

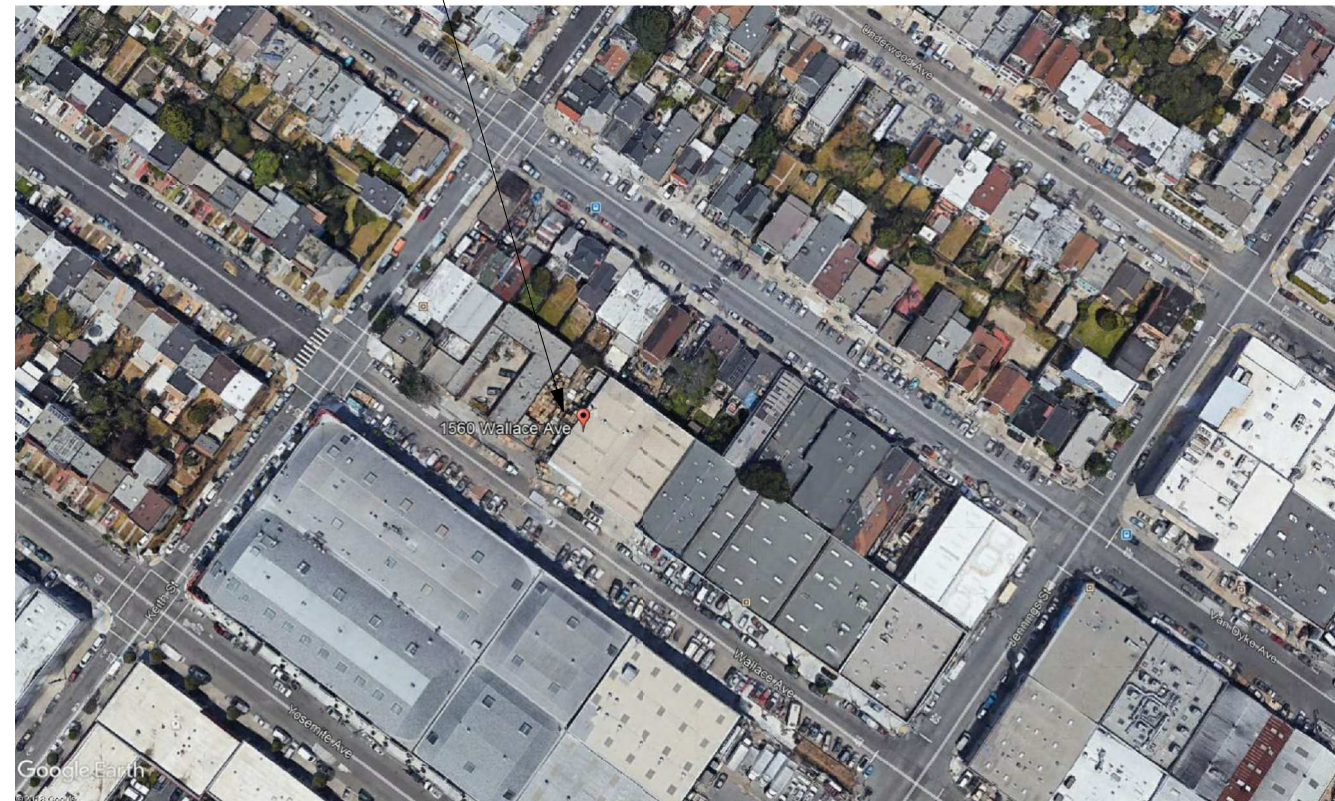
**STORAGE WAREHOUSE FOR
ADD A GARAGE
CONSTRUCTION COMPANY**
1560 WALLACE AVE.

SAN FRANCISCO, CA 94124

APN: 4829-026

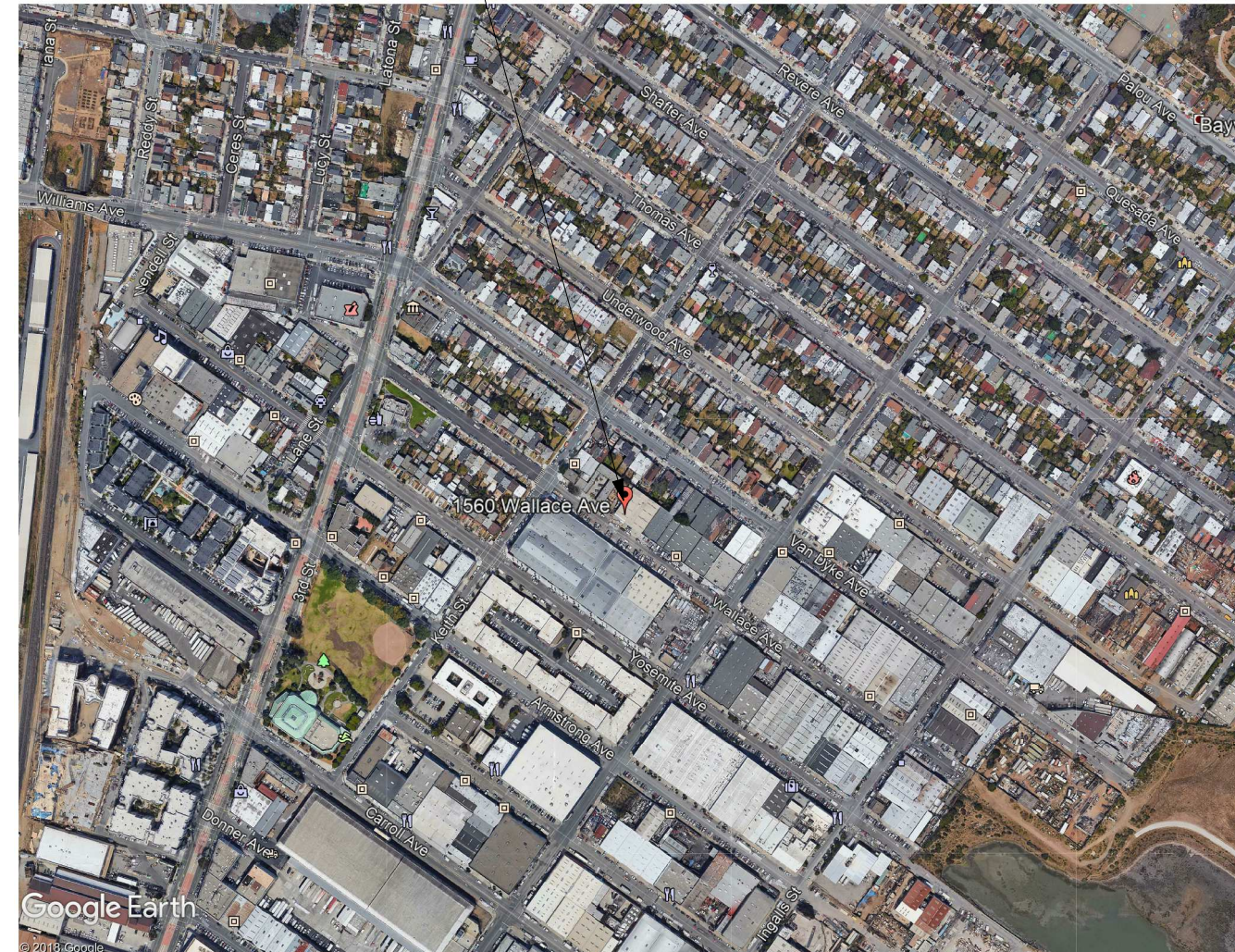
**SITE PERMIT
SUBMITTAL SET**

PROJECT LOCATION
1560 WALLACE AVE.



LOCATION MAP

PROJECT LOCATION
1560 WALLACE AVE.



VICINITY MAP



PROJECT SCOPE

TO CONSTRUCT A NEW 46'X100' PRE-FABRICATED METAL WAREHOUSE ON AN EXISTING LOT LOCATED AT 1560 WALLACE AVE., SAN FRANCISCO, CA

CONCURRENTLY, A LOT LINE ADJUSTMENT IS OCCURRING TO SPLIT THE LOT UNDER A SEPERATE PERMITAND. ALSO, APPLYING FOR NEW ADDRESS APPLICATION 1570 WALLACE

PROPERTY DATA

ADDRESS: 1560 WALLACE AVE., SAN FRANCISCO, CA

APN: 4829-026

ZONING: PDR-1-B

LOT SIZE: 14,600 (LOT SPLIT UNDER SEPARATE PERMIT)

PROJECT AREA : 46'-0" X 100'-0" = 4,600 SQ. FT.

USE/OCCUPANCY: S-1 STORAGE

OCCUPANT LOAD: 4,600 S.F. / 500 S.F. = 9

CONSTRUCTION TYPE: TYPE II-A

STORIES: 1

HEIGHT: 27 -0"

SPRINKLERS: NOT REQUIRED S-1 UNDER 12,000 SQ FT.

