

NOT FOR CONSTRUCTION

SHELL GAS STATION &
 CONVENIENCE STORE
 319 BAYSHORE BLVD
 SAN FRANCISCO, CA 94124

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SITE INFO

APN# 001-5545
 JURISDICTION: CITY OF SAN FRANCISCO, CA
 CURRENT ZONING: PDZ2
 SITE COVERAGES:

SITE:	10,120 S.F.	(100 %)
EXISTING USES:	2,144 S.F.	(28 %)
(E) SNACK SHOP BUILDING TO BE REMOVED:	1/2- 340 S.F.	
(E) CANOPY TO BE REMOVED:	1/2- 2,404 S.F.	
PROPOSED USES:	4,241 S.F.	(42 %)
NEW CONVENIENCE STORE:	1,356 S.F.	
NEW FUELING CANOPY:	2,886 S.F.	
LANDSCAPING:	881 S.F.	(8.7 %)
PARKING PROVIDED:		
VEHICLE PARKING:	2 SPACES (1 STANDARD, 1 ACCESSIBLE VAN)	
BICYCLE PARKING:	6 SPACES (2 CLASS ONE, 4 CLASS TWO)	

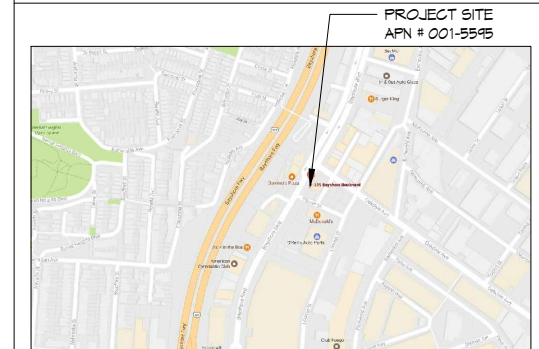
SITE PLAN LEGEND

- LANDSCAPING
- NEW CONCRETE PAVING
- 4 FT. WIDE (MIN) ACCESSIBLE ROUTE OF TRAVEL, SHALL NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE
- EXISTING TO REMAIN
- EXISTING CURB TO REMAIN
- NEW CONCRETE CURB

PROJECT DIRECTORY

ARCHITECT M I ARCHITECTS, INC. 2221 OLYMPIC BLVD, SUITE 100 WALNUT CREEK, CA 94595 TEL: (925) 287-1174 x1 FAX: (925) 443-1581 CELL: (925) 878-9875 MR. MUTHANA IBRAHIM, ARCHITECT	DEVELOPER MR. BALJIT SINGH 319 BAYSHORE BLVD SAN FRANCISCO, CA 94124 TEL: (415) 265-1455 FAX:
LANDSCAPE ARCHITECT CIARDELLA ASSOCIATES 640 MENLO AVE, SUITE 110 MENLO PARK, CA 94025 TEL: (650) 326-6100 FAX: (650) 323-6106 MR. RICHARD CIARDELLA	CIVIL ENGINEER STUKAM CONSULTING ENGINEERS, INC. 11344 COLOMA ROAD, SUITE 235C GOLD RIVER, CA 95610 TEL: (916) 835-5711 FAX: (916) 988-6316 MR. FAREED T. SIDDIQUI, P.E.

VICINITY MAP

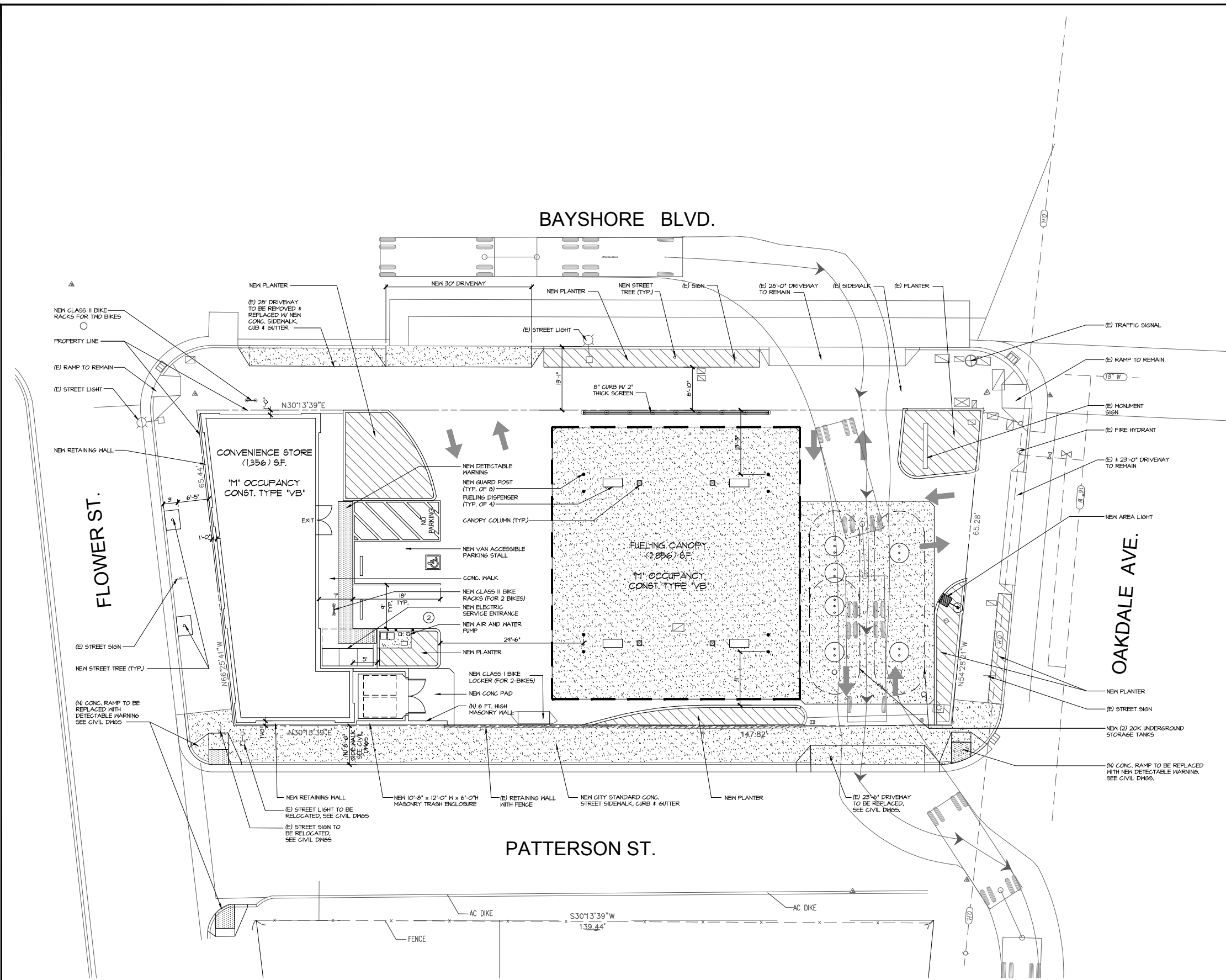


-	ISSUED FOR CONSTRUCTION
-	ISSUED FOR PLAN CHECK
08-20-11	ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION

SITE PLAN	
PROJECT #:	16-12601
DRAWN BY:	BB
CHECKED BY:	MII
SCALE:	AS NOTED
DATE:	10-28-18

SD1
 SHEET OF



1 SITE PLAN
 SCALE: 1" = 10'-0"
 GRAPHIC SCALE: 1" = 10'-0"
 NORTH

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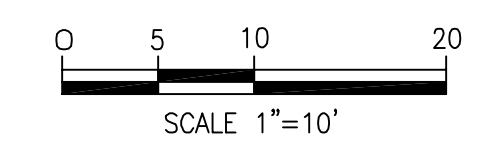
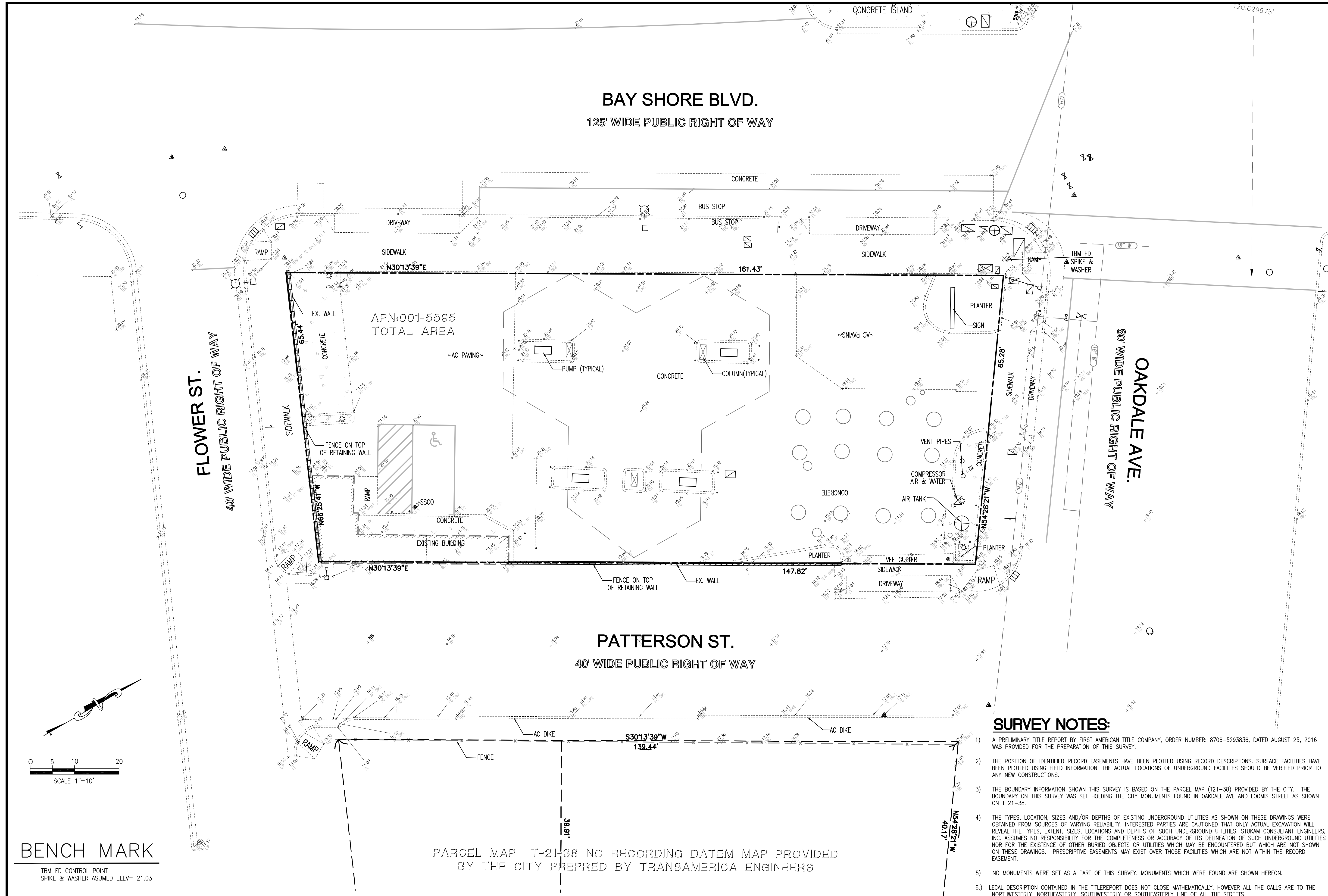
VICINITY MAP
NO SCALE

LEGEND

- MANHOLE
- DRAIN INLET
- WATER LINE
- DRAIN LINE
- SEWER LINE
- GAS LINE
- FIRE HYDRANT
- WATER VALVE
- SEWER CLEAN OUT
- WATER METER
- FIRE DEPT. CONNECTION
- EDGE OF PAVEMENT
- BACK FLOW PREVENTER
- CONCRETE CURB
- SPOT ELEVATION
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL WITH LIGHT
- PARKING LIGHT
- PULL BOX
- GAS VALVE
- UTILITY POLE
- GAS METER
- OVER HEAD WIRE
- UTILITY POLE W/GUY
- PUBLIC STREET LIGHT
- SIGN
- FENCE
- WALL
- GUARD POST
- TREE
- VAULT
- TRANSFORMER
- RAIN WATER LEADER
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRICAL LINE
- U.G. CABLE LINE
- RIDGE LINE
- COLUMN
- PUMP
- TANK

SURVEY NOTES:

- 1) A PRELIMINARY TITLE REPORT BY FIRST AMERICAN TITLE COMPANY, ORDER NUMBER: 8706-5293836, DATED AUGUST 25, 2016 WAS PROVIDED FOR THE PREPARATION OF THIS SURVEY.
- 2) THE POSITION OF IDENTIFIED RECORD EASEMENTS HAVE BEEN PLOTTED USING RECORD DESCRIPTIONS. SURFACE FACILITIES HAVE BEEN PLOTTED USING FIELD INFORMATION. THE ACTUAL LOCATIONS OF UNDERGROUND FACILITIES SHOULD BE VERIFIED PRIOR TO ANY NEW CONSTRUCTIONS.
- 3) THE BOUNDARY INFORMATION SHOWN THIS SURVEY IS BASED ON THE PARCEL MAP (121-38) PROVIDED BY THE CITY. THE BOUNDARY ON THIS SURVEY WAS SET HOLDING THE CITY MONUMENTS FOUND IN OAKDALE AVE AND LOOMIS STREET AS SHOWN ON T 21-38.
- 4) THE TYPES, LOCATION, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. INTERESTED PARTIES ARE CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. STUKAM CONSULTANT ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. PRESCRIPTIVE EASEMENTS MAY EXIST OVER THOSE FACILITIES WHICH ARE NOT WITHIN THE RECORD EASEMENT.
- 5) NO MONUMENTS WERE SET AS A PART OF THIS SURVEY. MONUMENTS WHICH WERE FOUND ARE SHOWN HEREON.
- 6) LEGAL DESCRIPTION CONTAINED IN THE TITLEREPORT DOES NOT CLOSE MATHEMATICALLY. HOWEVER ALL THE CALLS ARE TO THE NORTHWESTERLY, NORTHEASTERLY, SOUTHWESTERLY OR SOUTHEASTERLY LINE OF ALL THE STREETS.



