

GENERAL NOTES

- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS, TITLE 24 C.A.C ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO REVIEW ALL WORK ON SITE AND RESOLVE ANY UNCLEAR ITEMS
- THE CONTRACTOR SHALL CONTACT THE BUILDING MANAGEMENT TO BE ADVISED OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION, WHEN AND HOW DELIVERIES AND/OR REMOVALS CAN BE DONE ON REGULAR OR OVERTIME AND IN GENERAL, ANY BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE
- THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS AND WATER THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.
- THE CONTRACTOR SHALL REMOVE FROM THE BUILDING ALL RUBBISH AND WASTE MATERIALS, FOR HIS OWN SUBCONTRACTING. IF REQUIRED.
- NO WORK DEPENDING ON PARTITION LOCATIONS SHALL BE DONE UNTIL THE CONTRACTOR HAS MARKED PARTITION LOCATIONS ON THE FLOOR SLAB IN THE FIELD AND THE ARCHITECT HAS APPROVED THEM.
- THE CONTRACTOR SHALL LEAVE THE PREMISES IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR'S PRICE IS TO BE COMPLETE IN ALL WAYS INCLUDING TAXES, OVER-TIME, SHIPPING, ETC.
- ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
- THE WORK INCLUDED UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, 1991 EDITION.
- CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS SHALL GUARANTEE THAT THE WORK IS FREE FROM ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND BE RESPONSIBLE FOR REPAIR OR REPLACEMENT AT NO ADDITIONAL CHARGE.
- CONTRACTORS TO CARRY EMPLOYER'S LIABILITY INSURANCE OF NOT LESS THAN \$1,000,000 PER OCCURRENCE, AND COMPREHENSIVE GENERAL LIABILITY OF AT LEAST \$2,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY, DEATH, OR PROPERTY DAMAGE THE POLICIES TO ALSO COVER LANDLORD AND TENANT AS ADDITIONAL INSURED.

DRAWING INDEX

AO.0	COVER SHEET
AO.1	DISABLED ACCESS GUIDELINES
AO.2	ADA REQUIREMENTS & ENLARGED PLANS
A1.0	EXISTING & PROPOSED SITE PLANS
A1.1	EXISTING AS APPROVED FLOOR PLANS & SECTION
A1.1.1	AS BUILT FLOOR PLANS & SECTION
A2.1	PROPOSED FLOOR PLANS & SECTIONS
A2.2	OCCUPANT LOAD FACTOR & MEANS OF EGRESS
S-1	FRAMING PLAN & SECTION DETAIL

SCOPE OF WORK

COMPLY WITH COMPLAINT NO. 2017-27-251 OF EXCEEDING WORK BEYOND

- ADD NEW WALLS AT FIRST LEVEL
- ADD NEW STAIRS AT UPPER LEVEL (2ND MEANS OF EGRESS)
- MODIFY EXISTING STAIRS

BUILDING INFORMATION

BUILDING DESCRIPTION: EXISTING: 2 STORIES TYPE III - N.R.
PROPOSED: 2 STORIES - NO CHANGE

(E) OCCUPANCY CLASS: F-1 OCCUPANCY
PROPOSED OCCUP. CLASS: F-1 OCCUPANCY

(E) # OF DWELLING UNITS: 0
(N) # OF DWELLING UNITS: 0 - NO CHANGE

PLANNING INFORMATION

ZONING: PDR-2 - PRODUCTION, DISTRIBUTION, REPAIR

HEIGHT LIMIT: 40-X

EXISTING NUMBER OF UNITS: 1
PROPOSED NUMBER OF UNITS: 1

D.A. CHECKLIST

THE ADDRESS OF THE PROJECT IS: **1100 THOMAS AVENUE**
FOR ALL TENANT IMPROVEMENT PROJECTS IN COMMERCIAL USE SPACES, THIS CHECKLIST IS REQUIRED TO BE REPRODUCED ON THE PLAN SET AND SIGNED

- THE PROPOSED USE OF THE PROJECT: **AGRICULTURAL F-1 OCCUPANCY** (E.G. RETAIL, OFFICE, RESTAURANT, ETC.)
- DESCRIBE THE AREA OF THE REMODEL, INCLUDING WHICH FLOOR: **GROUND FLOOR**
- THE CONSTRUCTION COST OF THE PROJECT EXCLUDING DISABLED ACCESS UPGRADES IS TO THE PATH OF TRAVEL IS: **\$ 30,000.00**, WHICH IS (CHECK ONE) MORE THAN / LESS THAN THE ACCESSIBILITY THRESHOLD AMOUNT OF **\$161,298.00** BASED ON THE "2013 ENR CONSTRUCTION COST INDEX"(THE COST INDEX & THRESHOLD ARE UPDATED ANNUALLY).
- IS THIS A CITY PROJECT AND/OR DOES IT RECEIVE ANY FORM OF PUBLIC FUNDING? CHECK ONE: YES / NO
NOTE: IF YES, THEN SEE STEP 3 ON THE INSTRUCTIONS PAGE FOR ADDITIONAL FORMS REQUIRED

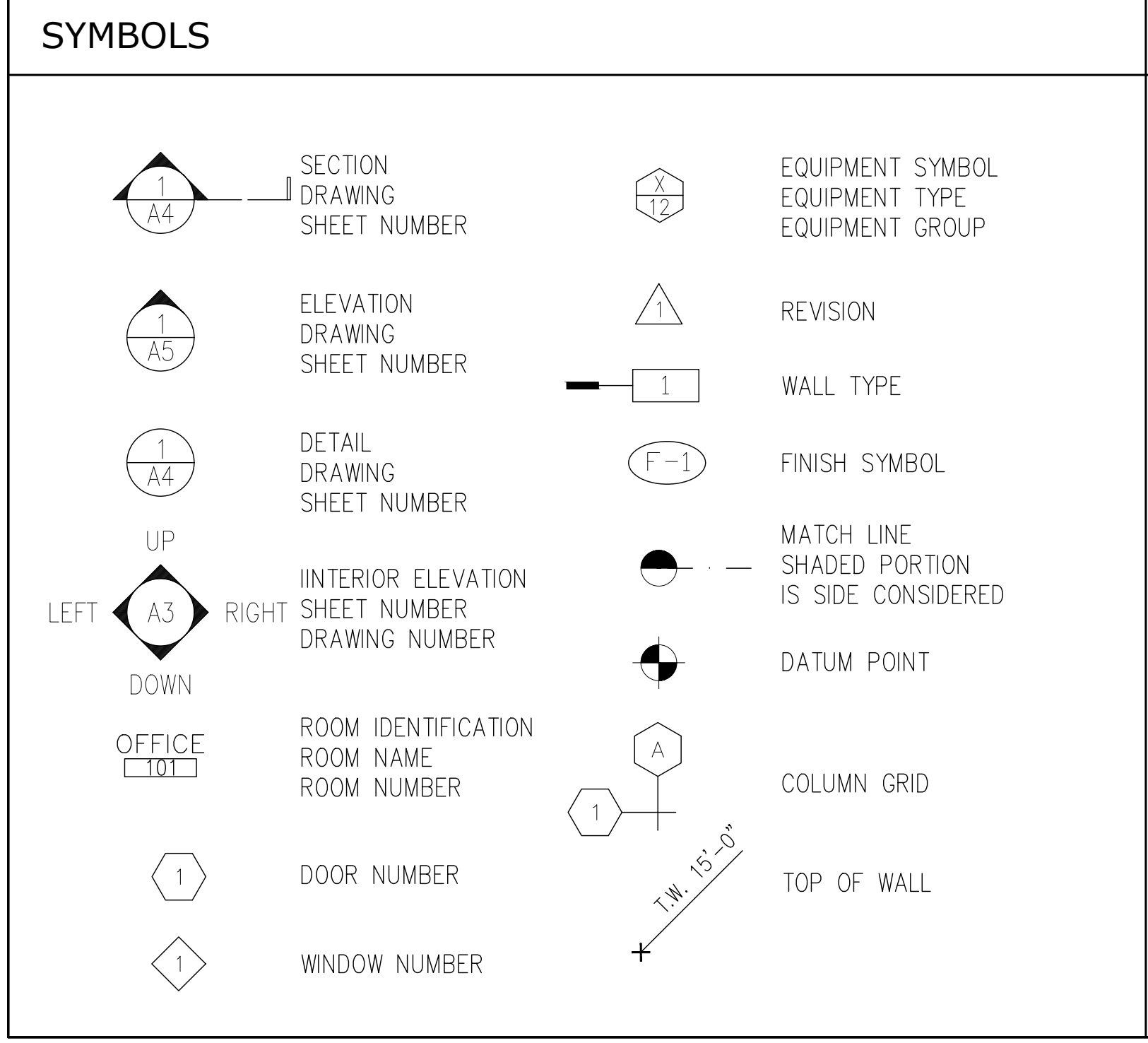
CONDITIONS BELOW MUST BE FULLY DOCUMENTED BY ACCOMPANYING DRAWINGS

- READ "A" THROUGH "D" BELLOW CAREFULLY AND CHECK THE MOST APPLICABLE BOX (ONE BOX ONLY)

	EXISTING FULLY COMPLYING	WILL BE UPGRADE TO FULL COMPLIANCE	EQUIVALENT FACILITATION WILL PROVIDE FULL ACCESS	COMPLIANCE IS TECHNICALLY INFEASIBLE	APPROVED IN COMPLIANCE WITH IMMEDIATELY PRECEDING CODE	NOT REQUIRE BY CODE AND/OR NONE EXISTING	NON-COMPLIANT REQUEST UHR MUST BE RATIFIED BY AAC	LOCATION OF DETAIL(S)-INCLUDE DETAIL NO.& DRAWING SHEET (DO NOT LEAVE THIS PART BLANK). ALSO CLARIFICATION COMMENTS CAN BE WRITTEN HERE
A. ONE ACCESSIBLE ENTRANCE INCLUDING: APPROACH WALK, VERTICAL ACCESS, PLATFORM (LANDING), DOOR/GATE AND HARDWARE FOR DOOR/GATE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A0.1 & A0.2
B. AN ACCESSIBLE ROUTE TO THE AREA OF REMODEL INCLUDING PARKING/ACCESS AISLES AND CURB RAMPS CURB RAMPS AND WALKS CORRIDORS, HALLWAYS, FLOORS RAMPS ELEVATORS, LIFTS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C. AT LEAST ONE ACCESSIBLE RESTROOM FOR EACH SEX OR A SINGLE UNISEX RESTROOM SERVING THE AREA OF REMODEL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D. ACCESSIBLE PUBLIC PAY PHONE.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
E. ACCESSIBLE DRINKING FOUNTAINS(HI-LOW).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
F. SIGNAGE.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
G. VISUAL ALARM, STORAGE AND ADDITIONAL PARKING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
SEE THE REQUIREMENTS FOR ADDITIONAL FORMS LISTED BELOW	1.	2.	3.	4.	5.	6.	7.	

NOTE: UPGRADES BELOW ARE LISTED IN PRIORITY BASED ON CBC-11B-202.4 Ex 8

- NO ADDITIONAL FORMS REQUIRED.
- NO ADDITIONAL FORMS REQUIRED.
- FILL OUT REQUEST FOR APPROVAL OF EQUIVALENT FACILITATION FORM FOR EACH ITEM CHECKED AND ATTACH TO PLAN.
- FILL OUT REQUEST FOR APPROVAL OF TECHNICAL INFEASIBILITY FORM FOR EACH ITEM CHECKED AND ATTACH TO PLAN.
- PROVIDE DETAILS FROM A SET OF CITY APPROVED REFERENCE DRAWINGS, PROVIDE ITS PERMIT APPLICATION NUMBER HERE: _____ AND LIST REFERENCE DRAWING NUMBER ON PLANS
- NO ADDITIONAL FORMS REQUIRED
- FILL OUT REQUEST FOR AN UNREASONABLE HARDSHIP FORM FOR EACH ITEM CHECKED AND ATTACH TO PLAN. ALL UHR MUST BE RATIFIED BY THE ACCESS APPEALS COMMISSION (SEE UHR FORM FOR DETAILS)



ABBREVIATIONS

&	AND	CTR.	Center	F.O.S.	Face of Studs	M.O.	Masonry Opening	SHT.	Sheet
DBL.	DOUBLE	F.PRF.	Fireproof	M.TD.	Mounted	MUL.	Million	SIM.	Similar
DEPT.	Department	F.S.	Full Size	(N)	North	SPEC.	Specification	SQ.	Square
(E)	EXISTING	DET.	Detail	FT.	Foot or Feet	S.S.T.	Stainless Steel	S.S.K.	Service Sink
ACOUS.	ACOUSTICAL	DIA.	Diameter	FTG.	Footing	N.I.C.	Not In Contract	STA.	Station
A.D.	AERA DRAIN	DIM.	Dimension	FURR.	Furring	NO./#	Number	STD.	Standard
AGGR.	ADJUSTABLE	DN.	Dispenser	FUT.	Future	NOM.	Nominal	STL.	Steel
AL.	ALUMINUM	D.O.	Door Opening	GA.	Gauge	N.T.S.	Not To Scale	STR.	Structural
APPROX.	APPROXIMATE	DR.	Door	GALV.	Galvanized	O.C.	On Center	STOR.	Storage
ARCH.	ARCHITECTURAL	DWR.	Drawer	G.B.	Grab Bar	OPNG.	Opening	SUSP.	Suspended
ASB.	ASBESTOS	DS.	Downspout	GL.	Glass	OPP.	Opposite	SYM.	Symmetrical
ASPH.	ASPHALT	D.S.P	Dry Standpipe	GND.	Ground	PRCST.	Pre-cast	T.B.	Towel Bar
BD.	BOARD	DWG.	Drawing	GR.	Grade	PL.	Plate	T.C.	Top Of Curb
BITUM.	BITUMINOUS	E.	East	GYP.	Gypsum	P.LAM.	Plastic Laminate	TEL.	Telephone
BLDG.	BUILDING	E.A.	Each	H.B.	Hose Bibb	PLAS.	Plaster	TER.	Terrazzo
BLK.	BLOCK	E.J.	Expansion Joint	H.C.	Hollow Core	PLYWD.	Plywood	T.&G.	Tongue And Groove
BLKG.	BLOCKING	E.A.	Each	HDWD.	Hardwood	PT.	Point	THK.	Thick
BM.	BEAM	E.L.	Elevation	H.M.	Hollow Metal	PTN.	Partition	T.P.	Top Of Pavement
BOT.	Bottom	ELEC.	Electrical	HORIZ.	Horizontal	Q.T.	Quarry Tile	T.V.	Television
CAB.	Cabinet	ELEV.	Elevator	HR.	Hour	R.	Riser	T.W.	Top Of Wall
C.B.	Catch Basin	EMER.	Emergency	HGT.	Height	RAD.	Radius	TYP.	Typical
CEM.	Cement	ENCL.	Enclosure	INSUL.	Insulation	R.D.	Roof Drain	UNF.	Unfinished
CER.	Ceramic	EQ.	Equal	INT.	Interior	REFR.	Refrigerator	U.O.N.	Unless Otherwise
C.I.	Cast iron	EQT.	Equipment	JAN.	Janitor	REF.	Refrence	UR.	Urinal
C.G.	Corner Guard	(E)	Existing	JT.	Joint	REINFR.	Reinforced	W.	West
CLG.	Ceiling	EXPO.	Exposed	KIT.	Kitchen	REQ.	Required	W/.	With
CLKG.	Calking	EXT.	Expansion	LAB.	Labolatory	RESIL.	Resilient	W.C.	Water Closet
CLD.	Closet	EXP.	Expansion	LAM.	Laminate	REINFR.	Reinforced	WD.	Wood
CLR.	Clear	EXT.	Exterior	LAV.	Lavatory	REQ.	Required	W/O.	Without
C.O.	Cased Opening	F.A.	Fire Alarm	LT.	Light	RESIL.	Resilient	WP.	Waterproof
COL.	Column	F.B.	Flat Bar	FLASH.	Flashing	RM.	Room	WSC.T.	Wainscot
CONC.	Concrete	F.D.	Floor Drain	F.L.	Fluorescent	R.O.	Rough Opening	WT.	Weight
CONN.	Connection	FDN.	Foundation	FIN.	Finish	R.W.L.	Rain Water Leader		
CONSTR.	Construction	F.E.	Fire Extinguisher	FLOOR.	Floor	S.	South		
CONT.	Continuous	FL.	Flashing	FLUOR.	Fluorescent	S.C.	Solid Core		
CORR.	Corridor	FLASH.	Flashing	F.L.	Fluorescent	SCHED.	Schedule		
CTSK.	Countersunk	F.O.C.	Face of Concrete	FLUOR.	Fluorescent	SECT.	Section		
CNTR.	Counter	F.O.F.	Face of Finish	F.O.C.	Face of Concrete	SHR.	Shower		

Form C: DISABLED ACCESS 20% RULE

THIS FORM IS ONLY REQUIRED FOR PROJECTS EQUAL TO OR UNDER THE VALUATION THRESHOLD WHEN BOX "C" IS CHECKED OFF ON THE D.A. CHECKLIST AND IS FOR PROVIDING AN ITEMIZED LIST OF THE ESTIMATED COSTS FOR THE EXPENDITURES USED FOR DISABLED ACCESS UPGRADES FOR THIS PROJECT. REPRODUCE THIS FORM ALONG WITH THE D.A. CHECKLIST AND ANY REQUIRED FORM(S) ON THE PLANS.

BASED ON CBC SECTION 11B-202.4 EXCEPTION 8, ONLY PROJECTS WITH A CONSTRUCTION COST LESS THAN OR EQUAL TO THE VALUATION THRESHOLD (CURRENT ENR CONSTRUCTION INDEX AMOUNT) ARE ELIGIBLE FOR THE 20% RULE. IN CHOOSING WHICH ACCESSIBLE ELEMENTS TO PROVIDE, PRIORITY SHOULD BE LISTED ON P.2 OF THE D.A. CHECKLIST.

IN GENERAL, PROJECTS VALUED OVER THE THRESHOLD ARE NOT ELIGIBLE FOR THE 20% RULE (SEE CBC 11B-202.4 EXCEPTIONS 1 THROUGH 8 FOR OTHER EXCEPTIONS).

CBC SECTION 11B-202.4, EXCEPTION 9 (ABBREVIATED): IN ALTERATION PROJECTS INVOLVING BUILDINGS & FACILITIES PREVIOUSLY APPROVED & BUILT WITHOUT ELEVATORS, AREAS ABOVE & BELOW THE GROUND FLOOR ARE SUBJECT TO THE 20% DISPROPORTIONALITY PROVISIONS DESCRIBED IN EXCEPTION 8, EVEN IF THE VALUE OF THE PROJECT EXCEEDS THE VALUATION THRESHOLD IN EXCEPTION 8. REFER TO THE CODE FOR THE TYPES OF BUILDINGS & FACILITIES THAT QUALIFIES FOR THIS 20% DISPROPORTIONALITY PROVISIONS WHEN PROJECT VALUATION IS OVER THE THRESHOLD.

	A.	B.	
1.	Cost of construction:(Excluding accessibility upgrade)		\$
2.	20% of A) : List the Upgrade Expenditures and their respective construction cost below:		\$
3.			\$
4.			\$
5.			\$
6.			\$
	Total Upgrade Expenditures		\$
	MUST APPROXIMATELY EQUAL TO LINE B		\$

SHATARA ARCHITECTURE INC.

890 7TH ST.
SAN FRANCISCO
CA 94107

TEL (415) 512-7566
suhel@shataraarch.com

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY PROJECTS OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF SHATARA ARCHITECTURE INC.

