, and roofline. By creating a compatible new building in a neighborhood defined by one- and two-family dwelling, the neighborhood's cultural and economic diversity will be preserved.

9. Whether the Project protects the relative affordability of existing housing;

Project Does not Meet Criterion

A recent Residential Appraisal Report, prepared by Jones Real Estate Appraisal in San Francisco, indicates the market value of the subject property, as of February 27th, 2014, is \$1,310,000. Although this value is \$196,000 lower than \$1,506,000, which is the "value greater than at least 80th percentile of the combined land and structure values of single-family homes in San Francisco" established by the Department, the existing single-family dwelling is considered to be marginally affordable or financially accessible housing by the Department's threshold.

10. Whether the Project increases the number of permanently affordable units as governed by Section 415;

Project Does Not Meet Criterion

The Project does not include any permanently affordable units, as the construction of two dwelling units does not trigger Section 415 review.

Replacement Structure

11. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;

Project Meets Criterion

The Project replaces a single-family dwelling with a two-family dwelling in a neighborhood characterized by one- and two-family dwellings.

12. Whether the Project increases the number of family-sized units on-site.

Project Meets Criterion

The Project will create two dwelling units one of which will be a family-sized unit, containing three bedrooms, to better meet the contemporary family housing needs.

13. Whether the Project creates new supportive housing;

Project Does Not Meet Criterion

The Project will not be specifically designed to accommodate any particular Special Population Group as defined in the Housing Element.

14. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines to enhance existing neighborhood character.

Project Meets Criterion

The Residential Design Team supports the Project which will be in scale with the surrounding houses and constructed using high-quality materials.

15. Whether the Project increases the number of on-site dwelling units;

Project Meets Criterion

The Project will include the demolition of a single-family dwelling and construction of a two-family dwelling, increasing one on-site dwelling unit.

16. Whether the Project increases the number of on-site bedrooms.

Project Meets Criterion

The Project will increase the number of on-site bedrooms from one to five.

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: The surrounding neighborhood consists of two-, and three-story buildings, containing mostly one or two residential units. On the subject block-face, there is a mixed visual character defined by buildings with various scales, forms, proportions and architectural details. On the opposite block-face, there is a defined visual character where buildings have relatively uniform scales and compatible architectural details.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	X		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?	X		
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: The replacement structure respects the existing building pattern on the subject block by not impeding into the established mid-block open space and by providing a landscaped front setback that is the average of the two adjacent front setbacks. The proposed building will not project deeper than the adjacent apartment building. The proposed building will be set back and match the other adjacent

building's side setback along the common east side lot line. The rear of the proposed building will be a terraced design, including setting the second story and third story back 11 feet and 17 feet from the ground story rear wall, respectively. Furthermore, the proposed building will result in no significant impact on current sunlight to those units surrounding the adjacent apartment building's light court because the light court is part of the original design of the apartment building to provide adequate sunlight, by itself alone, to those units surrounding it.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: The new building's third-story, which will be set back 10 feet from the front main building wall, will appear subordinate to the two-story mass with a reduced visibility from the street. The new building's second and third stories, which will be set back 11 feet and 17 feet from the ground story rear building wall, respectively, will minimize the loss of light and air and view to the mid-block open space available to the adjacent building east of the new building. The overall scale of the new building will be compatible with the existing building scale at the street and at the mid-block open space. The new building's form, bay window articulation, facade pattern, window proportions, and slanted roofline will also be compatible with the existing mixed visual character along the subject block-face.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			

Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?	X		
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The proposed building's raised entry and porch respond to the majority of building entrances on the subject block-face. The front bay window provides needed texture to the front façade and is compatible with the style of bay windows found throughout the neighborhood. The location and width of the garage door at 10 feet are compatible with the façade of the proposed dwelling and other homes' garage doors in the surrounding area, respectively. The 10-foot curb cut is placed in a location that will minimize the loss of on-street parking availability. The proposed building will contain no rooftop features, including stair penthouse, dormers, or windscreens. Parapets surrounding the one-hour, fire-rated roof will be at a maximum height of 8 inches and will have no effect on the overall building proportions.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		

Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: The placement and scale of architectural details on the front façade are compatible with those of other buildings on the subject block-face. Exterior building materials, including cement plaster, wood siding and wood garage door are compatible with those found at many other dwellings throughout the neighborhood. The proposed windows are of appropriate size, residential in character and compatible with those found on the surrounding buildings.

SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 – 54)

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?			X
Are the character-defining features of the historic building maintained?			X
Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X
Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X

Comments: The Project is not an alteration, and the dwelling that will be demolished has been determined not to be a historical resource for the purposes of CEQA.

Attachments:

Department staff's packet includes:

- Parcel Map
- Sanborn Map
- Zoning Map
- Section 311 Notice
- Aerial Photographs
- Categorical Exemption/Historical Resource Evaluation Response

The Adjacent Apartment Tenant's Packet

Project Sponsors' packet includes:

- Project Description
- Application for Dwelling Unit Removal/Demolition
- Proposition M Findings
- Neighborhood Context Photographs
- Reduced Plans
- Color Rendering

* All page numbers refer to the Residential Design Guidelines

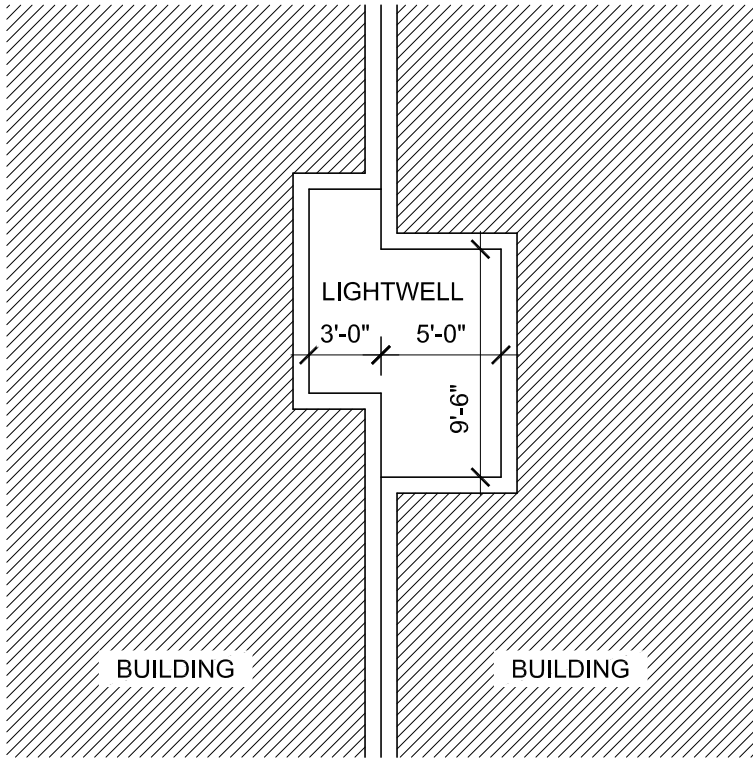
Exhibit F

Quotes from Planning Commissioners at May 22, 2014 Hearing:

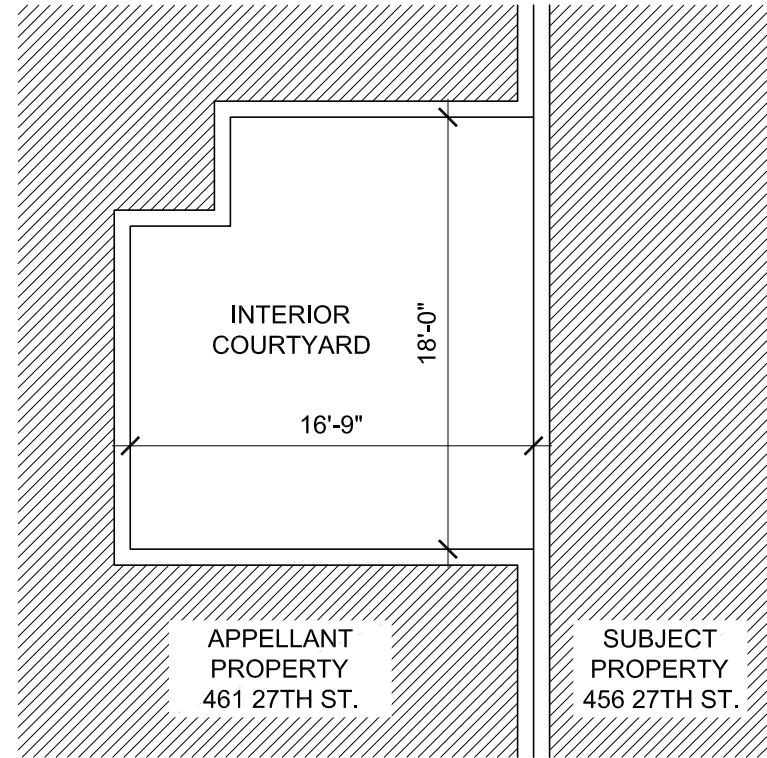
Commissioner Kathrin Moore: *“I would actually like to note that this is a very sensitively designed infill project. If there is densification, this is the way you want to do it. You stay within the common demising lines. You respect the courtyards and I think it creates spaces including its roof line that are very, very sensitive to the context. We actually do not have rules against densification which has the type of shadow we are experiencing in this project. There is indeed room for densification, but it is not in a way impacting in the way we sometimes see it in other cases where we modify a building.”*

Commissioner Rodney Fong: *“I agree with Commissioner Moore, and to the opposition I understand that this is in that courtyard, but I think this project actually is pretty sensitive in the way it steps back in the rear part and we see other projects that are much more aggressive. So I am supportive of the project.”*

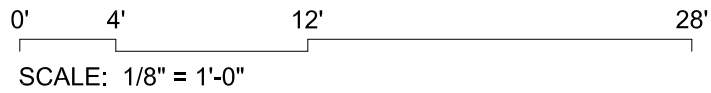
Exhibit G



RESIDENTIAL DESIGN GUIDELINES - LIGHT WELL EXAMPLE



ADJACENT INTERIOR COURTYARD AT APPELLANT'S PROPERTY





Although features such as bays and chimneys project into the side yards, the overall side yard pattern is consistent, creating a defining characteristic of the block face.

REAR YARD

GUIDELINE: Articulate the building to minimize impacts on light and privacy to adjacent properties.

Rear yards are the open areas of land between the back of the building and the rear property line. When expanding a building into the rear yard, the impact of that expansion on light and privacy for abutting structures must be considered. This can be challenging given San Francisco's dense pattern of development, however, modifications to the building's design can help reduce these impacts and make a building compatible with the surrounding context.

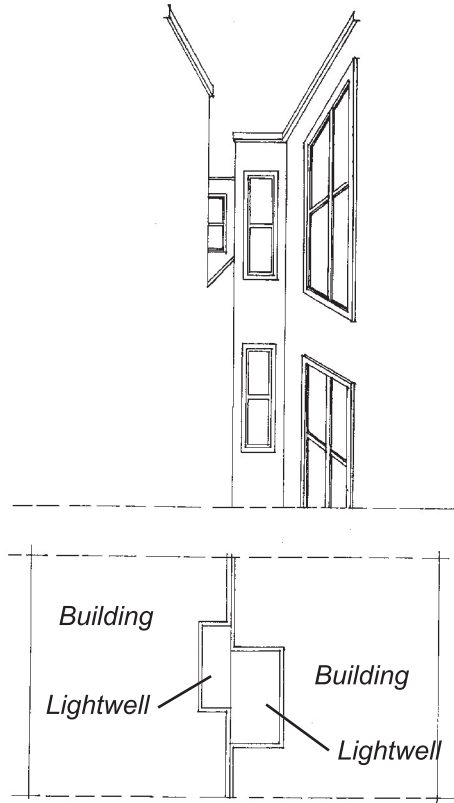
Light

In areas with a dense building pattern, some reduction of light to neighboring buildings can be expected with a building expansion.

However, there may be situations where a proposed project will have a greater impact on neighboring buildings. In these situations, the following design modifications can minimize impacts on light; other modifications may also be appropriate depending on the circumstances of a particular project:

- Provide setbacks on the upper floors of the building.
- Include a sloped roof form in the design.
- Provide shared light wells to provide more light to both properties.
- Incorporate open railings on decks and stairs.
- Eliminate the need for parapet walls by using a fire-rated roof.

Planning Code Section 101 states that one of the purposes of the Planning Code is to provide adequate light, air, privacy and convenience of access to property in San Francisco.



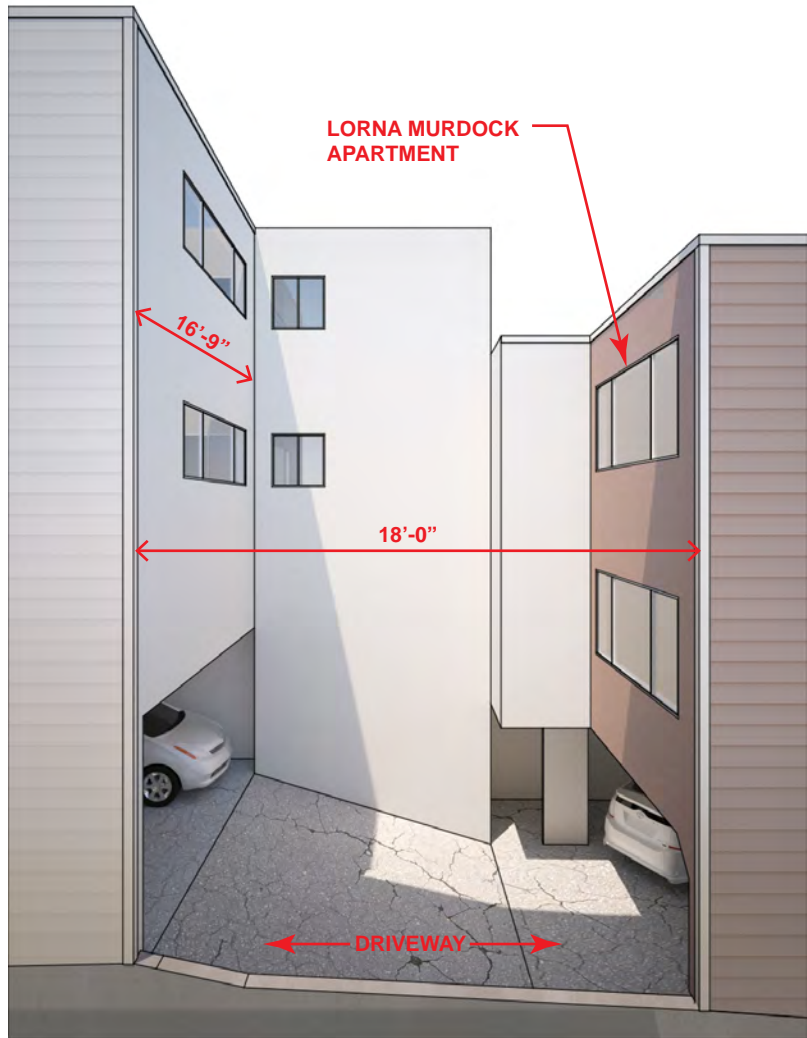
Provide shared light wells to maximize light to both properties.

Privacy

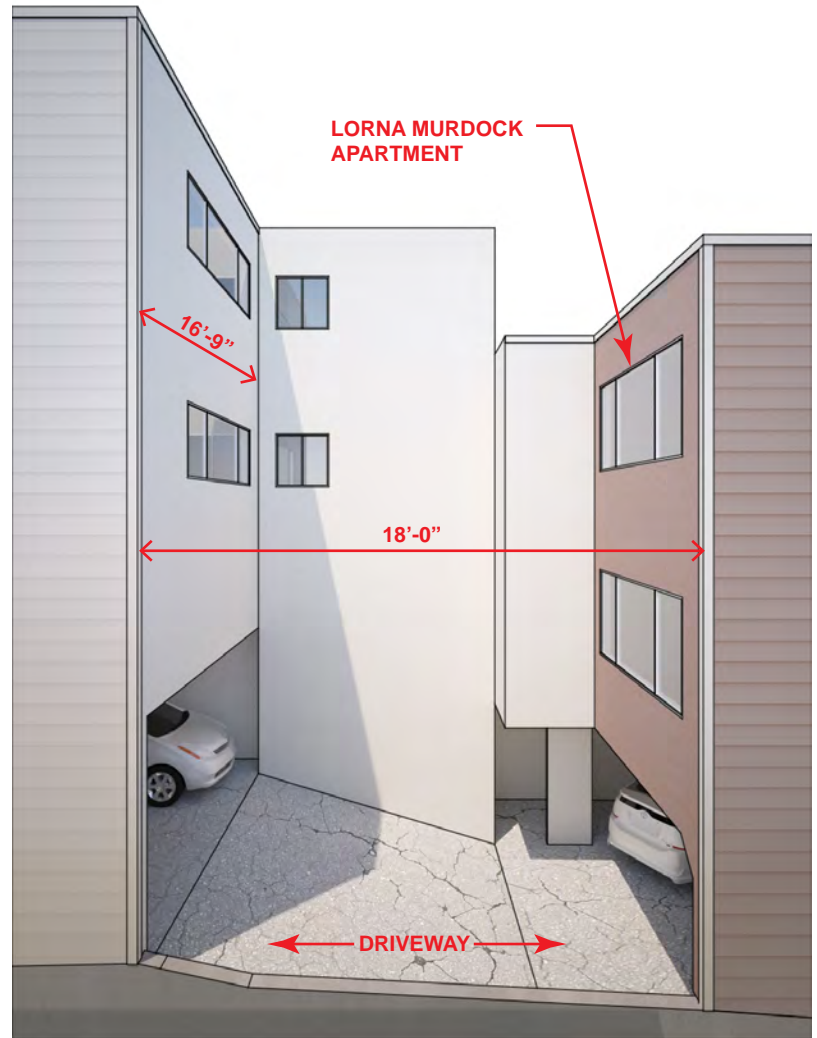
As with light, some loss of privacy to existing neighboring buildings can be expected with a building expansion. However, there may be special situations where a proposed project will have an unusual impact on privacy to neighboring interior living spaces. In these situations, the following design modifications can minimize impacts on privacy; other modifications may also be appropriate depending on the circumstances of a particular project. Some of these measures might conflict with the “light” measures above, so it will be necessary to prioritize relevant issues:

- Incorporate landscaping and privacy screens into the proposal.
- Use solid railings on decks.
- Develop window configurations that break the line of sight between houses.
- Use translucent glazing such as glass block or frosted glass on windows and doors facing openings on abutting structures.

Exhibit H

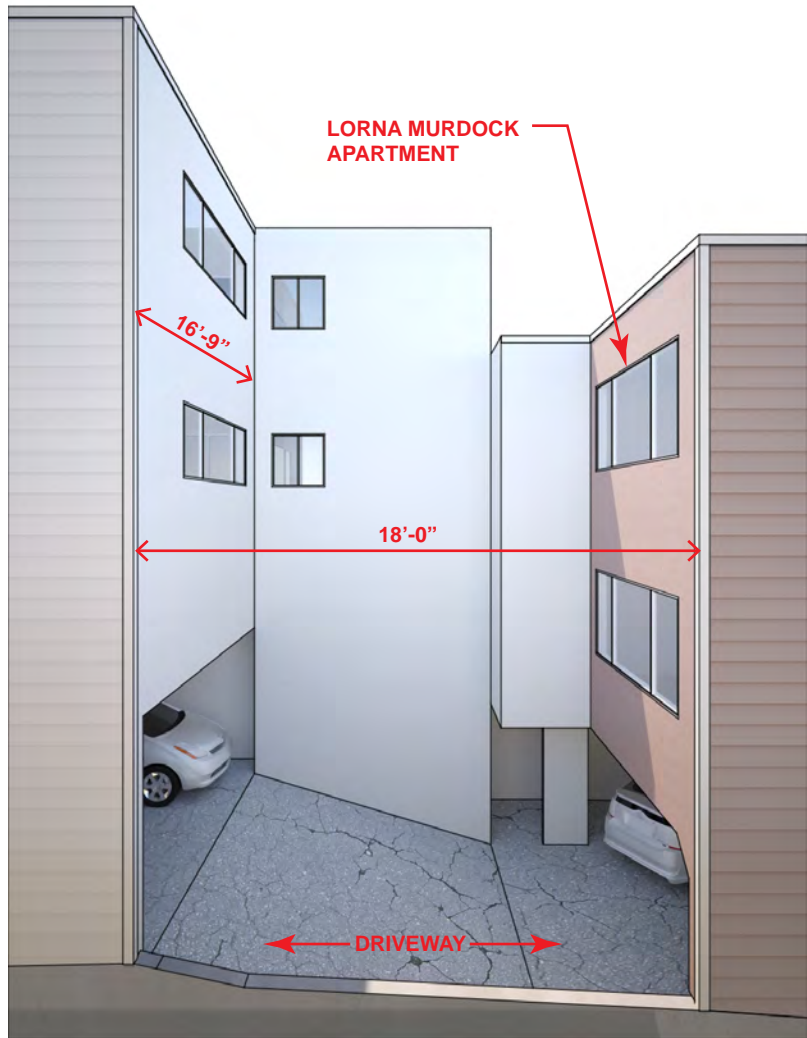


WITH Proposed Project
10:00 AM, June 21

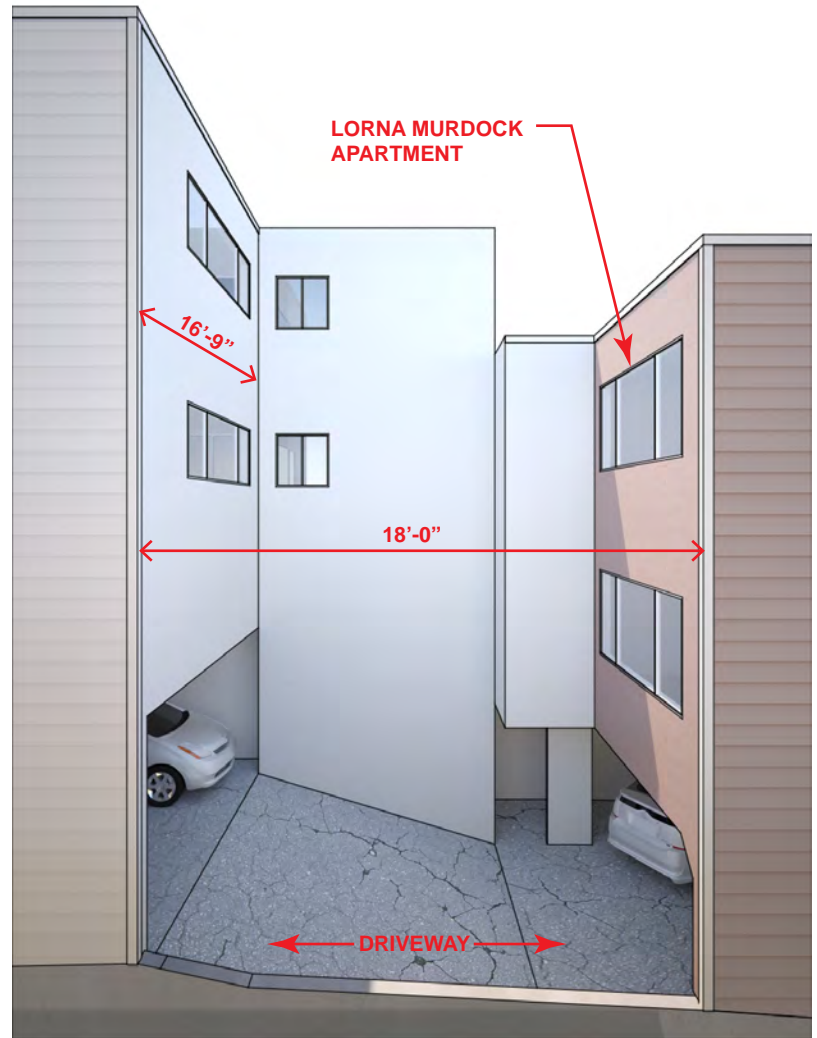


WITHOUT Proposed Project
10:00 AM, June 21

Daylight Study of Driveway on Adjacent Property (462 27th Street)

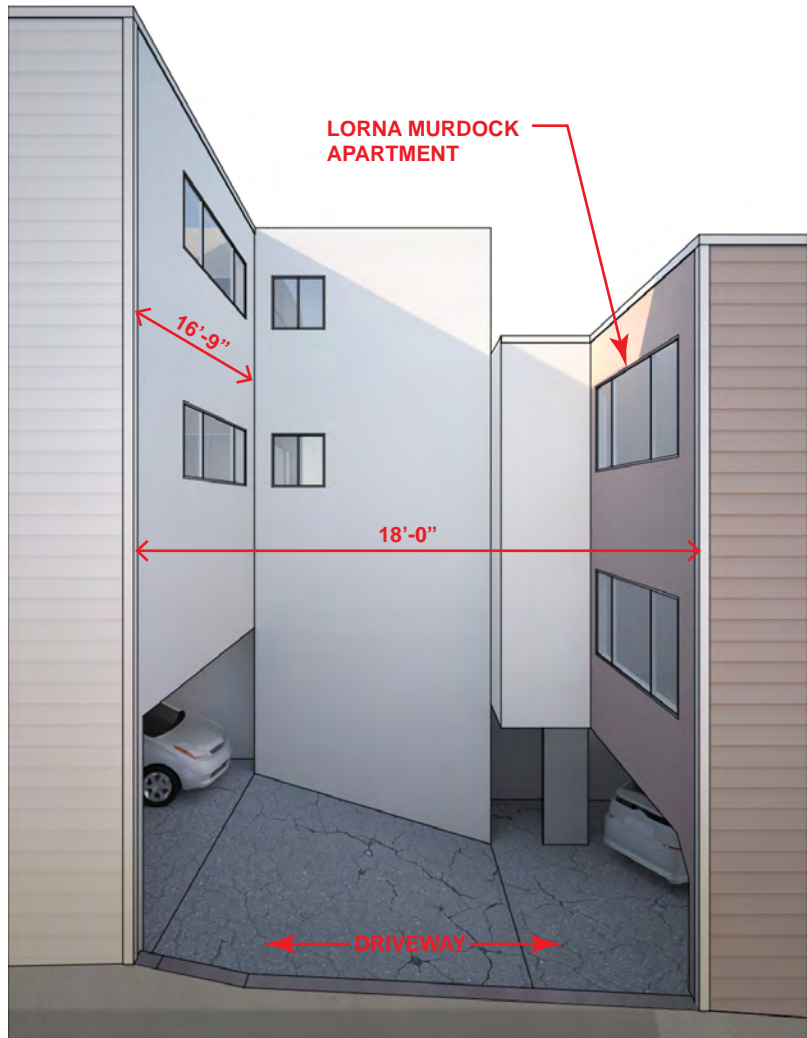


WITH Proposed Project
2:00 PM, June 21

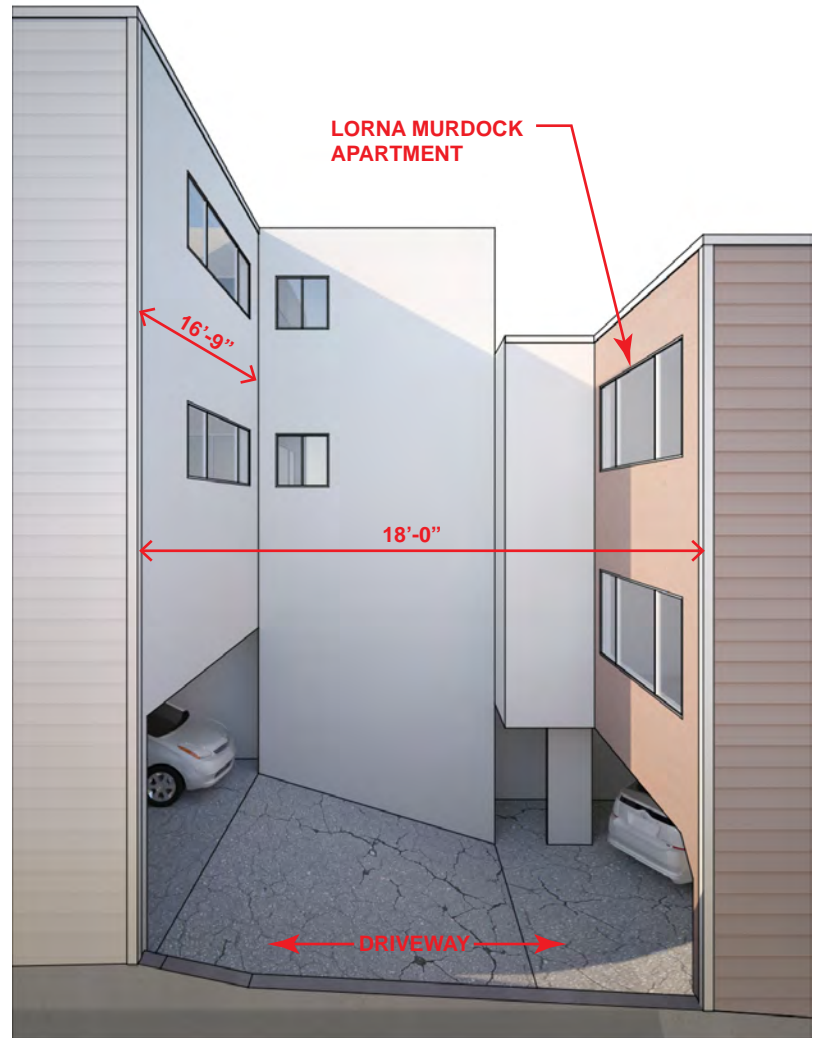


WITHOUT Proposed Project
2:00 PM, June 21

Daylight Study of Driveway on Adjacent Property (462 27th Street)