BENCH MARK

TBM FD CONTROL POINT
SPIKE & WASHER ASSUMED ELEV= 21.03

PARCEL MAP T-21-38 NO RECORDING DATE MAP PROVIDED
BY THE CITY PREPRED BY TRANSAMERICA ENGINEERS

BENCHMARK ELEV. 21.03
ASSUMED ELEVATION

FIELD BOOK NO. PG.

STUKAM CONSULTING ENGINEERS, INC.
11344 COLOMA ROAD, SUITE 235C
GOLD RIVER CALIFORNIA 95670, (916) 835-5791

DESIGNED: N/A
DRAWN: STAFF
CHECKED: FTS
SUBMITTED: FARFED T. SIDDIQUI, P.E. RCE: 56122

SCALE: 1"=10'

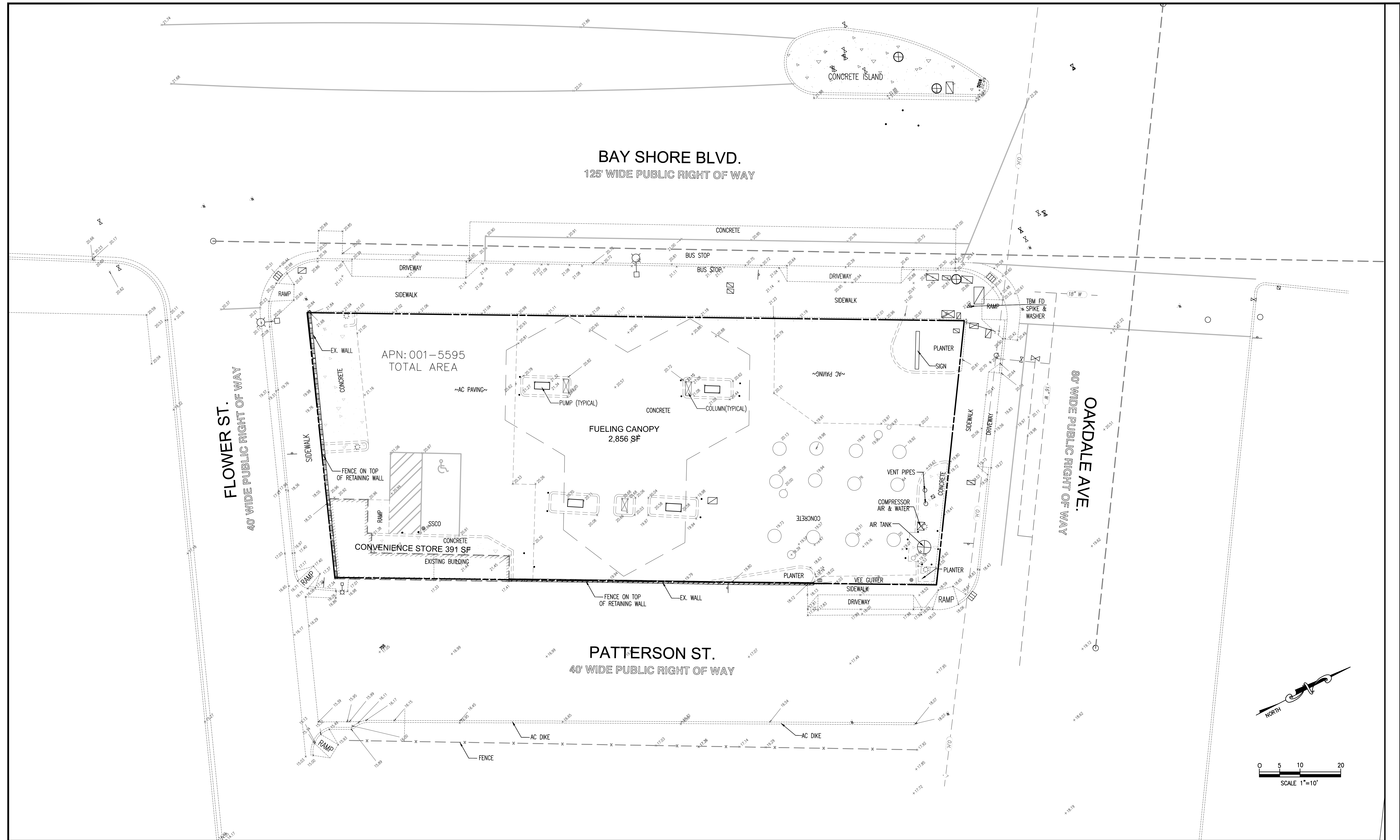


NO	DATE	REVISION	APPROVAL	BY

TOPOGRAPHIC SURVEY
319 BAY SHORE BLVD.
SHELL GAS STATION
APN: LOT 001 BLOCK 5595

CITY OF SAN FRANCISCO

DATE: 10/28/16
SHEET 1 OF 1



DEVELOPER
 MR. BALJIT SINGH
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 T: (415) 265-1955

SC EI STUKAM CONSULTING ENGINEERS, INC.
 11344 COLOMA ROAD SUITE 235C
 PHONE: (916) 858 8241

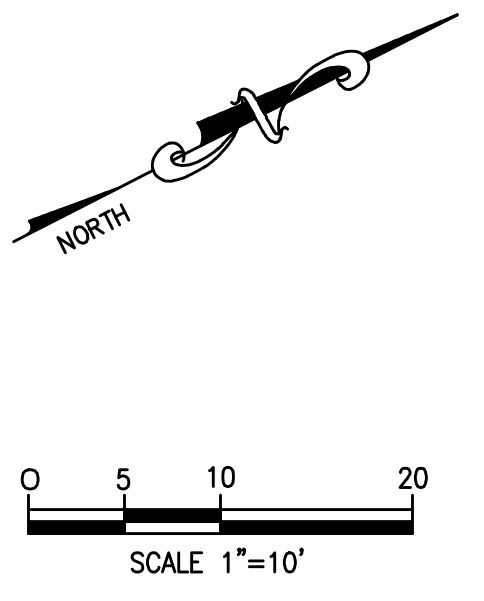
DESIGNED: FAREED T. SIDDIQUI	SCALE: 1"=10'
DRAWN: FTS	
CHECKED: FTS	
SUBMITTED: FAREED T. SIDDIQUI	RCE: 56122



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EXISTING CONDITIONS PLAN
319 BAYSHORE BLVD
 SHELL GAS STATION
 CONVENIENCE STORE
 CITY OF SAN FRANCISCO APN: 001-5595

DATE: OCT 2019
 SHEET C2 / 5
 OF 5



NOT FOR CONSTRUCTION. 2016-043 319 BAYSHORE BLVD

PRELIMINARY Subject to Change

PRELIMINARY

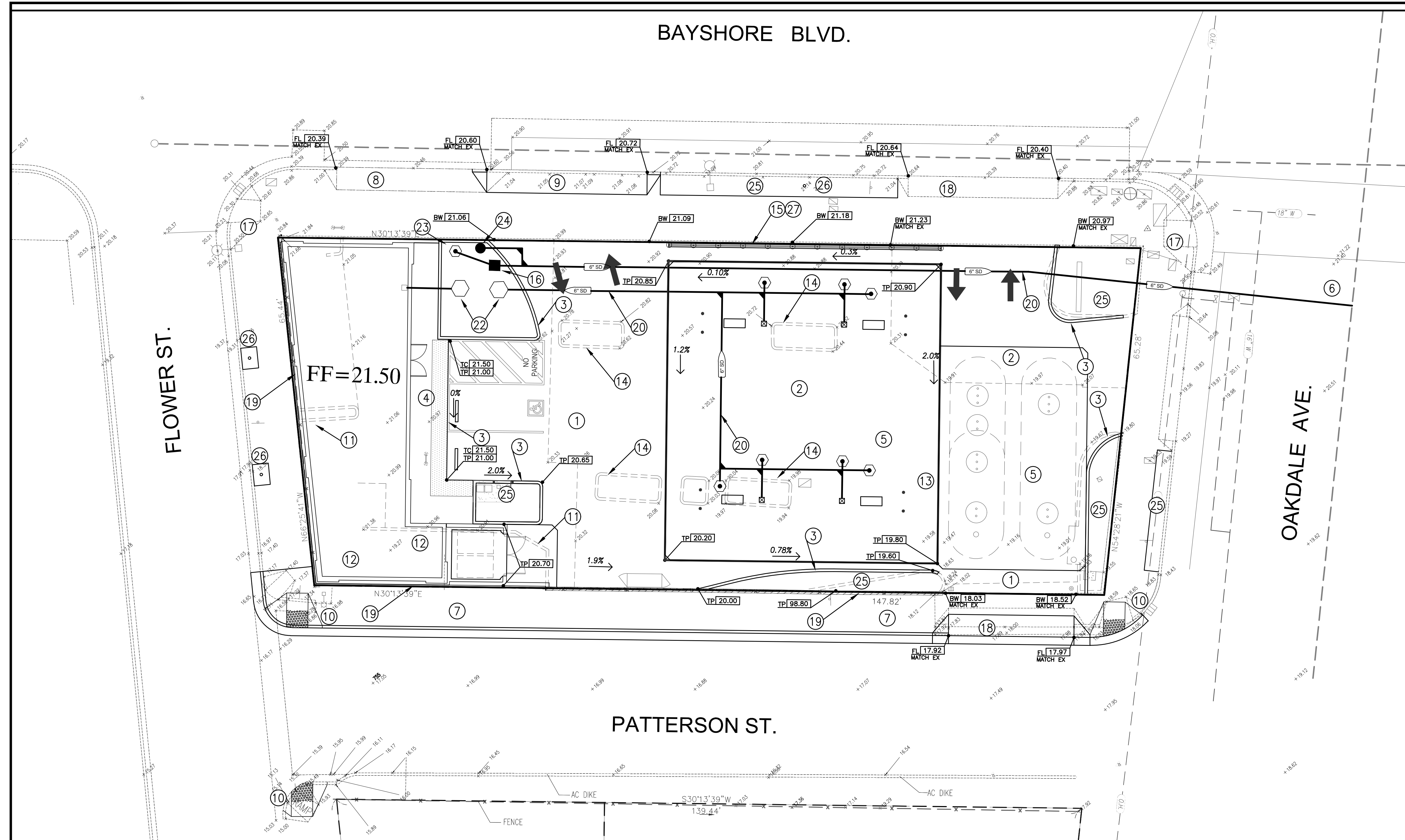
JOB NO: 2016-043

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BAYSHORE BLVD.

PROPOSED IMPROVEMENT NOTES:

- 1 PLACE 3.5" AC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION.
- 2 PLACE 6" PCC OVER 4" AB COMPACTED TO A MINIMUM 95% COMPACTION.
- 3 CONSTRUCT 6" VERTICAL CURB.
- 4 SIDEWALK, PLACE 4"(MIN)PCC OVER 4"(MIN)AB COMPACTED TO A MINIMUM 95% COMPACTION.
- 5 PLACE 8" PCC OVER 9" PEA GRAVEL WHERE FUEL LINES ARE LOCATED AND OVER EXISTING UNDERGROUND FUEL TANK.
- 6 PROPOSED CSS CONNECTION
- 7 EXTEND CURRENT PUBLIC SIDEWALK TO 7.5' WITH A 6" CURB AND 1.5' GUTTER.
- 8 SAWCUT AND REMOVE EXISTING DRIVEWAY AND REPLACE WITH CURB, GUTTER AND SIDEWALK PER CITY STANDARDS, MATCH EXISTING CURB, GUTTER AND SIDEWALK AT BOTH ENDS
- 9 CONSTRUCT NEW DRIVEWAY PER CITY STANDARDS
- 10 CONSTRUCT NEW RAMP PER CITY STANDARDS
- 11 SAWCUT AND REMOVE EXISTING VERTICAL CURB
- 12 SAWCUT AND REMOVE EXISTING BUILDING AND CONCRETE SIDEWALK
- 13 REMOVE EXISTING CONCRETE & UNDERGROUND STORAGE TANK.
- 14 REMOVE EXISTING FUEL TANK & CONCRETE.
- 15 INSTALL PARK SCREENING, REFER TO THE ARCHITECT'S PLAN FOR DETAILS ON IT.
- 16 PLACE NEW CATCH BASIN TOP OF GRATE 6" ABOVE FLOW LINE OF BIO SWALE
- 17 EXISTING H/C RAMP TO REMAIN.
- 18 SAWCUT AND REMOVE EXISTING DRIVEWAY AND REPLACE WITH NEW CITY STANDARD DRIVEWAY PER CITY STANDARD DETAIL.
- 19 EXISTING WALL AND FENCE TO REMAIN AND PROTECTED.
- 20 PROPOSED STORM DRAIN LINE.
- 21 REMOVE EXISTING DRIVEWAY, REPLACE WITH CURB, GUTTER & SIDEWALK.
- 22 PLACE BUBBLER PER DETAIL13 ON SHEET C7
- 23 PLACE SD CLEANOUT
- 24 PLACE PLANTER OVERFLOW DRAIN AS SHOWN PER DETAIL 12 ON SHEET C7
- 25 INSTALL PLANTER PER CITY STANDARDS
- 26 INSTALL TREE BOX PER CITY STANDARD
- 27 INSTALL 8" CURB. SEE ARCHITECT'S SITE PLAN.



