STORAGE WAREHOUSE FOR ADD A GARAGE CONSTRUCTION COMPANY 1560 WALLACE AVE.

SAN FRANCISCO, CA 94124

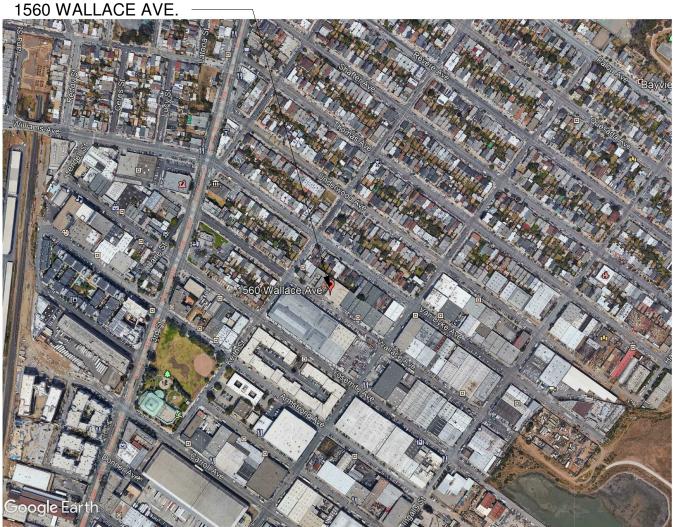
APN: 4829-026

SITE PERMIT SUBMITTAL SET



LOCATION MAP

PROJECT LOCATION



VICINITY MAP



PROJECT SCOPE

TO CONSTRUCT A NEW 46'X100' PRE-FABRICATED METAL WAREHOUSE ON AN EXISTING LOT LOCATED AT 1560 WALLACE AVE., SAN FRANCISCO, CA

CONCURRENTLY, A LOT LINE ADJUSTMENT IS OCCURING TO SPLIT THE LOT UNDER A SEPERATE PERMITAND. ALSO, APPLYING FOR NEW ADDRESS APPLICATION 1570 WALLACE

DRAWING INDEX

Architecture

A1 TITLE SHEET

A2 EXISTING PLOT PLAN

A3 SITE PLAN

A4 FLOOR PLAN A5 EXTERIOR

ELEVATIONS

A6 SECTIONS

APPLICABLE CODES

ADHERE TO 2016 CALIFORNIA BUILDING CODE. PART 1, THE 2016 CALIFORNIA ADMINISTRATIVE CODE (CAC). PART 2, THE 2016 CALIFORNIA BUILDING CODE (CBC). PART 3, THE 2016 CALIFORNIA BUILDING CODE (CBC). PART 3, THE 2016 CALIFORNIA ELECTRICAL CODE (CEC). PART 4, THE 2016 CALIFORNIA MECHANICAL CODE (CMC). PART 5, THE 2016 CALIFORNIA PLUMBING CODE (CPC). PART 6, THE 2016 CALIFORNIA ENERGY CODE (CEC) PART 9, THE 2016 CALIFORNIA FIRE CODE (CFC) PART 10, THE 2016 CALIFORNIA EXISTING BUILDING CODE (CEBC) PART 11, THE 2013 CALIFORNIA GREEN BUILDING

USE/OCCUPANCY: S-1 STORAGE

OCCUPANT LOAD: 4,600 S.F. / 500 S.F. = 9

PROJECT AREA : 46'-0" X 100'-0' = 4,600 SQ. FT.

CONSTRUCTION TYPE: TYPE II-A

STORIES: 1

HEIGHT: 27 -0"

PROPERTY DATA

APN: 4829-026

ZONING: PDR-1-B

SPRINKLERS: NOT REQUIRED S-1 UNDER 12,000 SQ FT.

ADDRESS: 1560 WALLACE AVE., SAN FRANCISCO, CA

LOT SIZE: 14,600 (LOT SPLIT UNDER SEPARATE PERMIT)

STANDARDS CODE (CAL GREEN)

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY 2655 VAN NESS AVE. #3 SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT 1344 JACKSON ST. #107 SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

STORAGE WAREHOUSE FOR ADD A GARAGE **CONSTRUCTION COMPANY**

1560 WALLACE AVE. SAN FRANCISCO, CA 94124

APN:4829-026

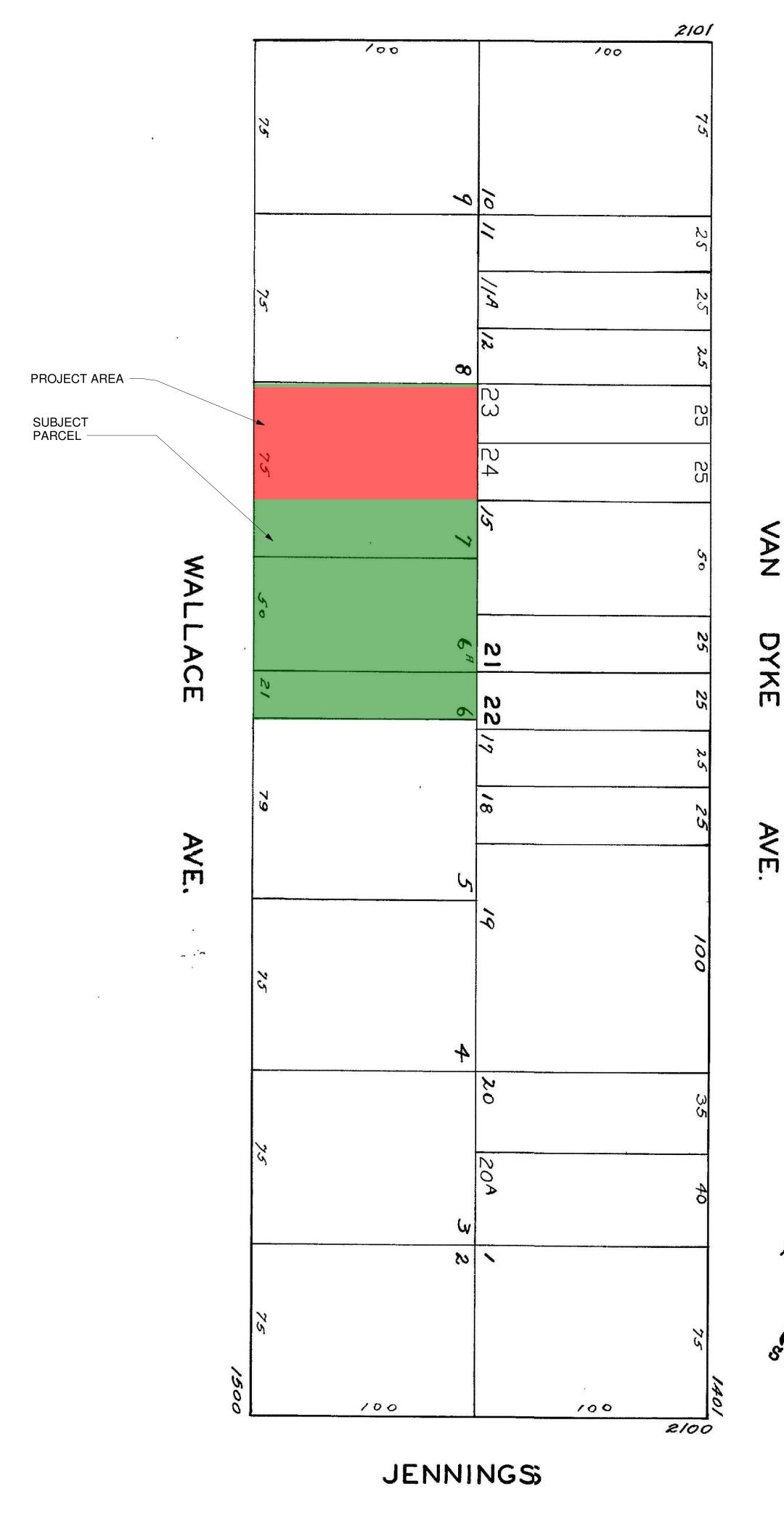
TITLE SHEET

A1

Project number Date Drawn by Scale



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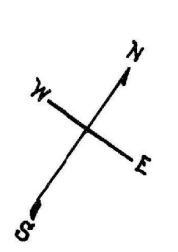


