6625 3RD STREET **A NEW 3-UNIT RESIDENTIAL STRUCTURE**



AREA

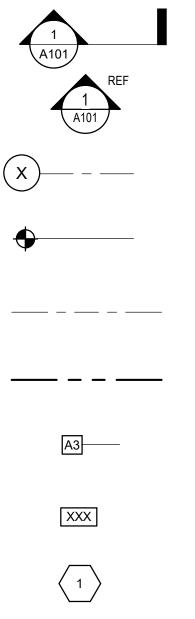
1099 SF

1148 SF

1160 SF

3407 SF

GENERAL LEGEND



101

EXTERIOR ELEVATION
COLUMN LINE
ELEVATION MARKER
CENTER LINE
PROPERTY LINE

WALL TYPE PARTITION

KEYNOTE

SHEET NOTE

DOOR TAG

BUILDING / WALL SECTION

GROSS AREA

LEVEL	AREA
BASEMENT	1527 SF
LEVEL 1	1607 SF
LEVEL 2	1440 SF
LEVEL 3	1268 SF
LEVEL 4	356 SF
	6198 SF

<u>UNIT MIX</u>

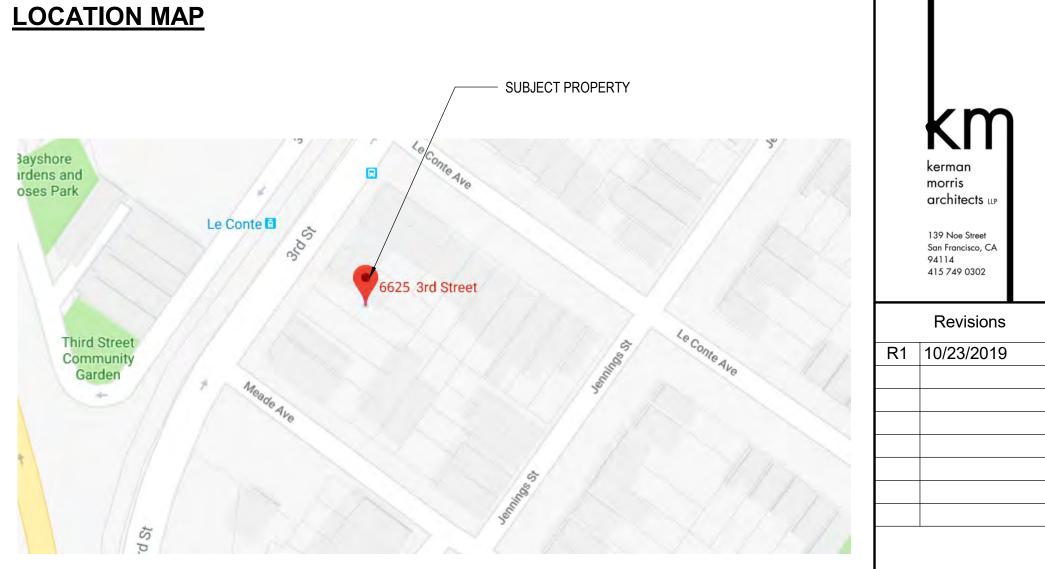
LEVEL	NAME	BEDROOMS	BATHROOMS	
LEVEL 1	UNIT 1	2 + DEN	2.5	
LEVEL 2	UNIT 2	2 + DEN	2.5	
LEVEL 3 & LEVEL 4	UNIT 3	3	3	

OPEN SPACE

UNIT	PRIVATE OPEN SPACE				
UNIT	AREA PROVIDED	AREA REQUIRED			
UNIT 1	PRIVATE DECK: 250 SF	100 SF			
UNIT 2	COMMON OPEN SPACE: 400 SF	133 SF			
UNIT 3	FRONT PRIVATE DECK: 140 SF	100 SF			
UNIT 3	REAR PRIVATE DECK: 360 SF	100 SF			

SHEET INDEX

G0.01 G0.02 G0.04 G0.05 G0.06 G0.07 G0.10	COVER SHEET ABBREVIATIONS, SYMBOLS, & ZONING COMPLIANCE SITE PHOTOS SITE SURVEY MASSING IMAGES FIRE AND LIFE SAFETY PLANS GREENPOINT RATED CHECKLIST
A1.01	SITE PLAN
A2.01	FLOOR PLANS
A2.02	FLOOR PLANS
A2.03	FLOOR PLANS
A2.04	FLOOR PLANS
A5.01	EXTERIOR ELEVATIONS
A5.02	EXTERIOR ELEVATIONS
A5.03	EXTERIOR ELEVATIONS
A5.04	EXTERIOR ELEVATIONS
A7.01	BUILDING SECTIONS THROUGH BAY
A7.02	BUILDING SECTIONS THROUGH STAIRCASE
A8.01	WINDOW DETAILS
A10.01	WALL PARTITIONS



DESCRIPTION OF WORK

THE PROPOSED SCOPE OF WORK CONSISTS OF THE CONSTRUCTION OF A NEW 3 STORY PLUS MEZZANINE 3-UNIT RESIDENTIAL BUILDING OVER GARAGE ON A VACANT LOT. THE PROPOSED BUILDING WILL BE A 4 STORIES OF TYPE V-A CONSTRUCTION OVER BASEMENT. PROJECT IS CODE COMPLIANT. NO VARIANCES REQUIRED.

OWNER:	3RD STREET PROPERTIES, LLC
	520 Frederick St. #48, San Francisco, CA, 94117 T: 916 343 1050
PROJECT ADDRESS:	SAN FRANCISCO, CA 94124
PARCEL:	5016 / 019
ZONING DISTRICT:	RM-1 / 40-X
OCCUPANCY GROUP:	R-2
CONSTRUCTION TYPE:	V-A, FULLY SPRINKLERED UNDER SEPARATE PERMIT
ARCHITECT:	KERMAN MORRIS ARCHITECTS 139 NOE STREET SAN FRANCISCO, CA 94114 T: (415) 749-0302 TOBY@KERMANMORRIS.COM

PREVAILING CODES & REGULATIONS

- 2016 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 GREEN BUILDING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA ENERGY CODE
- SAN FRANCISCO PLANNING CODE



08/09/2019 Rev. 10/23/2019 SFDBI BPA#: 201901311731

SPRINKLERS UNDER SEPARATE PERMIT

6625 3RD STREET SAN FRANCISCO, CA 94124 A NEW 3-UNIT RESIDENTIAL STRUCTURE

3RD STREET PROPERTIES, LL

NOTICE

These drawings and specifications are the property and copyright of Kerman/Morris Architects and shall not be used on any other work except by written agreement with Kerman/Morris Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings,etc, are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

COVER SHEET

DATE 08/09/2019 SCALE As indicated DRAWN BY

CHECKED BY

JOB NO.

G0.01

GENERAL CONDITIONS

ASSEMBLIES:

(SEE GENERAL LEGEND ON PLANS FOR RATED WALL DESIGNATIONS AND OTHER WALL TYPES) 1. PROVIDE MINIMUM 1-HR WALL AND FLOOR/ CEILING ASSEMBLY BETWEEN ALL RESIDENTIAL UNITS. SEE PLANS AND BUILING SECTIONS FOR DESIGNATIONS, AND STANDARD DETAILS FOR COMPLETE ASSEMBLY DESCRIPTIONS.

2. PROVIDE MINIMUM 50 STC RATED ASSEMBILES AT FLOORS, CEILINGS, AND WALLS, AND MINIMUM 50 IIC RATE ASSEMBLIES AT FLOORS AT THE FOLLOWING CONDITIONS: BETWEEN DWELLING UNITS, BETWEEN GUEST ROOMS, BETWEEN THESE AREAS AND PUBLIC/SERVICE AREAS PER CBC 1207. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS, AND STANDARD DETAILS FOR ASSEMBLY DESCRIPTIONS.

3. INSULATE ALL ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS, R-30 AT ROOFS, R-19 AT WALLS, R-19 AT FLOORS, MINIMUM, UNLESS SPECIFICALLY NOTED OTHERWISE. SEE TITLE 24, ENERGY COMPLIANCE STATEMENT MANDATORY MEASURES CHECKLIST FOR SPECIFIC REQUIREMENTS.

4. PROVIDE VENTILATION OF ALL JOIST, STUD, AND RAFTER SPACES ENCLOSED BY BUILDING ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS INCLUDING: ATTICS, BASEMENTS. ROOFS, SOFFITS, AND PARAPET AND RAILING WALLS, ETC.

5. ALL DOORS BETWEEN HEATED AND UNHEATED AREAS SHALL BE PROVIDED WITH WEATHER STRIPPING AND THRESHOLDS.

6. ALL PROPERTY LINE WINDOWS (INDICATED ON DRAWINGS BY "PL") SHALL BE STEEL SASH WITH FIXED WIRE GLASS, WITH SPRINKLER HEAR PROTECTION PER 2010 S.F. BUILDING CODE ADMINISTRATIVE BULLETIN AB-009.

7. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD (MR GWB) ON ALL BATHROOM WALLS. DO NOT USE A CONT VAPOR BARRIER BETWEEN MR GWB. PROVIDE 30 POUND ROOFING FELT BEHIND FINISH SURFACE OF ALL TUB/SHOWER SURROUNDS, LAPPING ALL EAMS. DO NOT USE MR GWB ON BATHROOM CEILINGS. USE 5/8" TYPE "X" GWB.

DRAWINGS:

1. DO NOT SCALE DRAWINGS! ALL WRITTEN DIMENSIONS SUPERCEDE SCALED

DIMENSIONS.

2. ALL DIMENSIONS ARE TO "FACE OF STUD" UNLESS SPECIFICALLY NOTED OTHERWISE EXISTING DIMENSIONS DENOTED BY "(E)" ARE TO "FACE OF EXISTING FINISH" UNLESS SPECIFICALLY NOTED OTHERWISE. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED PRIOR

TO PROCEEDING WITH THE WORK. 3. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN

SPECIFCATIONS TAKE PRECEDENCE OVER ALL DRAWINGS. 4. REFER TO EXTERIOR ELEVATIONS FOR INDICATIONS OF WINDOW OPERATION AND HANDING.

ASSEMBLIES:

(SEE GENERAL LEGEND ON PLANS FOR RATED WALL DESIGNATIONS AND OTHER WALL TYPES) 1. PROVIDE MINIMUM 1-HR WALL AND FLOOR/ CEILING ASSEMBLY BETWEEN ALL RESIDENTIAL UNITS. SEE PLANS AND BUILING SECTIONS FOR DESIGNATIONS, AND STANDARD DETAILS FOR COMPLETE ASSEMBLY DESCRIPTIONS.

2. PROVIDE MINIMUM 50 STC RATED ASSEMBILES AT FLOORS, CEILINGS, AND WALLS, AND MINIMUM 50 IIC RATE ASSEMBLIES AT FLOORS AT THE FOLLOWING CONDITIONS: BETWEEN DWELLING UNITS, BETWEEN GUEST ROOMS, BETWEEN THESE AREAS AND PUBLIC/SERVICE AREAS PER CBC 1207. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS, AND STANDARD DETAILS FOR ASSEMBLY DESCRIPTIONS.

3. INSULATE ALL ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS, R-30 AT ROOFS, R-19 AT WALLS, R-19 AT FLOORS, MINIMUM, UNLESS SPECIFICALLY NOTED OTHERWISE. SEE TITLE 24, ENERGY COMPLIANCE STATEMENT MANDATORY MEASURES CHECKLIST FOR SPECIFIC REQUIREMENTS.

4. PROVIDE VENTILATION OF ALL JOIST, STUD, AND RAFTER SPACES ENCLOSED BY BUILDING ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS INCLUDING: ATTICS, BASEMENTS, ROOFS, SOFFITS, AND PARAPET AND RAILING WALLS, ETC.

5. ALL DOORS BETWEEN HEATED AND UNHEATED AREAS SHALL BE PROVIDED WITH WEATHER STRIPPING AND THRESHOLDS.

6. ALL PROPERTY LINE WINDOWS (INDICATED ON DRAWINGS BY "PL") SHALL BE STEEL SASH WITH FIXED WIRE GLASS, WITH SPRINKLER HEAR PROTECTION PER 2010 S.F. BUILDING CODE ADMINISTRATIVE BULLETIN AB-009.

7. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD (MR GWB) ON ALL BATHROOM WALLS. DO NOT USE A CONT VAPOR BARRIER BETWEEN MR GWB. PROVIDE 30 POUND ROOFING FELT BEHIND FINISH SURFACE OF ALL TUB/SHOWER SURROUNDS, LAPPING ALL SEAMS. DO NOT USE MR GWB ON BATHROOM CEILINGS. USE 5/8" TYPE "X" GWB.

CONTRACTOR'S RESPONSIBILITIES:

1. CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE 2010

CBC AS AMENDED BY ALL STATE AND LOCAL CODES, AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.

2. CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS AND

DRAWINGS, OR IMPLIED BY EXISTING CONDITIONS.

3. ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT BEFORE

PROCEEDING WITH THE WORK. 4. CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING & UNDERPINNING

NECESSARY, WORK TO BE PERFORMED UNDER SEPARATE PERMIT

5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY

TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONTRUCTION. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION/ CAPPING OFF ALI

EXISTING UTILITIES AND RE-CONNECTIONS WHERE RE-USE IS POSSIBLE. 7. CONFIRM ALL WINDOW SIZES WITH ACTUAL/ EXISTING ROUGH OPENING DIMENSIONS

PRIOR TO ORDERING WINDOWS. 8. SLOPE ALL FLOORS/ ROOFS TO DRAIN IN A MINIMUM OF 1/4" PER 1'-0", UNLESS SPECIFICALLY NOTED OTHERWISE.

9. CONTRACTOR IS RESPONSIBLE TO PROCURE STATE INDUSTRIAL SAFETY PERMIT FOR ANY WORK OVER 36" IN HEIGHT, INVOLVING EXCAVATION OVER 5' AND AS

OTHERWISE REQUIRED. 10. OWNER/ CONTRACTOR IS RESPONSIBLE FOR ALL WATERPROOFING DESIGN

AND INSTALLATION FOR WEATHERTIGHT ASSEMBLIES/ INSTALLATIONS. DETAILS INCLUDED IN

THIS SET ARE FOR CLARIFICATION OF INSTALLATION OF FINISH MATERIALS. 11. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL SPECIAL INSPECTIONS,

INCLUDING BUT NOT LIMITED TO ORDERING INSPECTIONS AND TESTS AS REQUIRED FOR

COMPLIANCE WITH SPECIAL INSPECTIONS/BUILDING PERMIT APPROVALS. 12. CONTRACTOR IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ALL SOUND

TRANSMISSION REQUIREMENTS PER CBC 1207, INCLUDING STC AND IIC RATINGS OF

ASSEMBLIES AND EXTERIOR ASSEMBLY REQUIREMENTS FOR EXTERIOR SOUND TRANSMISSION CONTROL

FIRE EXTINGUISHING/ FIRE ALARM SYSTEM (FIRE SPRINKLERS): UNDER SEPARATE PERMIT

1. CONTRACTOR SHALL PROVIDE COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM TO COMPLY WITH ALL APPLICABLE BUILDING AND FIRE CODES INCLUDING, BUT NOT LIMITED TO S.F. BUILDING CODE, S.F. FIRE CODE AND NFPA-13. THE SYSTEM SHALL INCLUDE, BUT NOT BE LIMITED TO: ALL SPRINKLER HEADS, PIPING, CONNECTIONS, FIRE DEPARTMENT PANELS, ALARMS, PULL STATIONS, VISUAL WARNING DEVICES, AUTOMATIC SYSTEM MONITORING CONNECTIONS (AS REQUIRED) AND ALL ELSE AS REQUIRED

2. THIS WORK SHALL BE UNDER A SEPARATE PERMIT. THE SYSTEM SHALL BE DESIGNBUILD, REQUIRING A COMPLETE SET OF CALCULATIONS AND DRAWINGS, AS NECESSARY FOR BUILDING AND FIRE DEPARTMENT REVIEW / APPROVAL. 3. THE FIRE SPRINKLER SYSTEM IS NOT INCLUDED IN THE CALCULATION OF THE BUILDING PERMIT COST.