FLOWER ST.

OAKDALE AVE.

PATTERSON ST.

FF=21.50

BENCHMARK ELEV. 21.03
 FOUND NAIL & SHINER AT THE
 CORNER OF BAY SHORE BLVD &
 OAKDALE
 FIELD BOOK NO. ____ PG. ____

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 DRAWN: FTS
 CHECKED: FTS
 SUBMITTED: FAREED T. SIDDIQUI RCE: 56122
 SCALE: 1"=10'



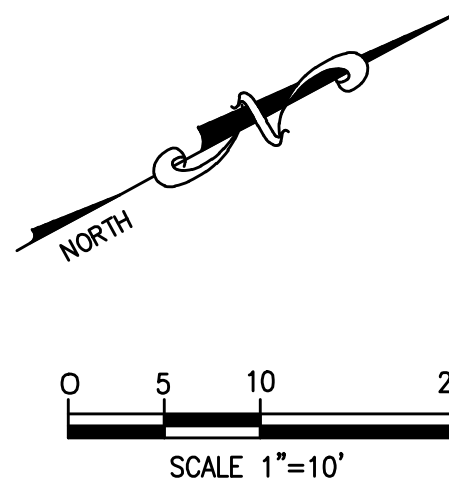
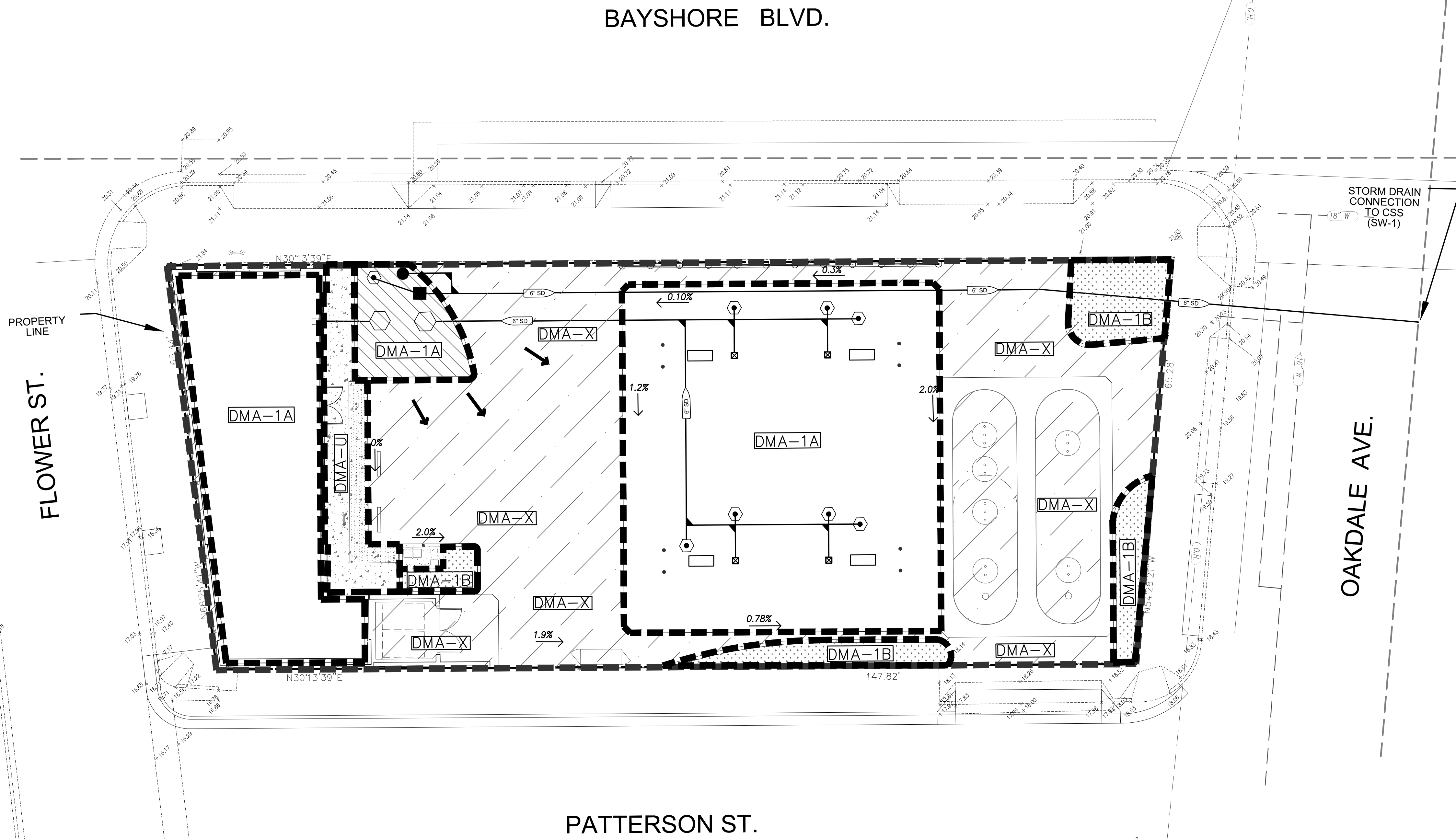
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GRADING AND UTILITY PLAN
319 BAYSHORE BLVD
 SHELL GAS STATION
 CONVENIENCE STORE
 CITY OF SAN FRANCISCO APN: 001-5595

DATE: OCT 2019
 SHEET
C3
 OF 5

NOT FOR CONSTRUCTION. 2016-043 319 BAYSHORE BLVD

BAYSHORE BLVD.



LEGEND

- BIO PLANTER (BP-1)
- TRADITIONAL PLANTER
- ROOF
- CONCRETE
- EXCLUDED AREA
- DMA 1 BOUNDARY
- SW 1 BOUNDARY
- SCHEMATIC PIPE WITH FLOW DIRECTION TO THE RIGHT
- SCHEMATIC PIPE WITH FLOW DIRECTION TO THE LEFT
- ROOF DRAIN
- CLEAN-OUT
- BUBBLER
- X PERCENT PROPOSED SLOPE
- OVERFLOW DRAIN
- PLANTER OUTLET STRUCTURE
- 6" STORMDRAIN PIPE
- BP-1 EMERGENCY OVERFLOW ROUTE

AREA SUMMARY TABLE:

BOUNDARY	BMP-ID	CONVENTIONAL SURFACES (SF)			LID/BMPs (SF)			TOTAL (SF)
		ROOF	PAVEMENT	TRAD. PLANTER	FTP	PP	VR	
SUB-WATERSHED 1 (SW-1)								
DMA-1A	BP-1	4241	0	0	262	0	0	4503
DMA-1B	UNCAPTURED	0	0	491	0	0	0	491
SIZING CALCULATOR TOTAL (SF)		4241	0	491	262	0	0	4994
DMA-U*	UNCAPTURED	0	360	0	0	0	0	360
DMA-X*	EXCLUDED	0	4766	0	0	0	0	4766
OVERALL TOTAL (SF)		4241	5126	491	262	0	0	10120

CALCULATION SUMMARY TABLE:

2-YR, 24HR STORM PEAK FLOW VOLUME (ft ³)	BOUNDARY	EXISTING	PROPOSED	%REDUCTION ACHIEVED	%REDUCTION REQUIRED
TOTALS		0.186	0.055	70%	40%
SW-1	1,037	929	10%	-	
TOTALS		1,037	929	10%	10%

*Note: RUNOFF WILL RUNOFF THE SITE VIA SHEET FLOW INTO CITY CSS VIA GUTTER. RUNOFF WILL GO TOWARDS THE LOWER EASTERN CORNER OF THE SITE AS INDICATED WITH THE SLOPE ARROWS.

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DRAWN: FTS
CHECKED: FTS
SUBMITTED: FAREED T. SIDDIQUI RCE: 56122
SCALE: 1"=10'



NO	REVISION	APPROVAL BY:	DATE

STORMWATER CONTROL PLAN
319 BAYSHORE BLVD
SHELL GAS STATION
CONVENIENCE STORE
CITY OF SAN FRANCISCO APN: 001-5595 CALIFORNIA