PROJECT: **TENANT IMPROVEMENT**

ADDRESS: **1100 THOMAS AVE SAN FRANCISCO, CA**

BLOCK: 4793 LOT: 001B

PROJECT DIRECTORY

OWNER: SHATARA ARCHITECTURE INC. 890 7TH STREET SAN FRANCISCO, CA 94107 TEL: 415-512-7566 CONTACT: SUHEL SHATARA

BUILDING 06.13.2016

BUILDING 08.31.2016

BUILDING 09.21.2016

BUILDING 06.01.2018

BUILDING 06.21.2018

BUILDING 12.05.2018

NO. C24700
REN 10/31/19

SHEET DESCRIPTION: **COVER SHEET**

A0.0

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PROJECT
TENANT IMPROVEMENT

ADDRESS
**1100 THOMAS AVE
SAN FRANCISCO, CA**

**BLOCK: 4793
LOT: 001B**

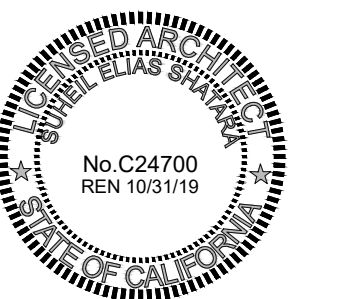
PROJECT DIRECTORY

OWNER

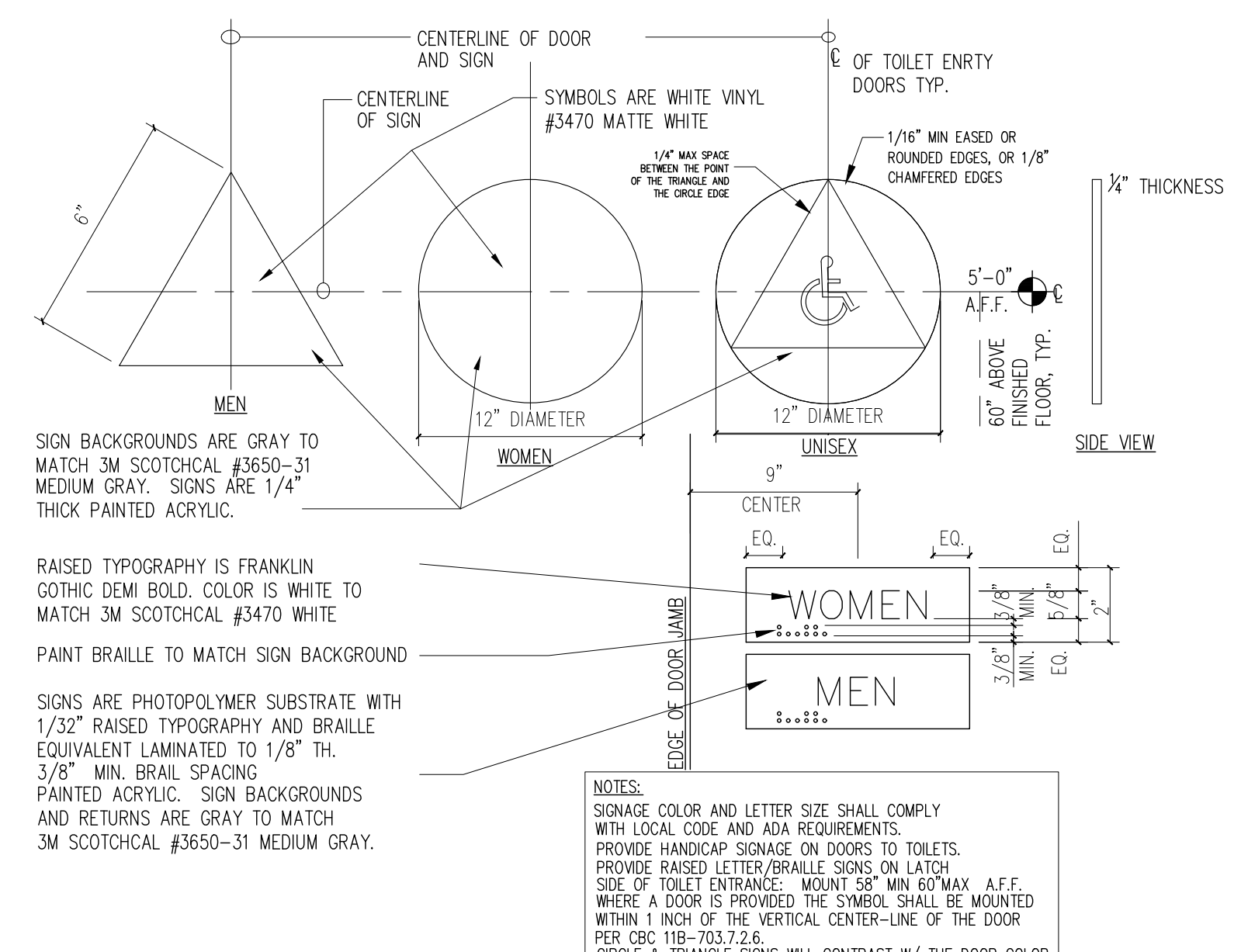
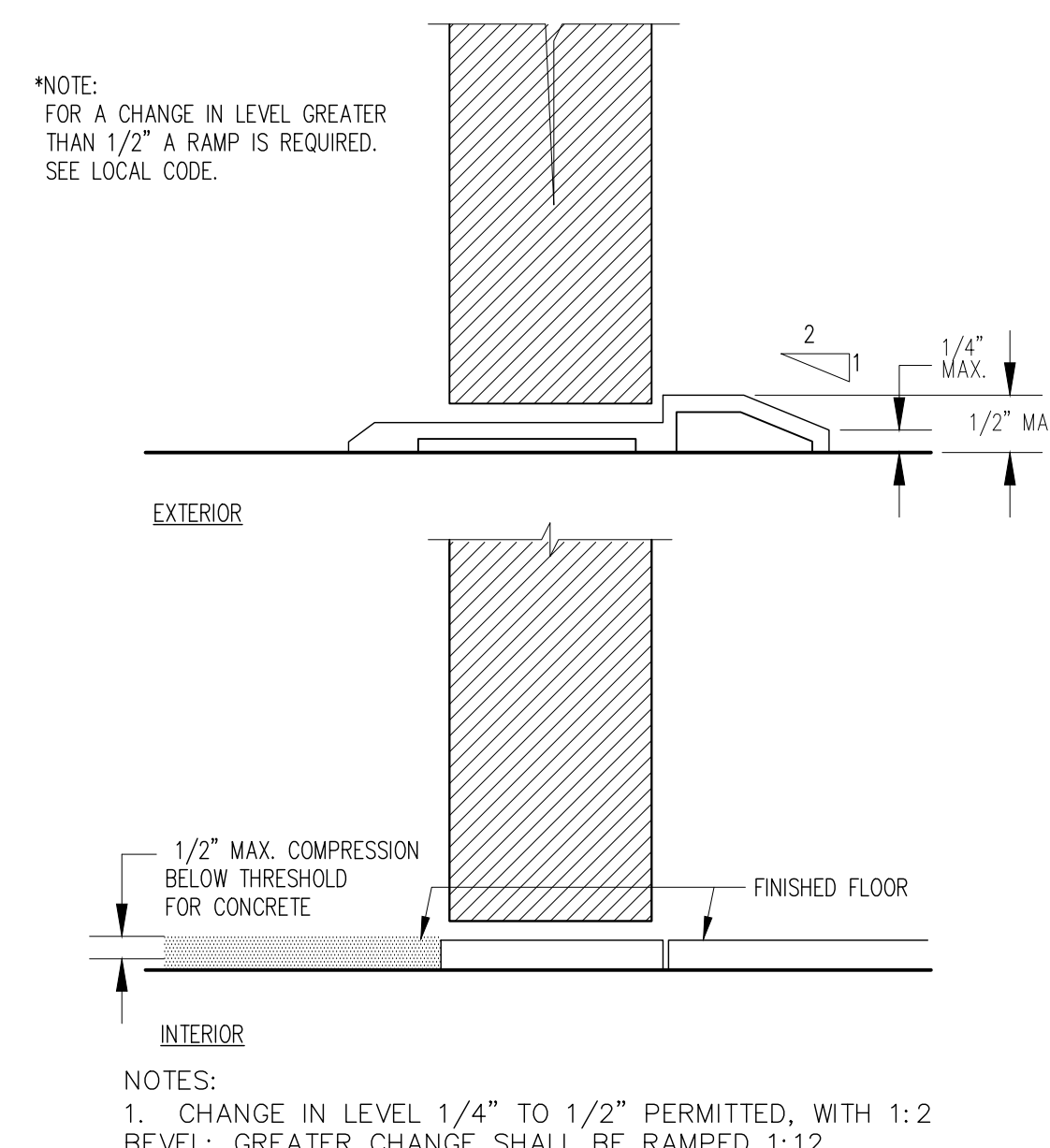
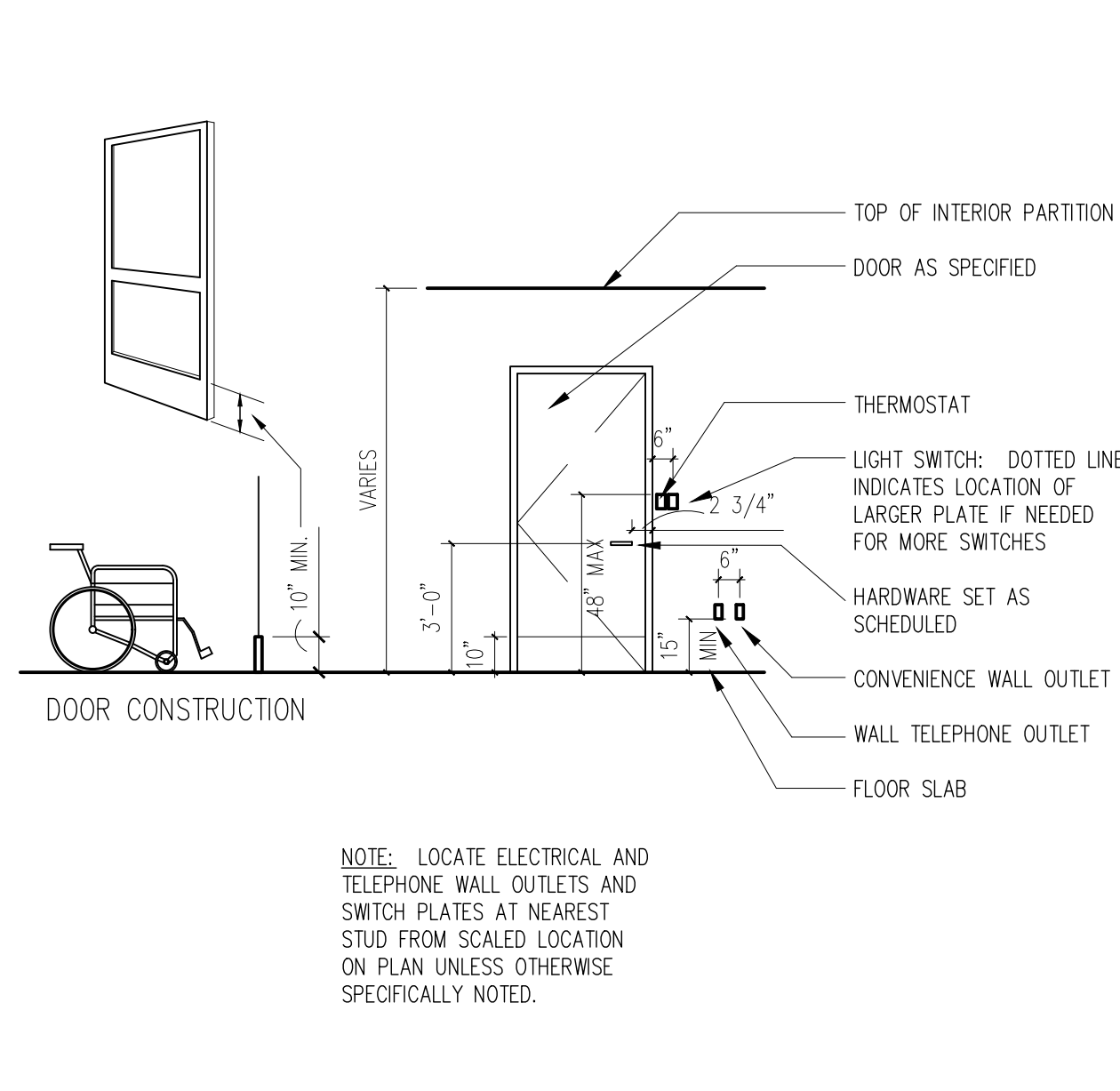
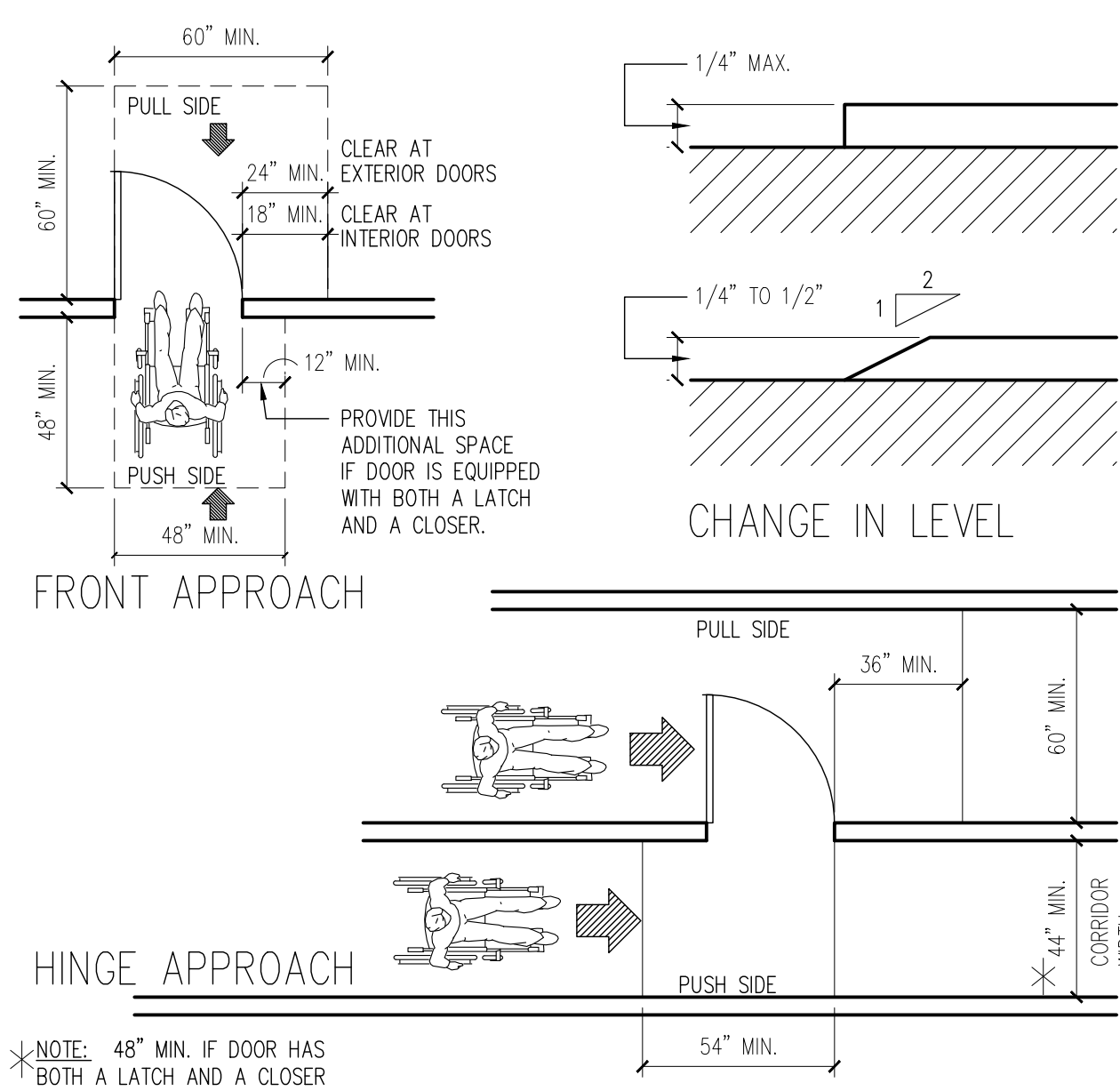
ARCHITECT

SHATARA ARCHITECTURE INC.
890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566
CONTACT: SUHEL SHATARA

BUILDING	06.13.2016
BUILDING	08.31.2016
BUILDING	09.21.2016
BUILDING	06.01.2018
BUILDING	06.21.2018
BUILDING	12.05.2018



SHEET DESCRIPTION
DISABLED ACCESS GUIDELINES

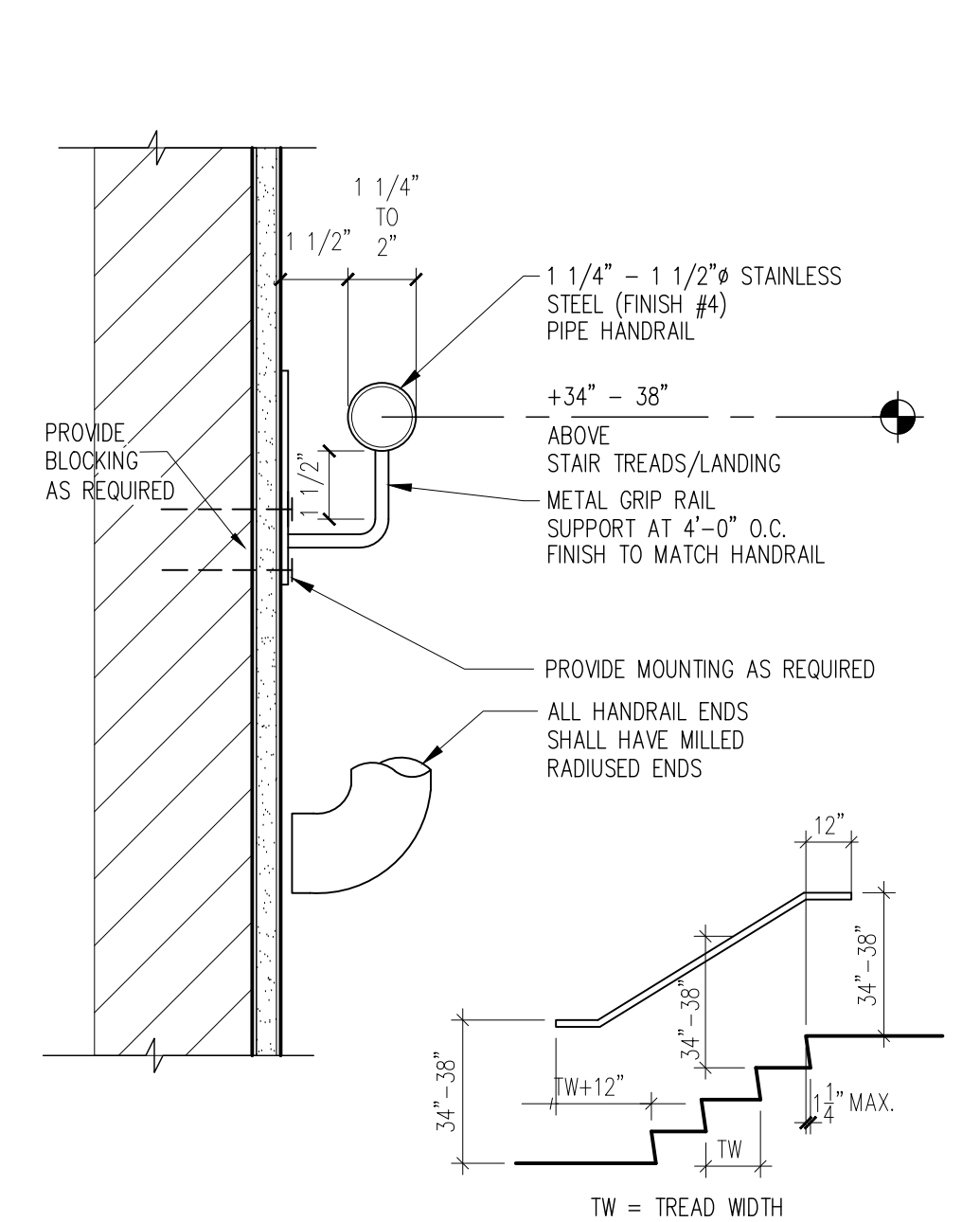
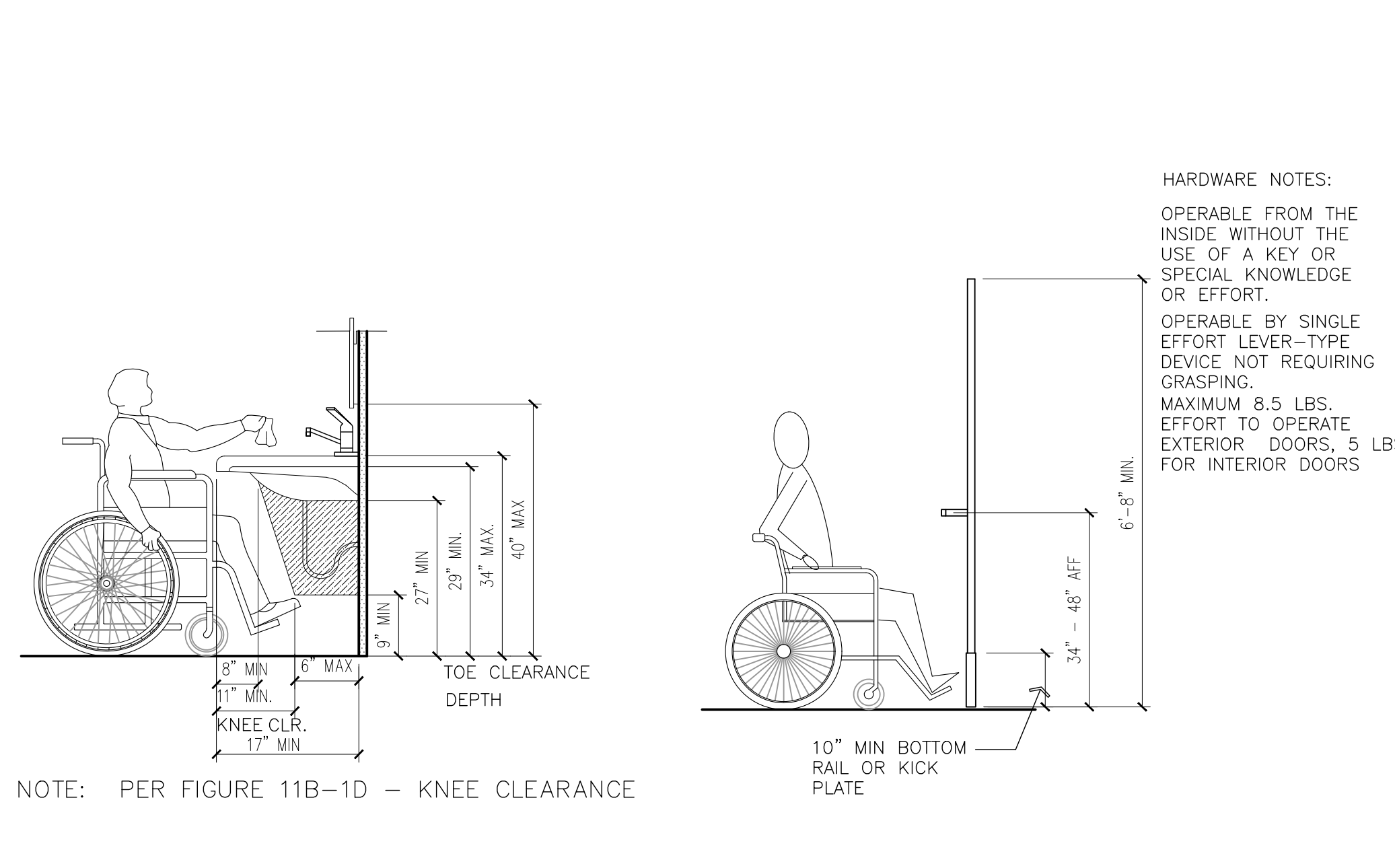
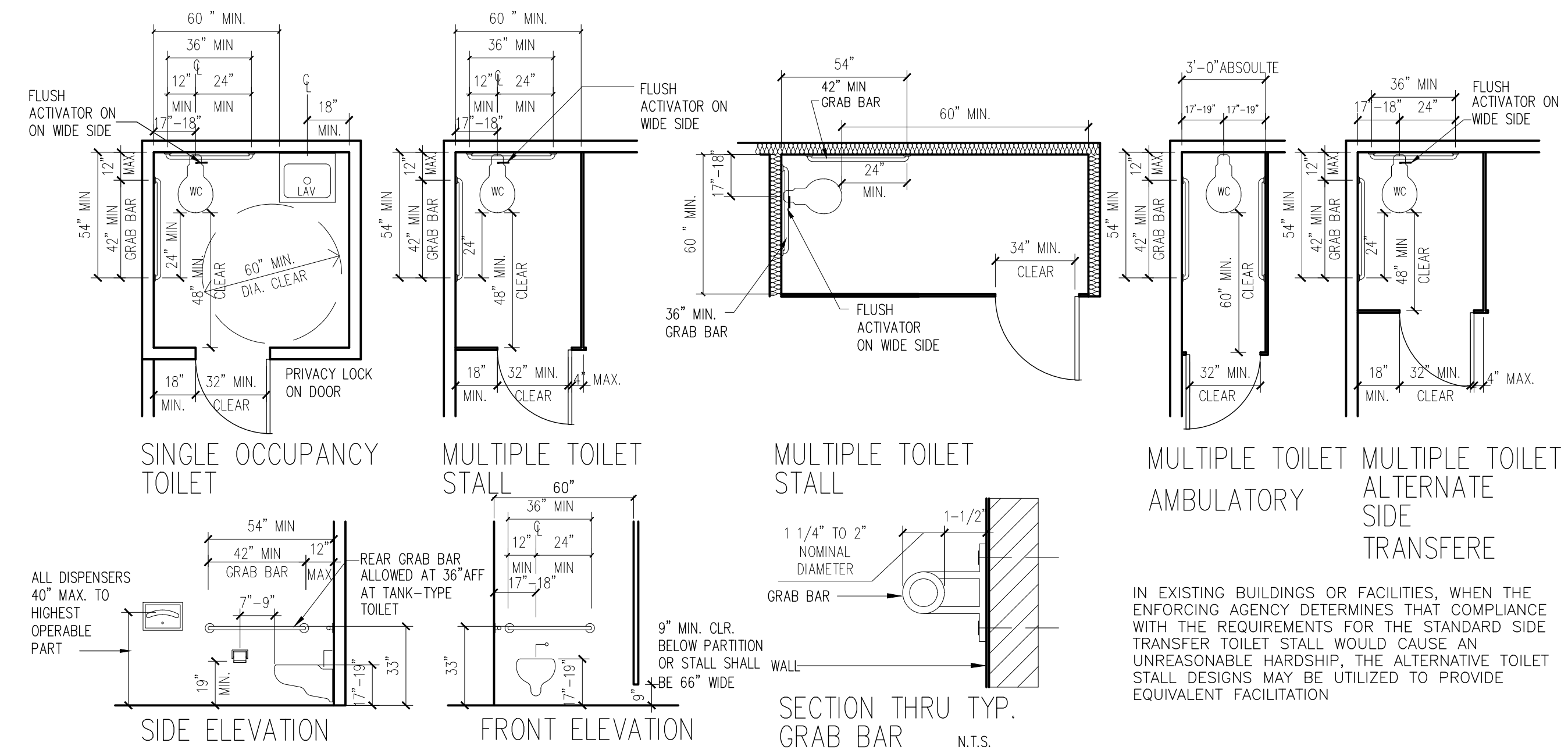