ABBREVIATIONS

INSTALLED

Abbrevi		Abbrev		Abbrevi		Abbrevi		Abbrevi		Abbrevi		Abbrevi	
ation	Abbreviation Description	ation	Abbreviation Description	ation	Abbreviation Description	ation	Abbreviation Description	ation	Abbreviation Description	ation	Abbreviation Description	ation	Abbreviation Description
&	AND	CJ	CONTROL JOINT			HSS	HOLLOW STEEL SECTION	OC	ON CENTER	SCHED	SCHEDULE / SCHEDULING	TOS	TOP OF SLAB
@	AT	CL	CENTER LINE	FA	FIRE ALARM	HT	HEIGHT	OFCI	OWNER FURNISHED,	SD	STORM DRAIN	TP	TOILET PAPER
0	DEGREES	CLG	CEILING	FC	FOOT-CANDLE	HVAC	HEATING, VENTILATING,		CONTRACTOR INSTALLED	SECT	SECTION	TYP	TYPICAL
Ø	DIAMETER OR ROUND	CLR	CLEAR	FD	FLOOR DRAIN		AND AIR CONDITIONING	OFOI	OWNER FURNISHED,	SED	SEE ELECTRICAL		
(E)	EXISTING	CMU	CONCRETE MASONRY	FDC	FIRE DEPARTMENT	HWH	HOT WATER HEATER		OWNER INSTALLED		DRAWINGS	UON	UNLESS OTHERWISE
(N)	NEW		UNIT		CONNECTION			OH	OPPOSITE HAND	SF	SQUARE FEET		NOTED
1	FOOT / FEET	COL	COLUMN	FDN	FOUNDATION	IN	INCH OR INCHES	OPNG	OPENING	SFD	SEE FIRE PROTECTION		I
"	INCH / INCHES	CONC	CONCRETE	FE	FIRE EXTINGUISHER	INS	INSULATE / INSULATION /			0.17	DRAWINGS	V	VOLTAGE / VOLT
%	PERCENT	CONST	CONSTRUCTION	FEC	FIRE EXTINGUISHER W/		INSULATING	PL	PROPERTY LINE	SHT	SHEET	VERT	VERTICAL
±	PLUS / MINUS	CONT	CONTINUOUS			INT	INTERIOR	PLAM	PLASTIC LAMINATE	SIM	SIMILAR	VIF	VERIFY IN FIELD
#	POUND OR NUMBER	CPC	CALIFORNIA PLUMBING	FF	FINISH FLOOR				PLUMBING	SLD	SEE LANDSCAPE DRAWINGS	VPFAM	VAPOR PERMEABLE FLUID
		0.07	CODE	FIN	FINISH	J BOX	JUNCTION BOX	WD	PLYWOOD	SMD	SEE MECHANICAL		APPLIED MEMBRANE
AB	ANCHOR BOLT	CPT	CARPET	FLR	FLOOR / FLOORING	JT	JOINT	POC	POINT OF CONNECTION	SIVID	DRAWINGS	1.47	
ADD'L	ADDITIONAL	CTR	CENTER	FLUOR	FLUORESCENT			PSF	POINT OF CONNECTION POUNDS PER SQUARE	SOG	SLAB ON GRADE	W	WEST / WIDTH / WIDE
ADJ	ADJACENT			FO	FACE OF		ANGLE / LONG / LENGTH	FOF	FOOT	SPD	SEE PLUMBING	W/	WITH
AFF	ABOVE FINISH FLOOR	d	PENNY	FOC	FACE OF CONCRETE / CURB	LAV		PSI	POUNDS PER SQUARE	0. 0	DRAWINGS	W/O	WITHOUT
ALT	ALTERNATE	DBL	DOUBLE	FOF	FACE OF FINISH	LBS	POUND / POUNDS		INCH	SPEC	SPECIFICATIONS	WC	WATER CLOSET
ALUM	ALUMINUM	DEPT	DEPARTMENT	FOF	FACE OF STUD	LF		PTDF	PRESSURE TREATED	SQ	SQUARE	WD	WOOD
APPROX	APPROXIMATE	DF	DOUGLAS FIR	FUS	FACE OF STOD	LVL			DOUGLAS FIR	SS/SST	STAINLESS STEEL	WDW	WINDOW
ARCH	ARCHITECTURAL	DH	DOUBLE HUNG	FTG	FOOTING	LWC	LIGHT WEIGHT CONCRETE	PTN	PARTITION	SSD	SEE STRUCTURAL	WH	
	1	DIA	DIAMETER	FTS	FABRIC COVERED TACK	MAX		PV	PHOTOVOLTAIC		DRAWINGS	WP	WATERPROOF(ING)
В.О.	BOTTOM OF	DIM	DIMENSION		SURFACE	MAX				STC	SOUND TRANSMISSION	WPT WRB	
BD	BOARD	DN DP		FURG	FURRING	MECH		R	RADIUS (IN DIMENSION) /		CLASS	WKB	WEATHER RESISTIVE BARRIER
BLDG	BUILDING		DRAIN PIPE						RISER	STD	STANDARD	WT	WEIGHT
	1	DR	DOOR	GA	GAUGE	MH		RAD	RADIUS	STL	STEEL	~ ~ 1	WEIGHT
	CABINET	DS	DOWNSPOUT	GALV	GALVANIZED	IVIIIN		RCP	REFLECTED CEILING PLAN	STRL	STRUCTURAL	x	BY
CBC	CALIFORNIA BUILDING	DTL	DETAIL	GC	GENERAL CONTRACTOR	MISC MTD	MISCELLANEOUS	RD	ROOF DRAIN	SUSP	SUSPENDED	^	
050	CODE	DWG	DRAWING	GEN	GENERAL	MTG	MOUNTED	REF	REFERENCE	SYM	SYMETRICAL		
CEC	CALIFORNIA ENERGY CODE	E	EAST	GFIC	GROUND FAULT	MTG	MOUNTING METAL	REFR	REFRIGERATOR	SYST	SYSTEM		
CEM	CEMENT	E EA	EACH		INTERRUPT CIRCUIT		ME TAL	REG	REGISTER		11		
		EERO	EACH EMERGENCY ESCAPE AND	GND	GROUND	N	NORTH	REINF	REINFORCED	T&B	TOP AND BOTTOM		
CER		EERU	RESCUE OPENING(S)	GWB	GYPSUM WALL BOARD	N N/A		REQ	REQUIRED	T&G	TONGUE AND GROOVE		
CF CFC	CUBIC FEET CALIFORNIA FIRE CODE	EL	ELEVATION	GYP	GYPSUM	N/A NIC	NOT APPLICABLE NOT IN CONTRACT	RM	ROOM	T.O.	TOP OF		
CFC	CALIFORNIA FIRE CODE CONTRACTOR	ELEC	ELECTRICAL				NUMBER	RO	ROUGH OPENING	T/TRD	TREAD		
	FURNISHED,	ELEV	ELEVATOR / ELEVATION	HB	HOSE BIB	NO NRC	NOISE REDUCTION	RWD	REDWOOD	TB	TOWEL BAR		
	CONTRACTOR INSTALLED	EQ	EQUAL	HD	HEAVY DUTY	INRO	COEFFICIENT	RWL	RAIN WATER LEADER	TEMP	TEMPORARY		
CFOI	CONTRACTOR	EQUIP	EQUIPMENT	HM	HOLLOW METAL	NTS	NOT TO SCALE			THK	THICK		
	FURNISHED, OWNER	EXT	EXTERIOR	HORZ	HORIZONTAL			S	SOUTH	TOB	TOP OF BEAM		
	INSTALLED							SCD	SEE CIVIL DRAWINGS	TOC	TOP OF CONCRETE		

HR

HOUR

MECHANICAL AND ELECTRICAL

REQUIREMENTS.

8. ALL ELECTRICAL RECEPTACLES IN DAMP LOCATIONS TO BE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) AS REQUIRED BY CODE. 9. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING, ELECTRICAL DEVICES, RECESSED CABINETS. BATHTUBS, SOFFITS OR HEATING, VENTILATION OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED ACOUSTICAL (STC/IIC) RATING OF THE ASSEMBLY. 10. VENTILATION DESIGNS SHALL NOT COMPROMISE A DWELLING UNIT'S INTERIOR ALLOWABLE NOISE LEVELS AS REQ'D PER CBC 1207.11. WHERE INTERIOR ALLOWABLE NOISE LEVELS ARE MET BY REQUIRING THAT WINDOWS BE UNOPENABLE OR CLOSED, AN ALTERNATE COMPLYING VENTILATION SYSTEM (SUCH AS USAGE OF Z-DUCTS) IS TO BE PROVIDED. 11. ALL MECHANICAL AND ELECTRICAL EQUIPMENT ARE TO COMPLY WITH TITLE 24 REQUIREMENTS AS SPECIFIED IN TITLE 24 ENERGY COMPLIANCE STATEMENT.

1. MECHANICAL AND ELECTRICAL WORK SHOWN ON DRAWINGS IS SCHEMATIC IN NATURE, CONTRACTOR

5. ALL EXTERIOR LIGHT FIXTURES SHALL BE PROVIDED WITH SWITCHING VIA CENTRAL PHOTO-ELECTRIC

6. PARKING GARAGE(S) AND ALL OTHER COMMON AREAS NOT SERVED BY DAYLIGHTING WINDOWS SHALL

UNITS TO MAINTAIN ASSEMBLY'S ACOUSTICAL RATING. SEE SPECIFICATIONS AND DETAILS FOR SPECIFIC

7. STAGGER ALL ELECTRICAL AND MECHANICAL ITEMS IN ALL DEMISING WALLS AND FLOORS BTWEEN

BE PROVIDED WITH ELECTRICAL LIGHTING 24 HOURS PER DAY, UNLESS SPECIFICALLY NOTED OTHERWISE.

TO CONFIRM FINAL LAYOUT WITH ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.

SENSOR WITH TIMER CLOCK SWITCH OVERRIDE, UNLESS OTHERWISE SPECIFIED.

3. PARKNG GARAGE(S), COORIDORS AND STAIRS SHALL BE VENTILATED AS REQUIRED PER CODE

4. PROVIDE EMERGENCY / EXIT LIGHTING AT ALL EXIT PATHS OF TRAVEL, AS REQUIRED PER CODE.

WATERPROOFING (DESIGN-BUILD BY CONTRACTOR):

2. ALL WORK TO BE PERFORMED UNDER THIS PERMIT.

1. ALL SHEET METAL WORK TO BE IN ACCORDANCE WITH CURRENT EDITION OF S.M.A.C.N.A. STANDARDS. 2. PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL WINDOW AND DOOR HEADS AND DOOR SILLS. INSTALL UNDER EXTERIOR SIDING OR CEMENT PLASTER AND BUILDING PAPER, AND OVER HEAD FRAME OF ALL NEW DOORS AND WINDOWS. 3. PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL ROOF CONDITIONS INCLUDING, BUT NOT LIMITED TO: PERIMETER EDGES, VALLEYS, PARAPET CAPS, WALL/ROOF INTERSECTIONS, ROOF PENETRATIONS, ETC. SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS.

4. ALL NEW EXTERIOR FINISHES TO BE INSTALLED OVER A MINIMUM MOISTURE BARRIER OF TWO LAYERS OF 15 POUND (GRADE D) BUILDING PAPER.

MISCELLANEOUS NOTES:

1. IN THE ABSENCE OF A CONTRACT FOR CONSTRUCTION ADMINISTRATION AND REGULAR SITE VISITS ADEQUATE TO ENSURE THAT THESE DRAWINGS AND SPECIFICATIONS ARE BEING GENERALLY FOLLOWED. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETED WORK, SUCH RESPONSIBILITY BEING THAT OF

THE GENERAL CONTRACTOR, OWNER'S REPRESENTATIVE, HIS/HER SUBCONTRACTORS AND ANY PARTIES RESPONSIBLE FOR SPECIAL INSPECTIONS.

2. ALL GLAZING WITHIN 18" OF FLOOR SHALL BE TEMPERED PER CBC 2406.3. 3. WATER HEATERS SHALL BE STRAPPED TO WALL FOR LATERAL FORCE PROTECTION, AND RAISED 18" AT GARAGE AREAS.

4. HEATING UNITS, INCLUDING FIREPLACE HEATERS TO BE U.L. LISTED AND INSTALLED PER MFR'S SPECIFICATIONS.

5. FURNACES AND GAS HEATERS: DIRECT VENTED OR PROVIDE HI/LOW COMBUSTION AIR PER CALIF MECHANICAL CODE. 6. GARAGE TO BE VENTED AS PER SFBC SECTION 406.1.3

7. BUILDING/PUBLIC HALLWAY VENTILATION REQUIREMENTS TO COMPLY WITH SECTION 1203.4 OR 1203.5 8. BUILDING SECURITY TO COMPLY WITH CBC 1008.1.9, READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE.

9. SOFFITS SHALL BE VENTED.

10. ROOFING SHALL BE CLASS-A.

11. FIRE ALARM SYSTEM TO BE PROVIDED PER SFBC 907.2.9 FOR APARTMENT BUILDINGS OF 3 OR MORE STORIES OR MORE THAN 6 APARTMENTS

12. BATHROOM AND KITCHEN EXHAUST PER CALIF. MECHANICAL CODE AND/OR SF MECHANICAL CODE. 13. ROOF DRAINS AND OVERFLOWS AT ROOF OR DECKS SHALL CONNECT TO THE CITY STORM/SEWER SYSTEM.

14. PROVIDE EXIT SIGNS PER CBC 1011.

GENERAL NOTES

A. GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE COMPLETE PROJECT SYSTEMS AND COMPONENTS AND COMPLY WITH ALL REQUIREMENTS INDICATED ON THE PROJECT DOCUMENTS.

WORK WITHIN THE AREA BOUNDARIES INDICATED IN THE PROJECT DOCUMENTS AND COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.

3. VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK

PROJECT DOCUMENTS.

5. PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED.

6. COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.

B. DEFINITIONS:

1. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED. "SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.

3. "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED, SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS, SHALL BE PROVIDED

4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE AND PLUMB RELATION TO ADJACENT MATERIALS.

C. DIMENSIONS:

1. DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU WALL, FACE OF PARTITION AS SCHEDULED, UNLESS OTHERWISE NOTED.

ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER:

> STRUCTURAL DRAWINGS LARGE SCALE DETAILS SMALL SCALE DETAILS

ENLARGED VIEWS FLOOR PLANS AND ELEVATIONS

3. MINIMUM DIMENSIONS FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE MAINTAINED.

4. FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB. UNLESS OTHERWISE NOTED.

VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL, UNLESS NOTED ABOVE FINISH FLOOR -"AFF".

ZONING COMPLIANCE

PROJECT LOCATION: 6625 3RD STREET, 5016 / 019

ZONING DISTRICT: RM-1

BUILDING HEIGHT LIMIT: 40-X **HEIGHT LIMIT:** 40 FEET MAXIMUM

PROPOSED BUILDING USE:

3 RESIDENTIAL UNITS 3-STORY BUILDING PLUS LOFT OVER GARAGE

HISTORIC RESOURCE STATUS: VACANT LOT (N/A)

ARTICLE 1: GENERAL ZONING PROVISIONS

HEIGHT DEFINITION

SEC. 102. HEIGHT (OF A BUILDING OR STRUCTURE) HEIGHT (OF A BUILDING OR STRUCTURE). THE VERTICAL DISTANCE BY WHICH A BUILDING OR STRUCTURE RISES ABOVE A CERTAIN POINT OF MEASUREMENT. SEE SECTION 260 OF THIS CODE FOR HOW HEIGHT IS MEASURED.

FRONT SETBACK SEC. 132 FRONT SETBACKS

REQUIRED. BASED ON AVERAGE OF ADJACENT PROPERTIES OR IF SUBJECT PROPERTY HAS A LEGISLATED SETBACK. WHEN FRONT SETBACK IS BASED ON ADJACENT PROPERTIES, IN NO CASE SHALL BE REQUIRED SETBACK GREATER THAN 15 FEET.

SEC. 132(H) THE FRONT SETBACK AREA SHALL BE AT LEAST 50% PERMEABLE SO AS TO INCREASE STORMWATER INFILTRATION. PROJECT COMPLIES.

REAR YARD

SEC.134 (B) THE MINIMUM REAR YARD DEPTH SHALL BE EQUAL TO 45 PERCENT OF THE TOTAL DEPTH OF THE LOT ON WHICH THE BUILDING IS SITUATED; SEC.134 (C) THE REAR YARD REQUIREMENT FOR RM-1 SHALL BE REDUCED IN THE CIRCUMSTANCES DESCRIBED IN SUBSECTION (C) BY AVERAGING THE ADJACENT PROPERTIES, UNDER NO CIRCUMSTANCES, SHALL THE MINIMUM REAR YARD BE THUS REDUCED TO LESS THAN A DEPTH EQUAL TO 25 PERCENT OF THE TOTAL DEPTH OF THE LOT ON WHICH THE BUILDING IS SITUATED, OR TO LESS THAN 15 FEET. WHICHEVER IS GREATER.

4. COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE

CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED ACOUSTIC PANEL CEILING GRID OR FACE OF FINISH MATERIAL FOR OTHER CEILING TYPES, UON.

7. DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZE, CLEARANCE AND DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.

