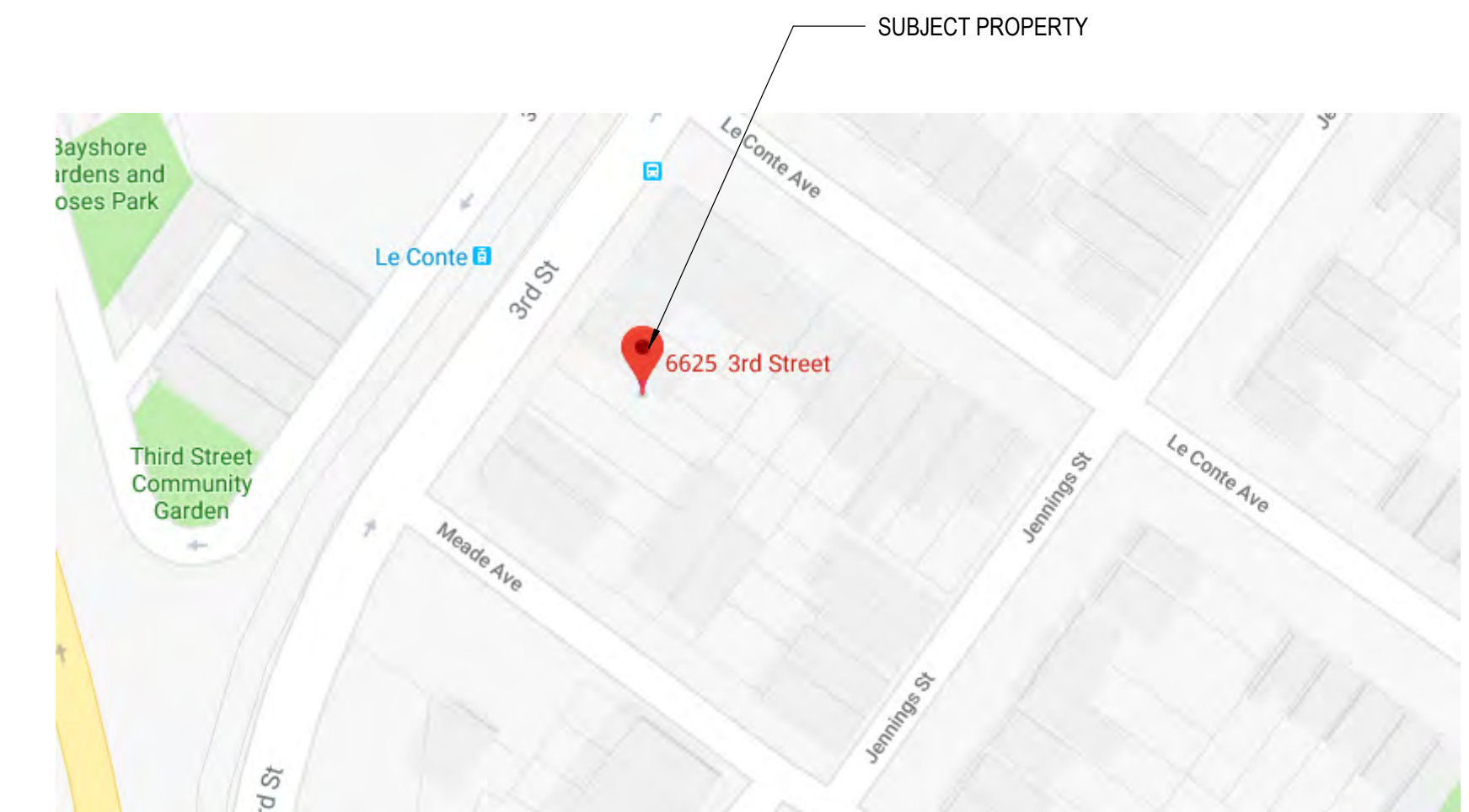


6625 3RD STREET

A NEW 3-UNIT RESIDENTIAL STRUCTURE



LOCATION MAP



km
kerman
morris
architects llp

139 Noe Street
San Francisco, CA
94114
415.749.0302

Revisions

R1	10/23/2019

6625 3RD STREET

SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

3RD STREET PROPERTIES, LLC

NOTICE

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OWNER: 3RD STREET PROPERTIES, LLC
520 Frederick St. #48, San Francisco, CA, 94117 T: 916 343 1050

PROJECT ADDRESS: SAN FRANCISCO, CA 94124

PARCEL: 5016 / 019

ZONING DISTRICT: RM-1 / 40-X

OCCUPANCY GROUP: R-2

CONSTRUCTION TYPE: V-A, FULLY SPRINKLERED UNDER SEPARATE PERMIT

ARCHITECT: KERMAN MORRIS ARCHITECTS
139 NOE STREET
SAN FRANCISCO, CA 94114
T: (415) 749-0302
TOBY@KERMANMORRIS.COM

PREVAILING CODES & REGULATIONS

- 2016 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 GREEN BUILDING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA ENERGY CODE
- SAN FRANCISCO PLANNING CODE

DESCRIPTION OF WORK

THE PROPOSED SCOPE OF WORK CONSISTS OF THE CONSTRUCTION OF A NEW 3 STORY PLUS MEZZANINE 3-UNIT RESIDENTIAL BUILDING OVER GARAGE ON A VACANT LOT. THE PROPOSED BUILDING WILL BE A 4 STORIES OF TYPE V-A CONSTRUCTION OVER BASEMENT. PROJECT IS CODE COMPLIANT. NO VARIANCES REQUIRED.

COVER SHEET

DATE 08/09/2019

SCALE As indicated

DRAWN BY YZ

CHECKED BY TM

JOB NO. 1807

G0.01

SITE PERMIT

08/09/2019
Rev. 10/23/2019

SFDBI BPA#: 201901311731

SPRINKLERS UNDER SEPARATE PERMIT

GENERAL LEGEND

- BUILDING / WALL SECTION
- EXTERIOR ELEVATION
- COLUMN LINE
- ELEVATION MARKER
- CENTER LINE
- PROPERTY LINE
- WALL TYPE PARTITION
- KEYNOTE
- SHEET NOTE
- DOOR TAG

GROSS AREA

LEVEL	AREA
BASEMENT	1527 SF
LEVEL 1	1607 SF
LEVEL 2	1440 SF
LEVEL 3	1268 SF
LEVEL 4	356 SF
	6198 SF

UNIT MIX

LEVEL	NAME	BEDROOMS	BATHROOMS	AREA
LEVEL 1	UNIT 1	2 + DEN	2.5	1099 SF
LEVEL 2	UNIT 2	2 + DEN	2.5	1148 SF
LEVEL 3 & LEVEL 4	UNIT 3	3	3	1160 SF
				3407 SF

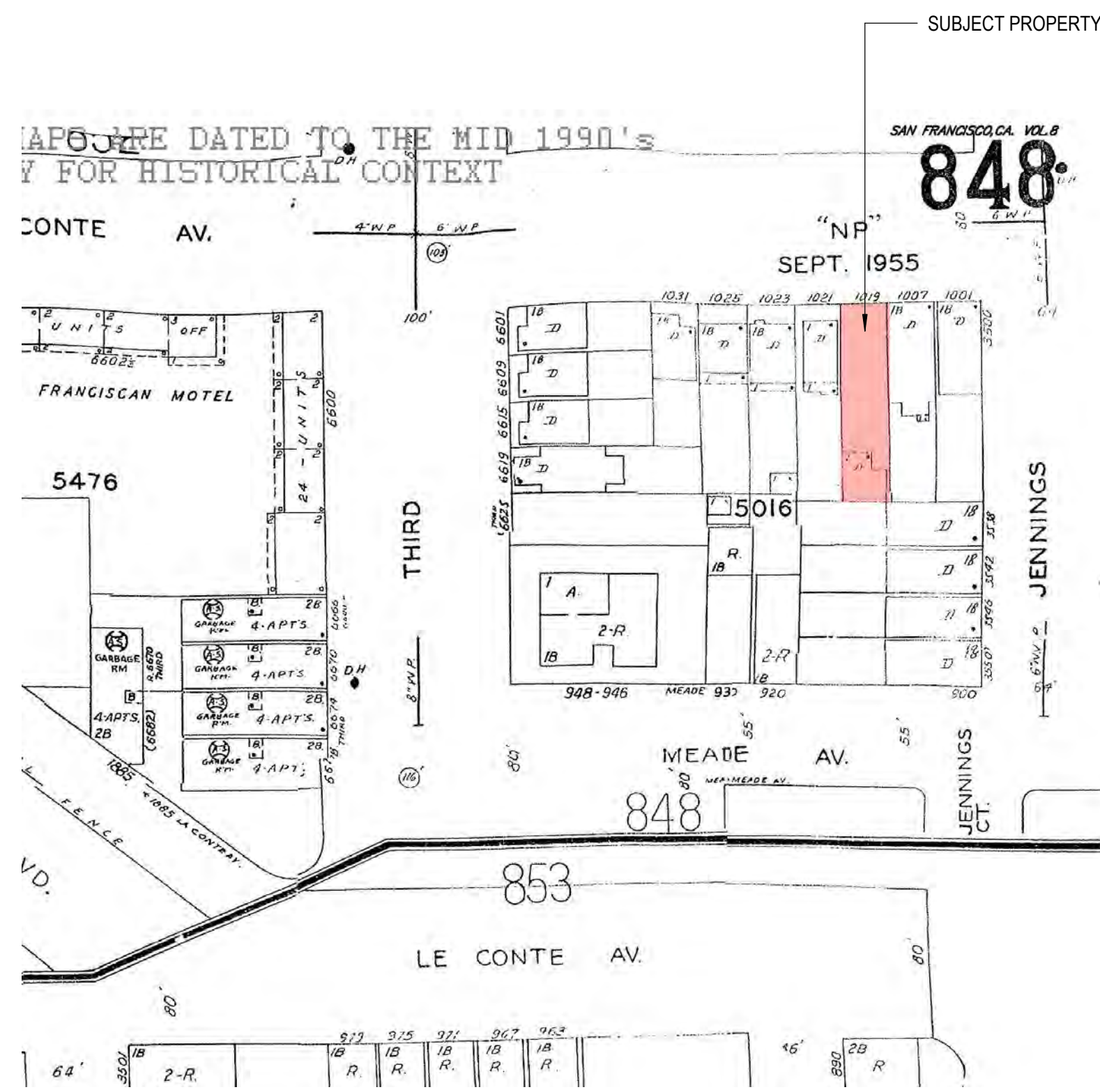
OPEN SPACE

UNIT	PRIVATE OPEN SPACE	
	AREA PROVIDED	AREA REQUIRED
UNIT 1	PRIVATE DECK: 250 SF	100 SF
UNIT 2	COMMON OPEN SPACE: 400 SF	133 SF
UNIT 3	FRONT PRIVATE DECK: 140 SF	100 SF
UNIT 3	REAR PRIVATE DECK: 360 SF	100 SF

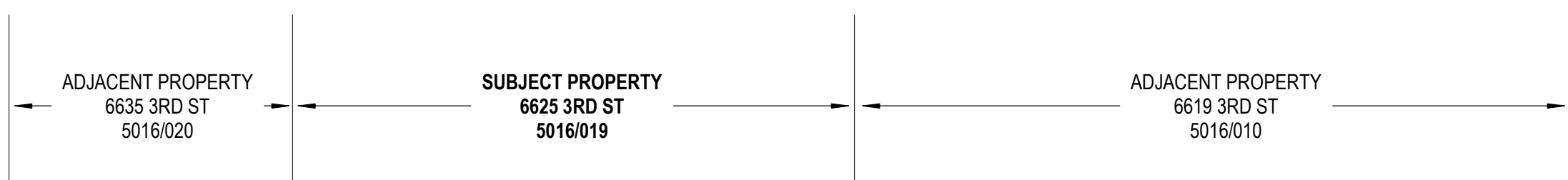
SHEET INDEX

- G0.01 COVER SHEET
- G0.02 ABBREVIATIONS, SYMBOLS, & ZONING COMPLIANCE
- G0.04 SITE PHOTOS
- G0.05 SITE SURVEY
- G0.06 MASSING IMAGES
- G0.07 FIRE AND LIFE SAFETY PLANS
- G0.10 GREENPOINT RATED CHECKLIST
- A1.01 SITE PLAN
- A2.01 FLOOR PLANS
- A2.02 FLOOR PLANS
- A2.03 FLOOR PLANS
- A2.04 FLOOR PLANS
- A5.01 EXTERIOR ELEVATIONS
- A5.02 EXTERIOR ELEVATIONS
- A5.03 EXTERIOR ELEVATIONS
- A5.04 EXTERIOR ELEVATIONS
- A7.01 BUILDING SECTIONS THROUGH BAY
- A7.02 BUILDING SECTIONS THROUGH STAIRCASE
- A8.01 WINDOW DETAILS
- A10.01 WALL PARTITIONS

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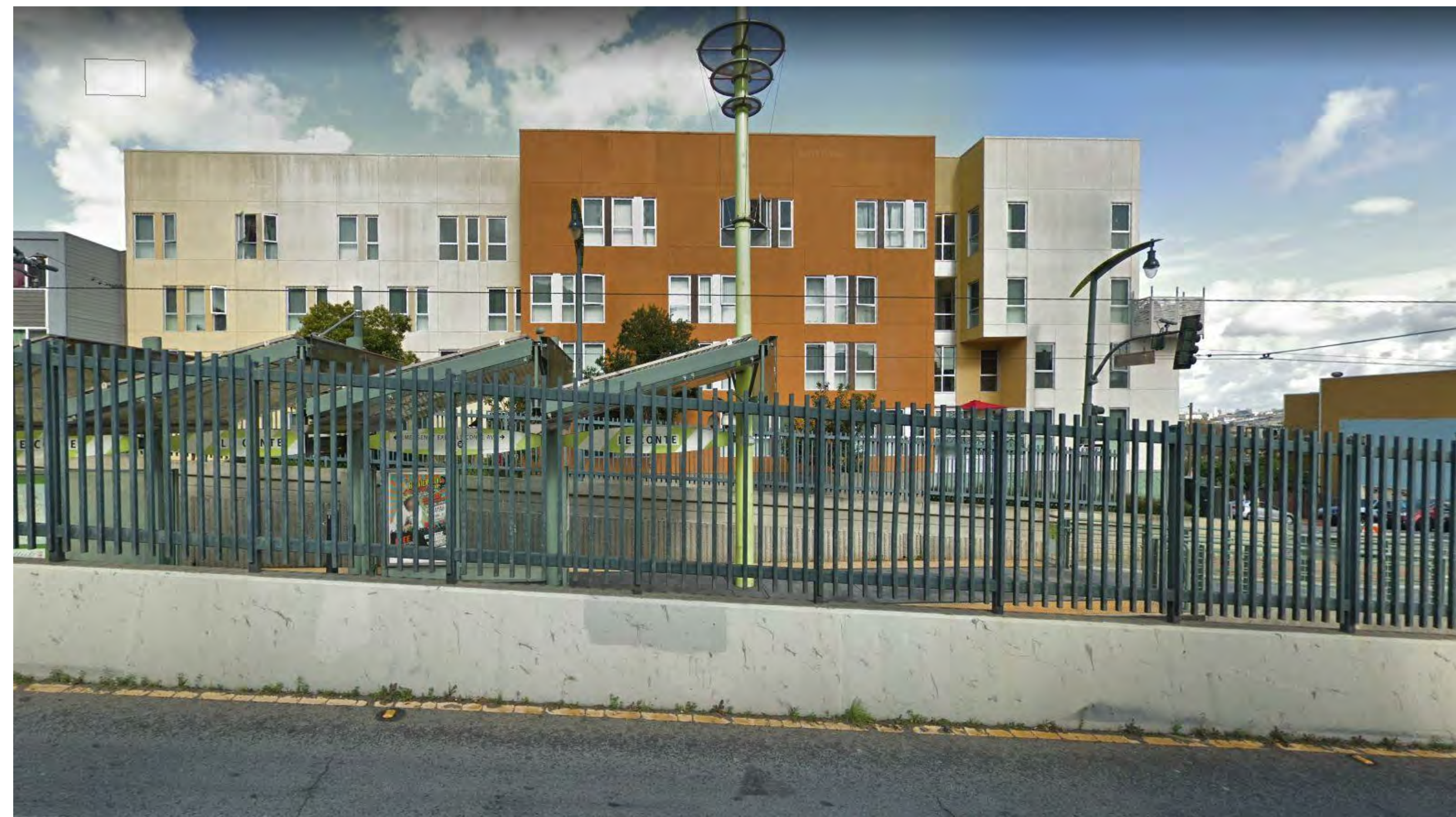
SANBORN MAP