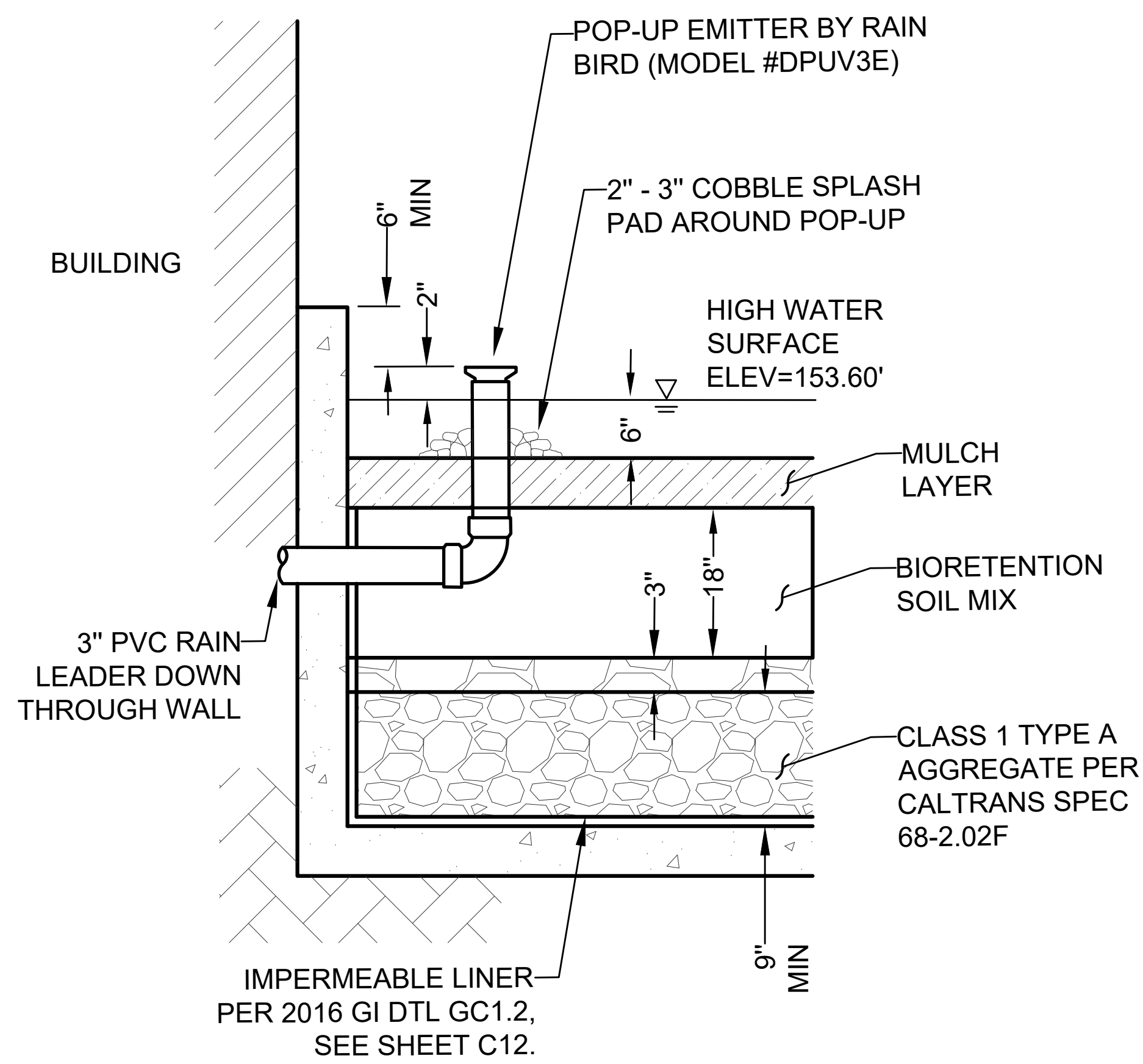
DATE: OCT 2019
SHEET
C4
OF 5

PRELIMINARY Subject to Change

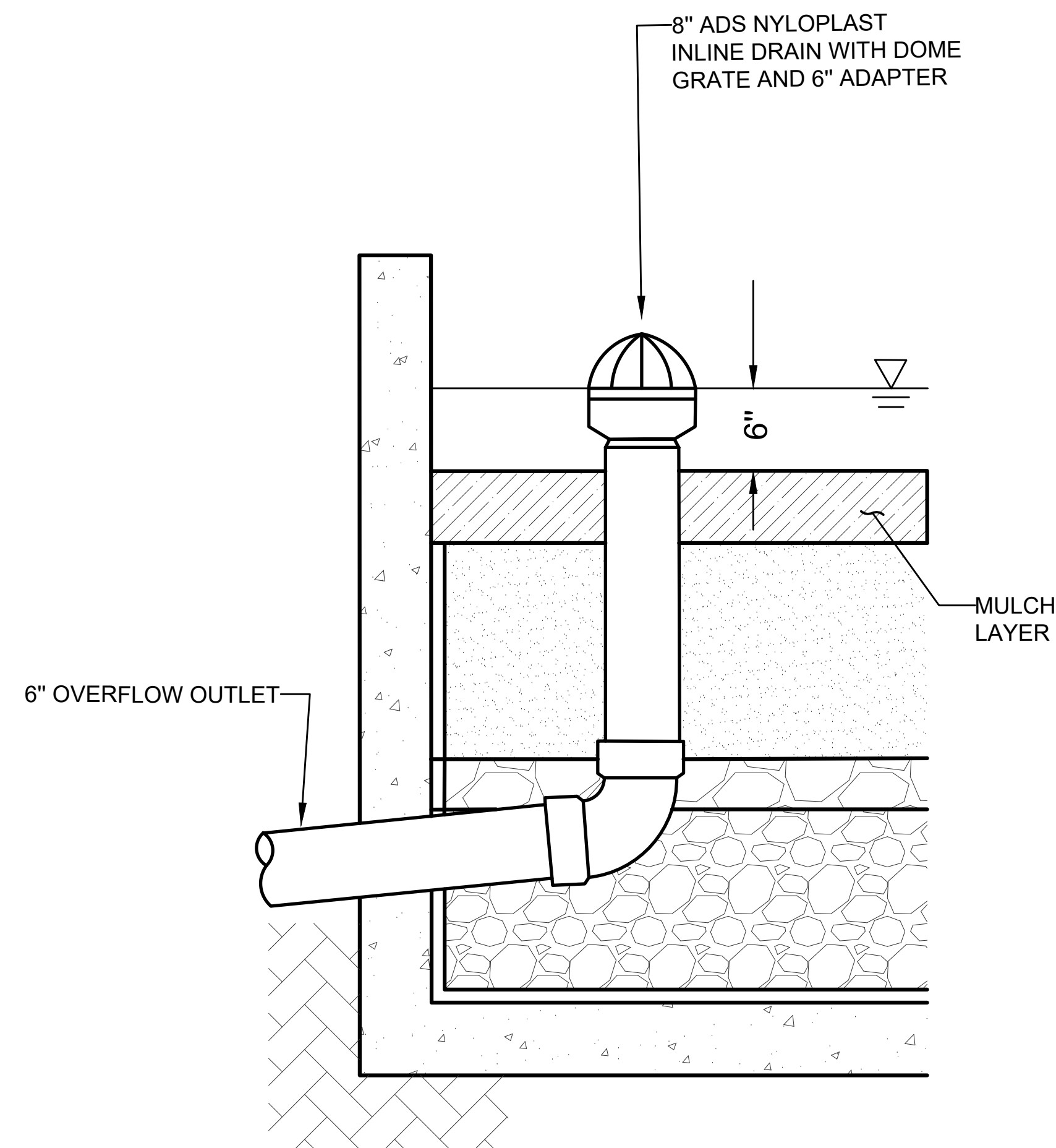
PRELIMINARY

JOB NO: 2016-043

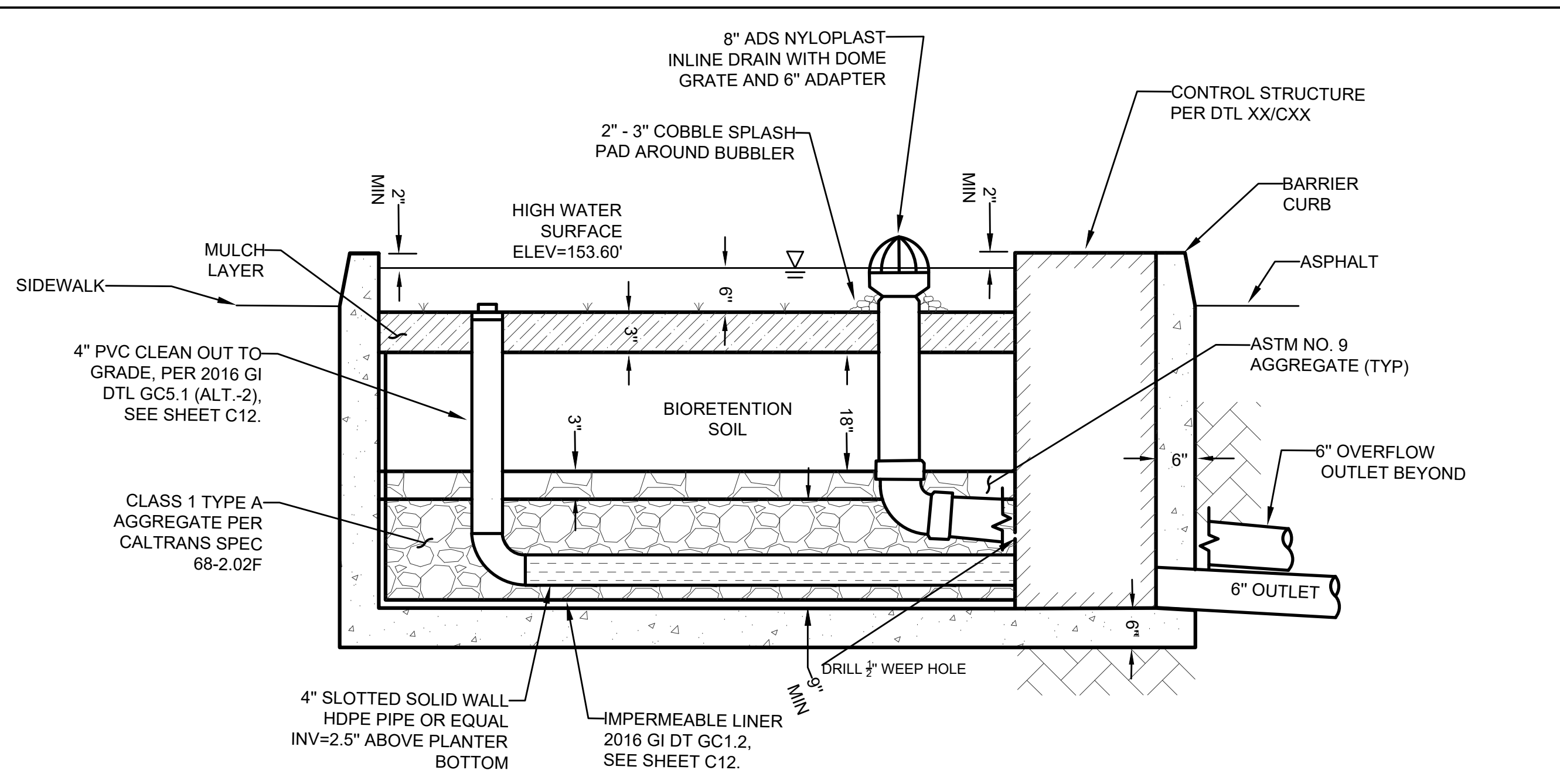
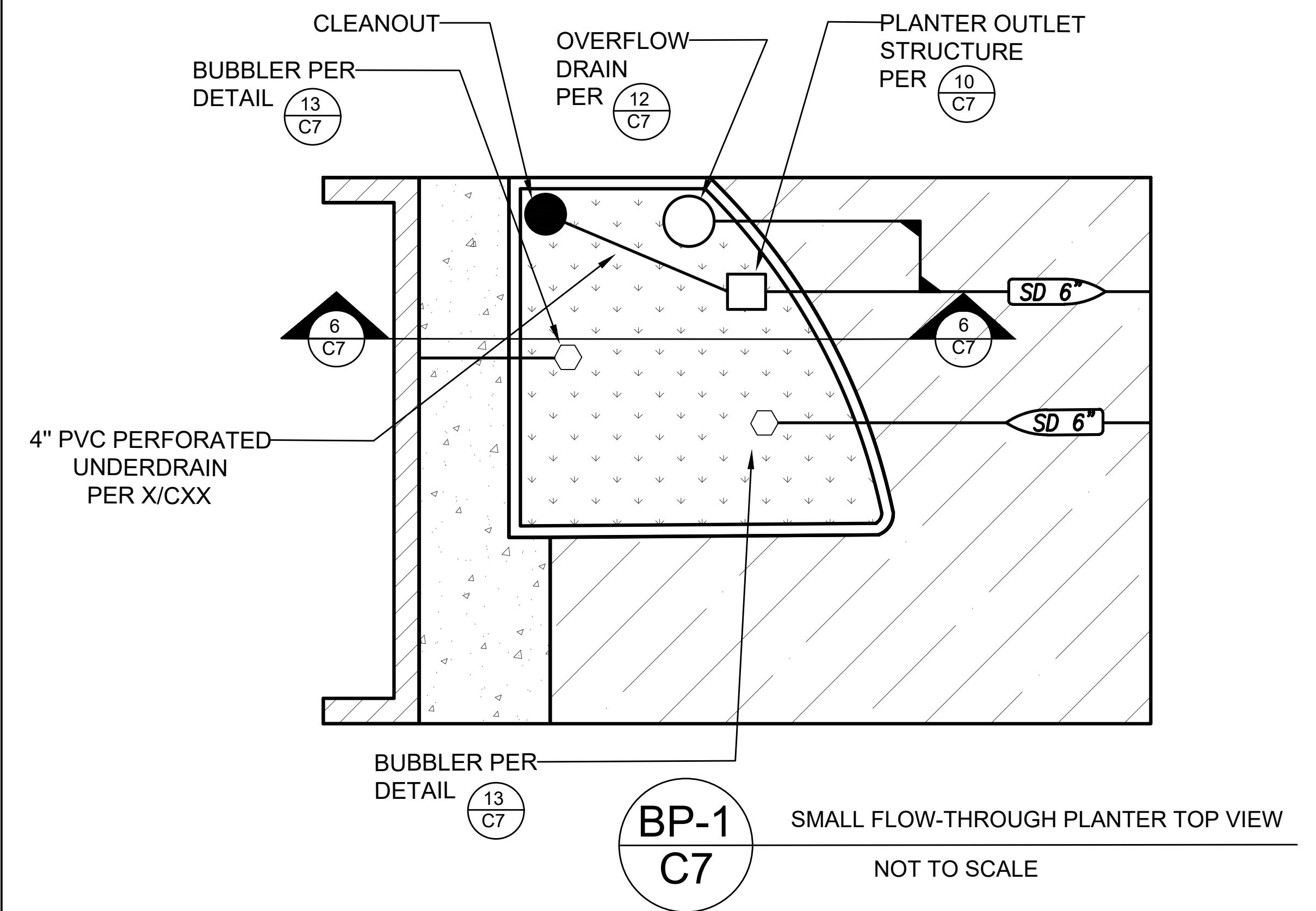
NOT FOR CONSTRUCTION. 2016-043 319 BAYSHORE BLVD



13
C7 BUBBLER
NOT TO SCALE

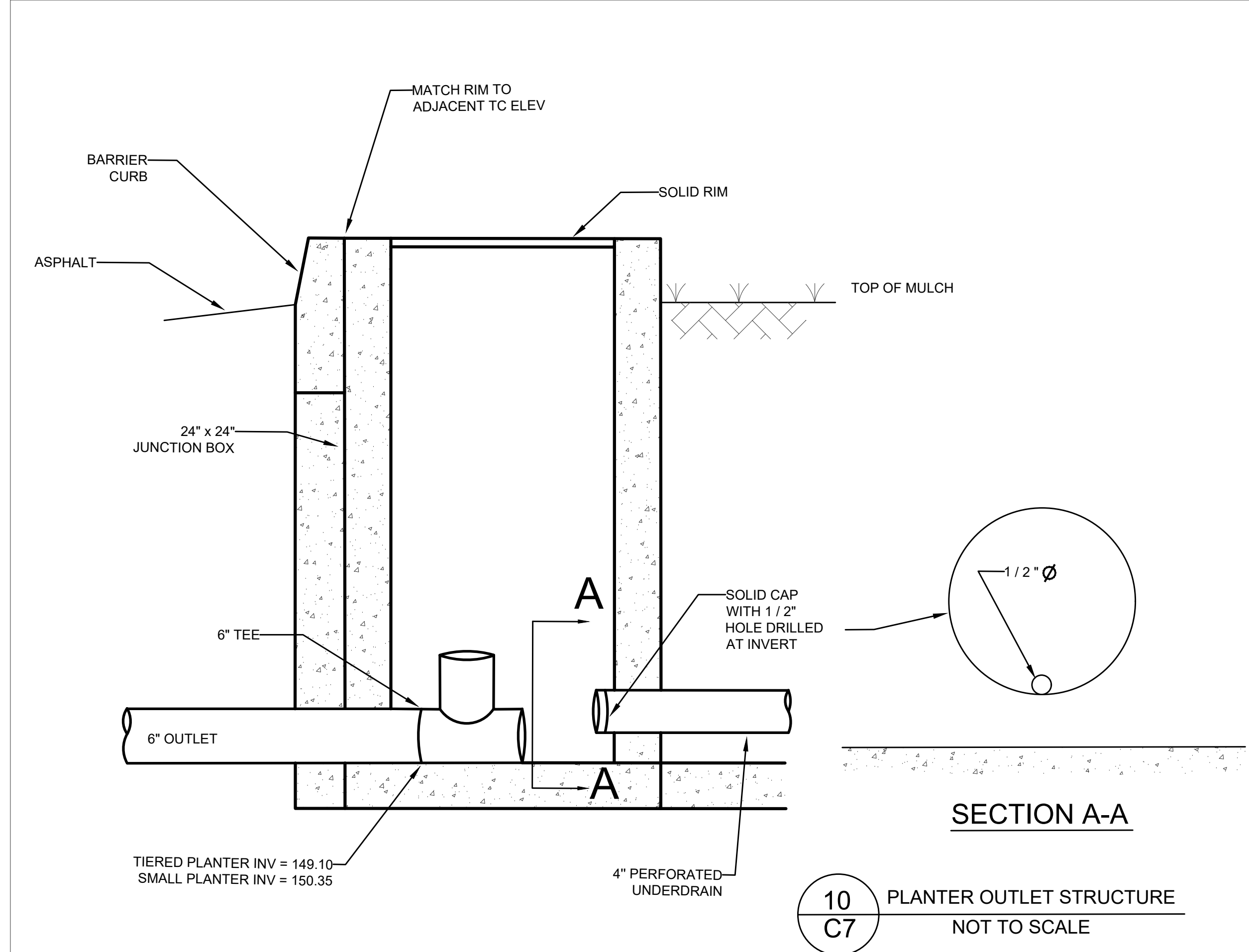


12
C7 OVERFLOW DRAIN
NOT TO SCALE



6
C7 SMALL FLOW-THROUGH PLANTER LAYOUT
NOT TO SCALE

NOTES:
1. SEE LANDSCAPE PLANS FOR VEGETATION.
2. PLANTING SURFACE SHALL BE LEVEL ACROSS PLANTER.
3. SEE DETAIL BP-1/C7 FOR LOCATIONS OF UNDERDRAIN PIPE, OVERFLOW DRAIN, AND OUTLET CONTROL STRUCTURE.
4. SEE SHEET CXX FOR BIORETENTION SOIL MIX SPECIFICATIONS.