D. DRAWING SET ORGANIZATION:

1. EACH DRAWING SET SHEET IS IDENTIFIED BY THE SHEET NUMBER IN THE LOWER RIGHT HAND CORNER OF THE DRAWING TITLE BLOCK. THE SHEET TITLE PROVIDES A GENERAL DESCRIPTION OF THE CONTENTS OF THE SHEET SHEET NUMBER EXAMPLE: A201

"A" INDICATES THE DISCIPLINE THAT CREATED THE

DRAWING "2" INDICATES THE DRAWING CATEGORY CONTAINED ON THE SHEET

"01" INDICATES THE SHEET NUMBER

2. SHEET NUMBERS MAY INCLUDE SUPPLEMENTAL CHARACTERS TO PROVIDE ADDITIONAL INFORMATION, SUCH AS DRAWING CONTENT, PROJECT SECTOR OR PHASE. REFER TO THE DRAWING INDEX FOR A COMPLETE LIST OF SHEETS INCLUDED IN THE DOCUMENT SET.

EXAMPLE: EL201A

"EL" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING AND THE DRAWING CONTENT = ELECTRICAL LIGHTING

INDICATES SECTOR "A" OF PLAN SHEET "201". "Δ" REFER TO THE PROJECT KEY PLAN OR COMPOSITE PLAN INDICATING THE RELATIONSHIP OF THE SECTORS.

DRAWING SET INDEX INDICATES THE COMPLETE LIST OF SHEETS CONTAINED IN THE DRAWING SET. INDEXED BY DISCIPLINE. SHEET NUMBER AND SHEET TITLE, IN SEQUENTIAL ORDER. NOTE THAT ALL SEQUENTIAL SHEET NUMBERS MAY BE NOT USED IN THE DRAWING SET.

4. DISCIPLINE IDENTIFICATION, IN ORDER BOUND IN THE DRAWING SET. REFER TO THE DRAWING SET INDEX FOR DISCIPLINE CONTAINED IN THIS DRAWING SET:

Q EQUIPMENT

P PLUMBING

M MECHANICAL

E ELECTRICAL

F FIRE PROTECTION

- G GENERAL INFORMATION
- C CIVIL L LANDSCAPE
- S STRUCTURAL
- A ARCHITECTURAL I INTERIORS

TELECOMMUNICATIONS

DRAWING CATEGORY IDENTIFICATION. REFER TO THE DRAWING SET INDEX FOR DISCIPLINES, CATEGORIES AND SHEET NUMBERS CONTAINED IN THIS DRAWING SET:

RESIDENTIAL DESIGN GUIDELINES

SEC. 311(C)(1) THE CONSTRUCTION OF NEW RESIDENTIAL BUILDINGS AND ALTERATION OF EXISTING RESIDENTIAL BUILDINGS IN RH-2 SHALL BE CONSISTENT WITH THE DESIGN POLICIES AND GUIDELINES OF THE GENERAL PLAN AND WITH THE "RESIDENTIAL DESIGN GUIDELINES" AS ADOPTED AND PERIODICALLY AMENDED FOR SPECIFIC AREAS OR CONDITIONS BY THE PLANNING COMMISSION.

USABLE OPEN SPACE

SEC. 135 TABLE 135 A IN RM-10 DISTRICTS, 100 S.F. PRIVATE OR 133 S.F. COMMON OPEN SPACE IS REQUIRED PER DWELLING UNIT. UNITS 1 & 3 HAVE PRIVATE OPEN SPACE AND UNIT 2 HAS ACCESS TO COMPLYING OPEN SPACE IN REAR YARD.

PARKING REQUIREMENTS

SEC. 151. GENERALLY A MINIMUM OF ONE SPACE FOR EVERY DWELLING UNIT REQUIRED. 3 PARKING SPACES ARE PROVIDED FOR THE PROPOSED BUILDING.

SEC 155.2 BICYCLE PARKING REQUIRED RESIDENTIAL USES: REQUIRED BIKE PARKINGS PER TABLE 155.2: ONE (1) CLASS 1 SPACE FOR EVERY DWELLING UNIT. TOTAL BICYCLE PARKING REQUIRED AND SUPPLIED = (3) CLASS 1 SPACE.

ARTICLE 2.5: HEIGHT AND BULK DISTRICTS HEIGHT SEC. 261: HEIGHT LIMITS: MEASUREMENT BUILDING SHALL BE 40'-0" HIGH

(C) HEIGHT LIMITS APPLICABLE TO FRONT PORTION OF THE PROPERTY. THE FOLLOWING ADDITIONAL HEIGHT LIMITS SHALL APPLY TO THE FRONT PORTION OF PROPERTIES CONTAINING DWELLINGS IN RM-1 DISTRICTS: (1) BASIC REQUIREMENT. THE HEIGHT LIMIT SHALL BE 30 FEET AT THE FRONT LOT LINE WHERE THE LOT IS SUBJECT TO A LEGISLATED SETBACK LINE OR REQUIRED FRONT SETBACK AS DESCRIBED IN SECTION 131 OR SECTION 132 OF THIS CODE. THEN AT SUCH SETBACK: AND SHALL INCREASE AT AN ANGLE OF 45 DEGREES FROM THE HORIZONTAL TOWARD THE REAR OF THE LOT UNTIL THE HEIGHT LIMIT PRESCRIBED BY SUBSECTION (B) ABOVE IS REACHED.

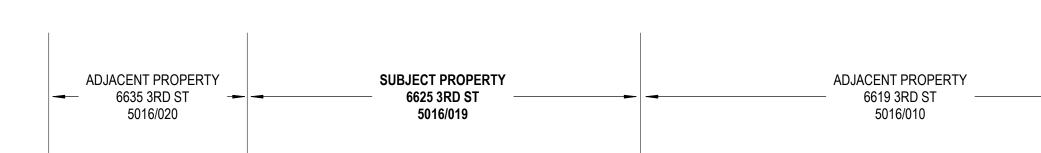
SEC.260 (C) FOR LEVEL OR UP SLOPING LOT NO PORTION OF A DWELLING IN ANY RM-1 DISTRICT SHALL EXCEED A HEIGHT OF 40 FEET.

kerman morris architects 139 Noe Street San Francisco, 415 749 0302 Revisions R1 |10/23/2019 ED AR DAVIS C-24585 N/TA 6625 3RD STREET SAN FRANCISCO, CA 94124 A NEW 3-UNIT RESIDENTIAL STRUCTURE **3RD STREET PROPERTIES, LL** NOTICE These drawings and specifications are the property and copyright of Kerman/Morris Architects and shall not be used on any other work except by written agreement with Kerman/Morris Architects. The Contractor shall verify all existing conditions. Written limensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work. These drawings are an industry standards builders set for building permit and to assist the contractor construction. The drawings show limited and only representative/typical details. All attachments, connections, fastenings,etc, are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them. ABBREVIATIONS SYMBOLS, & ZONING COMPLIANCE

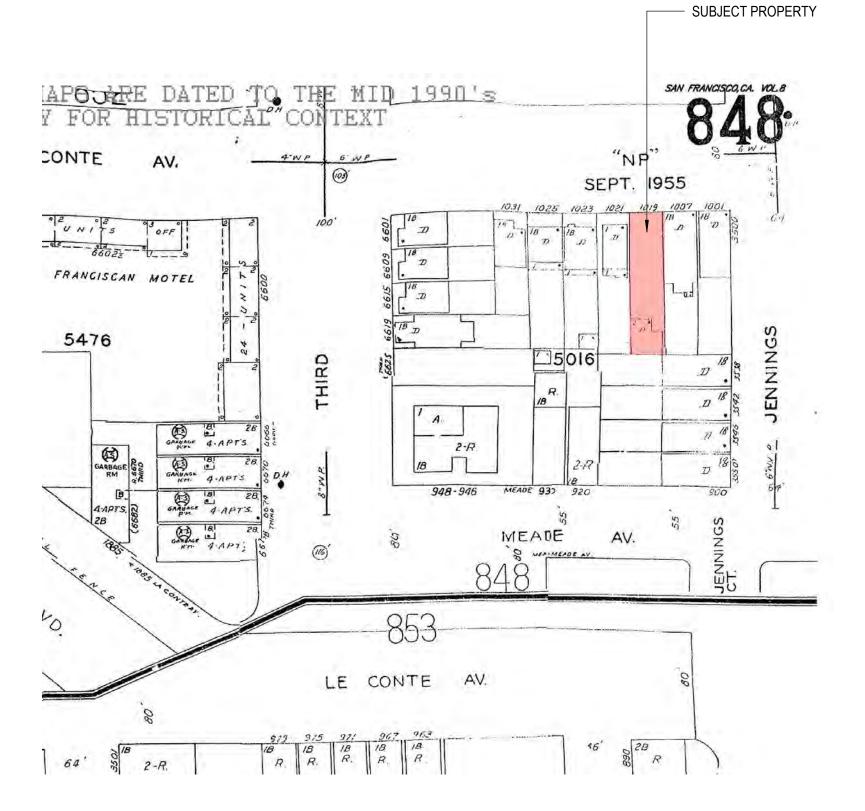
DATE	08/09/2019
SCALE	1" = 1'-0"
DRAWN BY	DRN
CHECKED BY	СНК
IOB NO.	1807

VIEW FROM BACK OF THE LOT

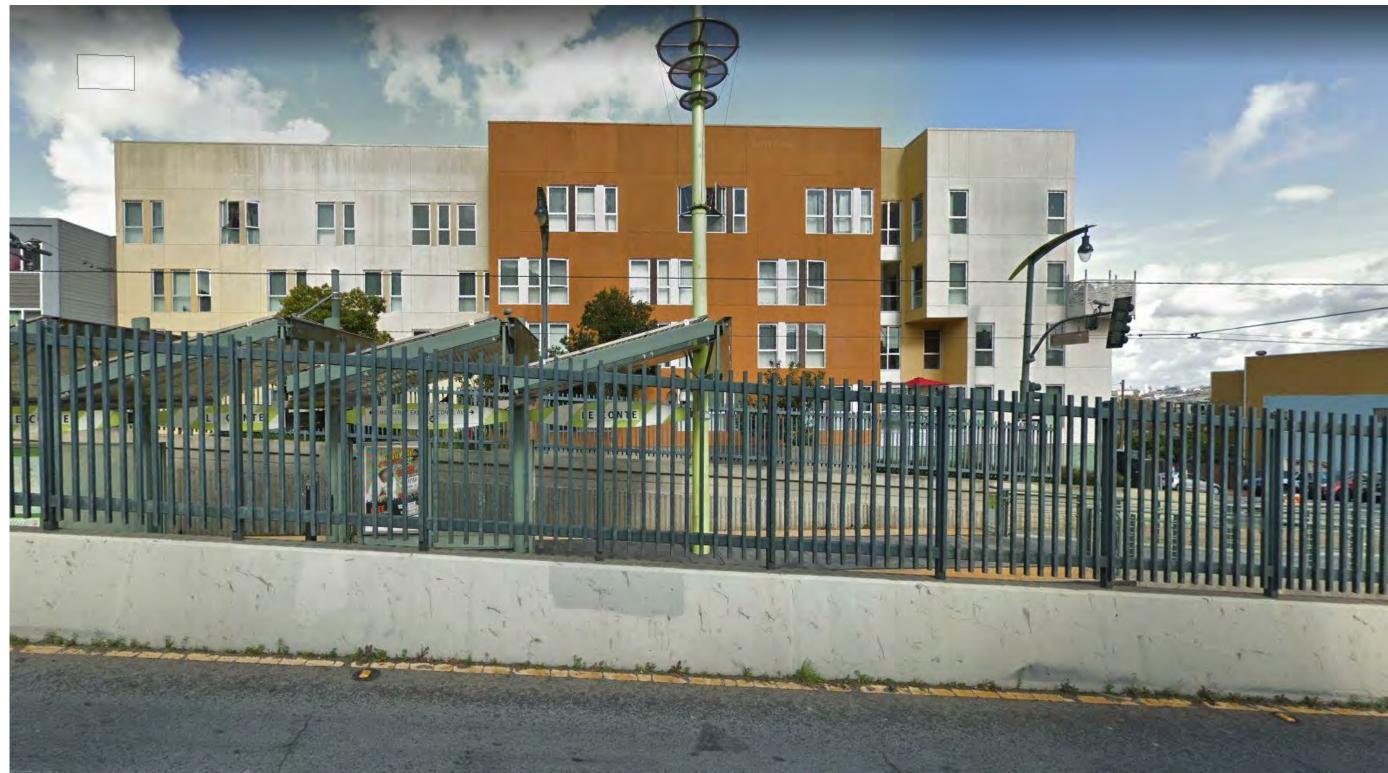




SANBORN MAP







STREET VIEW ACROSS

JOB NO. 180

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.

2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.

3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR BILL KENNEDY AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.

4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISAVOWS ANY AND ALL RESPONSIBILITY.

5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.

6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 4 ABOVE.

7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.

8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

LEGEND

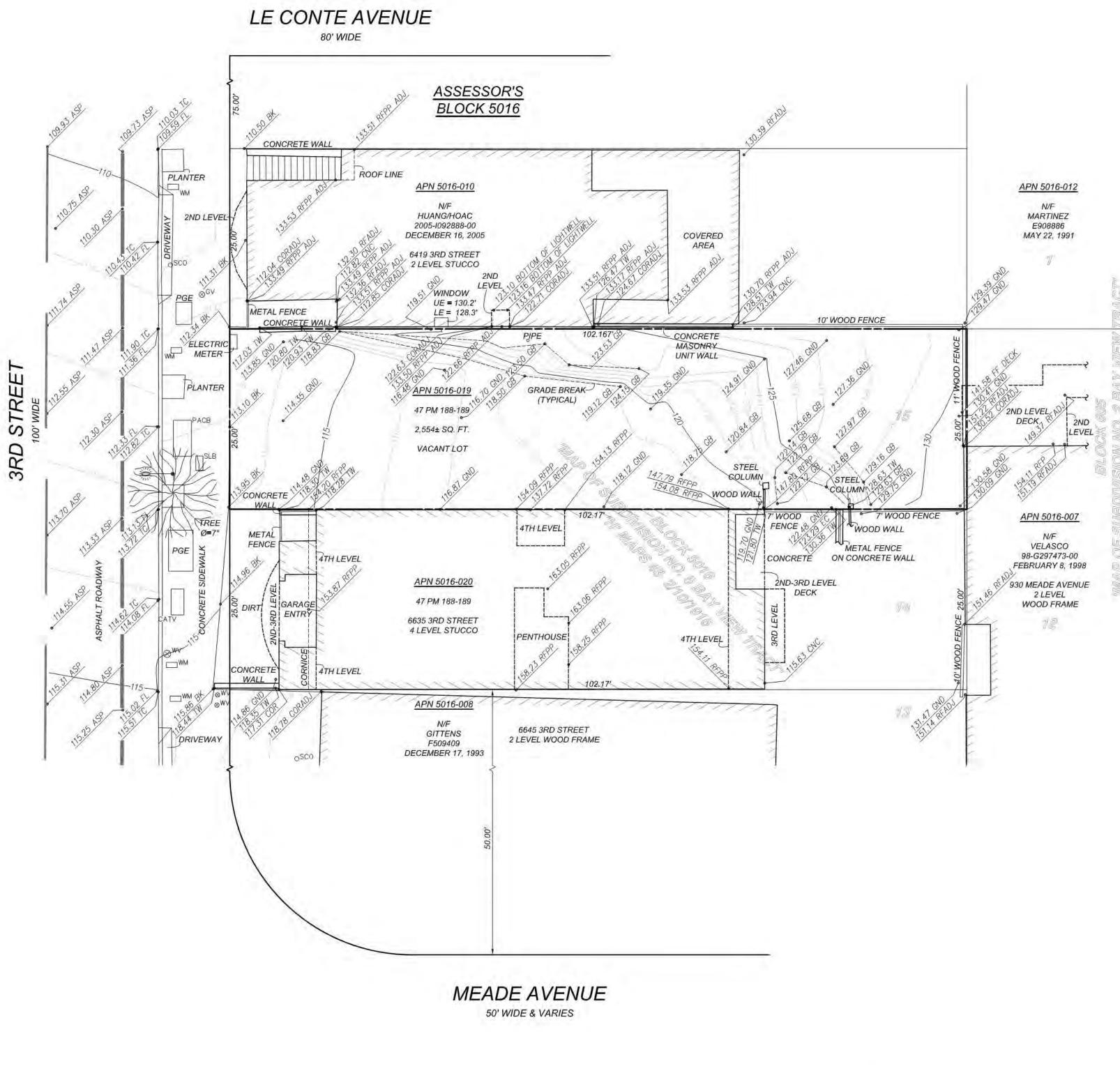
DJ	ADJACENT BUILDING
PN	ASSESSOR'S PARCEL NUMBER
SP	ASPHALT
sĸ	BACK OF WALK
ATV	CABLE TELEVISION
NC	CONCRETE
OR	CORNER
C	EDGE OF CONCRETE
F	FINISHED FLOOR
L	FLOW LINE
BB	GRADE BREAK
SM	GAS METER
IND	GROUND
SV	GAS VALVE
E	LOWERMOST ELEVATION
I/F	NOW OR FORMERLY
ACB	PACIFIC BELL
GE	PACIFIC GAS & ELECTRIC
M	PARCEL MAP
RF	ROOF
REPP	ROOF PARAPET
LB	STREET LIGHT BOX
CO	SANITARY SEWER CLEAN OUT/VEN
C	TOP OF CURB
W	TOP OF WALL
IE	UPPERMOST ELEVATION
VM	WATER METER
vv	WATER VALVE

DIAMETER STREET LIGHT

PAINT STRIPE SPOT ELEVATION

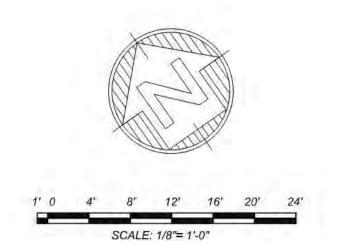


FEBRUARY, 2019 DATE: FREDERICK T. SEHER & ASSOCIATES, INC. 1"= 8 SCALE: North . DRAWN BY: PROFESSIONAL LAND SURVEYORS DRAWING NAME: 2198-19 (2197-19ASS SURVEYING & MAPPING SURVEYED BY 841 LOMBARD STREET, SAN FRANCISCO, CA 94133 CHECKED BY: (415) 921-7690 FAX (415) 921-7655 CHECKED BY: NO. BY DATE REVISIONS





ARCHITECTURAL SITE SURVEY ASSESSOR'S PARCEL NUMBER: 5016-019 6625 3RD STREET, SAN FRANCISCO, CA



BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS . IT IS <u>NOT</u> THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. <u>BOUNDARY</u> INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON JANUARY 16, 2019.

SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED: APN 5016-019: RECORDED SEPTEMBER 21, 2015, DOCUMENT NUMBER 2015-K134686.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF MEADE AVENUE AND JENNINGS STREET, ELEVATIONS ARE BASED ON OLD CITY AND COUNTY OF SAN FRANCISCO DATUM. N.E. CORNER 23' NORTH, + CUT N SIDE LOWER CONC STEP. ELEVATION = 155.137'

and the second

GENERAL NOTE

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

SURVEYOR'S STATEMENT:

DATE .

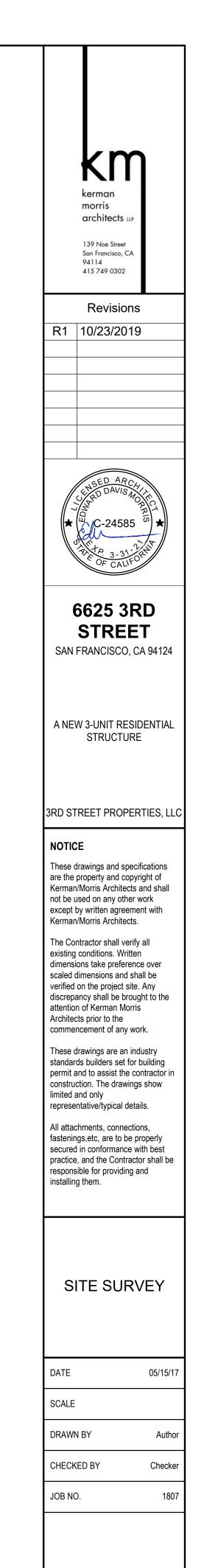
THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

02-05-19

mederick I Scher FREDERICK T. SEHER, PLS

LICENSE NO. 6216

SHEET 1 SHEET JOB NO. : 2197-19



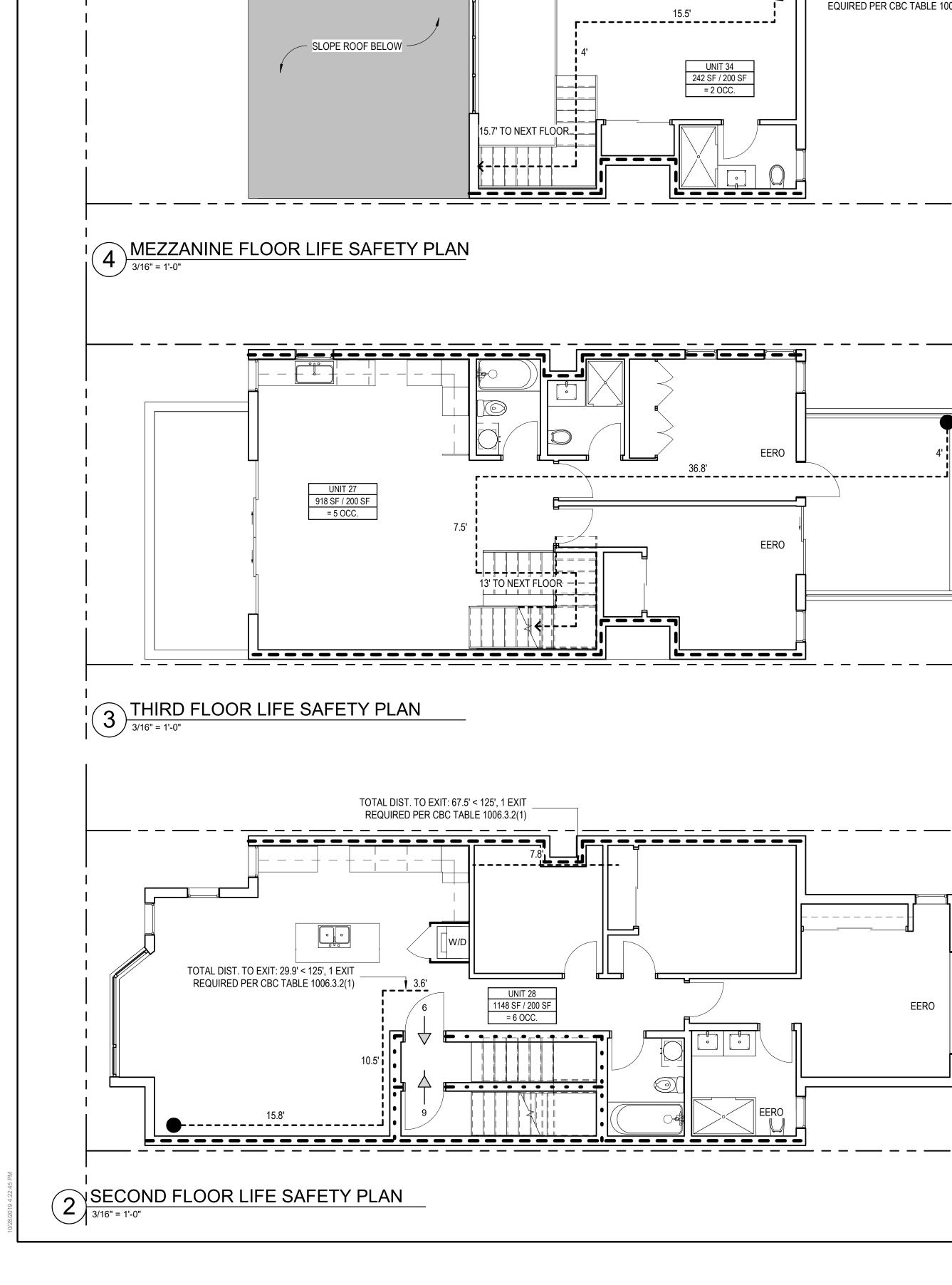


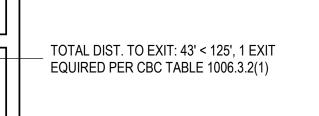




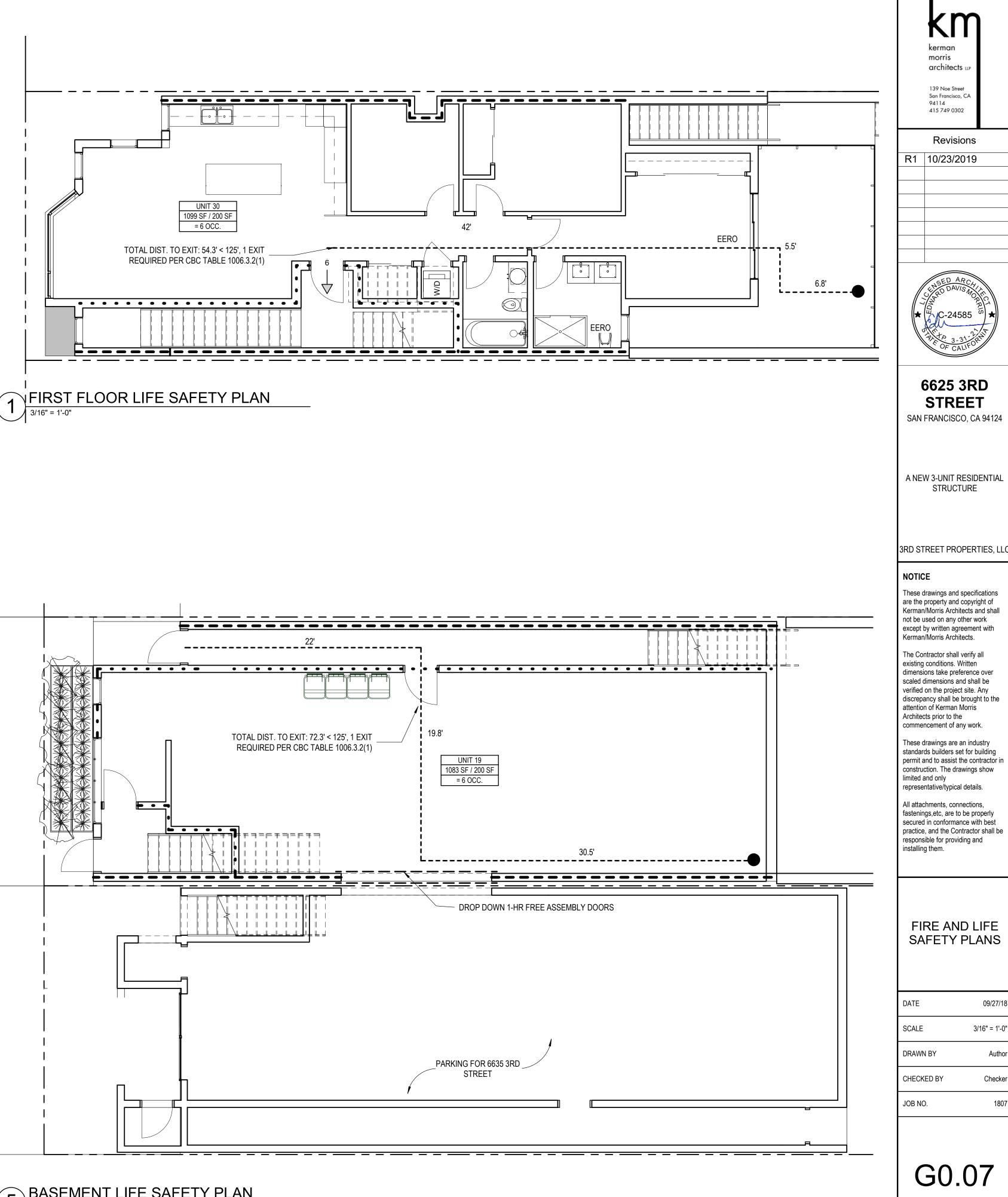


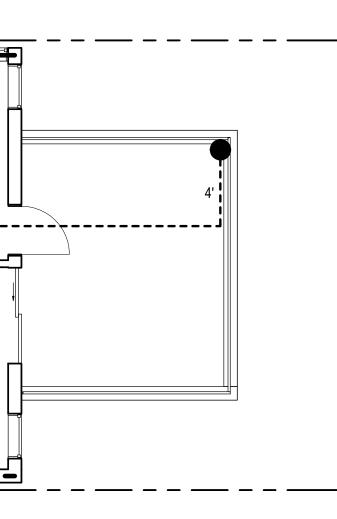
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(3RD ST	REET PR	OPERTIES, LLC
	are the Kerman not be u except b Kerman The Cor existing dimensi scaled c verified discrepa attention Architec	Irawings and property and /Morris Arch used on any oy written ag /Morris Arch ntractor shal conditions. ons take pre- timensions a on the proje ancy shall be n of Kerman ts prior to th	reement with hitects. I verify all Written oference over and shall be ct site. Any be brought to the Morris ne
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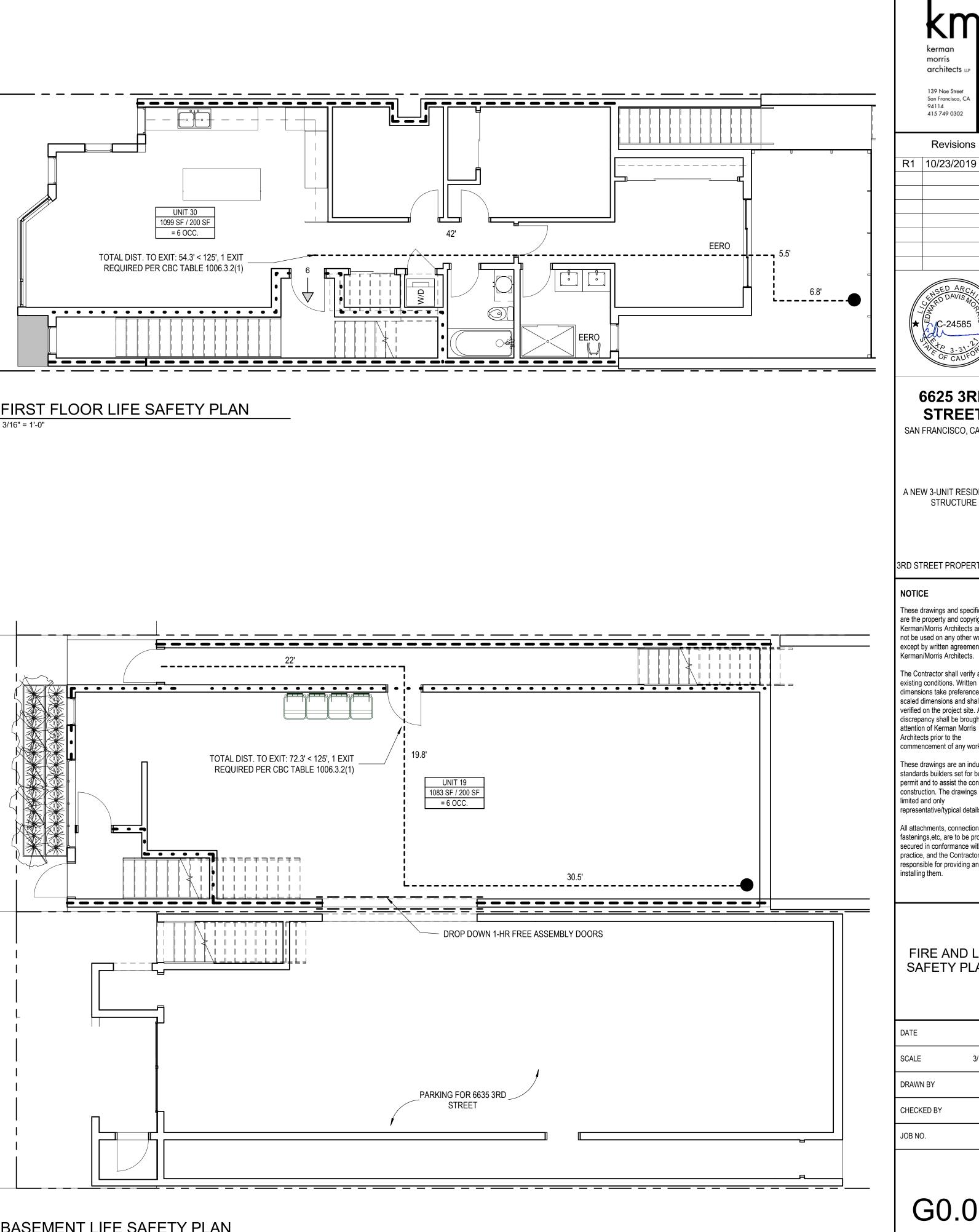




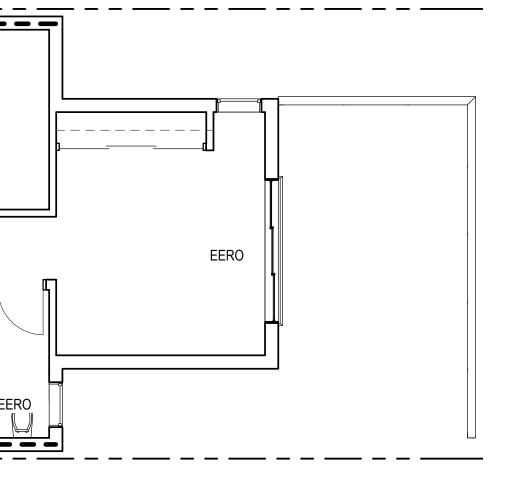
- 8'