1 LEVEL MANEUVERING CLR. @ DR.
SCALE 1/4" = 1'-0"

2 TYP. DOOR MOUNTING HEIGHTS
SCALE 1/4" = 1'-0"

3 THRESHOLD
SCALE 1" = 1'-0"

4 TOILET RM. DOOR SIGNAGE
SCALE 1 1/2" = 1'-0"

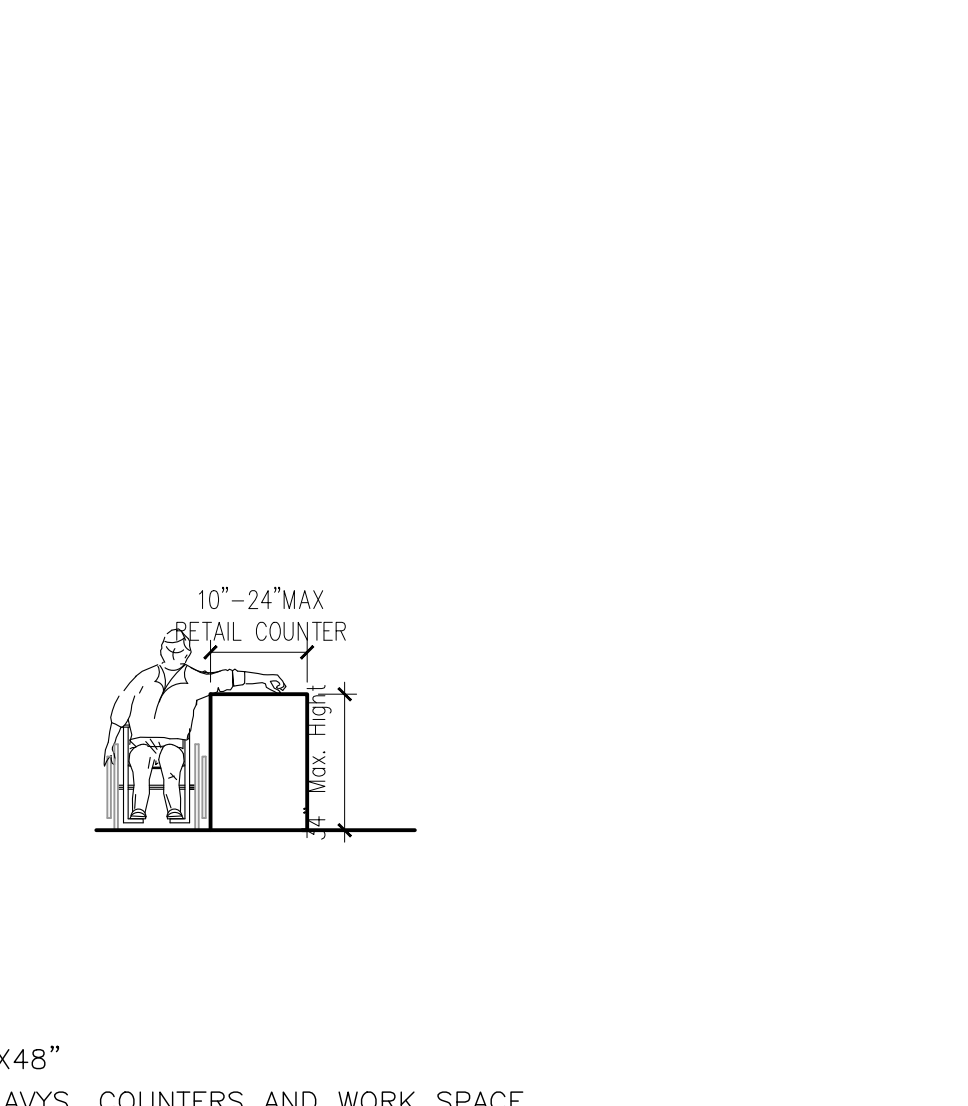
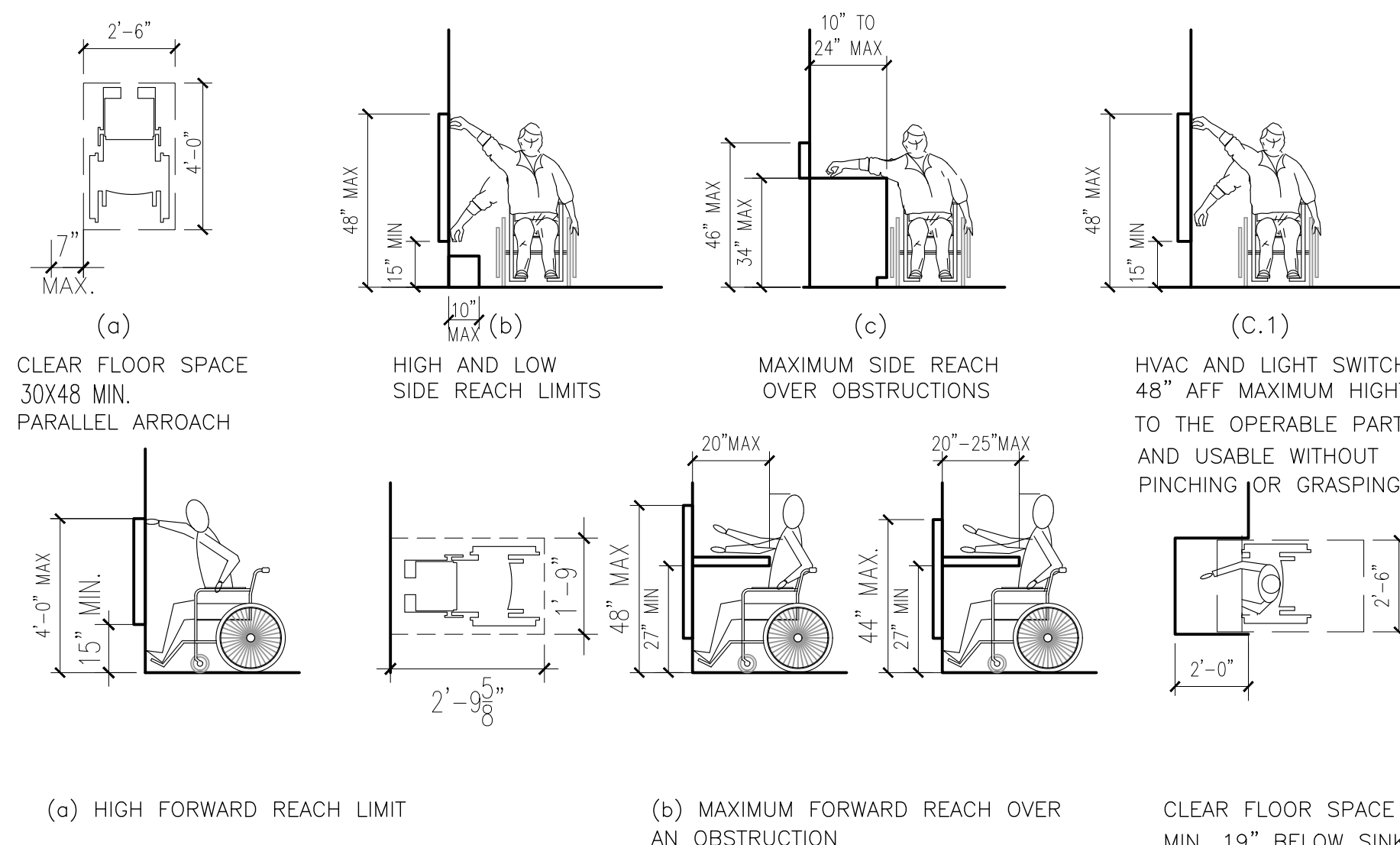
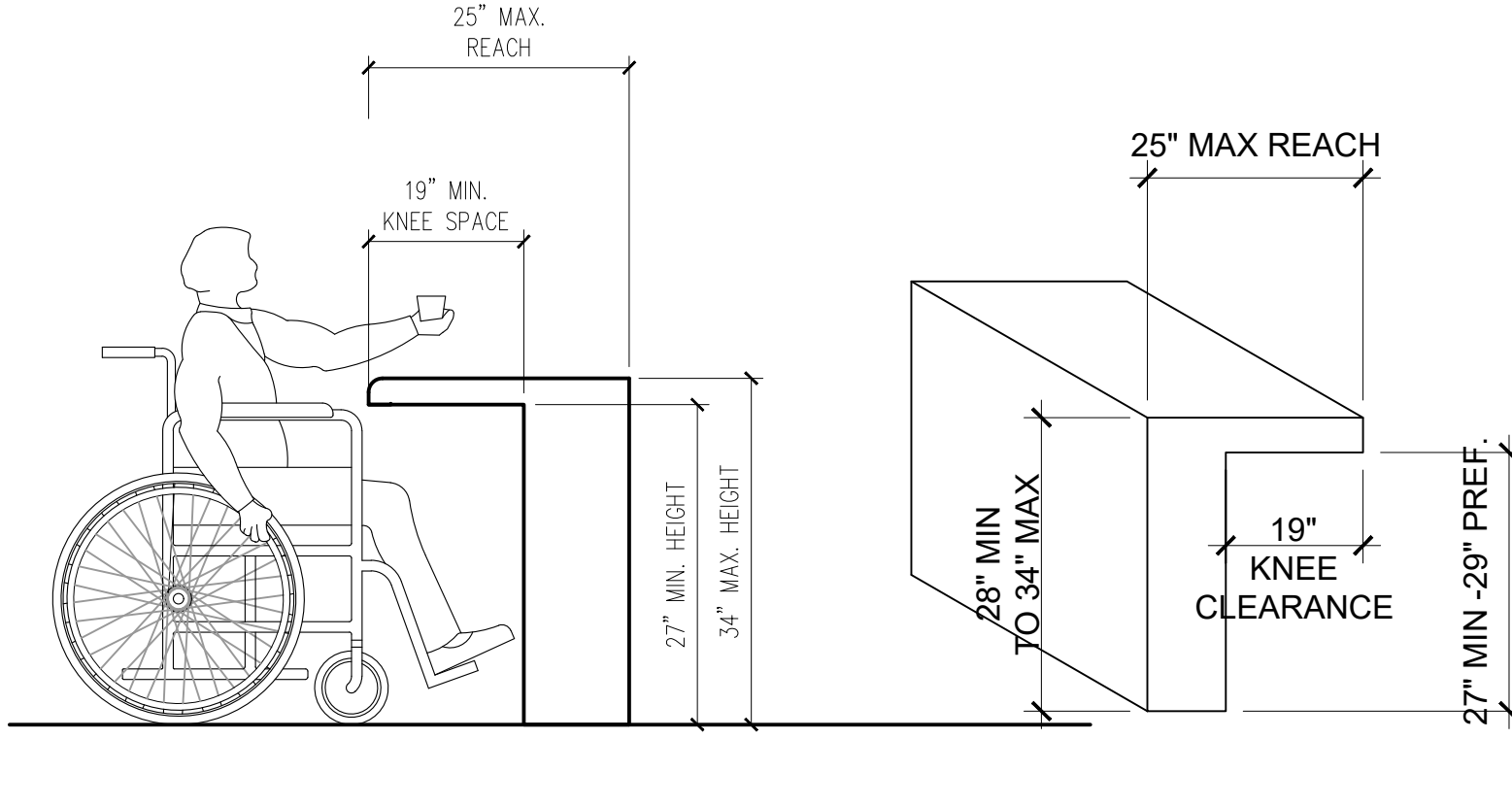
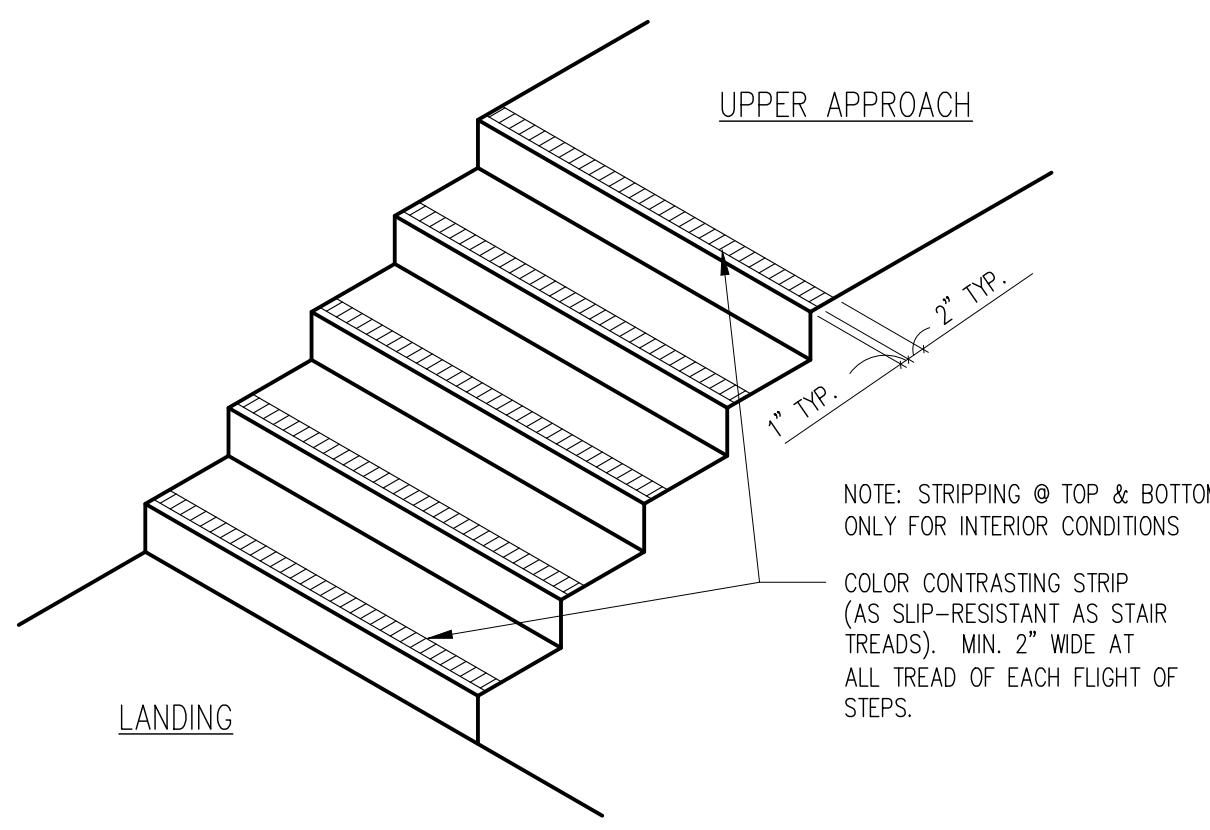


5 ACCESSIBLE TOILETS
SCALE 1/4" = 1'-0"

6 TYP. H.C. SINK
SCALE: 1/4"=1'-0"

7 ADA DOOR REQUIREMENT
SCALE: 1/4"=1'-0"

8 STAIR HANDRAIL
SCALE 3" = 1'-0"



9 TITLE 1

10 H.C. COUNTER
SCALE: 1/4"=1'-0"

11 TYPICAL REACH DIMENSIONS

12 H.C. RETAIL COUNTER
SCALE: 1/4"=1'-0"

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PROJECT
TENANT IMPROVEMENT

ADDRESS
**1100 THOMAS AVE
SAN FRANCISCO, CA**

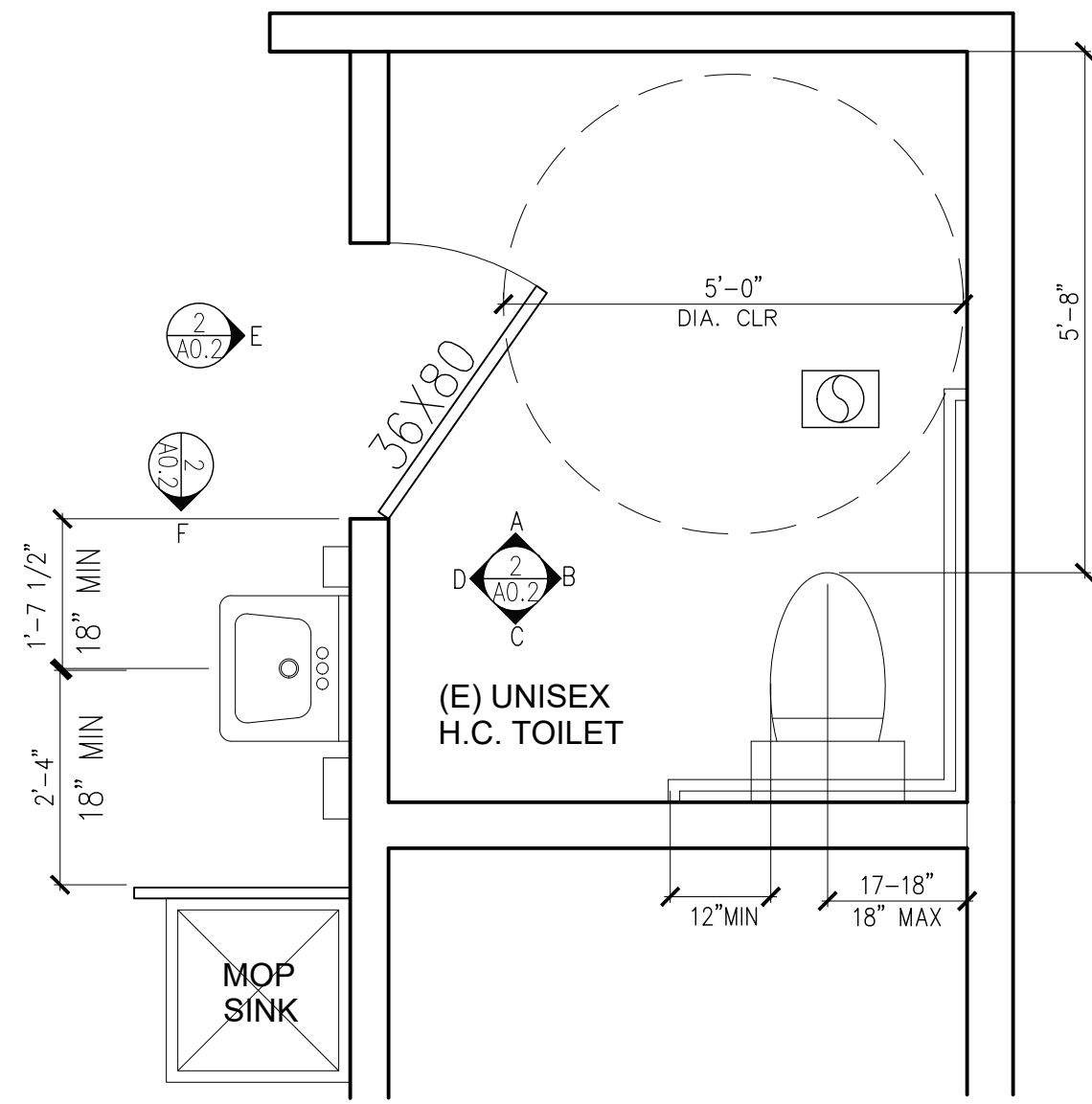
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LOT: 001B**