VIEW FROM BACK OF THE LOT



STREET VIEW ON THE SAME SIDE

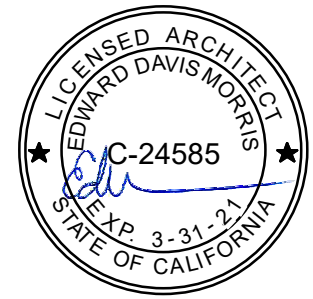


STREET VIEW ACROSS

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6625 3RD STREET
SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

3RD STREET PROPERTIES, LLC

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SITE PHOTOS

DATE 05/15/17

SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1807

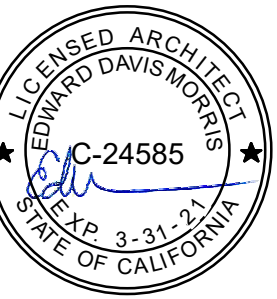
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Revisions
R1 10/23/2019



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SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

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SITE SURVEY

DATE 05/15/17

SCALE

DRAWN BY Author

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JOB NO. 1807

G0.05

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

- 1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR BILL KENNEDY AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFF-SITE OR ON-SITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.
5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAYING OF 5 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 4 ABOVE.
7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

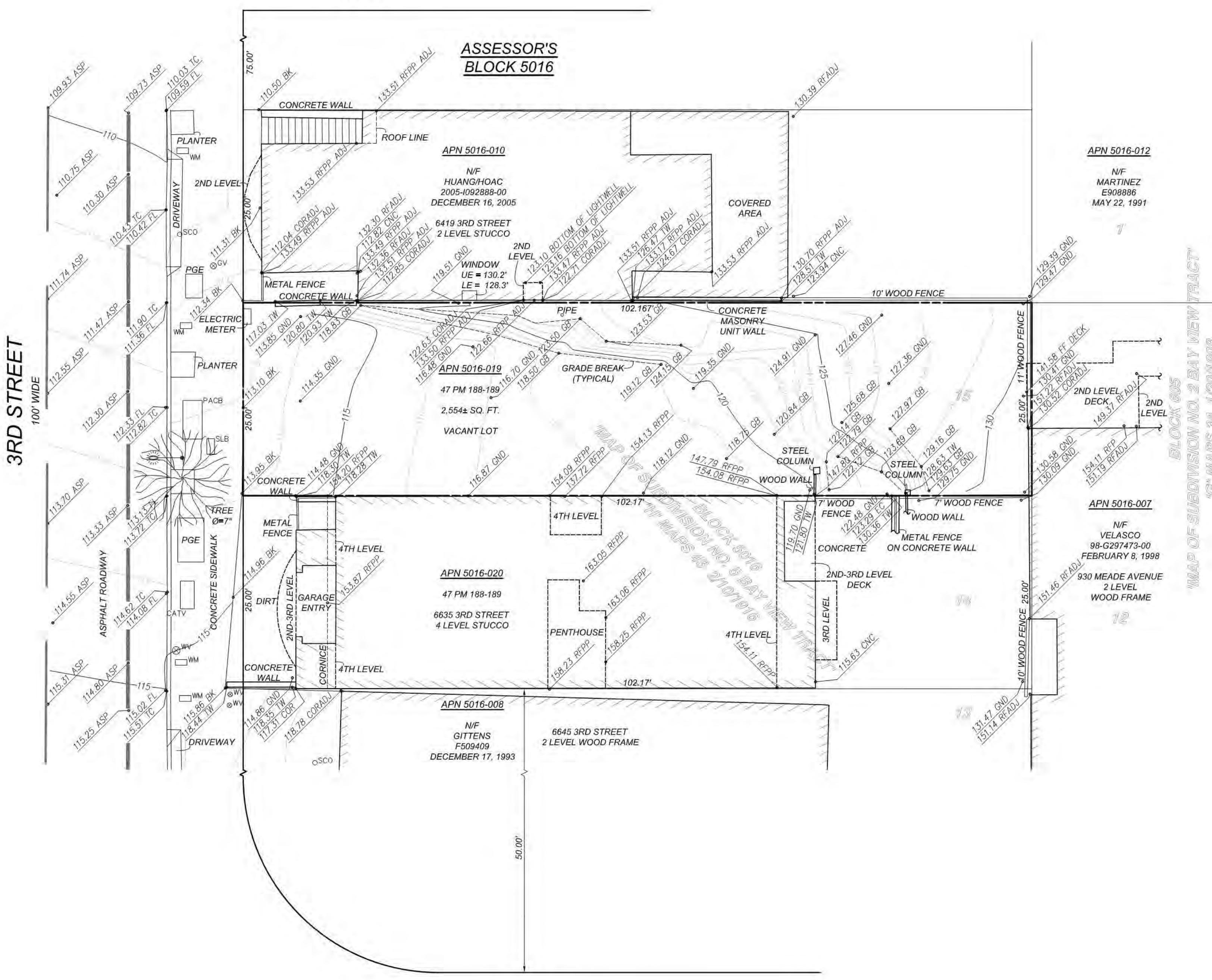
LEGEND

- ADJ ADJACENT BUILDING
APN ASSESSOR'S PARCEL NUMBER
ASP ASPHALT
BK BACK OF WALK
CATV CABLE TELEVISION
CNC CONCRETE
COR CORNER
EC EDGE OF CONCRETE
FF FINISHED FLOOR
FL FLOW LINE
GB GRADE BREAK
GM GAS METER
GND GROUND
GV GAS VALVE
LE LOWERMOST ELEVATION
NF NOW OR FORMERLY
PACB PACIFIC BELL
PGE PACIFIC GAS & ELECTRIC
PM PARCEL MAP
RF ROOF
RFPP ROOF PARAPET
SLB STREET LIGHT BOX
SCO SANITARY SEWER CLEAN OUT/VENT
TC TOP OF CURB
TW TOP OF WALL
UE UPPERMOST ELEVATION
WM WATER METER
WV WATER VALVE

- DIAMETER
STREET LIGHT
PAINT STRIPE
SPOT ELEVATION
TREE

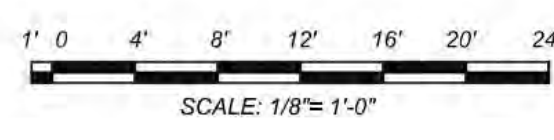
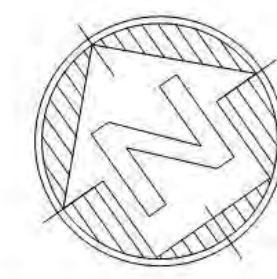
Table with columns: DATE, SCALE, DRAWN BY, CHECKED BY, NO., BY, DATE, REVISIONS. Includes drawing name 2197-19 (2197-19A55) and date FEBRUARY 2019.

LE CONTE AVENUE 80' WIDE



ASSESSOR'S BLOCK 5016

MEADE AVENUE 50' WIDE & VARIES



BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON JANUARY 16, 2019.

SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED: APN 5016-019, RECORDED SEPTEMBER 21, 2015, DOCUMENT NUMBER 2015-K134686.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF MEADE AVENUE AND JENNINGS STREET. ELEVATIONS ARE BASED ON OLD CITY AND COUNTY OF SAN FRANCISCO DATUM, N.E. CORNER 23' NORTH, + CUT N SIDE LOWER CONC STEP. ELEVATION = 155.137'

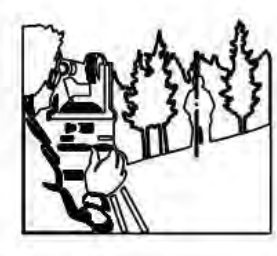
GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

DATE 02-05-19. Signature of Frederick T. Seher. FREDERICK T. SEHER, PLS LICENSE NO. 6216



FREDERICK T. SEHER & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS SURVEYING & MAPPING 841 LOMBARD STREET, SAN FRANCISCO, CA 94133 (415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY ASSESSOR'S PARCEL NUMBER: 5016-019 6625 3RD STREET, SAN FRANCISCO, CA

SHEET 1 OF 1 SHEETS JOB NO.: 2197-19

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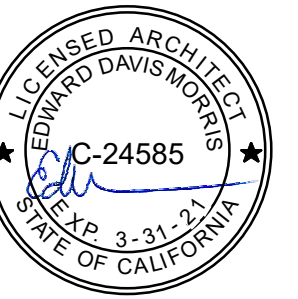