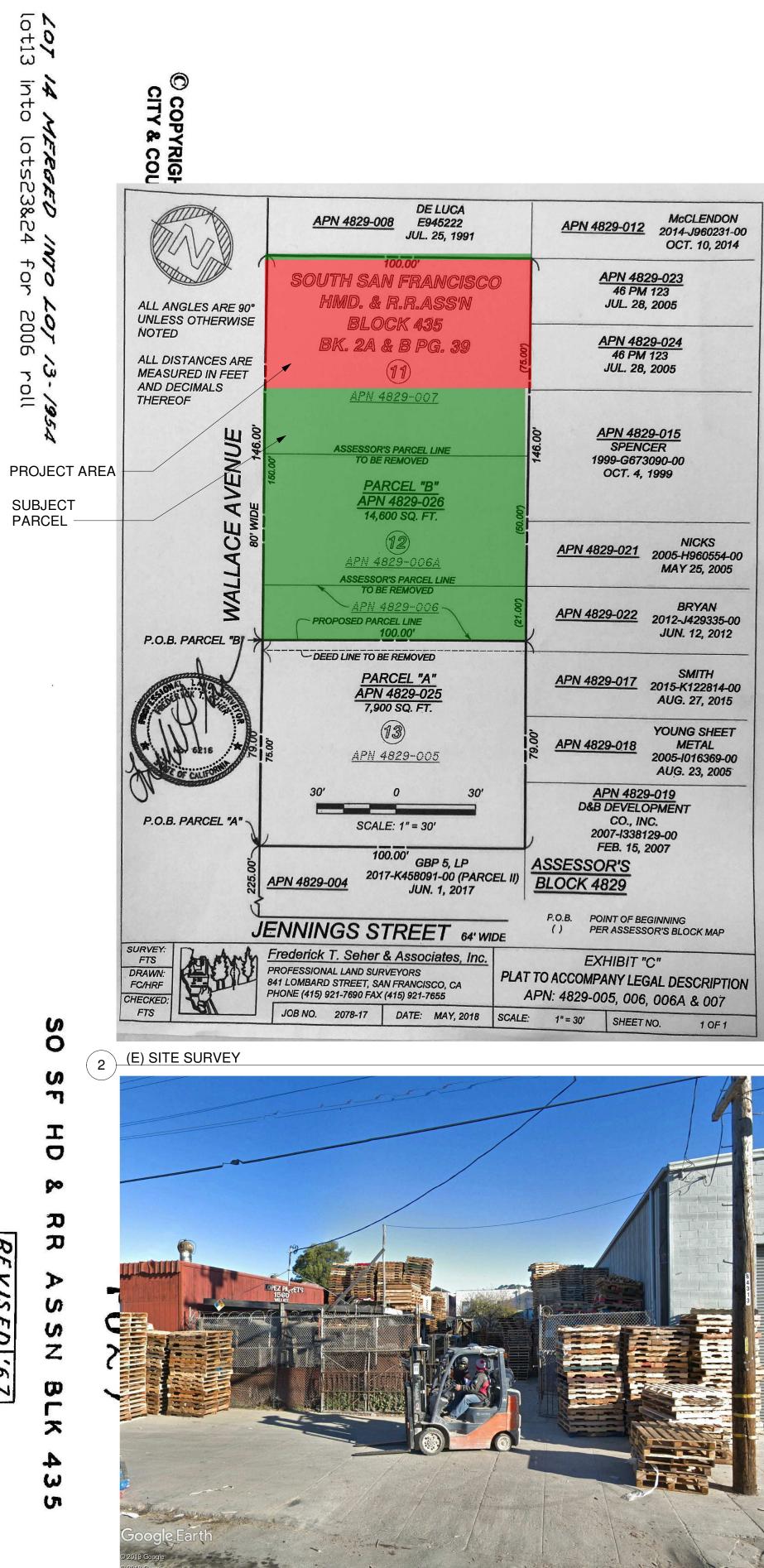
(E) PLOT PLAN ACCESSOR MAP

AVE.

VAN

~





3 (E) SITE PHOTO

Revised 2006

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY 2655 VAN NESS AVE. #3 SAN FRANCISCO, CA 94109

ARCHITECT



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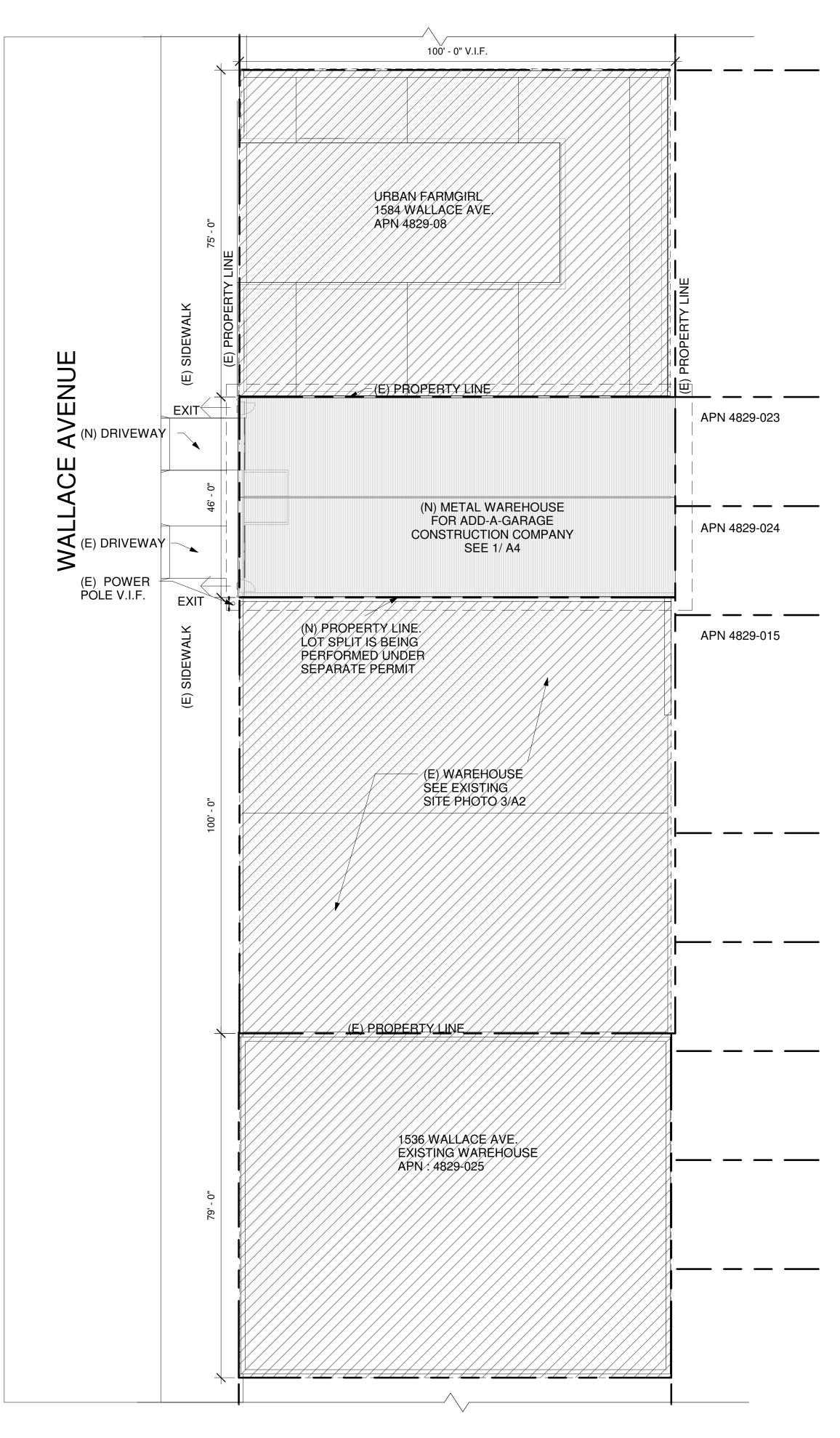
APN:4829-026