PROJECT DIRECTORY

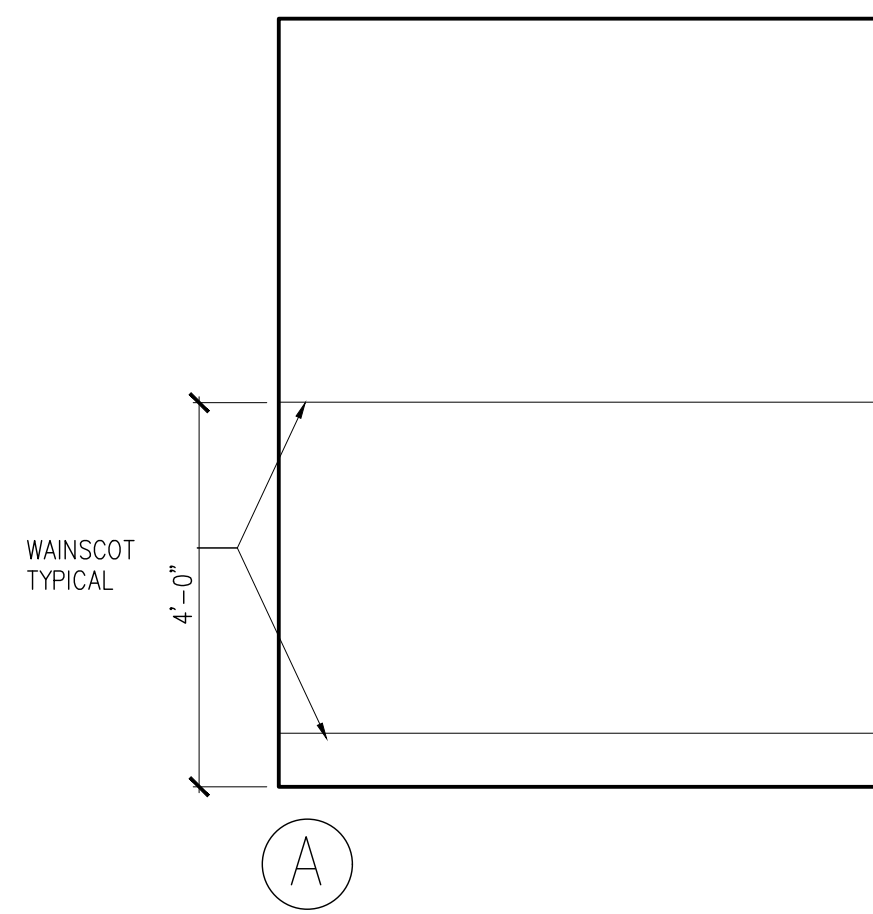
OWNER

ARCHITECT

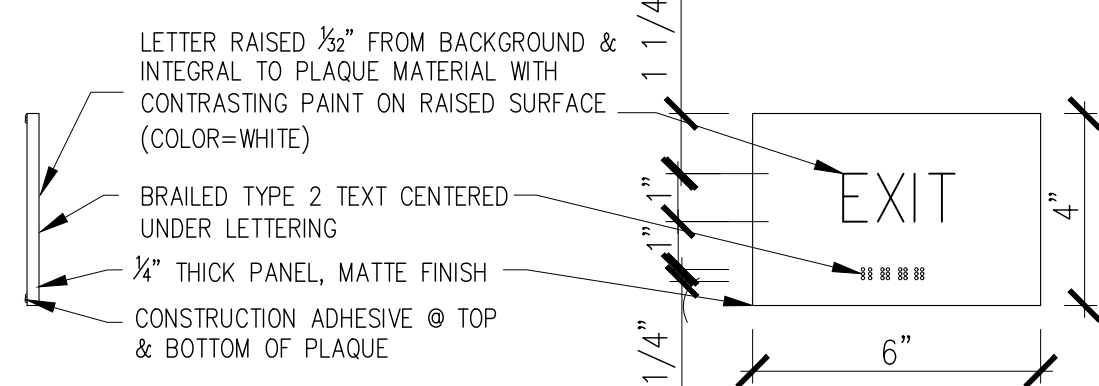
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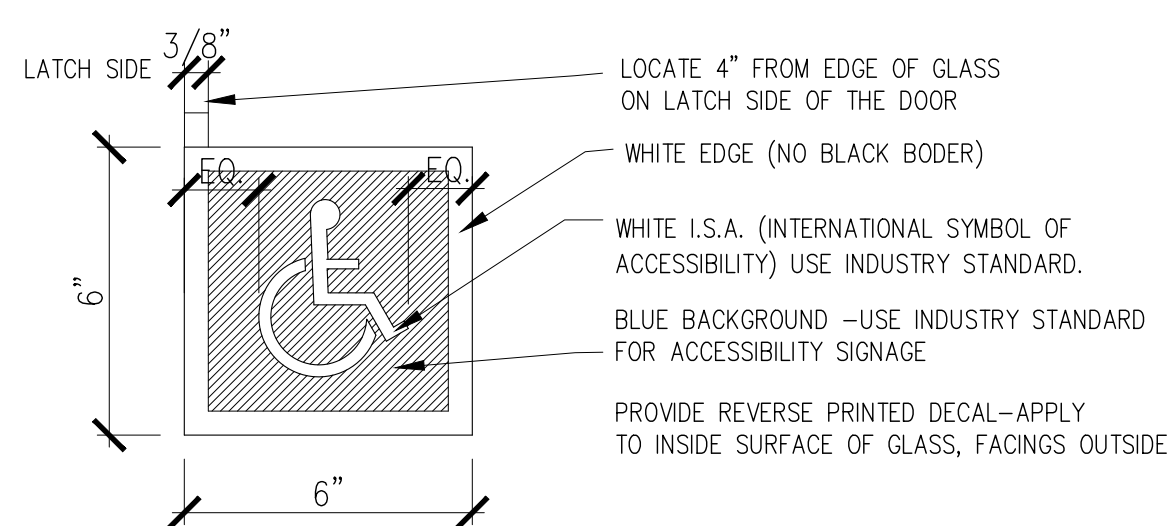
1 EXISTING ENLARGED H.C. TOILET PLAN
SCALE : 1/2"=1'-0"



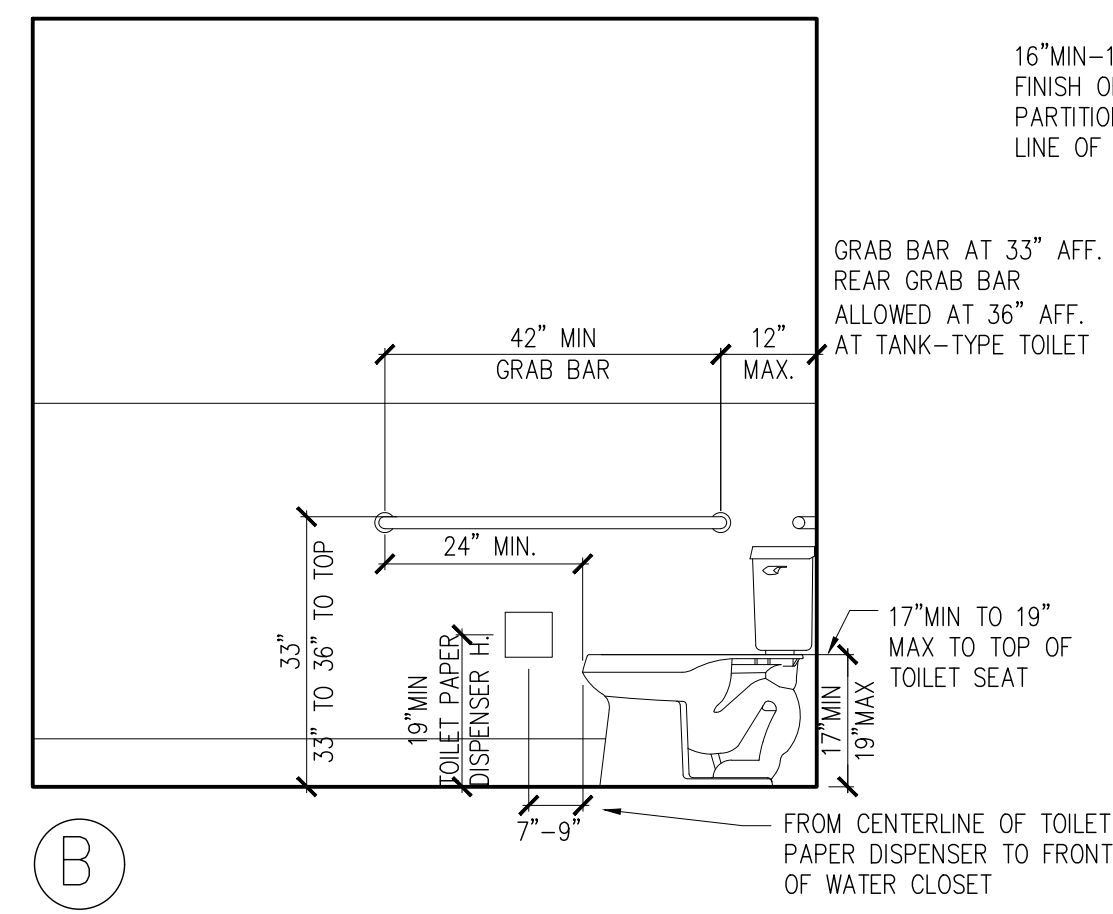
2 TOILET ELEVATIONS
SCALE : 1/2"=1'-0"



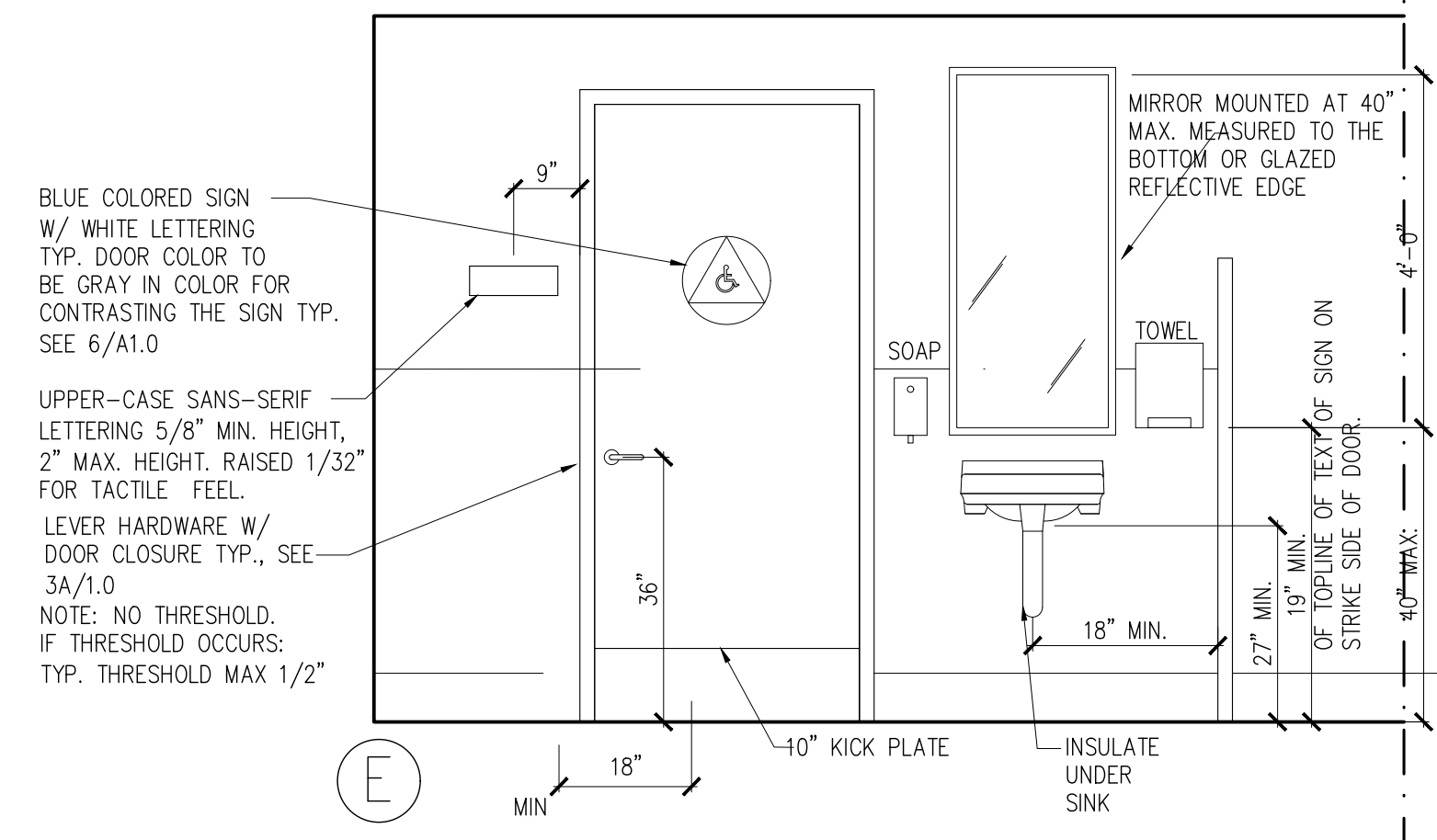
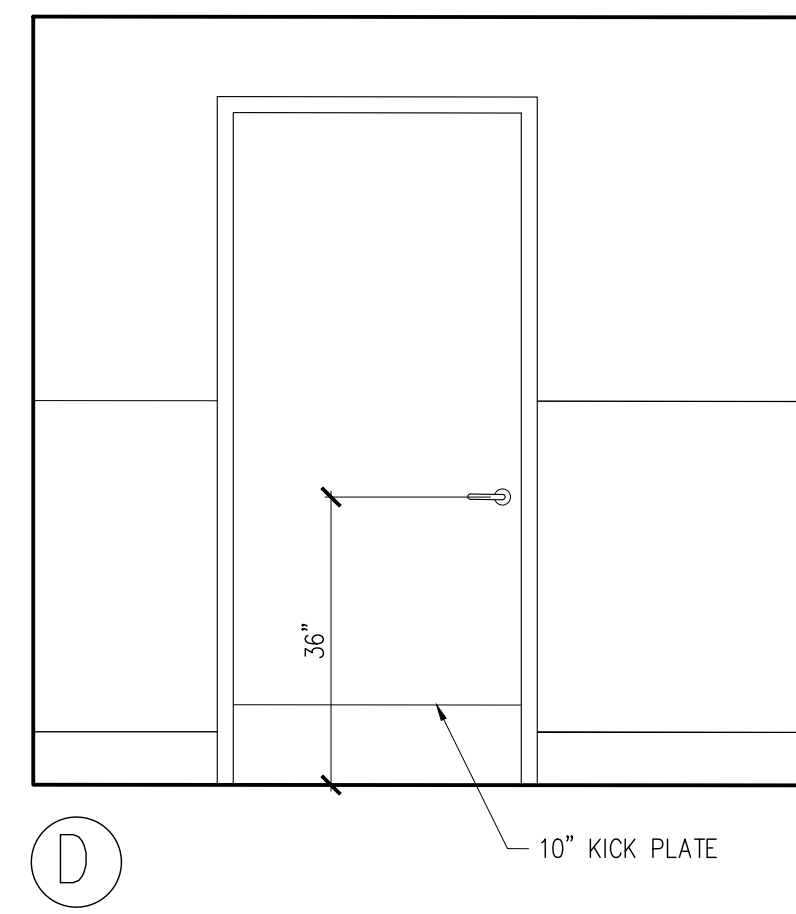
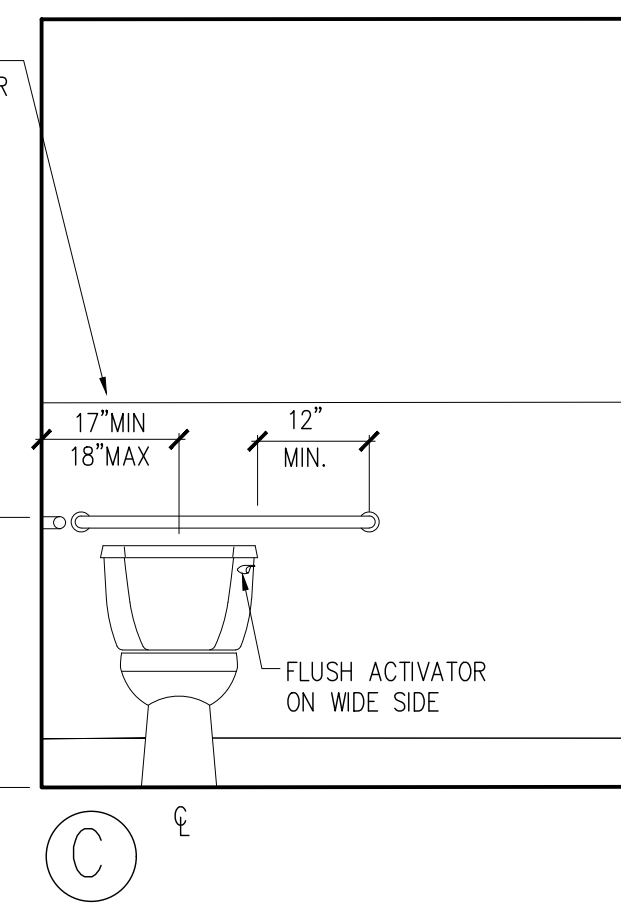
3 "EXIT" SIGN
SCALE : 3"=1'-0"



5 ISA DECAL (TACTILITY NOT REQUIRED)
SCALE : 3"=1'-0"



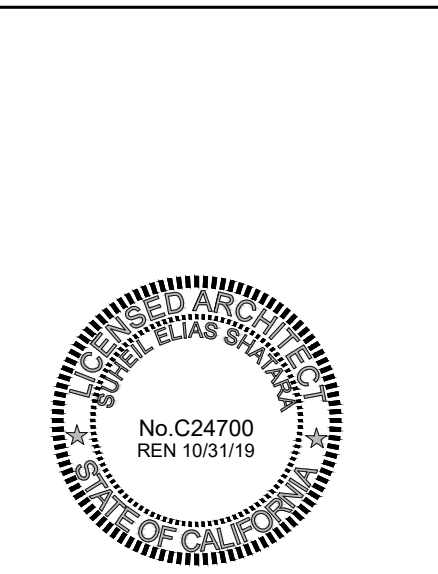
4 DIRECTIONAL SIGNAGE
SCALE : 3"=1'-0"

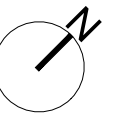


TYPICAL SIGNAGE NOTES

- ALL SIGN COMPONENTS SHALL BE INSTALLED WITH PERMANENT ADHESIVE TO PROVIDE DURABLE SIGNAGE WITH NO DELAMINATION.
- WALL MOUNTED SIGNS SHALL BE INSTALLED WITH THE CENTERLINE OF SIGN AT 60 A.F.F. U.O.N
- ROOM IDENTIFICATION SIGNS SHALL BE MOUNTED ON THE LATCH SIDE OF THE DOOR, UNLESS IF THERE IS INSUFFICIENT SPACE, IN WHICH CASE SIGN MAY BE MOUNTED ON THE HINGE SIDE.
- TACTILE SIGNS SHALL COMPLY WITH A.D.A RECOMMENDATIONS. TEXT SHALL BE SANS-SERIF UPPERCASE CHARACTERS AT LEAST 5/8" HIGH AND RAISED 1/32" FROM BACKGROUND SURFACE.
- TACTILE SIGNS SHALL UTILIZE CONTRACTED GRADE 2 BRAILLE WITH DOTS 1/10" O.C. IN EACH CELL, AND RAISED AT LEAST 1/40" FROM BACKGROUND SURFACE.
- PICTORGRAM'S BORDER DIMENSION SHALL BE AT LEAST 6" HIGH AND EACH DIRECTLY SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM.
- FONT FOR ALL TEXT SHALL BE UNIVERSE 57 CONDESED AS SHOWN IN DETAILS .
- ARCHITECT TO PROVIDE DIGITAL FILES AS REQUIRED BY SIGNAGE FABRICATOR
- SAMPLES AND VERIFICATION OF SIGNAGE SHALL BE REQUIRED TO ENSURE COMPLIANCE
- ALL SIGNS CONTAINING BRAILLE WILL BE REVIEWED AND APPROVED BY THE LIGHTHOUSE FOR THE BLIND.
- ALL SIGNS TO BE CLEAR NON-GLARE AND CONTRASTING ON COLOR.