DRAWING INDEX

- Architecture
- A1 TITLE SHEET
- A2 EXISTING PLOT PLAN
- A3 SITE PLAN
- A4 FLOOR PLAN
- A5 EXTERIOR ELEVATIONS
- A6 SECTIONS

APPLICABLE CODES

ADHERE TO 2016 CALIFORNIA BUILDING CODE.
PART 1, THE 2016 CALIFORNIA ADMINISTRATIVE CODE (CAC).
PART 2, THE 2016 CALIFORNIA BUILDING CODE (CBC).
PART 3, THE 2016 CALIFORNIA ELECTRICAL CODE (CEC).
PART 4, THE 2016 CALIFORNIA MECHANICAL CODE (CMC).
PART 5, THE 2016 CALIFORNIA PLUMBING CODE (CPC).
PART 6, THE 2016 CALIFORNIA ENERGY CODE (CEC)
PART 9, THE 2016 CALIFORNIA FIRE CODE (CFC)
PART 10, THE 2016 CALIFORNIA EXISTING BUILDING CODE (CEBC)
PART 11, THE 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY
2655 VAN NESS AVE. #3
SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT
1344 JACKSON ST. #107
SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

**STORAGE WAREHOUSE
FOR ADD A GARAGE
CONSTRUCTION COMPANY**

**1560 WALLACE AVE.
SAN FRANCISCO, CA 94124**

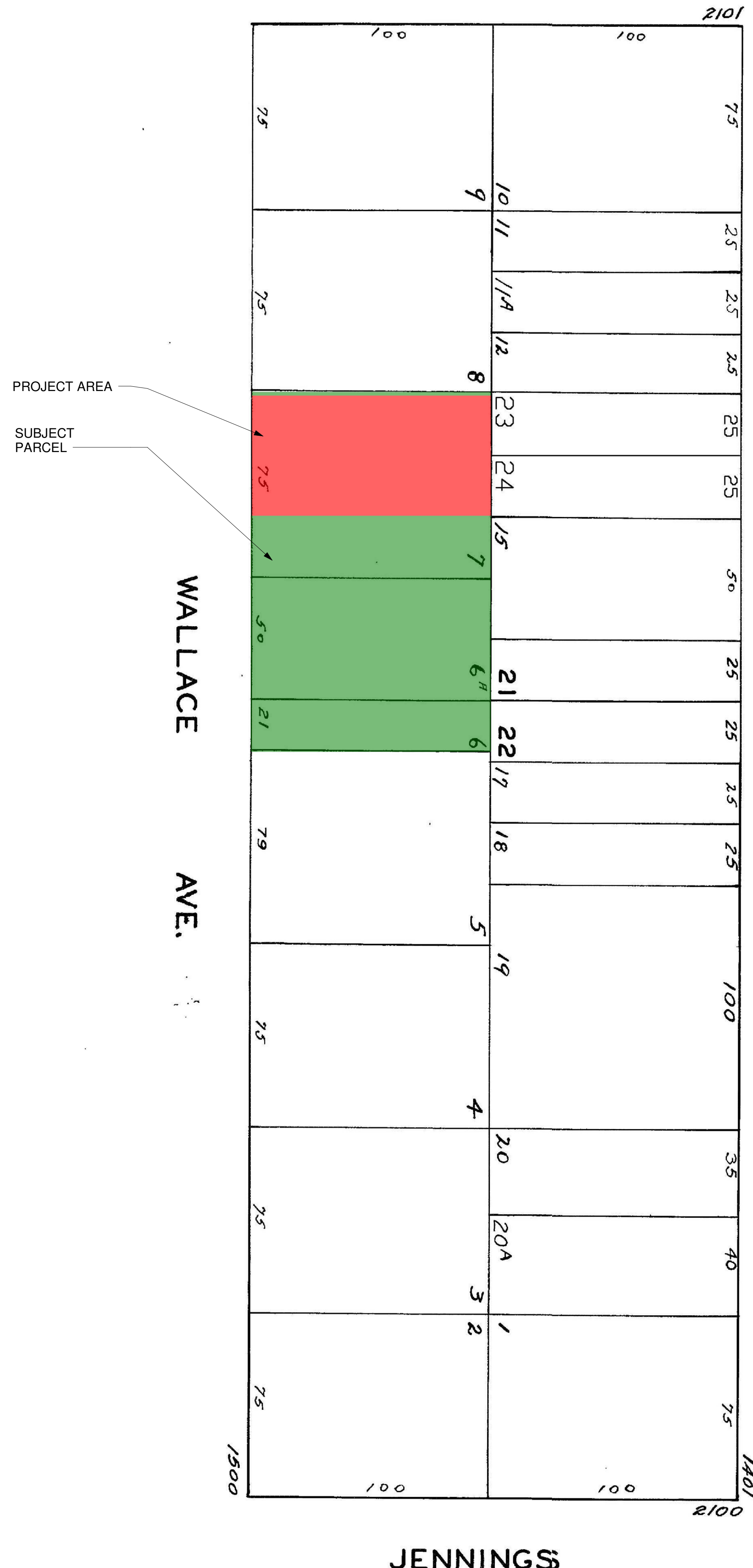
APN:4829-026

TITLE SHEET

Project number	0202018
Date	3/22/2019
Drawn by	VP
Scale	AS NOTED

A1

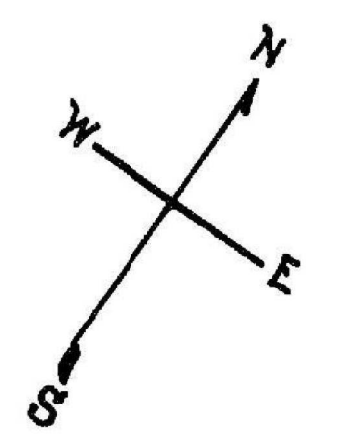
KEITH



PROJECT AREA
SUBJECT PARCEL

WALLACE AVE.

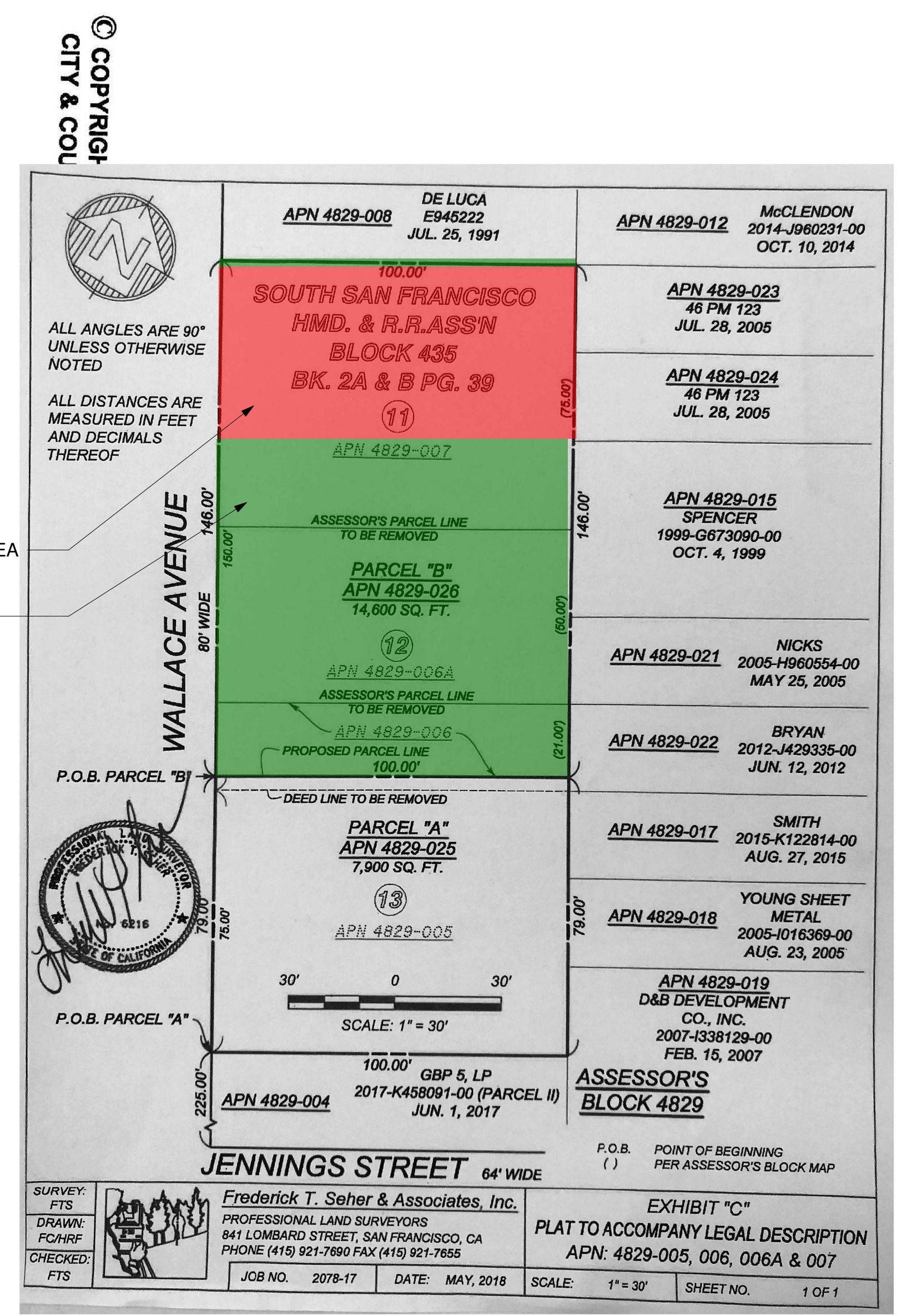
VAN DYKE AVE.