These drawings and specifications are the property and copyright of Kerman/Morris Architects and shall not be used on any other work except by written agreement with

The Contractor shall verify all dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the

These drawings are an industry standards builders set for building permit and to assist the contractor i construction. The drawings show

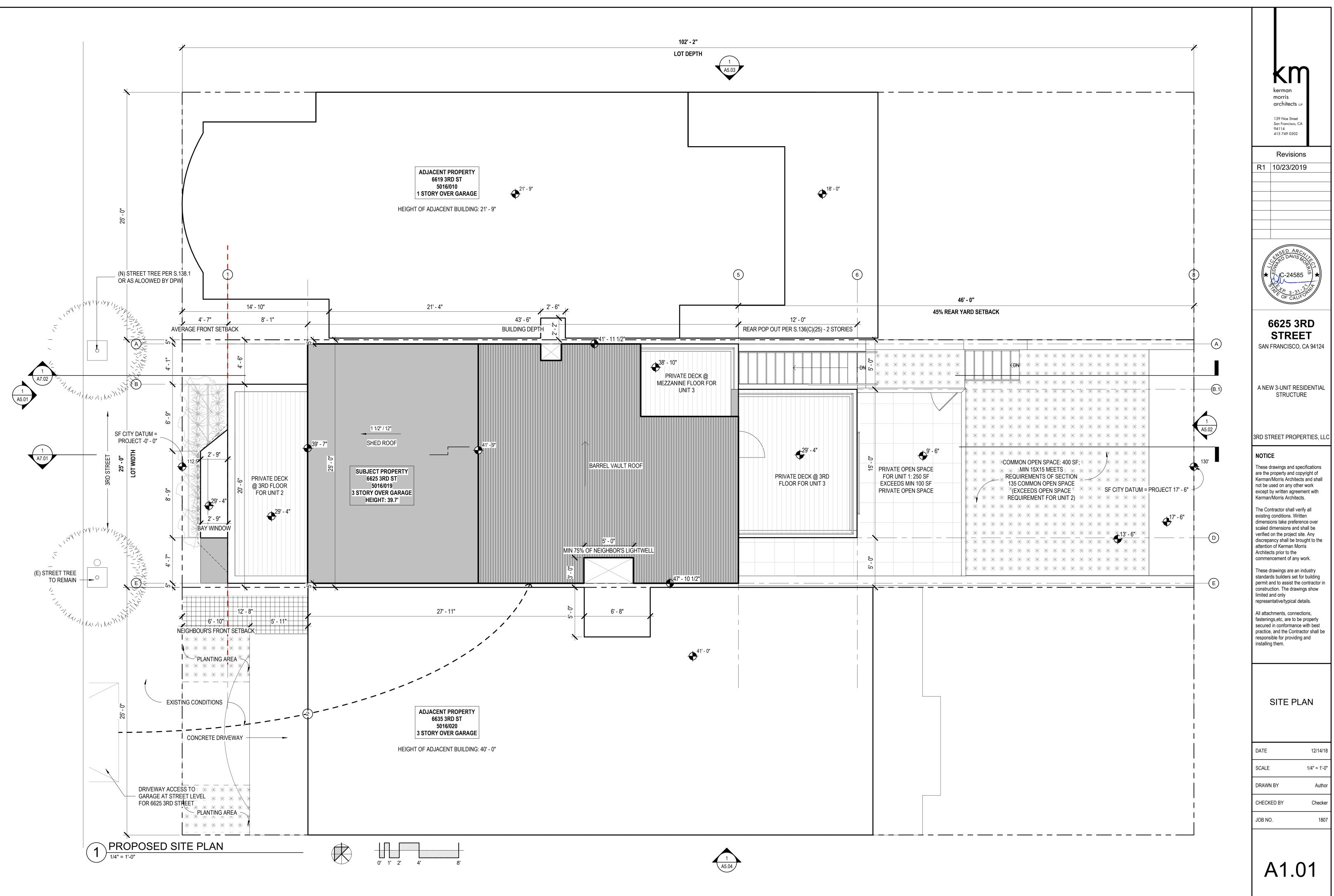
fastenings,etc, are to be properly secured in conformance with best practice, and the Contractor shall be

Author

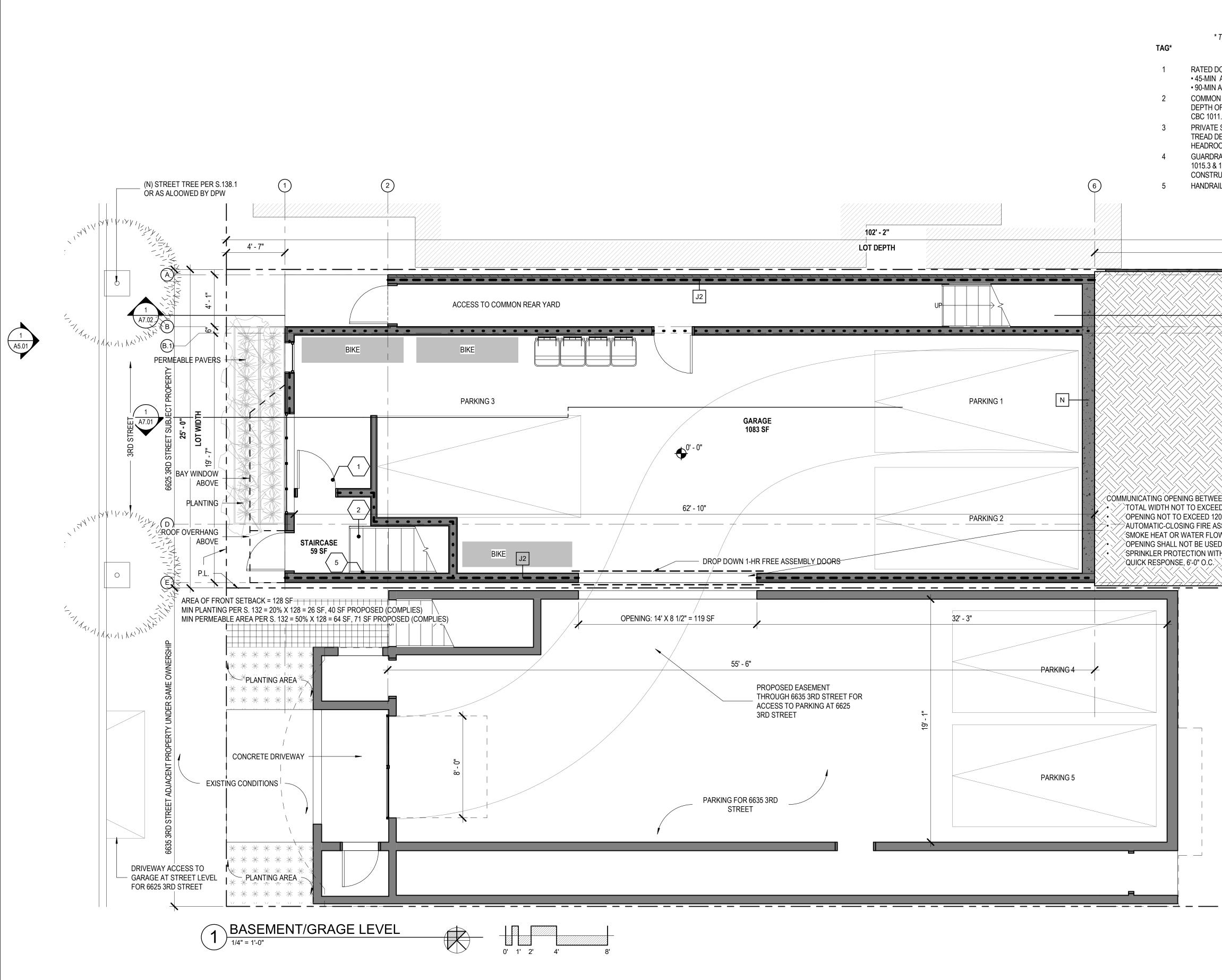
180

1. Fill o	RUCTIONS: ut the project information in the Verificatio	on box at the right.		
2. Subm	nittal must be a minimum of 11" x 17". form is for permit applications submitted .		at 2010. The prior ver	
	be submitted until January 1, 2018.	SOURCE OF	er 2019. The prior vers	sion
	TITLE	REQUIREMENT		DESC
	GRADING & PAVING	CALGreen 4.106.3	Show how surfa	ace drainage (grading, swales, drains
	RODENT PROOFING	CALGreen 4.406.1	Seal around pip	e, cable, conduit, and other opening
ITIAL	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct	ct-vent or sealed-combustion, EPA Pl
RESIDENTIAL	CAPILLARY BREAK,	CALGreen 4.505.2		oundation requiring vapor retarder al
RE	SLAB ON GRADE	2 10 E - 2 22 0 E	professional.	10/ mainture contant hofers analogurs
-	MOISTURE CONTENT	CALGreen 4.505.3		% moisture content before enclosure
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERG	GY STAR compliant, ducted to buildir
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	and a growth of the second second second second second	at comply with the emission limit req (80% of area), and composite wood
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec.12A10	CARL STREET, N. S. CR. D. C. S. M. M. M. C.	requirements for: toilets (1.28gpf); ur fountains (1.8gpm); metering faucets de sec.12A10.
WA	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63		scape area is ≥1,000 sq.ft., use low v alculated ETAF of ≤.55 or by prescrip
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all	provisions of the CA Energy Code.
PARKING	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- a	and long-term bike parking to meet re
u No	RECYCLING BY OCCUPANTS	SF Building Code AB-088	Provide adequa	ite space and equal access for storag
WASTE	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3	For 100% of mix	xed C&D debris use registered trans
Q	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must l	be trained in best practices.
HVAC	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be o	designed to ACCA Manual J, D, and
OR	BIRD-SAFE BUILDINGS	Planning Code	Glass facades a	and bird hazards facing and/or near L
GOOD		sec.139 Health Code art.19F	Drohihit amakin	a within 10 fact of building optrice, ai
N	TOBACCO SMOKE CONTROL	Health Code alt. 19F	PTOHIDIL SHIOKIN	g within 10 feet of building entries, ai
POLLUTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147		ing ≥5,000 sq.ft. in combined or sepa /ater Management Requirements.
POLL	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a const	ruction site Stormwater Pollution Pre
INDOOR ENVIRONMENTAL QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent	t HVAC ducts/equipment stored onsit
		ater Efficiency		
C√ K	Each fixture must not exceed	NOTES:		
UR INFORMATION: WATER EFFICIENCY	Showerheads ²	2 gpm @ 80 psi		 For dual flush toilets, effective flush is defined as the composite, average
	Lavatory Faucets: residential	1.2 gpm @ 60 psi		volume of two reduced flushes and
NO.	Kitchen Faucets	1.8 gpm @ 60 psi default		flush. The referenced standard is A A112.19.14 and USEPA WaterSen
Ľ Ľ	Wash Fountains	1.8 gpm / 20 [rim space (inches) @	60 psi]	Type High Efficiency Toilet Specific 1.28 gal (4.8L)
NA	Metering Faucets	.20 gallons per cycle		2. The combined flow rate of all show
0-	Tank-type water closets	1.28 gallons / flush1 and EPA W	aterSense Certified	in one shower stall shall not excee maximum flow rate for one shower
~ 5				
FOR YC	Flushometer valve water closets Urinals	1.28 gallons / flush1		the shower shall be designed to al one showerhead to be in operation

		Form version: October 11, 2017 (For permit applications January 2017 - December 2019)	kerman
	OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	VERIFICATION Indicate below who is responsible for ensuring green	morris architects u 139 Noe Street
	adds any amount of conditioned area, volume, or size	building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of	San Francisco, C 94114 415 749 0302
IPTION OF REQUIREMENT retention areas) will keep surface water from entering the building.	if applicable	Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by	Revisior
in exterior walls with cement mortar or DBI-approved similar method.		<1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are	R1 10/23/20
		required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion	
ase II-compliant appliances. o requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed	•	6625 3RD STREET	
requires a capillary break such as. 4 inches of base th2-inch aggregate under relarder, siab design specified by incensed	•	PROJECT NAME	
	•	5016/019 BLOCK/LOT	
exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	1	6625 3RD STREET	NSED AR
		ADDRESS	LUCO DAVIS
rements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, roducts.		R-2 PRIMARY OCCUPANCY 6,485 SF	★ - C-2458
als (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential major improvement projects must upgrade all non-compliant fixtures per		GROSS BUILDING AREA 4,037 SF	6625 3
		INCREASE IN CONDITIONED FLOOR AREA	STRE
ater use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance ive compliance for projects with ≤2,500 sq.ft. of landscape area.	•	I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It	SAN FRANCISCO
	•	is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if	A NEW 3-UNIT RE STRUCTU
uirements of SF Planning Code sec.155.1-2.	if applicable	I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.	3RD STREET PROP
e, collection, and loading of compostable, recyclable and landfill materials.	•	LICENSED PROFESSIONAL (sign & date) May be signed by applicant when <1,000 sq. ft. is added.	NOTICE These drawings and spe
rters and registered processing facilities with a minimum of 65% diversion rate.		AFFIX STAMP BELOW:	are the property and co Kerman/Morris Architec not be used on any othe except by written agree
	· · · · · · · · · · · · · · · · · · ·	CENSED ARCHITE	Kerman/Morris Architect
	•	V RO MOREL	existing conditions. Writ dimensions take prefere
oan Bird Refuges may need to treat their glass for opacity.		$\star \overset{\circ}{\overset{\circ}{\overset{\circ}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}}{\overset{\circ}}}{\overset{\circ}}$	scaled dimensions and verified on the project s discrepancy shall be br
ntakes, and operable windows and enclosed common areas.		SANDA WAY AS	attention of Kerman Mo Architects prior to the
te sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting	if project extends	OF CALIFO	commencement of any These drawings are an standards builders set permit and to assist the
	outside envelope	Projects that increase total conditioned floor area by ≥1,000 sq.ft.: Green Building Compliance Professional of Record will verify compliance.	construction. The draw limited and only
ention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope	or record will verify compliance.	All attachments, connect fastenings,etc, are to be secured in conformance
before installation.		GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #)	practice, and the Contra responsible for providing installing them.
		FIRM	
Water Efficiency of Existing Non-Compliant Fixtures All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures		X I am a LEED Accredited Professional	GREENPO RATE
of fittings meeting the maximum flow rates and standards referenced above. For more flush information, see the Commercial Water Conservation Program Brochure, available at SFDBI, ne full org.		I am a GreenPoint Rater	CHECKL
Tank- NON-COMPLIANT PLUMBING FIXTURES INCLUDE:			DATE
 Any tollet manufactured to use more than 1.6 gallons/flush Any urinal manufactured to use more than 1 gallon/flush 		GREEN BUILDING COMPLIANCE PROFESSIONAL	SCALE
ne 3. Any showerhead manufactured to have a flow capacity of more than 2.5 gpm		(sign & date) Signature by a professional holding at least one of	
ad, or 4. Any interior faucet that emits more than 2.2 gpm v only		the above certifications is required. If the Licensed Professional does not hold a certification for green	DRAWN BY
t a time Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building		design and/or inspection, this section may be completed by another party who will verify applicable green building	CHECKED BY
Inspection pursuant to San Francisco Building Code Chapter 13A.		requirements are met.	JOB NO.