EXISTING PLOT PLAN

Project number Date Drawn by Scale

91			<u>APN 48.</u>	29-012	2014-J	LENDON 960231-00 10, 2014
isc(N	0	0		PN 482 46 PM JUL. 28,	123	
9	(75.00)			<u>PN 482</u> 46 PM JUL. 28,	123	
	00)	146.00'	199	<u>PN 482</u> SPENC 99-G673 OCT. 4,	ER 1090-00	
	(50.00		<u>APN 482</u>	<u>9-021</u>	2005-H9	CKS 960554-00 25, 2005
1	(21.00)	K	<u>APN 482</u>	<u>9-022</u>	2012-J4	YAN 29335-00 2, 2012
			<u>APN 482</u>	<u>9-017</u>	2015-K1	IITH 22814-00 27, 2015
		79.00'	<u>APN 482</u>	9-018	ME 2005-101	SHEET TAL 16369-00 13, 2005
30'		,	D&B 1 200	PN 4829 DEVELC CO., IN 07-13381 EB. 15, 2	PMENT C. 29-00	
P PARC 17	EL II)		SSESSO LOCK 48	R'S		
64' WI	DE		P.O.B. POI () PER	NT OF BE ASSESS	GINNING OR'S BLOC	ж мар
Inc.	PLAT	T TC	EXI ACCOMPA N: 4829-00	HBIT " NY LEG 5, 006,	GAL DES	CRIPTION & 007
2018	SCALE		1" = 30'	SHEET	warmen warme	1 OF 1
					and the second se	the state of the s







GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY 2655 VAN NESS AVE. #3 SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT 1344 JACKSON ST. #107 SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

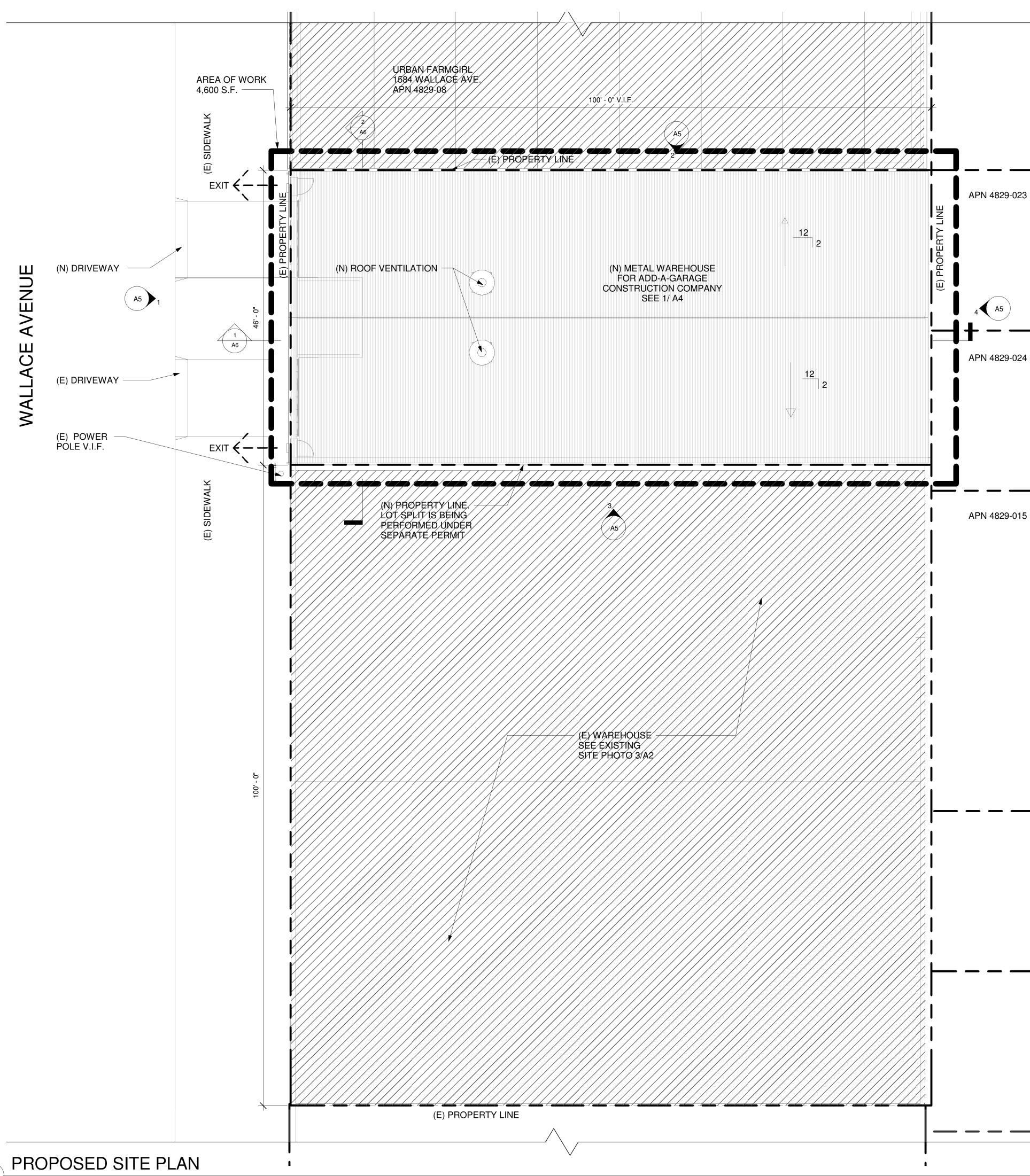
NEW FENCE FOR 1560 WALLACE AVE.