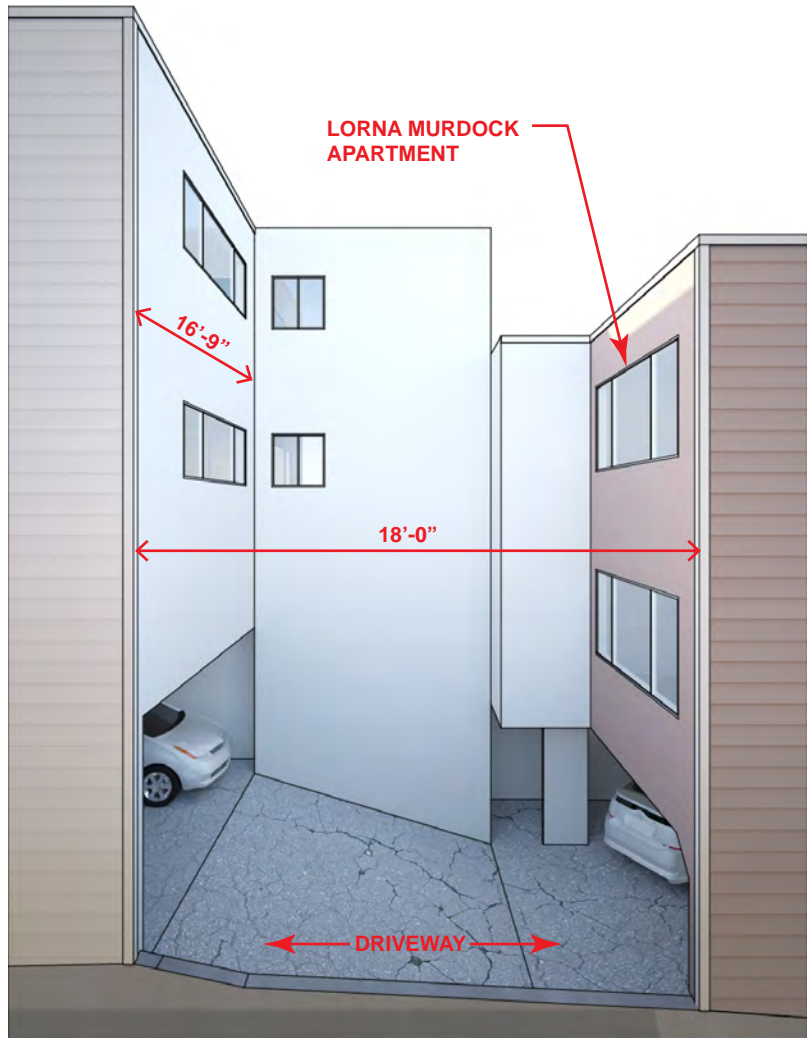


WITH Proposed Project
10:00 AM, December 21

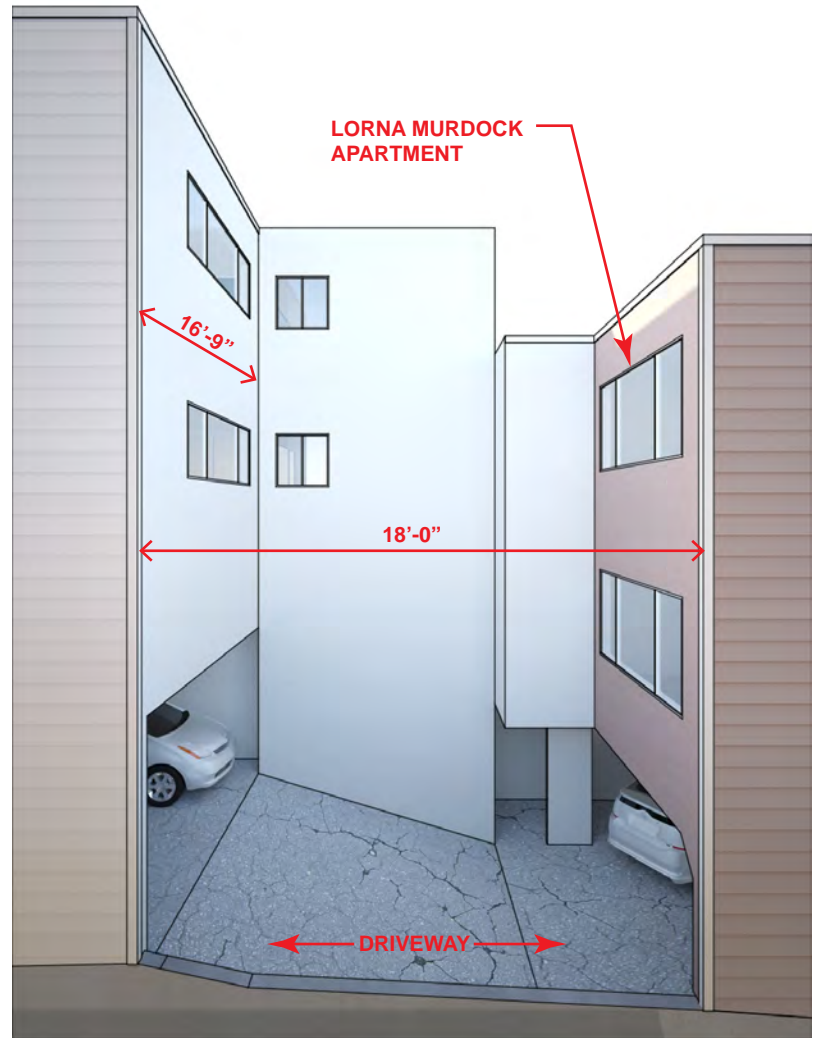


WITHOUT Proposed Project
10:00 AM, December 21

Daylight Study of Driveway on Adjacent Property (462 27th Street)



WITH Proposed Project
2:00 PM, December 21



WITHOUT Proposed Project
2:00 PM, December 21

Daylight Study of Driveway on Adjacent Property (462 27th Street)

Exhibit I

Table 33.2 | Residential Facilities Illuminance Recommendations

Applications and Tasks ^a	Notes	Recommended Maintained Illuminance Targets (lux) ^{b, c, d}										
		Horizontal (E _h) Targets					Vertical (E _v) Targets					
		Visual Ages of Observers (years) where at least half are					Visual Ages of Observers (years) where at least half are					
		<25	25-65	>65			<25	25-65	>65			
		Category				Gauge	Category			Gauge		
RESIDENTIAL INTERIORS	(continued)				(fc)					1 footcandle (fc) = 10 lux		
• Bathrooms												
• Showers/Tubs	E _h @floor; E _v @3'-5' AFF	K	25	50	(5)	100	Avg	H	10	20	40	Avg
• Toilets and Bidets	E _h @top of plumbing fixture; E _v @3' AFF	M	50	100	(10)	200	Avg	I	15	30	60	Avg
• Vanities	Grooming considered more intensive and extensive than casual inspection. Review appropriateness with client. E _h and E _v elevations are shown for standing-counter situations and adult height. Adjust elevations as necessary.											
• Casual inspection	E _h @3' AFF; E _v @5' AFF	O	100	200	(20)	400	Avg	O	100	200	400	Avg
• Grooming	E _h @3' AFF; E _v @5' AFF	P	150	300	(30)	600	Avg	Q	200	400	800	Avg
• Top-of-head	E _h @5' 9" AFF	Avg = 1.0 times E _v at vanity										
• Bedrooms												
• Desks	See RESIDENTIAL INTERIORS/Reading and Writing											
• General (dressing)	E _h @2' AFF; E _v @4' AFF	K	25	50	(5)	100	Avg	I	15	30	60	Avg
• Reading in Bed	See RESIDENTIAL INTERIORS/Reading and Writing											
• Sitting Areas	See RESIDENTIAL INTERIORS/Reading and Writing											
• Television Viewing	E _h and E _v @4' AFF	I	15	30	(3)	60	Avg	G	7.5	15	30	Avg
• Circulation Corridors	E _v in two opposing views along primary direction of travel.											
• Adjacency Passageways	E _h @floor; E _v @5' AFF	Avg ≥0.2 times task E _h of adjacent space					Avg ≥0.2 times task E _v of adjacent space					
• Independent Passageways	E _h @floor; E _v @5' AFF	I	15	30	(3)	60	Avg	D	3	6	12	Avg
• Closets	Luminaire(s) may need to be mounted external of non-walk-in closets if mounting space in closet is insufficient for useful or code-compliant luminaires. Placement and control must be addressed accordingly.											
• Non-walk-in	E _h and E _v @4' AFF @shelf face	M	50	100	(10)	200	Avg	J	20	40	80	Avg
• Walk-in	E _h and E _v @4' AFF @shelf face	P	150	300	(30)	600	Avg	M	50	100	200	Avg
• Dining												
• Formal	E _h @table plane; E _v @4' AFF	K	25	50	100	Avg	H	10	20	40	Avg	
• Informal	E _h @table plane; E _v @4' AFF	M	50	100	(10)	200	Avg	J	20	40	80	Avg
• Study use	E _h @table plane; E _v @4' AFF	O	100	200	400							
• Dressing Room												
• Full-length Mirror	E _h @floor; E _v @3'-5' AFF											
• General	E _h @floor	M	50	100	(10)	200						
• Hanging items	E _v @4' AFF @front shoulder											
• Shelved/drawer items	E _v @4' AFF @front face											
• Elevator	See 22 LIGHTING FOR COMMON APPLICATIONS											
• Family Room	E _h @floor; E _v @4' AFF	M	50	100	(10)	200						
• Fitness Room	E _h @floor; E _v @3'-5' AFF	N	75	150	300	Avg	J	20	40	80	Avg	
• Foyer												
• Day	E _h @floor; E _v @5' AFF	M	50	100	(10)	200	Avg	I	15	30	60	Avg
• Night	E _h @floor; E _v @5' AFF	I	15	30	(3)	60	Avg	F	5	10	20	Avg
• Game Room	Intended for informal or spontaneous activity with acquaintances. For sanctioned refereed sports activities see 35 LIGHTING FOR SPORTS AND RECREATION.											
• Analog Games												
• Board and card games	E _h @2' 6" AFF; E _v @4' AFF	O	100	200	(20)	400	Avg	K	25	50	100	Avg
• Competitive table games	E _h @2' 6" AFF; E _v @4' AFF	Q	200	400	(40)	800	Avg	N	75	150	300	Avg
• Pinball	E _h @3' AFF; E _v @5' AFF	K	25	50	(5)	100	Avg	G	7.5	15	30	Avg
• Digital Games	E _h @floor; E _v @4' AFF	D	3	6	(.6)	12	Avg	C	2	4	8	Avg

10 FOOTCANDLES IS THE TARGET ILLUMINATION FOR DINING AND FAMILY ROOMS AND IS EASILY ACHIEVED WITH AVAILABLE DAYLIGHT EVEN UNDER PROPOSED PROJECT CONDITIONS

Table 33.2 | Residential Facilities Illuminance Recommendations continued next page

TABLE 5-21 Suggested Lighting Strategies and Levels by Room.

	Ambient	Task	Accent
Dining Room	Chandelier or sconces for traditional look. Downlights for contemporary. (5–10fc)	Chandelier over table with optional central downlight. (10–20fc)	Track, eyeball, or wall washers to light art or sideboard. (10–20fc)
Living Room	Reflect light off walls and furnishings with multiple fixtures around the room. (5–10fc)	Downlights for game table or piano. Table lamp and small pendant for reading. Undercabinet lighting at bar. (20–50fc)*	Downlights close to fireplace or stone/brick wall provide “grazing” light. Track, eyeball, or wall washers to light art, book cases, or display cabinets. (10–20fc)
Kitchen	Downlights or surface mounted ceiling fixtures. (20–30fc)	Undercabinet lighting at counters; downlight over sink; pendant over table. Downlights or minipendants over	Track, eyeball, or wall washers to light art, note board, or cookware. (20–50fc)
Utility/Laundry Room	Fluorescent ceiling fixture with acrylic diffuser or parabolic louver to cut glare. (10–20fc)		
Bathroom	Sealed, recessed fixture over tub and shower. Separate ceiling fixture or downlights for larger bath. (20–30fc)	Vanity lights both sides of mirror. Recessed or wall-mounted fixtures near tub and toilet for reading. (20–50fc)	NA
Office/Study	Fluorescent ceiling fixture with parabolic louver to cut glare. Alternative: Torchiere to bounce light off ceiling. (10–20fc)	For desktop from one or both sides with undercabinet lights, ceiling fixtures, or tabletop lamp with flexible arm and opaque shade. Small track or recessed wall washers for bookshelves. (20–50fc)*	NA
Hobby Area	Fluorescent ceiling fixture with acrylic diffuser or parabolic louver to cut glare. (10–20fc)	Track lighting for work bench. Undercabinet lighting for counters. 50–200fc	NA

10 FOOTCANDLES IS THE TARGET ILLUMINATION FOR DINING AND FAMILY ROOMS AND IS EASILY ACHIEVED WITH AVAILABLE DAYLIGHT EVEN UNDER PROPOSED PROJECT CONDITIONS

*100fc for older person working on small detail.

glare. Also, since lighting needs change throughout the day with changes in daylight and usage, it is good to provide flexibility by separately switching groups of lights and adding dimmers.

Increase these minimums by 50 to 100% for:

- Valences or other indirect lighting schemes
- Rooms with dark surfaces
- Lighting placed in cathedral ceilings or other high ceilings
- Recessed lighting with diffusers, black baffles, or other light-blocking trim

Lamp Types

There is a vast array of choices in light bulbs, known in the lighting industry as “lamps.” For residential lighting, the main choices are incandescent, halogen, low-voltage, tubular fluorescent, and compact fluorescent. Which lamp to choose for a given application will depend upon the amount of light needed (lumens), color of light desired,

TABLE 5-22 Fluorescent Lamp Equivalency

Standard Incandescent	Compact Fluorescent
40W	10W
60W	15W
75W	20W
100W	25W
150W	40W
200W	55W

NOTE: Values are approximate and vary with individual luminaires.

type of fixture (luminaire), and whether the application calls for a directed beam or a diffused light source.

Also, some lamps are more energy-efficient, providing more lumens for the same amount of electricity consumed. Fluorescents are the most efficient, using up to 70% less energy than an equivalent incandescent bulb (see Table 5-22).

462 27th St. Peak Illuminance Values

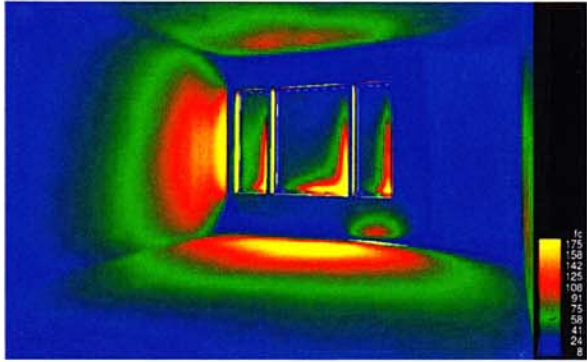
POSSIBLE ERROR - HOW IS IT POSSIBLE TO HAVE MORE AVAILABLE LIGHT IN THE WINTER THAN AT THE SAME EXACT TIME IN THE SUMMER?

Peak Incident Values (Footcandles)				Percentage Change in Available Daylight			
Winter Solstice							
Existing	9:00 AM 1937	12:00 PM 168	4:00 PM 104	Existing	9:00 AM 0.00%	12:00 PM 0.00%	4:00 PM 0.00%
Proposed	9:00 AM 87	12:00 PM 168	4:00 PM 86	Proposed	9:00 AM -95.51%	12:00 PM 0.00%	4:00 PM -17.31%
Suggested Modifications	9:00 AM 148	12:00 PM 190	4:00 PM 91	Suggested Modification	9:00 AM -92.36%	12:00 PM 13.10%	4:00 PM -12.50%
Summer Solstice							
Existing	9:00 AM 175	12:00 PM 392	4:00 PM 89	Existing	9:00 AM 0.00%	12:00 PM 0.00%	4:00 PM 0.00%
Proposed	9:00 AM 87	12:00 PM 391	4:00 PM 97	Proposed	9:00 AM -50.29%	12:00 PM 8.99%	4:00 PM 8.99%
Suggested Modifications	9:00 AM 118	12:00 PM 398	4:00 PM 100	Suggested Modification	9:00 AM -32.57%	12:00 PM 12.36%	4:00 PM 12.36%

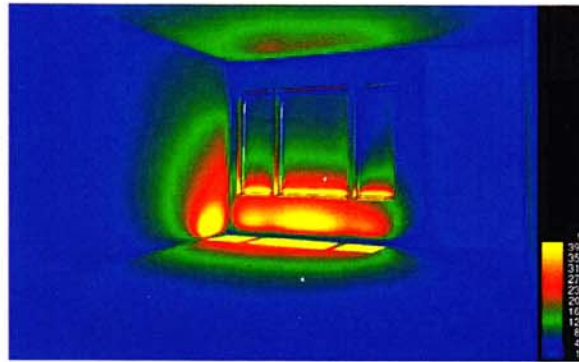
TIMES WHEN AVAILABLE LIGHT IS GREATER THAN OR EQUAL TO EXISTING CONDITIONS

EXISTING
CONDITIONS

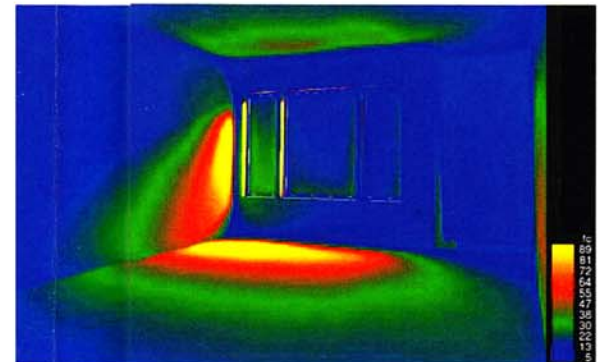
9:00 AM



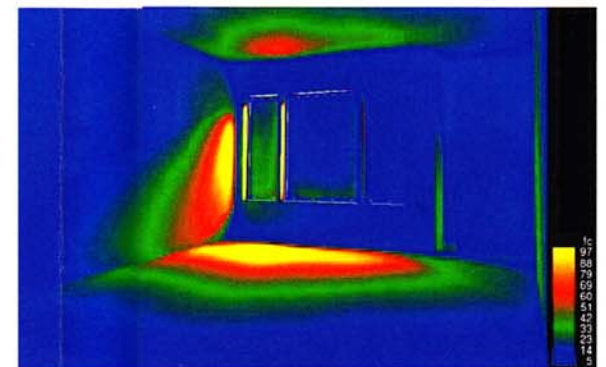
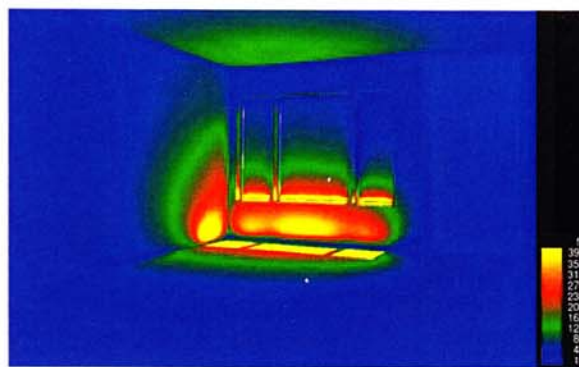
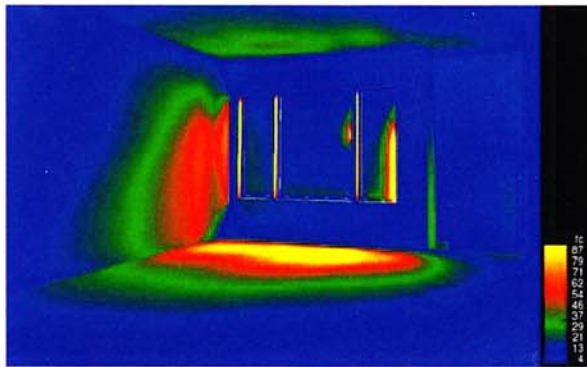
12:00 PM



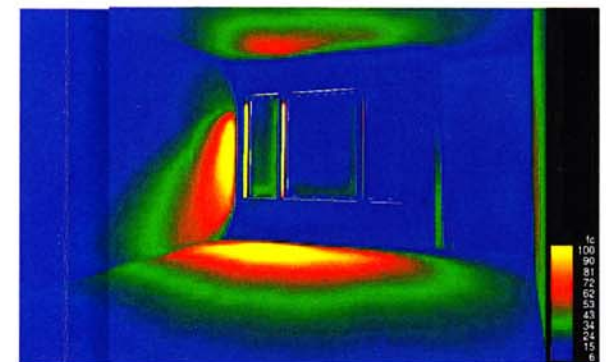
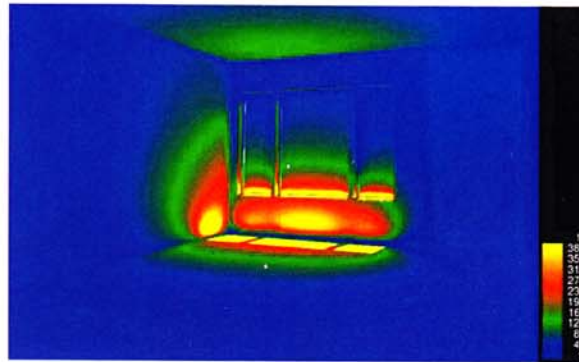
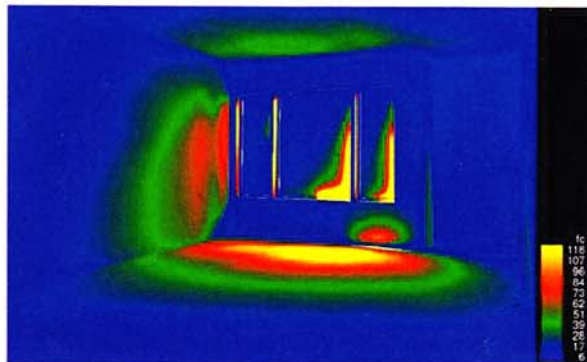
4:00 PM



PROPOSED
PROJECT



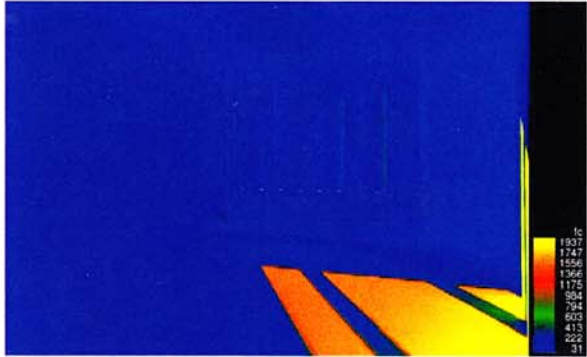
APPELLANT
SUGGESTIONS



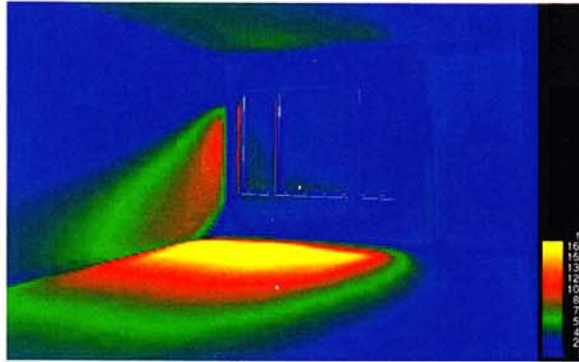
VIRTUALLY NO CHANGE IN LIGHT CONDITIONS WITHIN APPELLANT APARTMENT

EXISTING
CONDITIONS

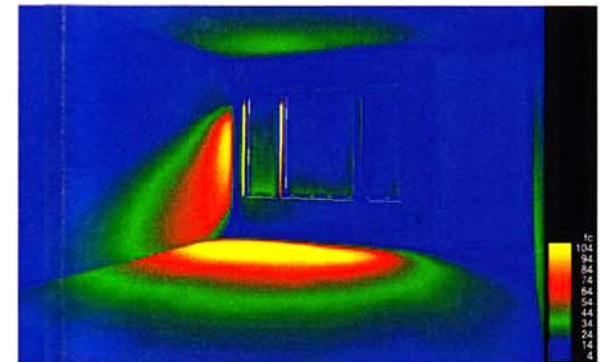
9:00 AM



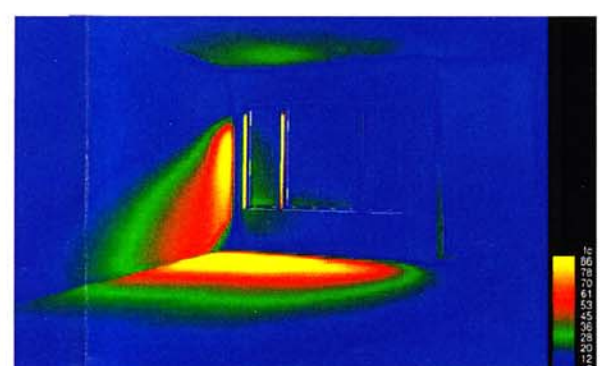
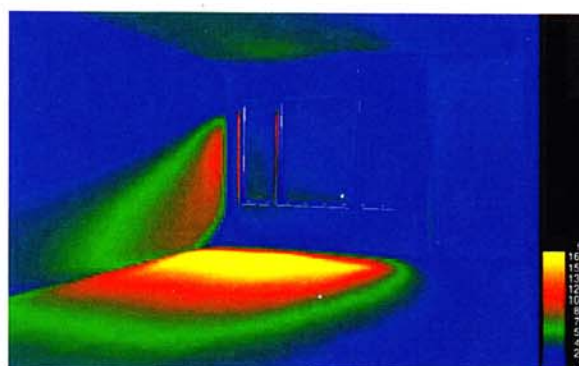
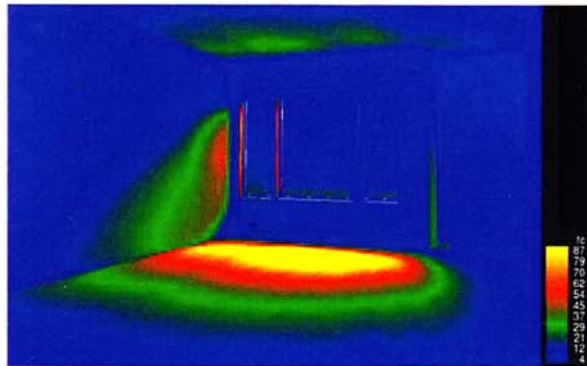
12:00 PM



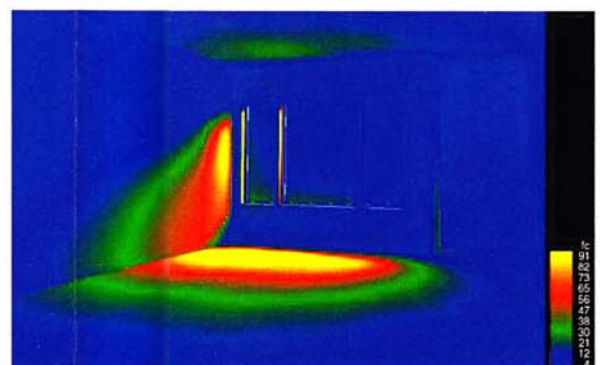
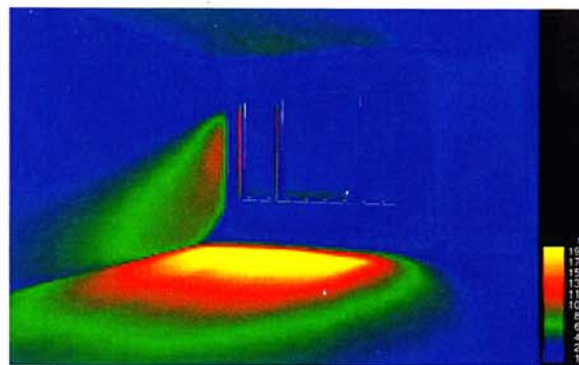
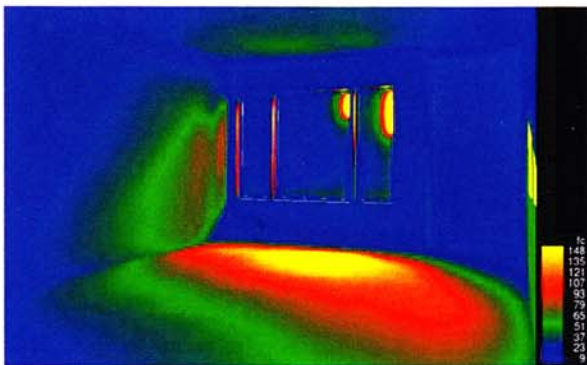
4:00 PM



PROPOSED
PROJECT



APPELLANT
SUGGESTIONS



VIRTUALLY NO CHANGE IN LIGHT CONDITIONS WITHIN APPELLANT APARTMENT

Exhibit J

Thomas Wang, Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

December 9, 2013

Re: Proposed 2-Unit Residential Building at 456 27th Street

Dear Mr. Wang:

As the owners of 450 27th Street and a directly adjacent neighbor, we are writing a letter of support for the proposed demolition of the existing house and the construction of the proposed 2-unit project by Robert Edmonds & Vivian Lee.