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SCALE: NTS
RCE: 56122



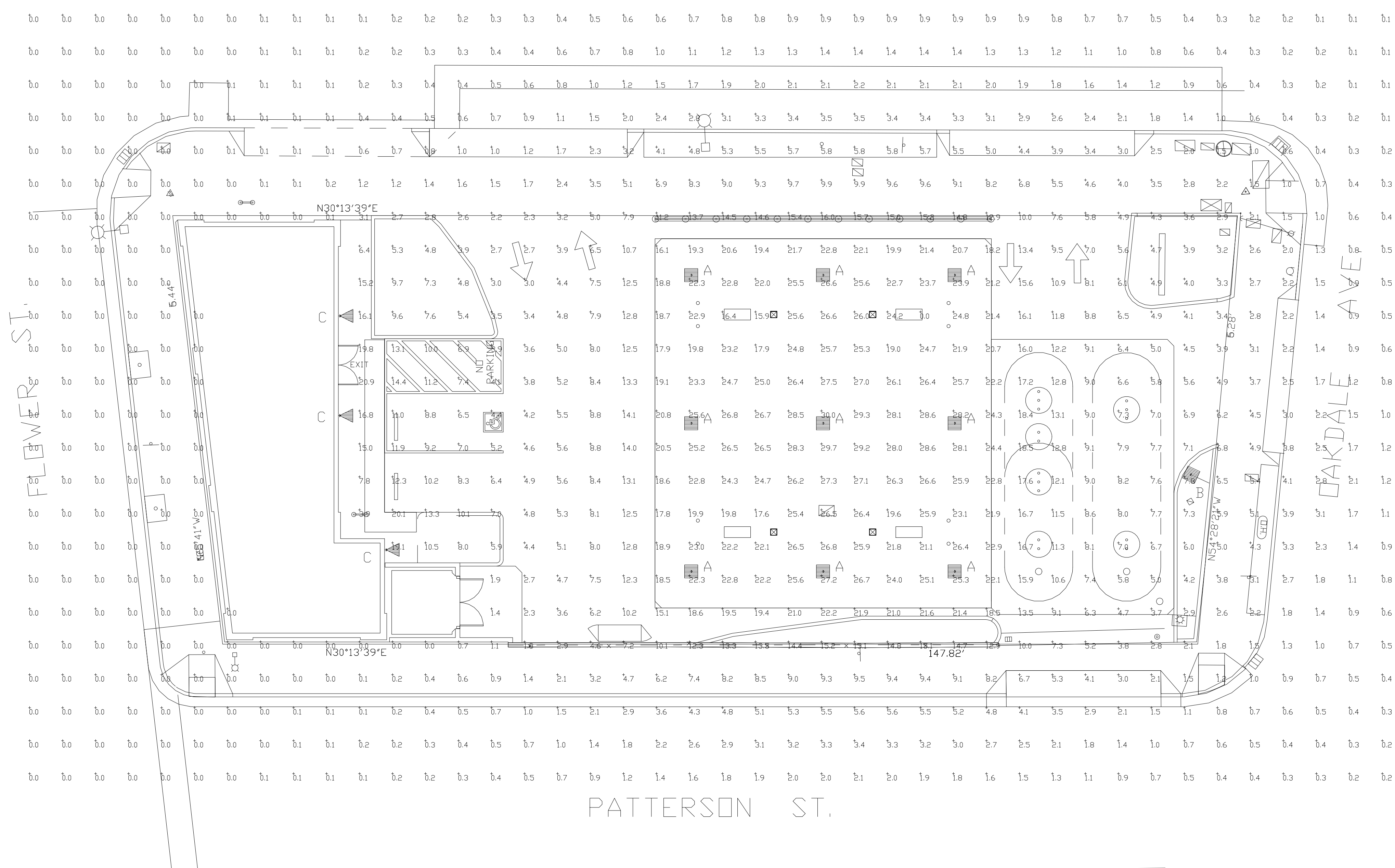
NO	REVISION	APPROVAL BY:	DATE

DETAILS
319 BAYSHORE BLVD
SHALL GAS STATION
FOOD MART & CARWASH
APN: 001-5595
CITY OF SAN FRANCISCO
CALIFORNIA

DATE: OCT 2019
SHEET
C5
OF 5

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BAYSHORE BLVD.



CRUS



SLM



XPWS3

Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
	9	A	SINGLE	CRUS-SC-LED-SS-50 MTD @ 16'-4"	1.000	1.000	1.000	13674	97.9
	1	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-18'PDLE+2'BASE	1.000	1.000	1.000	19664	148.5
	3	C	SINGLE	XPWS3-FT-LED-48-450-CW-UE MTD @ 9'	1.000	1.000	1.000	6159	72

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	6.14	30.0	0.0	N.A.	N.A.
CANDPY	Illuminance	Fc	23.20	30.0	0.0	N.A.	N.A.
INSIDE_CURB	Illuminance	Fc	8.18	20.1	1.4	5.84	14.36

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 12456

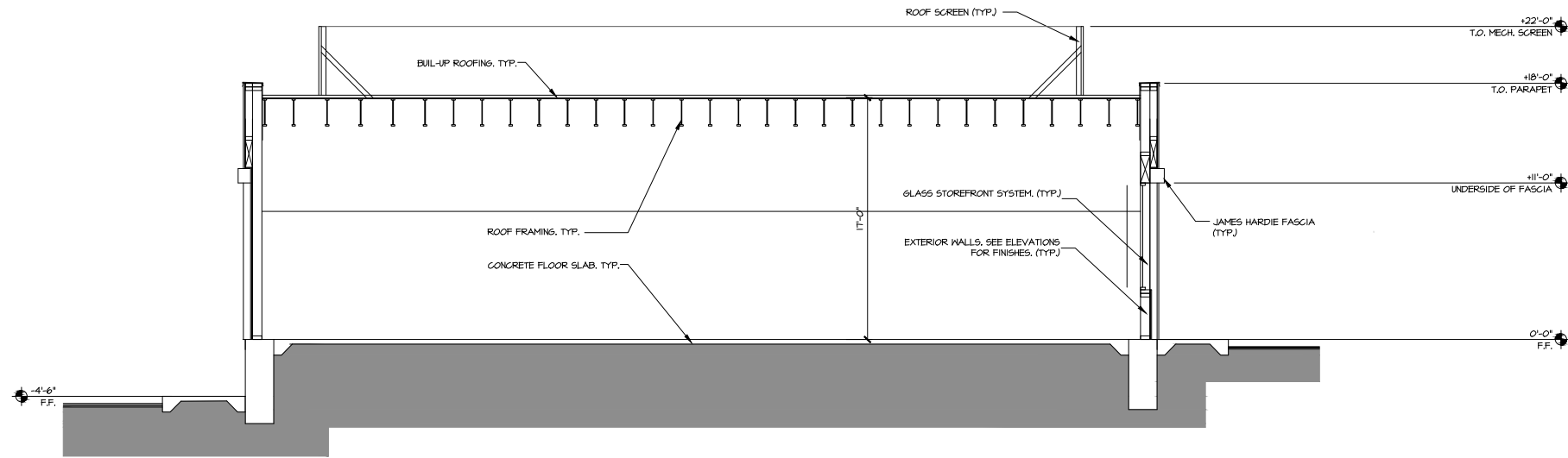
SD1-L

LIGHTING PROPOSAL LD-149359

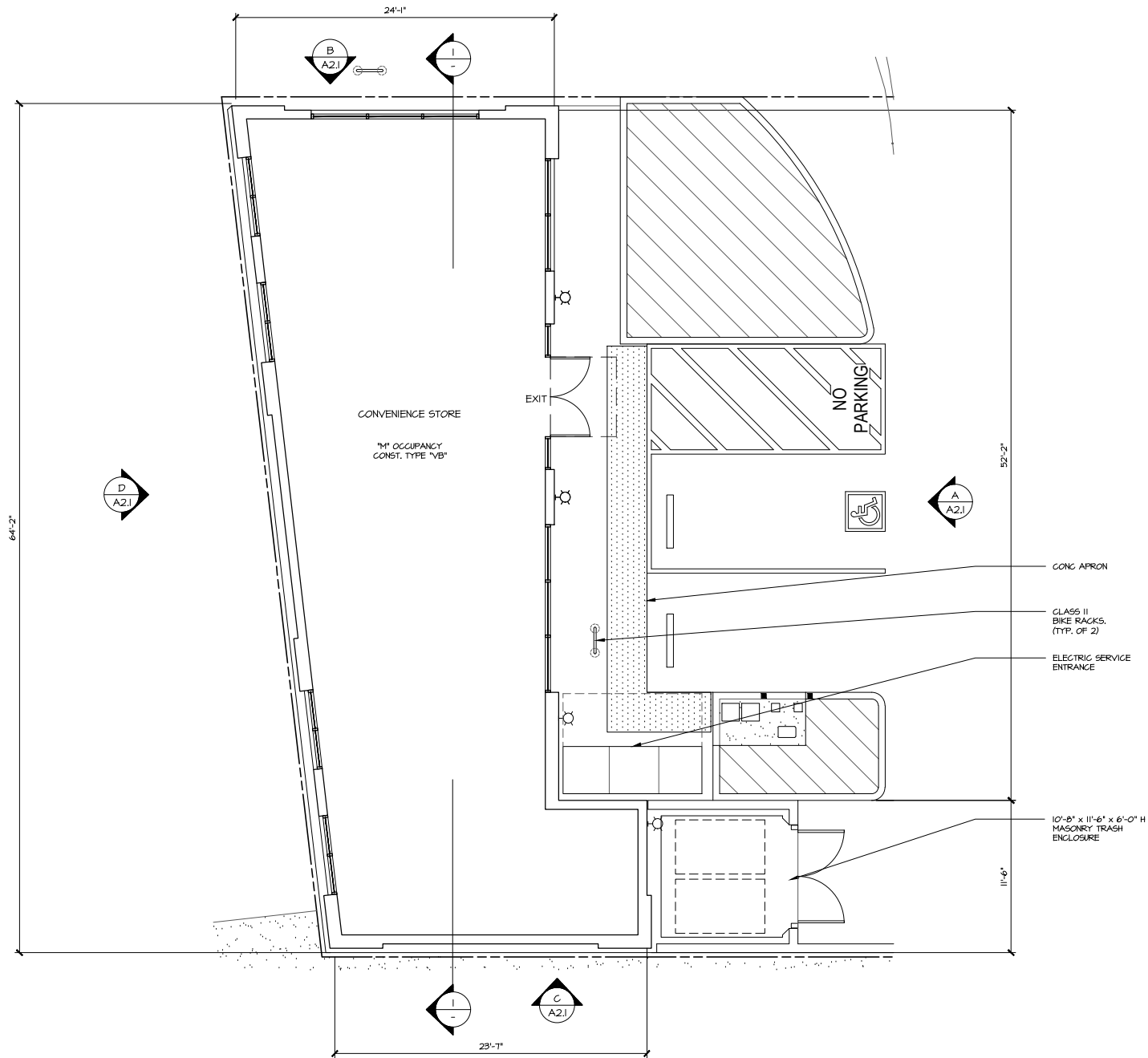
SHELL
319 BAYSHORE BLVD
SAN FRANCISCO, CA

BY: MVE DATE: 10-16-19 REV: SHEET 1 OF 1

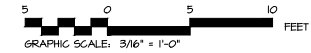
SCALE: 1"=10'



1 BUILDING CROSS SECTION
 SCALE: 3/16" = 1'-0"



A PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"



**SHELL GAS STATION &
 CONVENIENCE STORE
 319 BAYSHORE BLVD
 SAN FRANCISCO, CA 94124**

-	ISSUED FOR CONSTRUCTION
-	ISSUED FOR PLAN CHECK
08-20-17	ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
△		
△		
△		
△		