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Revisions

R1 10/23/2019



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MASSING IMAGES

DATE 05/15/17

SCALE

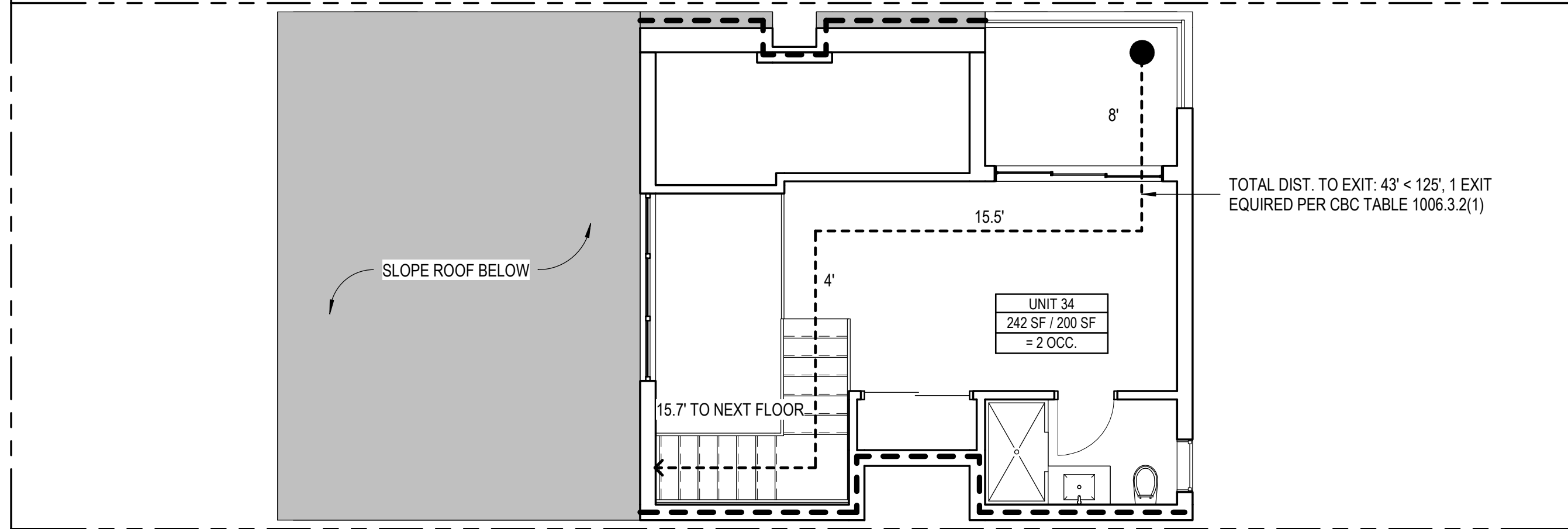
DRAWN BY Author

CHECKED BY Checker

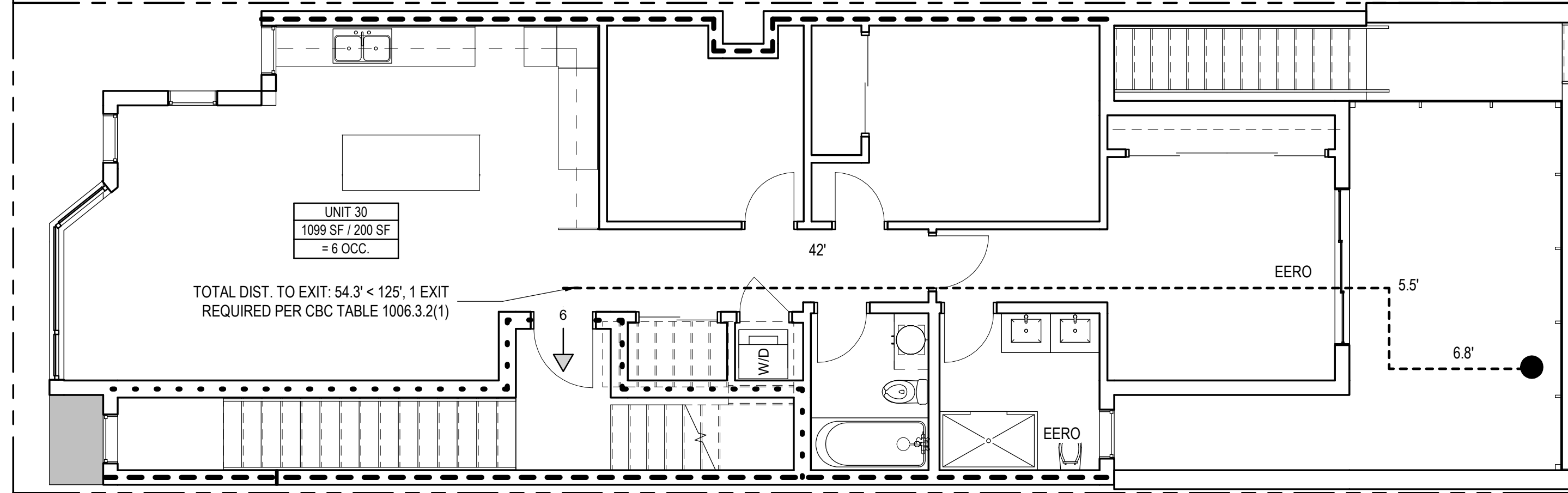
JOB NO. 1807

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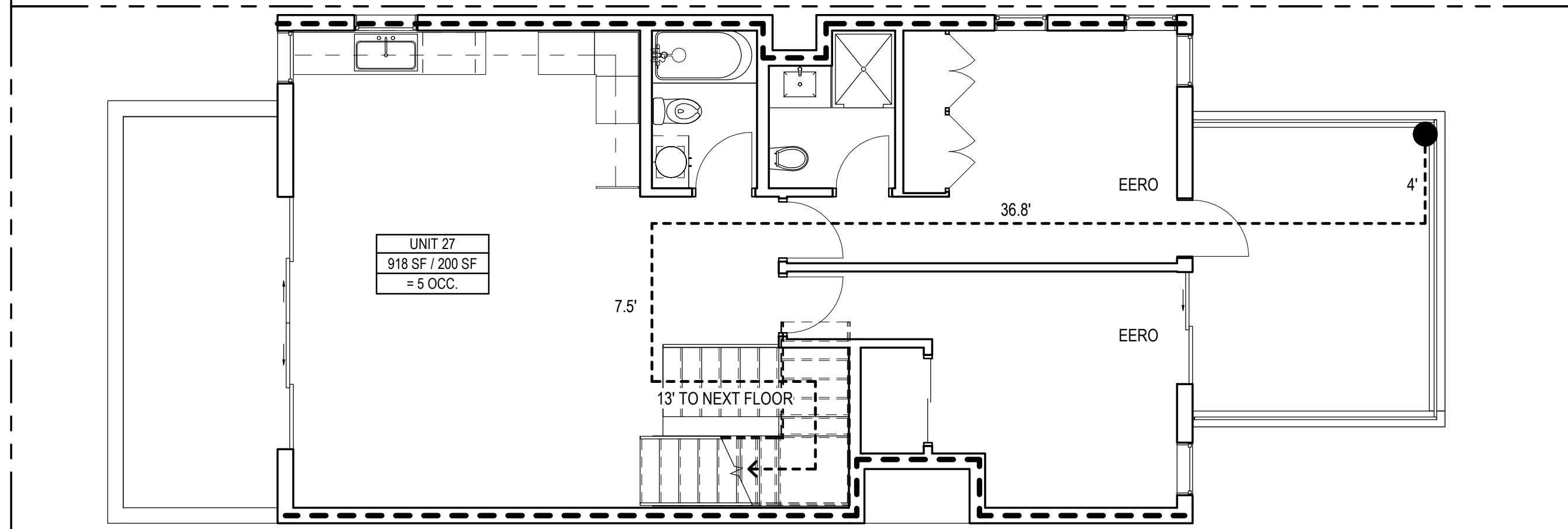
C:\Users\jmorris\Documents\1807_6625 3RD ST_2019_20190808_PCL_2\LAYOUTS\MEZZANINE_FLOOR_LIFE_SAFETY_PLAN.dwg



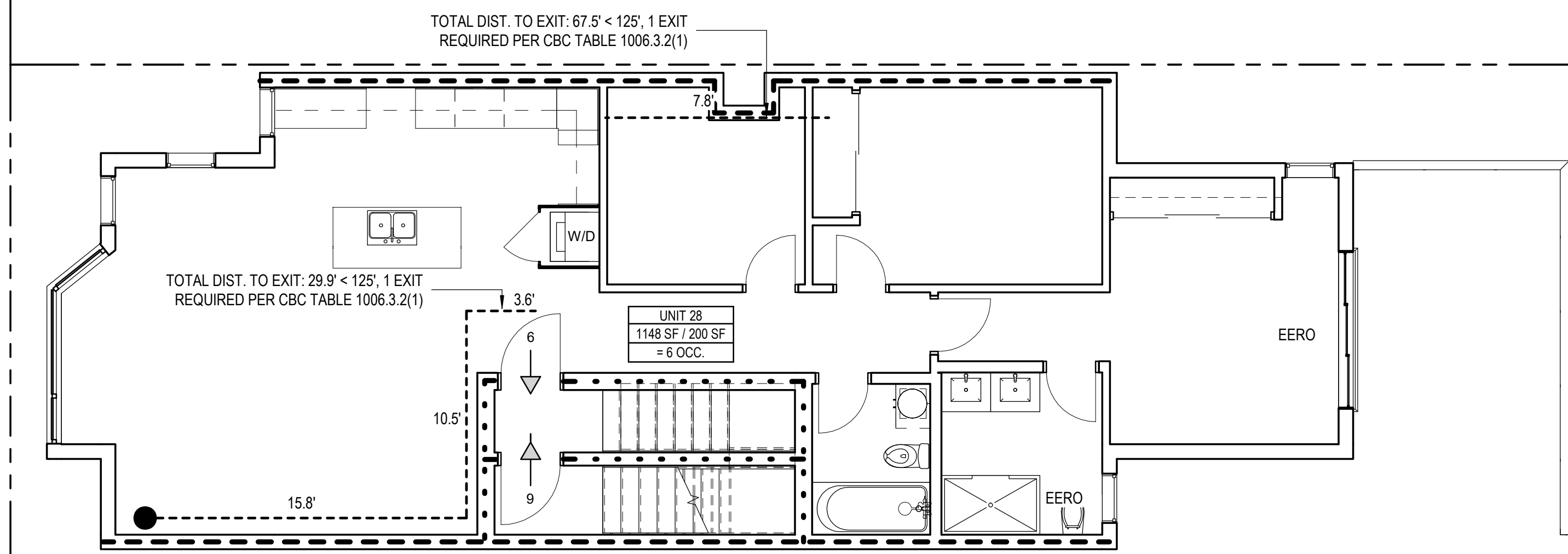
4 MEZZANINE FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



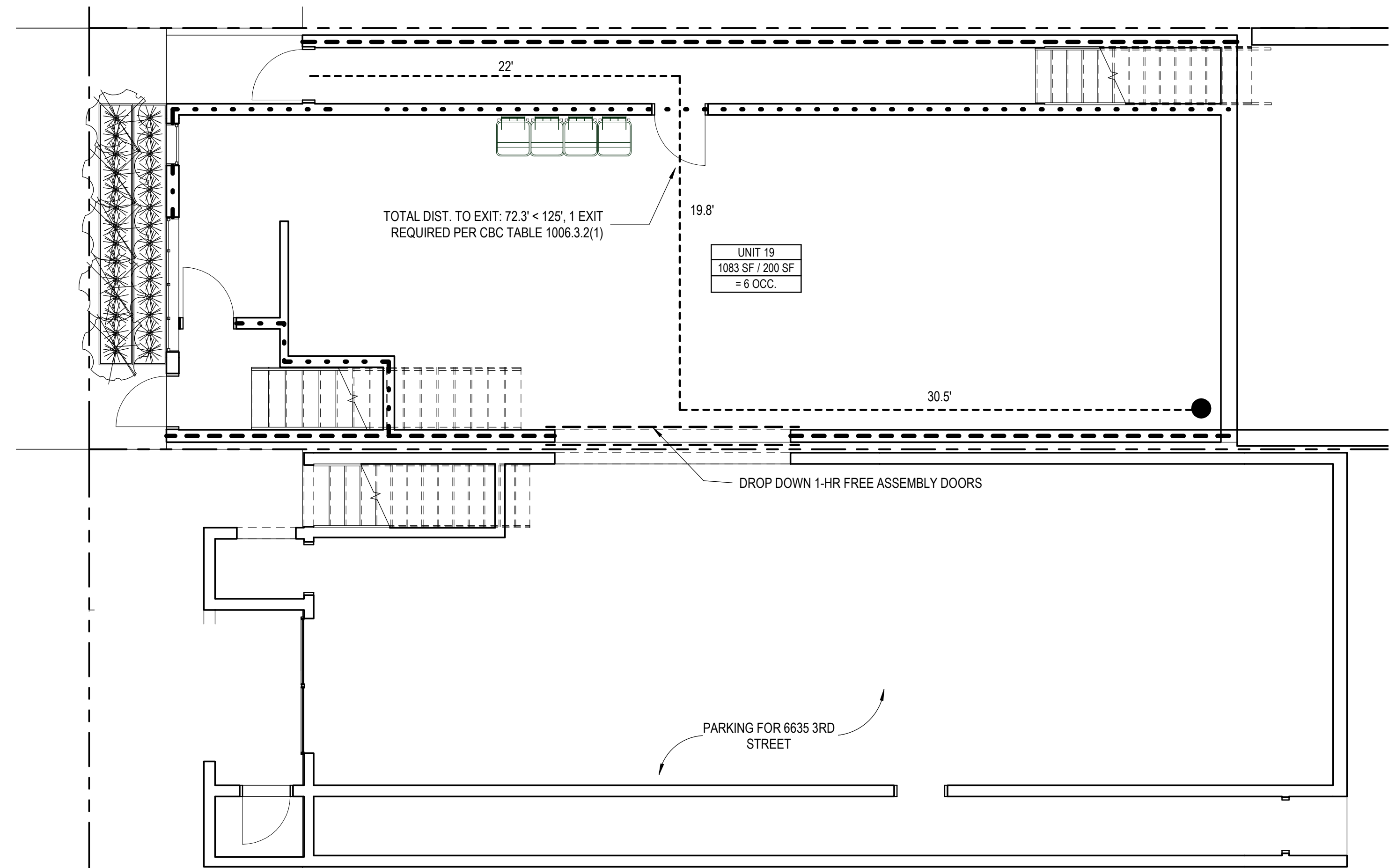
1 FIRST FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



3 THIRD FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



2 SECOND FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



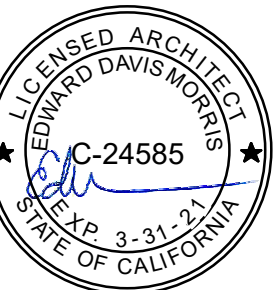
5 BASEMENT LIFE SAFETY PLAN
3/16" = 1'-0"



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Revisions

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FIRE AND LIFE SAFETY PLANS

DATE 09/27/18

SCALE 3/16" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1807

G0.07

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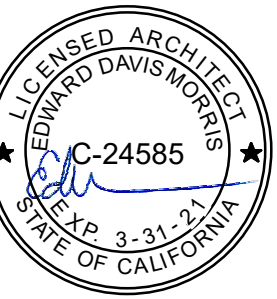
GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

Form version: October 11, 2017 (For permit applications January 2017 - December 2019)



Revisions

R1	10/23/2019



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GREENPOINT RATED CHECKLIST

DATE 05/15/17

SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1807

G0.10

INSTRUCTIONS:				OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	VERIFICATION
1. Fill out the project information in the Verification box at the right. 2. Submittal must be a minimum of 11" x 17". 3. This form is for permit applications submitted January 2017 through December 2019. The prior version may be submitted until January 1, 2018.				adds any amount of conditioned area, volume, or size	Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.
TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT	if applicable		
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	•	
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•	
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	•	
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	•	
	MOISTURE CONTENT	CALGreen 4.505.3	Wall + floor <19% moisture content before enclosure.	•	
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	•	
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	•	
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec.12A10	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10.	•	
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.	•	
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.	•	
PARKING	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.	if applicable	
WASTE DIVERSION	RECYCLING BY OCCUPANTS	SF Building Code AB-088	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials.	•	
	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate.	•	
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained in best practices.	•	
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	•	
GOOD NEIGHBOR	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•	
	TOBACCO SMOKE CONTROL	Health Code art.19F	Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•	
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if project extends outside envelope	
	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope	
INDOOR ENVIRONMENTAL QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent HVAC ducts/equipment stored onsite before installation.	•	

FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY

Each fixture must not exceed CALGreen 4.303 maximum flow rates:

FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE
Showerheads ²	2 gpm @ 80 psi
Lavatory Faucets: residential	1.2 gpm @ 60 psi
Kitchen Faucets	1.8 gpm @ 60 psi default
Wash Fountains	1.8 gpm / 20 [rim space (inches) @ 60 psi]
Metering Faucets	.20 gallons per cycle
Tank-type water closets	1.28 gallons / flush ¹ and EPA WaterSense Certified
Flushometer valve water closets	1.28 gallons / flush ¹
Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush

Water Efficiency of Existing Non-Compliant Fixtures

All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDDBI.org.

NON-COMPLIANT PLUMBING FIXTURES INCLUDE:

- Any toilet manufactured to use more than 1.6 gallons/flush
- Any urinal manufactured to use more than 1 gallon/flush
- Any showerhead manufactured to have a flow capacity of more than 2.5 gpm
- Any interior faucet that emits more than 2.2 gpm

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

NOTES:

- For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L)
- The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1)

GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #)

FIRM

I am a LEED Accredited Professional

I am a GreenPoint Rater

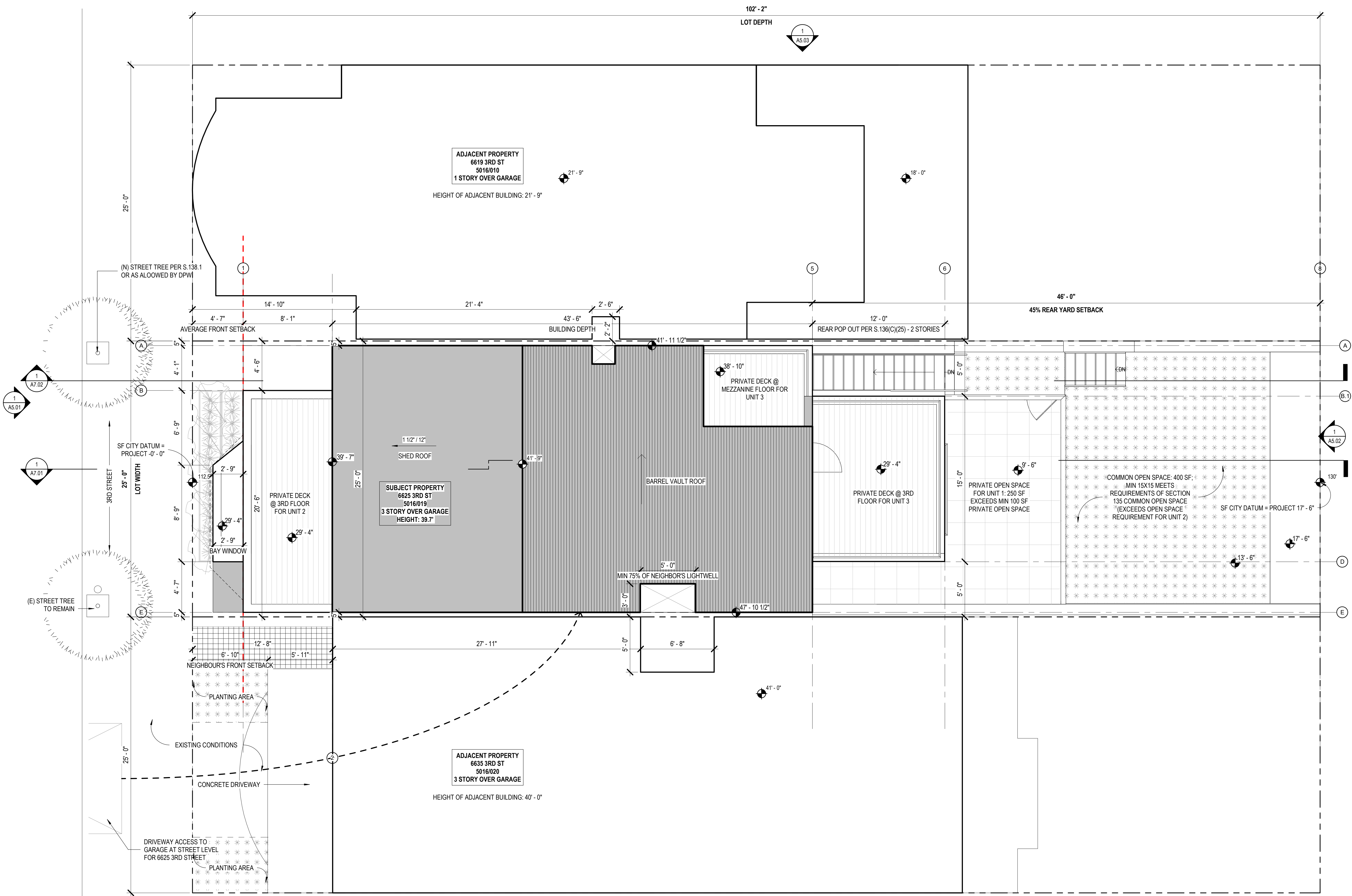
I am an ICC Certified CALGreen Inspector

GREEN BUILDING COMPLIANCE PROFESSIONAL (sign & date)

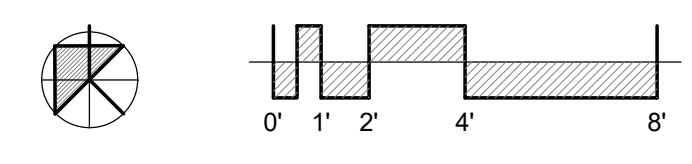
Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.