JENNINGS

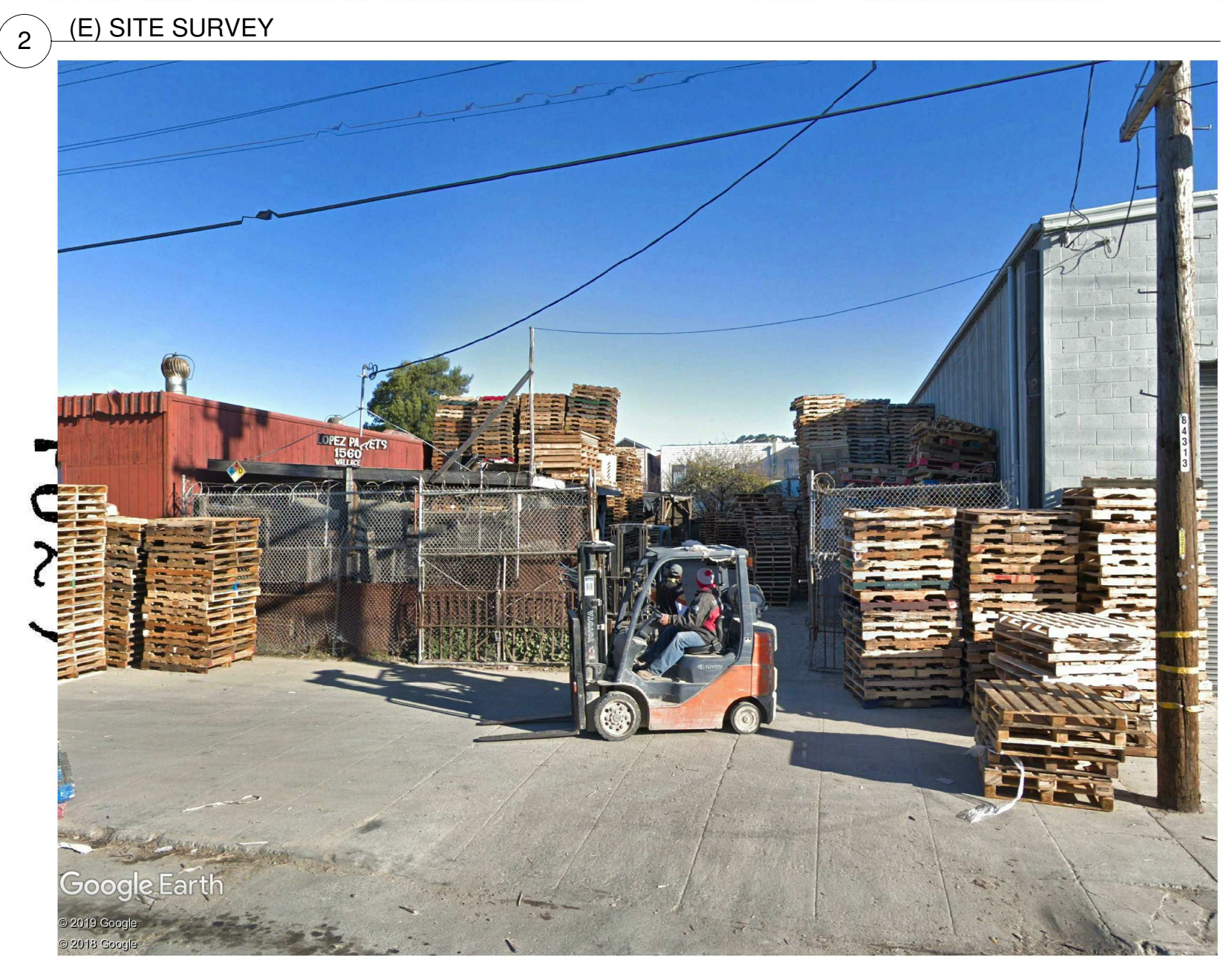
1 (E) PLOT PLAN ACCESSOR MAP

LOT 14 MERGED INTO LOT 13-1954
lot 13 into lots 23&24 for 2006 roll



Frederick T. Seher & Associates, Inc.
PROFESSIONAL LAND SURVEYORS
841 LOMBARD STREET, SAN FRANCISCO, CA
PHONE (415) 921-7890 FAX (415) 921-7855
JOB NO. 2078-17 DATE: MAY, 2018 SCALE: 1" = 30' SHEET NO. 1 OF 1

SO SF HD & RR ASSN BLK 435
REVISED 167
Revised 2006



3 (E) SITE PHOTO

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY
2655 VAN NESS AVE. #3
SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT
1344 JACKSON ST. #107
SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

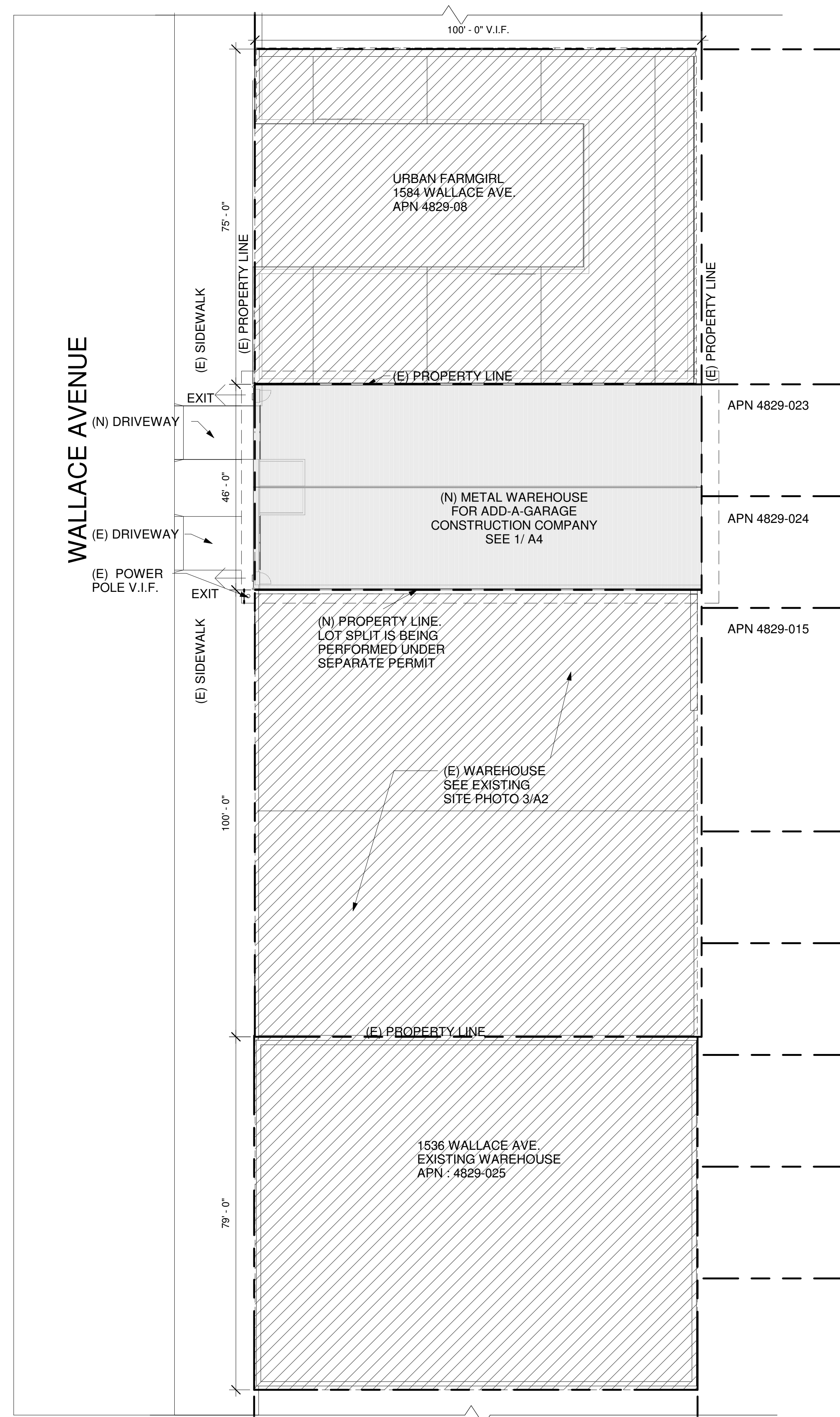
STORAGE WAREHOUSE
FOR ADD A GARAGE
CONSTRUCTION COMPANY

1560 WALLACE AVE.
SAN FRANCISCO, CA 94124

APN:4829-026

EXISTING PLOT PLAN

Project number	0202018
Date	3/22/2019
Drawn by	VP
Scale	AS NOTED



1 OVERALL SITE PLAN
1/16" = 1'-0"

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY
2655 VAN NESS AVE. #3
SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT
1344 JACKSON ST. #107
SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