BUILDING	06.13.2016
BUILDING	08.31.2016
BUILDING	09.21.2016
BUILDING	06.01.2018
BUILDING	06.21.2018
BUILDING	12.05.2018





**SHATARA
ARCHITECTURE
INC.**

890 7TH ST.
SAN FRANCISCO
CA 94107

TEL (415) 512-7566
suhel@shataraarch.com

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PROJECT
TENANT IMPROVEMENT

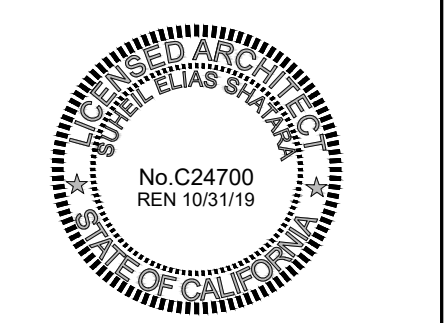
ADDRESS
**1100 THOMAS AVE
SAN FRANCISCO, CA**

**BLOCK: 4793
LOT: 001B**

PROJECT DIRECTORY
OWNER

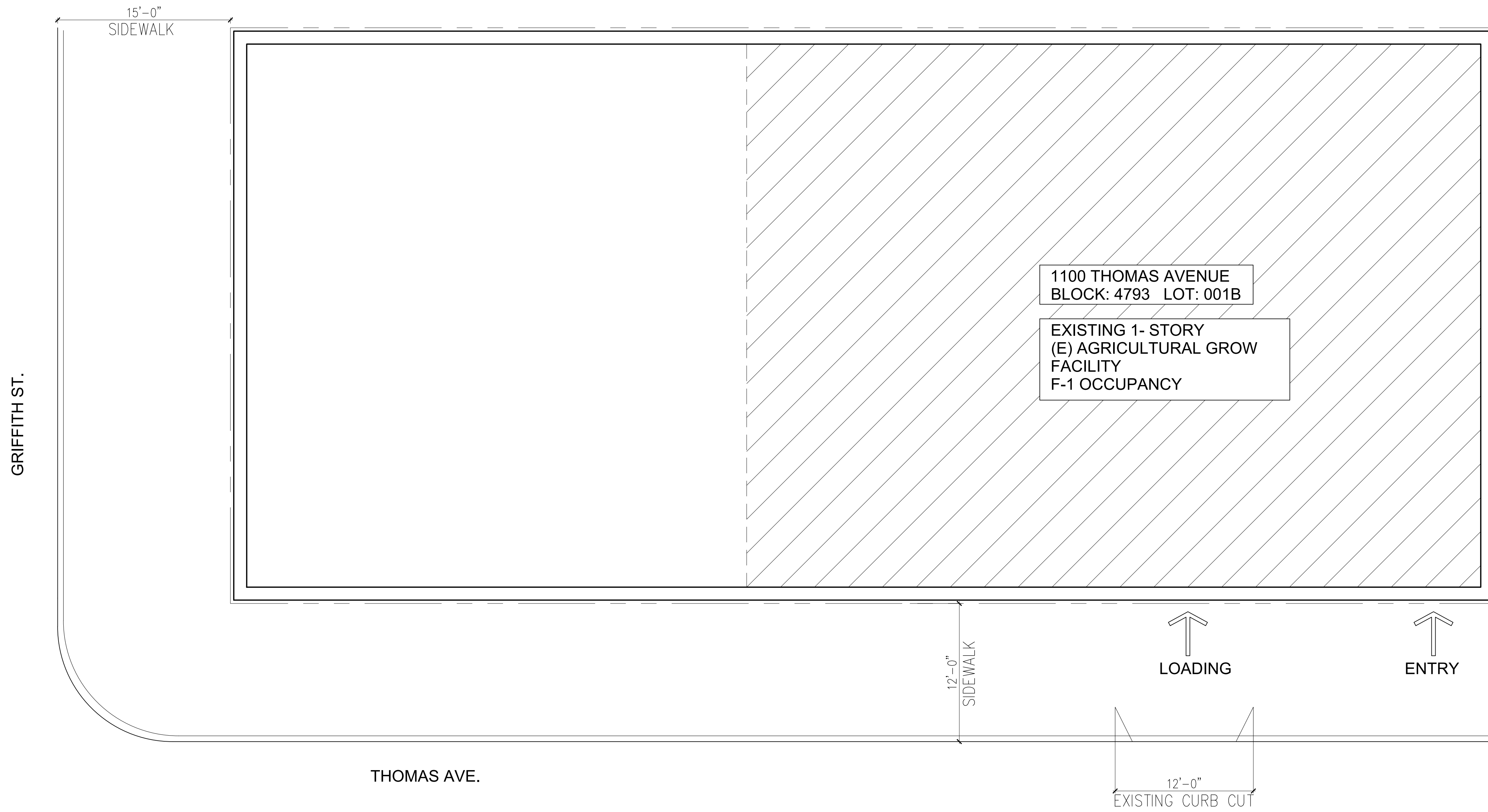
ARCHITECT
SHATARA ARCHITECTURE INC.
890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566
CONTACT: SUHEIL SHATARA

BUILDING	06.13.2016
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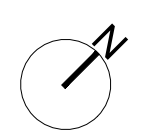


SHEET DESCRIPTION
**EXISTING /
PROPOSED SITE
PLANS**

A1.0



1 EXISTING & PROPOSED SITE PLAN
SCALE: 3/16"=1'-0"



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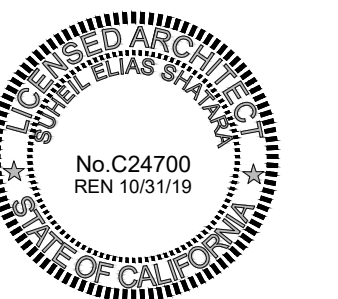
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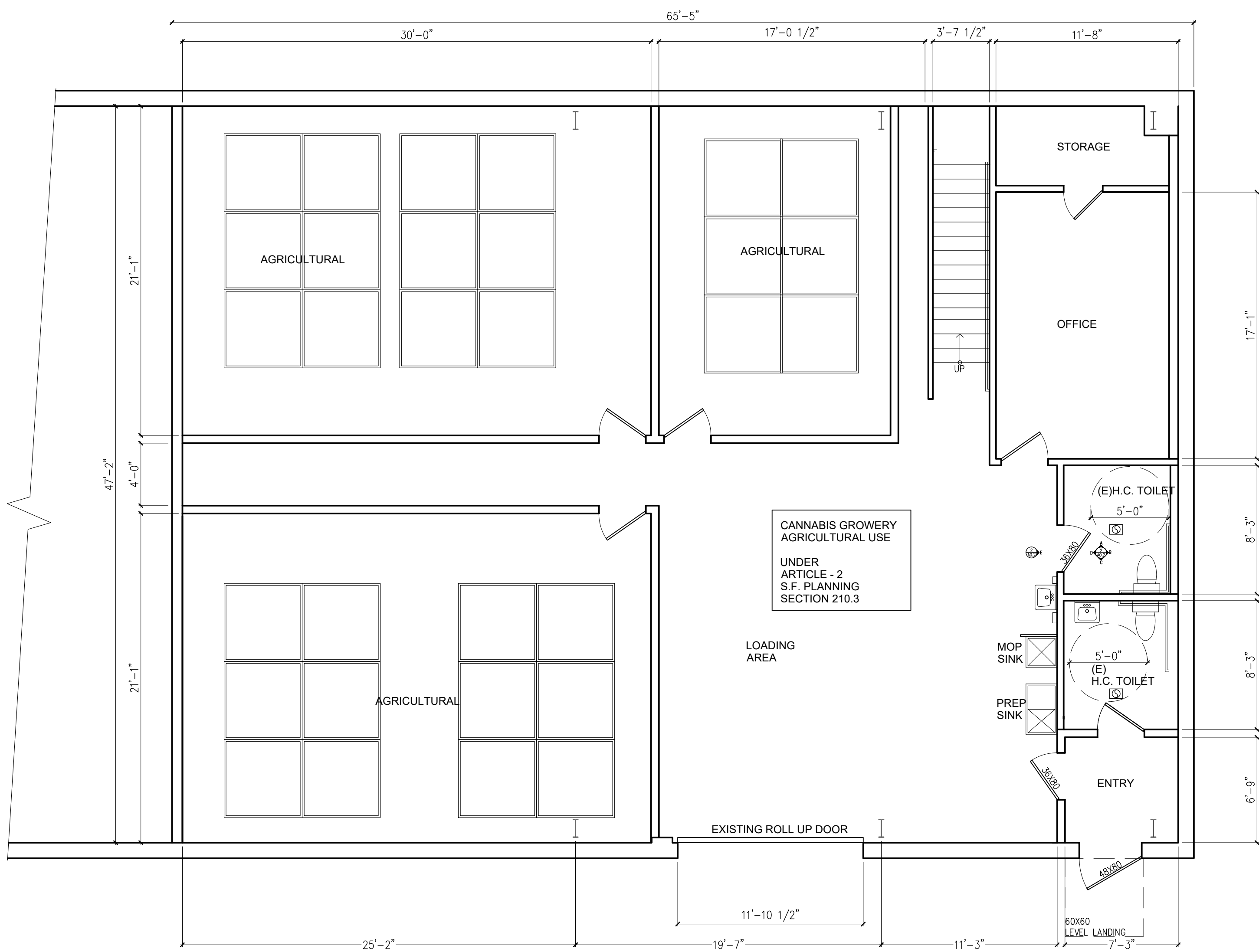
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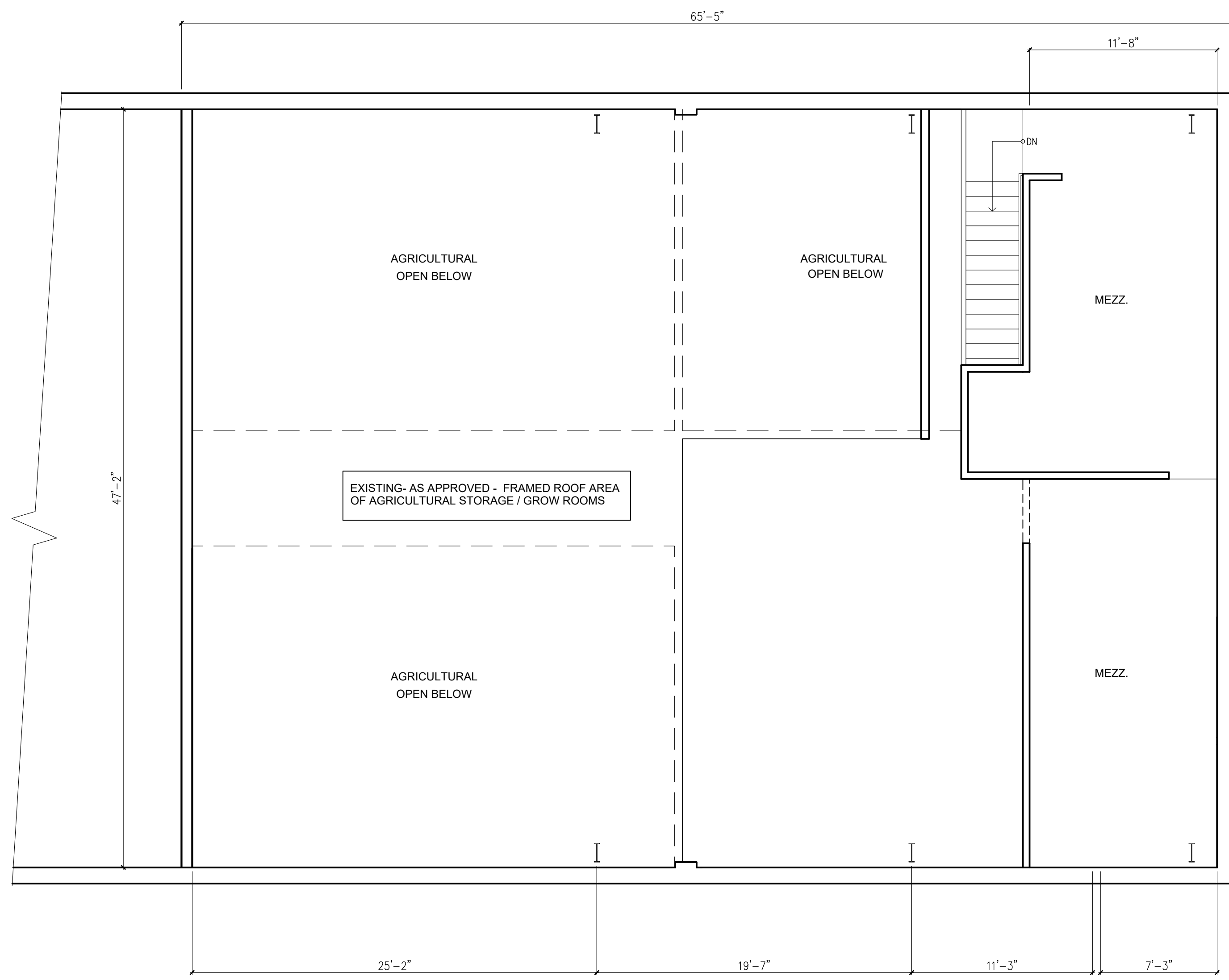


SHEET DESCRIPTION
EXISTING AS APPROVED FLOOR PLANS & SECTION

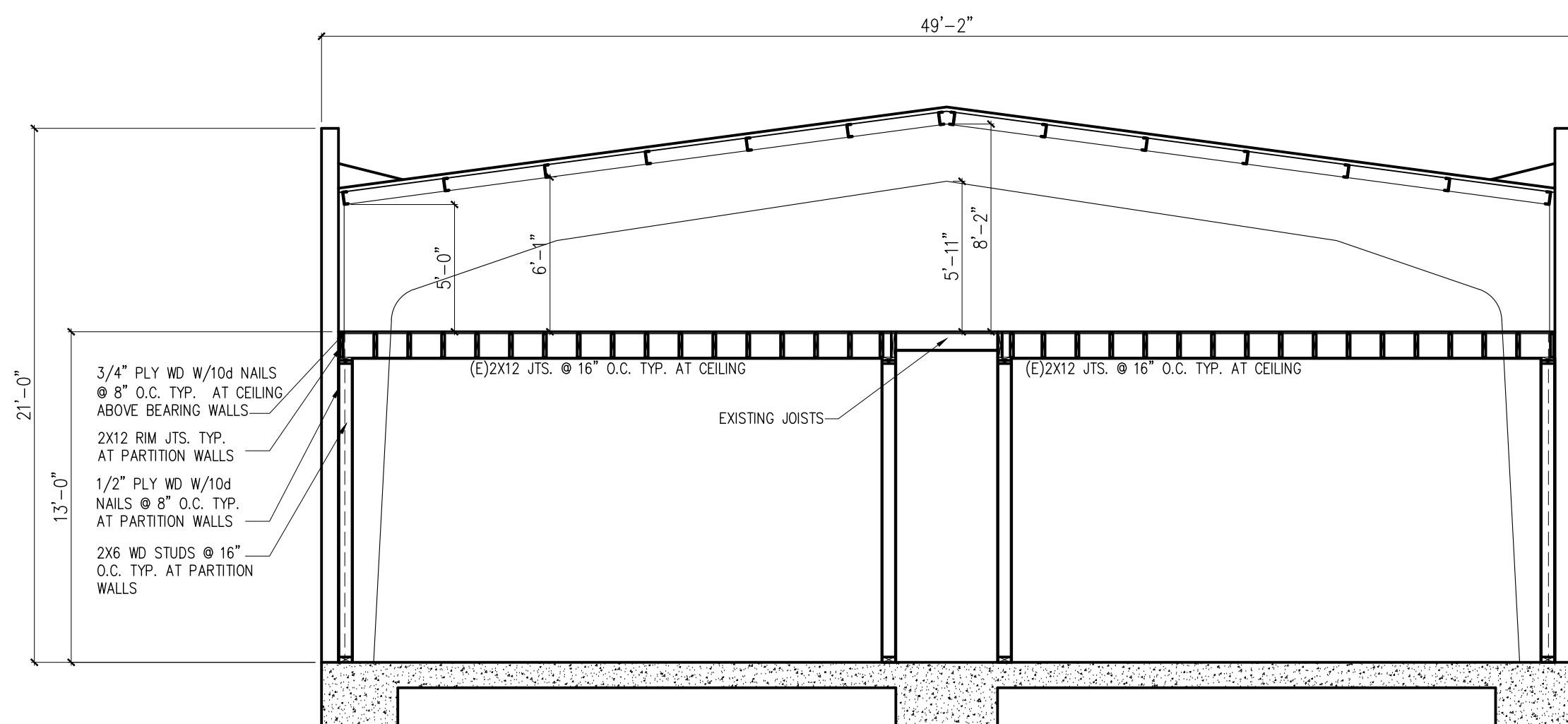
A1.1



1 EXISTING AS APPROVED FIRST FLOOR PLAN
SCALE : 3/16"=1'-0"



2 EXISTING AS APPROVED MEZZANINE FLOOR PLAN
SCALE : 3/16"=1'-0"



3 EXISTING AS APPROVED WIDE SECTION
SCALE : 3/16"=1'-0"

DETAILS SHEET NOTES

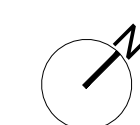
- WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

- ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
- ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
- ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND

	WALL TYPE		SECTION
	DOOR NUMBER		ELEVATION
	WINDOW NUMBER		FLOOR/CEILING ASSEMB. TYPE
	(E) WALL TO BE DEMOLISHED		
	(E) WALL TO REMAIN		
	(N) WALL		
	PROPERTY LINE		