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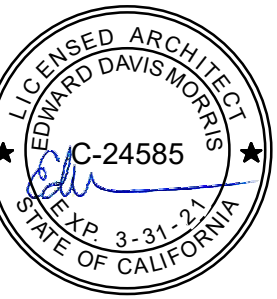


1 PROPOSED SITE PLAN
1/4" = 1'-0"



Revisions

R1	10/23/2019



6625 3RD STREET
SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

3RD STREET PROPERTIES, LLC

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SITE PLAN

DATE 12/14/18

SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1807

A1.01





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GENERAL NOTES

1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
2. V.I.F. ALL (E) DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCIES
3. ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS

PARTITION LEGEND

-  1 - HR RATED PARTITION
-  2 - HR RATED PARTITION
-  (N) PARTITION
-  (N) CONCRETE WALL

SHEET NOTES

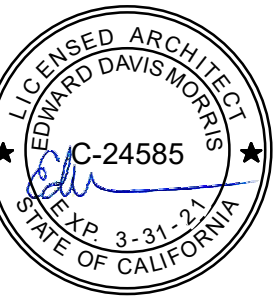
* Tag Identified with Hexagonal Symbol

- | TAG* | NOTE |
|------|---|
| 1 | RATED DOOR WITH CLOSER, LATCH, AND SMOKE SEAL
• 45-MIN AT 1-HR ENCLOSURE
• 90-MIN AT 2-HR ENCLOSURE |
| 2 | COMMON STAIR: MAX. RISER HEIGHT OF 7" AND MINIMUM TREAD DEPTH OF 11" (PER CBC 1011.5.2), MINIMUM HEADROOM 80" (PER CBC 1011.3) |
| 3 | PRIVATE STAIR: MAX RISER HEIGHT OF 7 3/4" AND MINIMUM TREAD DEPTH OF 10" (PER CBC 1011.5.2 EXCEPTION #3) MINIMUM HEADROOM 80" (PER CBC 1011.3) |
| 4 | GUARDRAIL MIN. 42" A.F.F. WITH 4" MAX OPENINGS (PER CBC 1015.3 & 1015.4). GUARDRAIL SHALL BE 1-HR RATED CONSTRUCTION AT PROPERTY LINE CONDITION |
| 5 | HANDRAIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014) |



Revisions

Rev	Date	Description
R1	10/23/2019	



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SAN FRANCISCO, CA 94124

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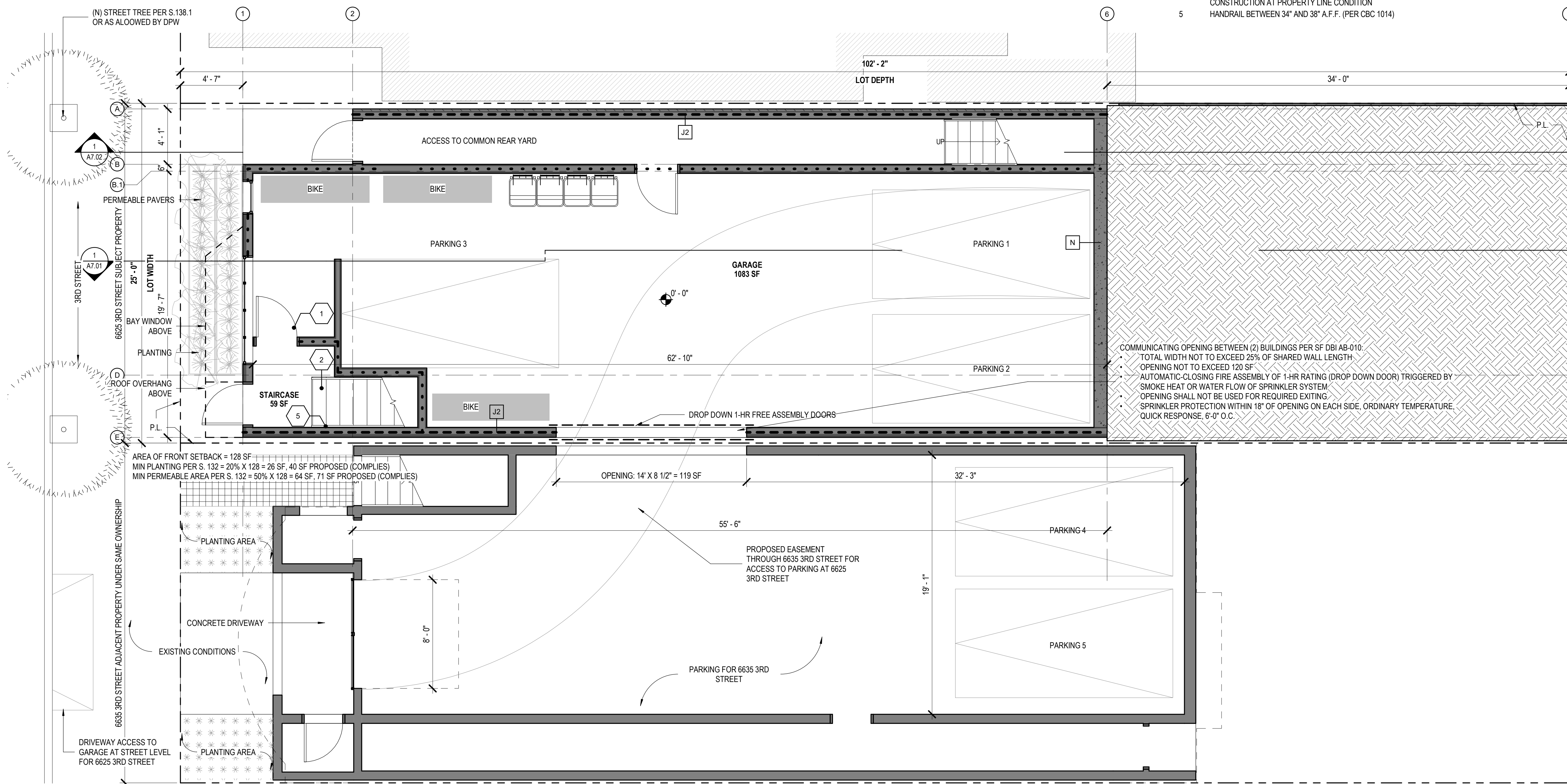
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FLOOR PLANS

DATE	12/14/18
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1807

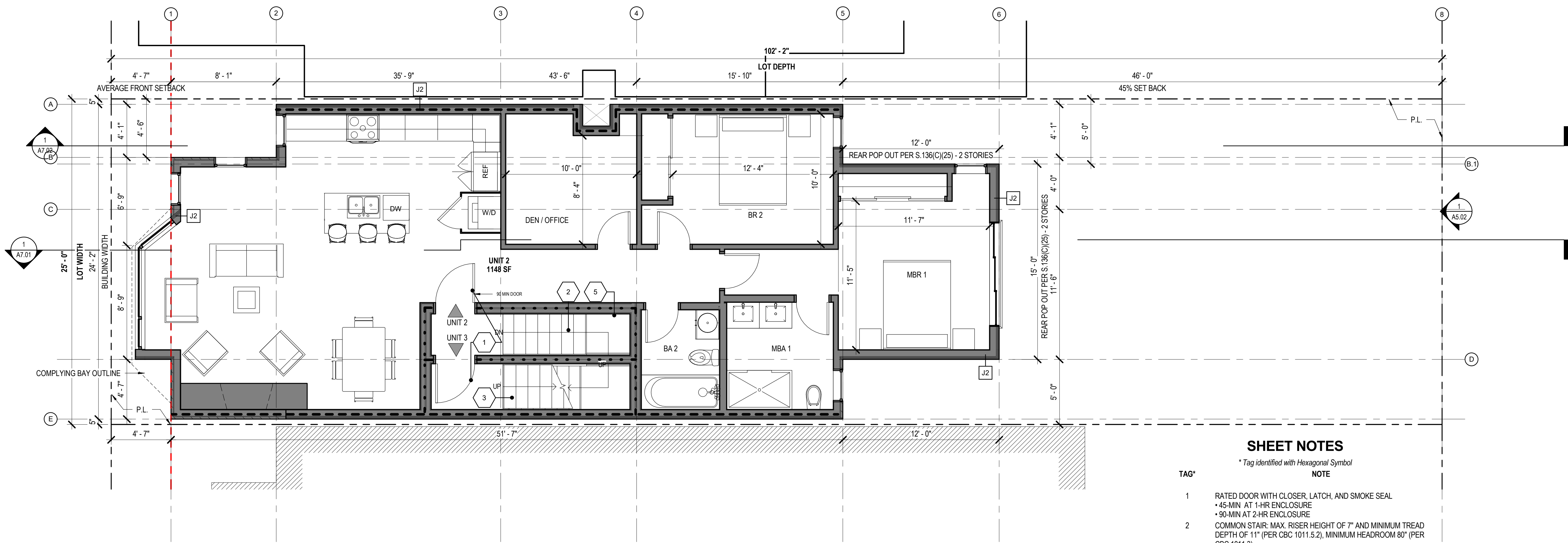
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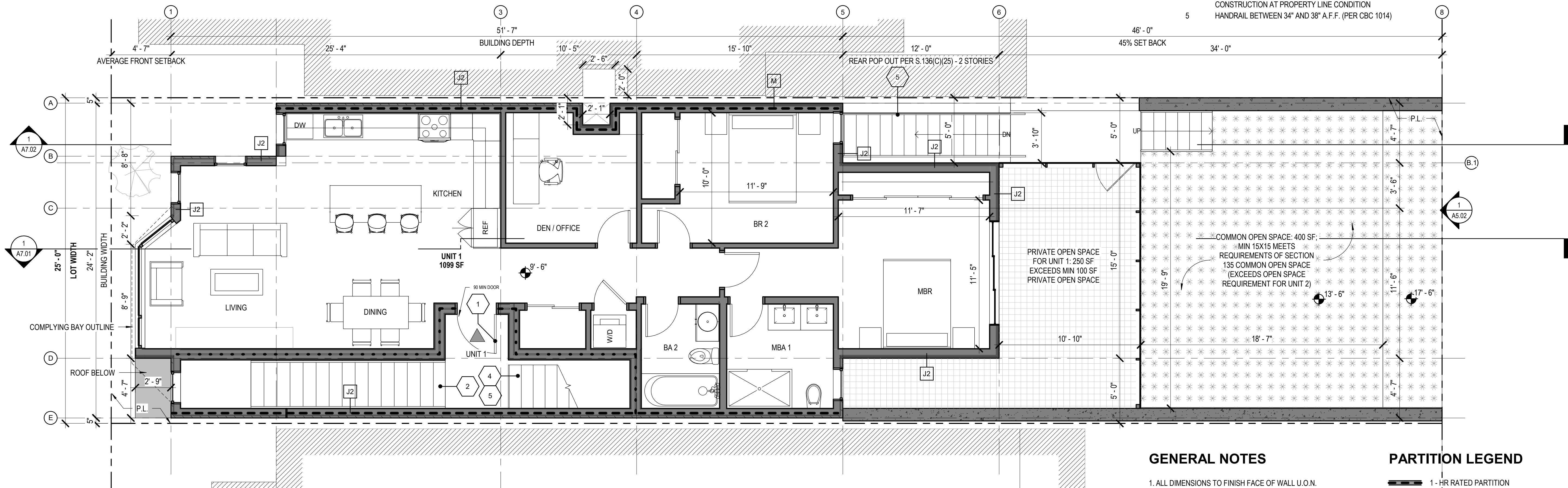
1 BASEMENT/GRAGE LEVEL
1/4" = 1'-0"

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2 SECOND FLOOR PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

- SHEET NOTES**
* Tag identified with Hexagonal Symbol
- | TAG* | NOTE |
|------|---|
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PARTITION LEGEND

- 1 - HR RATED PARTITION
- 2 - HR RATED PARTITION
- (N) PARTITION
- (N) CONCRETE WALL



Revisions
R1 10/23/2019



6625 3RD STREET
SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

3RD STREET PROPERTIES, LLC

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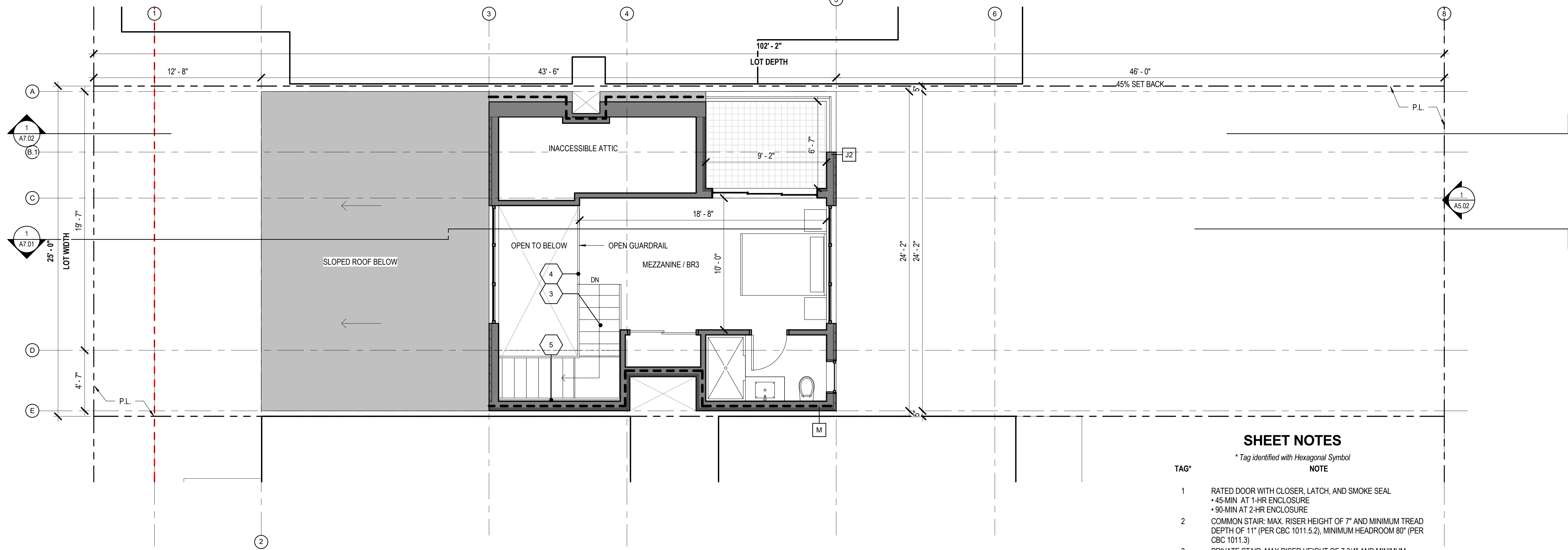
FLOOR PLANS