Robert and Vivian have met with us on several occasions to review their project and we believe the project should be approved as proposed. The project has been well designed to fit into the surrounding neighborhood and would be a welcome addition.

We hope this project will be approved as proposed.

Sincerely,

A handwritten signature in black ink, appearing to be 'Nina Geneson & Jordan Otis', written in a cursive style.

Nina Geneson & Jordan Otis
450 27th Street
San Francisco, CA 94131

Thomas Wang, Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

September 28, 2013

Re: Proposed 2-Unit Residential Building at 456 27th Street

Dear Mr. Wang:

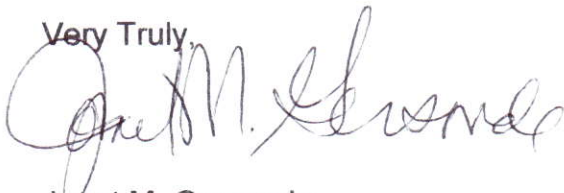
I am the owner of the house at 449 27th Street located directly across the street from the above noted project proposed by Robert Edmonds & Vivian Lee. I am a long time resident of Noe Valley and I have lived on 27th Street for 30 years. I support the demolition of the existing house at 456 27th Street and the construction of the proposed 2-unit project.

I have met with Robert and Vivian on several occasions to review their proposal and I appreciate the great care and sensitivity that they have given to the design of the new building. I believe the proposed project will be a good addition to our street and will fit in well with the surrounding neighborhood.

In addition to providing a new home for Robert, Vivian and their two young children, the proposed project will provide much needed housing in the form of the additional residential unit.

I hope that this project will be approved as proposed. If you have any questions, please contact me.

Very Truly,



Janet M. Gersonde
449 27th Street
San Francisco, CA 94131
415-695-7979

Thomas Wang, Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

April 9, 2014

Re: Proposed 2-Unit Residential Building at 456 27th Street

Dear Mr. Wang:

I am writing to express my enthusiastic support for the proposed project at 456 27th Street.

I have owned and lived in a home roughly across the street from the Subject Property since 1976 and believe the project will be an excellent improvement for the street, neighborhood, and our city.

In addition to being an attractive building, the proposed project will provide much needed housing to Robert, Vivian and their two small children.

I urge the Planning Commission to approve the demolition of the existing house and approve the proposed 2-unit building without modifications.

Sincerely,

A handwritten signature in cursive script that reads "Tom Urani".

Tom Urani
421 27th Street
San Francisco, CA 94131

Thomas Wang, Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

April 14, 2014

Re: Proposed Residential Building at 456 27th Street

Dear Mr. Wang:

We are the home owners of 3933 26th Street, located few blocks away from the project proposed by Robert Edmonds & Vivian Lee. As residents of Noe Valley, we support the demolition of the existing house and the construction of the new family home.

I believe the proposed project will be a good addition to our neighborhood and will fit in well with the surrounding buildings. The size and style of it is very complimentary to the adjacent homes. Most importantly, it will be a great house for a family that is committed to raising their kids in Noe Valley, just like us.

We hope this project will be approved as proposed.

Sincerely,

A handwritten signature in cursive script, reading "Janice Minamoto & Franco Tarm". The signature is written in black ink and is positioned to the left of a long, horizontal, slightly wavy line that extends across the page.

Janice Minamoto & Franco Tarm
3933 26th Street
San Francisco, CA 94131

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

April 15, 2014

Re: Proposed 2-Unit Residential Building at 456 27th Street

Dear Commission President Wu:

I am writing this letter to give my family's support to the proposed 2-unit building at 456 27th Street by Robert Edmonds and Vivian Lee.

The reduced scale and height of the project fits in well with the street and neighborhood and will provide greatly needed additional housing for our city.

As a home owner in the neighborhood, I appreciate Robert and Vivian's efforts to improve our community and provide a home for themselves and their two small boys.

We hope the Planning Commission will approve this project as proposed.

Sincerely,

A handwritten signature in blue ink, appearing to read "Liz Moore". The signature is fluid and cursive, with the first letter "L" being particularly large and stylized.

Liz Moore
647 Duncan Street
San Francisco, CA 94131

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

April 18, 2014

Re: Proposed 2-Unit Residential Building at 456 27th Street

Dear Commission President Wu:

I am writing to provide my support to Robert Edmonds and Vivian Lee and their proposal to demolish the existing house and build a new, 2-unit residential project at 456 27th Street.

I believe the design of the new building respects the existing neighborhood context and will be a welcome addition to the neighborhood.

As a property owner in the neighborhood, I appreciate Robert and Vivian's efforts to provide much needed additional housing for our city and a home for themselves and their two small boys.

I support this project and ask that this project be approved as designed.

Yours Truly,

A handwritten signature in black ink, appearing to read 'Andy Greene', written in a cursive style.

Andy Greene
645 Duncan Street
San Francisco, CA 94131

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

April 18, 2014

Re: Proposed 2-Unit Residential Building at 456 27th Street

Dear Commission President Wu:

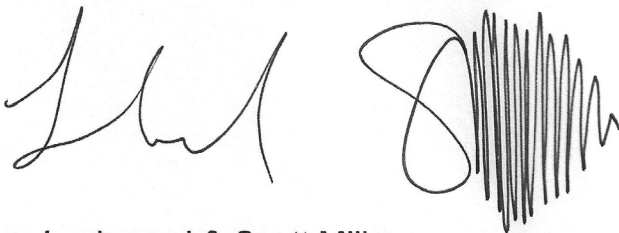
We are pleased to write this letter of support for the demolition of the existing house at 456 27th street and the construction of the new 2-unit residential building being proposed by Robert Edmonds & Vivian Lee.

The reduced scale and height of the project fits in well with the street and neighborhood and will provide greatly needed additional housing for our city.

As a home owner in the neighborhood, I appreciate Robert and Vivian's efforts to improve our community and provide a home for themselves and their two small boys.

We support this project and ask that this project be approved as designed.

Yours Truly,

The image shows two handwritten signatures in black ink. The signature on the left is a cursive 'L' followed by a series of loops, representing 'Laura Lockwood'. The signature on the right is a cursive 'S' followed by a dense, vertical scribble of lines, representing 'Scott Miller'.

Laura Lockwood & Scott Miller
425 Douglass Street
San Francisco, CA 94131

Robert Edmonds

From: Vivian Lee <vivian@edmondslee.com>
Sent: Saturday, January 18, 2014 2:53 PM
To: Robert Edmonds
Subject: Fwd: 456 27th Street New Year Update

Begin forwarded message:

From: Ron and Sandy Ward <randsward2227@sbcglobal.net>
Date: January 18, 2014 at 2:30:18 PM PST
To: Vivian Lee <vivian@edmondslee.com>
Subject: Re: 456 27th Street New Year Update
Reply-To: Ron and Sandy Ward <randsward2227@sbcglobal.net>

Vivian, Thanks for checking in. Since we first met my mom has had two emergency surgeries (stomach/Sept. and heart/Nov.). Both surgeries took a lot out of her so she is still in recovery mode and not up to a visit right now. She is getting stronger each week though so maybe you can check back again just before start of construction as she would love to meet the children and get to know you all better. I read her your email and she is very grateful for your interest in a neighborly relationship.

In terms of construction, she is very comfortable with the final design. Her real concern now is sustaining her health through the construction noise. I am hoping it will be minimal on weekends so she can get a break every few days as she is a night owl and morning late sleeper but understands the project scope and knows there is no way for it to be quiet during normal weekday business hours.

The only thing she keeps bringing up to me as concerns you have already heard so just as a reminder she wants to keep the retaining wall between the two yards and lastly she is hoping you can remove that sapling pine tree in the downhill corner of your yard as it had caused so much damage to the fences when it was allowed to grow previously. The prior owners who cut it down obviously must have left the roots so she just wants to avoid the problems when it pushed over the first fence and damaged the retaining wall between the two properties.

Keep me posted on construction schedule as it firms up and hopefully a contact phone number for the contractor (only for emergency use).

Thanks again for your partnership. Sandy

From: Vivian Lee <vivian@edmondslee.com>
To: randsward2227@sbcglobal.net
Cc: 'Robert Edmonds' <robert@edmondslee.com>
Sent: Saturday, January 18, 2014 11:39 AM
Subject: 456 27th Street New Year Update

Hi Sandy:

Happy New Year! This is Vivian, your neighbor behind your mom's house on 27th Street. I know Rob has been in correspondence with you the past few months regarding our house

construction. We are getting close to getting approval from the City, and we are using the remaining time to continue working with the planner and neighbors to address any last minute concerns. So please let us know if you would like to review our proposal again in person.

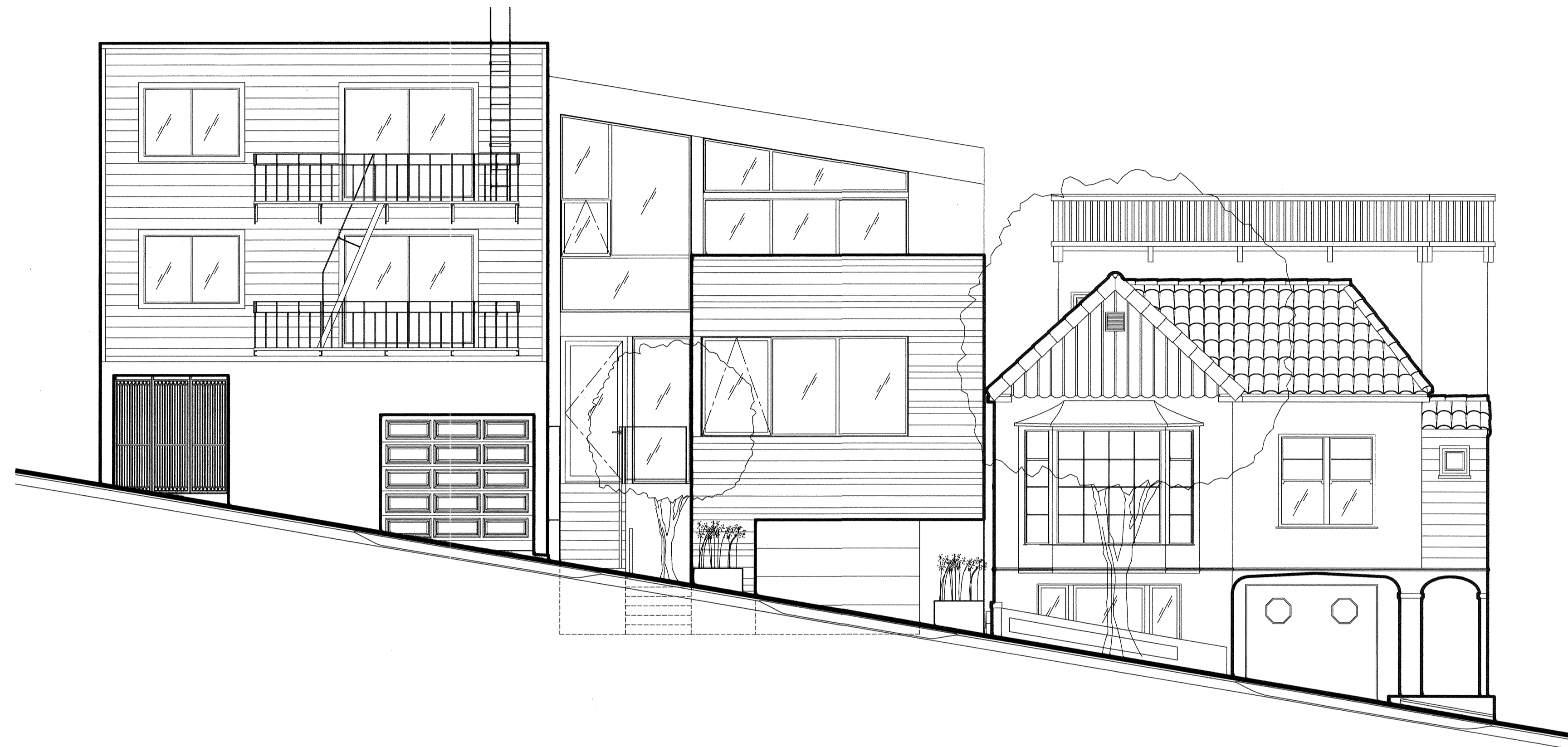
In addition, please let me know if it would be a good idea for us, along with our kids, to come by and introduce ourselves to your mom. I thought it would be nice for her to meet the Edmonds clan as we will be neighbors for a long time!

Thank you and please don't hesitate to contact me with questions.

Best regards,

Vivian Lee

Exhibit K



27TH STREET RESIDENCES

456 27TH STREET, SAN FRANCISCO, CA 94114

ISSUED FOR SITE PERMIT ADDENDUM 02 - MAY 1, 2014

APPROVED
Dept. of Building Insp.

SEP 15 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

PROJECT DIRECTORY:

CLIENT: ROBERT EDMONDS & VIVIAN LEE
456 27TH STREET
SAN FRANCISCO, CA 94131
T. (415) 285-1300

CONTRACTOR: T.B.D.

ARCHITECT: EDMONDS + LEE ARCHITECTS
CONTACT: ROBERT EDMONDS
2601 MISSION STREET, 400A
SAN FRANCISCO, CA 94110
T (415) 285-1300
F (866) 240-3220

STRUCTURAL ENGINEER: T.B.D.

SHEET INDEX:

- A0.00 COVER SHEET
- A0.01 GENERAL NOTES & SYMBOLS
- A0.02 GREEN BUILDING SITE PERMIT SUBMITTAL
SITE SURVEY
- A0.11 SITE PLAN, ZONING AND DATA CALCULATIONS
- A0.12 FLOOR AREA CALCULATIONS
- A1.01 FLOOR PLAN - (EXISTING) DEMOLITION
- A1.11 FLOOR PLAN - (NEW)
- A1.12 FLOOR PLAN - (NEW)
- A2.00 EXTERIOR ELEVATION - (EXISTING)
- A2.01 EXTERIOR ELEVATION - (EXISTING)
- A2.02 EXTERIOR ELEVATION - (EXISTING)
- A2.03 EXTERIOR ELEVATION - (EXISTING)
- A2.10 EXTERIOR ELEVATION - (NEW)
- A2.11 EXTERIOR ELEVATION - (NEW)
- A2.12 EXTERIOR ELEVATION - (NEW)
- A2.13 EXTERIOR ELEVATION - (NEW)
- A3.10 BUILDING SECTION - (NEW)
- A3.20 BUILDING SECTION - (NEW)

Capacity Charges
Water: \$620 - 00
Wastewater: \$2,100 - 00
Total: \$2,720 - 00

SFPUC
Monica Qiu-Wilkinson

SFPUC Capacity Charges
See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect 50% or more of the total amount before the Site Permit is issued. Any balance will be billed and collected by SFPUC directly.

SFPUC - Please be advised.
Your plans and future count indicate a larger water meter is required. Please contact your contractor, Architect, or SFPUC New Installations for more information.

Jonathan Chiu, DBI
JUL 03 2014

**DPW/BSM SIGN OFF ON JOB CARD
REQUIRED PRIOR TO DBI FINAL
CALL 554-7149 TO SCHEDULE**

By: *Liong Tian Cy* 6-30-14
Liong Tian Cy, DPW/BSM

Roger Ng 4FFD
JUL 15 2014

PLAN REVIEW BY SFPD LIMITED TO:
1. FIRE DEPARTMENT ACCESS
2. FIRE FLOW REQUIREMENTS

FOR DEMOLITION PERMIT, SEE
2013-0311-1908.
RE.
07-03-14

2013.0344D

2014.0671D

PROJECT INFORMATION:

ADDRESS: 456 27TH STREET
SAN FRANCISCO, CA 94131

LOT: 018

BLOCK: 6580

APPLICABLE CODES:

2010 CALIFORNIA BUILDING CODE & SF AMENDMENTS
2010 CALIFORNIA RESIDENTIAL CODE & SF AMENDMENTS
2010 CALIFORNIA MECHANICAL CODE & SF AMENDMENTS
2010 CALIFORNIA PLUMBING CODE & SF AMENDMENTS
2010 CALIFORNIA ELECTRICAL CODE & SF AMENDMENTS
2010 CALIFORNIA ENERGY CODE

2010 SAN FRANCISCO HOUSING CODE
2010 SAN FRANCISCO ENERGY CODE

BUILDING LIMITATIONS (PER 2010 CBC TABLE 503):

OCCUPANCY: R-3 / U

CONSTRUCTION: TYPE VB

FIRE SPRINKLERS: YES *NFPA 13D RE 07-03-14*

MAXIMUM HEIGHT: 4 STORIES*

MAXIMUM AREA: UNLIMITED

INFORMATION BASED ON CBC TABLE 503
* ALLOWABLE HEIGHT INCREASE PER CBC 504.2 WHICH STATES THAT "WHERE A BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, THE VALUE SPECIFIED IN TABLE 503 FOR MAXIMUM HEIGHT IS INCREASED BY 20 FEET AND THE MAXIMUM NUMBER OF STORIES IS INCREASED BY ONE."

WORK HOURS:

BUILDING CONSTRUCTION IS ALLOWED DURING THE HOURS OF 7:00 AM TO 8:00 PM, SEVEN DAYS A WEEK, INCLUDING HOLIDAYS. ANY WORK DONE BEFORE OR AFTER THESE HOURS MUST NOT EXCEED THE NOISE LEVEL OF FIVE DECIBELS AT THE NEAREST LOT LINE UNLESS A SPECIAL PERMIT HAS BEEN GRANTED.

PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS THE DEMOLITION OF AN (EXISTING) 1-STORY, 1-UNIT RESIDENTIAL BUILDING AND THE CONSTRUCTION OF A (NEW) 3-STORY, 2-UNIT RESIDENTIAL BUILDING. SPECIFIC WORK CONSISTS OF THE FOLLOWING:

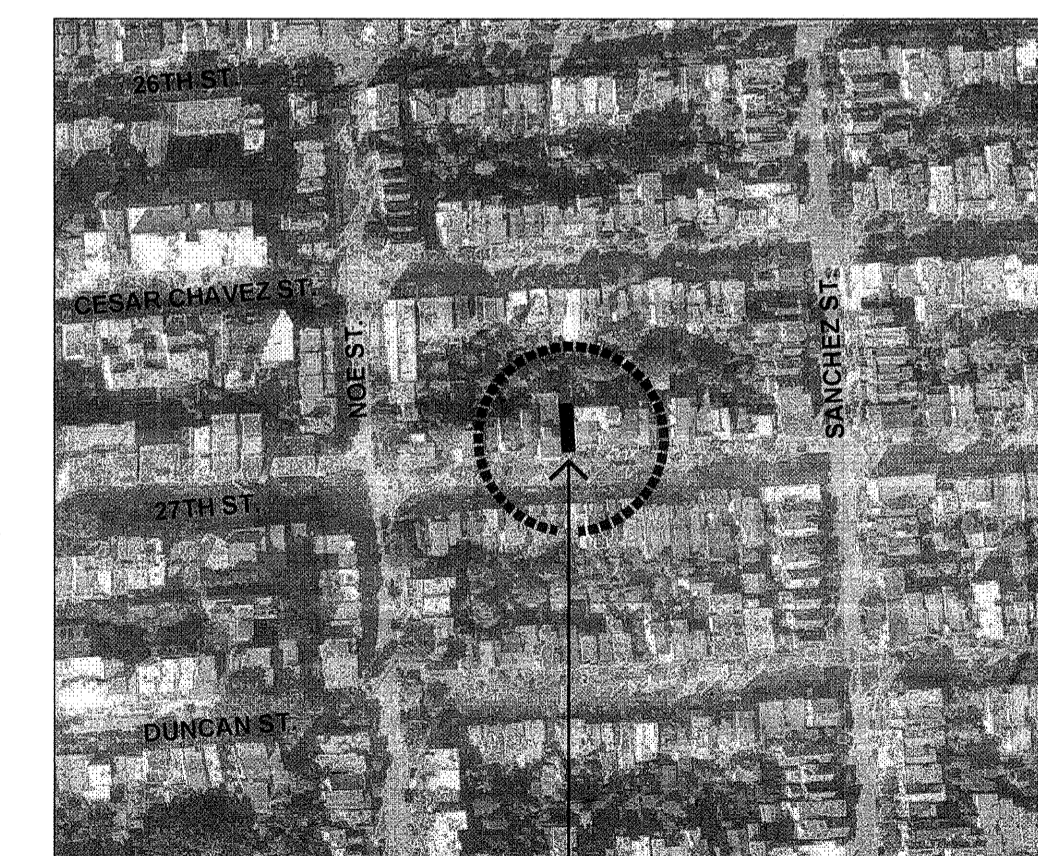
DEMOLITION:
1. DEMOLITION OF (EXISTING) 1-UNIT RESIDENTIAL BUILDING, SEE PLANS.

ARCHITECTURE INTERIOR:
1. (NEW) CONSTRUCTION OF ALL INTERIORS INCLUDING BEDROOMS, KITCHEN, BATHROOMS, LIVING AREAS, AND UTILITY AREAS.

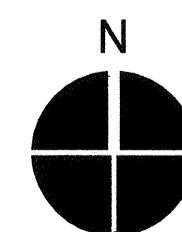
ARCHITECTURE EXTERIOR:
1. (NEW) CONSTRUCTION OF EXTERIORS INCLUDING CLADDING, FENESTRATION, EXTERIOR DECKS AND ROOFS.

STRUCTURAL:
1. (NEW) CONCRETE FOUNDATION AND (NEW) STRUCTURAL WOOD CONSTRUCTION.

MECHANICAL, ELECTRICAL & PLUMBING:
1. (NEW) MEP FIXTURES AND EQUIPMENT THROUGHOUT STRUCTURE.
2. INSTALLATION OF FIRE SPRINKLERS.
3. MEP & FIRE SPRINKLERS TO BE DESIGN BUILD AND FILED UNDER A SEPARATE PERMIT.



PROJECT SITE



01 VICINITY MAP
SCALE: N.T.S.

t.e.w. JUN 02 2014
Approved Planning Dept. Tom Wang

NO. DATE SUBMISSION:

- 01 03.11.13 SITE PERMIT
- 02 11.07.13 ADDENDUM 01
- 03 05.01.14 ADDENDUM 02

EDMONDS + LEE ARCHITECTS, INC.

2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

ALL BUILDING PERMITS REQUIRE BUILDING INSPECTOR SIGN-OFF

ELECTRICAL AND PLUMBING WORK REQUIRE SEPARATE APPROPRIATE PERMITS.

SUBMIT THE FOLLOWING ITEMS ON SEPARATE APPLICATION:

- ARCHITECTURAL
- MECHANICAL
- FIRE ALARM
- SPRINKLERS
- STANDPIPE
- HOOD AND DUCT
- FIRE SUPPRESSION SYSTEM
- EMERGENCY GENERATOR
- SMOKE CONTROL

SITE PERMIT REVISION

MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

ROBERT EDMONDS
C-30208
REV. 02/2015
STATE OF CALIFORNIA

PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
COVER SHEET

SCALE: AS NOTED

DATE: MAY 1, 2014

JOB NO. 2012.03

DRAWN:

CAD FILE:

A0.00

2013-0311-1903 S/R2

GENERAL CONDITIONS

THE GENERAL CONDITIONS OF THE CONTRACT ARE THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," CURRENT EDITION, WHERE THESE CONFLICT WITH THE FOLLOWING SUPPLEMENTARY GENERAL CONDITIONS, THE LATTER SHALL TAKE PRECEDENCE.

SUMMARY OF WORK

THE WORK DESCRIBED IN THIS CONTRACT CONSISTS OF FOLLOWING CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.

CHANGE IN THE WORK

- 1. VERBAL INSTRUCTION: IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ADVISE THE ARCHITECT REGARDING ANY ADDITIONAL COSTS RESULTING FROM THE ARCHITECT'S VERBAL INSTRUCTIONS. SUCH ADVICE SHALL OCCUR BEFORE ANY ADDITIONAL WORK IS EXECUTED.
2. SUBMITTAL OF CHANGE ORDERS: CHANGE ORDERS SHALL BE PREPARED BY THE GENERAL CONTRACTOR...
3. FITTINGS, HARDWARE AND FINISHES: WHEN PLUMBING FAUCETS, DOOR HARDWARE, CERAMIC TILE ETC. ARE TO BE SPECIFIED BY CHANGE ORDER, THE COST SHALL CONSIST OF: 1. PRODUCT COST LESS TRADE DISCOUNT, 2. SUB CONTRACTOR'S OVERHEAD AND PROFIT, 3. DELIVERY COSTS AND TAXES.

SUBSTITUTIONS

- 1. CONSIDERATION OF SUBSTITUTIONS: BURDEN OF PROOF OF THE MERIT OF PROPOSED SUBSTITUTION IS UPON THE PROPOSER.
2. SUBMITTAL REQUIREMENTS: SUBSTITUTIONS SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AND SHALL INCLUDE CONFIRMATION OF THE SUBSTITUTION'S EFFECT ON PROJECT COST, SCHEDULE AND INTERFACE WITH OTHER SPECIFIED PRODUCTS.

DRAWINGS AND SPECIFICATIONS

- 1. THE CONTRACTOR WILL RECEIVE NECESSARY NUMBER OF COPIES OF EACH OF THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR DISTRIBUTION TO SUBCONTRACTORS.
2. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. ANYTHING SHOWN IN THE DRAWING BUT NOT MENTIONED IN THE SPECIFICATIONS, OR VISA VERSA, SHALL BE FURNISHED AS IF SHOWN OR MENTIONED IN BOTH. LARGE SCALE DRAWINGS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
3. SHOP DRAWINGS: SUBMIT TWO PRINTS OF EACH SHOP DRAWINGS TO THE ARCHITECT; IF RE-SUBMITTAL IS REQUESTED REPEAT PROCESS.
4. SAMPLES: FULL-SIZE SAMPLES OF VARIOUS BUILDING COMPONENTS WILL BE REQUIRED FOR THE REVIEW OF KIND, COLOR, PATTERN AND TEXTURE...

CONSTRUCTION SCHEDULES

- 1. FORM: THE CONTRACTOR MAY UTILIZE ANY BAR GRAPH OR CRITICAL PATH FORM HE WISHES.
2. SUBMITTAL: THE FIRST SCHEDULE SHALL BE SUBMITTED PRIOR TO THE START OF THE WORK; SUBMIT SUBSEQUENT SCHEDULE CHANGES AS THEY ARISE WITH THE NEAREST APPLICATION FOR PAYMENT.
3. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL PROVIDE ARCHITECT WITH A SCHEDULE OF DATES FOR THE SUBMITTAL OF DRAWINGS AND DOCUMENTS REQUIRED IN ORDER TO CARRY OUT THE WORK.

PROJECT CLOSEOUT

- 1. SUBSTANTIAL COMPLETION: THE ARCHITECT SHALL ISSUE A CERTIFICATE OF SUBSTANTIAL COMPLETION AFTER THE PERMANENT UTILITIES ARE IN OPERATING AND THE WORK HAS PROGRESSED TO THE POINT WHEN THE OWNER COULD OCCUPY THE PROJECT FOR ITS INTENDED USE...
2. PUNCH LIST: THE ARCHITECT SHALL ATTACH TO THE CERTIFICATE OF SUBSTANTIAL COMPLETION A PUNCH LIST SETTING FORTH THE REMAINING WORK REQUIRED TO CLOSE OUT THE CONTRACT...
3. OWNER'S MANUAL: ASSEMBLE THE FOLLOWING ITEMS IN A THREE RING BINDER, WITH TABBED DIVIDERS SEPARATING BASIC CATEGORIES: OWNER'S MANUAL AND PRODUCT WARRANTIES FOR EQUIPMENT...
4. FINAL PAYMENT: AFTER THE GENERAL CONTRACTOR HAS COMPLETED THE PUNCH LIST, SUBMITTED THE OWNER'S MANUAL, AND SUBMITTED A COMPLETE RELEASE OF LIENS TO THE ARCHITECT, THE FINAL PAYMENT SHALL BE DUE.