1560 WALLACE AVE. SAN FRANCISCO, CA 94124

OVERALL SITE PLAN

A2-1

Project number Date Drawn by Scale



1 PROPOS 1/8" = 1'-0"

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY 2655 VAN NESS AVE. #3 SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT 1344 JACKSON ST. #107 SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

STORAGE WAREHOUSE FOR ADD A GARAGE CONSTRUCTION COMPANY

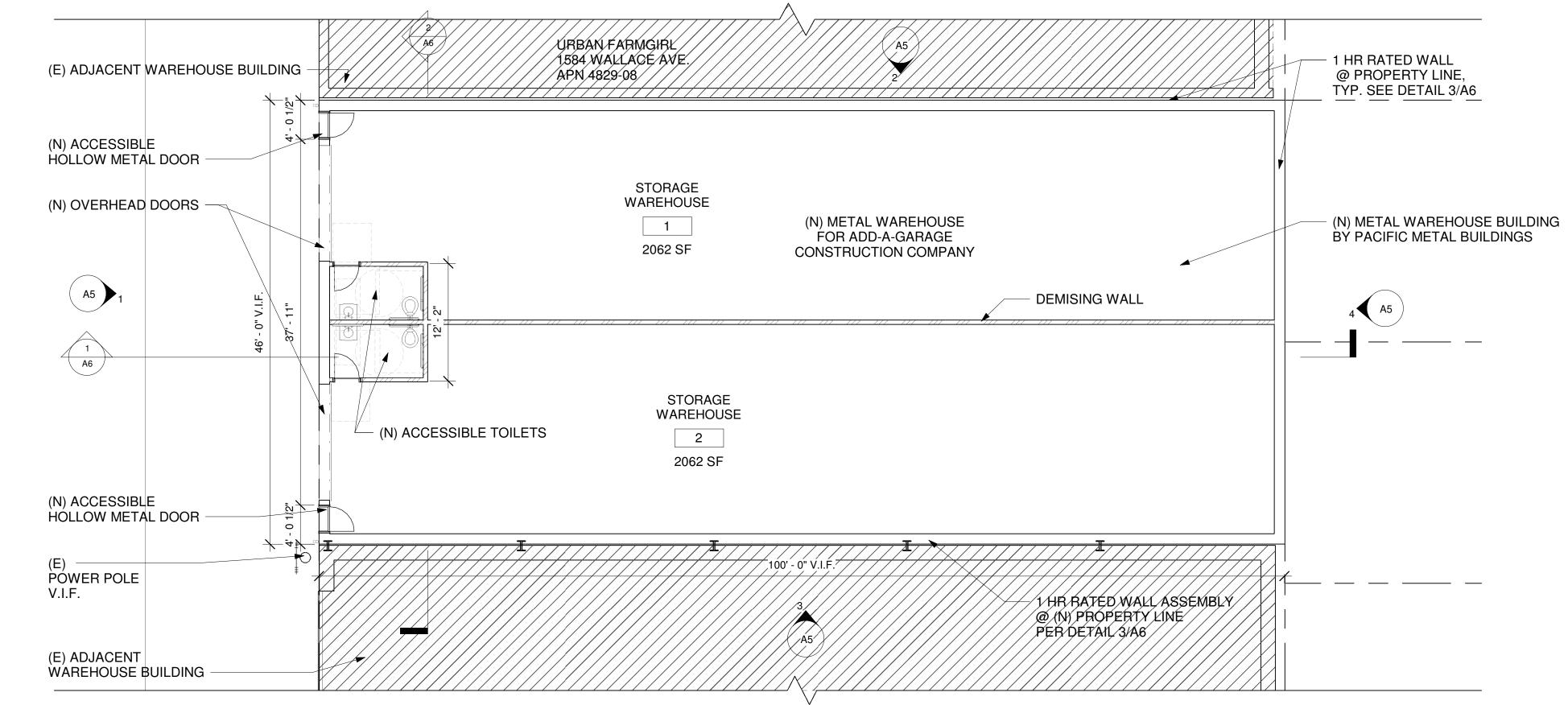
1560 WALLACE AVE. SAN FRANCISCO, CA 94124

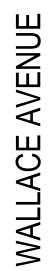
APN:4829-026

SITE PLAN

A3

Project number Date Drawn by Scale







GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY 2655 VAN NESS AVE. #3 SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT 1344 JACKSON ST. #107 SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

STORAGE WAREHOUSE FOR ADD A GARAGE **CONSTRUCTION COMPANY**

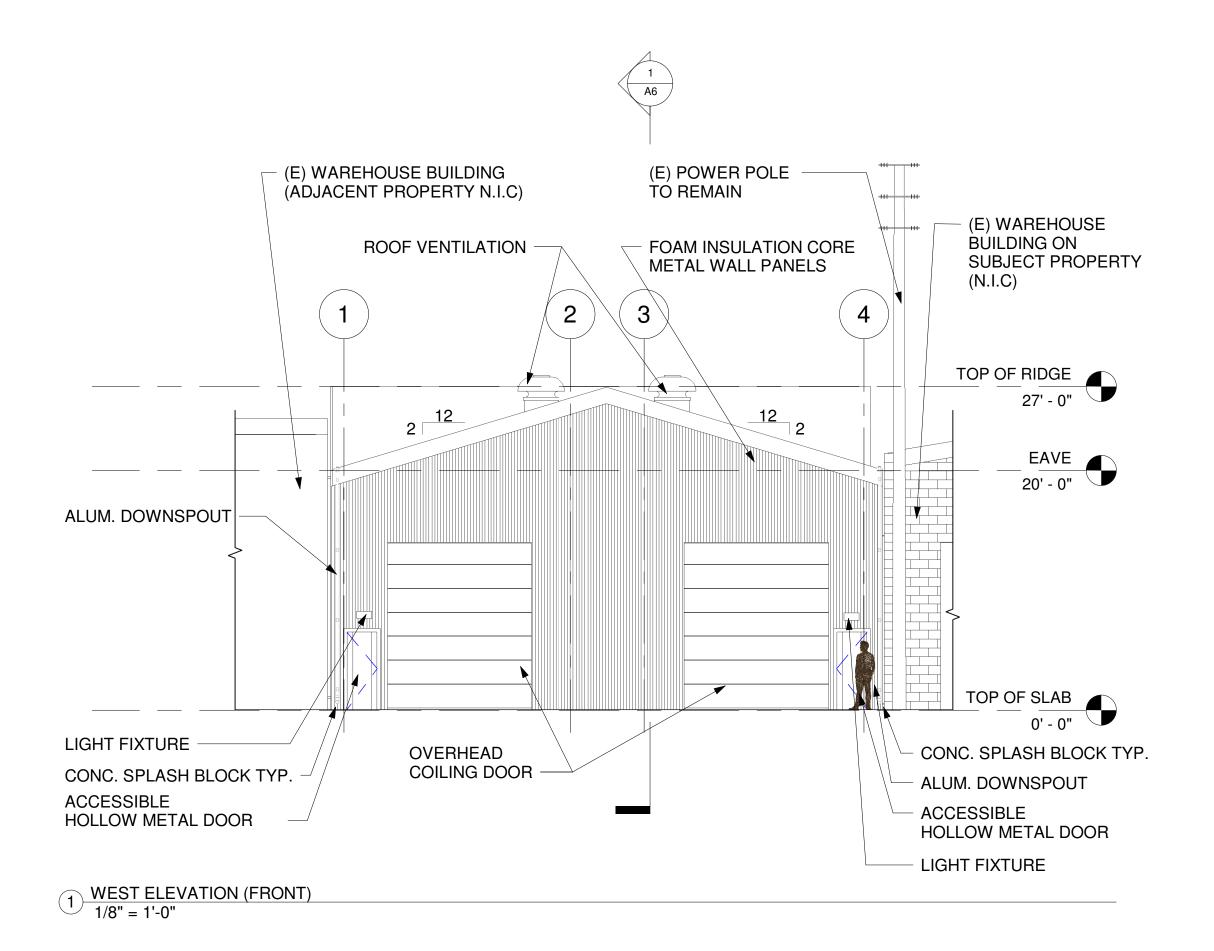
1560 WALLACE AVE. SAN FRANCISCO, CA 94124