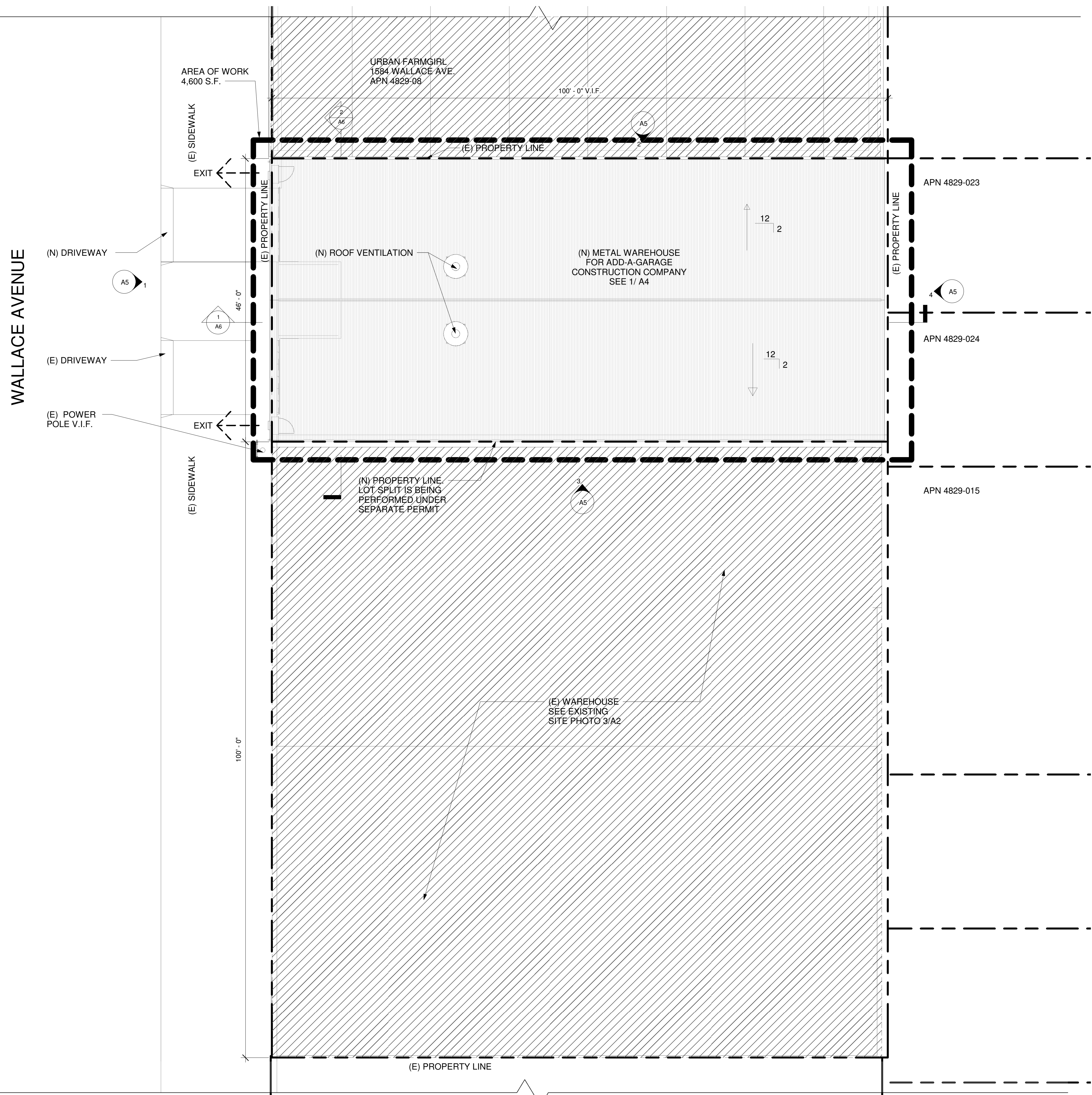
PROJECT TITLE

NEW FENCE FOR 1560 WALLACE AVE.

**1560 WALLACE AVE.
SAN FRANCISCO, CA 94124**

OVERALL SITE PLAN

Project number	0202018
Date	4/26/2019
Drawn by	VP
Scale	AS NOTED



1 PROPOSED SITE PLAN
1/8" = 1'-0"

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY
2655 VAN NESS AVE. #3
SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT
1344 JACKSON ST. #107
SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

STORAGE WAREHOUSE
FOR ADD A GARAGE
CONSTRUCTION COMPANY

1560 WALLACE AVE.
SAN FRANCISCO, CA 94124

APN:4829-026

SITE PLAN

Project number	0202018
Date	3/22/2019
Drawn by	VP
Scale	AS NOTED

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY
2655 VAN NESS AVE. #3
SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT
1344 JACKSON ST. #107
SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

**STORAGE WAREHOUSE
FOR ADD A GARAGE
CONSTRUCTION COMPANY**

**1560 WALLACE AVE.
SAN FRANCISCO, CA 94124**

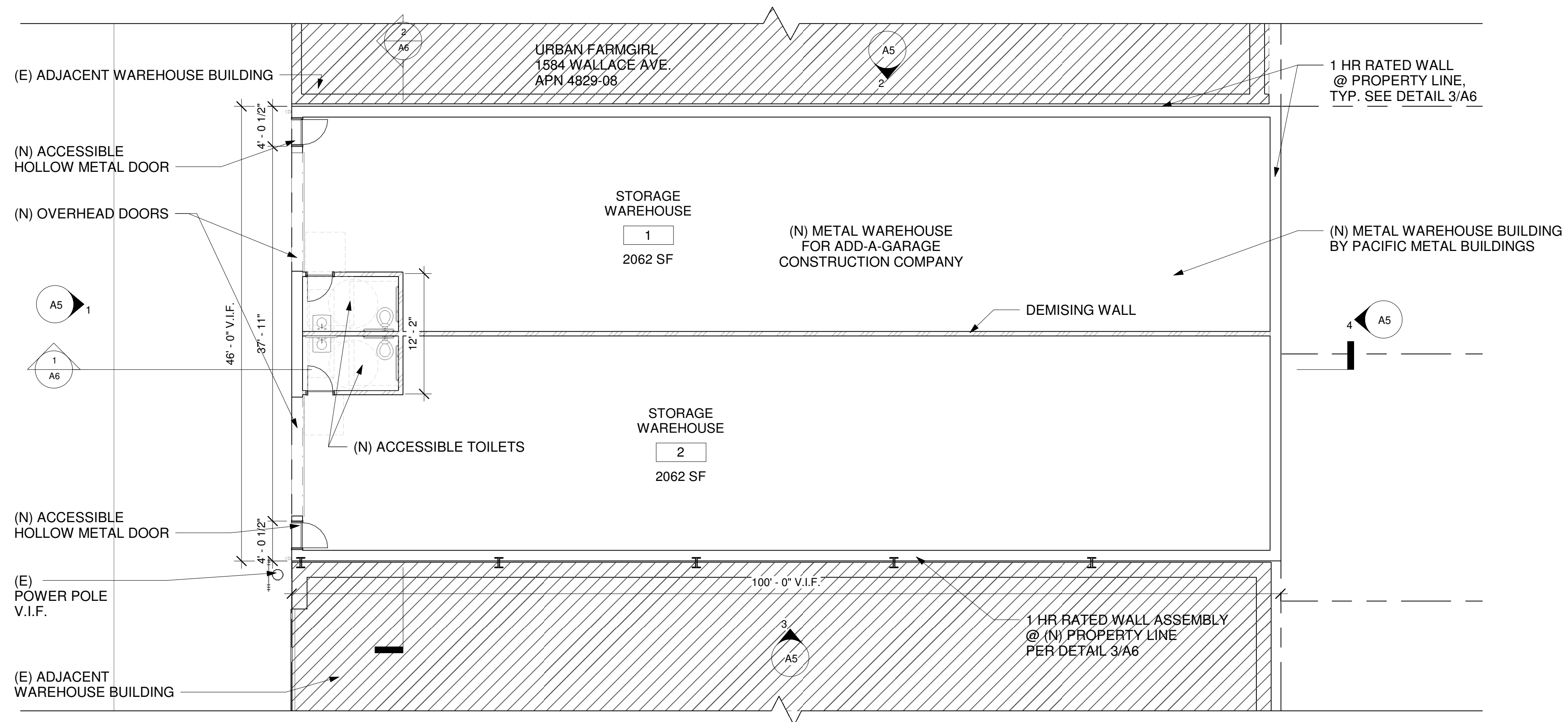
APN:4829-026

FLOOR PLAN

Project number	0202018
Date	3/22/2019
Drawn by	VP
Scale	AS NOTED

A4

WALLACE AVENUE



1 PROPOSED FLOOR PLAN

1/8" = 1'-0"

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY
 2655 VAN NESS AVE. #3
 SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT
 1344 JACKSON ST. #107
 SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