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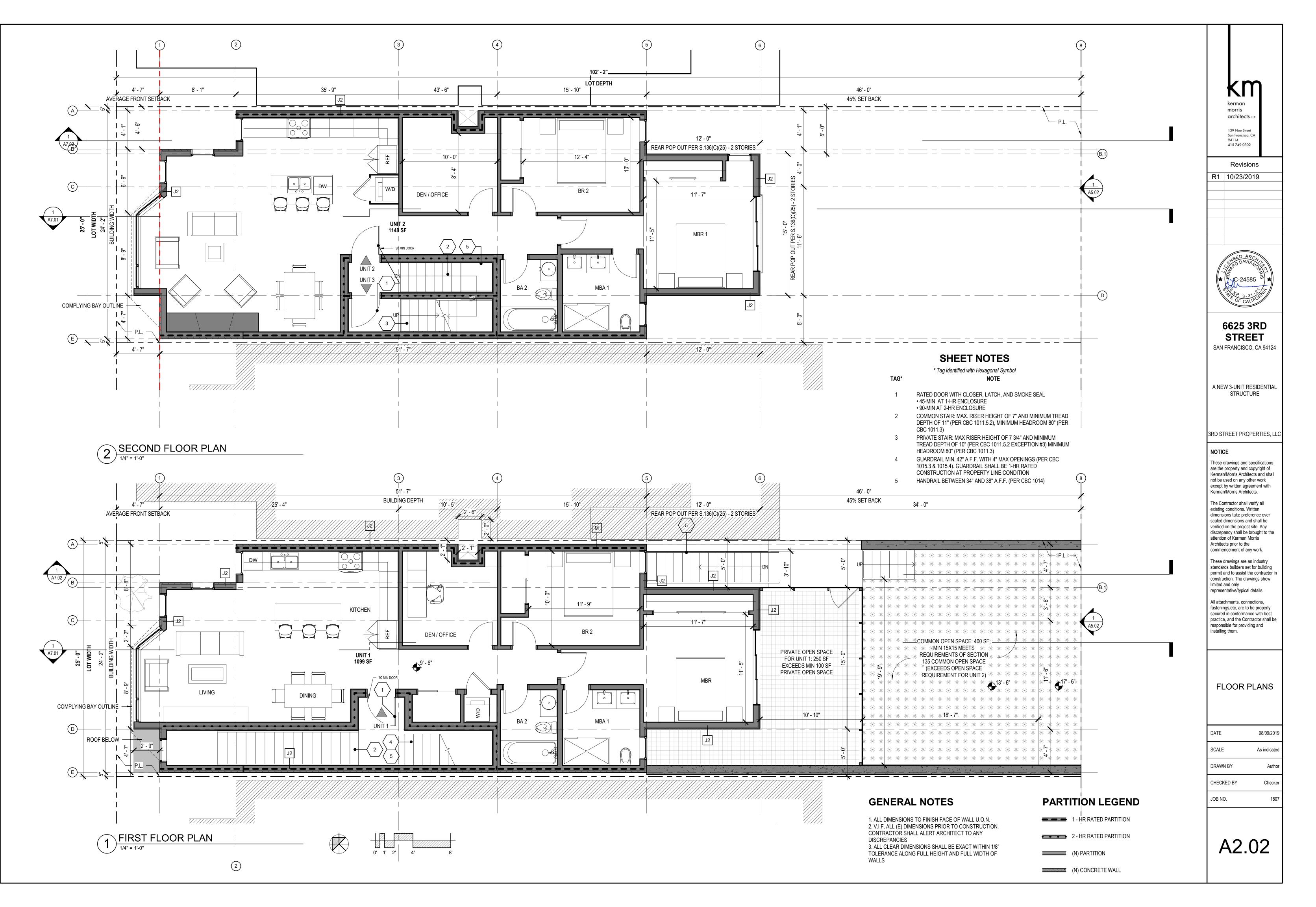
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GENERAL

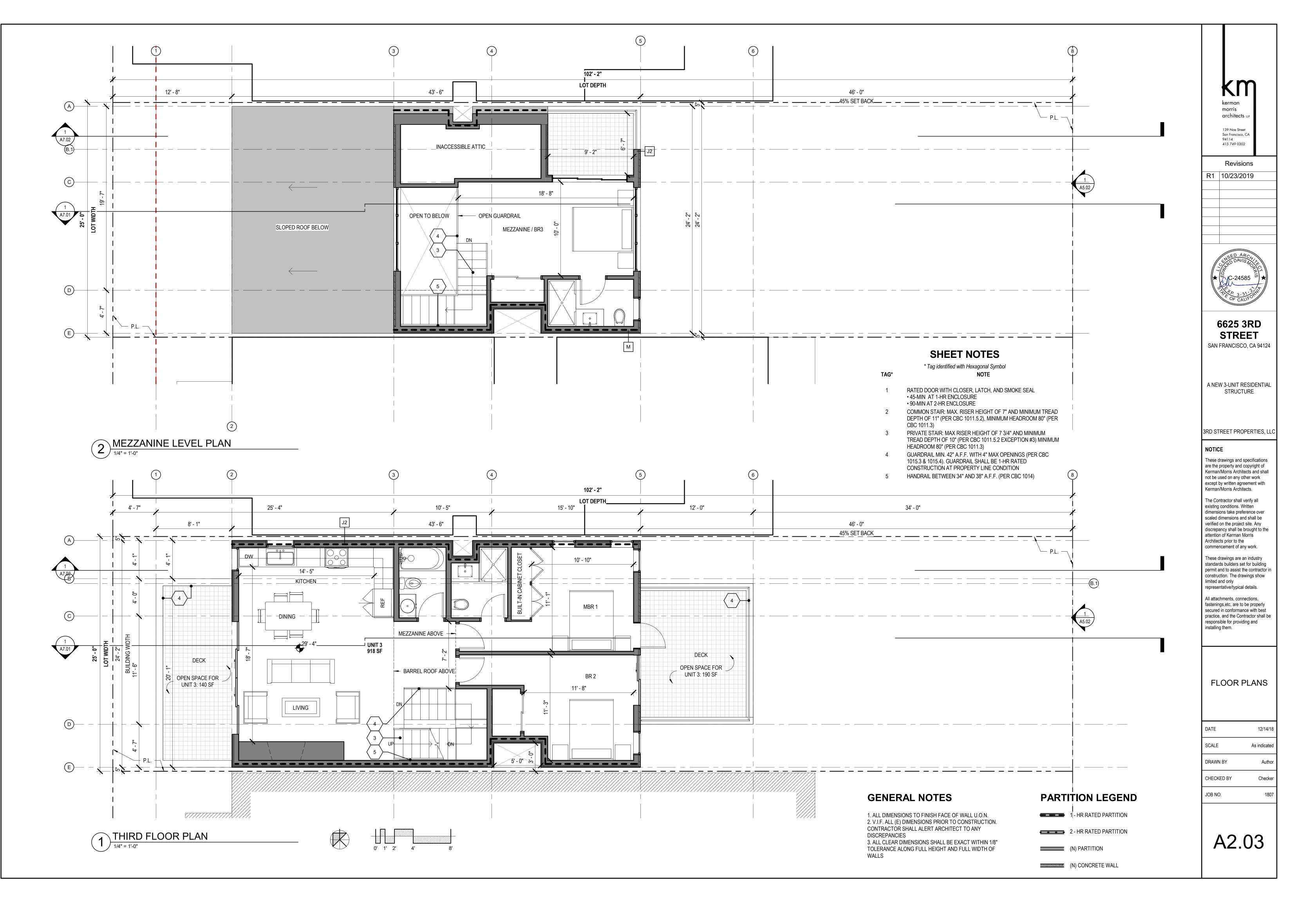
1. ALL DIMENSIONS T 2. V.I.F. ALL (E) DIMEN CONTRACTOR SHALL DISCREPANCIES 3. ALL CLEAR DIMENS TOLERANCE ALONG WALLS

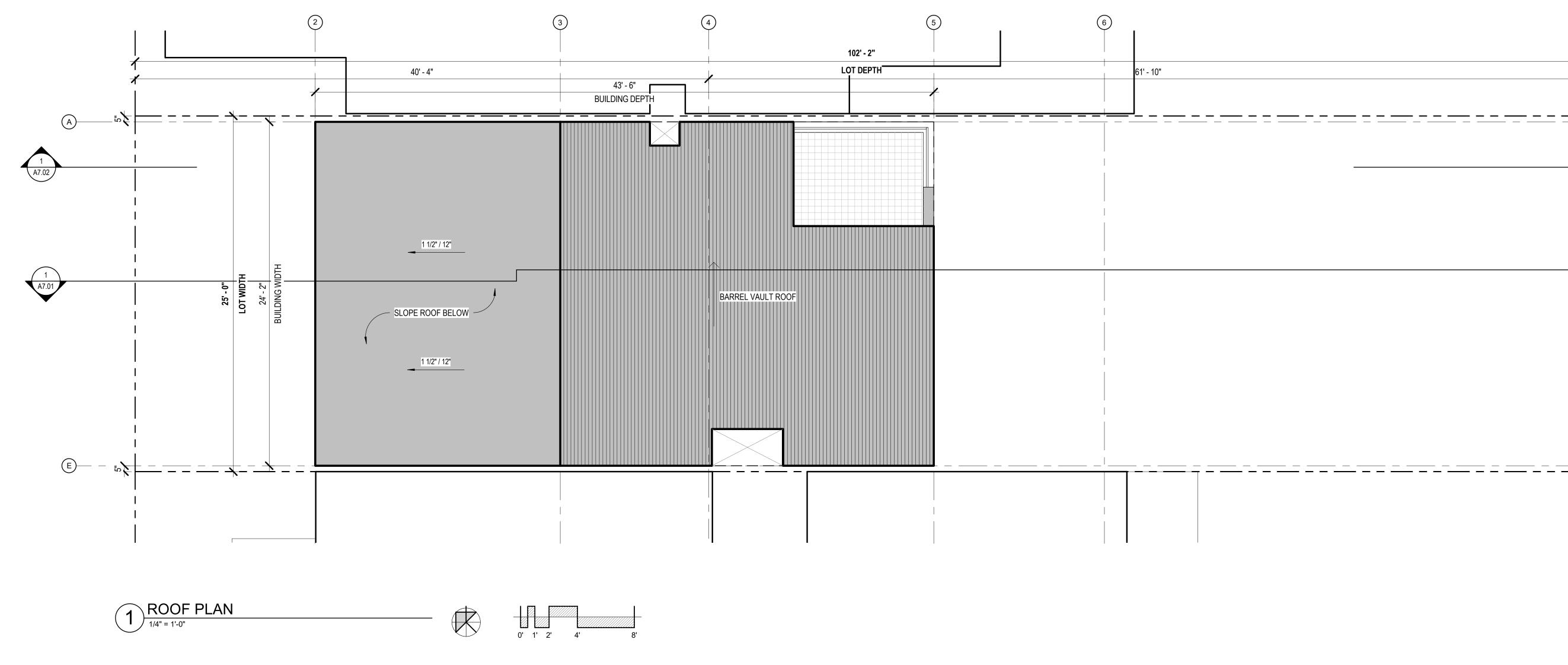
_ NOTES	PARTITION LEGEND	
TO FINISH FACE OF WALL U.O.N.		
ENSIONS PRIOR TO CONSTRUCTION. LL ALERT ARCHITECT TO ANY	2 - HR RATED PARTITION	km
NSIONS SHALL BE EXACT WITHIN 1/8" 3 FULL HEIGHT AND FULL WIDTH OF	(N) PARTITION	kerman
	(N) CONCRETE WALL	morris architects up
		139 Noe Street San Francisco, CA 94114
SHEET NOTES		415 749 0302
* Tag identified with Hexagonal Symbol NOTE		Revisions
DOOR WITH CLOSER, LATCH, AND SMOKE SEAL NAT 1-HR ENCLOSURE		R1 10/23/2019
N AT 2-HR ENCLOSURE ON STAIR: MAX. RISER HEIGHT OF 7" AND MINIMUM	TREAD	
OF 11" (PER CBC 1011.5.2), MINIMUM HEADROOM 8(11.3)		
E STAIR: MAX RISER HEIGHT OF 7 3/4" AND MINIMU DEPTH OF 10" (PER CBC 1011.5.2 EXCEPTION #3) M OOM 80" (PER CBC 1011.3)		
RAIL MIN. 42" A.F.F. WITH 4" MAX OPENINGS (PER C & 1015.4). GUARDRAIL SHALL BE 1-HR RATED	BC	NSED ARCH
RUCTION AT PROPERTY LINE CONDITION AIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014)	8	LURO DAVISAORECT
		★ (⁴) C-24585 ⁶ ★
		FOF CALLFOR
34' - 0"		6625 3RD
	P.L.	SAN FRANCISCO, CA 94124
		A NEW 3-UNIT RESIDENTIAL STRUCTURE
	A5.02	7
		3RD STREET PROPERTIES, LLC
		NOTICE These drawings and specifications
		are the property and copyright of Kerman/Morris Architects and shall not be used on any other work
		except by written agreement with Kerman/Morris Architects.
EEN (2) BUILDINGS PER SF DBI AB-010: ED 25% OF SHARED WALL LENGTH		The Contractor shall verify all existing conditions. Written dimensions take preference over
20 SF ASSEMBLY OF 1-HR RATING (DROP DOWN DOOR) T OW OF SPRINKLER SYSTEM	RIGGERED BY	scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the
ED FOR REQUIRED EXITING	EMPERATURE,	attention of Kerman Morris Architects prior to the commencement of any work.
		These drawings are an industry
		permit and to assist the contractor in construction. The drawings show limited and only
		representative/typical details. All attachments, connections,
		fastenings,etc, are to be properly secured in conformance with best practice, and the Contractor shall be
		responsible for providing and installing them.
		FLOOR PLANS
		DATE 12/14/18
		SCALE As indicated
		DRAWN BY Author
	 	CHECKED BY Checker
		JOB NO. 1807
		A2.01