MISCELLANEOUS CONTRACTOR REQUIREMENTS

- 1. ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES, ALL UTILITY COMPANY RULES AND REGULATIONS, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
2. CONTRACTOR SHALL FURNISH ALL NECESSARY LINES, LEVELS, LOCATIONS AND MEASUREMENTS TO ALL OF THE WORK, AND HE WILL BE HELD RESPONSIBLE FOR THEIR ACCURACY.
3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, ETC. ALL LANDFILL TAXES, USE TAXES, SALES TAXES AND ANY OTHER CHARGES RELATED TO CONSTRUCTION OF THIS PROJECT...
4. SUPERVISION: THE CONTRACTOR SHALL BE PRESENT AT THE SITE WHENEVER THE WORK IS IN PROGRESS...
5. OWNER'S RIGHT TO CARRY OUT WORK: IF THE CONTRACTOR NEGLECTS TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS...
6. SUBSTANTIATION OF PAY REQUEST: APPLICATION FOR PAYMENT FOR MATERIALS AND EQUIPMENT NOT YET INCORPORATED INTO THE WORK SHALL BE SUPPORTED BY SUCH DATA AS THE OWNER MAY REQUIRE TO SUBSTANTIATE THE GENERAL CONTRACTOR'S RIGHT PAYMENT.

MISCELLANEOUS CONTRACTOR REQUIREMENTS CONTINUED

- 7. OWNER'S TITLE TO MATERIALS AND EQUIPMENT: BY HIS APPLICATION FOR PAYMENT THE CONTRACTOR WARRANTS THAT TITLE TO ALL MATERIALS AND EQUIPMENT REFLECTED BY THE APPLICATION FOR PAYMENT BUT NOT YET INCORPORATED INTO THE WORK SHALL PASS TO THE OWNER AT THE TIME OF PAYMENT.
8. WHERE ALLOWANCES ARE SPECIFIED, THE CONTRACTOR SHALL PURCHASE AND PAY FOR THE ITEMS SELECTED BY THE ARCHITECT.
9. CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS.
10. GENERAL CONTRACTOR'S FEE: ON APPLICATION FOR PAYMENT THE GENERAL CONTRACTOR'S FEE SHALL BE INDICATED AS A SEPARATE LINE ITEM.
11. SAMPLES: FULL-SIZE SAMPLES OF VARIOUS BUILDING COMPONENTS WILL BE REQUIRED FOR THE REVIEW OF KIND, COLOR, PATTERN AND TEXTURE...

GENERAL NOTES

- 1. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN ALL REQUIRED PERMITS AND/OR APPROVALS BEFORE COMMENCING WORK AND SHALL PROVIDE ALL REQUIRED CERTIFICATES OF COMPLIANCE TO THE OWNER UPON COMPLETION OF THE WORK.
2. ALL WORK SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, RULES AND REGULATIONS.
3. ALL CONTRACTORS AND SUBCONTRACTORS SHALL CARRY WORKMENS COMPENSATION, DISABILITY, LIABILITY AND OTHER INSURANCES REQUIRED BY LAW AND THE OWNER.
4. ALL CONTRACTORS AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE EXISTING PROJECT CONDITIONS AND THE PROPOSED WORK PRIOR TO BIDDING.
5. ALL CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE AND INFORM THE ARCHITECT OF ANY AND ALL ERRORS, OMISSIONS AND CLARIFICATIONS IN WRITING PRIOR TO COMMENCING WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SURVEYS INCLUDING BUT NOT LIMITED TO EXISTING HVAC DUCTS, PLUMBING AND ELECTRICAL LINES.
7. ANY DEVIATION BETWEEN THE DIMENSIONS OR ALIGNMENT INDICATED ON THE DRAWINGS AND THE ACTUAL FIELD DIMENSIONS OF THE WORK IN PLACE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
8. DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
9. CONTRACTOR (G.C.) SHALL SCHEDULE AND COORDINATE WORK OF ALL SUBCONTRACTORS.
10. ALL WORK SHALL BE DONE BY SKILLED TRADES PEOPLE AND PERFORMED IN A WORKMAN LIKE MANNER.
11. ALL MATERIAL AND EQUIPMENT PROVIDED BY THE CONTRACTOR AND/OR OWNER SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
12. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY FOR A COMPLETE JOB WHETHER EXPLICITLY INDICATED ON THE DRAWINGS OR NOT.
13. ALL WORK SHALL BE FINISHED AND IN PROPER WORKING ORDER AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE.
14. THE WORK SHALL BE PERFORMED ONLY DURING THE DAYS AND TIMES ESTABLISHED BY THE OWNER AND IN ACCORDANCE WITH THE LOCAL GOVERNING RULES AND REGULATIONS.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes items like AB ANCHOR BOLT, AC AIR CONDITIONING, AD ACCESS DOOR, etc.

DRAWING SYMBOLS

Diagrammatic symbols for Break Line, Elevation Marker, Hidden or Overhead Line, Dimension Line, Alignment, Detail Symbol, Section Detail, and Building Section.

NO: DATE: SUBMISSION:

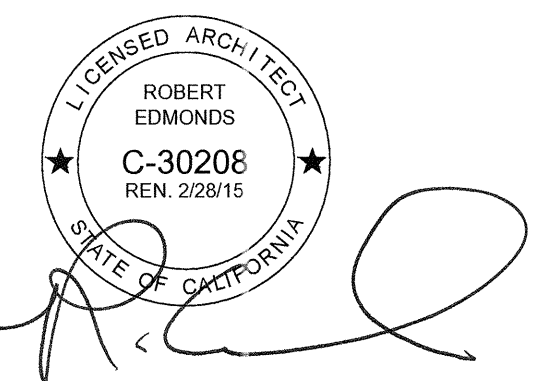
Table with 3 columns: No., Date, Submission. Shows dates 03.11.13, 11.07.13, 05.01.14 and submission types SITE PERMIT, ADDENDUM 01, ADDENDUM 02.

EDMONDS + LEE ARCHITECTS, INC.

2601 Mission St., 400A San Francisco, CA 94110 T 415 . 285 . 1300 www.edmondslee.com

SITE PERMIT REVISION MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



Jonathan Chiu, DBI JUL 03 2014

APPROVED Dept. of Building Insp.

SEP 15 2014 Tom C. Hui, S.E. DIRECTOR DEPT. OF BUILDING INSPECTION

PROJECT: 27TH ST. RESIDENCES 456 27TH STREET SAN FRANCISCO, CA 94131

DRAWING: SYMBOLS AND ABBREVIATIONS

Table with 2 columns: Field, Value. Includes SCALE: NONE, DATE: MAY 1, 2014, JOB NO: 2012.03, DRAWN:, CAD FILE:

Roger Ng, SFFD JUL 15 2014

A0.01

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 27th Street Residences	Block/Lot 6580 / 018	Address 456 27th Street
Gross Building Area 4,000 SF	Primary Occupancy Residential	Design in & Date <i>R. Paul</i> Robert Edmonds 2013.03.07 18:41:59 -08'00'
# of Dwelling Units 2	Height to highest occupied floor +/- 20'-0"	Number of occupied floors 3

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply. AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	•
Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	•
Water Efficient Irrigation - Projects that include ≥1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance	•
Construction Waste Management - Comply with the San Francisco Construction & Demolition Debris Ordinance	•
Recycling by Occupants - Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	•

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	•
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	•
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	•

Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 71 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "new Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

LEED PROJECTS						
Type of Project Proposed (Indicate at right)	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management - 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	•	•	•	•	Meet C&D ordinance only	•
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	•	•	•	•	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	•	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	•				Meet LEED prerequisites	
Water Use - 30% Reduction LEED WE 3, 2 points	•	n/r	•		Meet LEED prerequisites	
Enhanced Refrigerant Management LEED EA 4	•	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	•	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1.4.2, 4.3, and 4.4	•	n/r	•	•	•	•
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SS4.2. (13C.5.106.4)	•		n/r	•	n/r	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	•		See San Francisco Planning Code 155	•	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq ft. (13C.5.504.3)	•	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	•	n/r	n/r	•	n/r	n/r
Air Filtration: Provide at least MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	•	•	n/r	n/r	n/r
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	•		See CBC 1207	•	n/r	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after ¹	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >500,000 ¹
Type of Project Proposed (Check box if applicable)		
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6 (13C.5.201.1.1)	•	n/r
Bicycle Parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS4.2). (13C.5.106.4)	•	•
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total	•	•
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq ft	•	•
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.504.3)		
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 sq ft, testing and adjusting of systems is required.	•	• (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	•	•
Adhesives, sealants and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives.	•	•
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	•	•
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	•	•
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	•	•
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	•	•
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	•	•
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	•	Limited exceptions. See CA T24 Part 11 Section 5.714.6
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceiling STC 40. (13C.5.507.4)	•	• See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	•	•
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management: Divert 75% of construction and demolition debris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris Ordinance)	•	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	•	n/r

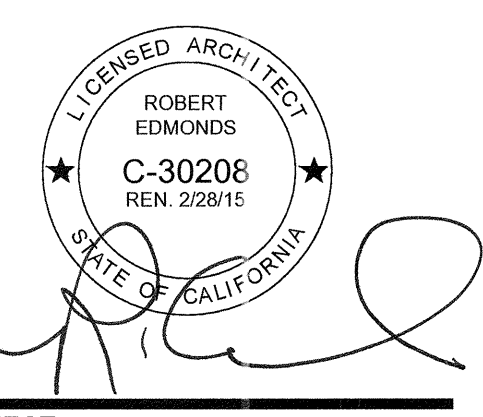
Attachment C-2 - Green Building: Site Permit Submittal
Version: July 18, 2012

27th Street Residences - 456 27th Street

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

SITE PERMIT REVISION
MAY 28 2014
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
GREEN BUILDING
SITE PERMIT
SUBMITTAL

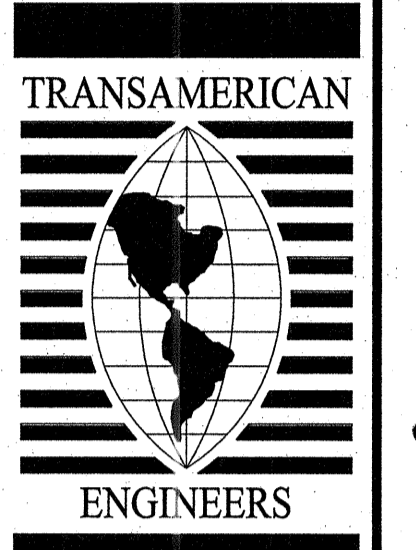
SCALE:	NONE
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

APPROVED
Dept. of Building Insp.
SEP 15 2014
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

Roger Ng, SFFD
JUL 15 2014

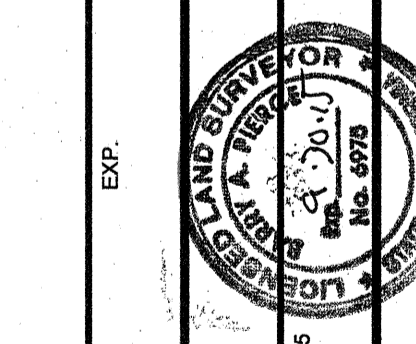
A0.02

Job No.	6281
Sheet No.	1 OF 1
Date	JUNE 2012
Survey	BP 6/22/12
Design	N/A -
Drawn	JT 6/27/12
Checked	BP 6/29/12
Scale	AS SHOWN



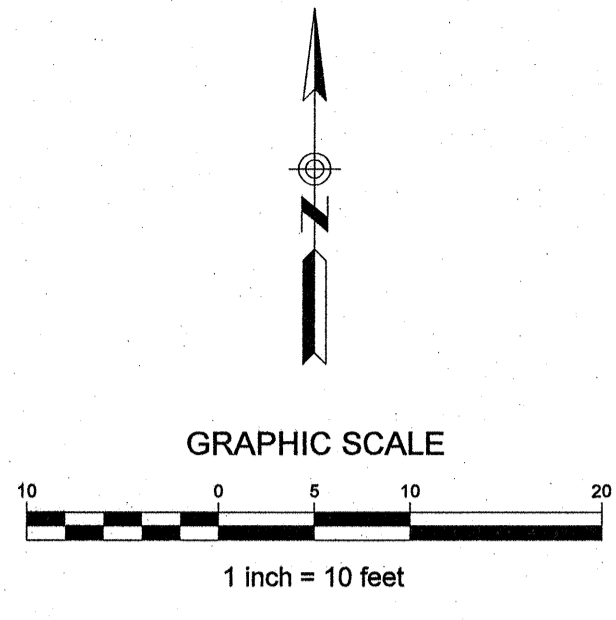
FOX PLAZA
1390 Market St., Suite 201
San Francisco, CA 94102
Phone No. (415) 553-4092
Fax No. (415) 553-4071

ARCHITECTURAL TOPOGRAPHIC SURVEY
ASSESSOR'S BLOCK No. 6580
LOT No. 018
456 27TH STREET
CALIFORNIA
SAN FRANCISCO



Approved By: *Roger Ng*
Chief Engineer License No. 9775
Expires 9/30/2015

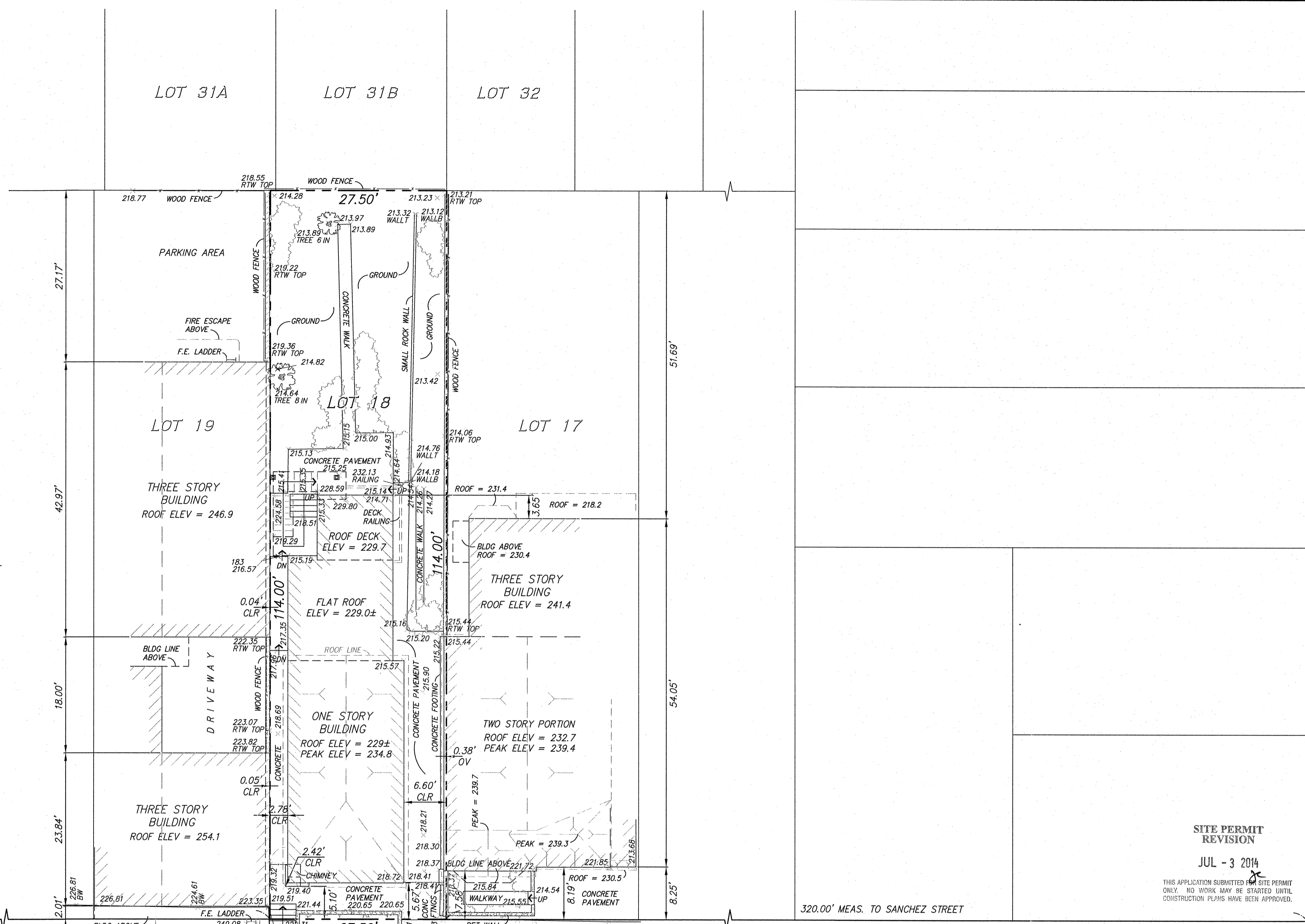
Revisions	By



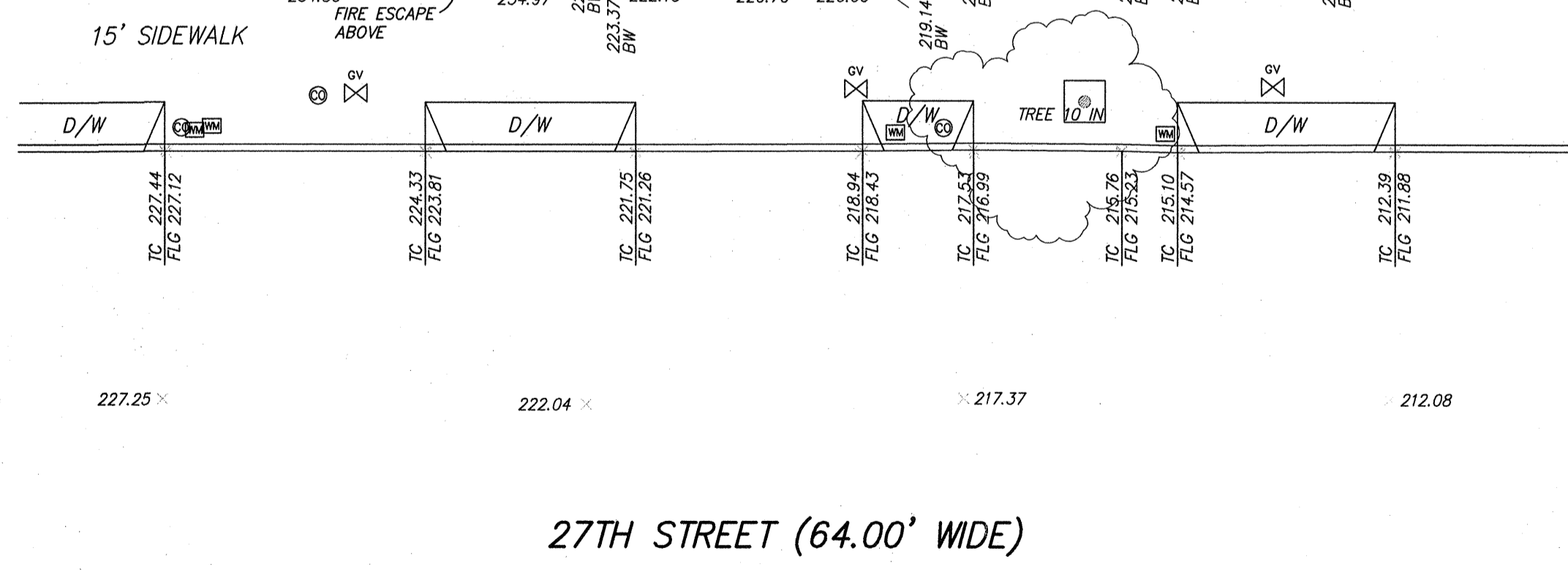
NOE STREET (82.50' WIDE)

SANCHEZ STREET (82.50' WIDE)

ASSESSOR'S BLOCK 6580



SITE PERMIT REVISION
JUL - 3 2014
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



27TH STREET (64.00' WIDE)



SEP 15 2014
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

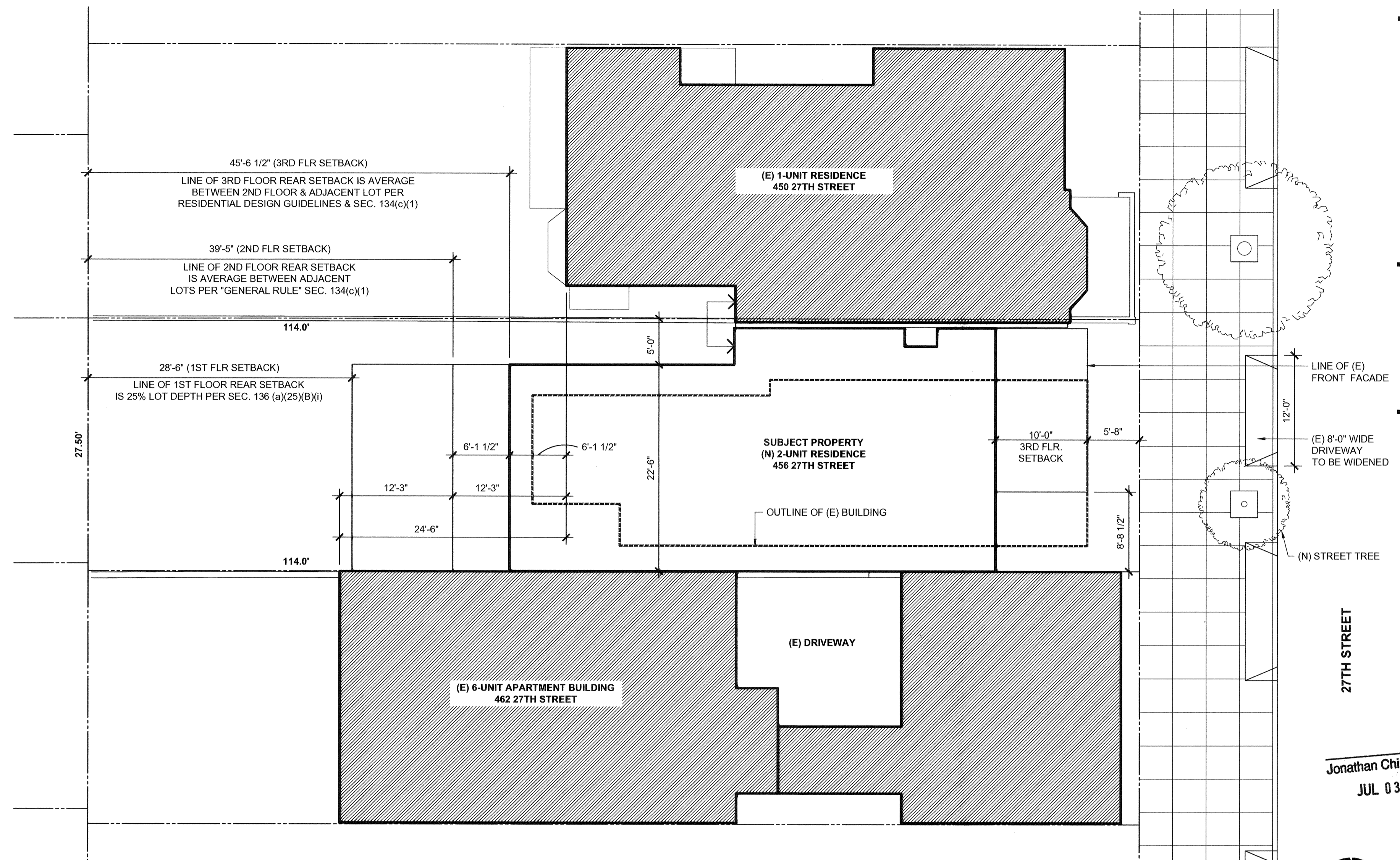
- LEGEND**
- MARK - MONUMENT MAP
 - CITY MONUMENT
 - SET 1/2" REBAR & PLASTIC CAP LS 6975
 - FND 1/2" REBAR
 - SET NAIL & TAG LS 6975
 - FOUND NAIL & TAG
 - FOUND L CUT
 - SET CROSS
 - FD CROSS
 - FIRE HYDRANT
 - JOINT POLE
 - WATER METER
 - ELECTRIC METER
 - ELECTRIC BOX
 - TELEPHONE VAULT
 - WATER VALVE
 - GAS VALVE
 - CLEAN OUT
 - ELECTROLIER
 - CATCH BASIN
 - SEWER MANHOLE
 - STORM MANHOLE
 - LAMPHOLE
 - PARKING METER
 - CONCRETE
 - ASPHALT PAVING

- ABBREVIATIONS**
- [] ASSESSOR'S PLAT INFORMATION
 - AC ASPHALT CONCRETE
 - BLDG BUILDING
 - BW BACK OF SIDEWALK
 - CLR CLEAR
 - CO CLEANOUT
 - CONC CONCRETE
 - COR CORNER
 - CB CATCH BASIN
 - D/W DRIVEWAY
 - DI DROP INLET
 - ELEV ELEVATION
 - (E) EXISTING
 - F.E. FIRE ESCAPE
 - FND FOUND
 - FLG FLOW LINE GUTTER
 - FTNGS FOOTINGS
 - GV GAS VALVE
 - HC HANDICAP RAMP
 - (N) NEW
 - MEAS. MEASURED
 - OV OVER
 - P/L PROPERTY LINE
 - PROJ PROJECTED
 - RTW RETAINING WALL
 - TC TOP OF CURB
 - WM WATER METER
 - PM PARKING METER
 - WALLB BOTTOM OF WALL

BENCH MARK
NOE & 28TH STREETS (N.W. CORNER)
CROW CUT OUTER RIM SWI
ELEV. = 262.902 (CITY DATUM)

- NOTE TO ANYONE HAVE ANY INTEREST IN THIS MAP. PLEASE BE ADVISED OF THE FOLLOWING:
- THAT ALL TITLE INFORMATION HEREON (INCLUDING EASEMENTS IF ANY) WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENTS AND/OR HIS AGENT'S REQUIREMENTS. THE FOLLOWING INFORMATION WAS SUPPLIED TO TRANSAMERICAN ENGINEERS: DEED TITLE REPORT A.P.N. ADDRESS OF THE P.L.G.
FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITIES AS BEING BEYOND OUR CONTRACT AND COMMITMENT TO OUR CLIENT.
 - THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OR SERVICE AND THAT IT REMAINS THE PROPERTY OF TRANSAMERICAN ENGINEERS WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
 - THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENTS PREPARED BY TRANSAMERICAN ENGINEERS IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR BUILDING PERMITS.
FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSE, INTENT & CONTRACT. TRANSAMERICAN ENGINEERS DISCLAIMS ANY AND ALL RESPONSIBILITIES, LIABILITIES WHICH SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE.
 - THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITES HEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THIS MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
 - THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.
 - THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENT OF ALL CLIENT'S OBLIGATIONS TO TRANSAMERICAN ENGINEERS UNLESS OTHERWISE AGREED TO.
 - THAT UNDERGROUND UTILITIES (IF ANY) SHOWN HEREON WERE OBTAINED FROM INFORMATION PROVIDED TO TRANSAMERICAN ENGINEERS BY UTILITIES COMPANIES. TRANSAMERICAN ENGINEERS DOES NOT ASSUME ANY RESPONSIBILITY FOR THEIR EXISTENCE OR ACCURACY.
 - THAT SURFACE UTILITIES, MANHOLES, ETC. AS SHOWN HEREON WERE LOCATED BY FIELD SURVEY.
 - IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
 - THE SURVEY OF LOT 18 HEREON WAS ESTABLISHED BY A FIELD SURVEY. SUCH SURVEY WAS BASED UPON THAT CERTAIN DEED 1871 PAGE 0200 RECORDED APRIL 19, 2005 AND IN CONFORMANCE WITH COMPELLING EVIDENCE OF OCCUPATION AND FIELD DATA SUCH AS OLD "X" CUTS, BUILDINGS, STRUCTURES, FENCES AND OFFICIAL CURBS AND SIDE WALKS.
- SPECIAL NOTES**
- ELEVATIONS SHOWN AS "ROOF ELEV." HEREON ARE IN FACT THE ELEVATIONS OF THE HIGHEST POINT OF SIDE WALLS. THESE ELEVATIONS MAY BE EITHER THE ROOF OR THE PARAPET ELEVATION OF SUCH ROOF. FLAT ROOF LEVELS WERE NOT VISIBLE FROM SURVEY POINT.
 - "PARAPET ELEV." SHOWN HEREON ARE THE HIGHEST POINT OF SUCH PARAPET.
 - "ROOF PEAK ELEV." AND "EAVES ELEV." (IF ANY SHOWN HEREON) ARE THE HIGHEST POINT OF ROOF PEAKS AND THE LOWEST POINTS OF ROOF EAVES RESPECTIVELY.
 - DUE TO LIMITED ACCESS TO THE REAR OF THE ADJACENT AND/OR THE PARAPET SUBJECT BUILDING(S) AND/OR COVERED STRUCTURE(S) AT THE TIME OF THIS SURVEY, THE TOPOGRAPHIC DATA FOR THOSE BUILDING(S) AND/OR STRUCTURE(S) IS NOT SHOWN HEREON.
 - IT SHALL BE THE RESPONSIBILITY OF OUR CLIENT TO CALL OUR OFFICE IN ORDER TO HAVE OUR SURVEYORS LOCATE ADDITIONAL INFORMATION AND/OR STRUCTURE(S) ONCE THE SITE HAS BEEN CLEARED. WE REQUIRE AN ADVANCE NOTICE OF FOUR (4) DAYS MORE OR LESS.
 - ALSO, NOTE THAT THERE WILL BE ADDITIONAL CHARGES FOR SUCH STAKING AS IT IS NOT A PART OF THE SCOPE OF THIS JOB'S CONTRACT.