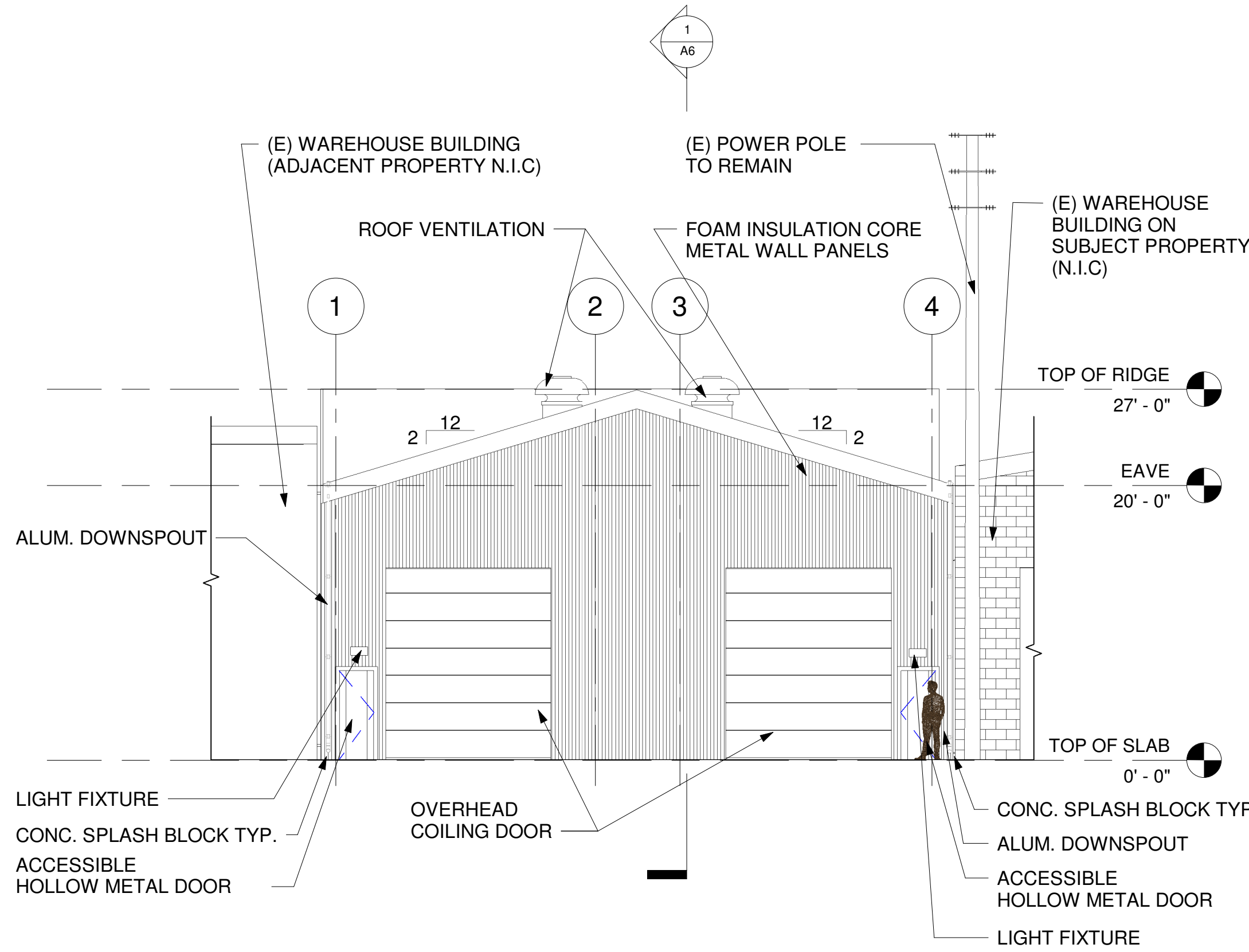
**STORAGE WAREHOUSE
 FOR ADD A GARAGE
 CONSTRUCTION COMPANY**

**1560 WALLACE AVE.
 SAN FRANCISCO, CA 94124**

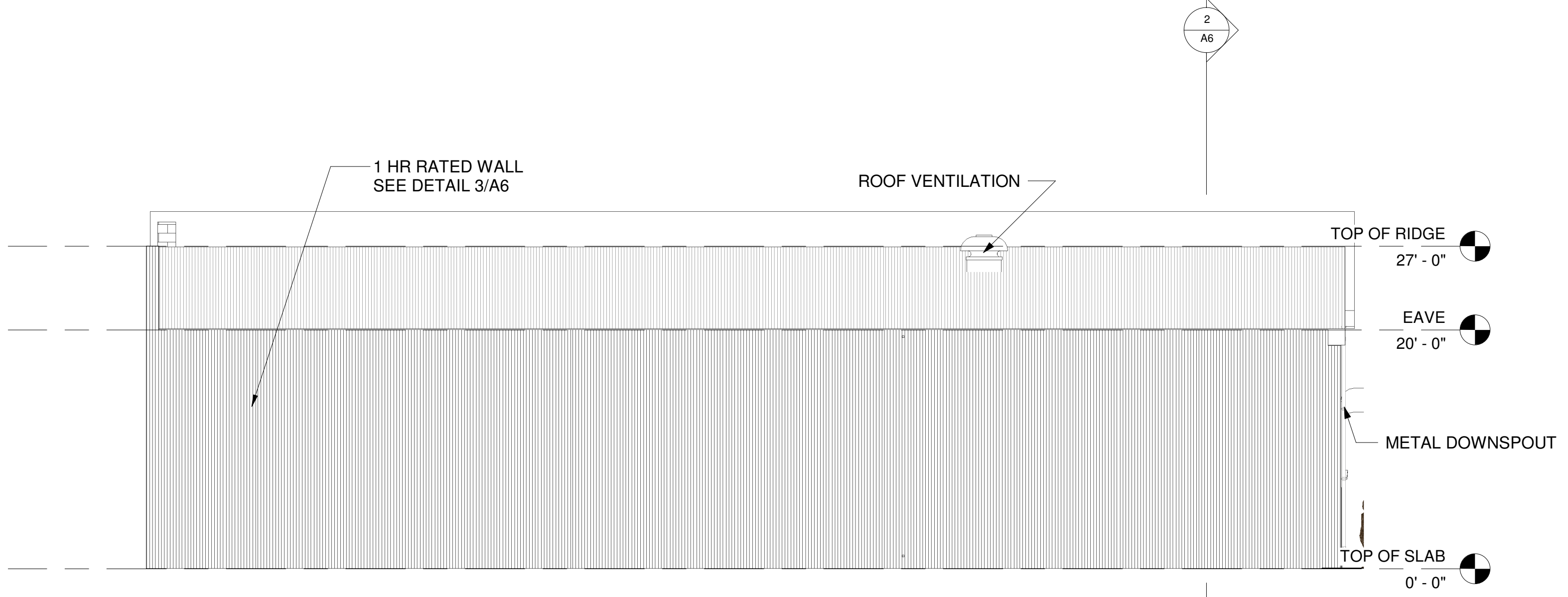
APN:4829-026

EXTERIOR ELEVATIONS

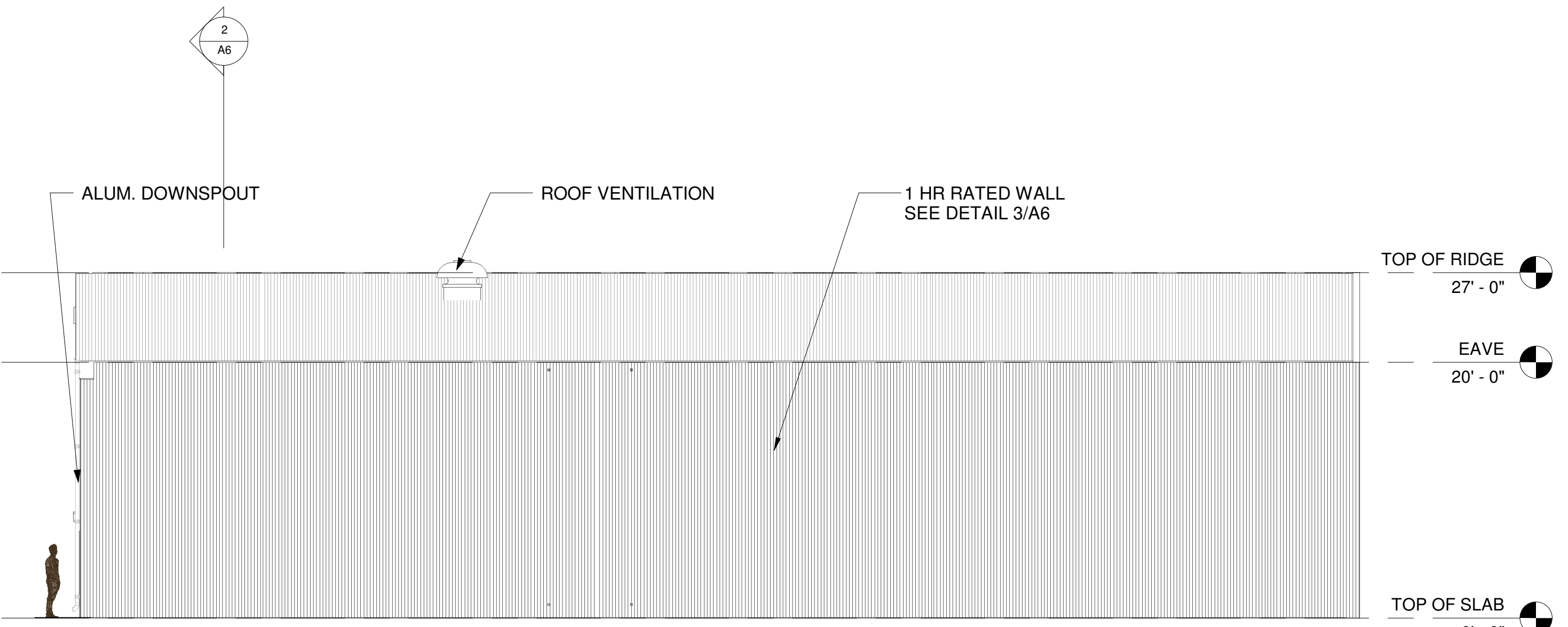
Project number	0202018
Date	3/22/2019
Drawn by	Author
Scale	Checker