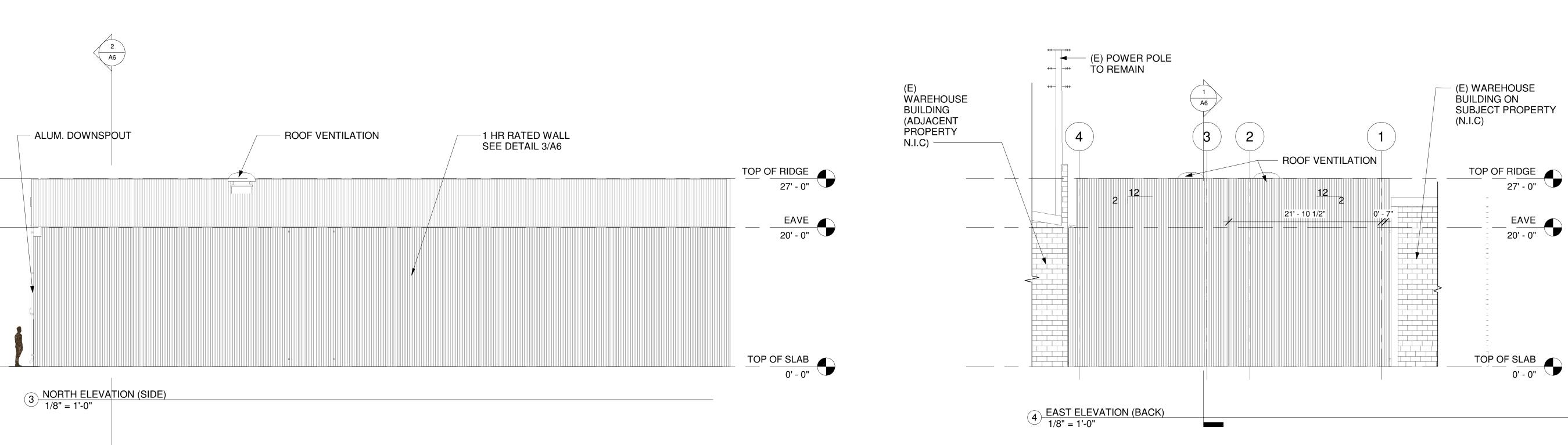
APN:4829-026

FLOOR PLAN

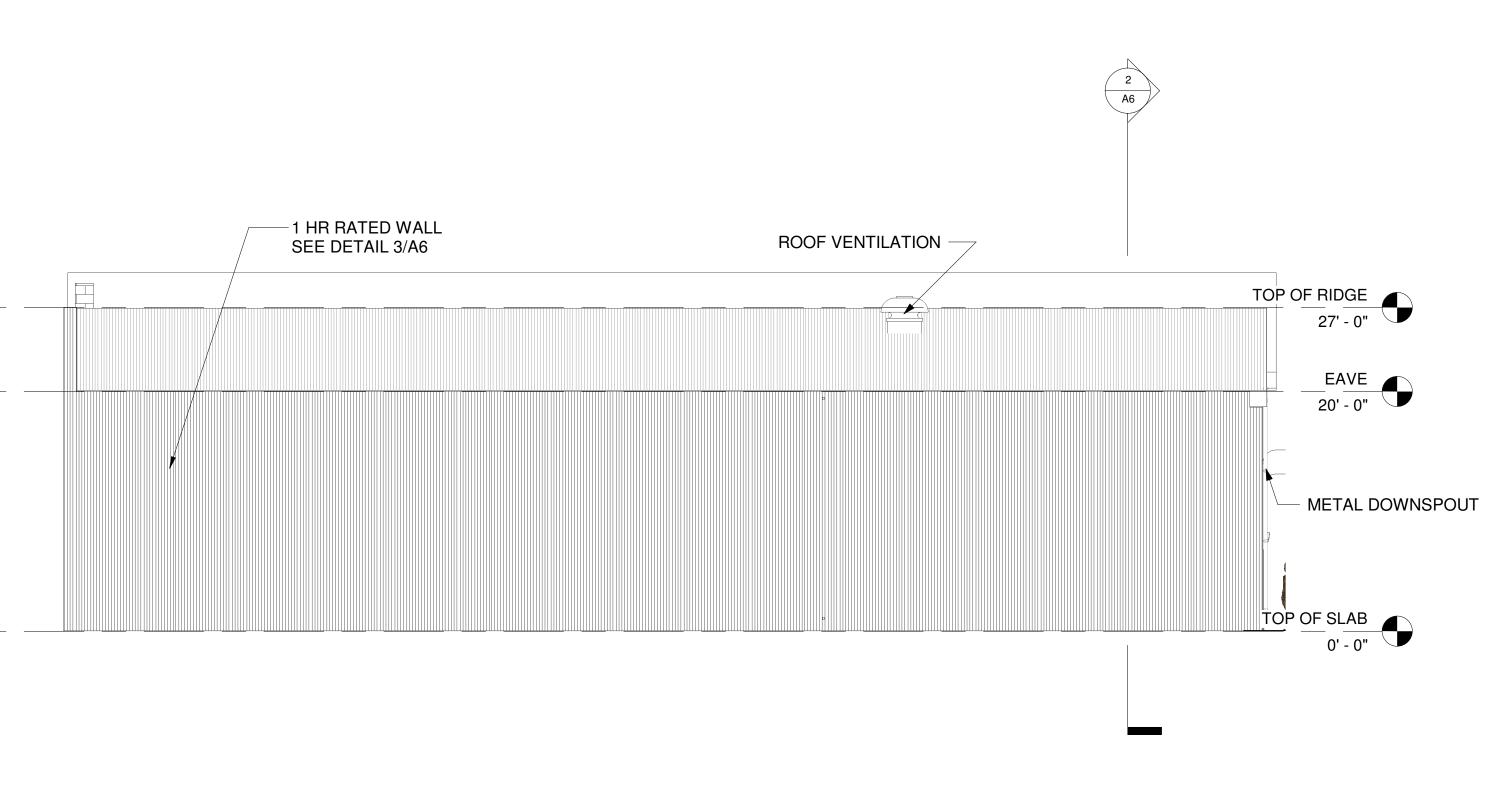
A4

Project number Date Drawn by Scale









GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY 2655 VAN NESS AVE. #3 SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT 1344 JACKSON ST. #107 SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