BUILDING FLOOR PLAN
 PROJECT #: 16-12601
 DRAWN: BB CHECKED: MII
 SCALE: AS NOTED DATE: 5-25-17

A1.1

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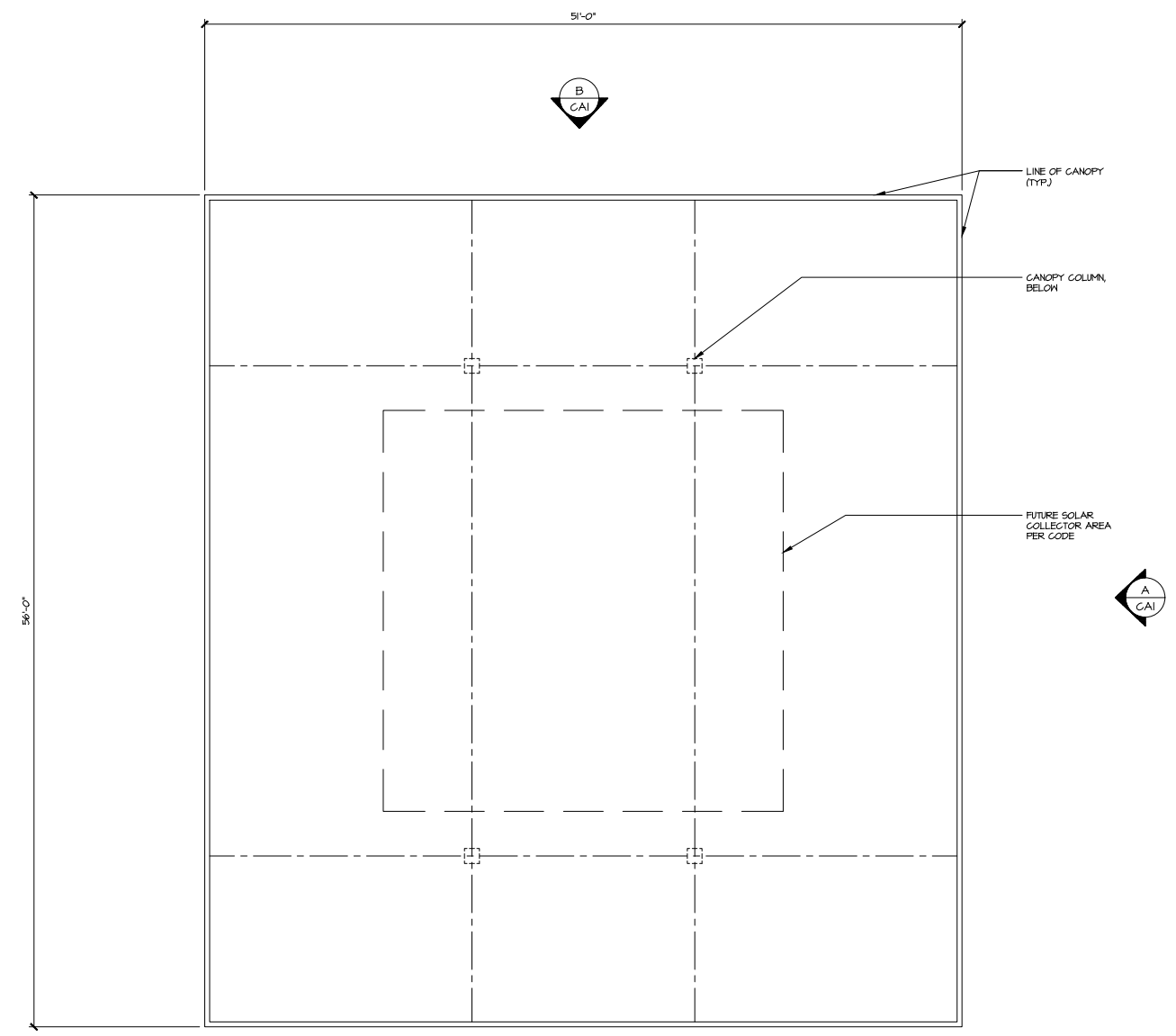


-	ISSUED FOR CONSTRUCTION
-	ISSUED FOR PLAN CHECK
06-20-17	ISSUED FOR PLANNING

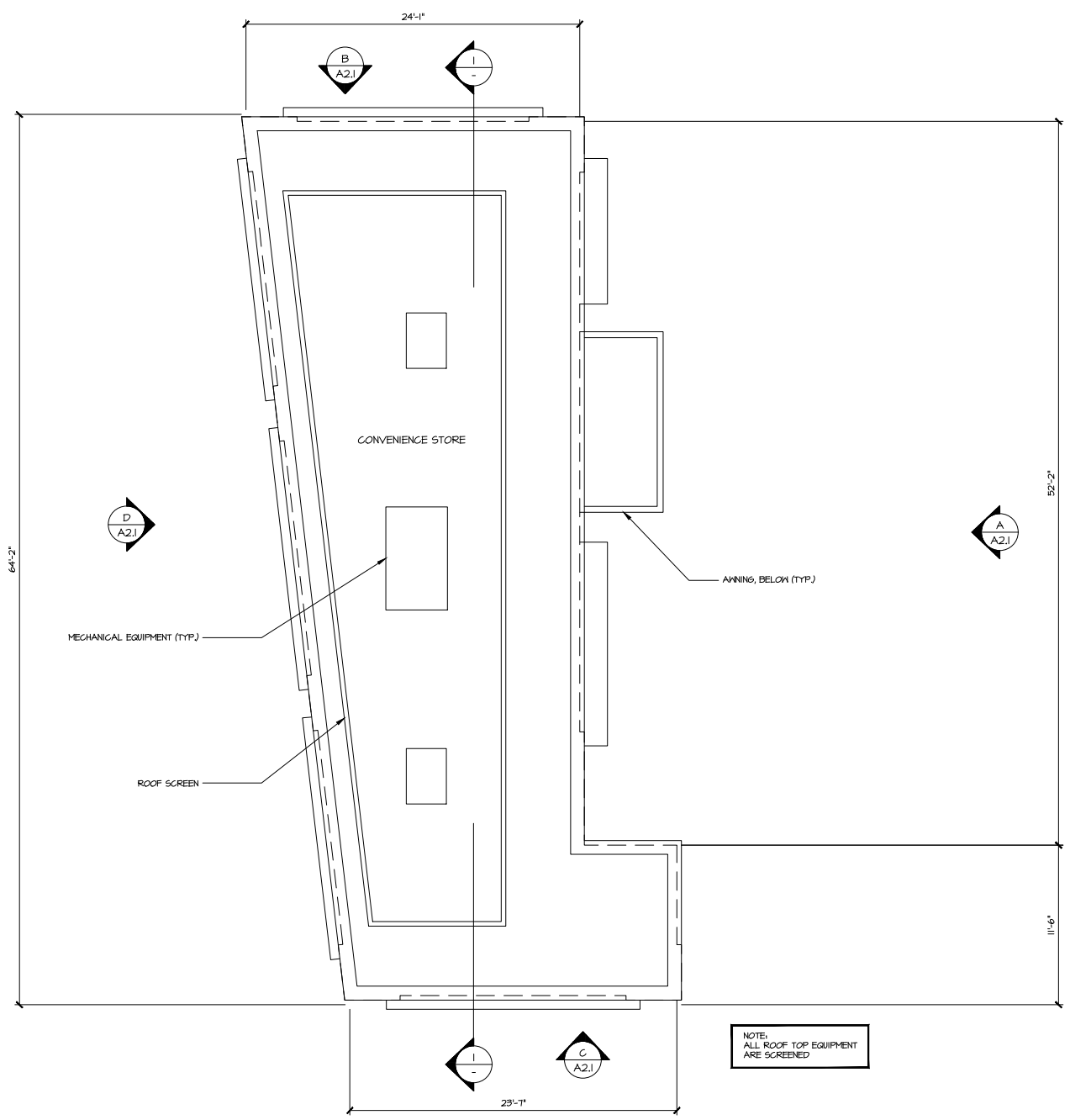
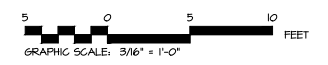
NO.	DATE	DESCRIPTION
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BUILDING & CANOPY
 ROOF PLANS

PROJECT #: 16-12601
 DRAWN: BB CHECKED: MII
 SCALE: AS NOTED DATE: 5-25-17



B PROPOSED CANOPY ROOF PLAN
 SCALE: 3/16" = 1'-0"

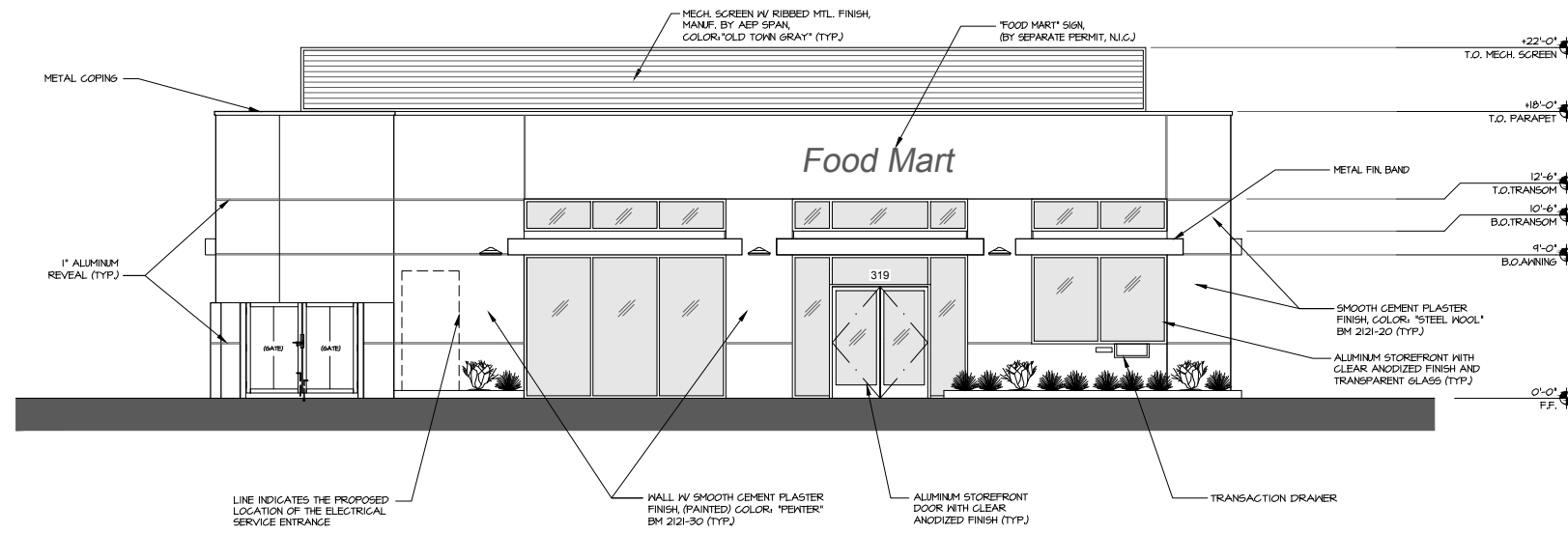


A PROPOSED BLDG. ROOF PLAN
 SCALE: 3/16" = 1'-0"

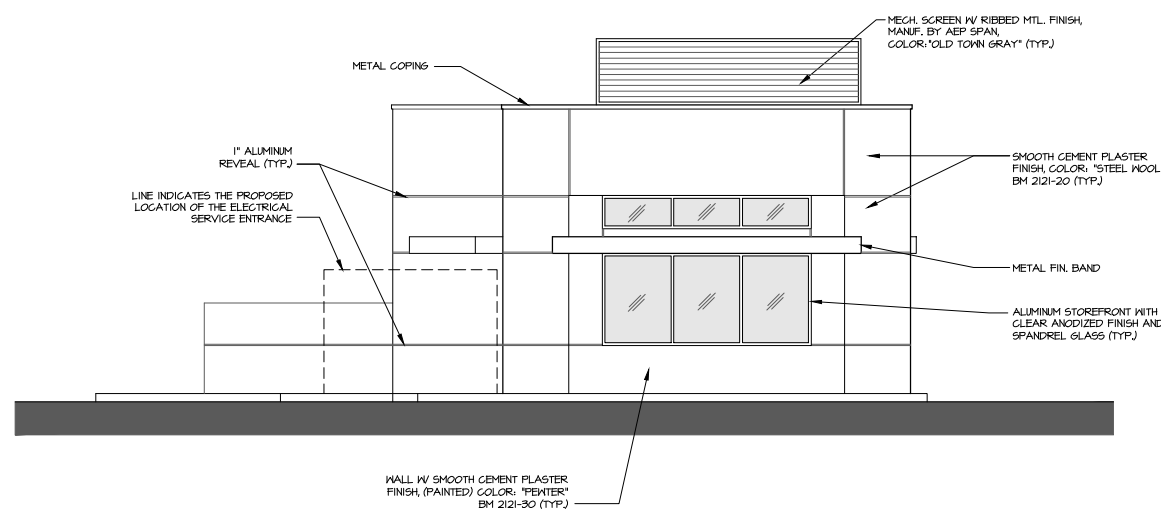


NOTE:
 ALL ROOF TOP EQUIPMENT
 ARE SCREENED

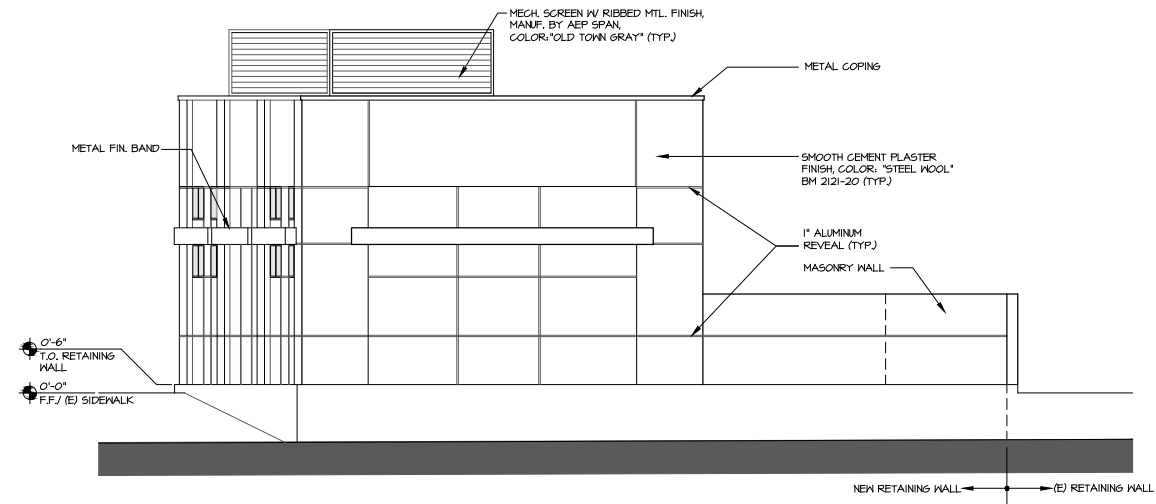
S:\1-Projects\16-12601-319_Bayshore_SF\0ug's\Planning\16-12601-A1.2.dwg modified by mthna4 at Nov 04, 2019 - 4:23pm