ZONING CALCULATIONS (RH-2)		REQUIRED / ALLOWED	EXISTING	PROPOSED
MAX. DWELLING UNIT DENSITY §209.1	TWO DWELLING UNITS PER LOT; UP TO ONE UNIT PER 1,500 SQFT. OF LOT AREA (MAXIMUM OF 3 UNITS) WITH CONDITIONAL USE APPROVAL.	2 UNITS	1 UNIT	2 UNITS
MINIMUM LOT SIZE §121	LOT SIZE	2,500 SF MIN	3,135 SF	3,135 SF
	LOT WIDTH	25'-0" MIN.	27'-6"	27'-6"
	LOT FRONTAGE	16'-0" MIN.	18'-1"	26'-6"
FRONT YARD SETBACK §132	BASED UPON AVERAGE OF ADJACENT BUILDINGS; UP TO 15 FT. OR 15% OF LOT DEPTH	4'-10"	5'-8"	5'-8"
SIDE YARD SETBACK §133	IF THE LOT IS UNDER 28'-0" IN WIDTH, THEN NO SIDE YARD IS REQUIRED	EAST: 0'-0" WEST: 0'-0"	EAST: 6'-7" WEST: 2'-9"	EAST: 1'-0" WEST: 0'-0"
REAR YARD SETBACK §134 §134(2)(c) §134(c)(1)	45% OF THE LOT DEPTH, HOWEVER, REDUCTION IN REAR SETBACK ALLOWED TO AVERAGE BETWEEN DEPTHS OF THE REAR BUILDING WALLS OF THE TWO ADJACENT BUILDING. UNDER NO CIRCUMSTANCES SHALL THE MINIMUM REAR YARD BE REDUCED TO LESS THAN 25% OF LOT DEPTH, OR NO LESS THAN 15 FT. WHICHEVER IS GREATER.	39'-5" (AVERAGE BETWEEN ADJACENT LOTS)	48'-0"	39'-5" (AVERAGE BETWEEN ADJACENT LOTS)
BASIC FLOOR AREA RATIO §124	1.8 TO 1 TIMES THE LOT AREA (§124.b. IN R, NC, AND MIXED USE DISTRICTS, THE FLOOR AREA RATIO LIMITS SHALL NOT APPLY TO DWELLINGS OR TO OTHER RESIDENTIAL USES.)	N/A	N/A	N/A
USABLE OPEN SPACE §135	125 SF PER UNIT IF ALL PRIVATE; COMMON SPACE SUBSTITUTED MUST BY 1/3 GREATER	125 SF	N/A	N/A
HEIGHT LIMIT §261	USE DISTRICT HEIGHT LIMIT - 40 FT; 30 FT AT FRONT PROPERTY LINE, WHERE THE AVERAGE GROUND ELEVATION AT THE REAR LINE OF THE LOT IS LOWER BY 20 OR MORE FEET THAN AT THE FRONT LINE THE PERMITTED HEIGHT SHALL BE REDUCED TO 35'-0.	40'-0" MAX.	14'-6"	30'-0"
OFF-STREET PARKING §151	1 OFF-STREET SPACE FOR EACH SINGLE-FAMILY DWELLING UNIT	2 SPACES	0 SPACES	2 SPACES
STREET TREE §138.1(c)(1)	STREET TREES SHALL BE REQUIRED UNDER THE FOLLOWING CONDITIONS: CONSTRUCTION OF A NEW BUILDING; RELOCATION OF A BUILDING; THE ADDITION OF GROSS FLOOR AREA EQUAL TO 20% OR MORE OF THE GROSS FLOOR AREA OF AN EXISTING BUILDING; THE ADDITION OF A NEW DWELLING UNIT, A GARAGE, OR ADDITIONAL PARKING; OR PAVING OR REPAVING MORE THAN 200 SQUARE FEET OF THE FRONT SETBACK	1 TREE	0 TREE	1 TREE
PERMITTED OBSTRUCTIONS §136	SEE DRAWINGS	N/A	N/A	SEE DRAWINGS



NO.	DATE:	SUBMISSION:
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE ARCHITECTS, INC.
 2601 Mission St., 400A
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com

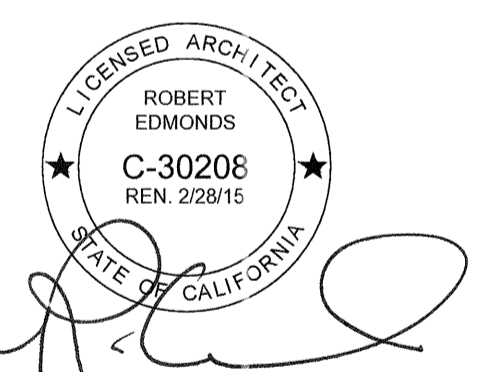
APPROVED
 Dept. of Building Insp.

SEP 15 2014
 Tom C. Hui
 TOM C. HUI, S.E.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

Jonathan Chiu, DBI
 JUL 03 2014

SITE PERMIT REVISION
 MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
 456 27TH STREET
 SAN FRANCISCO, CA 94131

DRAWING:
(N) SITE PLAN

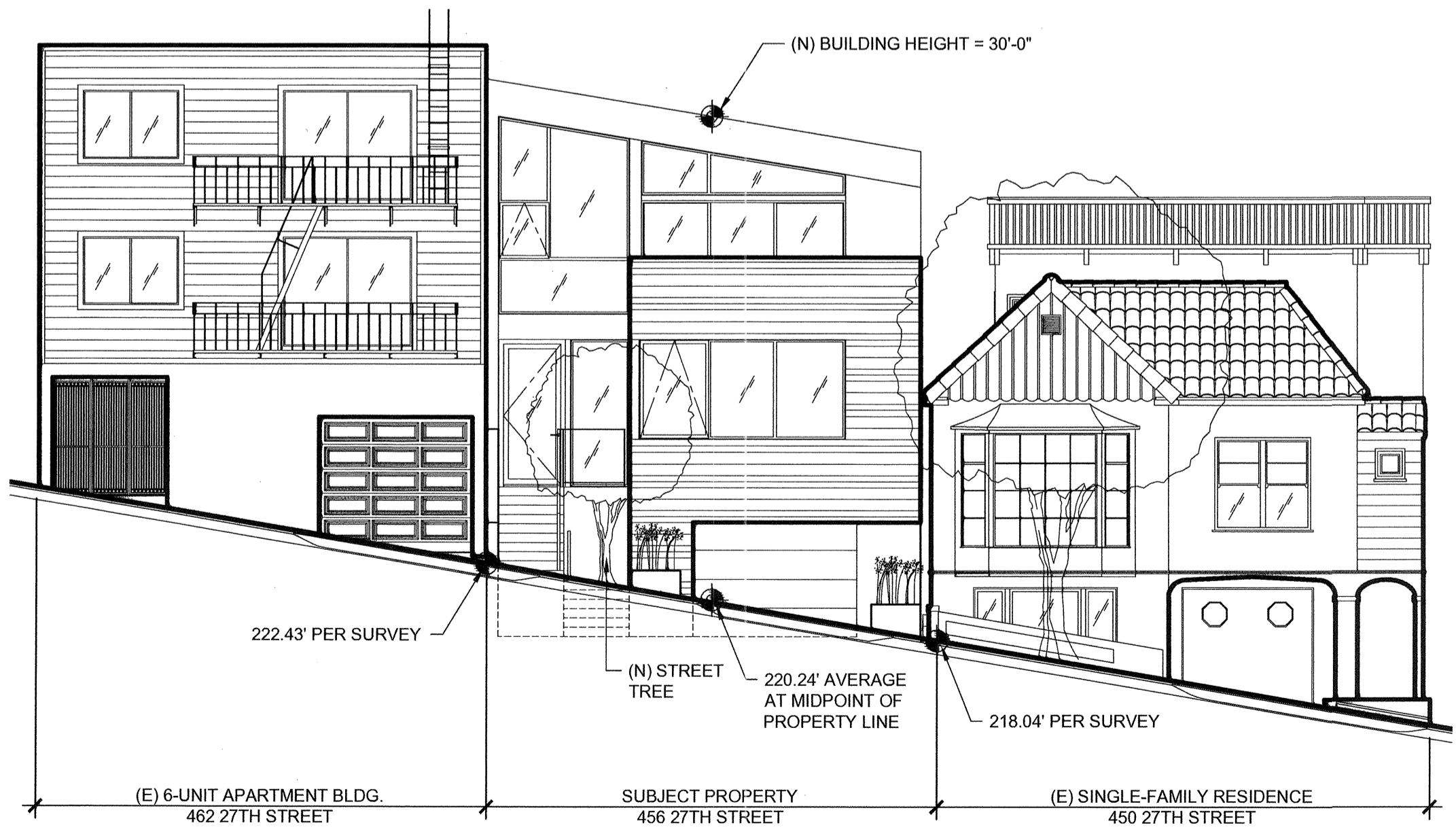
SCALE:	1/8" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
 JUL 15 2014

A0.11

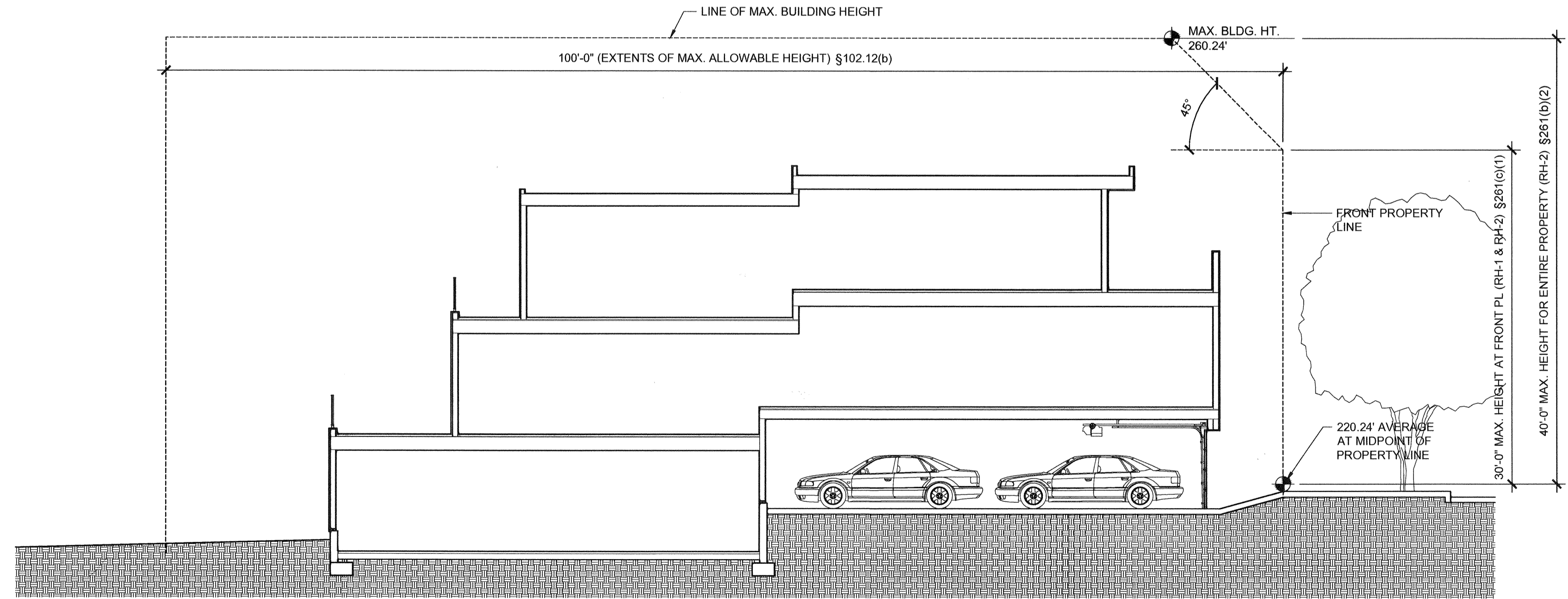
t.c.w. JUN 02 2014
 Approved Planning Dept. Tom Wang

04 SF PLANNING STANDARDS
 SCALE: 1/8" = 1'-0"



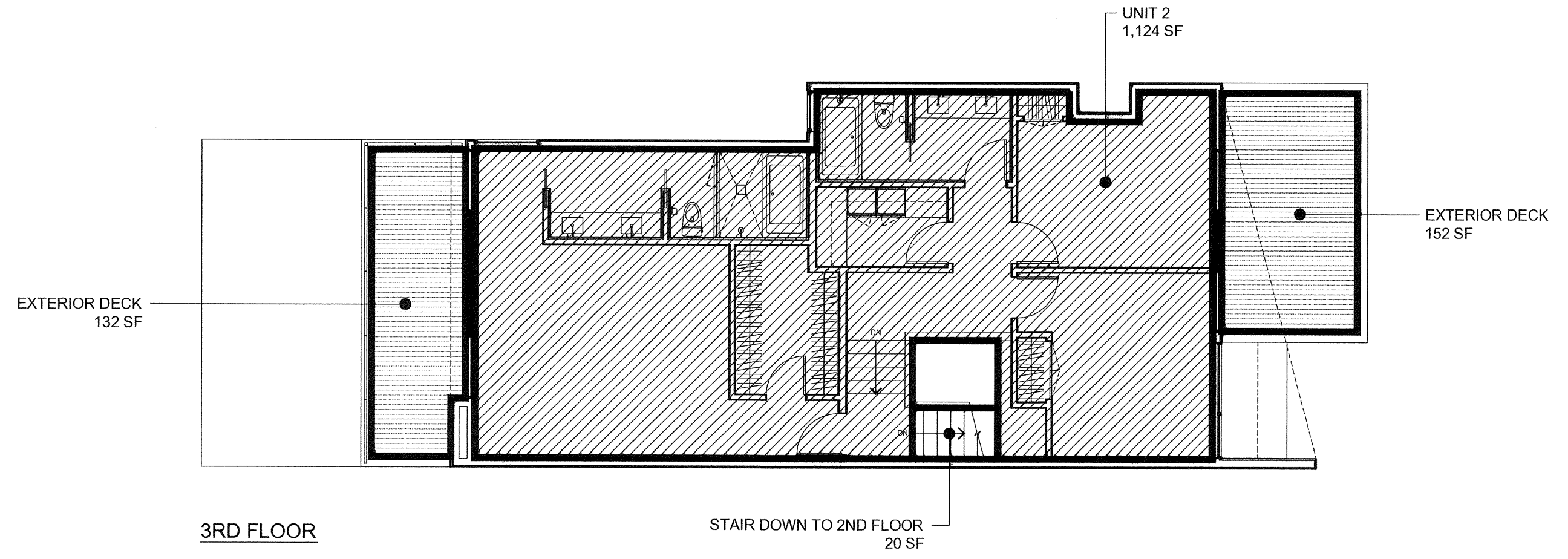
02 (NEW) 27TH STREET ELEVATION
 SCALE: 1/8" = 1'-0"

03 (NEW) SITE / PLOT PLAN
 SCALE: 1/8" = 1'-0"



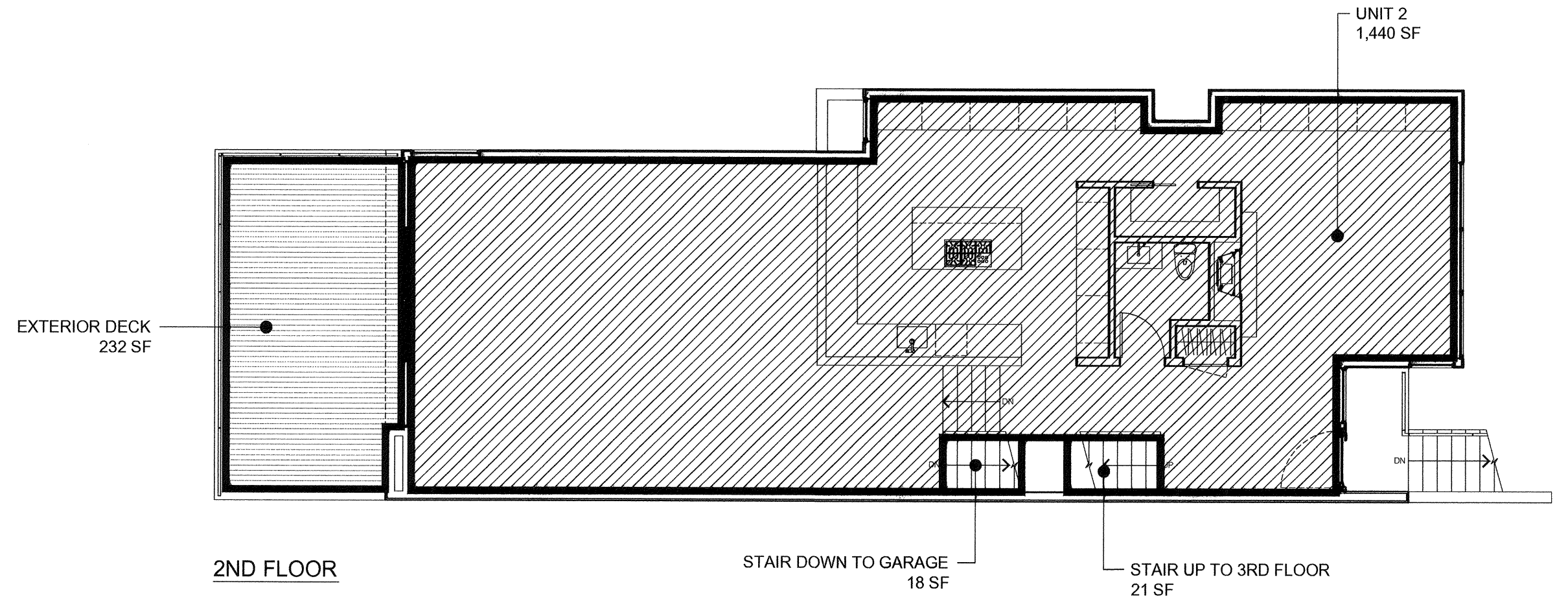
01 (NEW) BUILDING HEIGHT DIAGRAM
 SCALE: 1/8" = 1'-0"

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02



EDMONDS + LEE ARCHITECTS, INC.
 2601 Mission St., 400A
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com

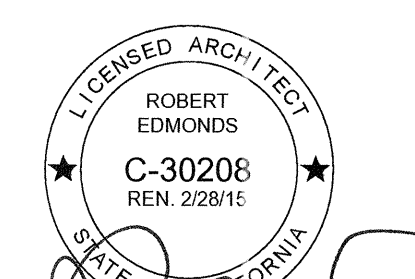
APPROVED
 Dept. of Building Insp.
 SEP 15 2014
 Tom C. Hui
 TOM C. HUI, S.E.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION



Jonathan Chiu, DBI
 JUL 03 2014

SITE PERMIT REVISION
 MAY 28 2014

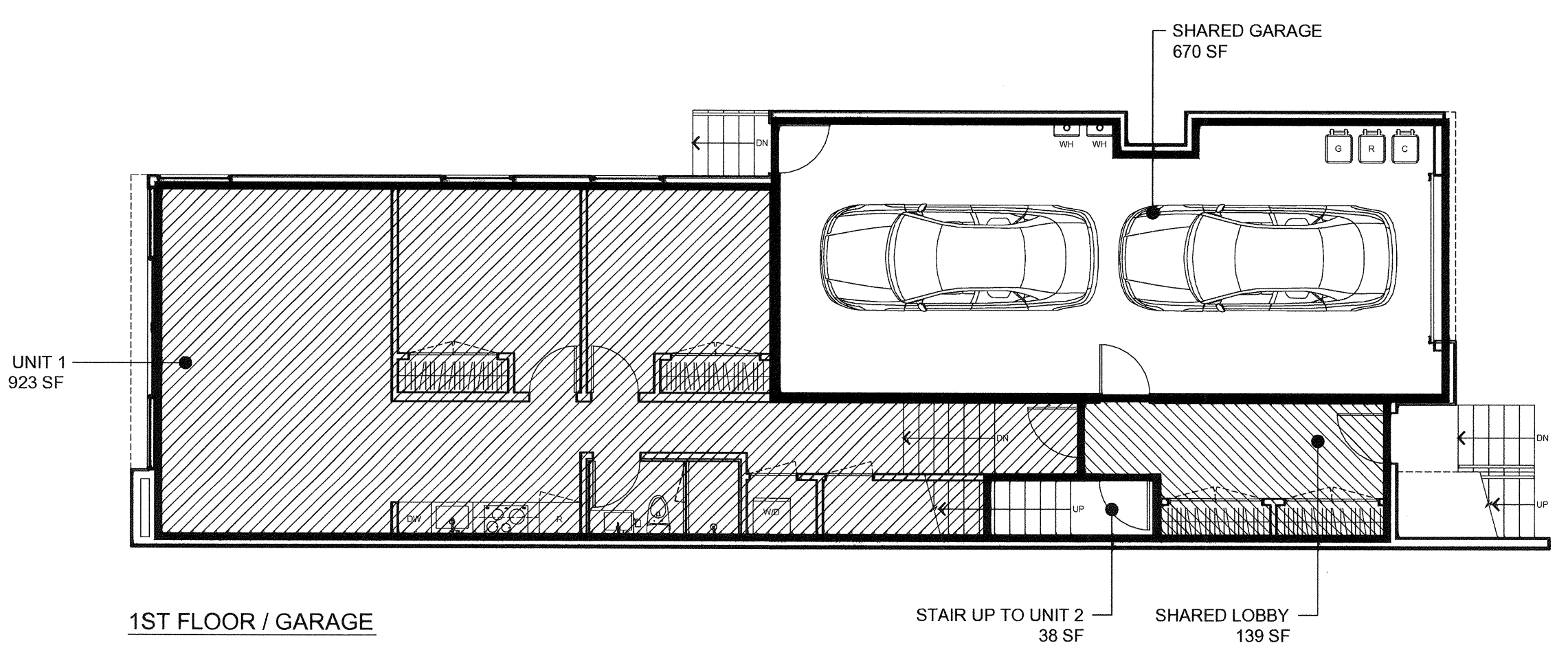
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
 456 27TH STREET
 SAN FRANCISCO, CA 94131

DRAWING:
FLOOR AREA CALCULATIONS

SCALE:	1/8" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	



Roger Ng, SFFD
 JUN 15 2014

01 FLOOR AREA CALCULATIONS
 SCALE: 1/8" = 1'-0"

DESCRIPTION	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
UNIT 1	923	0	0	923 SF
UNIT 2	38	1,479	1,144	2,661 SF
TOTAL	961 SF	1,479 SF	1,144 SF	3,584 SF

DESCRIPTION	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
SHARED SPACE	809	0	0	809 SF
EXTERIOR DECK	0	232	284	516 SF

HABITABLE AREA = 3,723 S.F.
 R.E. 07.03.14

t.c.w. JUN 02 2014
 Approved Planning Dept. Tom Wang

A0.12

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondsllee.com

APPROVED
Dept. of Building Insp.
SEP 15 2014
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

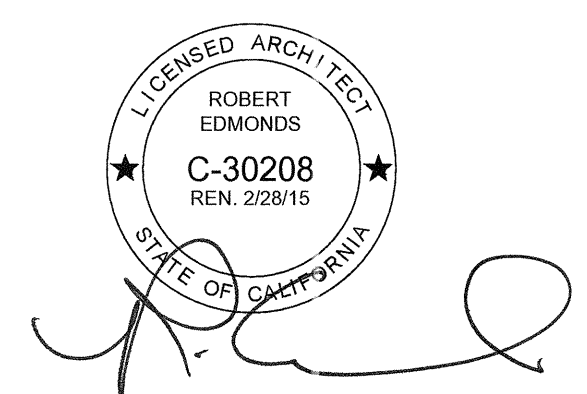
Jonathan Chiu, DBI
JUL 03 2014

SITE PERMIT REVISION
MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

WALL LEGEND:

	WALL TO DEMOLISH
	(EXIST.) WALL
	(NEW) WALL
	1-HR WALL
	2-HR WALL

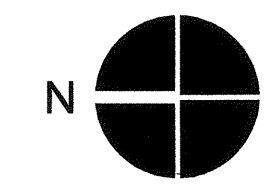


PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
FLOOR PLAN
(EXISTING) DEMOLITION
1ST FLOOR

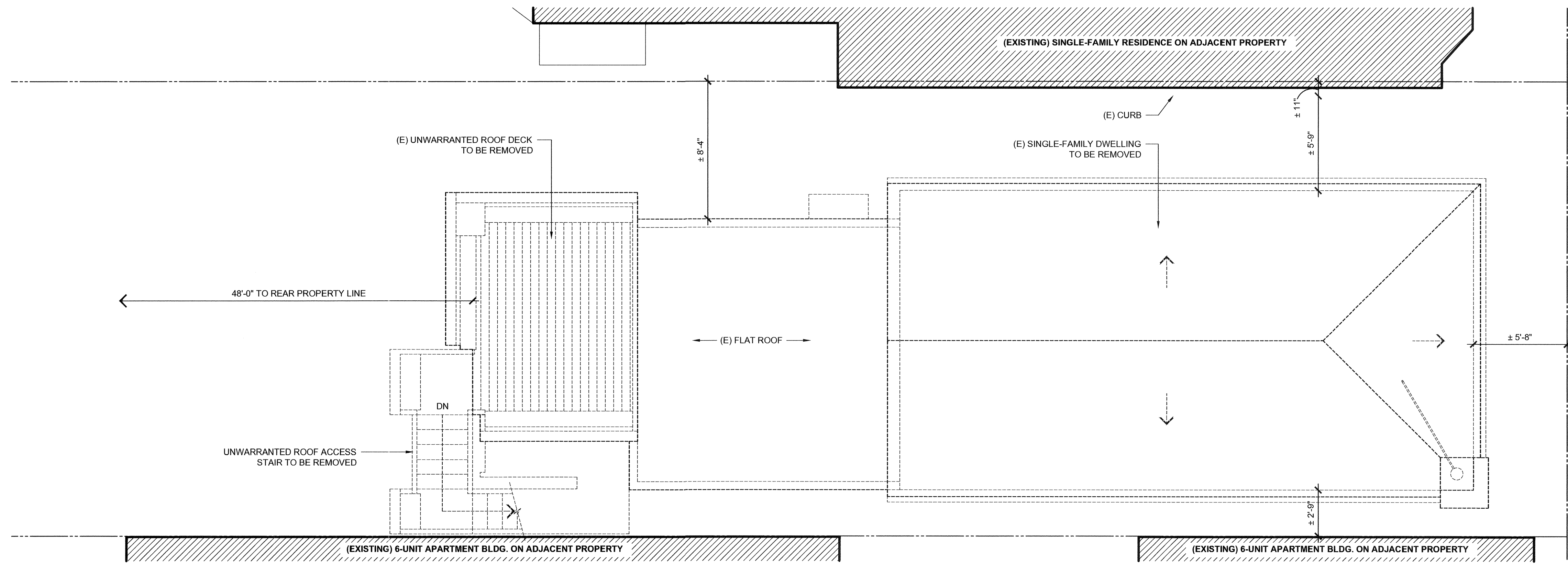
SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
JUL 15 2014

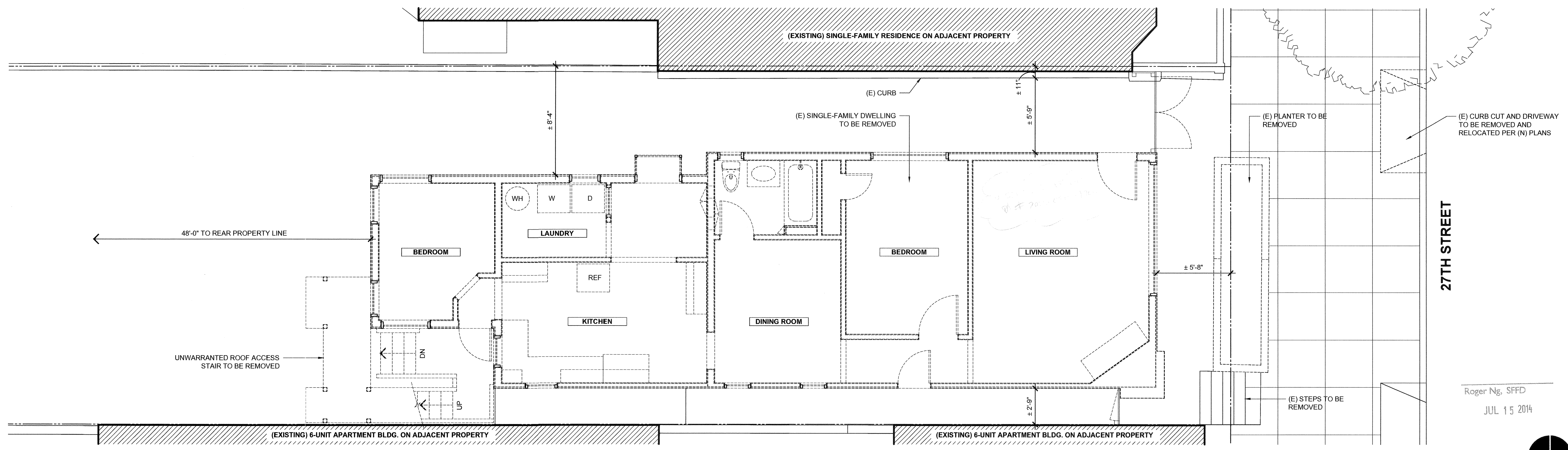


A1.01

t.c.w. JUN 02 2014
Approved Planning Dept. Tom Wang



02 (EXISTING) ROOF DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



01 (EXISTING) 1ST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

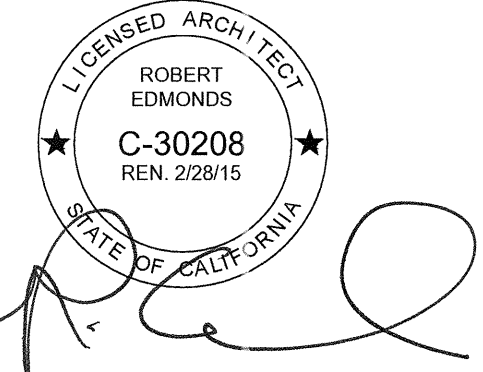
EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslae.com