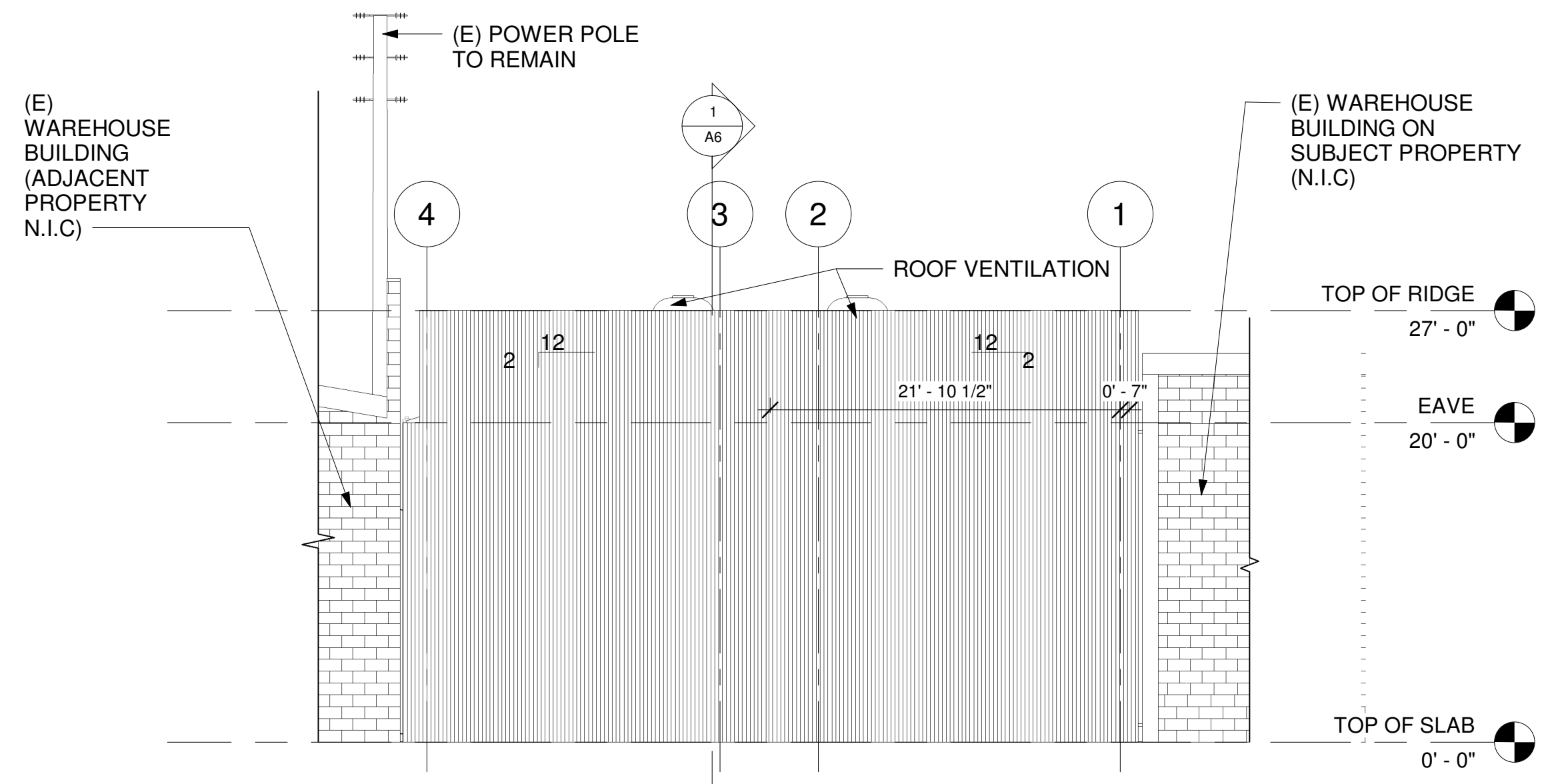
1 WEST ELEVATION (FRONT)
 1/8" = 1'-0"



2 SOUTH ELEVATION (SIDE)
 1/8" = 1'-0"



3 NORTH ELEVATION (SIDE)
 1/8" = 1'-0"



4 EAST ELEVATION (BACK)
 1/8" = 1'-0"

GENERAL NOTES

OWNER



ADD A GARAGE CONSTRUCTION COMPANY
2655 VAN NESS AVE. #3
SAN FRANCISCO, CA 94109

ARCHITECT



VADIM PODROBINOK | ARCHITECT
1344 JACKSON ST. #107
SAN FRANCISCO, CA 94109

No.	Description	Date

ARCHITECT/ENGINEER STAMP

PROJECT TITLE

STORAGE WAREHOUSE
FOR ADD A GARAGE
CONSTRUCTION COMPANY

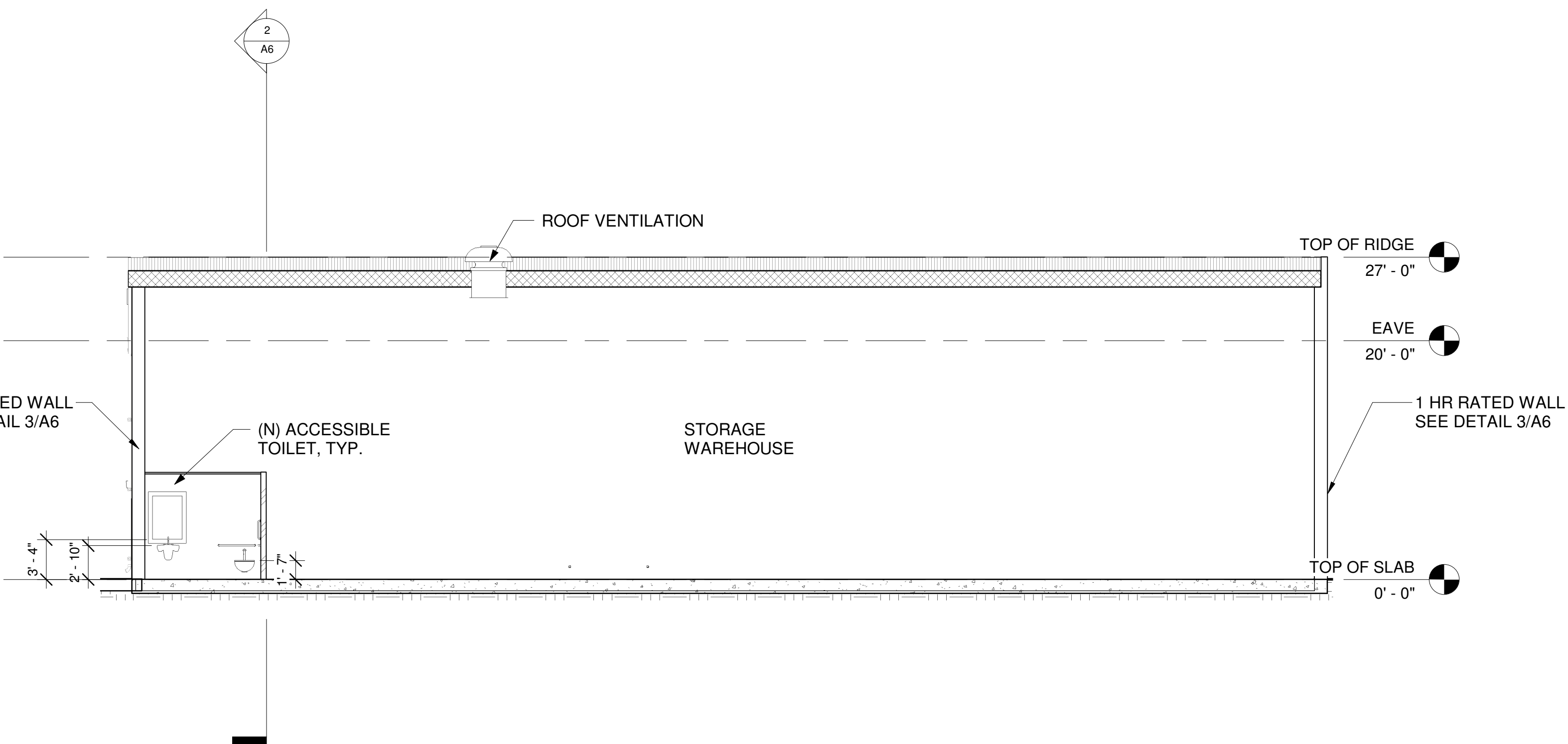
1560 WALLACE AVE.
SAN FRANCISCO, CA 94124