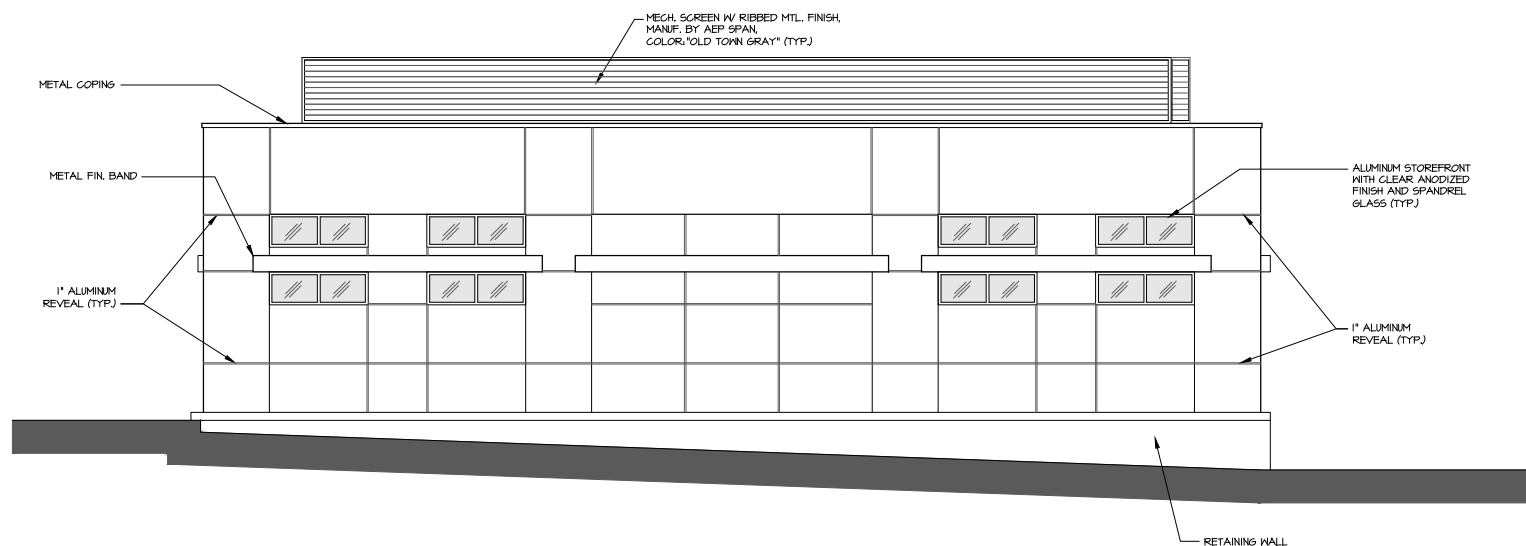
A PROPOSED NORTHEAST BUILDING ELEVATION
 SCALE: 3/16" = 1'-0"



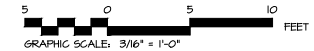
B PROPOSED NORTHWEST BUILDING ELEVATION (FACING BAYSHORE BLVD)
 SCALE: 3/16" = 1'-0"



C PROPOSED SOUTHEAST BUILDING ELEVATION (FACING PATTERSON ST.)
 SCALE: 3/16" = 1'-0"



D PROPOSED SOUTHWEST BUILDING ELEVATION (FACING FLOWER ST.)
 SCALE: 3/16" = 1'-0"



SHELL GAS STATION &
 CONVENIENCE STORE
 319 BAYSHORE BLVD
 SAN FRANCISCO, CA 94124

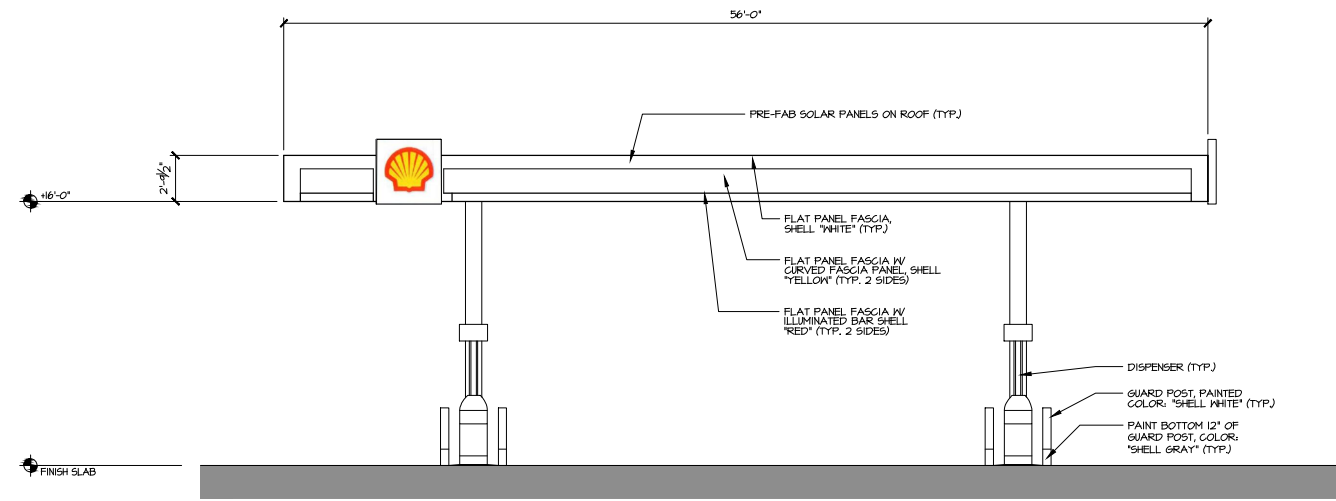
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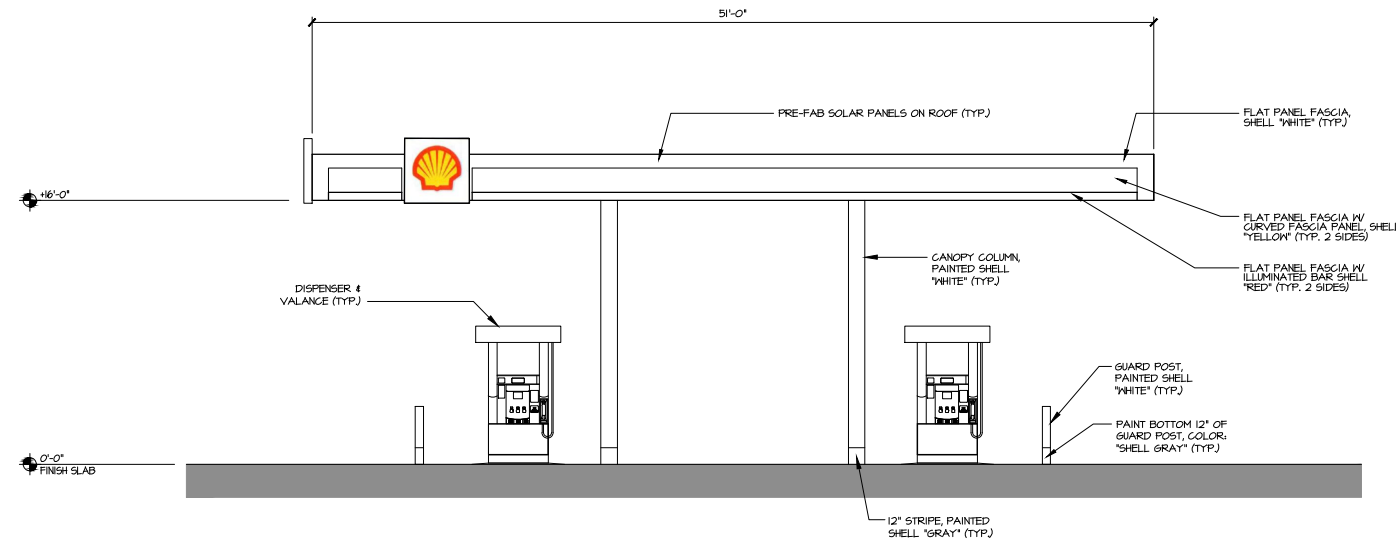
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BUILDING ELEVATIONS
 PROJECT #: 16-12601
 DRAWN: BB CHECKED: MII
 SCALE: AS NOTED DATE: 5-25-11

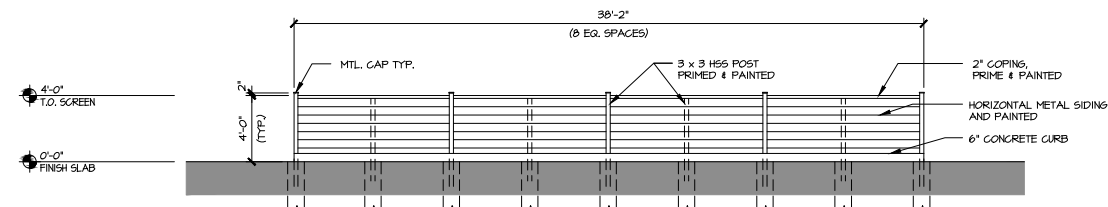
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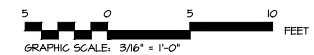
A PROPOSED NORTHEAST CANOPY ELEVATION (OAKDALE AVE)
SCALE: 3/16" = 1'-0"



B PROPOSED NORTHWEST CANOPY ELEVATION (BAYSHORE BLVD)
SCALE: 3/16" = 1'-0"



C PROPOSED DECORATIVE SCREEN N-W ELEVATION (BAYSHORE BLVD)
SCALE: 3/16" = 1'-0"



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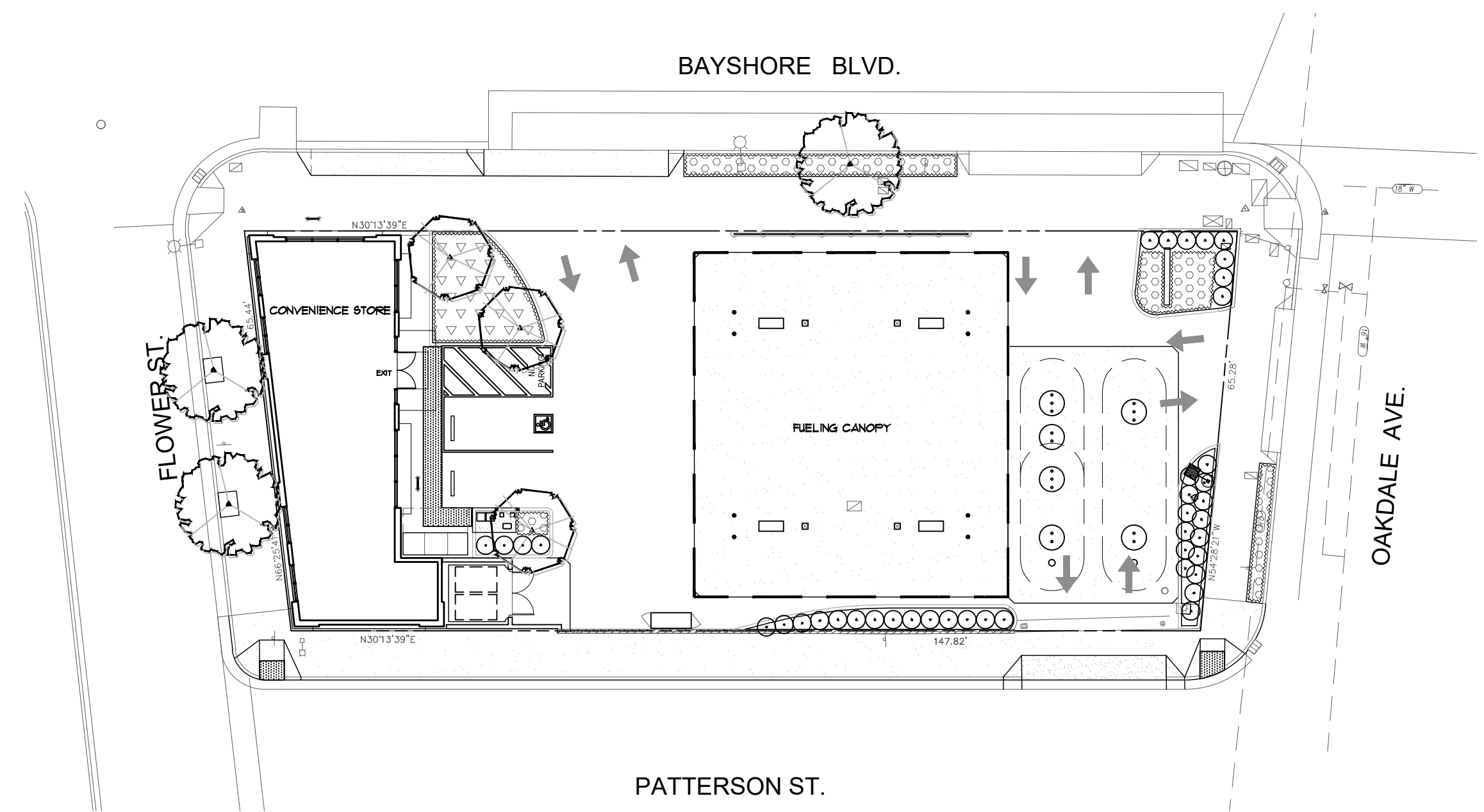
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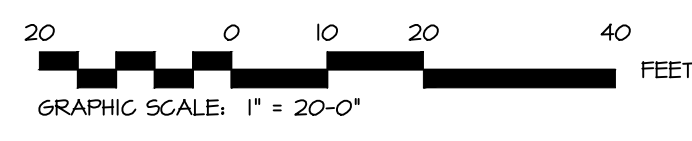
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CANOPY
ELEVATIONS
PROJECT #: 16-12601
DRAWN: BB CHECKED: MII
SCALE: AS NOTED DATE: 5-25-17