APPROVED
Dept. of Building Insp.
SEP 15 2014
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT REVISION
MAY 28 2014
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

WALL LEGEND:

--- (Dashed)	WALL TO DEMOLISH
- - - - (Dotted)	(EXIST.) WALL
— (Solid)	(NEW) WALL
▬▬▬▬ (Dashed)	1-HR WALL
▬▬▬▬▬▬ (Dotted)	2-HR WALL

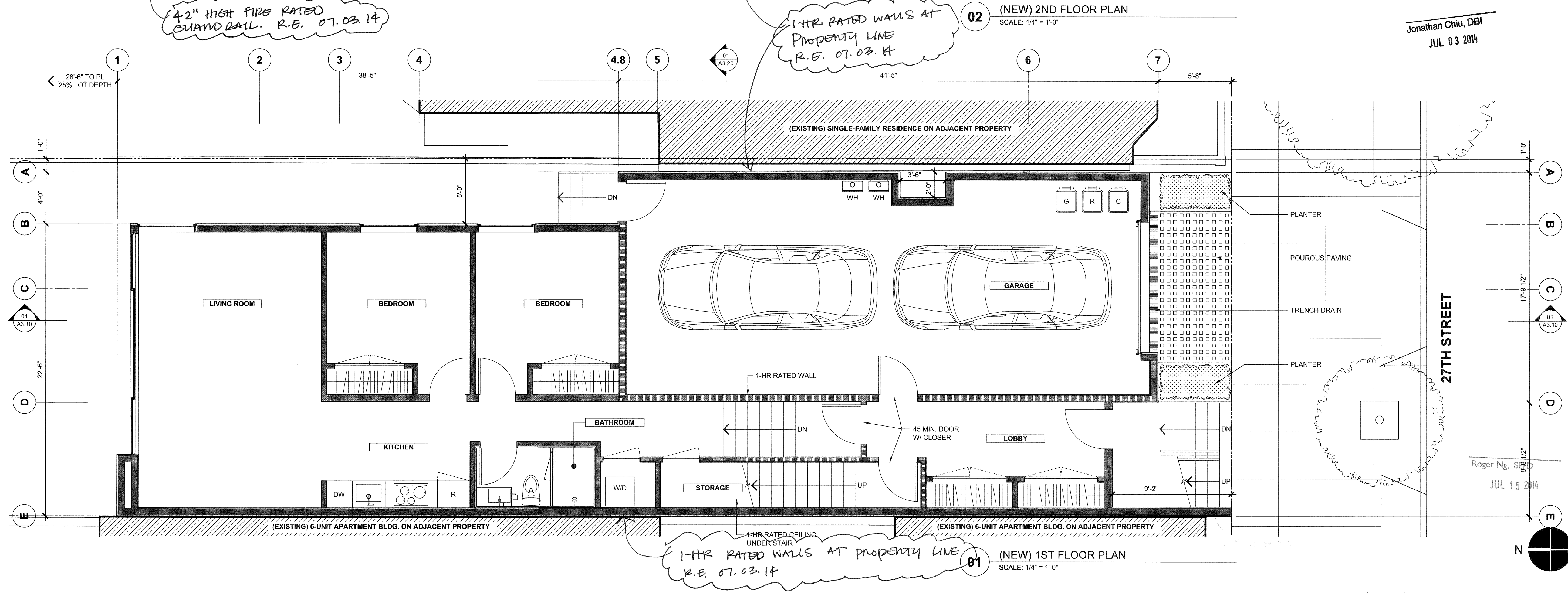
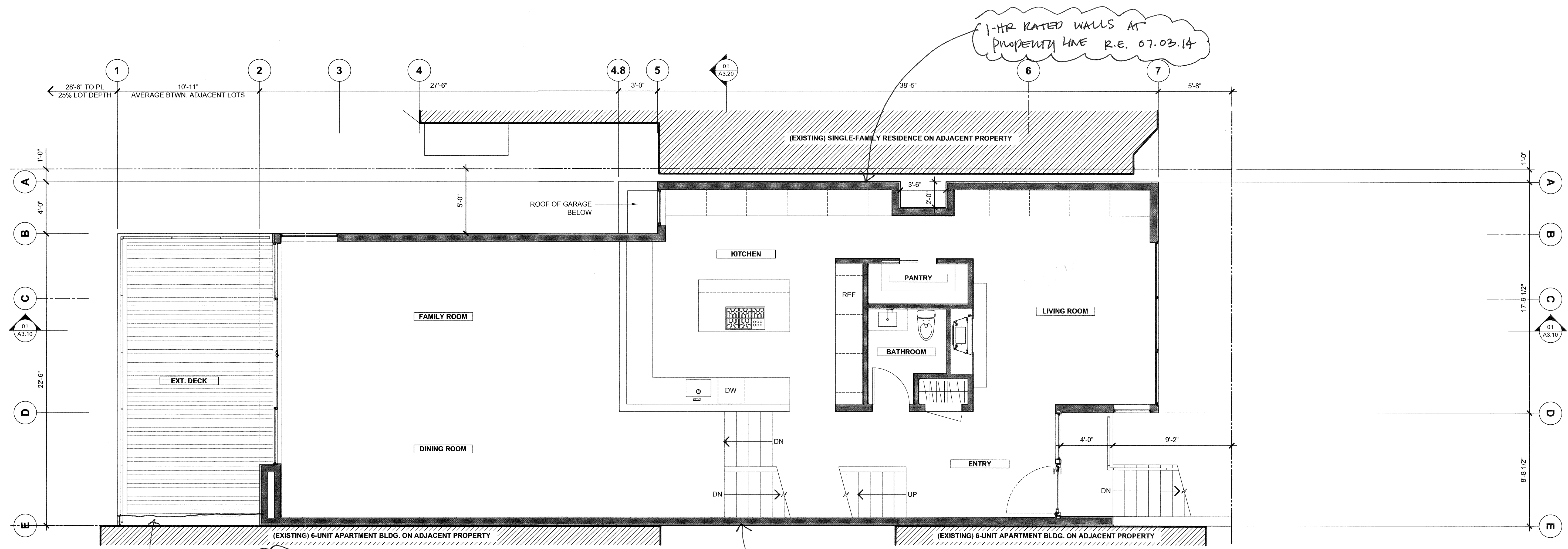


PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
FLOOR PLAN - (NEW)

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.:	2012.03
DRAWN:	
CAD FILE:	

A1.11



Jonathan Chiu, DBI
JUL 03 2014

Roger Ng, S.E.
JUL 15 2014

t.c.w.
JUN 02 2014
Approved Planning Dept. Tom Wang

NO.	DATE:	SUBMISSION:
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE ARCHITECTS, INC.
 2601 Mission St., 400A
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com

APPROVED
 Dept. of Building Insp.
 SEP 15 2014
 Tom C. Hui, S.E.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

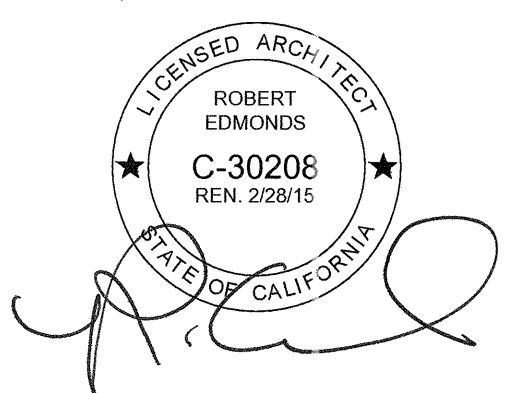
SITE PERMIT REVISION
 MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

Jonathan Chiu, DBI
 JUL 03 2014

WALL LEGEND:

	WALL TO DEMOLISH
	(EXIST.) WALL
	(NEW) WALL
	1-HR WALL
	2-HR WALL



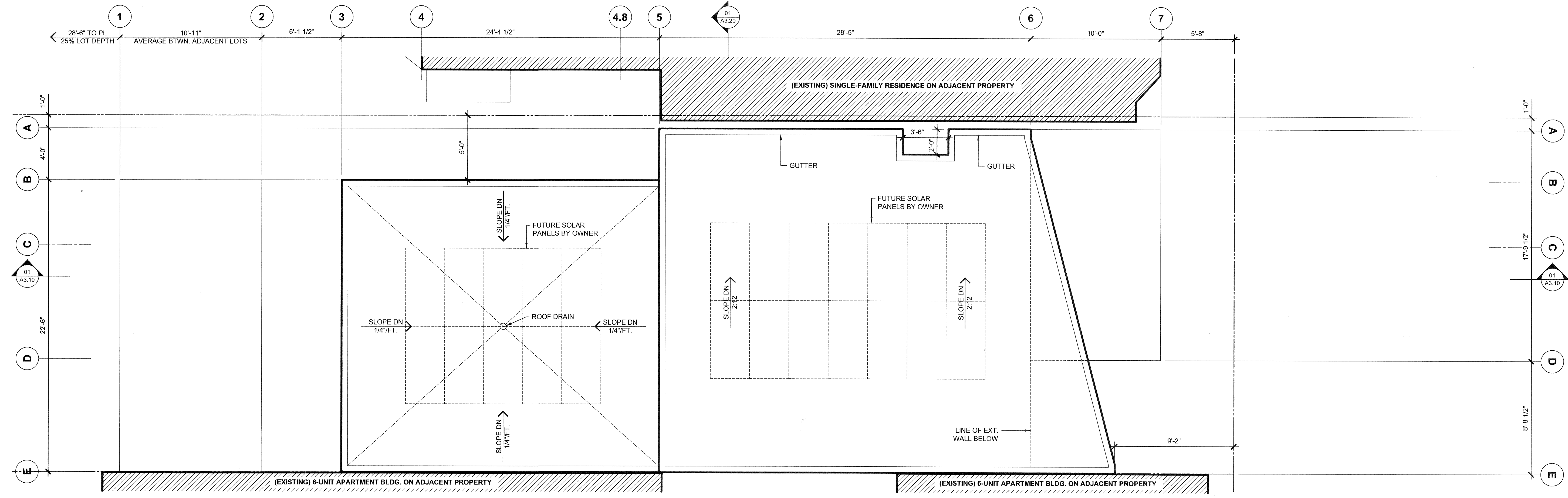
PROJECT:
 27TH ST. RESIDENCES
 456 27TH STREET
 SAN FRANCISCO, CA 94131

DRAWING:
 FLOOR PLAN - (NEW)

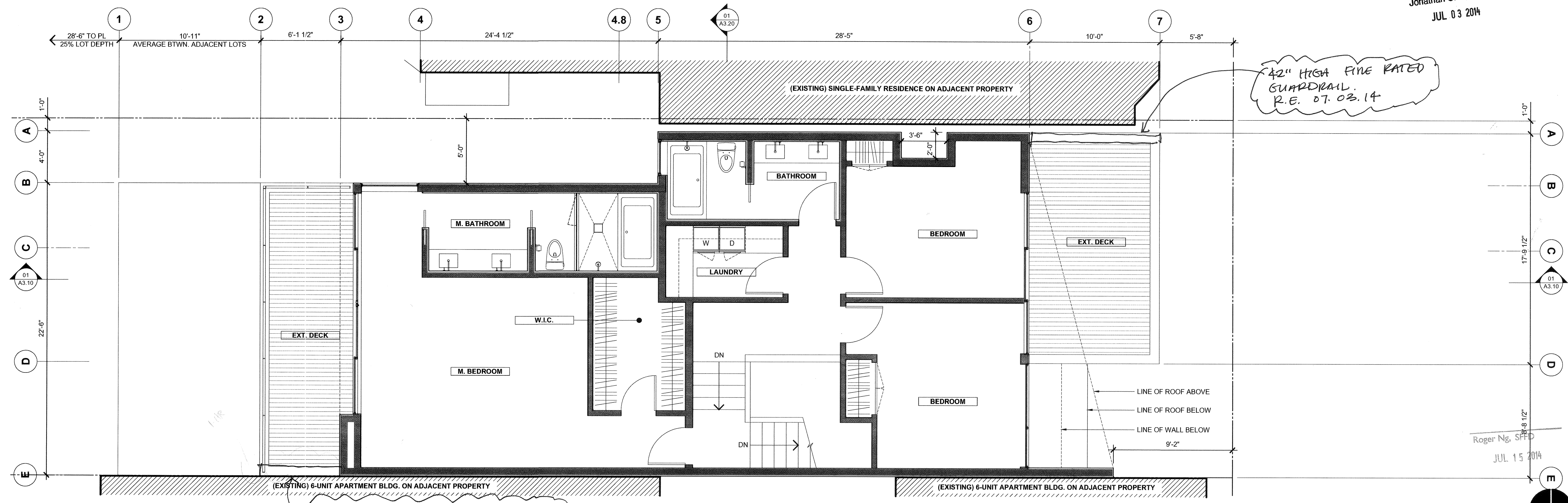
SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

A1.12

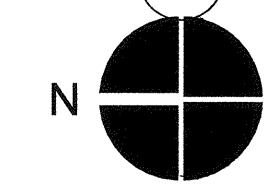
t.c.w. JUN 2 2014
 Approved Planning Dept. Tom Wang



02 (NEW) ROOF PLAN
 SCALE: 1/4" = 1'-0"

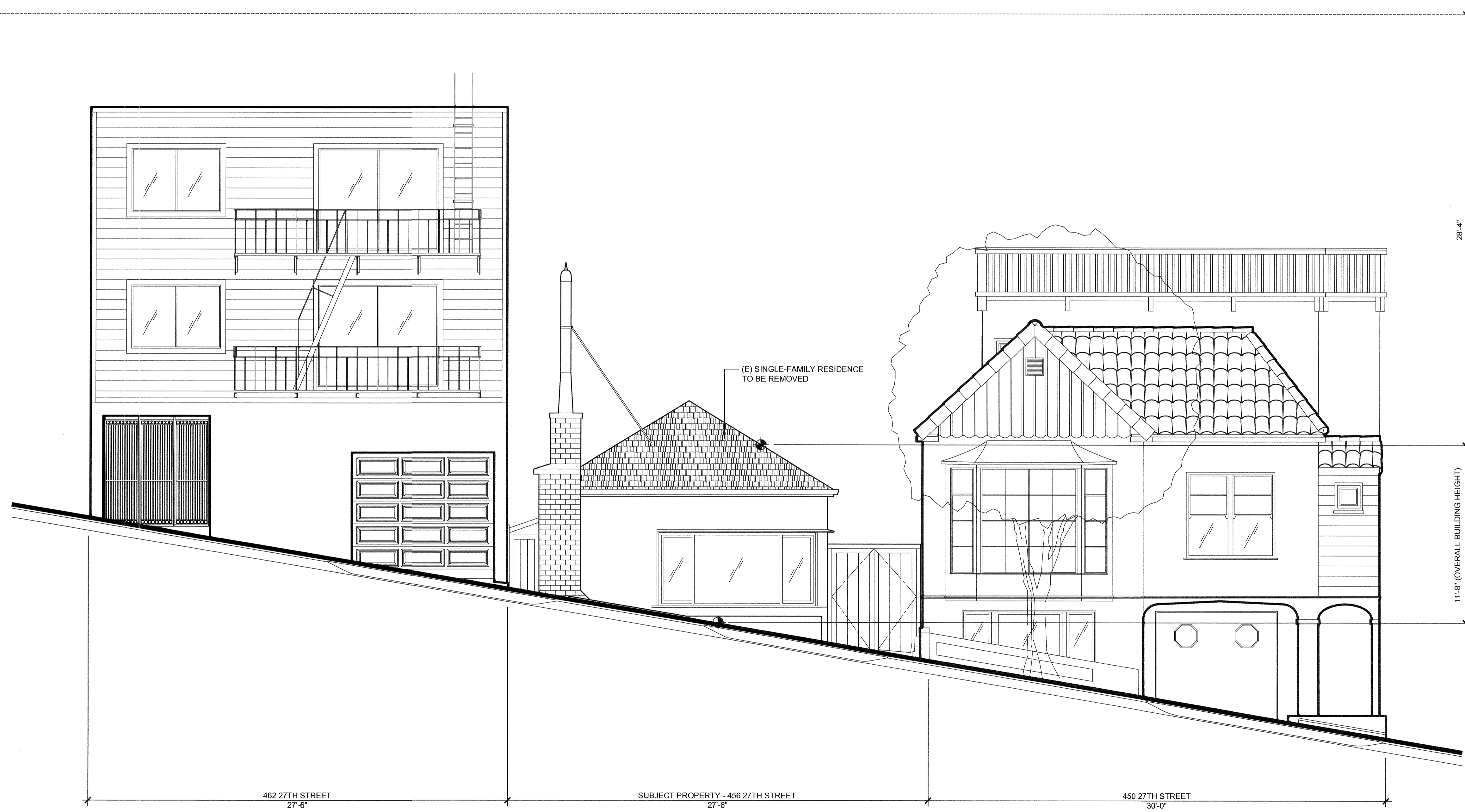


01 (NEW) 3RD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.
2401 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com



HEIGHT LIMIT (40'-0")
260'-3"

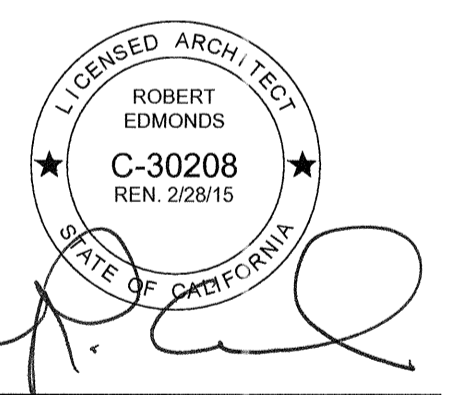
APPROVED
Dept. of Building Insp.

SEP 15 2014
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

Jonathan Chiu, DEI
JUL 03 2014

SITE PERMIT REVISION
MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
EXTERIOR ELEVATION (EXISTING)

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
JUL 15 2014

01 (EXIST.) FRONT EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

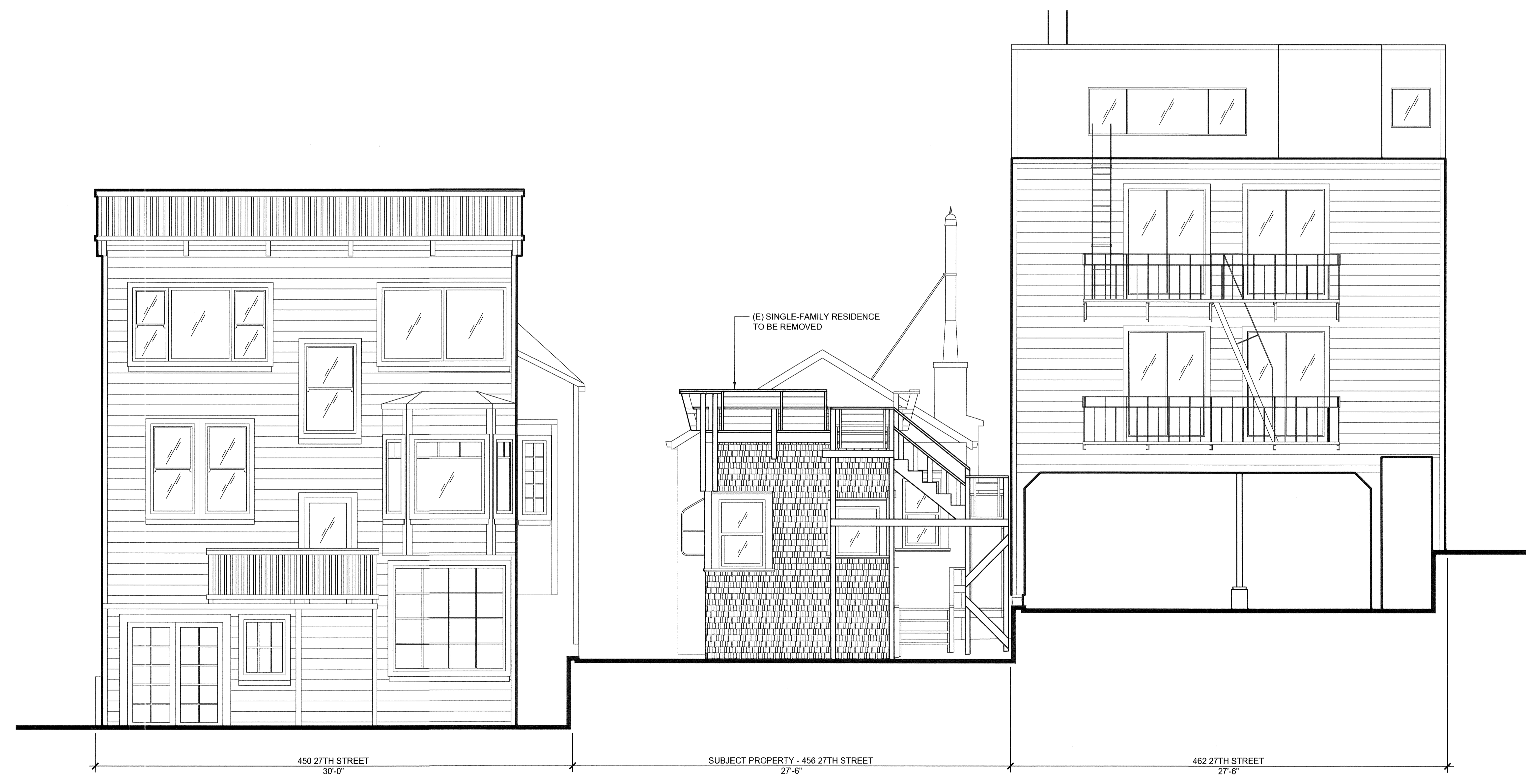
t.c.w.
JUN 02 2014
Approved Planning Dept. Tom Wang

A2.00

NO.	DATE:	SUBMISSION:
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

HEIGHT LIMIT (40'-0")
260'-3"



APPROVED
Dept. of Building Insp.

SEP 15 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

Jonathan Chiu, DBI
JUL 03 2014

**SITE PERMIT
REVISION**

MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT
ONLY. NO WORK MAY BE STARTED UNTIL
CONSTRUCTION PLANS HAVE BEEN APPROVED.

ROBERT
EDMONDS
C-30206
REN. 2/28/15
STATE OF CALIFORNIA

PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
EXTERIOR ELEVATION
(EXISTING)

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
JUL 15 2014

01 (EXIST.) REAR EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

t.c.w.
JUN 02 2014
Approved Planning Dept. Tom Wang

A2.01

NO.	DATE:	SUBMISSION:
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.

2401 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

HEIGHT LIMIT (40'-0")
260'-3"

APPROVED
Dept. of Building Insp.

SEP 15 2014

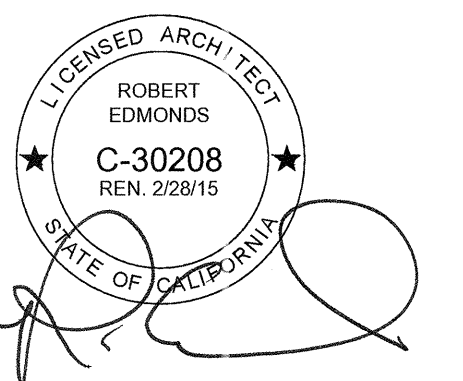
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

Jonathan Chiu, DBI
JUL 03 2014

**SITE PERMIT
REVISION**

MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT
ONLY. NO WORK MAY BE STARTED UNTIL
CONSTRUCTION PLANS HAVE BEEN APPROVED.

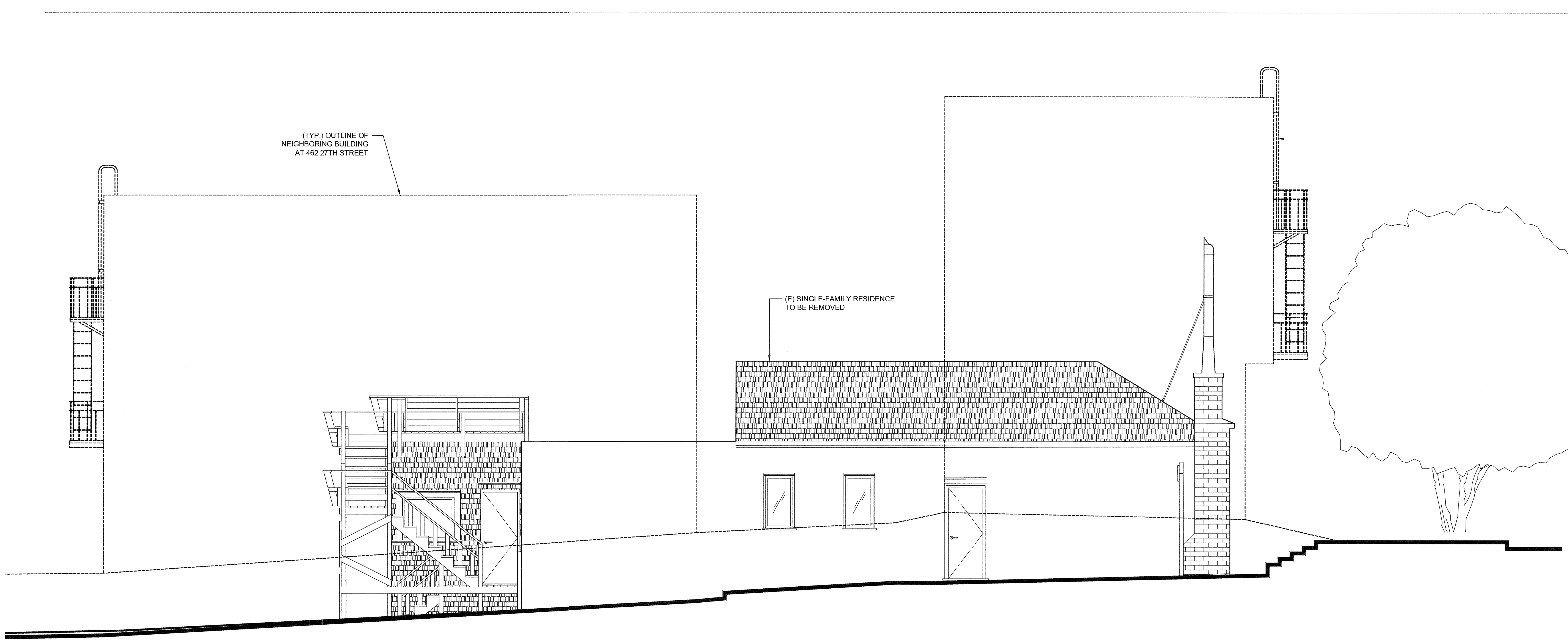


PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
**EXTERIOR ELEVATION
(EXISTING)**

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
JUL 15 2014



01 (EXIST.) SIDE EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"

t.w. JUN 02 2014
Approved Planning Dept. Tom Wang

A2.02

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

HEIGHT LIMIT (40'-0")
260'-3"

APPROVED
Dept. of Building Insp.

SEP 15 2014

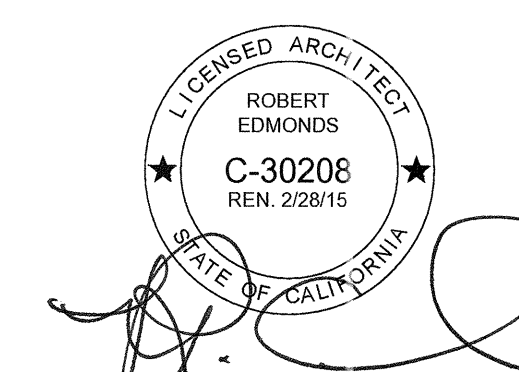
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

Jonathan Chiu, DBI
JUL 03 2014

**SITE PERMIT
REVISION**

MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT
ONLY. NO WORK MAY BE STARTED UNTIL
CONSTRUCTION PLANS HAVE BEEN APPROVED.