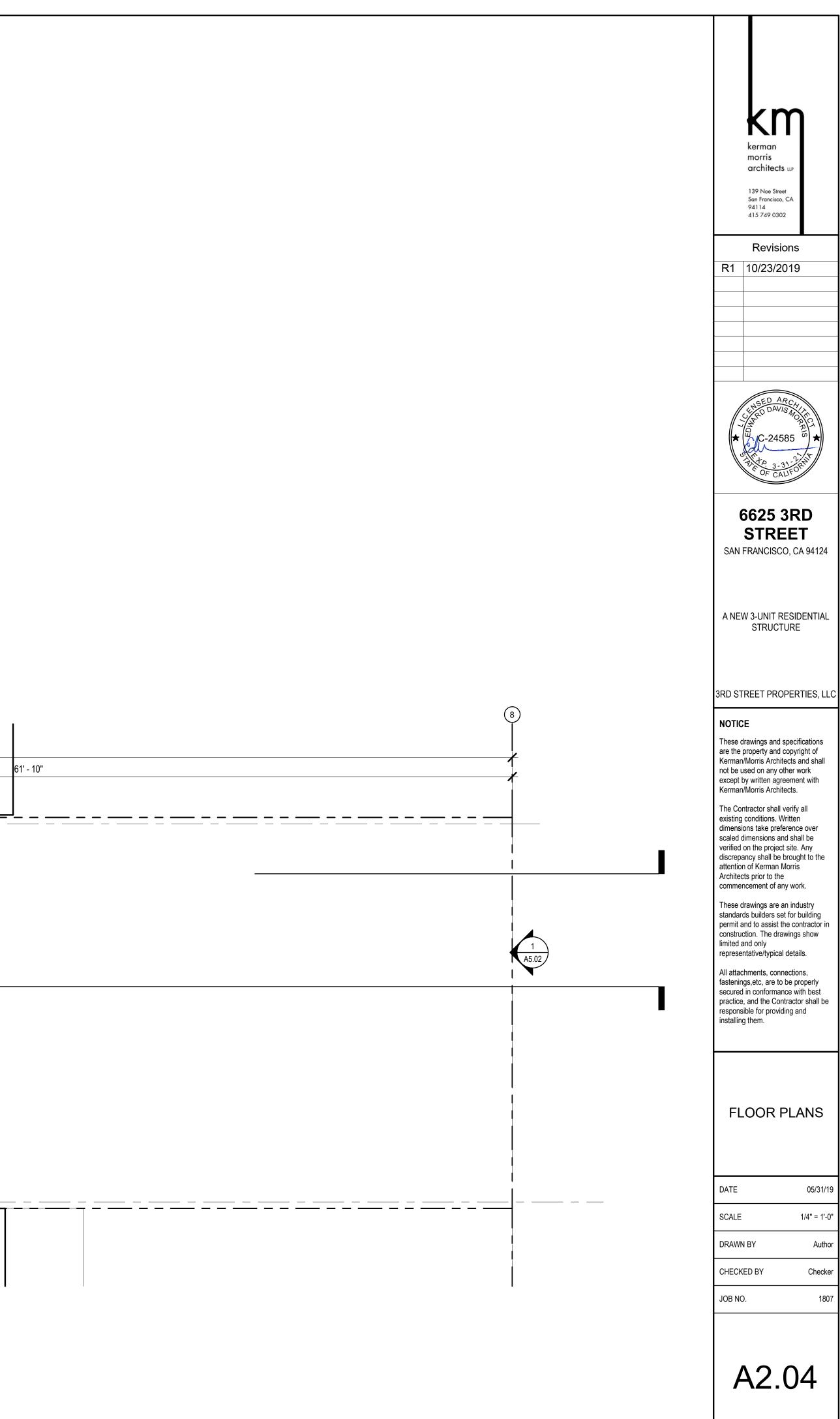




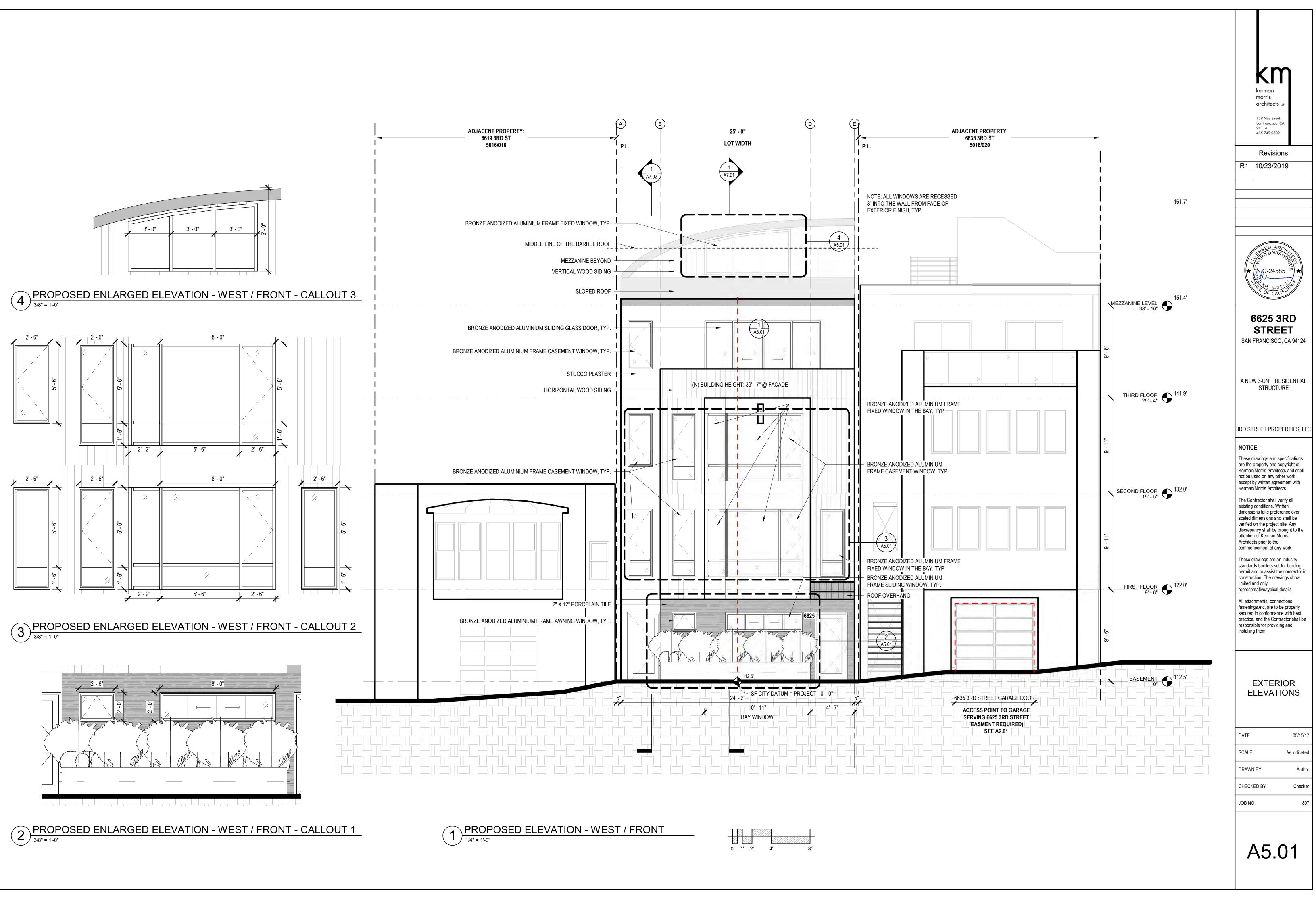


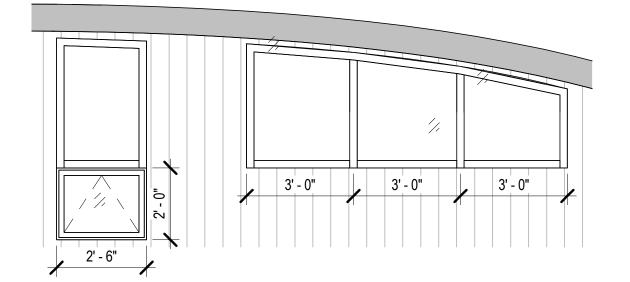




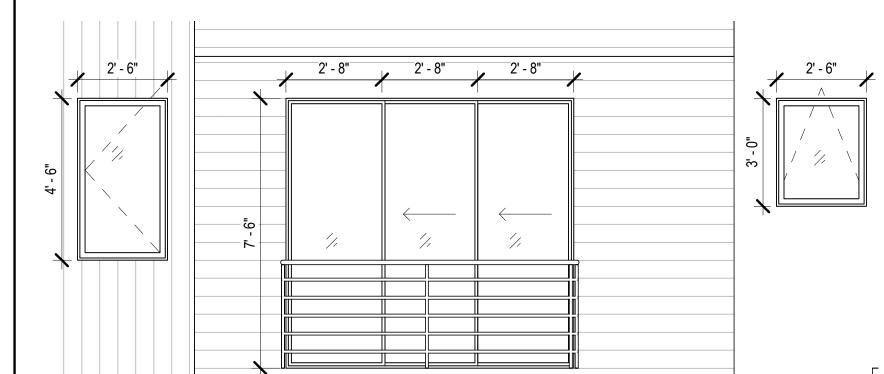




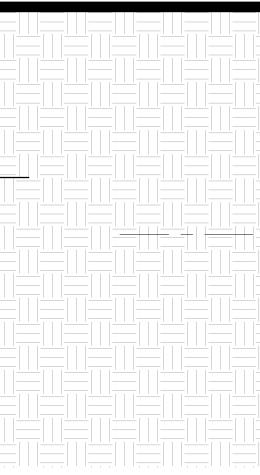


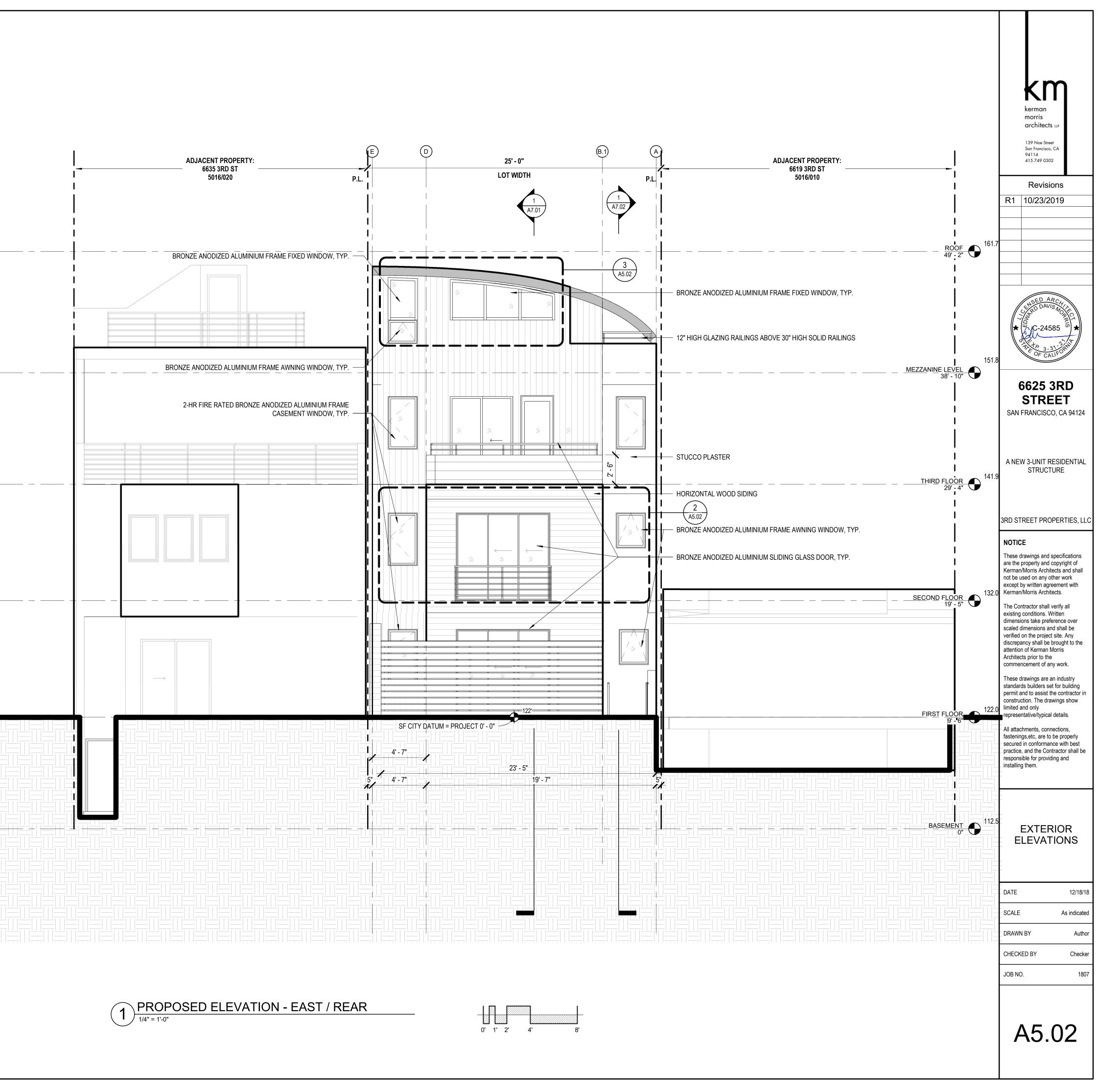


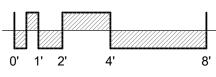


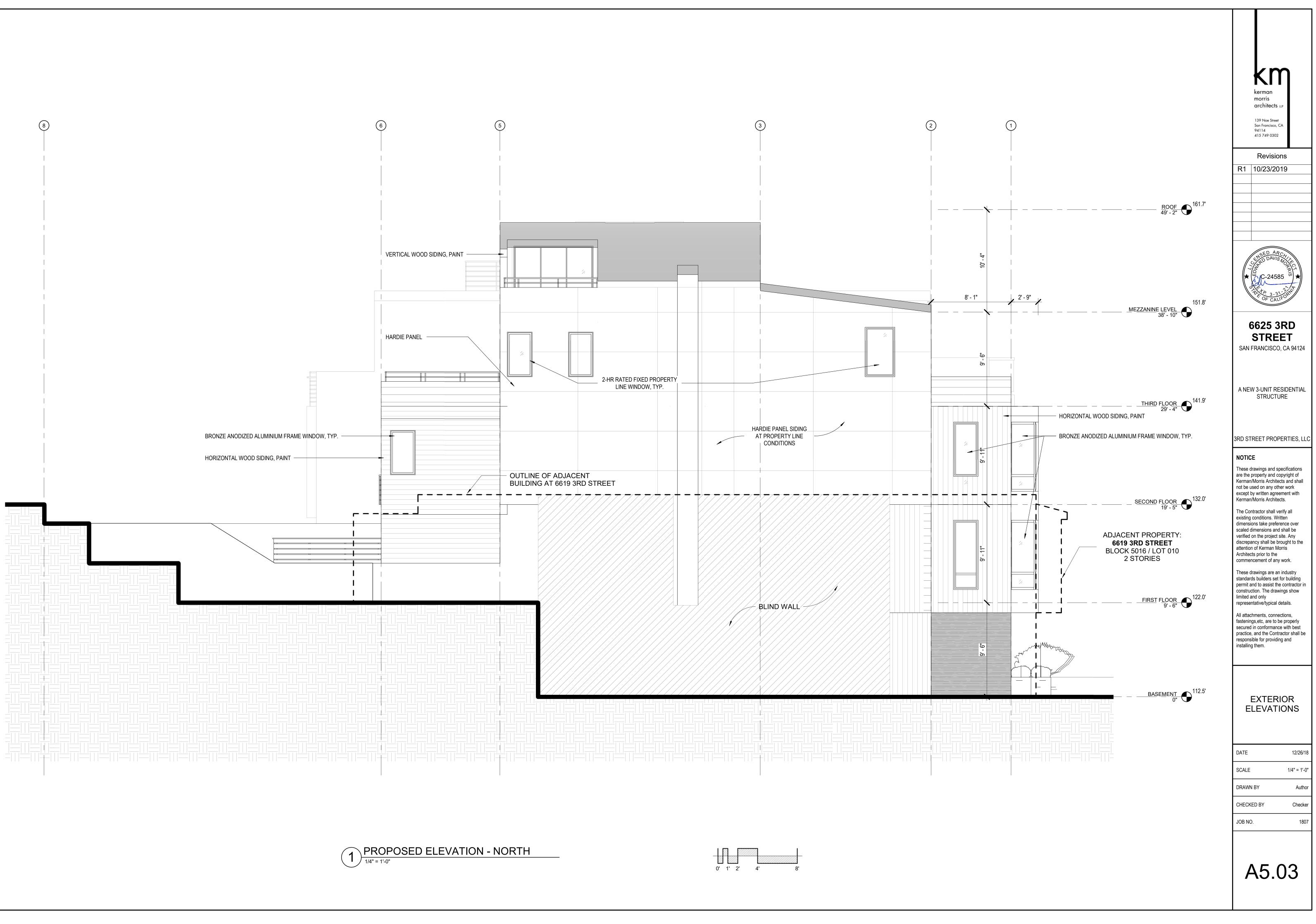




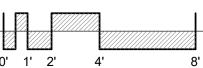




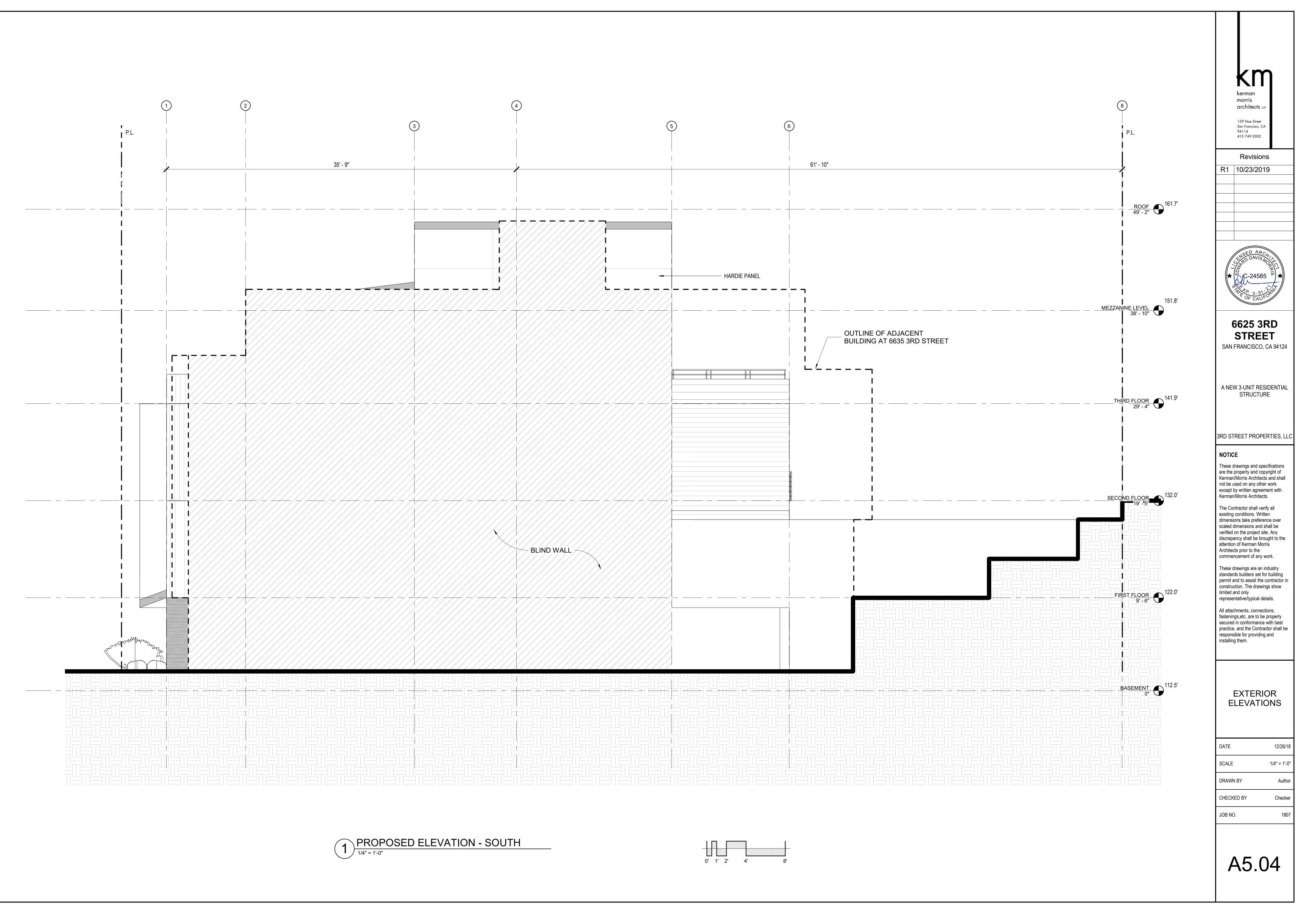


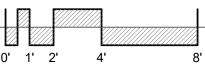




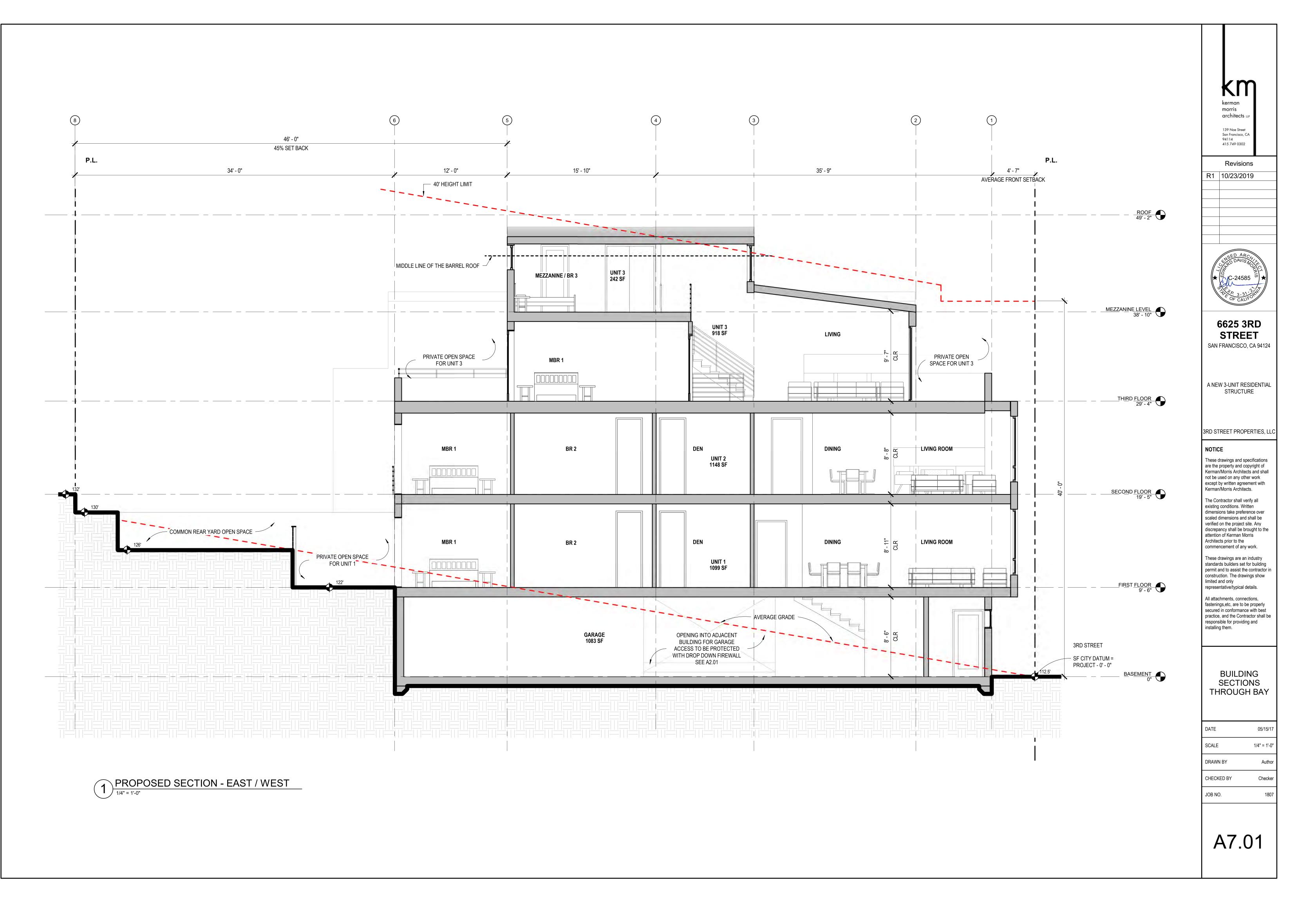


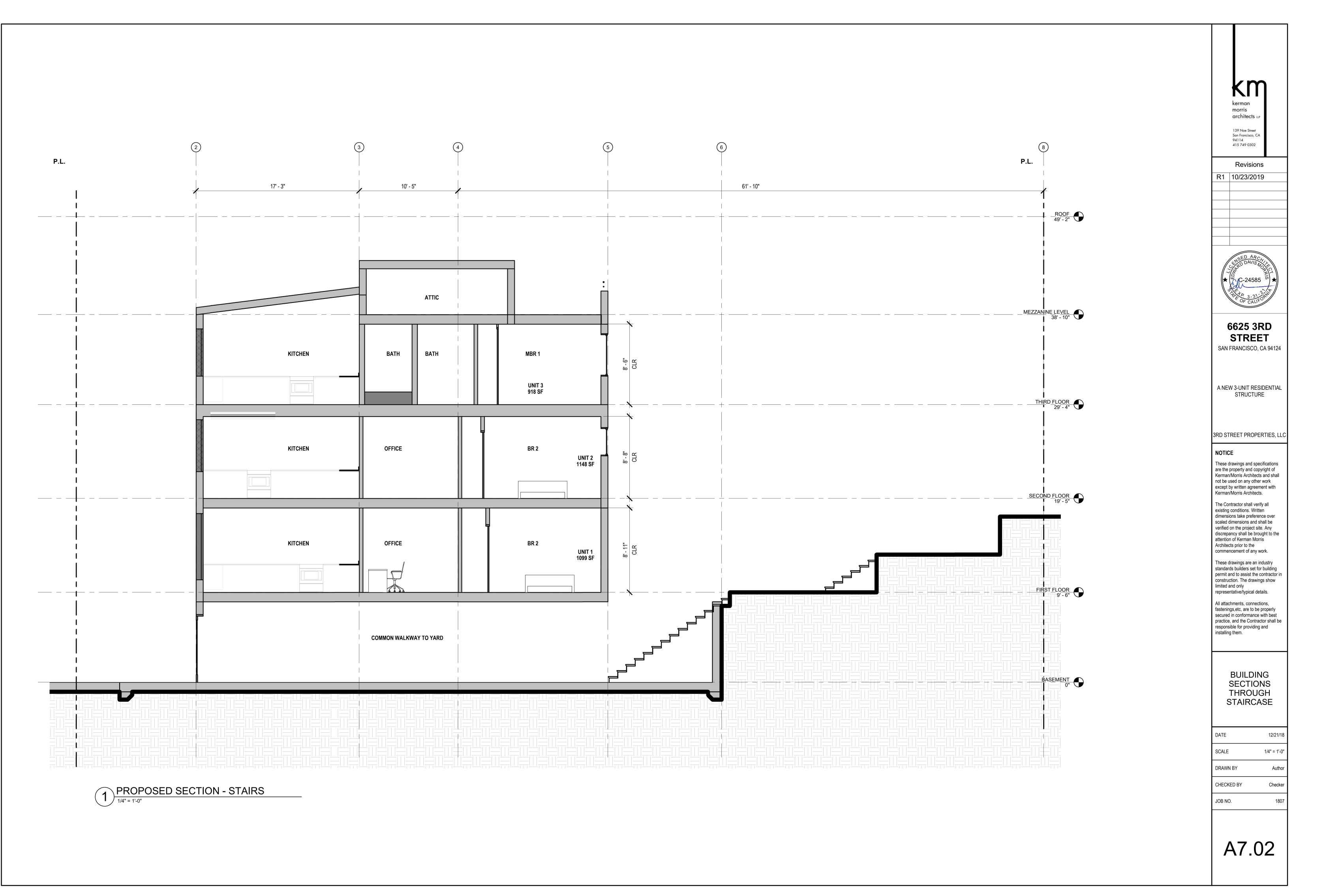






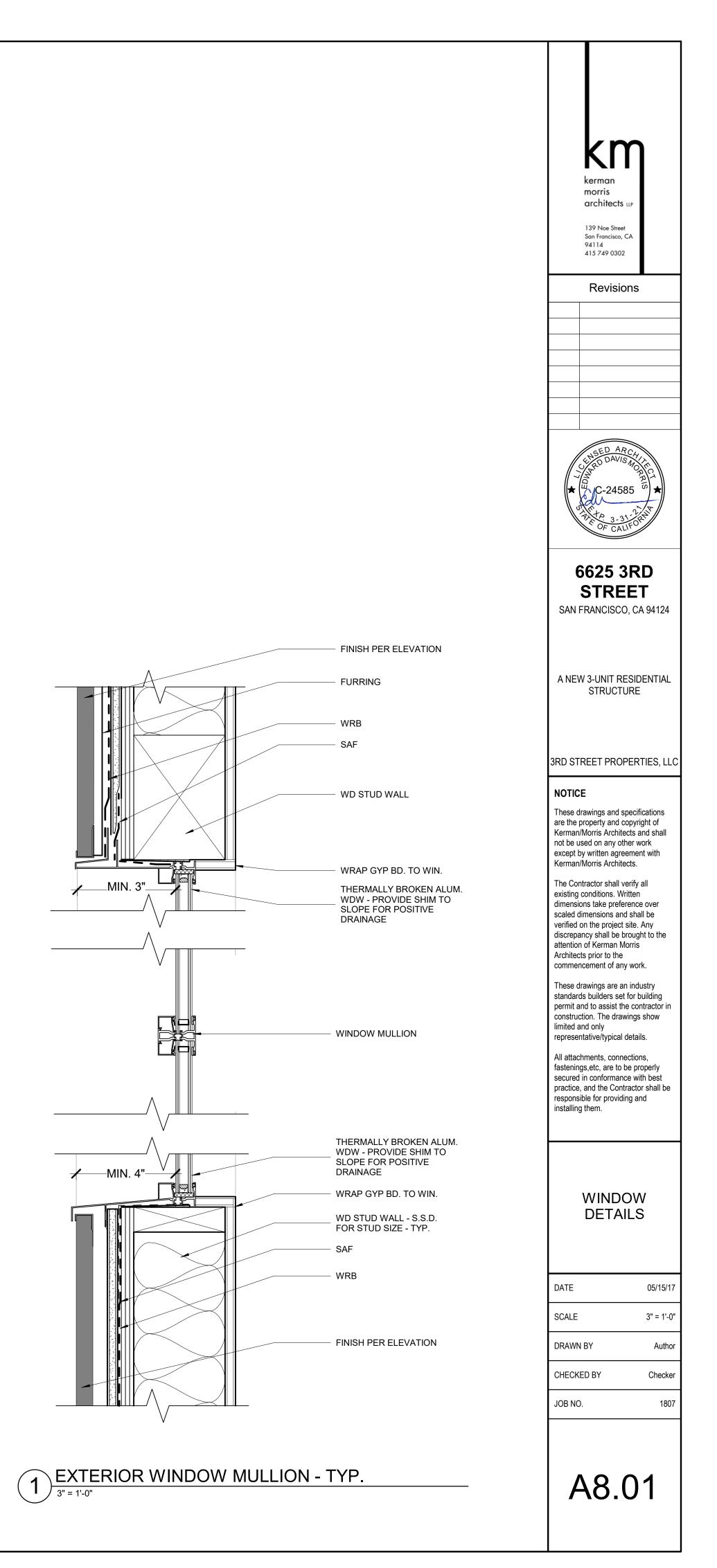
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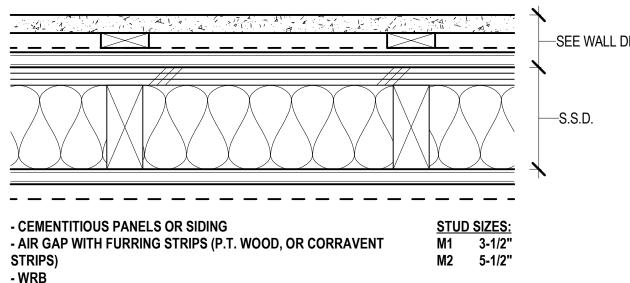






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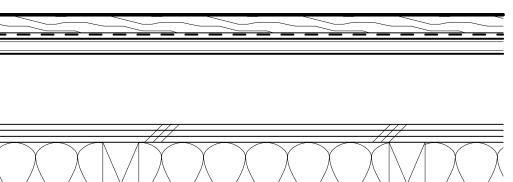


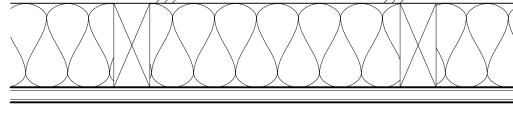


- (1) LAYER 5/8" TYPE 'X' GYP. BD. - PLYWOOD SHEATHTING S.S.D. - WOOD STUDS (PT OR FIRE TREATED AS REQ'D) INSULATION AS **REQ'D PER T-24 PART 6 ENERGY REPORT**
- (1) LAYER 5/8" TYPE 'X' GYP. BD. (2 LAYERS EACH SIDE @ 2-HR RATED WALL





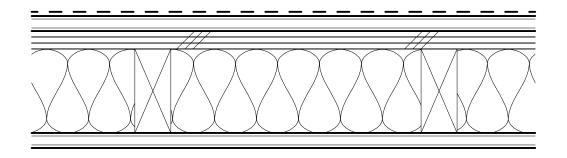




- CEMENT PLASTER - 2" CONTINUOUS RIGID INSULATION - WRB - (1) LAYER 5/8" TYPE 'X' GYP. BD. - PLYWOOD SHEATHTING S.S.D.
- WOOD STUDS (PT OR FIRE TREATED AS REQ'D) **INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT** - (1) LAYER 5/8" TYPE 'X' GYP. BD.



EXT. WALL - WOOD SIDING 1-HR (SIM. TO GA FILE NO: WP 8105)



- CEMENT PLASTER