DATE	08/09/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1807

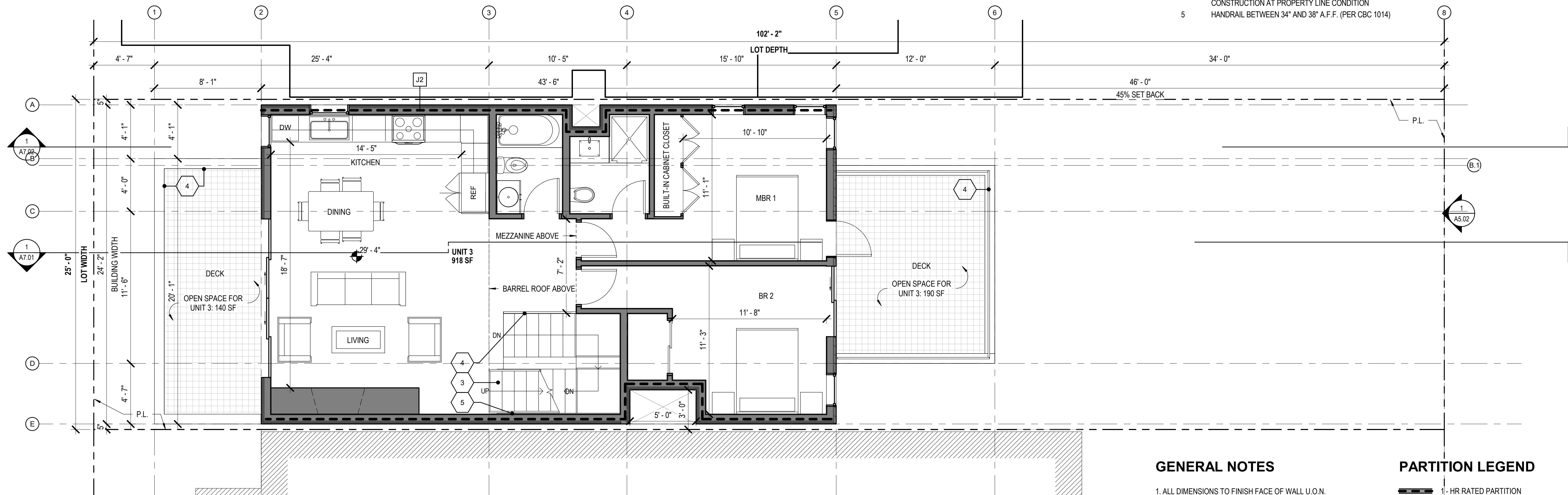
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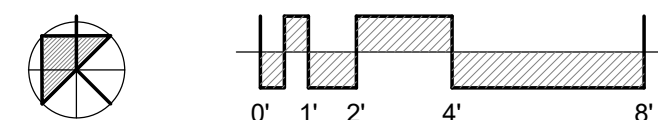
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2 MEZZANINE LEVEL PLAN
1/4" = 1'-0"



1 THIRD FLOOR PLAN
1/4" = 1'-0"



- SHEET NOTES**
* Tag identified with Hexagonal Symbol
- | TAG* | NOTE |
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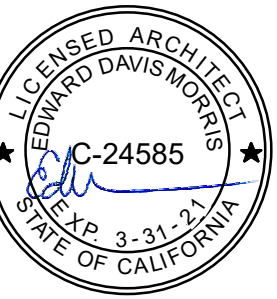
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- PARTITION LEGEND**
- 1 - HR RATED PARTITION
 - 2 - HR RATED PARTITION
 - (N) PARTITION
 - (N) CONCRETE WALL



Revisions

R1	10/23/2019
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A NEW 3-UNIT RESIDENTIAL STRUCTURE

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FLOOR PLANS

DATE 12/14/18

SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1807

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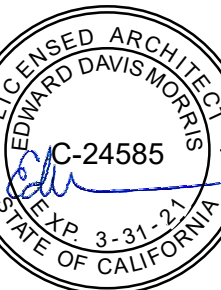
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km
kerman
morris
architects llp
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San Francisco, CA
94114
415.749.0302

Revisions

R1 10/23/2019



6625 3RD STREET
SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

3RD STREET PROPERTIES, LLC

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FLOOR PLANS

DATE 05/31/19

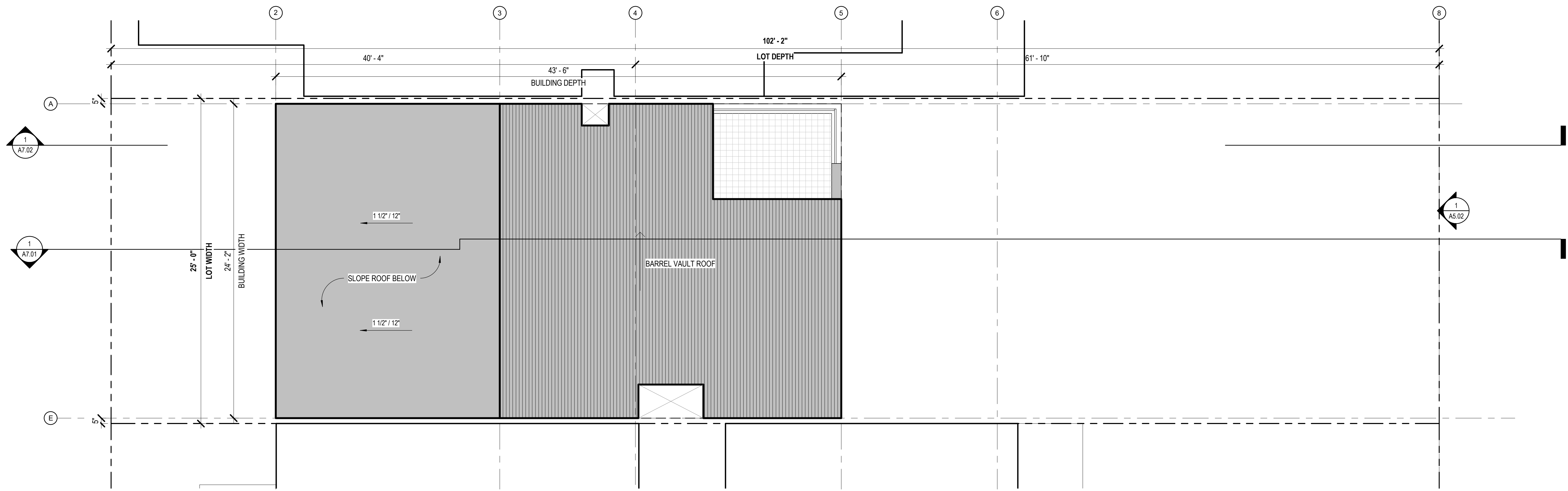
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DRAWN BY Author

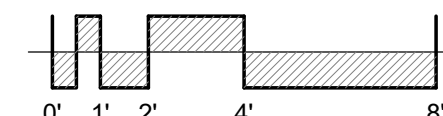
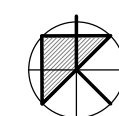
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JOB NO. 1807

A2.04



1 ROOF PLAN
1/4" = 1'-0"



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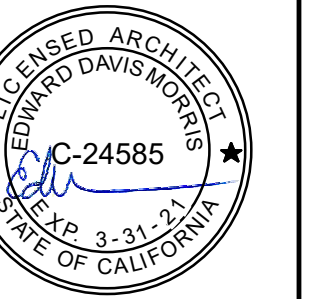
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Revisions

R1 10/23/2019



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A NEW 3-UNIT RESIDENTIAL STRUCTURE

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EXTERIOR ELEVATIONS

DATE 05/15/17

SCALE As indicated

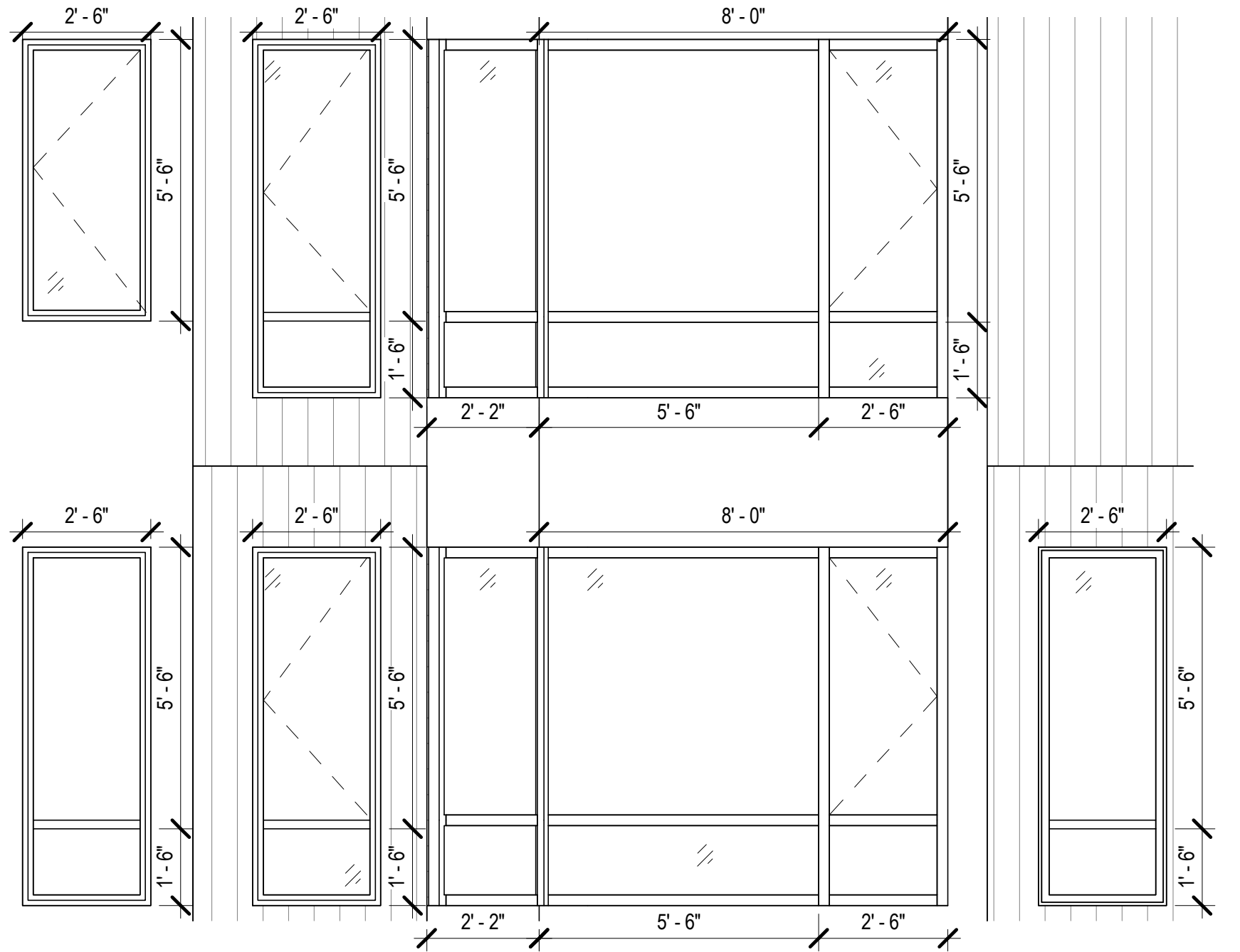
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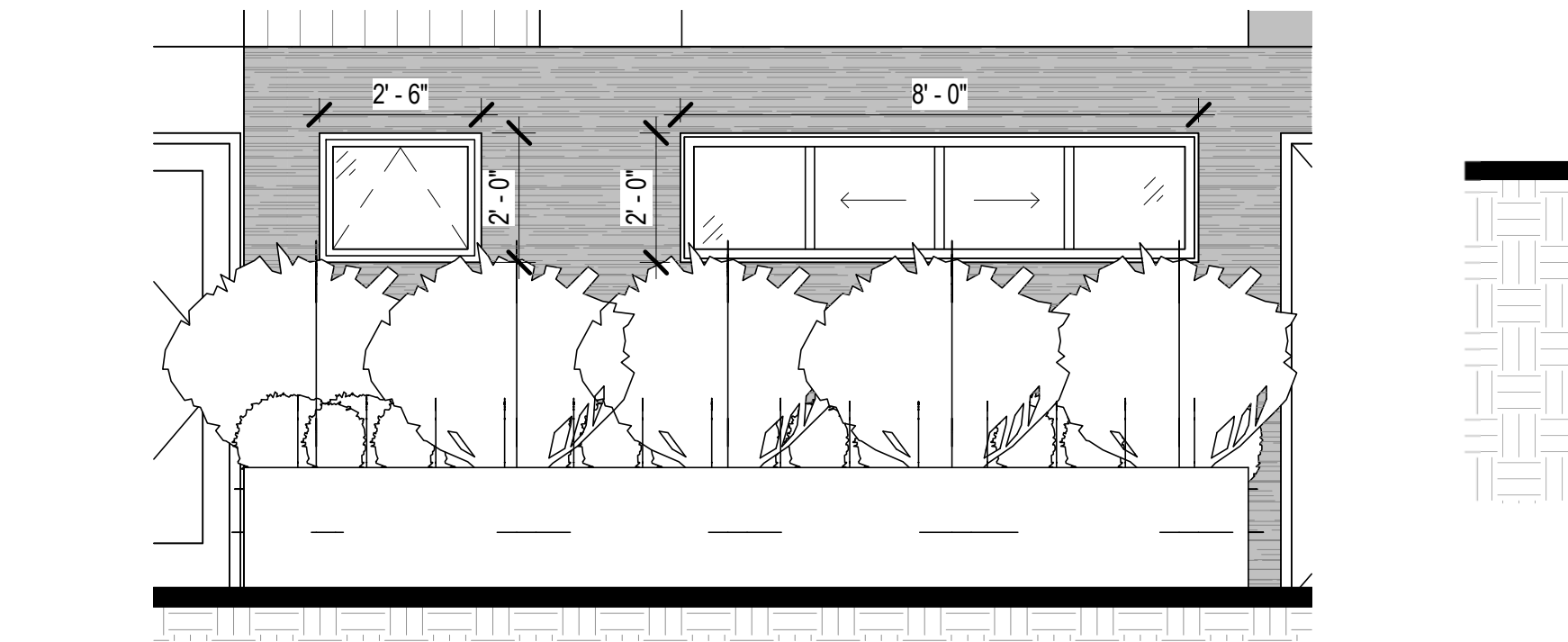
JOB NO. 1807