STORAGE WAREHOUSE FOR ADD A GARAGE **CONSTRUCTION COMPANY**

1560 WALLACE AVE. SAN FRANCISCO, CA 94124

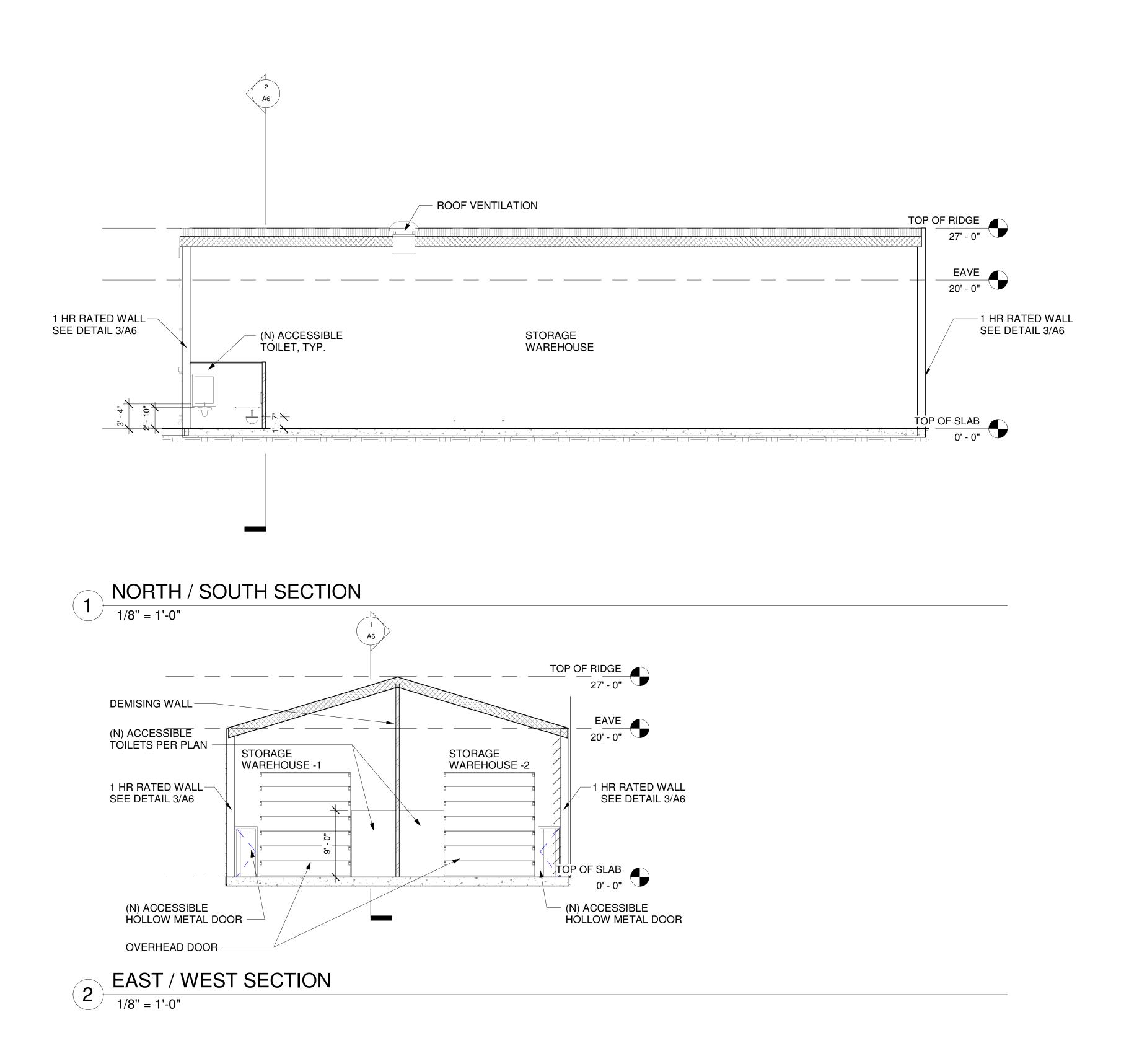
APN:4829-026

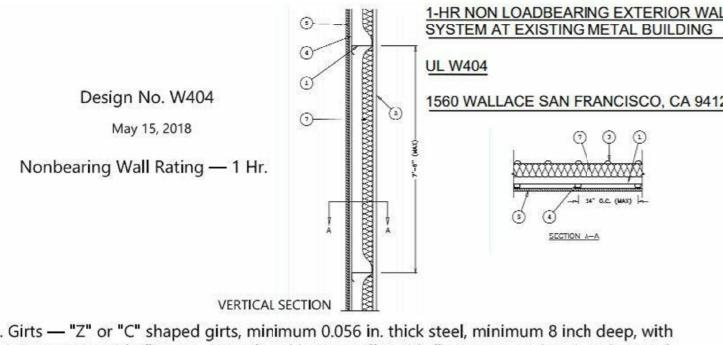
EXTERIOR ELEVATIONS

Project number Date Drawn by Scale

0202018 3/22/2019 Author Checker

A5





1. Girts — "Z" or "C" shaped girts, minimum 0.056 in. thick steel, minimum 8 inch deep, with minimum 2 in. wide flanges. Girts placed horizontally (with flanges up or down) and spaced maximum 90 in. o.c. Girts are secured to columns with girt clips, Item 2, or bolted to the column through the girt flange.

2. Girt Clips — (optional, not shown) - Steel clips secured to column by welds or bolts. 3. Steel Wall Panels — Minimum No. 26 MSG, minimum 1-1/8 in depth, minimum 36 in. wide coated steel panels. Vertical raised rib profiles of adjacent panels are overlapped and attached to each other with self-drilling or self-tapping screws spaced 30 in. o.c. (max.) along the lap. Metal panel attachment to steel girt using self-drilling or self-tapping screws spaced 12" o.c. along girt. 4. Furring Channels — Hat shaped, minimum 20 MSG galvanized steel, nominally 3 in. wide, 1-1/2 in. deep, spaced maximum 24 in. o.c. perpendicular to girts. Channels are secured to each girt with 3/8 in. (minimum) long self-drilling sheet steel type Two screws are used at each fastening location, one

through each leg of the furring channel.

4A. (optional) — In place of the furring channels, the following standard steel framing for rated gypsum board walls may be used:

Steel framing (steel studs, runners and their attachment) for support of the gypsum board wall shall be constructed of the materials and in the manner specified in UL Design No. V497. Lateral Support Members - (not shown) - Where required for lateral support of studs, support may be provided by means of steel straps, channels or other similar means as specified in the design of a particular steel stud wall system.

5. Wallboard, Gypsum* — Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305. Two layers on interior face of wall of any 5/8 in. thick gypsum wallboard bearing the UL Classification Mark for Fire Resistance. Both layers applied horizontally or vertically. First layer attached to furring channels, Item 4, using 1 in. long Type S bugle head drywall screws spaced 24 in. o.c. maximum vertically and horizontally. Second layer attached to furring channels using 1-5/8 in. long Type S bugle head drywall screws spaced 12 in. o.c. maximum vertically and 24 in. o.c. maximum same orientation Wallboard joints finished dry or premixed joint compound applied in two coats to joints and screw heads of face layer of gypsum wallboard. Paper or glass fiber tape embedded in first layer of compound over all joints. ACADIA DRYWALL SUPPLIES LTD (View Classification) - CKNX.R25370

6. Column Protection — (not shown) - Horizontal wall girts, Item 1, are attached to vertical structural steel columns. See Column Design No. X524 or X530 if protected columns are required.

7. Batts and Blankets* — Min. 3.5 in thick (R-10) glass fiber blankets placed in the cavities of exterior walls, and attached to the girts. As an alternate, 1" min. Rigid Foam Board, Item 8, shall be permitted, in addition to the glass fiber blankets. See Batts and Blankets (BZJZ) categories for names of manufacturers.