APN:4829-026

SECTIONS

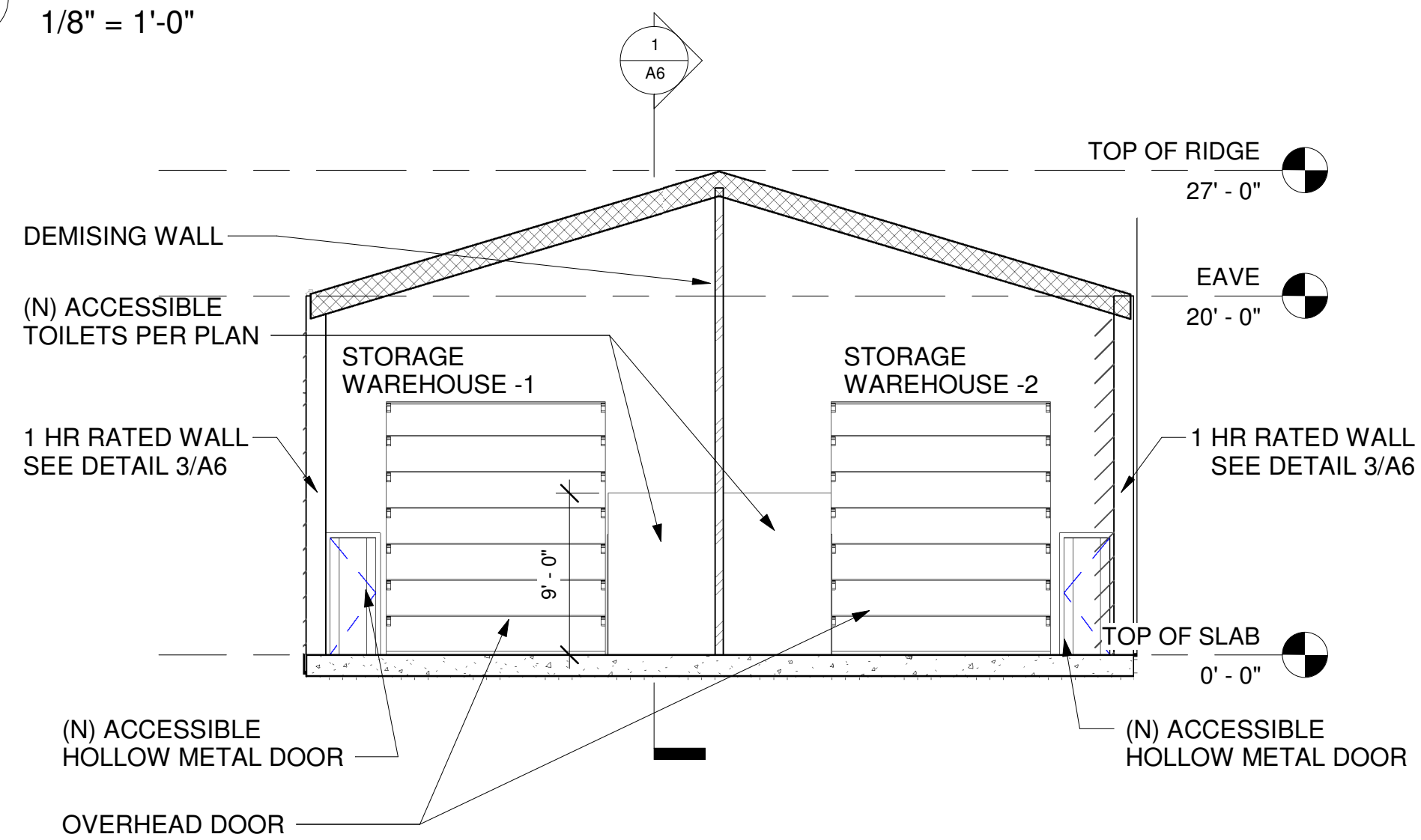
Project number	0202018
Date	3/22/2019
Drawn by	Author
Scale	Checker

A6



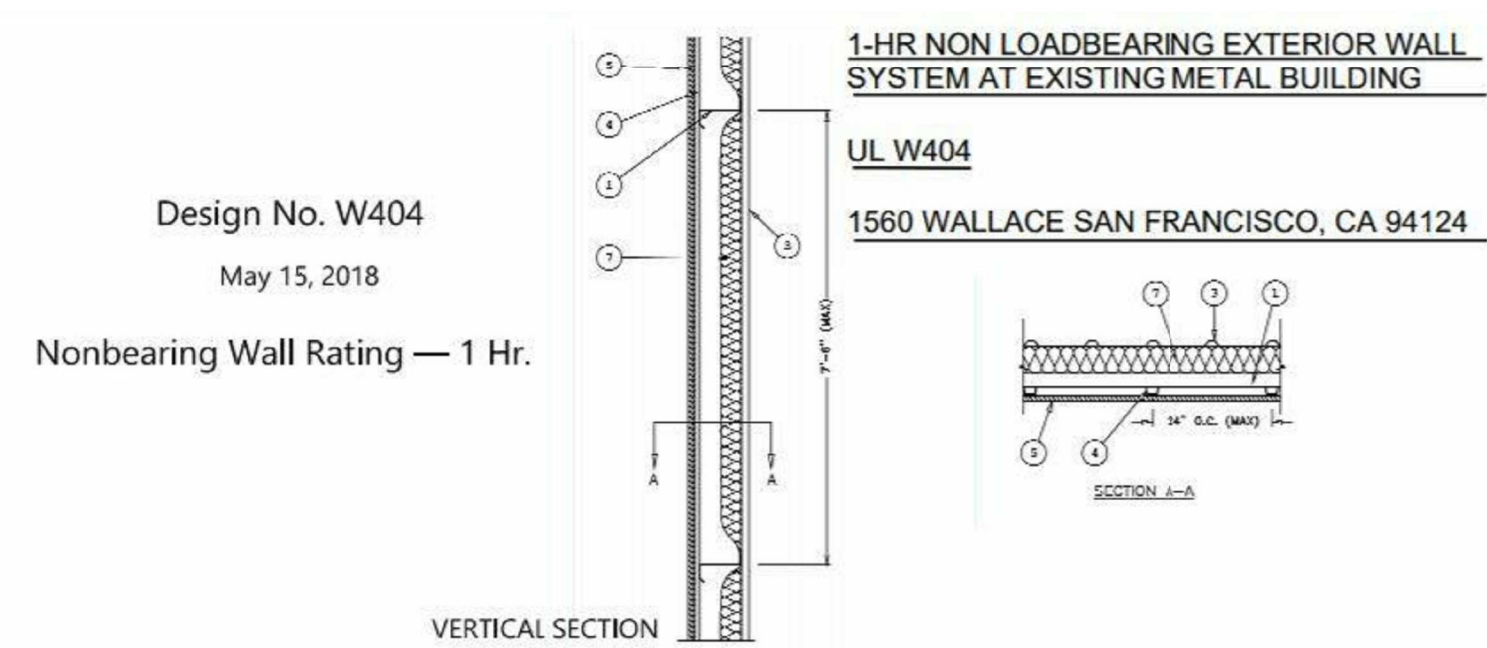
1 NORTH / SOUTH SECTION

1/8" = 1'-0"



2 EAST / WEST SECTION

1/8" = 1'-0"