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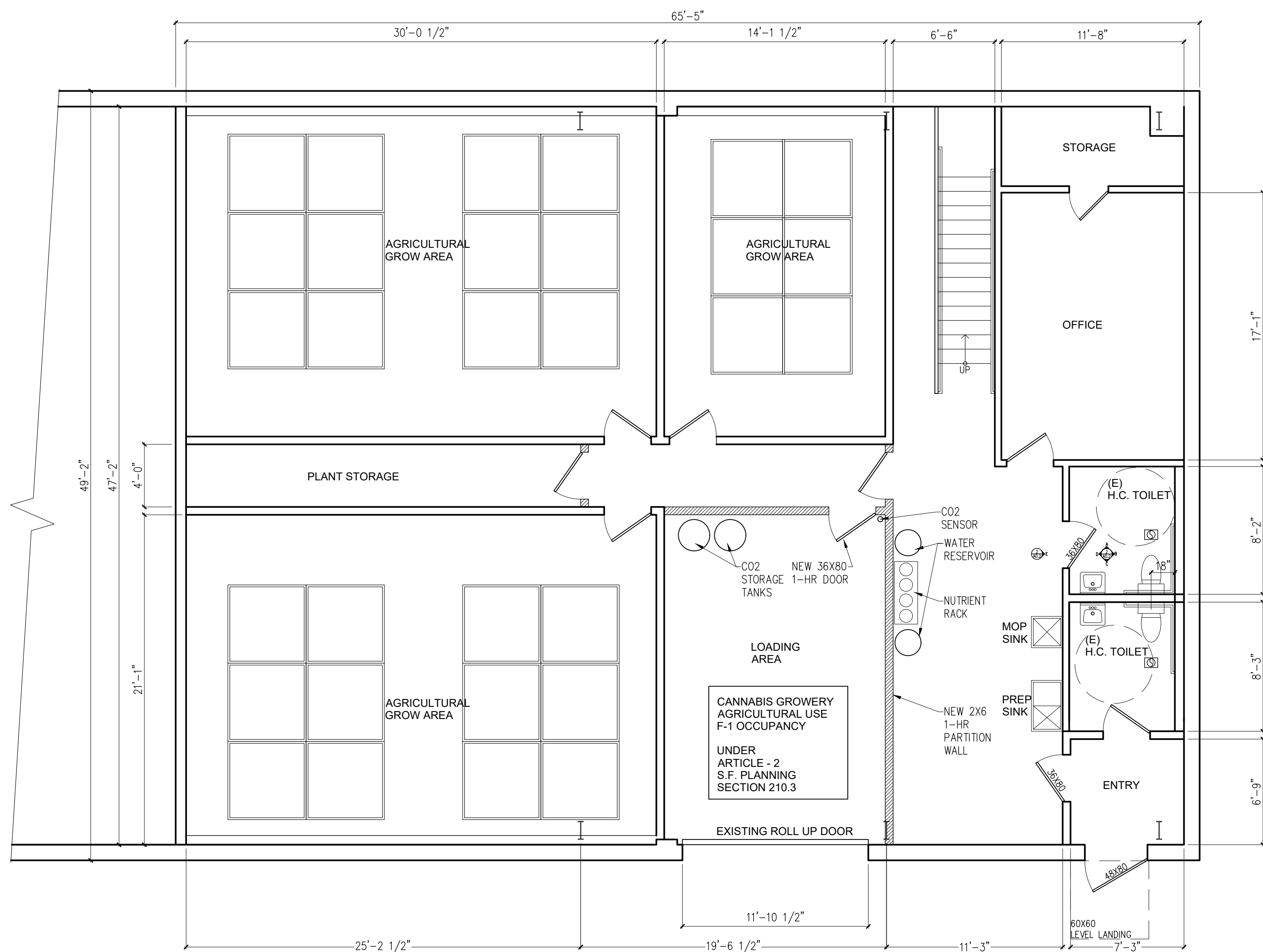
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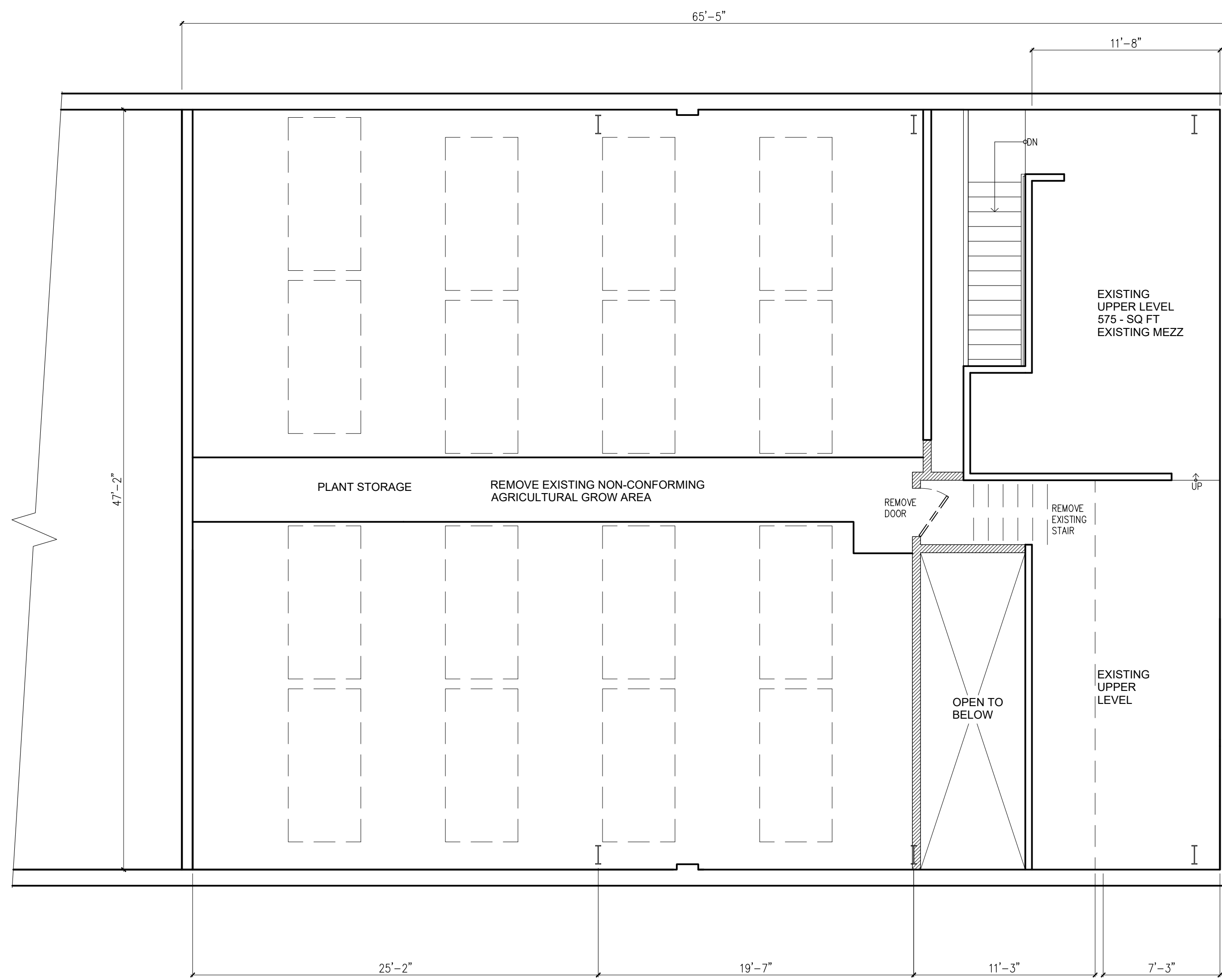
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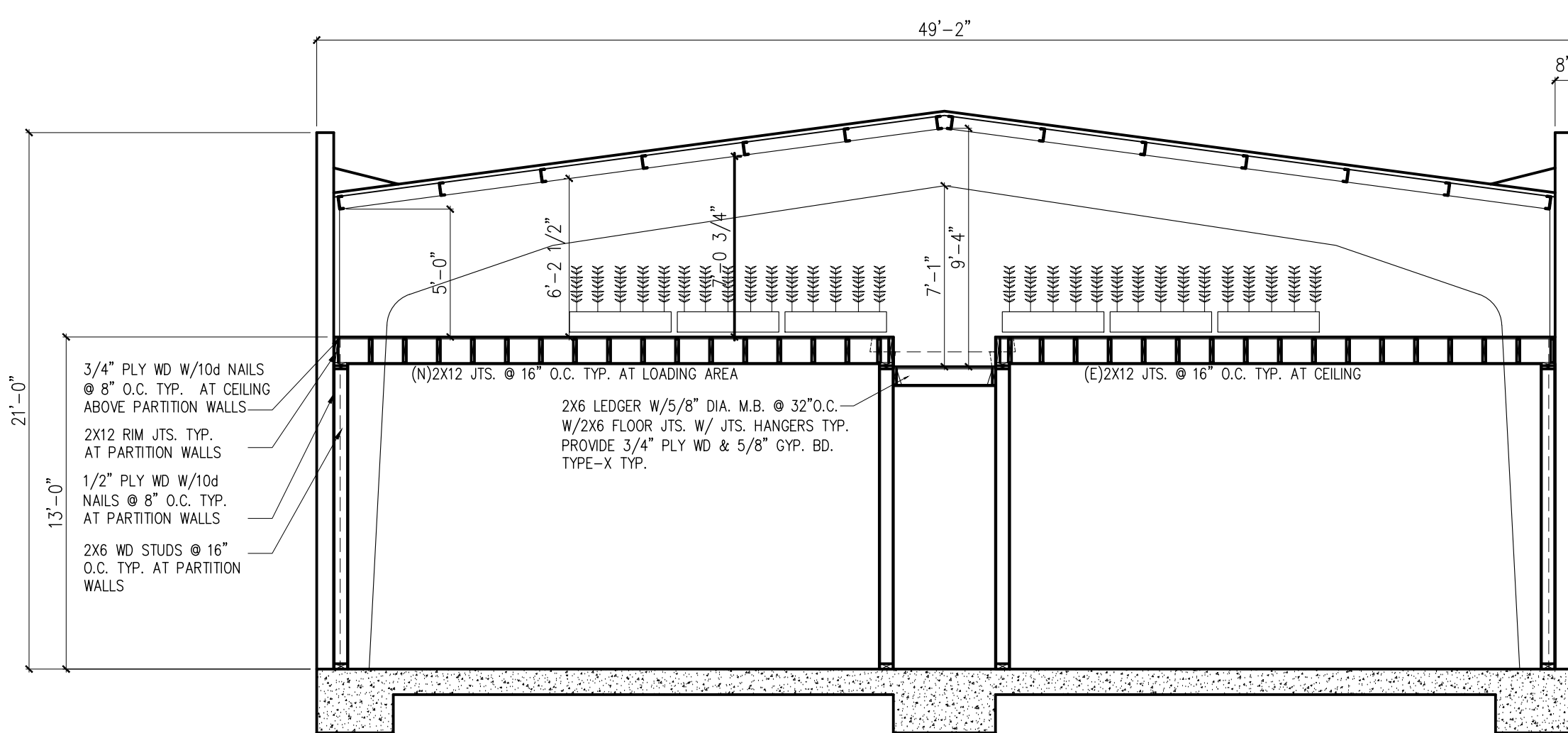
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BUILDING	08.31.2016
BUILDING	09.21.2016
BUILDING	06.01.2018
BUILDING	06.21.2018
BUILDING	12.05.2018



1 AS BUILT FIRST FLOOR PLAN W/O BENEFIT OF PERMIT
SCALE: 3/16"=1'-0"



2 AS BUILT MEZZANINE PLAN W/O BENEFIT OF PERMIT
SCALE: 3/16"=1'-0"



3 AS BUILT WIDE SECTION W/O BENEFIT OF PERMIT
SCALE: 3/16"=1'-0"

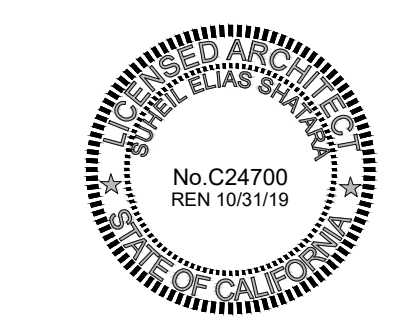
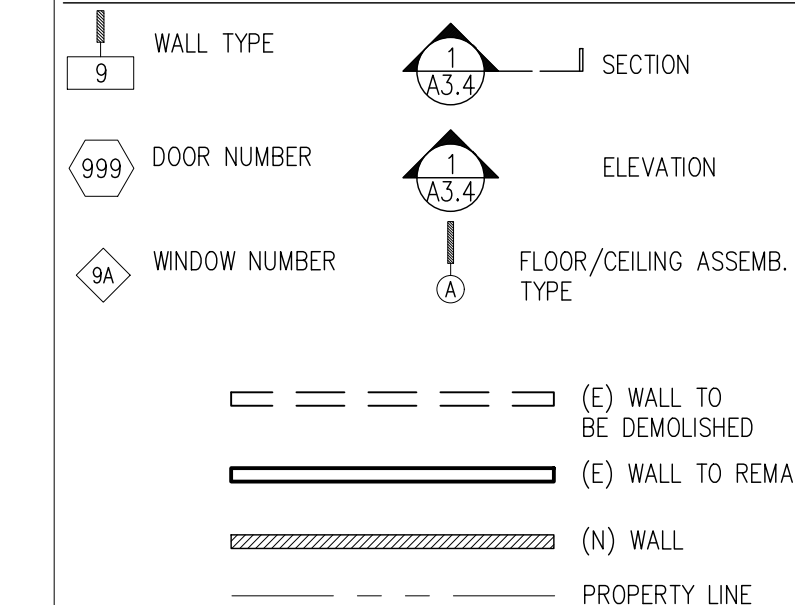
DETAILS SHEET NOTES

- WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

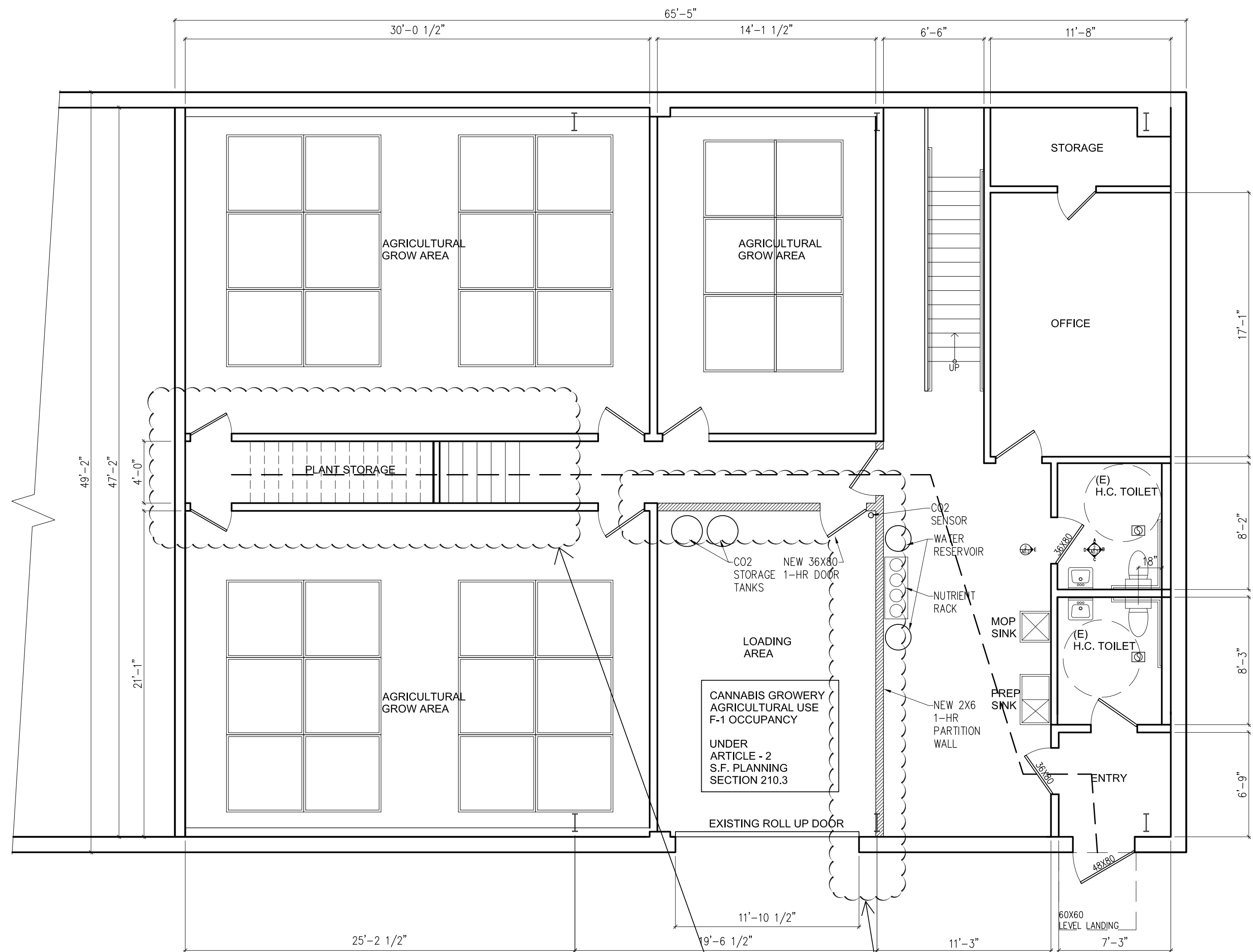
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LEGEND



SHEET DESCRIPTION
**AS BUILT
FLOOR PLANS**

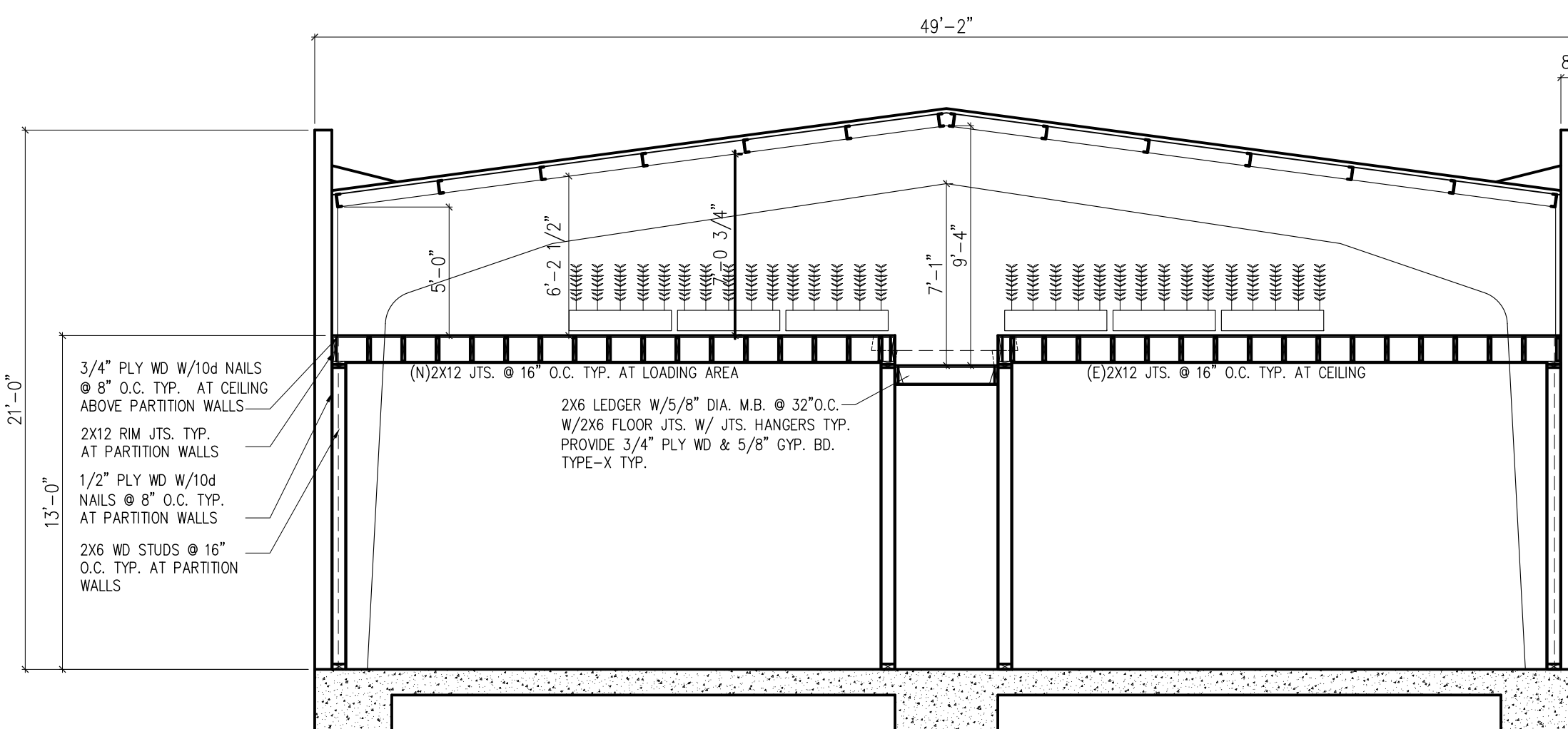
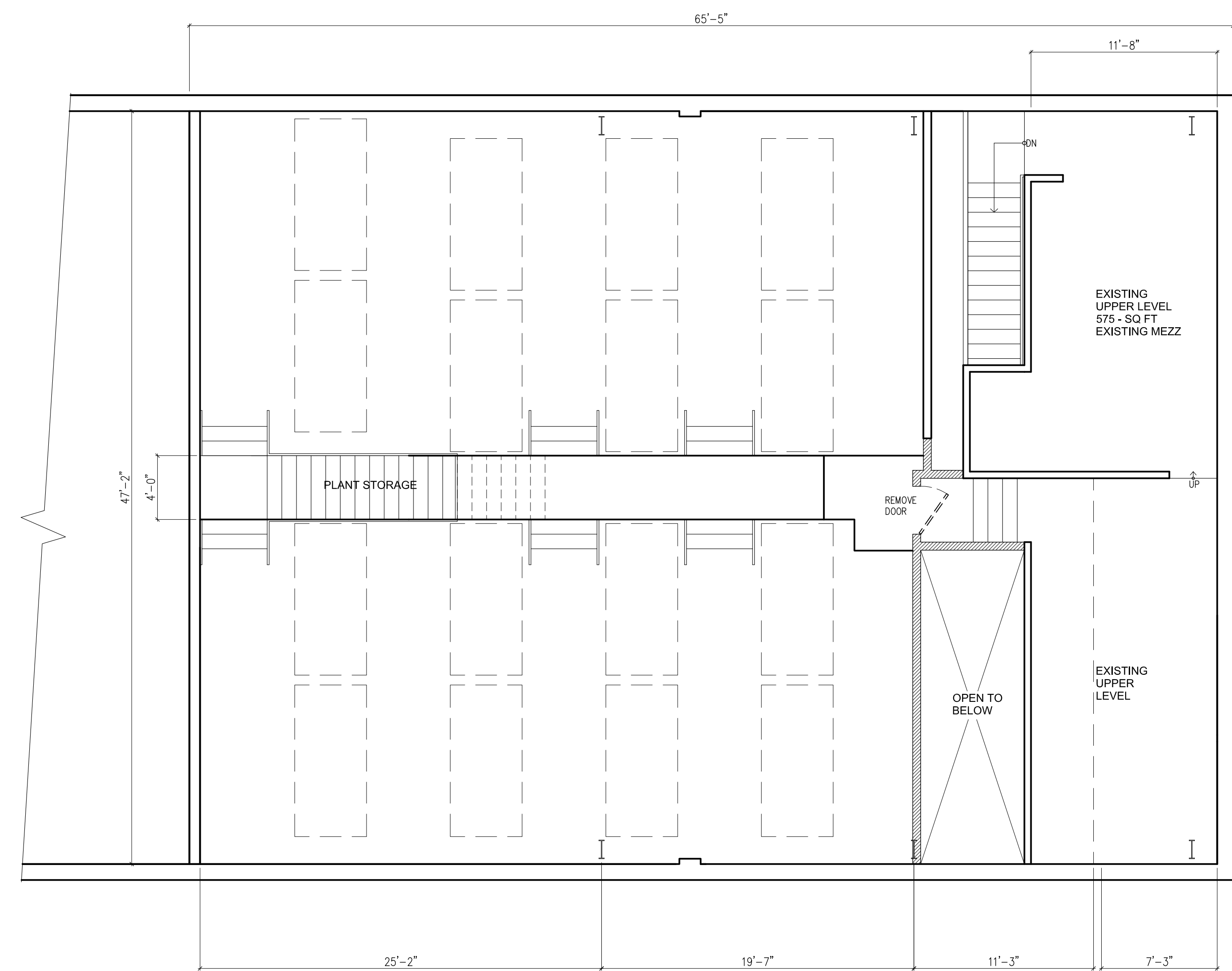
A1.1.1