(E) ROOF HT.
231'-11"

LOT MID-POINT
220'-3"
(E) F.F. FRONT
219'-0"

PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
EXTERIOR ELEVATION
(EXISTING)

SCALE: 1/4" = 1'-0"

DATE: MAY 1, 2014

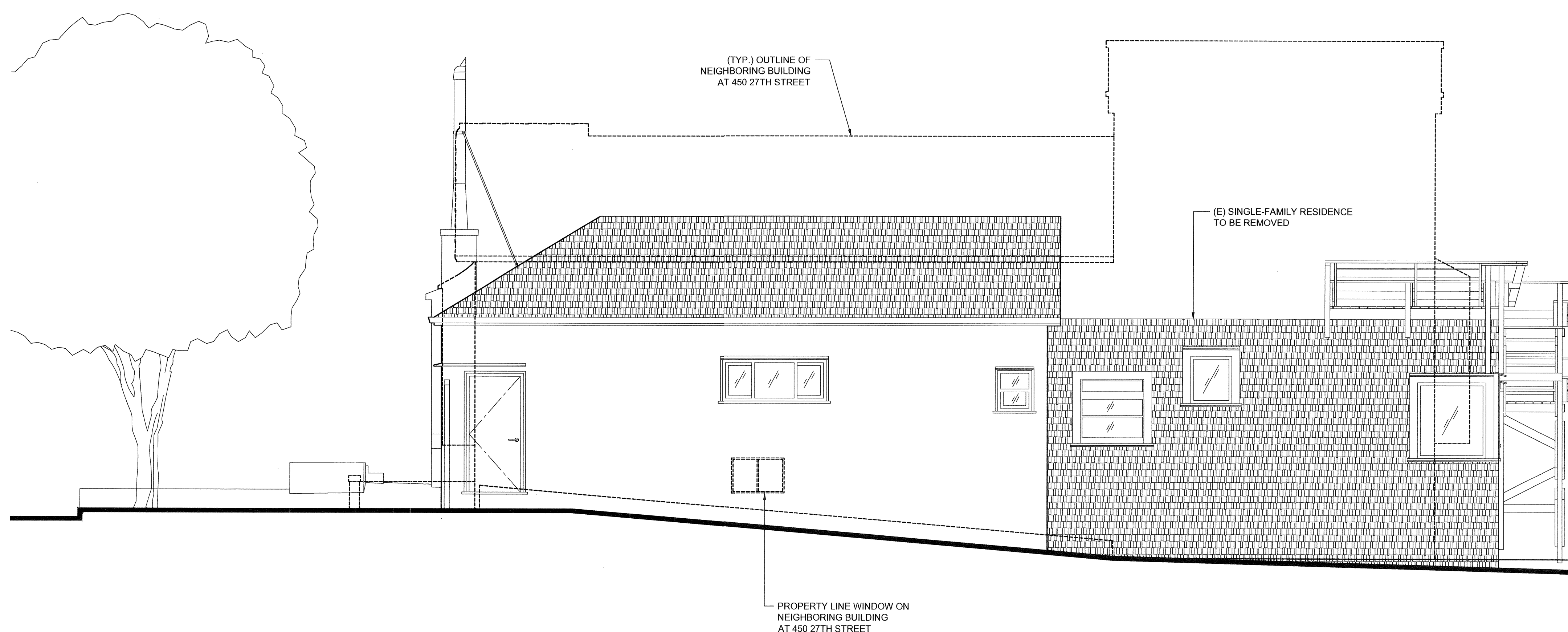
JOB NO. 2012.03

DRAWN:

CAD FILE:

Roger Ng, SFFD
JUL 15 2014

A2.03



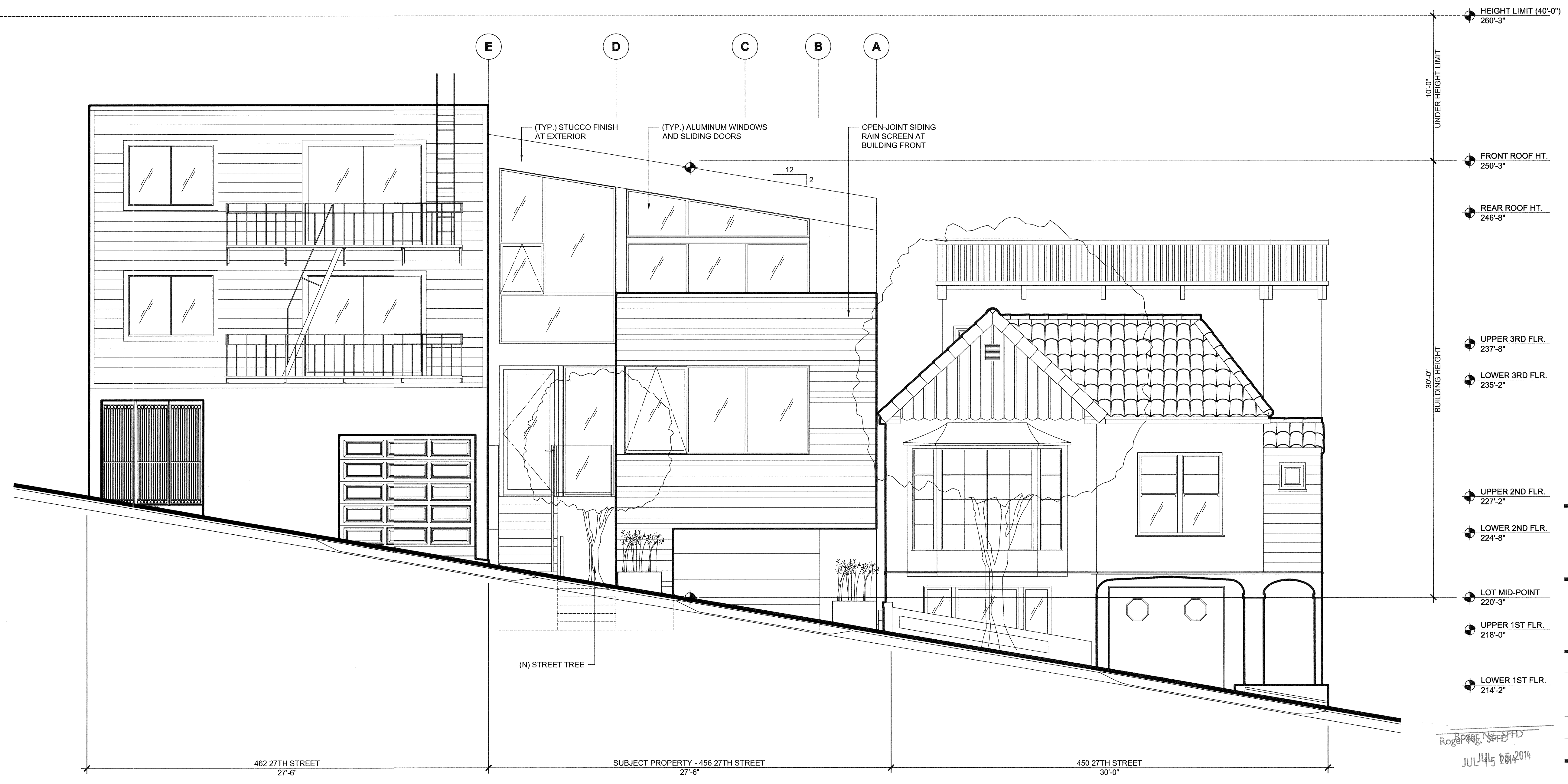
01 (EXIST.) SIDE EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"

t.c.w. JUN 02 2014
Approved Planning Dept. Tom Wang

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

Jonathan Chiu, DBI
JUL 03 2014

EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslae.com



APPROVED
Dept. of Building Insp.
SEP 15 2014
Tom C. Hu
TOM C. HU, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT REVISION
MAY 28 2014
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

LICENSED ARCHITECT
ROBERT EDMONDS
C-30208
REN. 2/28/15
STATE OF CALIFORNIA

PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
EXTERIOR ELEVATION (NEW)

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

- HEIGHT LIMIT (40'-0") 260'-3"
- 10'-0" UNDER HEIGHT LIMIT
- FRONT ROOF HT. 250'-3"
- REAR ROOF HT. 248'-8"
- 30'-0" BUILDING HEIGHT
- UPPER 3RD FLR. 237'-8"
- LOWER 3RD FLR. 235'-2"
- UPPER 2ND FLR. 227'-2"
- LOWER 2ND FLR. 224'-8"
- LOT MID-POINT 220'-3"
- UPPER 1ST FLR. 218'-0"
- LOWER 1ST FLR. 214'-2"

01 (NEW) FRONT EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

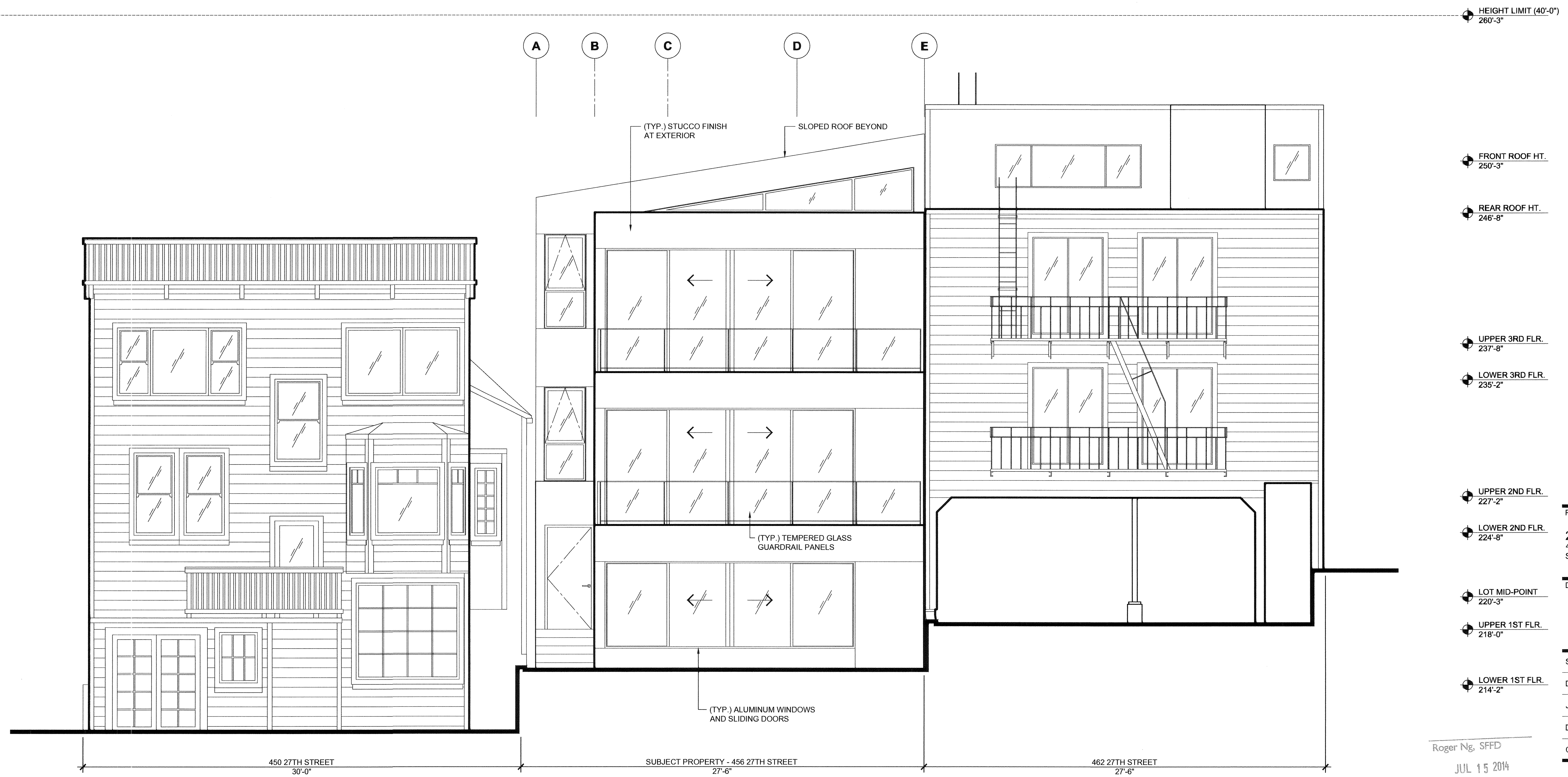
JUN 02 2014
Approved Planning Dept. Tom Wang

A2.10

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.
2401 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

Jonathan Chiu, DBI
JUL 03 2014



- HEIGHT LIMIT (40'-0") 260'-3"
- FRONT ROOF HT. 250'-3"
- REAR ROOF HT. 246'-8"
- UPPER 3RD FLR. 237'-8"
- LOWER 3RD FLR. 235'-2"
- UPPER 2ND FLR. 227'-2"
- LOWER 2ND FLR. 224'-8"
- LOT MID-POINT 220'-3"
- UPPER 1ST FLR. 218'-0"
- LOWER 1ST FLR. 214'-2"

APPROVED
Dept. of Building Insp.

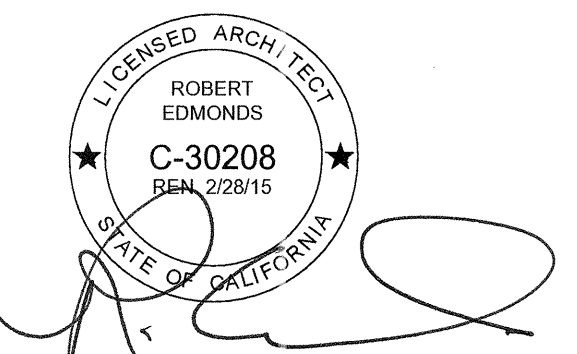
SEP 15 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT REVISION

MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
EXTERIOR ELEVATION (NEW)

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFPD
JUL 15 2014

01 (NEW) REAR EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

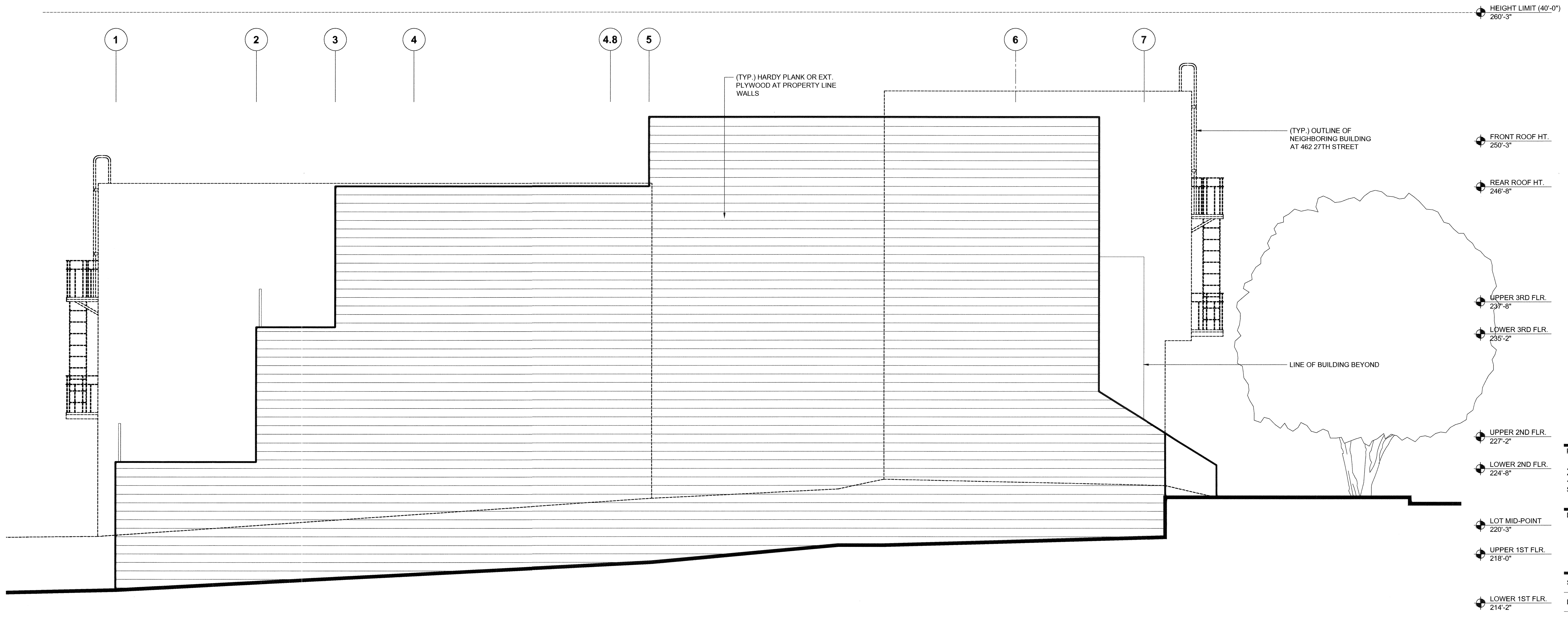
t.c.w. JUN 02 2014
Approved Planning Dept. Tom Weng

A2.11

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

Jonathan Chiu, DBI
JUL 03 2014



APPROVED
Dept. of Building Insp.

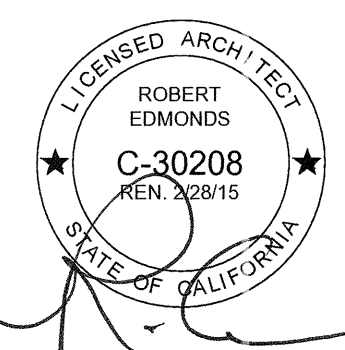
SEP 15 2014

Tom C. Hu
TOM C. HU, E.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT REVISION

MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
EXTERIOR ELEVATION (NEW)

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
JUL 15 2014

01 (NEW) SIDE EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"

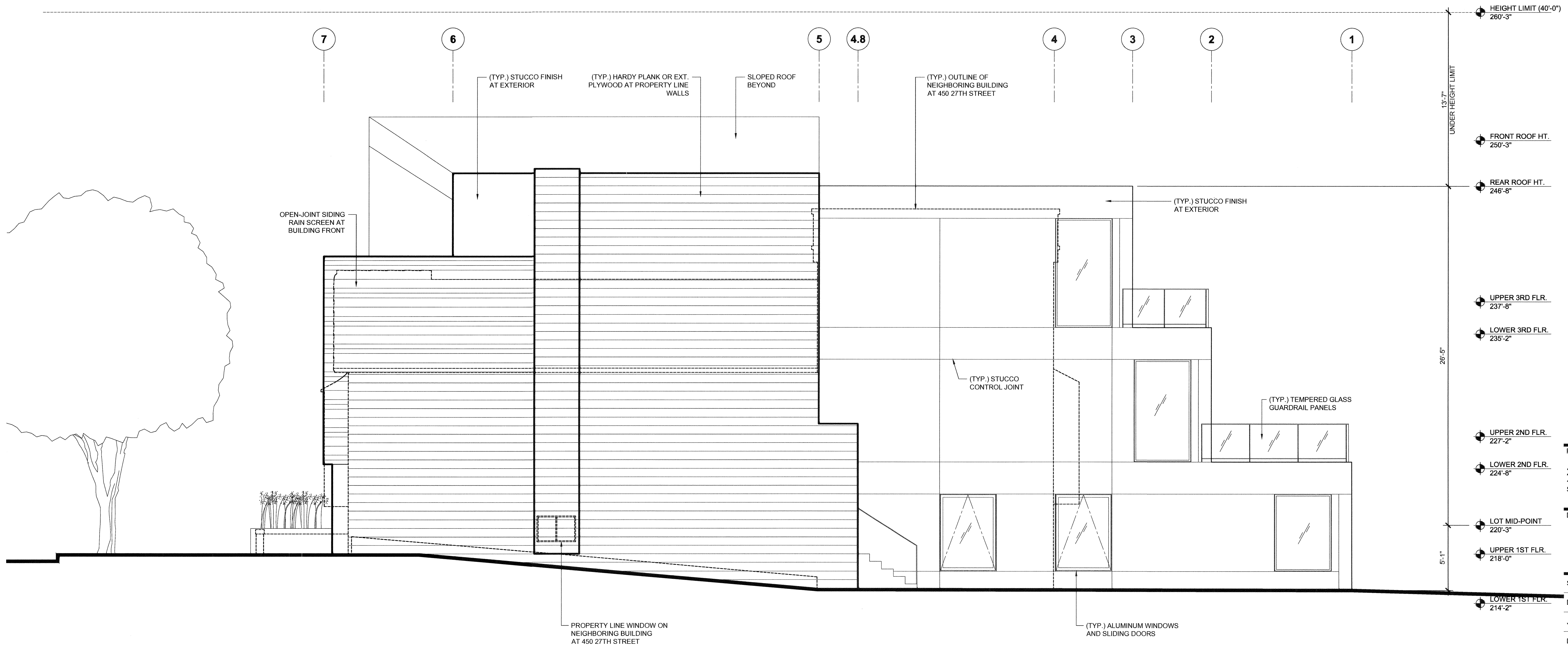
t.c.w. JUN 02 2014
Approved Planning Dept. Tom Wang

A2.12

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

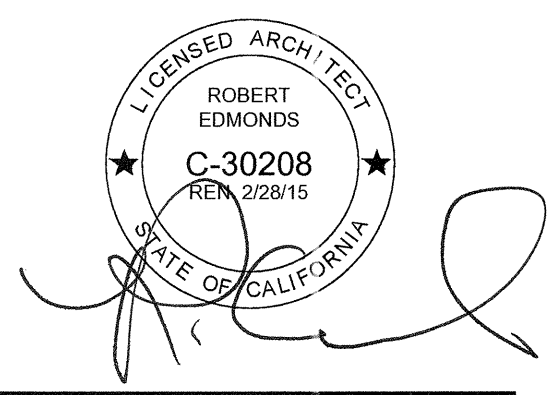
Jonathan Chiu, DBI
JUL 03 2014



APPROVED
Dept. of Building Insp.

SEP 15 2014
Tom C. Hu
TOM C. HU, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT
REVISION
MAY 28 2014
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
EXTERIOR ELEVATION
(NEW)

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
JUL 15 2014

01 (NEW) SIDE EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"

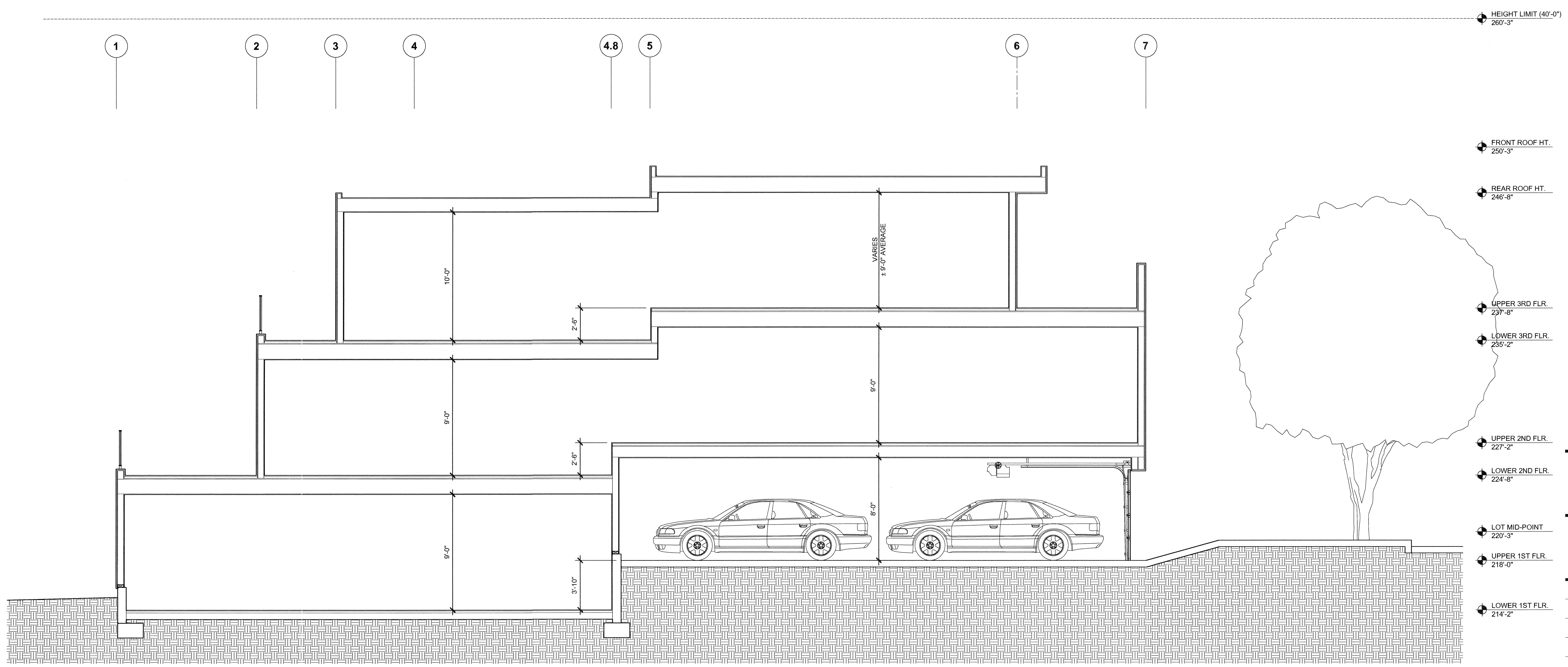
t.c.w. JUN 02 2014
Approved Planning Dept. Tom Wang

A2.13

NO.	DATE	SUBMISSION
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslae.com

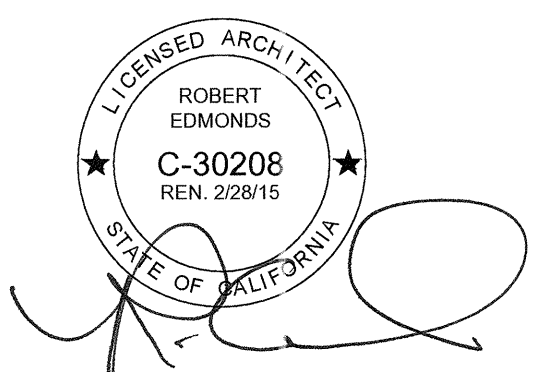
Jonathan Chiu, DBI
JUL 03 2014



- HEIGHT LIMIT (40'-0")
260'-3"
- FRONT ROOF HT.
250'-3"
- REAR ROOF HT.
246'-8"
- UPPER 3RD FLR.
237'-8"
- LOWER 3RD FLR.
235'-2"
- UPPER 2ND FLR.
227'-2"
- LOWER 2ND FLR.
224'-8"
- LOT MID-POINT
220'-3"
- UPPER 1ST FLR.
218'-0"
- LOWER 1ST FLR.
214'-2"

APPROVED
Dept. of Building Insp.
SEP 13 2014
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT REVISION
MAY 28 2014
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
BUILDING SECTION (NEW)

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
JUL 15 2014

01 (NEW) BUILDING SECTION
SCALE: 1/4" = 1'-0"

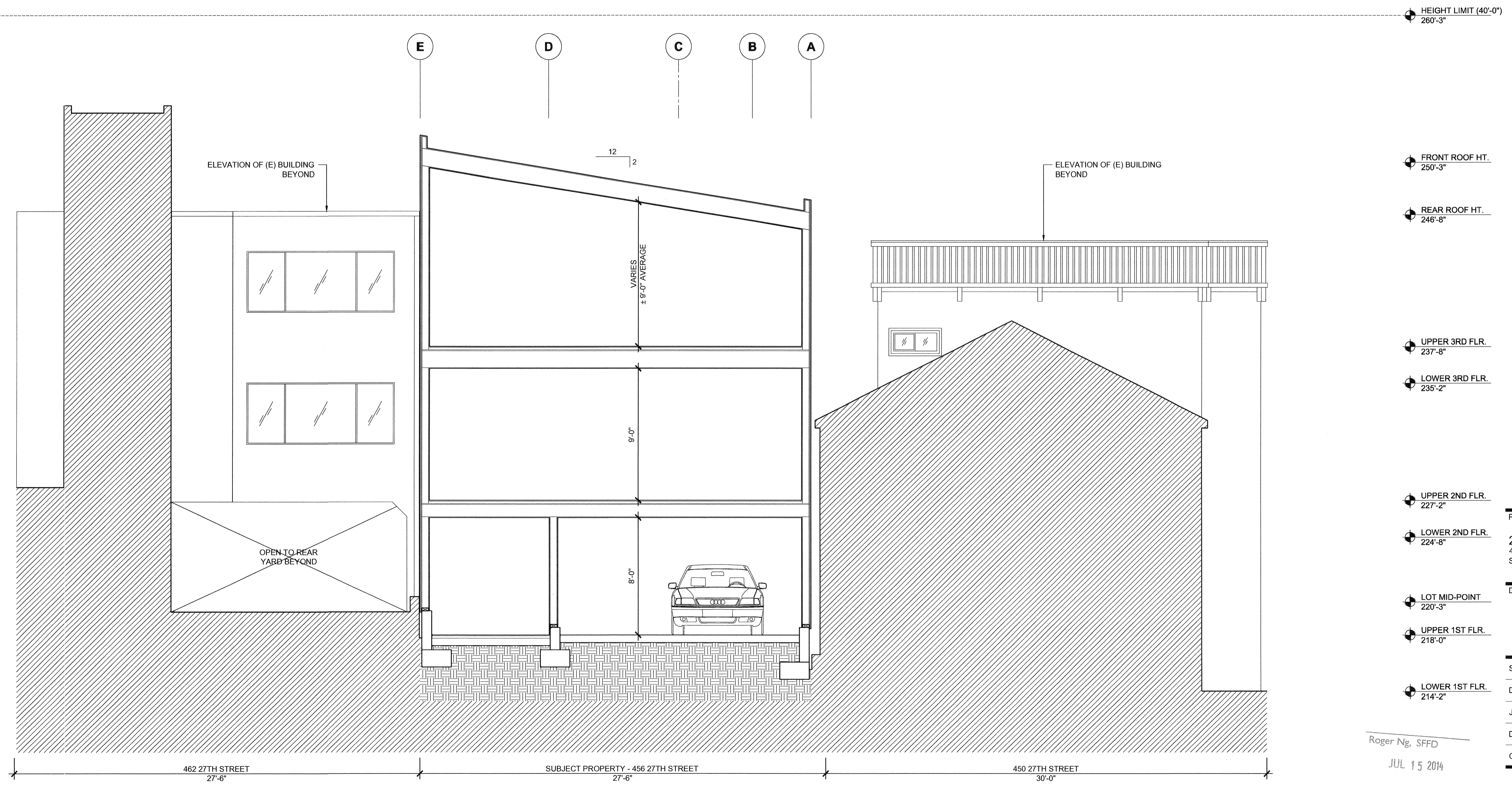
t.c.w.
Approved Planning Dept. Tom Wang
JUN 02 2014

A3.10

NO:	DATE:	SUBMISSION:
01	03.11.13	SITE PERMIT
02	11.07.13	ADDENDUM 01
03	05.01.14	ADDENDUM 02

Jonathan Chiu, DBI
JUL 03 2014

EDMONDS + LEE
ARCHITECTS, INC.
2601 Mission St., 400A
San Francisco, CA. 94110
T 415 . 285 . 1300
www.edmondslee.com



APPROVED
Dept. of Building Insp.