- Girts — "Z" or "C" shaped girts, minimum 0.056 in. thick steel, minimum 8 inch deep, with minimum 2 in. wide flanges. Girts placed horizontally (with flanges up or down) and spaced maximum 90 in. o.c. Girts are secured to columns with girt clips, Item 2, or bolted to the column through the girt flange.
- Girt Clips — (optional, not shown) - Steel clips secured to column by welds or bolts.
- Steel Wall Panels — Minimum No. 26 MSG, minimum 1-1/8 in depth, minimum 36 in. wide coated steel panels. Vertical raised rib profiles of adjacent panels are overlapped and attached to each other with self-drilling or self-tapping screws spaced 30 in. o.c. (max.) along the lap. Metal panel attachment to steel girt using self-drilling or self-tapping screws spaced 12" o.c. along girt.
- Furring Channels — Hat shaped, minimum 20 MSG galvanized steel, nominally 3 in. wide, 1-1/2 in. deep, spaced maximum 24 in. o.c. perpendicular to girts. Channels are secured to each girt with 3/8 in. (minimum) long self-drilling sheet steel type Two screws are used at each fastening location, one through each leg of the furring channel.
- 4A. (optional) — In place of the furring channels, the following standard steel framing for rated gypsum board walls may be used:
Steel framing (steel studs, runners and their attachment) for support of the gypsum board wall shall be constructed of the materials and in the manner specified in UL Design No. V497.
Lateral Support Members — (not shown) — Where required for lateral support of studs, support may be provided by means of steel straps, channels or other similar means as specified in the design of a particular steel stud wall system.
- Wallboard, Gypsum* — Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305. Two layers on interior face of wall of any 5/8 in. thick gypsum wallboard bearing the UL Classification Mark for Fire Resistance. Both layers applied horizontally or vertically. First layer attached to furring channels, Item 4, using 1 in. long Type S bugle head drywall screws spaced 24 in. o.c. maximum vertically and horizontally. Second layer attached to furring channels using 1-5/8 in. long Type S bugle head drywall screws spaced 12 in. o.c. maximum vertically and 24 in. o.c. maximum same orientation Wallboard joints finished dry or premixed joint compound applied in two coats to joints and screw heads of face layer of gypsum wallboard. Paper or glass fiber tape embedded in first layer of compound over all joints.
ACADIA DRYWALL SUPPLIES LTD (View Classification) — CRNLR25370
- Column Protection — (not shown) - Horizontal wall girts, Item 1, are attached to vertical structural steel columns. See Column Design No. X524 or X530 if protected columns are required.
- Batts and Blankets* — Min. 3.5 in thick (R-10) glass fiber blankets placed in the cavities of exterior walls, and attached to the girts. As an alternate, 1" min. Rigid Foam Board, Item 8, shall be permitted, in addition to the glass fiber blankets.
See Batts and Blankets (B2J2) categories for names of manufacturers.

3 1 HR RATED WALL ASSEMBLY

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC., FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS PROJECT.
2. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR KEN BLOCH AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
3. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: LAND SUBDIVISION. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISAVOWS ANY AND ALL RESPONSIBILITY.
4. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
5. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.
6. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
7. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
8. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED
ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON FEBRUARY 28, 2019.

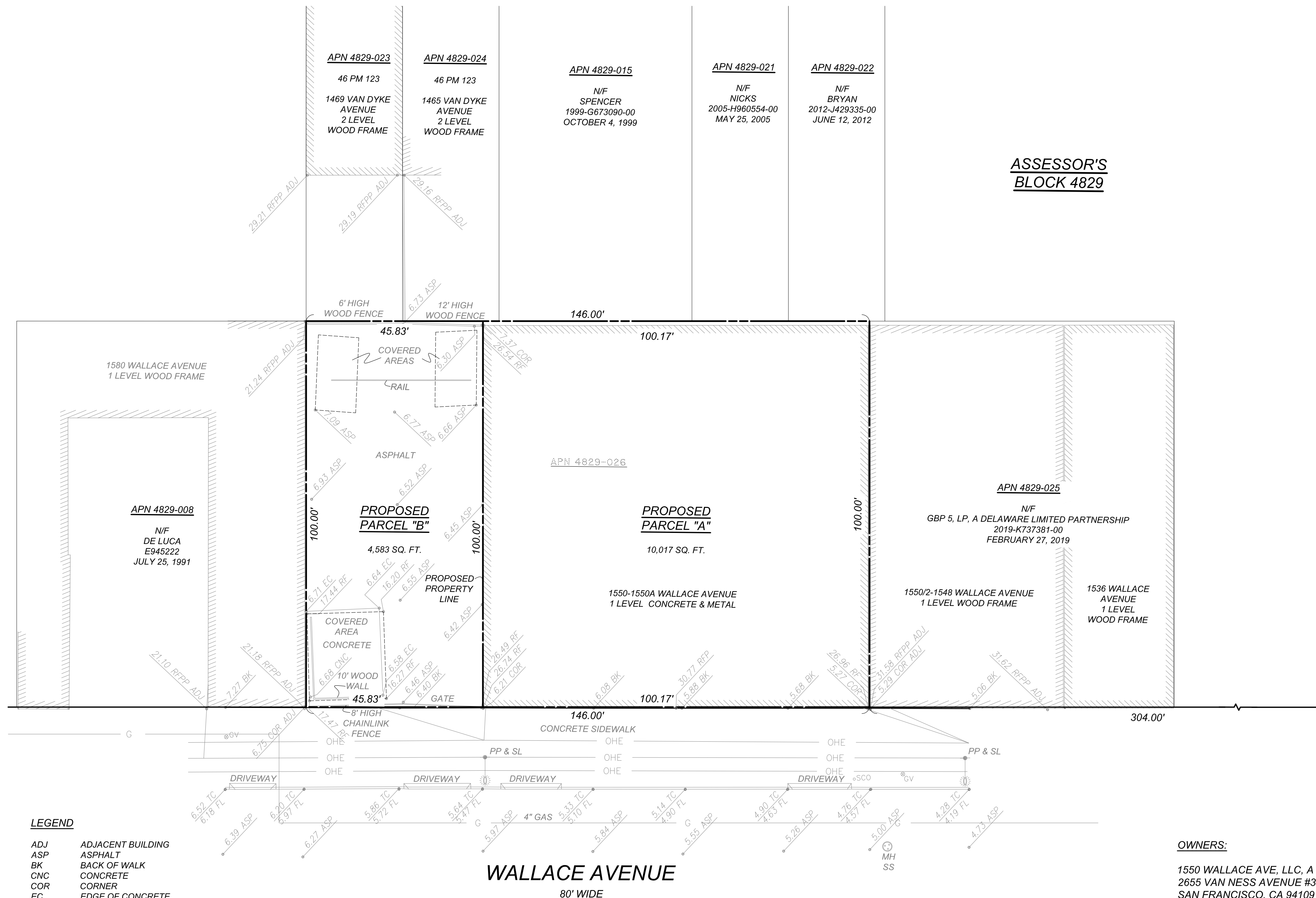
SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:

Ⓞ APN 4829-026 RECORDED FEBRUARY 27, 2019, DOCUMENT NUMBER 2019-K737382-00

PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF VAN DYKE AVENUE AND KEITH STREET. ELEVATIONS ARE BASED ON OLD CITY AND COUNTY OF SAN FRANCISCO DATUM. S.E. CORNER, SURVEY MON IN WALK. ELEVATION = 8.819'

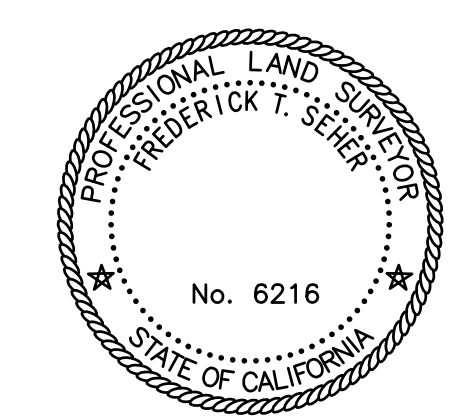


LEGEND

ADJ	ADJACENT BUILDING
ASP	ASPHALT
BK	BACK OF WALK
CNC	CONCRETE
COR	CORNER
EC	EDGE OF CONCRETE
FL	FLOW LINE
FH	FIRE HYDRANT
GV	GAS VALVE
MH	MANHOLE
PP	POWER POLE
RF	ROOF
RFPP	ROOF PARAPET
RFP	ROOF PEAK
SCO	SANITARY SEWER CLEAN OUT/VENT
SL	STREET LIGHT
SS	SANITARY SEWER
TC	TOP OF CURB
OHE	OVERHEAD ELECTRIC LINE
G	GAS LINE
⊙	STREET LIGHT
⊙	POWER POLE
ELEV. DESC	SPOT ELEVATION

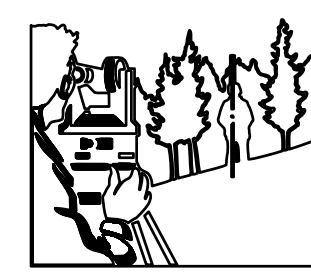
OWNERS:
1550 WALLACE AVE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
2655 VAN NESS AVENUE #3
SAN FRANCISCO, CA 94109

SURVEYOR'S STATEMENT:
THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.



Frederick T. Seher
FREDERICK T. SEHER, PLS
LICENSE NO. 6216
DATE: 4-9-19

DATE:	APRIL, 2019	▲			
SCALE:	1" = 16'	▲			
DRAWN BY:	EE	▲			
DRAWING NAME:	2207-19	▲			
SURVEYED BY:	FTS	▲			
CHECKED BY:		▲			
CHECKED BY:		▲			
	NO.	BY	DATE	REVISIONS	



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

**TENTATIVE PARCEL MAP
BEING A 2 LOT SUBDIVISION
1550 WALLACE AVENUE, SAN FRANCISCO, CA
ASSESSOR'S PARCEL NUMBER: 4829-026**

SHEET	1
OF	1 SHEETS
JOB NO.	2207-19