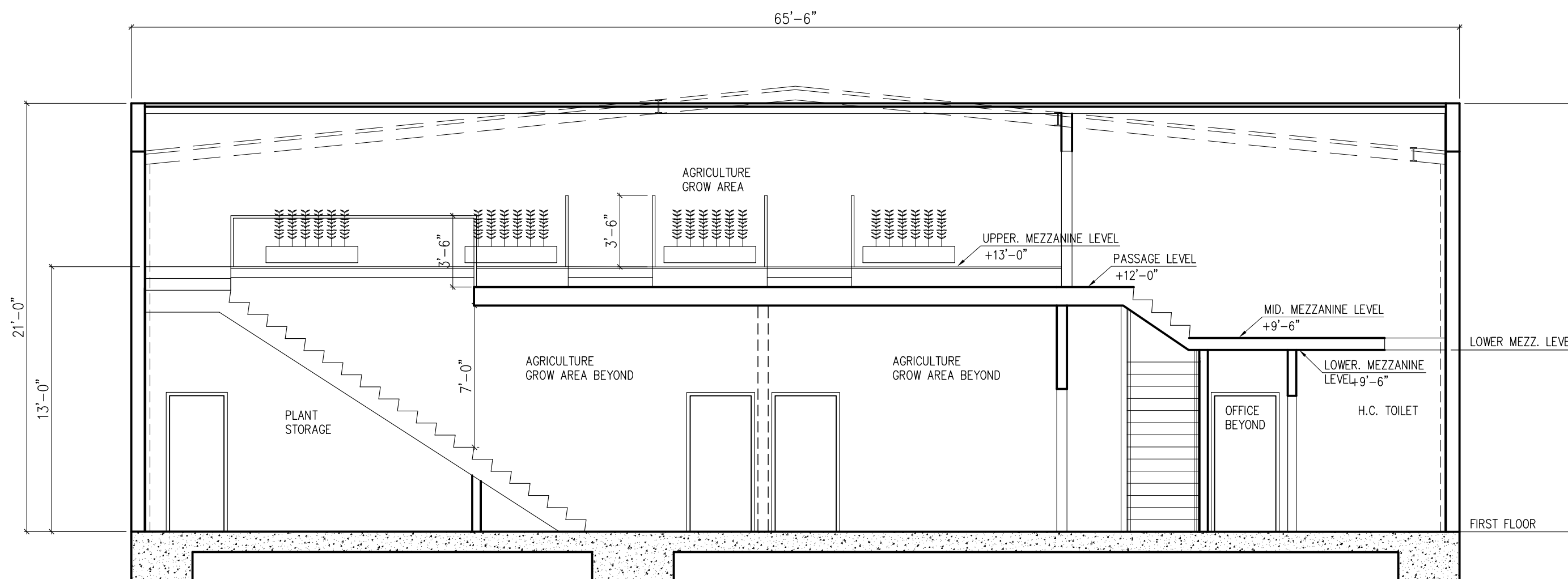
1 PROPOSED FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

SCOPE OF WORK:
NEW WALLS

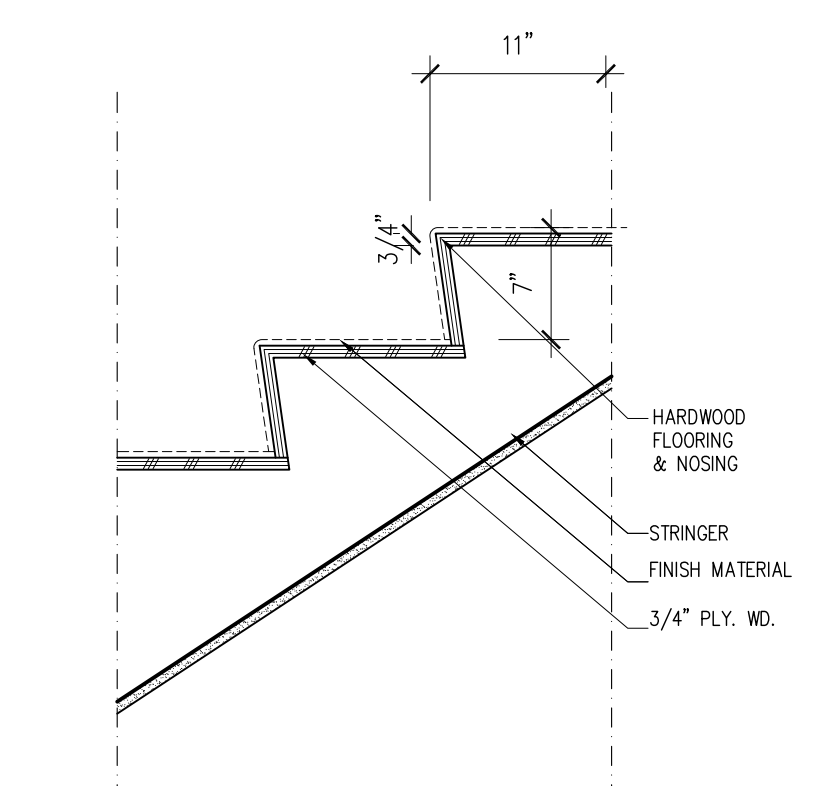
2 PROPOSED MEZZANINE FLOOR PLAN
SCALE: 3/16"=1'-0"



3 PROPOSED WIDE SECTION
SCALE: 3/16"=1'-0"



4 PROPOSED LONGITUDINAL SECTION
SCALE: 3/16"=1'-0"



A NEW STAIR SECTION DETAIL
SCALE: 1-1/2"=1'-0"

LEGEND

- 9 WALL TYPE
- 999 DOOR NUMBER
- 9A WINDOW NUMBER
- A3.4 SECTION
- A3.4 ELEVATION
- A FLOOR/CEILING ASSEMB. TYPE

DETAILS SHEET NOTES

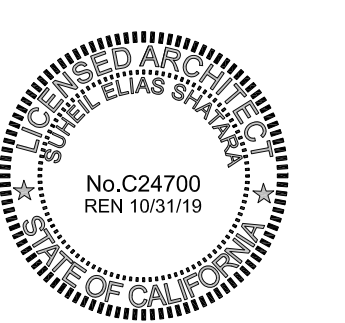
- 1 WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- 2 FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

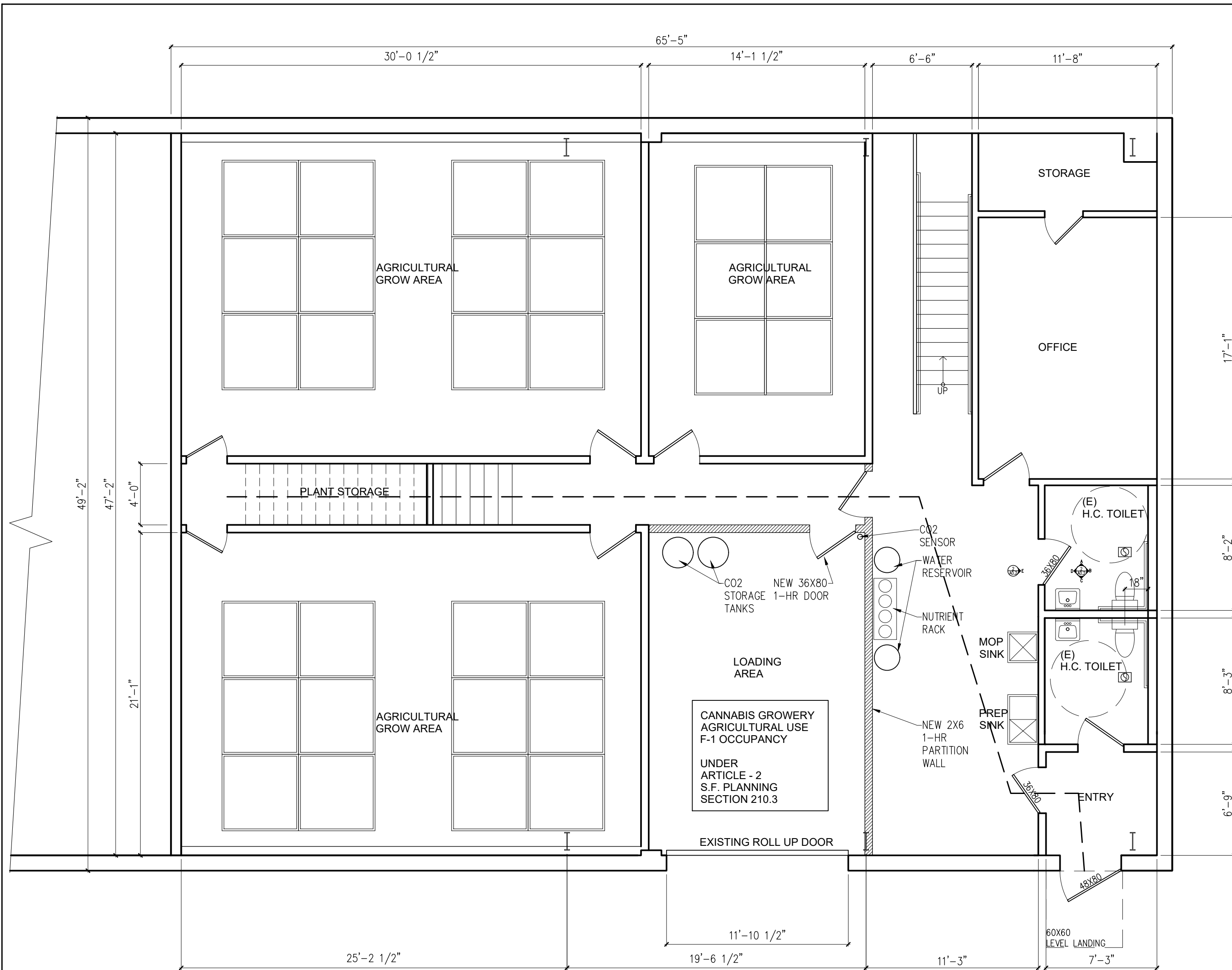
1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- (N) WALL
- PROPERTY LINE

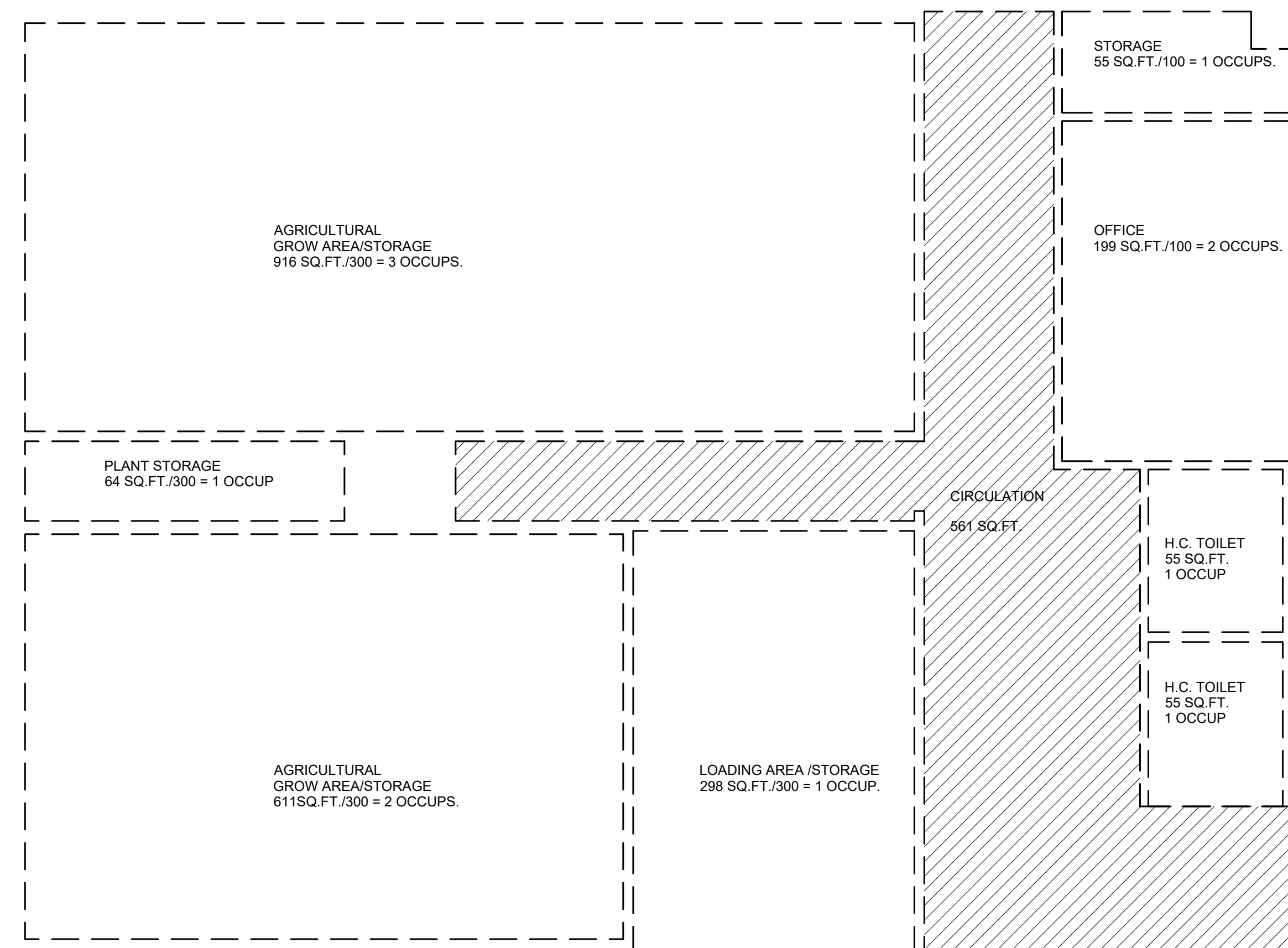
BUILDING	06.13.2016
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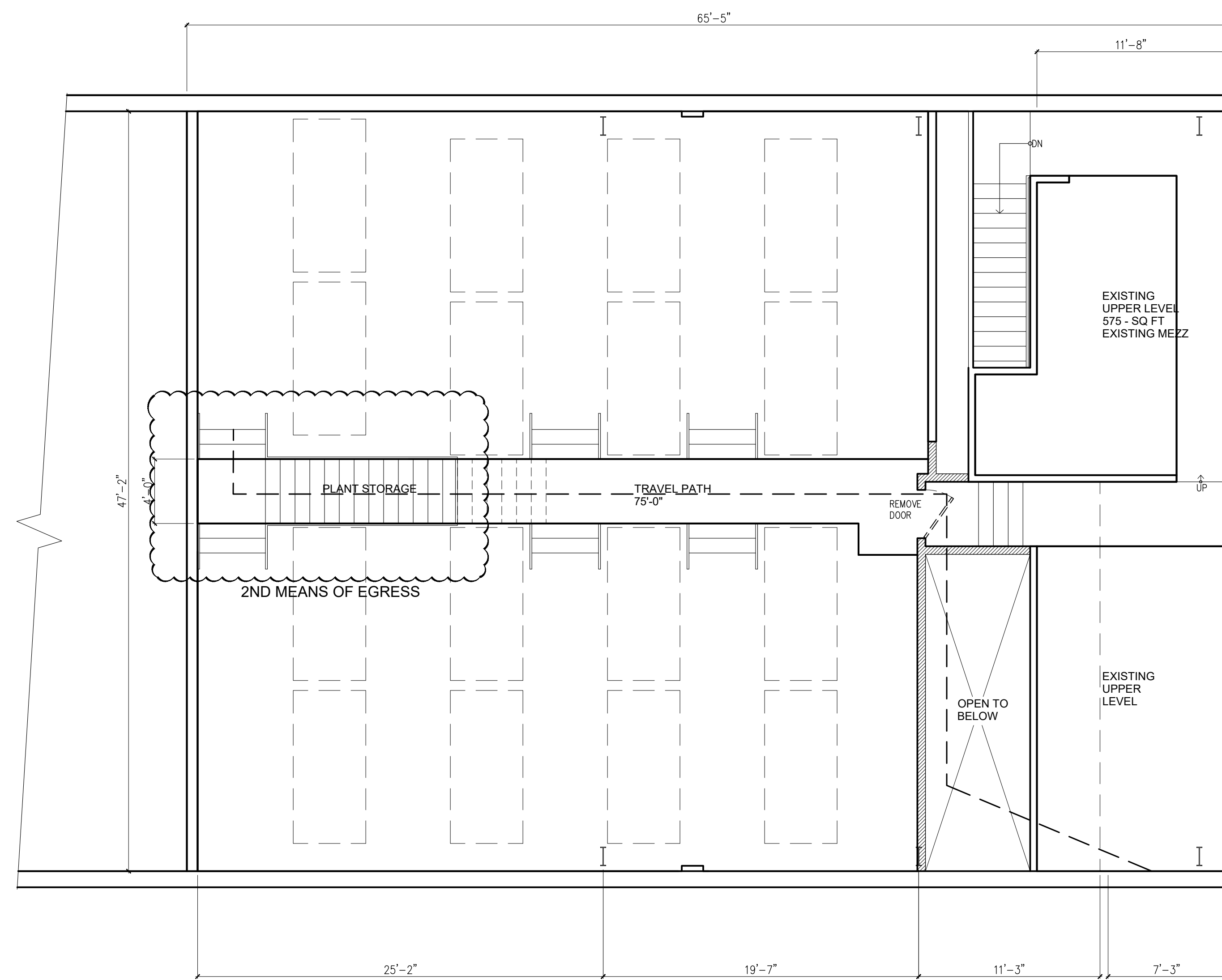
SHEET DESCRIPTION
PROPOSED FLOOR PLANS & SECTIONS



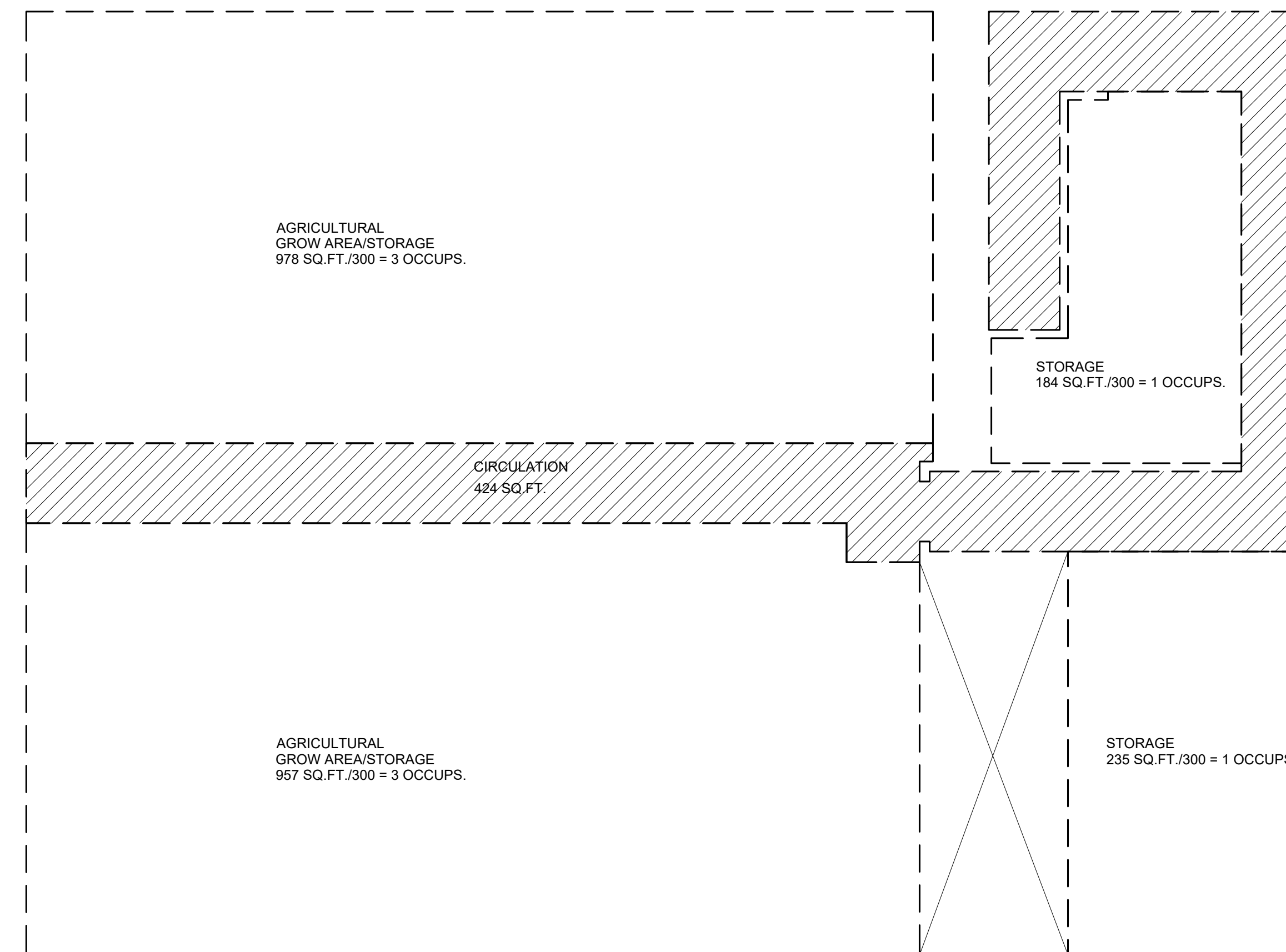
1 FIRST FLOOR PLAN EGRESS PATH
SCALE: 3/16"=1'-0"