A5.01

4 PROPOSED ENLARGED ELEVATION - WEST / FRONT - CALLOUT 3
3/8" = 1'-0"



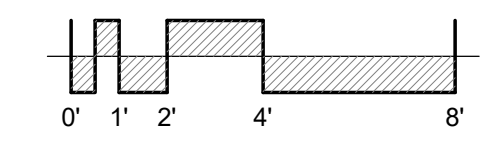
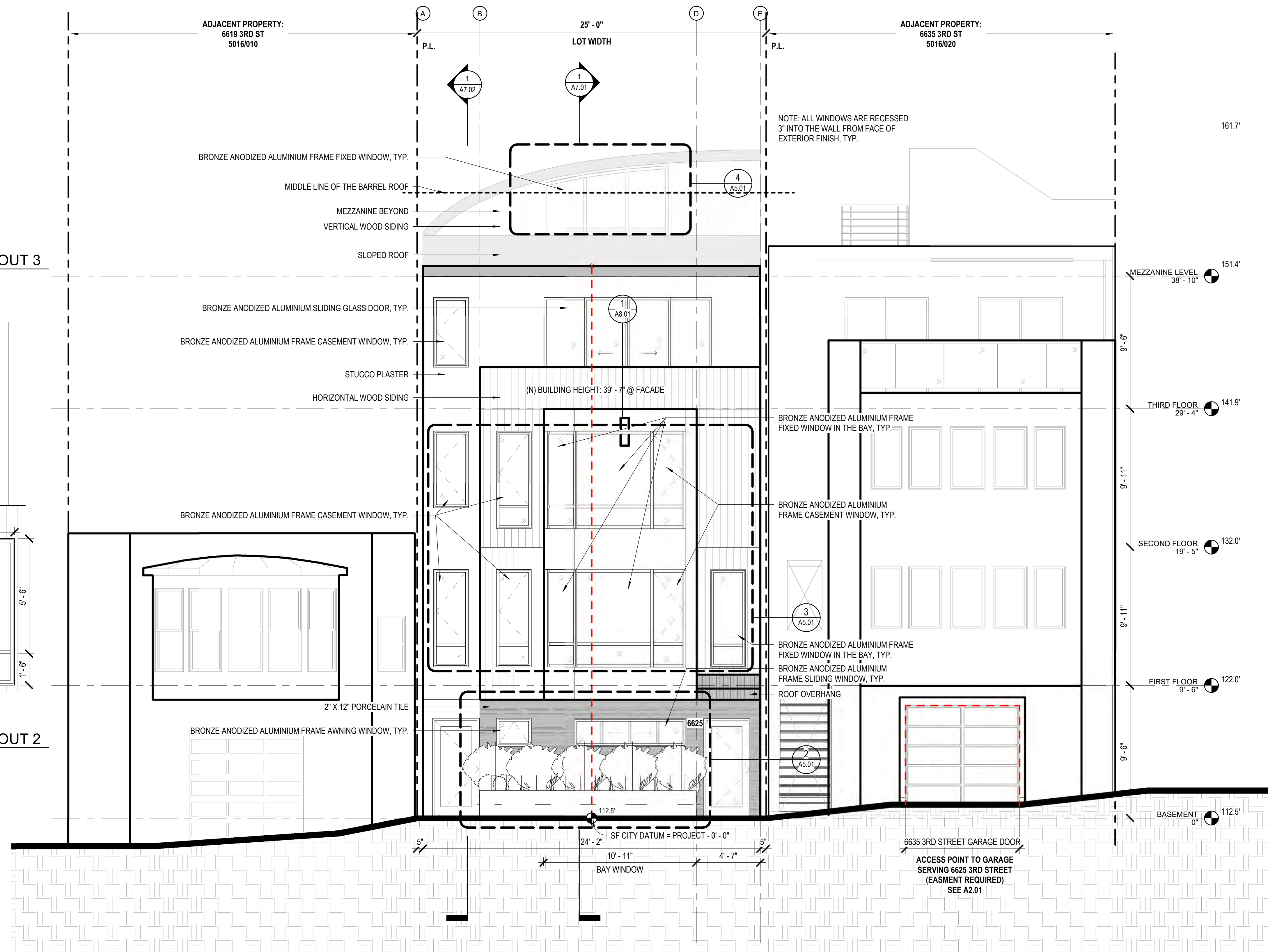
3 PROPOSED ENLARGED ELEVATION - WEST / FRONT - CALLOUT 2
3/8" = 1'-0"



2 PROPOSED ENLARGED ELEVATION - WEST / FRONT - CALLOUT 1
3/8" = 1'-0"



1 PROPOSED ELEVATION - WEST / FRONT
1/4" = 1'-0"



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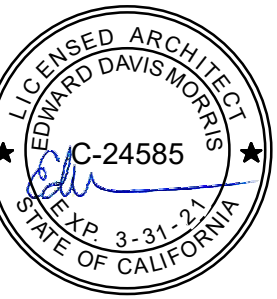
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94114
415.749.0302

Revisions

R1	10/23/2019



6625 3RD STREET
SAN FRANCISCO, CA 94124

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EXTERIOR ELEVATIONS

DATE 12/18/18

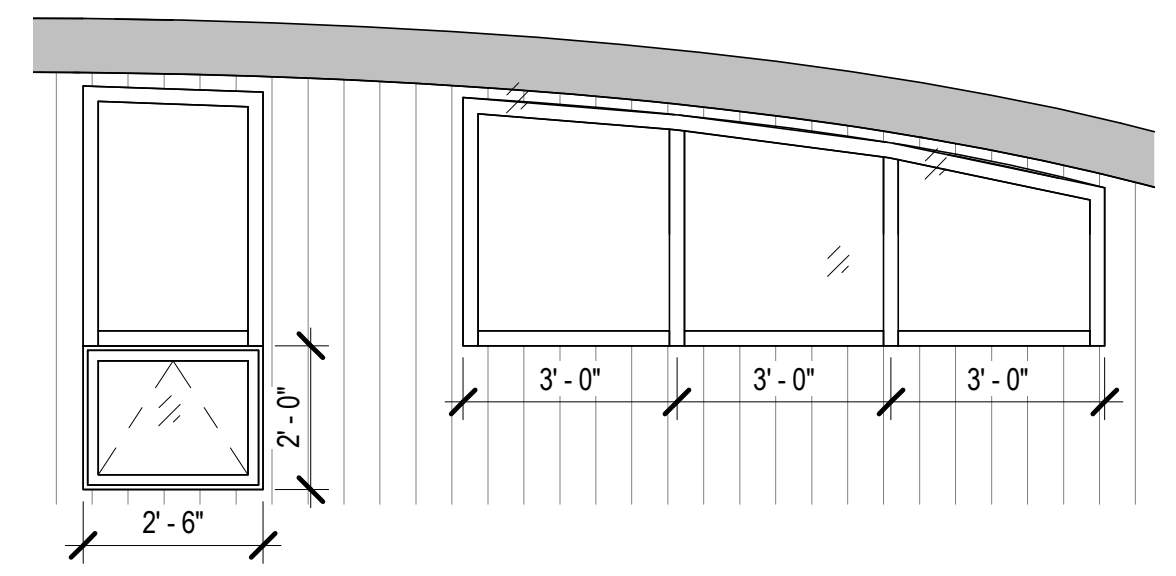
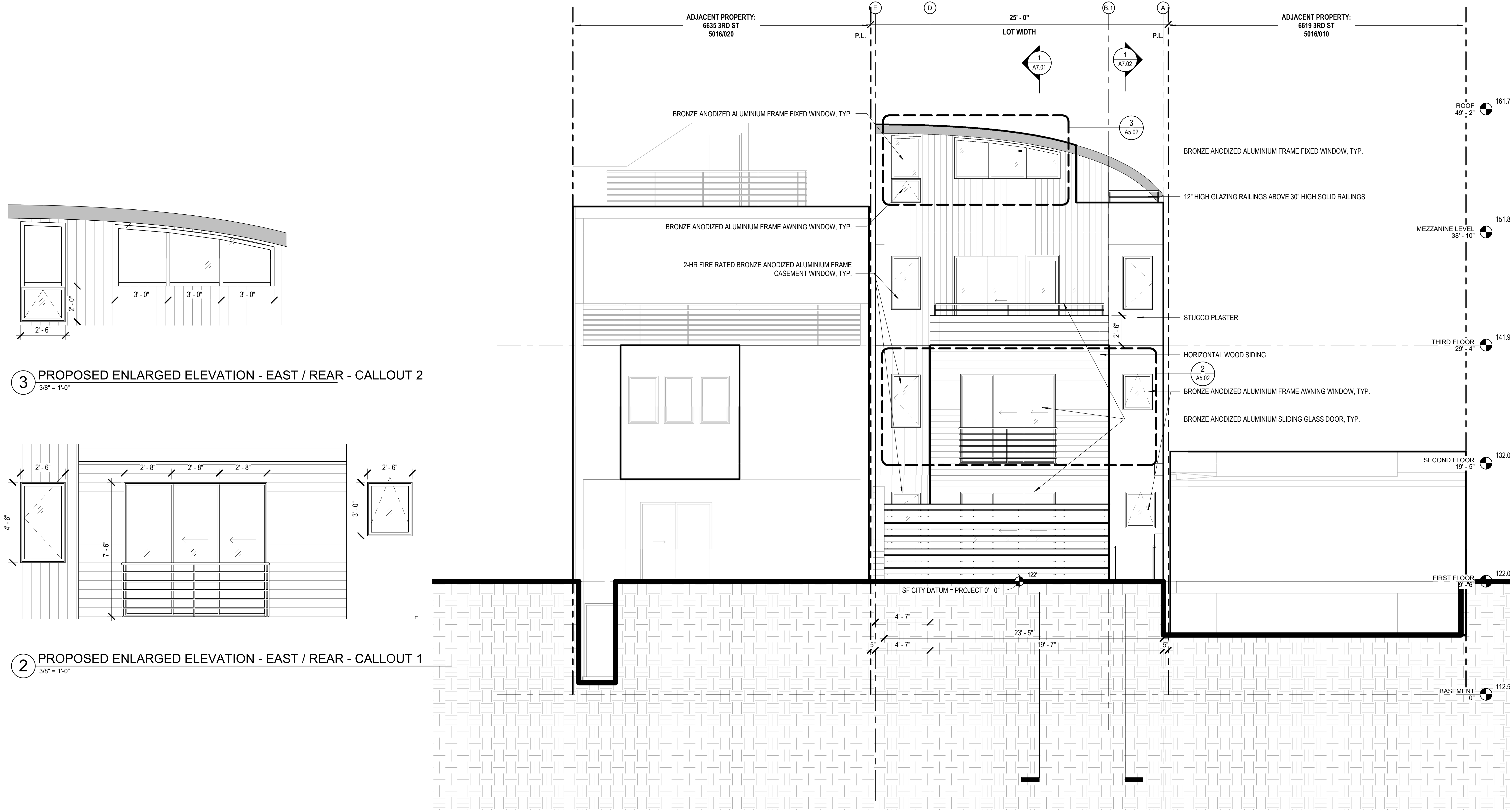
SCALE As indicated

DRAWN BY Author

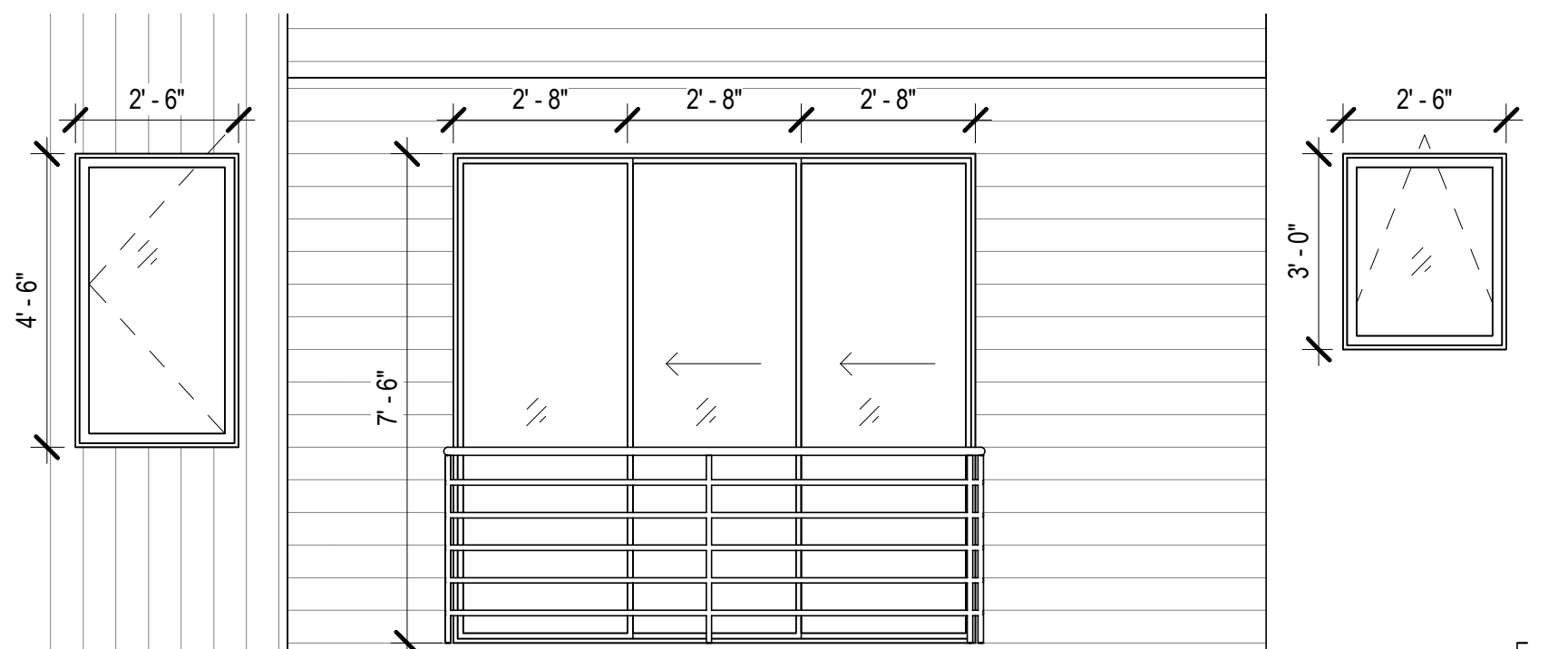
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JOB NO. 1807