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY 2655 VAN NESS AVE. #3 SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT 1344 JACKSON ST. #107 SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

STORAGE WAREHOUSE FOR ADD A GARAGE **CONSTRUCTION COMPANY**

1560 WALLACE AVE. SAN FRANCISCO, CA 94124

APN:4829-026

SECTIONS

A6

Project number Date Drawn by Scale

0202018 3/22/2019 Author Checker

1-HR NON LOADBEARING EXTERIOR WALL

1560 WALLACE SAN FRANCISCO, CA 94124

Green Building: Site Permit Submittal

BASIC INFORMATION:

System to confirm the base number of points required.

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1

inoco laoto, plao tro plinary occupane	y, actorn					
Project Name STORAGE WAREHOUSE FOR ADD-A-GARAGE CONSTRUCTION COMPANY	Block/Lot 4829-026			Address 1560 WALLACE AVENUE		
Gross Project Area 4,600 SQUARE FEET	Primary Occ S-1 S ⁻	upancy FORAGE		Number of occupied floors		
Design Professional/Applicant: Sign & Date	Dim Poc	RORM	3/22/19			
ALL PROJECTS, AS APP		LE		LE	EED PR	OJECT
Construction activity stormwater polluti prevention and site runoff controls - Pro construction site Stormwater Pollution Preven	ovide a Ition Plan	•			New Large Com- mercial	New Low Rise Residential
and implement SFPUC Best Management Pra	ing ≥5,000		Type of Project Overall Require	Proposed (Indicate at right) ments:	N/A	N/A
square feet must implement a Stormwater Co meeting SFPUC Stormwater Design Guideline		•		n level (includes prerequisites):	GOLD	SILVER
Water Efficient Irrigation - Projects that inc 1,000 square feet of new or modified landscap comply with the SFPUC Water Efficient Irrigat	pe must	•	Base number of re Adjustment for ret features / building	ention / demolition of historic	60 N/A	2 N/A
Ordinance. Construction Waste Management – Com			Final number of re (base number +/-	equired points	N/A	N/A
the San Francisco Construction & Demolition Ordinance		•	Specific Require	ments: (n/r indicates a measure is no	ot required)	
Recycling by Occupants: Provide adequa and equal access for storage, collection and lo compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	bading of	•		ste Management – 75% Diversion Francisco Construction & Demolition Debris 2, 2 points		
			minimum energy perfo	Title-24 Part 6 (2013) and meet LEED rmance (LEED EA p2)		prerequisite
GREENPOINT RATED PROJECTS Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)		TS N/A	Effective 1/1/2012: Generate renewable e cost (LEED EAc2), OF Demonstrate at least 1 24 Part 6 2013), OR	gy or Enhanced Energy Efficiency nergy on-site ≥1% of total annual energy 0% energy use reduction (compared to Title tified renewable energy credits for 35% of		n/r
Base number of required Greenpoints:		75	total electricity use (LE Enhanced Commis	ED EAc6). ssioning of Building Energy Systems	•	
Adjustment for retention / demolition of historic features / building:		N/A	Water Use - 30%	Reduction LEED WE 3, 2 points erant Management CalGreen	•	Meet LEED prerequisite
Final number of required points (base num	nber +/-	N/A	5.508.1.2, may contrib		•	n/r CalGreen 4.504.1
adjustment)			Low-Emitting Ma	terials LEED IEQ 4.1, 4.2, 4.3, and 4.4		
GreenPoint Rated (i.e. meets all prerequisites)Energy Efficiency: Demonstrate a 10% energy use reduction compared to Title 24, Part 6 (2013).		•	parking for 5% of total San Francisco Plannin meet LEED credit SSc		•	See San Fran Code
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have			low-emitting, fuel efficie	ng: Mark 8% of total parking stalls for ent, and carpool/van pool vehicles. vide submeters for spaces projected to	•	
been integrated into the GreenPoint Rated			consume more than 1, building over 50,000 se	000 gal/day, or more than 100 gal/day if in q. ft.		n/r
 Notes 1) New residential projects of 4 or more occupied "New Pasidential High Dise" column. New reside 				vide at least MERV-8 filters in regularly echanically ventilated buildings (or LEED		n/r
occupied floors must use the "New Residential L 2) LEED for Homes Mid-Rise projects must mee	"New Residential High-Rise" column. New residential with 3 or fewer occupied floors must use the "New Residential Low Rise" column.2) LEED for Homes Mid-Rise projects must meet the "Silver" standard,			vide MERV-13 filters in residential buildings in LEED credit IEQ 5). (SF Health Code Article 38 203.5)	n/r	
including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating		Acoustical Contr	ol: wall and roof-ceilings STC 50, exterior	_	00	

Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.



Instructions:

ubmitta As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment C3, C4, C5, C6, C7, or C8 \sim uilding will be due with the applicable addendum. To use the form: C (a) Provide basic information about the project in the box at left. This info determines which green building requirements apply. ent S AND \mathbf{m} chm (b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the rm en number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended. Atta Gre Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or ite GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details. S **OTHER APPLICABLE NON-RESIDENTIAL PROJECTS** Addition Requirements below only apply when the measure is applicable to the project. Code Other New ≥1,000 sq ft references below are applicable to New Non-Residential buildings. Corresponding reguirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Non-OR Requirements for additions or alterations apply to applications received July 1, 2012 or Residential **Alteration** after.3 **≥\$200,000**³ Type of Project Proposed (Check box if applicable) Х **Energy Efficiency:** Comply with California Energy Code, Title 24, Part 6 (2013). **Bicycle parking:** Provide short-term and long-term bicycle parking for 5% of total OWNER motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSc4.2). Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces **Water Meters:** Provide submeters for spaces projected to consume >1,000 gal/day, Addition only or >100 gal/day if in buildings over 50,000 sq. ft. ADD A GARAGE Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% ADD A GARAGE CONSTRUCTION COMPAN for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. 2655 VAN NESS AVE. #3 SAN FRANCISCO, CA 94109 **Commissioning:** For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building ARCHITECT (Testing & systems and components meet the owner's project requirements. Balancing) **OR** for buildings less than 10,000 square feet, testing and adjusting of systems is required. Protect duct openings and mechanical equipment during construction Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 HITECT VOC limits and California Code of Regulations Title 17 for aerosol adhesives. VADIM PODROBINOK | ARCHITECT 1344 JACKSON ST. #107 **Paints and coatings:** Comply with VOC limits in the Air Resources Board SAN FRANCISCO, CA 94109 Architectural Coatings Suggested Control Measure and California Code of Regulations Description Title 17 for aerosol paints. **Carpet:** All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content. **Composite wood:** Meet CARB Air Toxics Control Measure for Composite Wood ARCHITECT/ENGINEER STAMP **Resilient flooring systems:** For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. PROJECT TITLE Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party STORAGE WAREHOUSE walls and floor-ceilings STC 40. (envelope alteration & FOR ADD A GARAGE addition only) CONSTRUCTION COMPANY **CFCs and Halons:** Do not install equipment that contains CFCs or Halons. 1560 WALLACE AVE. SAN FRANCISCO, CA 94124 Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet APN:4829-026 **Construction Waste Management** – Divert 75% of construction and demolition Meet C&D debris AND comply with San Francisco Construction & Demolition Debris Ordinance. ordinance only Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total 0202018 annual energy cost (LEED EAc2), OR n/r 3/22/2019 demonstrate a 10% energy use reduction compared to Title 24 Part 6 (2013), OR Author Drawn by purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EAc6). Checker A7