CA1

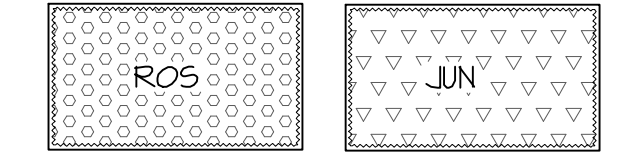


1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



PLANTING LEGEND

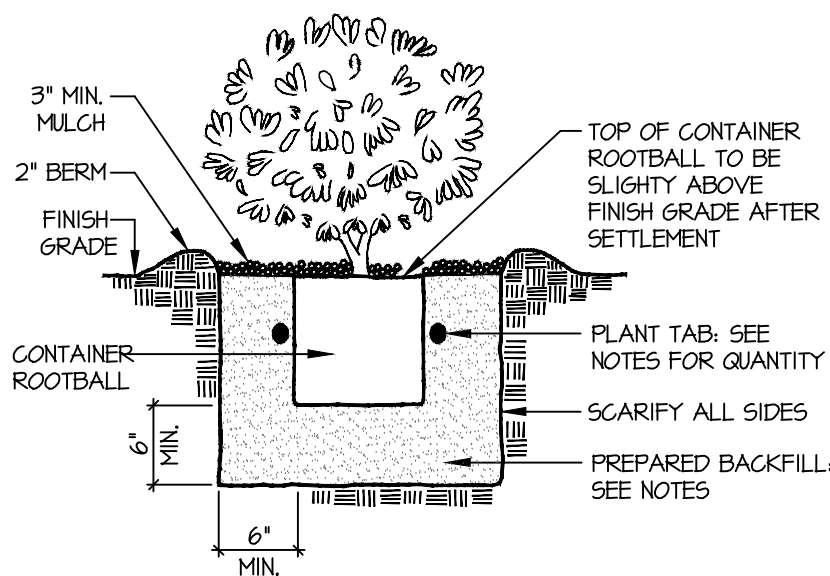
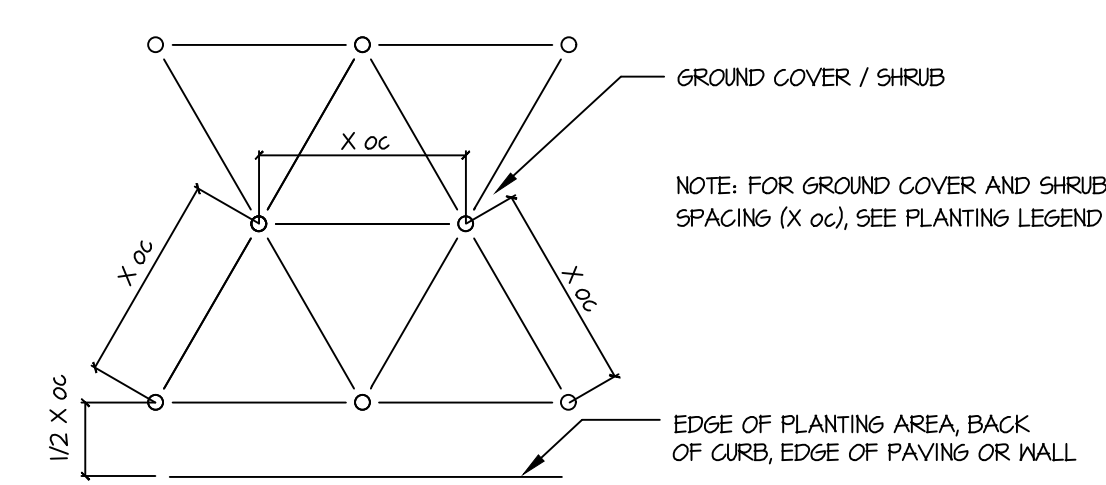
Symbol	BOTANICAL NAME	COMMON NAME	H2O	SIZE
	<i>Gleditsia triacanthos</i> 'Shademaster'	Honey Locust	L	15 Gallon
	<i>Metrosideros excelsus</i> Street Tree - or selected by SDAT	New Zealand Christmas Tree	L	24" Box
	<i>Ligustrum sinense</i> 'Sunshine'	Sunshine Ligustrum	L	5 Gallon
	<i>Juncus patens</i> 'Enigma'	Mystery Blue Ca. Gray Rush	L	1 Gallon @ 30"oc
	<i>ROS</i> <i>Rosemarinus officinalis</i> 'Huntington Carpet'	Huntington Carpet Rosemary	L	1 Gallon @ 36"oc



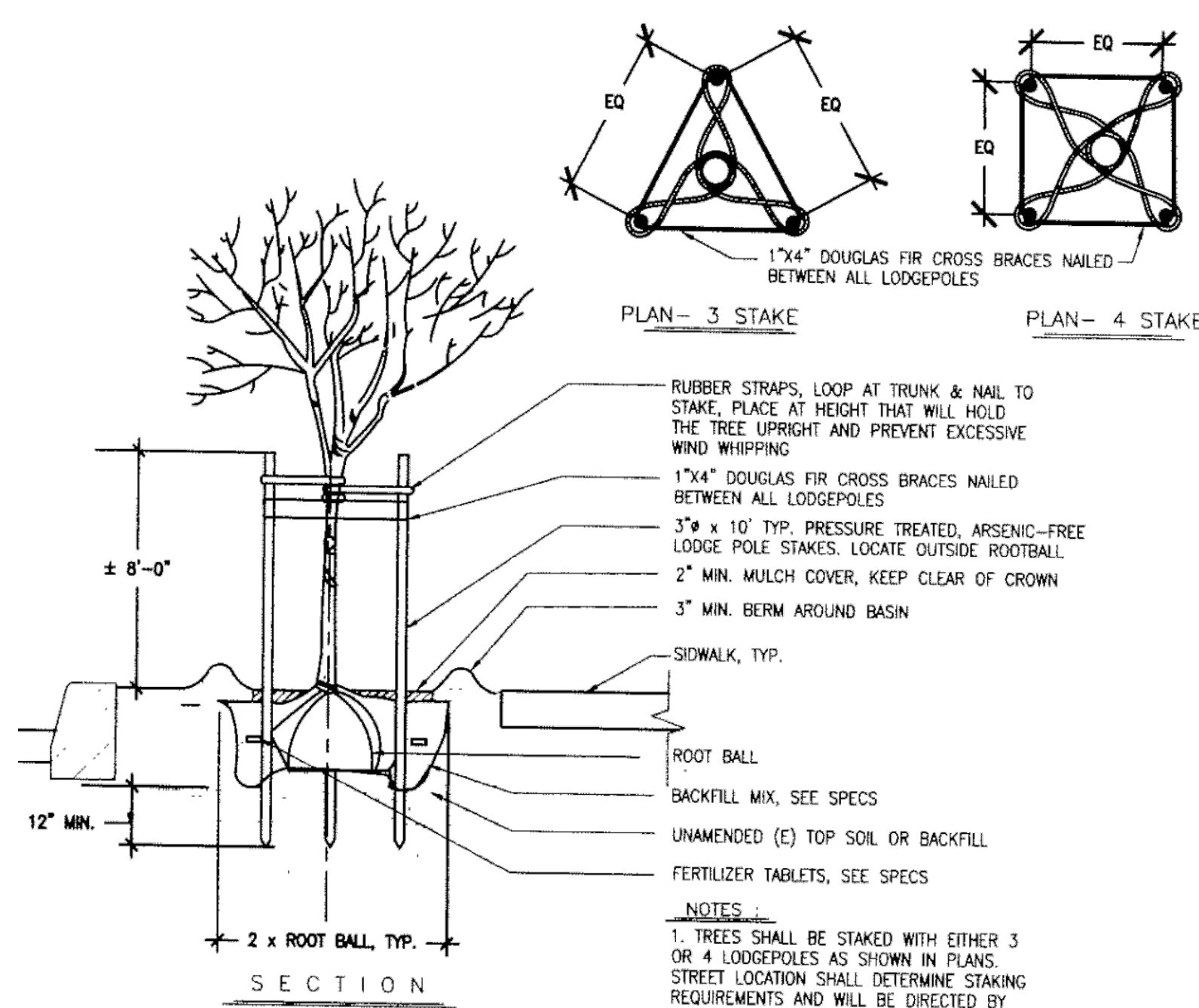
PLANTING NOTES

- All trees are to be staked as shown in the staking diagram per city requirement.
- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch.
- All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species or size as those damaged.
- All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architect review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
- Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
- All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
- HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.

TOTAL LANDSCAPE AREA = 873 SF.



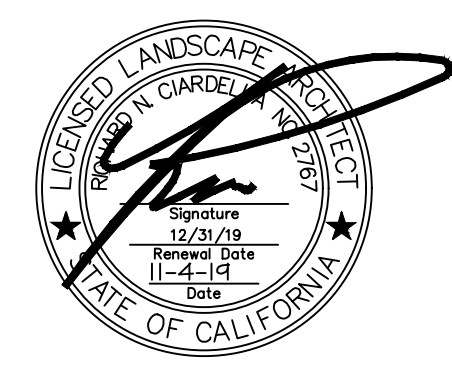
PLANTING INSTALLATION AND LAYOUT



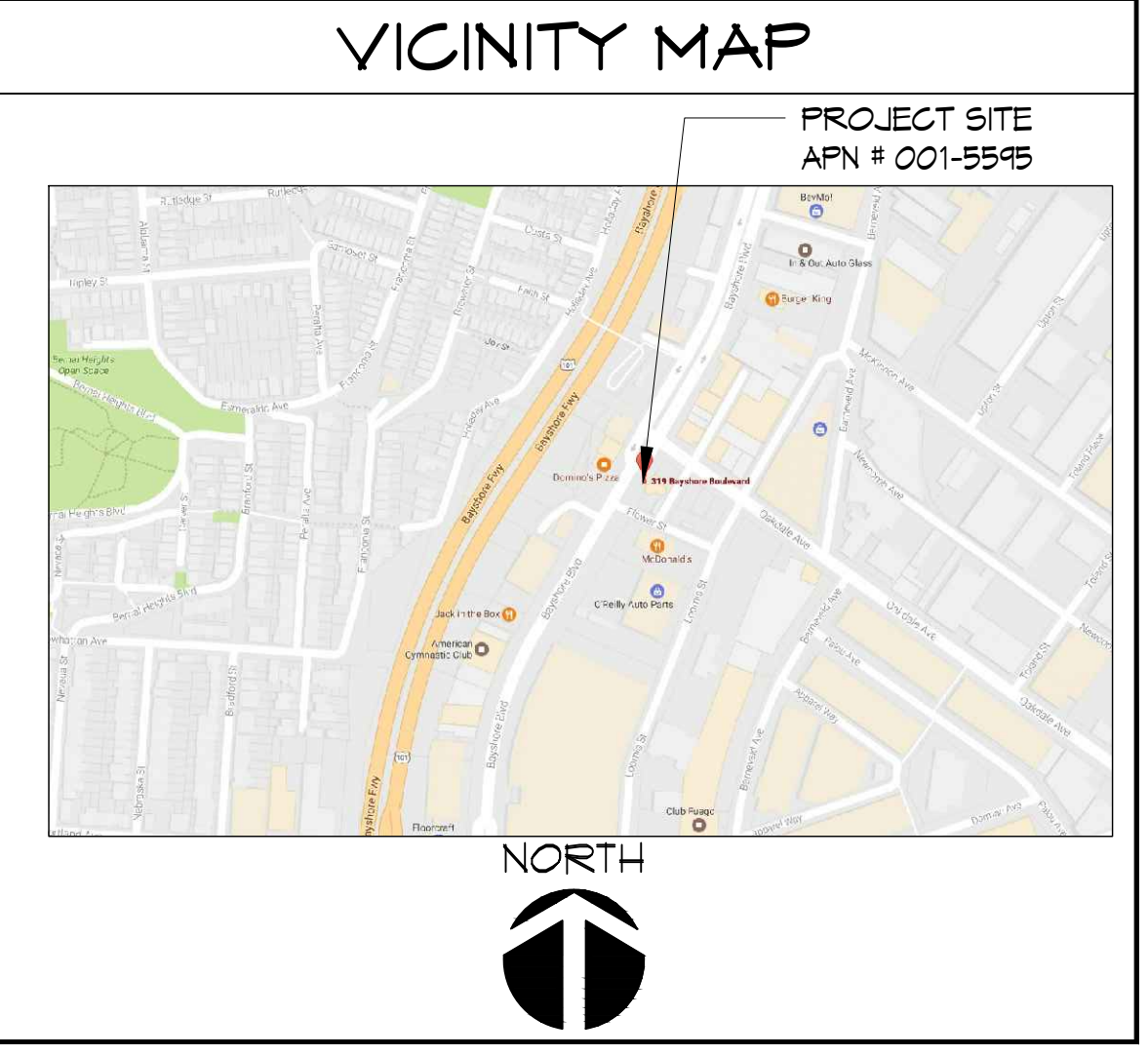
TREE PLANTING & STAKING

SCALE: N.T.S.

TREE PLANTING AND STAKING



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NO.	DATE	DESCRIPTION

LANDSCAPE PLAN

PROJECT #: 16-12601
DRAWN: EB CHECKED: MI
SCALE: AS NOTED DATE: 04-14-17

LA1

SHEET OF