A5.02

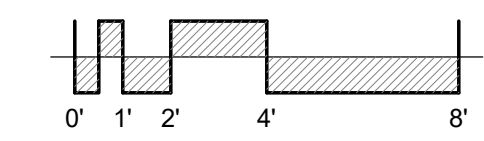


3 PROPOSED ENLARGED ELEVATION - EAST / REAR - CALLOUT 2
3/8" = 1'-0"



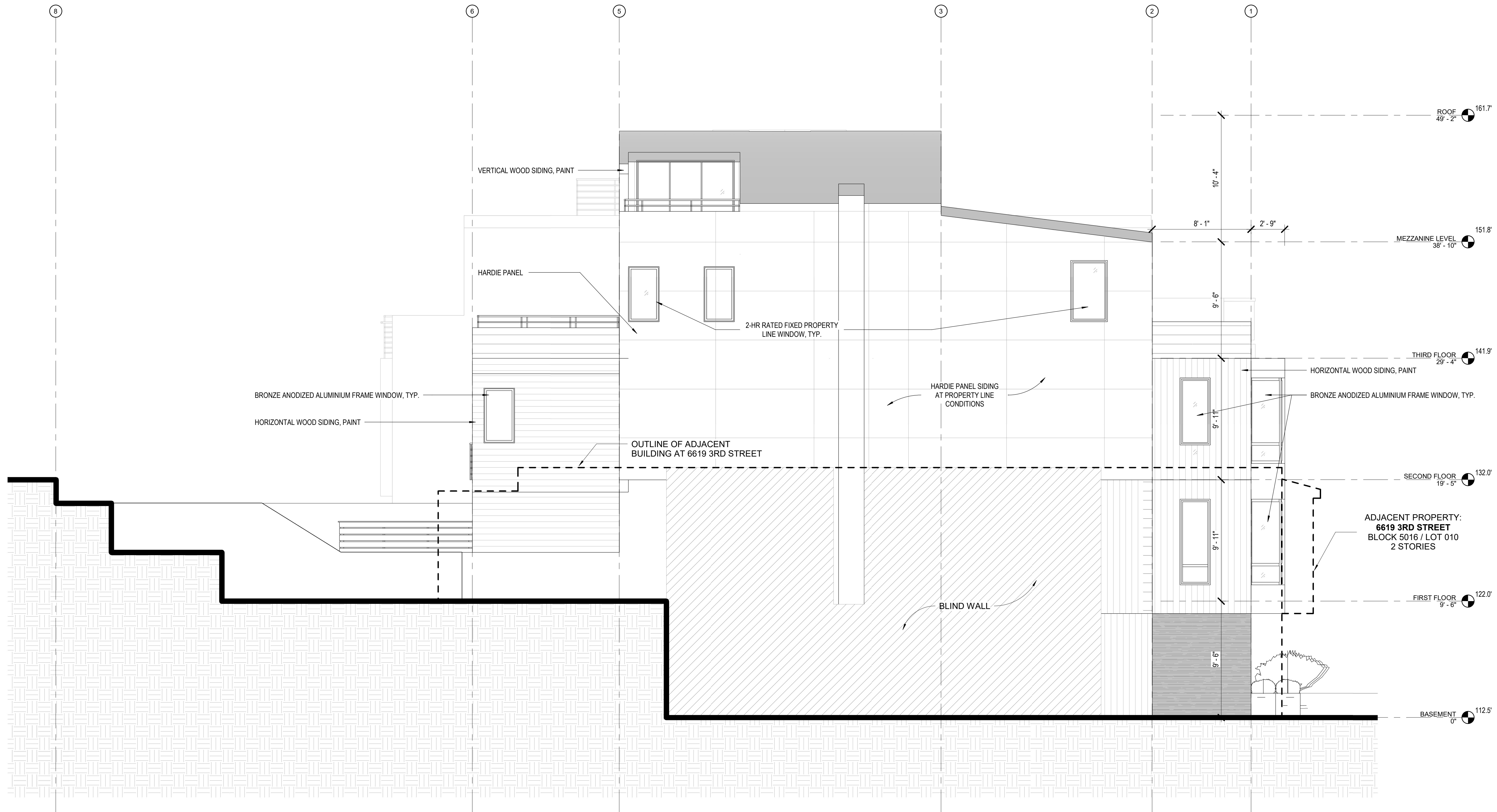
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3/8" = 1'-0"

1 PROPOSED ELEVATION - EAST / REAR
1/4" = 1'-0"

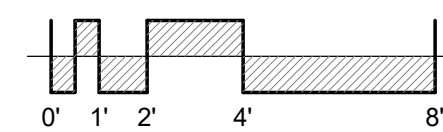


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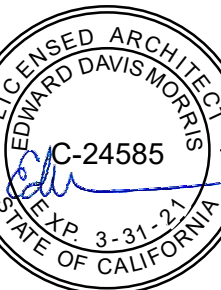
1 PROPOSED ELEVATION - NORTH
1/4" = 1'-0"



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415.749.0302

Revisions

R1	10/23/2019
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6625 3RD STREET
SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

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DATE 12/26/18

SCALE 1/4" = 1'-0"

DRAWN BY Author

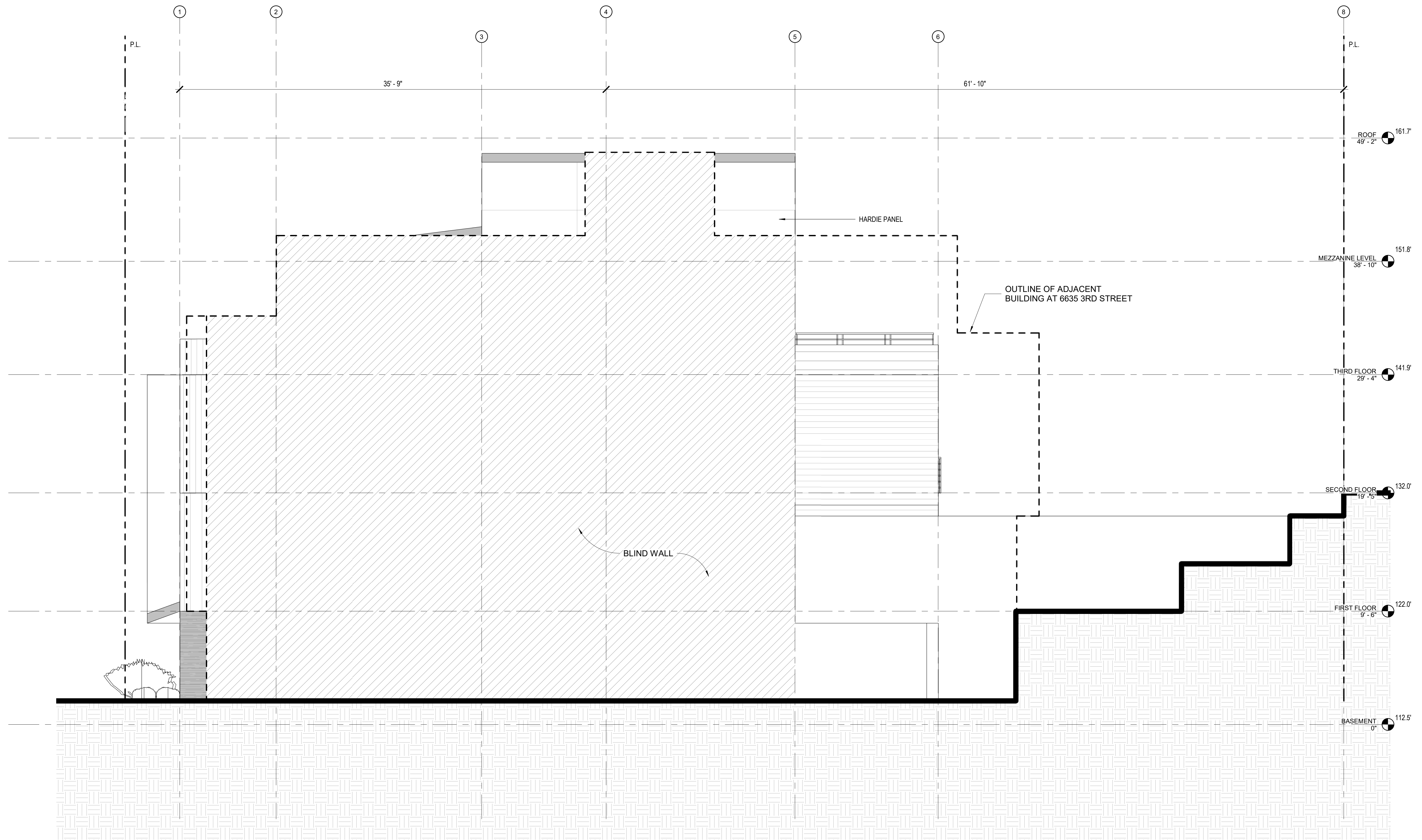
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JOB NO. 1807

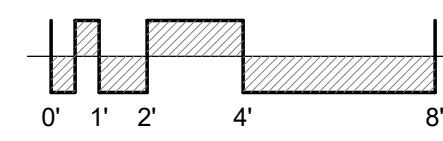
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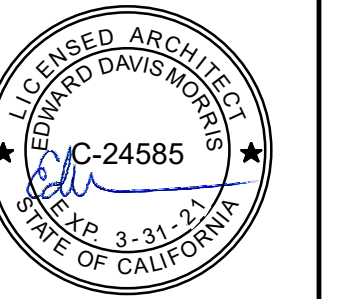
10/20/2019 4:22:33 PM



1 PROPOSED ELEVATION - SOUTH
1/4" = 1'-0"



Revisions	
R1	10/23/2019



6625 3RD STREET
SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

3RD STREET PROPERTIES, LLC

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EXTERIOR ELEVATIONS

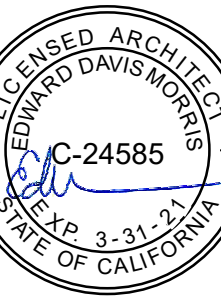
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SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1807

A5.04

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Revisions	
R1	10/23/2019



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A NEW 3-UNIT RESIDENTIAL STRUCTURE

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BUILDING SECTIONS THROUGH BAY

DATE 05/15/17

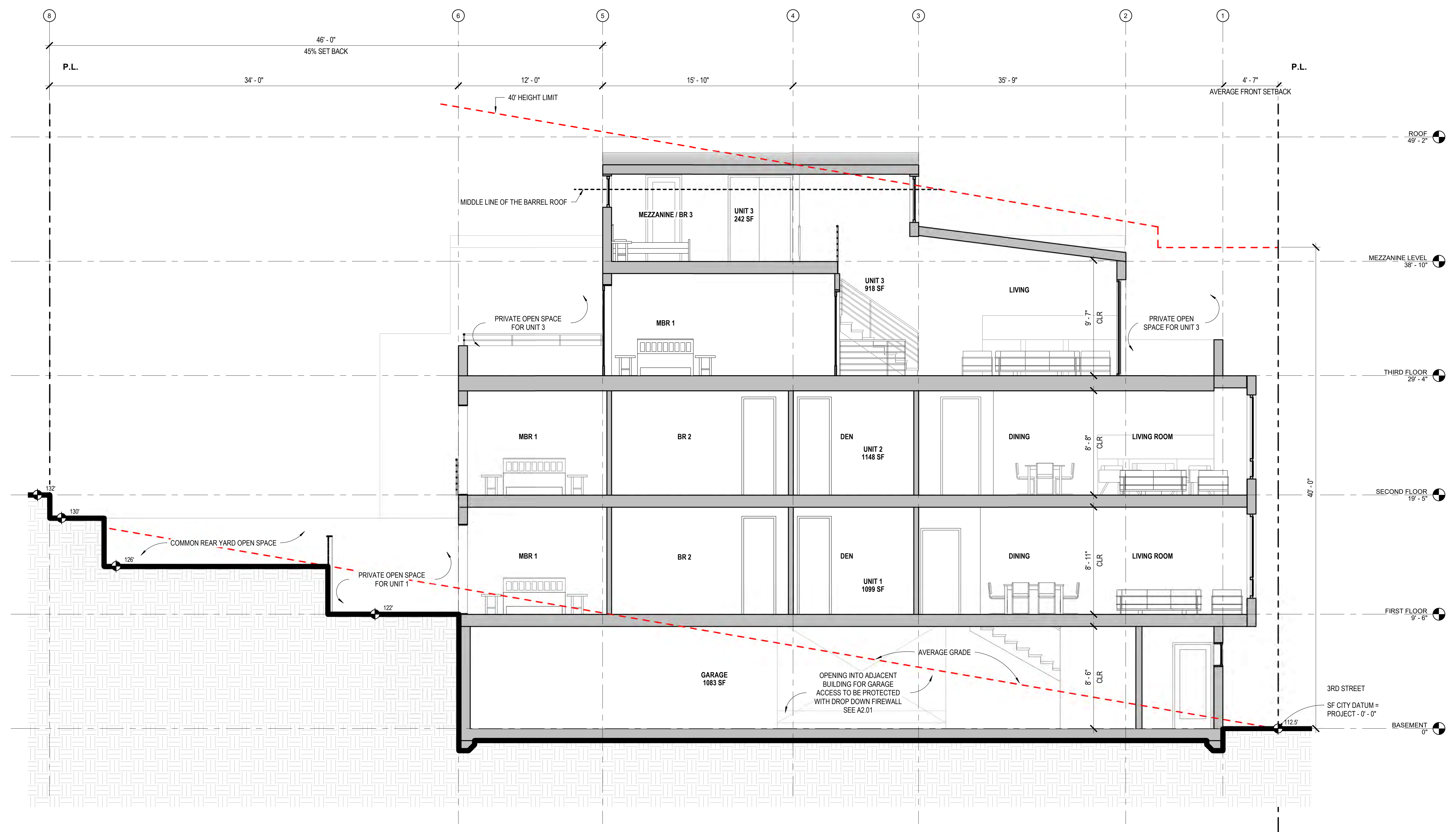
SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1807