3 FIRST FLOOR OCCUPANCY
SCALE: 3/16"=1'-0"



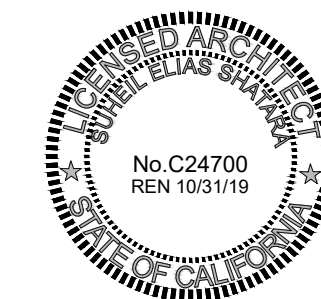
2 MEZZANINE FLOOR PLAN EGRESS PATH
SCALE: 3/16"=1'-0"

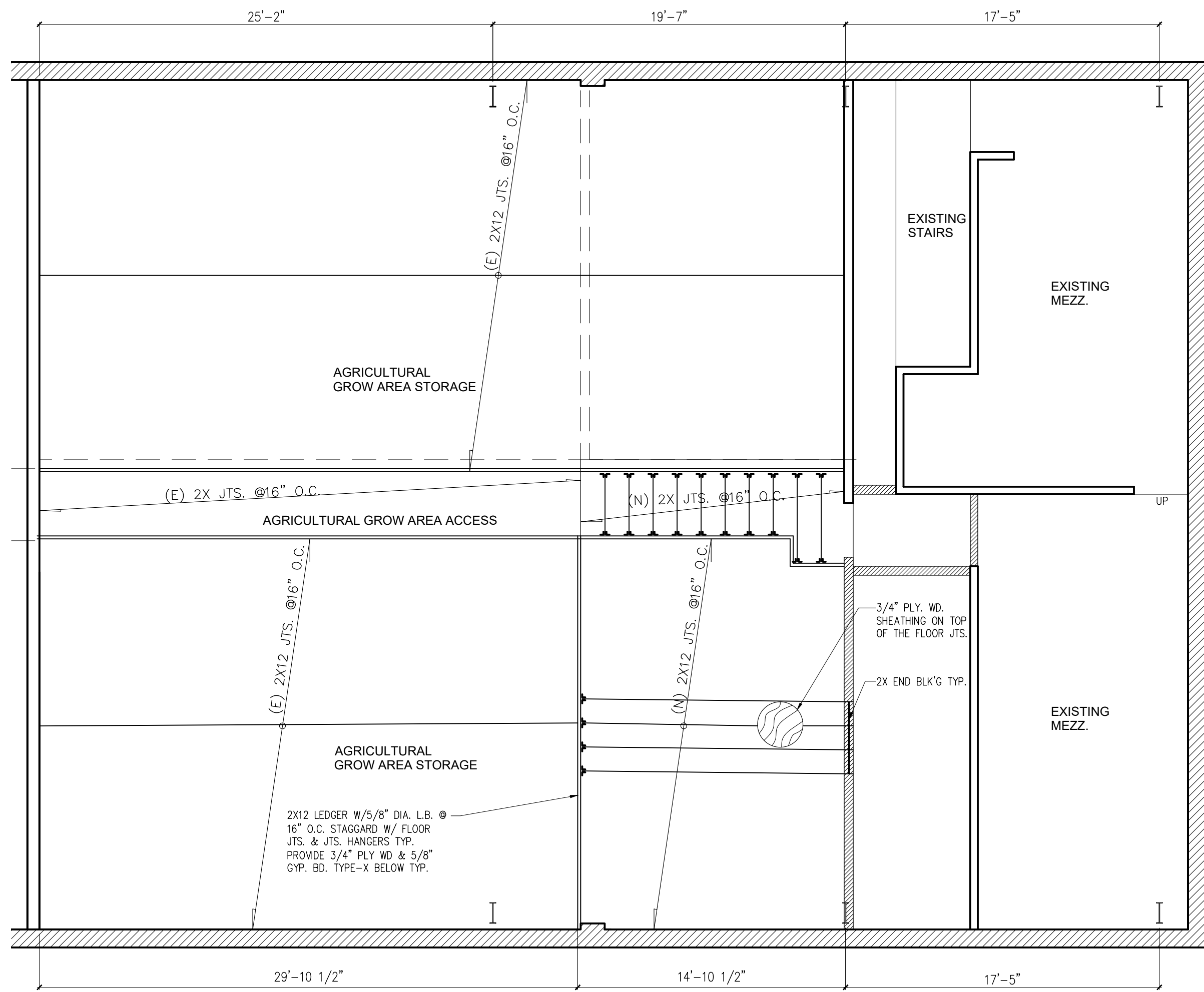


4 MEZZANINE FLOOR OCCUPANCY
SCALE: 3/16"=1'-0"

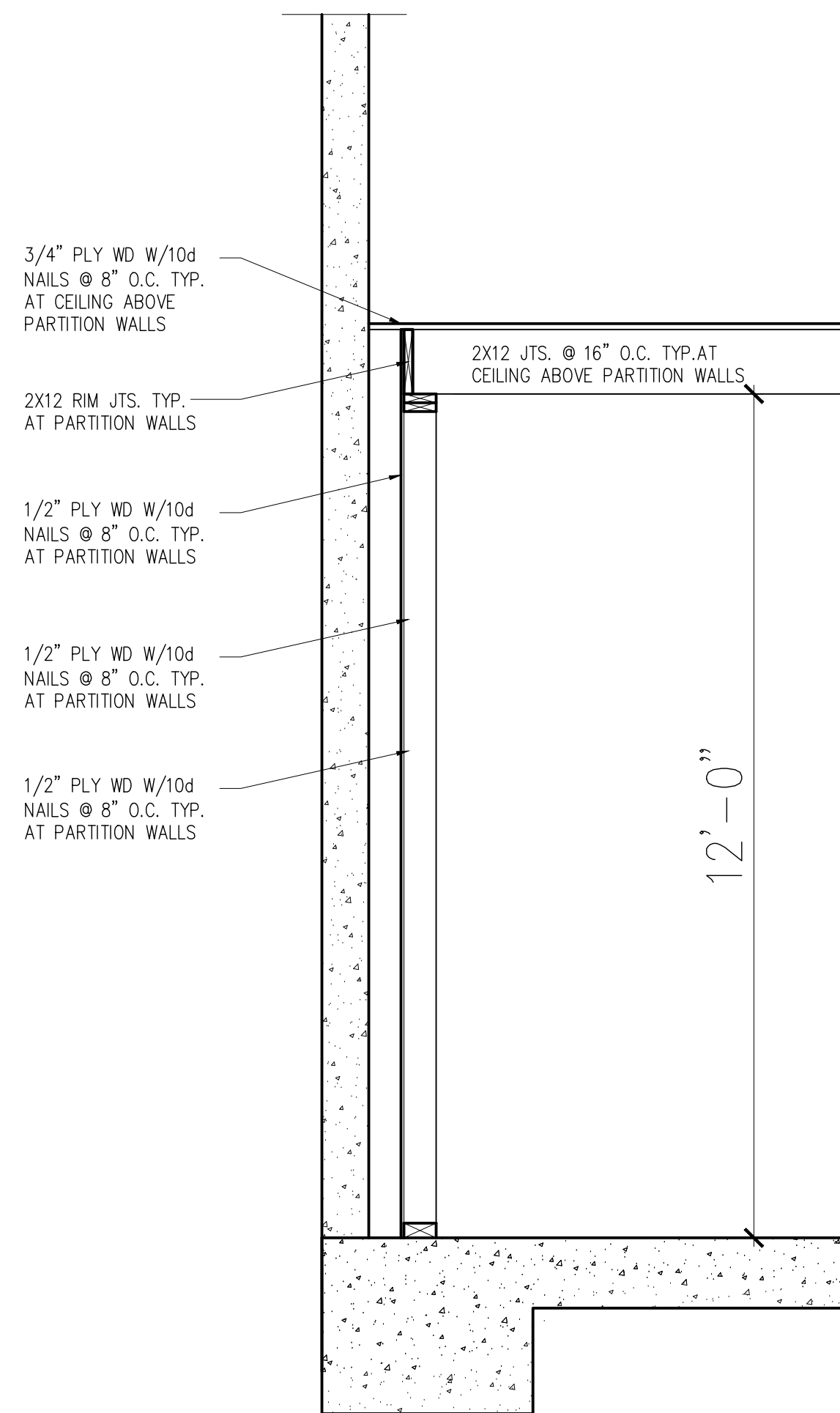
TOTAL OCCUPANTS 20 OCCUPANTS < 49
1 EXIT REQUIRED

BUILDING	06.13.2016
BUILDING	08.31.2016
BUILDING	09.21.2016
BUILDING	06.01.2018
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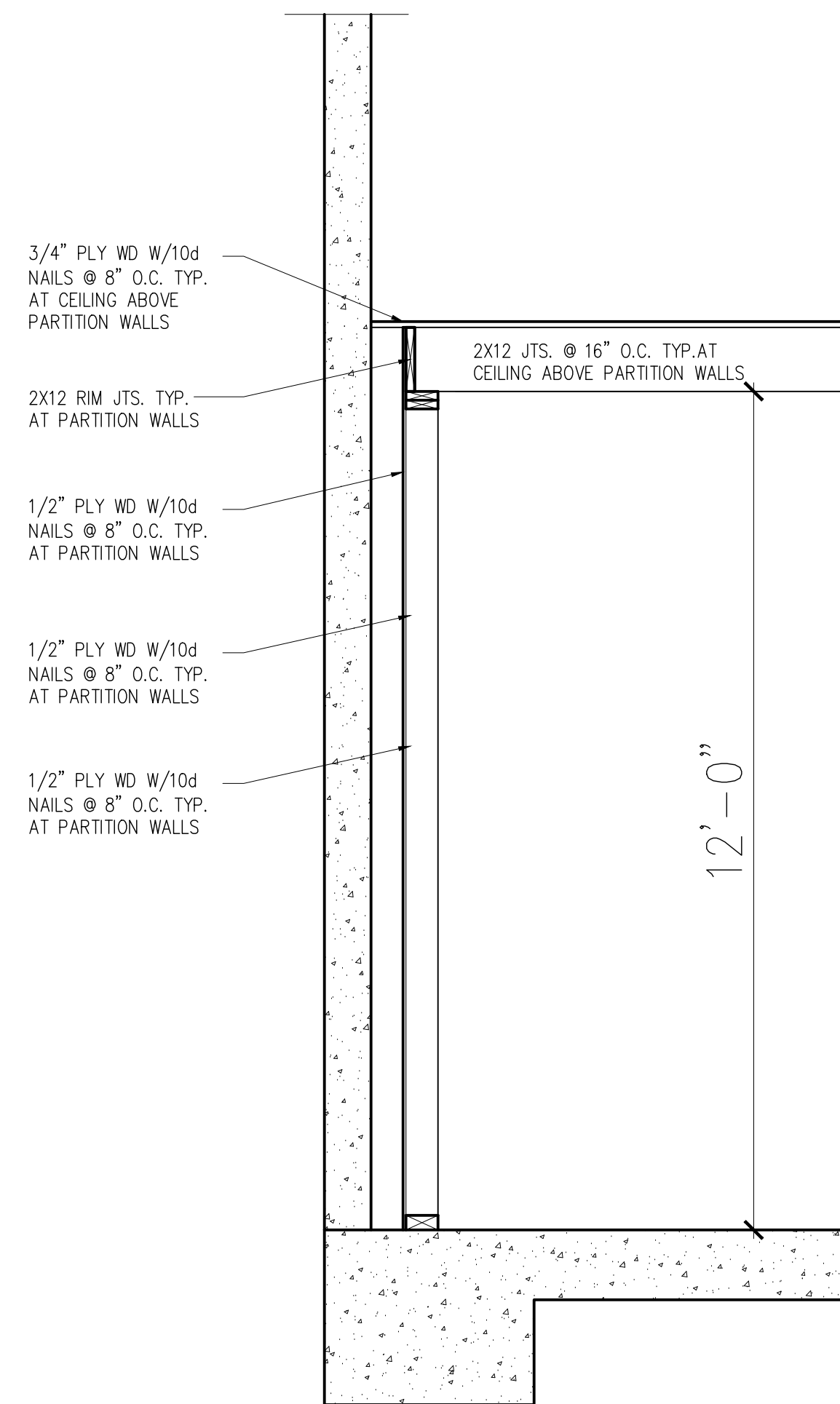




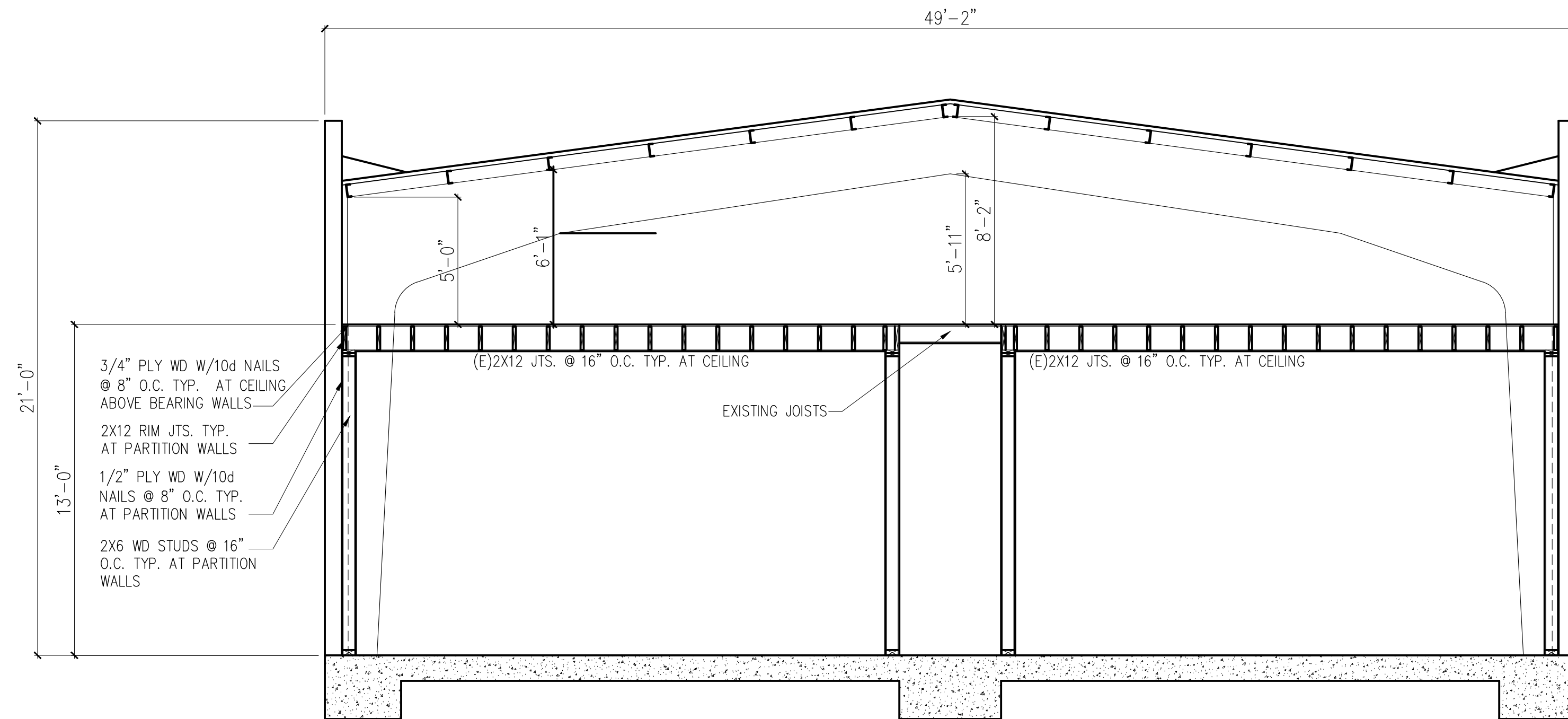
2 EXISTING AS APPROVED & PROPOSED FRAMING PLAN
SCALE: 3/16"=1'-0"



A EXISTING AS APPROVED SECTION DETAIL
SCALE: 1/2"=1'-0"



B PROPOSED SECTION DETAIL
SCALE: 1/2"=1'-0"



1 EXISTING AS APPROVED & PROPOSED SECTION
SCALE: 1/4"=1'-0"

STRUCTURAL NOTES

NOTES & SPECIFICATIONS

1) CONCRETE

a. SELECTION OF MATERIALS, MIXING AND PLACING OF CONCRETE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE AND ACI REQUIREMENTS.

b. CONCRETE STRENGTH. CONCRETE SHALL BE NORMAL WEIGHT READY MIX CONCRETE AND SHALL DEVELOP THE COMPRESSIVE STRENGTHS LISTED BELOW, UNLESS OTHERWISE NOTED IN SPECIAL INSPECTION CHECKLIST:

FOOTINGS: 2,500 PSI 4" SLUMP 3/4" AGGREGATE
WALLS: 3,000 PSI 4" SLUMP 3/4" AGGREGATE
SLAB ON GRADE: 2,500 PSI 4" SLUMP 3/4" AGGREGATE

NOTE: 3/8" PEA GRAVEL MAY BE SUBSTITUTED FOR 3/4" AGGREGATE WHERE NEEDED FOR PUMPING.

c. MINIMUM CONCRETE COVER FOR REINFORCING STEEL:

SURFACE POURED AGAINST GROUND: 3"

FRAMED SURFACES BELOW GRADE: 2"

SURFACES EXPOSED TO WEATHER: 2"

CONCRETE BEAM BARS: 1-1/2"

ALL OTHERS: 1"

d. REINFORCING STEEL. USE ASTM A615, GRADE 40 FOR #4 BARS AND SMALLER, GRADE 60 FOR #5 BARS AND LARGER. TACK WELDING HEATING OR CUTTING OF BARS IS NOT PERMITTED. STAGGER ALL SPLICES A MINIMUM OF 5 FEET.

e. ANCHOR BOLTS SHALL CONFORM TO ASTM-A36 FOR HOOKED ANCHOR BOLTS. HEADED ANCHOR BOLTS SHALL CONFORM TO ASTM A-307.

f. CONSTRUCTION JOINTS SHALL BE PREPARED BY WIRE BRUSHING AND CLEANING PREVIOUS POUR. PROVIDE 1/4 INCH AMPLITUDE MINIMUM OR KEYED JOINTS. ADD A PASTE OF CEMENT MORTAR IMMEDIATELY PRIOR TO POURING. ALL EXISTING CONCRETE SURFACES WHICH ARE TO RECEIVE NEW CONCRETE SHALL BE ROUGHENED AND WASHED CLEAN OF DUST PRIOR TO CONCRETE PLACEMENT. WAIT 48 HOURS BETWEEN POURS.

g. ALL CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS TO ASSURE THE ABSENCE OF VOIDS IN STRUCTURAL ELEMENTS.

h. SLABS ON GRADE SHALL BE A MINIMUM OF 5 INCHES THICK WITH #4 BARS AT 12 INCHES ON CENTER AT MID HEIGHT UNLESS OTHERWISE NOTED ON THE PLANS. PROVIDE 2 INCHES OF SAND BELOW SLAB WITH PLASTIC VAPOR BARRIER OVER 6 INCHES OF CLASS B CRUSHED ROCK COMPACTED TO 95% RELATIVE COMPACTION.

i. EPOXY TO BE SIMPSON SET EPOXY BASED ANCHORING ADHESIVE. FOLLOW MANUFACTURER'S INSTALLATION DIRECTIONS. ALL HOLES TO BE BRUSHED CLEAN AND BLOWN OUT PRIOR TO EPOXY INSTALLATION.

j. LAP LENGTHS. ALL REINFORCING BARS #6 AND SMALLER TO BE LAPPED 44 TIMES THE DIAMETER OF THE BAR. ALL BARS #7 AND LARGER TO BE LAPPED 55 TIMES THE DIAMETER OF THE BAR.

2) WOOD

a. FRAMING LUMBER SHALL BE DOUGLASS FIR LARCH WITH A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF PLACEMENT.

HEADERS, PLATES, JOISTS: NO. 1

POSTS AND BEAMS: NO. 1

STUDS AND BLOCKING: NO. 2

b. SILLS OR LEDGERS IN CONTACT WITH CONCRETE OR MASONRY, AND ANY WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED DOUGLASS FIR OR CALIFORNIA REDWOOD. NEWLY EXPOSED SURFACES RESULTING FROM FIELD CUTTING, BORING OR HANDLING SHALL BE FIELD TREATED. ALL NAILS AND BOLTS INTO PRESSURE TREATED FRAMING TO BE HOT-DIPPED GALVANIZED. ALL HARDWARE AND HANGERS IN CONTACT WITH PRESSURE TREATED FRAMING TO BE TRIPLE ZINC COATED OR GALVANIZED.

c. PLYWOOD SHEATHING

ROOF SHEATHING 5/8" CD EXTERIOR APA RATED 32/16, PS1

FLOOR SHEATHING: 3/4" CD EXTERIOR APA RATED 48/24, PS1

WALL SHEATHING: 1/2" EXTERIOR APA RATED PST

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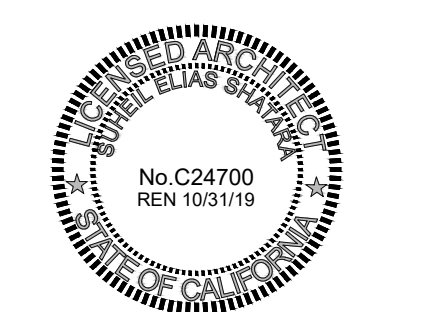
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SHEET DESCRIPTION
STRUCTURAL FRAMING AND SECTION DETAIL

S-1