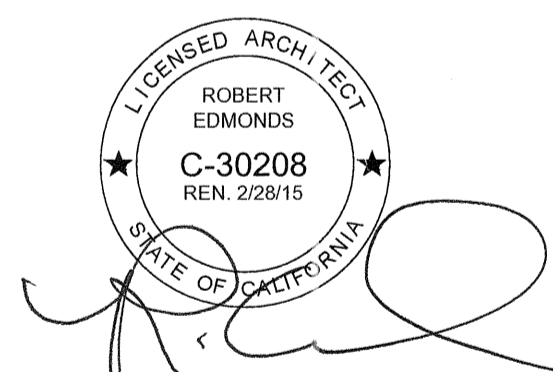
SEP 15 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

**SITE PERMIT
REVISION**

MAY 28 2014

THIS APPLICATION SUBMITTED FOR SITE PERMIT
ONLY. NO WORK MAY BE STARTED UNTIL
CONSTRUCTION PLANS HAVE BEEN APPROVED.



PROJECT:
27TH ST. RESIDENCES
456 27TH STREET
SAN FRANCISCO, CA 94131

DRAWING:
**BUILDING SECTION
(NEW)**

SCALE:	1/4" = 1'-0"
DATE:	MAY 1, 2014
JOB NO.	2012.03
DRAWN:	
CAD FILE:	

Roger Ng, SFFD
JUL 15 2014

01 (NEW) BUILDING SECTION
SCALE: 1/4" = 1'-0"

t.c.w. JUN 02 2014
Approved Planning Dept. Tom Wang

A3.20



SAN FRANCISCO PLANNING DEPARTMENT

APPEAL # 14-170

Discretionary Review Action DRA-0366

HEARING DATE: MAY 22ND, 2014

BOARD OF APPEALS

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

OCT 03 2014

APPEAL # 14-170

Fax:
415.558.6409

Date: May 29th, 2014
Case No.: 2013.0344D/2014.0671D
Project Address: 456 27th Street
Building Permit: 2013.03.11.1908 + 2013.03.11.1903
Zoning: RH-2 (Residential, House, Two-Family) District
 40-X Height and Bulk District
Block/Lot: 6580/018
Project Sponsor: Edmonds + Lee Architects, Inc.
 2601 Mission Street, Suite 400A
 San Francisco, CA 94110
Staff Contact: Tom Wang - (415) 558-6335
thomas.wang@sfgov.org

Planning
Information:
415.558.6377

ADOPTING FINDINGS RELATED TO NOT TAKING DISCRETIONARY REVIEW OF CASE NO. 2013.0344D AND 2014.0671D AND THE APPROVAL OF DEMOLITION PERMIT 2013.03.11.1908 AND BUILDING PERMIT 2013.03.11.1903, PROPOSING DEMOLITION OF AN EXISTING ONE-STORY, SINGLE FAMILY DWELLING AND CONSTRUCTION OF A NEW THREE-STORY, TWO-FAMILY DWELLING WITHIN AN RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On March 21st, 2013 Robert Edmonds filed for Demolition Permit Application No. 2013.03.11.1908 and Building Permit Application 2013.03.11.1903, proposing demolition of an existing one-story, single family dwelling and the construction of a three-story, two-family dwelling within an RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District.

Under Planning Code Section 317, a Mandatory Discretionary Review is required. On March 22nd, 2013, Robert Edmonds (hereinafter "Discretionary Review (DR) Requestor") filed an application with the Planning Department (hereinafter "Department") for Discretionary Review (2013.0344D and 2014.0671D) of Demolition Permit Application No. 2013.03.11.1908 and Building Permit Application No. 2013.03.11.1903.

Under Case No. 2013.0327E, the existing single-family dwelling proposed for demolition was determined not to be a historic resource for the purposes of CEQA on September 20th, 2013, and the proposed two-family dwelling was issued a Categorical Exemption from Environmental Review, Classes 3 [State CEQA Guidelines Section 15301(1)(1) and 15303(a)], on September 23rd, 2013.

On May 22nd, 2014, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Discretionary Review Application 2013.0344D and 2014.0671D.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

ACTION

The Commission hereby does not take Discretionary Review requested in Application No. 2013.0344D/2014.0671D and approves the Demolition Permit Application No. 2013.03.1.1908 and Building Permit Application No. 2013.03.11.1903.

BASIS FOR RECOMMENDATION

The reasons that the Commission took the action described above include:

1. There are no extraordinary or exceptional circumstances in the case. The proposal complies with the Planning Code, the General Plan, and conforms to the Residential Design Guidelines.
2. The Commission determined that no modifications to the project were necessary and instructed staff to approve the project per plans marked Exhibit A on file with the Planning Department.

APPEAL AND EFFECTIVE DATE OF ACTION: Any aggrieved person may appeal this Building Permit Application to the Board of Appeals within fifteen (15) days after the date the permit is issued. For further information, please contact the Board of Appeals at (415) 575-6881, 1650 Mission Street # 304, San Francisco, CA, 94103-2481.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission did not take Discretionary Review and approved the demolition permit application and building permit application in reference to this action memo on May 29th, 2014.

Jonas P. Ionin
Commission Secretary

AYES: Commissioners Antonini; Borden; Fong; Hillis; Moore; Sugaya

NAYS: None

ABSENT: Commissioner Wu

ADOPTED: May 29th, 2014



**SAN FRANCISCO
PLANNING DEPARTMENT**

APPEAL # 14-170

**Discretionary Review Analysis
Residential Demolition/New Construction
HEARING DATE: MAY 22ND, 2014**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: May 15th, 2014
Case No.: 2013.0344D/2014.0671D
Project Address: 456 27th Street
Zoning: RH-2 (Residential, House, Two-Family)
 40-X Height and Bulk District
Block/Lot: 6580/018
Project Sponsors: Robert Edmonds & Vivian Lee
 Edmonds + Lee Architects, Inc.
 San Francisco, CA 94105
Staff Contact: Tom Wang – (415) 558-6335
 Thomas.wang@sfgov.org
Recommendation: Do not take DR and approve demolition and new construction as proposed.

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2013.0344D	New Building Case Number	2014.0671D
Recommendation	Do Not Take DR and Approve	Recommendation	Do Not Take DR and Approve
Demolition Application Number	2013.03.11.1908	New Building Application Number	2013.03.11.1903
Number Of Existing Units	One	Number Of New Units	Two
Existing Parking	None	New Parking	Two in Tandem
Number Of Existing Bedrooms	One	Number Of New Bedrooms	Unit No. 1: Two Unit No. 2: Three
Existing Building Area	± 918 Sq. Ft.	New Building Area	Unit No. 1: ± 923 Sq. Ft. Unit No. 2: ± 2,661 Sq. Ft.
Public DR Also Filed?	None	Public DR Also Filed?	None
311 Expiration Date	January 16 th , 2014	Date Time & Materials Fees Paid	Yes

PROJECT DESCRIPTION

The proposal includes the demolition of the existing one-story, single-family dwelling and construction of a new three-story, two-family dwelling.

SITE DESCRIPTION AND PRESENT USE

The subject property at 456 27th Street is on the north side of 27th Street between Noe and Sanchez streets, located within an RH-2 (Residential, House, Two-Family) Zoning District and a 40-X Height and Bulk District. The subject lot has a frontage of 27 feet 6 inches along 27th Street and a lot depth of 114 feet. Current grade at the front property line of the subject lot is approximately 2 feet 6 inches below street and slopes downward. The grade differential between the front and rear property lines is approximately 7 feet.

The existing building contains a one-story, detached, single-family dwelling with one bedroom and one bathroom. The current dwelling contains a floor area of approximately 918 square feet and is 14 feet tall at the street. The current dwelling is setback approximately 5 feet, 8 inches from the front property line with a rear yard depth of 48 feet. It is also set in 2 feet 9 inches and 6 feet 8 inches from east and west side lot lines, respectively. City records indicate that the subject building was originally constructed circa 1900.

The subject single-family dwelling has been occupied by the current owners since 2012 and is not subject to rent control. A recent Residential Appraisal Report, prepared by Jones Real Estate Appraisal in San Francisco, indicates the market value of the subject property, as of February 27th, 2014, is \$1,310,000. Although this value is \$196,000 lower than \$1,506,000, which is the "value greater than at least 80th percentile of the combined land and structure values of single-family homes in San Francisco" established by the Department, the existing single-family dwelling is considered to be marginally affordable or financially accessible housing by the Department's threshold.

As noted in the Historic Resource Evaluation Response (HRER) under Case No. 2013.0327E, the subject property is not located within the boundaries of any designated or previously identified historic district, and would not qualify as a newly identified potential historic district.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The subject property is in the Noe Valley neighborhood. The surrounding residential neighborhood consists of predominately single- and two-family homes. Existing homes are mostly two or three stories in height at the street level along the subject block-face and opposite block-face. Buildings along the subject block-face were constructed with fairly uniform front setbacks but varied rear yard depths and a mix of architectural styles. The adjacent lot to the east measure 30 feet wide and 114 feet deep and is developed with a three-story, single-family dwelling. The adjacent lot to the west measures 27 feet 6 inches wide and 114 feet deep and is developed with a three-story, 6-unit apartment building. The subject block-face along 27th Street contains a steep, lateral down slope from west (Noe Street) toward east (Sanchez Street).

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	May 12 th , 2014	May 9 th , 2014	13 days
Mailed Notice	10 days	May 12 th , 2014	May 9 th , 2014	13 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	Two	Six*	-
Other neighbors on the block or directly across the street	Three	-	-
Neighborhood groups	-	-	-

*Adjacent neighbors opposed include tenants from five units at the adjacent apartment building (462 27th Street) and the owner of the apartment building.

REPLACEMENT STRUCTURE

The replacement structure, a three-story, two-family dwelling will be set back 5 feet 8 inches from the front property line and provide a rear yard depth of 28 feet 10 inches. The proposed building will contain a depth of 79 feet 6 inches and will be 21 feet tall at the two-story front façade (measured from top of curb at the center of the front property line), rising to a maximum height of 30 feet 6 inches at the third story roof. The third story will be set back 10 feet from the front main building wall. The second story and third story will be set back 11 feet and 17 feet from the ground story rear wall, respectively.

The ground floor will contain a garage, accommodating two parking spaces in a tandem fashion, and one dwelling unit. The proposed ground floor unit with a floor area of approximately 923 square feet will feature a living/dining area, kitchen, two bedrooms, one full-bathroom and laundry facilities. The second and third floors will be occupied by a second dwelling unit with a total floor area of approximately 2,623 square feet. The proposed second dwelling unit will feature a living room, dining/family room, kitchen and one half-bathroom on the second floor and three bedrooms, two full-bathrooms and front and rear roof decks on the third floor.

The replacement structure's flat roof raised front entry and 10-foot wide garage door are all compatible with similar features that currently exist at other buildings along the subject block-face and opposite block-face. The materials applied to the front façade include stucco, wood, and glass, which are also consistent with exterior materials on most of the other residential buildings in the immediate vicinity. The overall scale and modern design of the proposed replacement structure will be a complement to the current residential neighborhood character. In addition, the Project Sponsors indicate that they have experience in building LEED Platinum homes and that they expect to build the replacement structure to that standard.

PUBLIC COMMENT

The Project has completed the Section 311 neighborhood notification and Mandatory Discretionary Review notification. Although no public Discretionary Review Application was submitted to the Department, staff received telephone calls and e-mails from the owner of the adjacent 6-unit apartment building at 462 27th Street as well as from a tenant residing in a unit on the apartment's third story. Both the property owner and tenant are concerned that the proposed three-story, two-family dwelling will affect the current views from and sunlight to a few units, including the tenant's unit.

However, the tenant is most concerned that because the proposed three-story building will abut on the apartment building's light court (also serving as part of a driveway connecting the apartment's off-street parking behind the apartment building and 27th Street), it will obstruct current sunlight to their living room windows from the south through the light court and cast shadow on these windows. The tenant provided a packet to the Commission, including photographs of the light court taken by their living room windows through elapsed time (7 a.m. to 5 p.m.), and a number of suggested amendments to the proposed building.

GENERAL PLAN COMPLIANCE

The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10:

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

While the Project does not propose affordable housing, it will replace a one-bedroom, single-family dwelling with a two-family dwelling, including one three-bedroom, family-sized unit, within a residential district zoned for a density of two units per lot.

The location of the subject property is within the service area of a variety of neighborhood commercial uses along Church Street and is approximately half a block from Muni line along Noe Street.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

The Project's contemporary architecture will not detract from but rather complement the current attractive residential neighborhood character.

OBJECTIVE 13:

PRIORITIZE SUSTAINABLE DEVELOPMENT IN PLANNING FOR AND CONSTRUCTING NEW HOUSING.

Policy 13.4:

Promote the highest feasible level of "green" development in both private and municipally-supported housing

The Project Sponsors indicate that they have experience in building LEED Platinum homes and that they expect to build the replacement structure to that standard.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The Project does not remove any neighborhood-serving uses and will help enhance future opportunities for resident employment in and ownership of such businesses because it will replace the existing single-family dwelling with a two-family dwelling.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposed building scale and exterior materials are compatible with those found in the surrounding residential neighborhood, and therefore, the Project will not disrupt the existing neighborhood character.

3. That the City's supply of affordable housing be preserved and enhanced.

The existing single-family dwelling is not subject to rent control. A recent Residential Appraisal Report, prepared by Jones Real Estate Appraisal in San Francisco, indicates the market value of the subject property, as of February 27th, 2014, is \$1,310,000. Although this value is \$196,000 lower than \$1,506,000, which is the "value greater than at least 80th percentile of the combined land and structure values of single-family homes in San Francisco" established by the Department, the existing single-family dwelling is considered to be marginally affordable or financially accessible housing by the Department's threshold.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project will not create any affect on where commuter traffic impedes MUNI service. The Project also includes two off-street parking spaces, one for each unit, while none is available for the existing single-family dwelling.

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and those future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not affect industrial and service sectors as it is within a residential zoning district.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed according to current Building Code to protect against injury and loss of life in an earthquake.

7. Landmarks and historic buildings be preserved.

The subject property is not an historic resource or a landmark building.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The Proposed building will be within the 40-foot height limit and does not require a shadow study per Planning Code Section 295. The Project is not located adjacent to any parks or open space.

ENVIRONMENTAL REVIEW

Under Case No. 2013.0327E, the existing single-family dwelling proposed for demolition was determined not to be a historic resource for the purposes of CEQA on September 20th, 2013, and the proposed two-family dwelling was issued a Categorical Exemption from Environmental Review, Classes 3 [State CEQA Guidelines Section 15301(1)(1) and 15303(a)], on September 23rd, 2013.

RESIDENTIAL DESIGN TEAM REVIEW

Residential Design Team (RDT) reviewed the proposed two-family dwelling. The RDT supports the Project and determines that it complies with the applicable quantitative standards of the Planning Code, including front setback, rear yard, building height and usable open space, and that its design is also consistent with the Residential Design Guidelines.

As stated under "PUBLIC COMMENT," staff reported to the RDT the concerns from the owner of the adjacent apartment building at 462 27th Street as well as from a tenant residing in a unit on the apartment building's third story. The RDT reviewed the Project a second time, including findings from staff's site observation at the light court through the tenant's living room windows, and the tenant's opposition letter and time elapsed photographs. The RDT determines that private views are not protected under the Residential Design Guidelines and that the site design of the proposed three-story building would be consistent with the Residential Design Guidelines and would result in no significant impact on the current southern exposure through the tenant's living room windows facing the light court. The light court, approximately 18 feet long along the common west side lot line and 16 feet wide, is part of the original design of the apartment building to provide adequate sunlight, by itself alone, to those apartment units surrounding it. Therefore, no changes to the proposed three-story, two-family dwelling are warranted.

Staff further discussed the Project and issues with the Department senior managers at a Project Coordination Meeting. The Department senior managers concur with the RDT determination.

Under the Commission's pending DR Reform Legislation, this Project would be referred to the Commission, as this Project involves residential demolition and new construction within an RH-2 zoning district.

BASIS FOR RECOMMENDATION

The Department recommends that the demolition of the existing single-family dwelling and the construction of a new single-family dwelling be approved. The Project is consistent with the Objectives and Policies of the General Plan and complies with the Residential Design Guidelines and Planning Code. The Project meets the criteria set forth in Section 101.1 of the Planning Code in that:

- The Project will not result in any reduction of housing units in the City's current housing stock.
- The project will replace an existing single-family dwelling, containing only one bedroom and no off-street parking, with a two-family dwelling and two off-street parking spaces. One of the proposed two units will be a three-bedroom, family-sized unit.
- No tenants will be displaced as a result of this Project because the dwelling proposed for demolition is currently occupied by the subject property owners.
- Given the scale of the project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- Although the existing structure is more than 45 years old, a review of the Historic Resource Evaluation resulted in a determination that the existing building is not an historic resource or landmark for the purposes of CEQA.
- The RH-2 Zoning District permits a maximum of two dwelling units on the subject lot. The proposed two-family dwelling will be a density that is compatible with the prevailing density of two units per lot in the surrounding neighborhood.
- The Project would result in no significant impact on the current sunlight to those units in the adjacent apartment building that surround the apartment building's light court.

RECOMMENDATION:

Case No. 2013.0344D – Do not take DR and approve the demolition.

Case No. 2014.0671D – Do not take DR and approve the new construction as proposed.

DEMOLITION CRITERIA - ADMINISTRATIVE REVIEW

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

Project Does not Meet Criterion

A recent Residential Appraisal Report, prepared by Jones Real Estate Appraisal, an independent third party, for this Project in San Francisco, indicates the market value of the subject property, as of February 27th, 2014, is \$1,310,000. Although this value is \$196,000 lower than \$1,506,000, which is the "value greater than at least 80th percentile of the combined land and structure values of single-family homes in San Francisco" established by the Department, the existing single-family dwelling is considered to be marginally affordable or financially accessible housing by the Department's threshold.

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings);

Project Does Not Meet Criterion

The Project Sponsors did not submit a soundness report for the subject property. The Project Sponsors stated they had planned a major alteration to expand the current building, including the addition of a second dwelling unit. However, that proposal would have been rendered to be tantamount to demolition pursuant to the "definition of Residential Demolition" under Planning Code Section 317. The current proposal would fulfill the project Sponsors' goal to develop a new two-family dwelling on their property without involving the issue of de facto demolition.

DEMOLITION CRITERIA

Existing Building

1. Whether the property is free of a history of serious, continuing code violations;

Project Meets Criterion

A review of the database maintained by the Department of Building Inspection and by the Planning Department did not reveal any enforcement cases or notices of violation.

2. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project Meets Criterion

The current dwelling is free of Housing Code violations and appears to have been maintained in a decent, safe, and sanitary condition.

3. Whether the property is a "historical resource" under CEQA;

Project Meets Criterion

Although the structure is more than 45-years old, a review of the Historic Resource Evaluation resulted in a determination that it is not an historic resource for the purposes of CEQA.

4. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

Criterion Not Applicable to Project

The subject property has been determined not to be a historical resource.

Rental Protection

5. Whether the Project converts rental housing to other forms of tenure or occupancy;

Criterion Not Applicable to Project

The subject dwelling has been owner-occupied since 2012 and thus not rental housing.

6. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance or affordable housing;

Project Meets Criterion

The subject dwelling is currently owner-occupied and is not a rental unit.

Priority Policies

7. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project Does Not Meet Criterion

The Project does not meet this criterion because the existing dwelling will be demolished. However, the Project will result in a no loss of housing and a replacement of a single-family dwelling with a two-family dwelling. One of the proposed dwellings will be a family-sized unit which will preserve the cultural and economic diversity within the neighborhood.

8. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project Meets Criterion

The Project will conserve the neighborhood character by constructing a replacement building that is compatible with the dwellings in the surrounding neighborhood, including scale, exterior materials, glazing pattern, and roofline. By creating a compatible new building in a neighborhood defined by one- and two-family dwelling, the neighborhood's cultural and economic diversity will be preserved.

9. Whether the Project protects the relative affordability of existing housing;

Project Does not Meet Criterion

A recent Residential Appraisal Report, prepared by Jones Real Estate Appraisal in San Francisco, indicates the market value of the subject property, as of February 27th, 2014, is \$1,310,000. Although this value is \$196,000 lower than \$1,506,000, which is the "value greater than at least 80th percentile of the combined land and structure values of single-family homes in San Francisco" established by the Department, the existing single-family dwelling is considered to be marginally affordable or financially accessible housing by the Department's threshold.

10. Whether the Project increases the number of permanently affordable units as governed by Section 415;

Project Does Not Meet Criterion

The Project does not include any permanently affordable units, as the construction of two dwelling units does not trigger Section 415 review.

Replacement Structure

11. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;

Project Meets Criterion

The Project replaces a single-family dwelling with a two-family dwelling in a neighborhood characterized by one- and two-family dwellings.

12. Whether the Project increases the number of family-sized units on-site.

Project Meets Criterion

The Project will create two dwelling units one of which will be a family-sized unit, containing three bedrooms, to better meet the contemporary family housing needs.

13. Whether the Project creates new supportive housing;

Project Does Not Meet Criterion

The Project will not be specifically designed to accommodate any particular Special Population Group as defined in the Housing Element.

14. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines to enhance existing neighborhood character.

Project Meets Criterion

The Residential Design Team supports the Project which will be in scale with the surrounding houses and constructed using high-quality materials.

15. Whether the Project increases the number of on-site dwelling units;

Project Meets Criterion

The Project will include the demolition of a single-family dwelling and construction of a two-family dwelling, increasing one on-site dwelling unit.

16. Whether the Project increases the number of on-site bedrooms.

Project Meets Criterion

The Project will increase the number of on-site bedrooms from one to five:

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: The surrounding neighborhood consists of two-, and three-story buildings, containing mostly one or two residential units. On the subject block-face, there is a mixed visual character defined by buildings with various scales, forms, proportions and architectural details. On the opposite block-face, there is a defined visual character where buildings have relatively uniform scales and compatible architectural details.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	X		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?	X		
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: The replacement structure respects the existing building pattern on the subject block by not impeding into the established mid-block open space and by providing a landscaped front setback that is the average of the two adjacent front setbacks. The proposed building will not project deeper than the adjacent apartment building. The proposed building will be set back and match the other adjacent

building's side setback along the common east side lot line. The rear of the proposed building will be a terraced design, including setting the second story and third story back 11 feet and 17 feet from the ground story rear wall, respectively. Furthermore, the proposed building will result in no significant impact on current sunlight to those units surrounding the adjacent apartment building's light court because the light court is part of the original design of the apartment building to provide adequate sunlight, by itself alone, to those units surrounding it.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: The new building's third-story, which will be set back 10 feet from the front main building wall, will appear subordinate to the two-story mass with a reduced visibility from the street. The new building's second and third stories, which will be set back 11 feet and 17 feet from the ground story rear building wall, respectively, will minimize the loss of light and air and view to the mid-block open space available to the adjacent building east of the new building. The overall scale of the new building will be compatible with the existing building scale at the street and at the mid-block open space. The new building's form, bay window articulation, facade pattern, window proportions, and slanted roofline will also be compatible with the existing mixed visual character along the subject block-face.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			

Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?	X		
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The proposed building's raised entry and porch respond to the majority of building entrances on the subject block-face. The front bay window provides needed texture to the front façade and is compatible with the style of bay windows found throughout the neighborhood. The location and width of the garage door at 10 feet are compatible with the façade of the proposed dwelling and other homes' garage doors in the surrounding area, respectively. The 10-foot curb cut is placed in a location that will minimize the loss of on-street parking availability. The proposed building will contain no rooftop features, including stair penthouse, dormers, or windscreens. Parapets surrounding the one-hour, fire-rated roof will be at a maximum height of 8 inches and will have no effect on the overall building proportions.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		

Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: The placement and scale of architectural details on the front facade are compatible with those of other buildings on the subject block-face. Exterior building materials, including cement plaster, wood siding and wood garage door are compatible with those found at many other dwellings throughout the neighborhood. The proposed windows are of appropriate size, residential in character and compatible with those found on the surrounding buildings.

SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 – 54)

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?			X
Are the character-defining features of the historic building maintained?			X
Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X
Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X

Comments: The Project is not an alteration, and the dwelling that will be demolished has been determined not to be a historical resource for the purposes of CEQA.

Attachments:

Department staff's packet includes:

- Parcel Map
- Sanborn Map
- Zoning Map
- Section 311 Notice
- Aerial Photographs
- Categorical Exemption/Historical Resource Evaluation Response

The Adjacent Apartment Tenant's Packet

Project Sponsors' packet includes:

- Project Description
- Application for Dwelling Unit Removal/Demolition
- Proposition M Findings
- Neighborhood Context Photographs
- Reduced Plans
- Color Rendering

* All page numbers refer to the Residential Design Guidelines

H D 12/10/14
FILE

December 3, 2014

To: Ann Lazarus, President of the Board of Appeals and members
1650 Mission Street #304 San Francisco, 94103

BOARD OF APPEALS **BOARD OF APPEALS**

DEC 03 2014 *off* 03 2014

RE: Appeal No. 14-170; 456 27th Street

APPEAL # 14-170 APPEAL # _____

This letter is to protest the Issuance of September 15, 2014 permit for a project at 456 27th Street, because the needless negative impact to the neighborhood could be corrected with architectural design refinement.

The currently designed permit did not adequately consider the detrimental impact caused by the project's bulk, height, shape, and roofline on the existing daylight conditions for neighbors.

During design is the time to correct this planning issue. Since the Board of Appeals is the last step to assure best planning practices, I ask that more review and rigor be taken before permitting this project because there is an obvious opportunity to reduce bulk and height, to match existing light well, to adapt roof lines, and to integrate daylight variety into the units at 456, all while NOT blocking and taking excessive daylight access from neighbors.

Daylight is an existing positive basic health condition for all residents. The architect-owners of 456 27th Street appear to be **knowingly and unnecessarily** taking this from neighbors which is disturbing and unreasonable. Architects are licensed to protect the health, safety and welfare of the general public, and the current project design does not adequately do so.

I request that the architect-owners be required to go back to the drawing board. We, the citizens of San Francisco count on you, the members of the Board of Appeals in your role as public agents, to take action that will help assure permits reflect sound planning policy and encourage the best architectural design.

The accumulative impact of oversized encroaching structures is staggering and reflects the need to take more rigorous planning actions, perhaps even to recommend to the Planning Commission and to city leaders that it is time for a serious review of the planning codes, guidelines, staff procedures, and enforcement methods, including the constant noise of long construction hours that are non-stop, because there is always another neighbor building loudly. Perhaps no work on weekends needs to be the rule, rather than constantly living in a construction site, as more people work at home this becomes an urban liability.

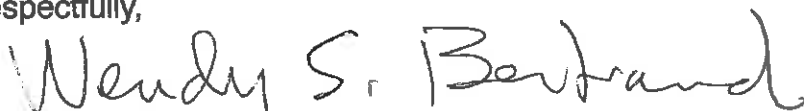
This project is an example of pleasing some neighbors and avoiding others and not addressing the intrinsic planning needs for basic daily life.

Leaving planning to the personal politics of the neighbors and the lawyers is not helping the absolute NEED to change energy trends and to build smaller, use less land and materials, make less space to heat, maximize use of daylight, and to show more respect for the urban/natural ecology of San Francisco.

No opportunity to take care of our beautiful city should be overlooked, missed, or lost.

Please uphold the intent of the appeal to allow more natural daylight to reach existing neighbors through design changes.

Respectfully,

A handwritten signature in black ink that reads "Wendy S. Bertrand". The signature is written in a cursive, flowing style.

Wendy S. Bertrand, Architect