- 2" CONTINUOUS RIGID INSULATION - WRB
- (1) LAYER 5/8" TYPE 'X' GYP. BD.
- PLYWOOD SHEATHTING S.S.D. - WOOD STUDS (PT OR FIRE TREATED AS REQ'D) **INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT** - (1) LAYER 5/8" TYPE 'X' GYP. BD.

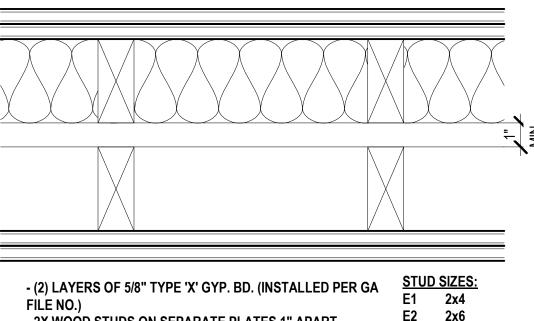
EXT. WALL - CEMENT PLASTER 1-HR (SIM. TO GA FILE NO: WP 8105)

-SEE WALL DET. "J" FOR DIM.

EXT. WALL - CEMENTITIOUS SIDING

STUD SIZES: l1 3-1/2" l2 5-1/2"

STUD SIZES: J1 3-1/2" J2 5-1/2"

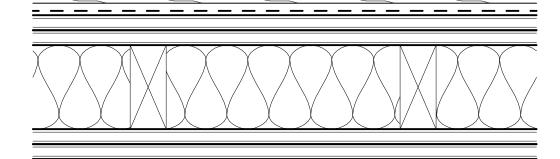


FILE NO.) - 2X WOOD STUDS ON SEPARATE PLATES 1" APART - 3 1/2" GLASS FIBER INSULATION IN STUD CAVITY OF ONE SIDE - (2) LAYERS OF 5/8" TYPE 'X' GYP. BD.(INSTALLED PER GA	E4	2x4 2x6 2x8 2x10 2x12
- (2) LAYERS OF 5/8" TYPE 'X' GYP. BD.(INSTALLED PER GA	E5	2x12
FILE NO.)	E6	3x4



DEMISING WALL

2-HR STC 55 TO 59 (GA FILE NO: WP 3820)



- WOOD SIDING

- (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA D1 2x4
- FILE NO.) - 1/2" AIR GAP
- 2X WOOD STUDS @ 24" O.C. (U.O.N. S.S.D.)
- 3 1/2" GLASS FIBER INSULATION IN STUD CAVITY
- (2) LAYERS OF 5/8" TYPE 'X' GYP. BD.(INSTALLED PER GA D6 3x4
- FILE NO.)



INT. NOISE SENSITIVE PARTITION 2-HR STC 55 TO 59(GA FILE NO: WP 3825)

STUD SIZES:

D3 2x8

D4 2x10

D5 2x12

2x6

D2

- (1) LAYER OF 1" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.) - CONTINUOUS 1 1/2" GLASS FIBER INSULATION IN STUD CAVITY - (2) LAYER OF 1/2" TYPE 'X' GYP. BD.(INSTALLED PER GA FILE NO.)



SHAFT WALL 2-HR (GA FILE NO: WP 7051)