	New Large Com- mercial	New Low Rise Residential	New High Rise Residential	Large First Time Commerical Interior	Commercial Major Alteration	Residential Major Alteration		
	N/A	N/A	N/A	N/A	N/A	N/A		
	GOLD	SILVER 2	SILVER	GOLD	GOLD	GOLD		
	60		50	60	60	60		
	N/A	N/A	N/A	n/a	N/A	N/A		
	N/A	N/A	N/A	50	N/A	∸ N/A		
nc	ot required)							
n ris	•	•	•	•	Meet C&D ordinance only	•		
	•	LEED prerequisite prere				LEED equisite only		
су								
tle		n/r	n/r	n/r	n/r	n/r		
ns			Mee	t LEED prerequi	sites			
		Meet LEED prerequisite		Meet LEED prerequisite				
		n/r	n/r	•		n/r		
		CalGreen 4.504.1	CalGreen 4.504.1	CalGreen 5.504.3	CalGreen 5.504.3	CalGreen 4.504.1		
	•	•	•					
	•	See San Franc Code		•	See San Fran Code	cisco Planning e 155		
	•			•	n/r	n/r		
1		n/r	n/r	•	(addition only)	n/r		
		n/r	n/r	•	•	n/r		
38	n/r		•	n/r	n/r			
		See CB	C 1207	•	(envelope alteration & addition only)	n/r		

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS PROJECT.

2. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR KEN BLOCH AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.

3. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: LAND SUBDIVISION. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISAVOWS ANY AND ALL RESPONSIBILITY.

4. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.

5. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.

6. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.

7. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

8. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS . IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING <u>PURPOSES ONLY.</u>

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON FEBRUARY 28, 2019.

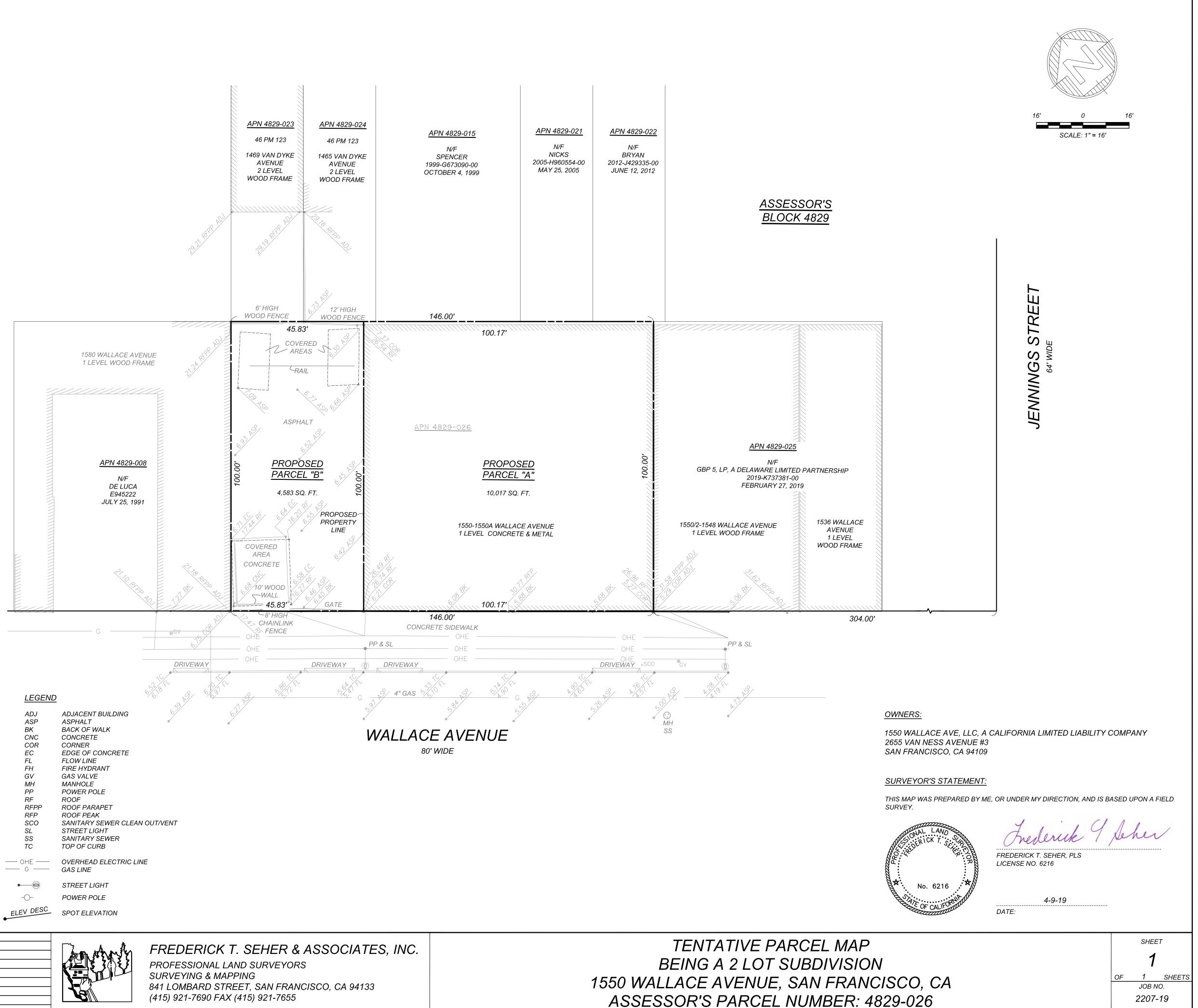
SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:

1 RECORDED FEBRUARY 27, 2019, DOCUMENT NUMBER 2019-K737382-00 APN 4829-026 **PROJECT BENCHMARK - DESCRIPTION:**

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF VAN DYKE AVENUE AND KEITH STREET, ELEVATIONS ARE BASED ON OLD CITY AND COUNTY OF SAN FRANCISCO DATUM. S.E. CORNER, SURVEY MON IN WALK. ELEVATION = 8.819'

	. <u> </u>				
DATE: APRIL, 2019	ĻΔ_				
SCALE:	$ \vdash \bigtriangleup $				
DRAWN BY:EF					
DRAWING NAME: 2207-19	$\overline{\Delta}$				
SURVEYED BY: FTS	\square				
CHECKED BY:	\square				
CHECKED BY:	\square				
	NO.	BY	DATE	REVISIONS	



LEGEND	0.46
EC FL GV MH PP RF RFPP RFP SCO	ADJACENT BUILDING ASPHALT BACK OF WALK CONCRETE CORNER EDGE OF CONCRETE FLOW LINE FIRE HYDRANT GAS VALVE MANHOLE POWER POLE ROOF ROOF PARAPET ROOF PEAK SANITARY SEWER CLEAN OU STREET LIGHT SANITARY SEWER TOP OF CURB
HE —— G ———	OVERHEAD ELECTRIC LINE GAS LINE
	STREET LIGHT
<u> </u>	POWER POLE

FREDERICK T. SEHER & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS	
SURVEYING & MAPPING	TENTAT BEING A 1550 WALLACE AV
841 LOMBARD STREET, SAN FRANCISCO, CA 94133 (415) 921-7690 FAX (415) 921-7655	ASSESSOR'S P