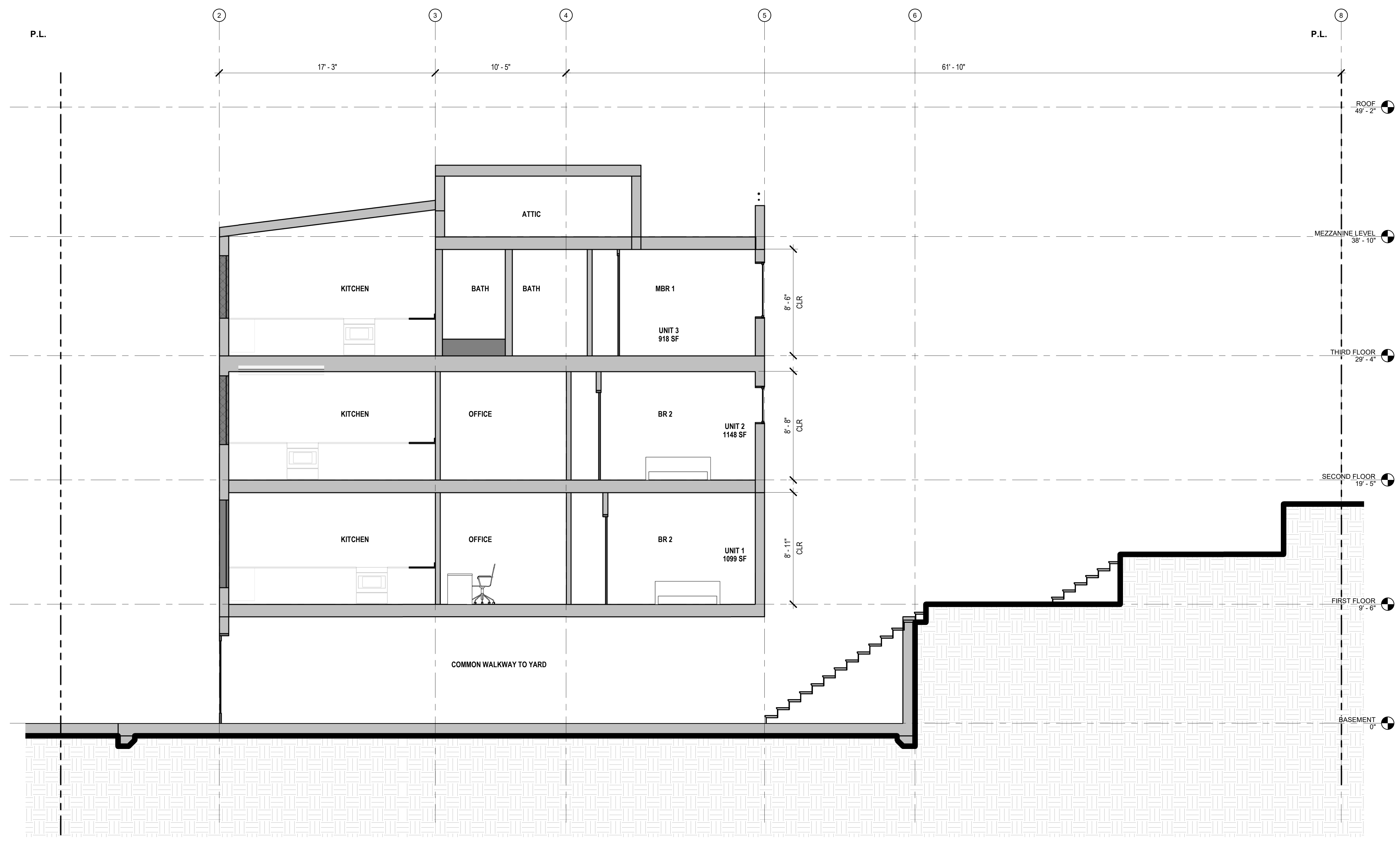
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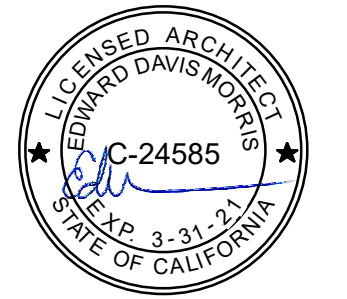
1 PROPOSED SECTION - EAST / WEST
 1/4" = 1'-0"

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Revisions	
R1	10/23/2019



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 SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

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BUILDING SECTIONS THROUGH STAIRCASE

DATE	12/21/18
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1807

A7.02

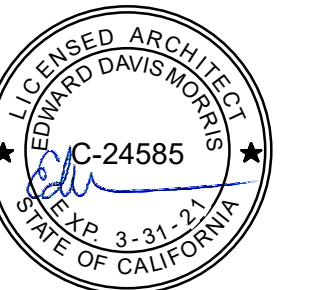
1 PROPOSED SECTION - STAIRS
 1/4" = 1'-0"

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10/20/2018 4:22:38 PM

km
kerman
morris
architects llp
139 Noe Street
San Francisco, CA
94114
415.749.0302

Revisions



6625 3RD STREET
SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

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WINDOW DETAILS

DATE 05/15/17

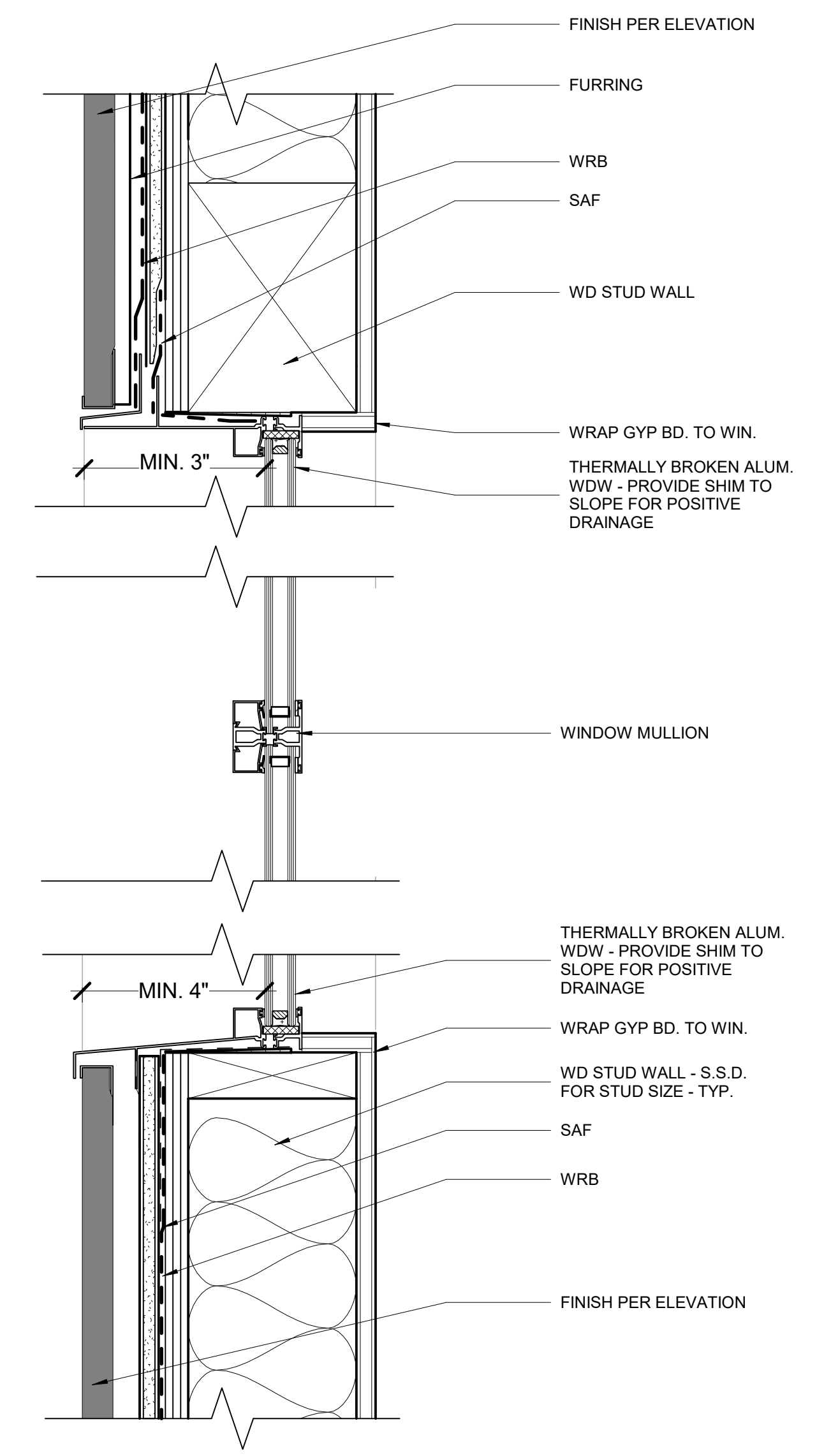
SCALE 3" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1807

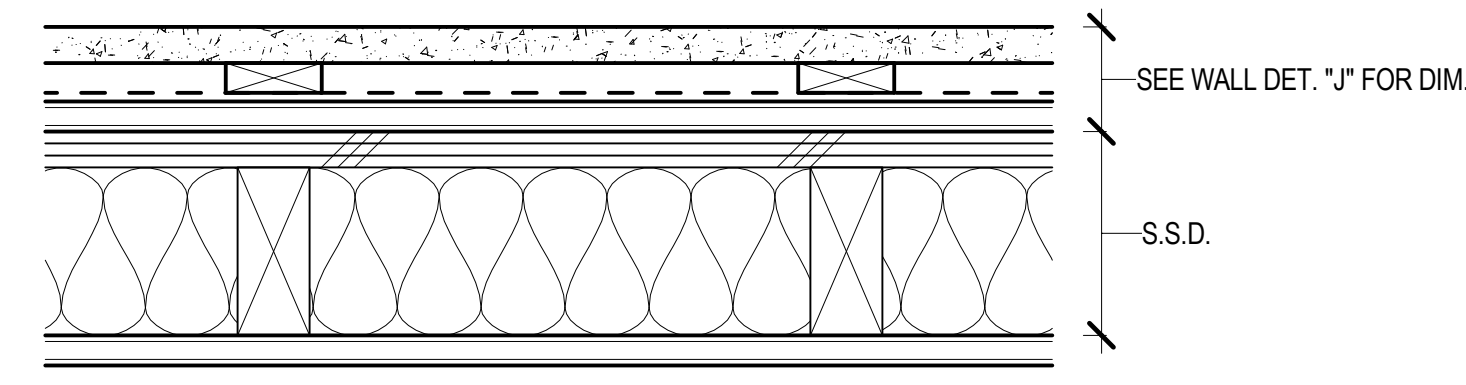
A8.01



1 EXTERIOR WINDOW MULLION - TYP.
3" = 1'-0"

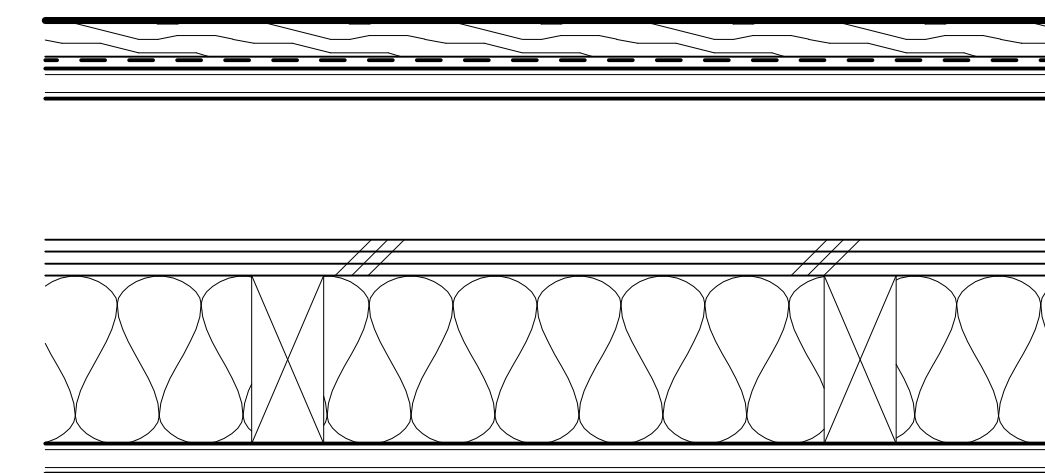
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1/20/2019 4:22:38 PM



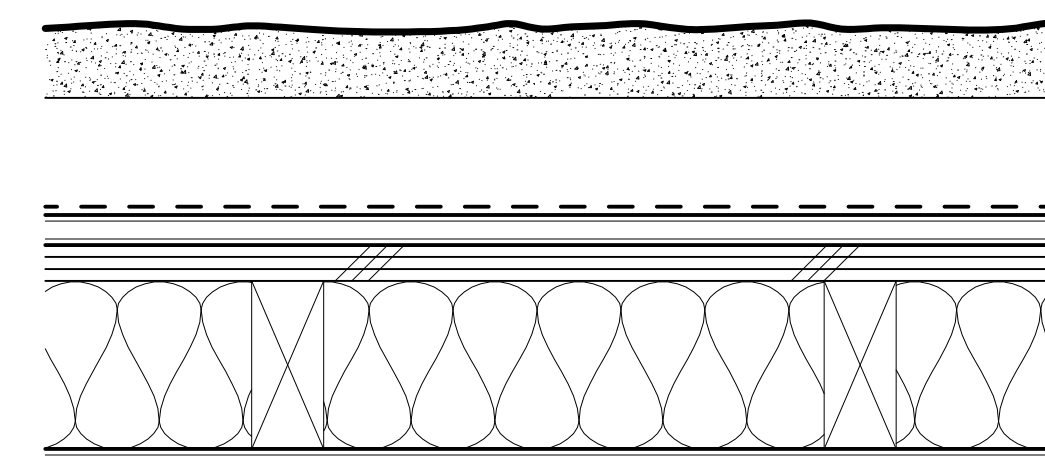
- CEMENTITIOUS PANELS OR SIDING
 - AIR GAP WITH FURRING STRIPS (P.T. WOOD, OR CORRAVENT STRIPS)
 - WRB
 - (1) LAYER 5/8" TYPE 'X' GYP. BD.
 - PLYWOOD SHEATHING S.S.D.
 - WOOD STUDS (PT OR FIRE TREATED AS REQ'D) INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
 - (1) LAYER 5/8" TYPE 'X' GYP. BD.
 - (2 LAYERS EACH SIDE @ 2-HR RATED WALL
- | STUD SIZES: | |
|-------------|--------|
| M1 | 3-1/2" |
| M2 | 5-1/2" |

M EXT. WALL - CEMENTITIOUS SIDING
1-HR (SIM. TO GA FILE NO: WP 8105)



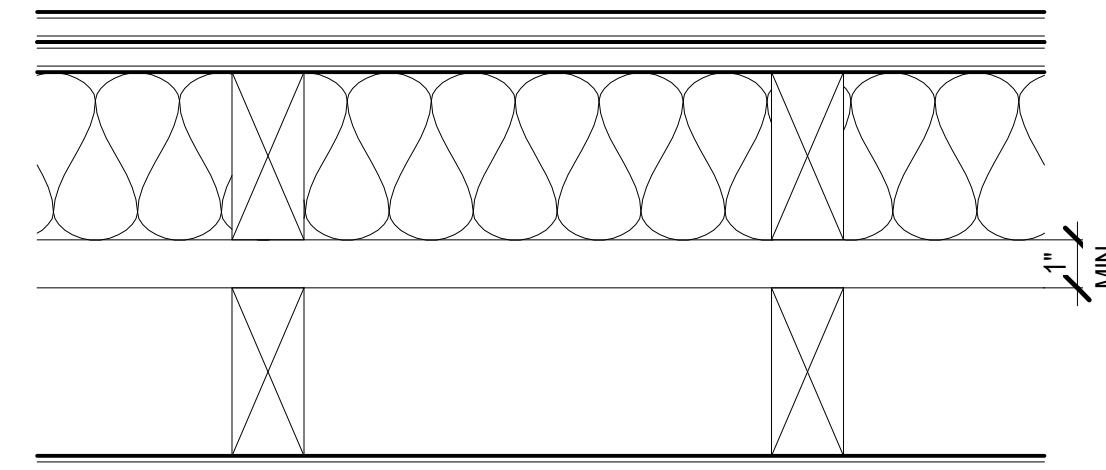
- CEMENT PLASTER
 - 2" CONTINUOUS RIGID INSULATION
 - WRB
 - (1) LAYER 5/8" TYPE 'X' GYP. BD.
 - PLYWOOD SHEATHING S.S.D.
 - WOOD STUDS (PT OR FIRE TREATED AS REQ'D) INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
 - (1) LAYER 5/8" TYPE 'X' GYP. BD.
- | STUD SIZES: | |
|-------------|--------|
| I1 | 3-1/2" |
| I2 | 5-1/2" |

J EXT. WALL - WOOD SIDING
1-HR (SIM. TO GA FILE NO: WP 8105)



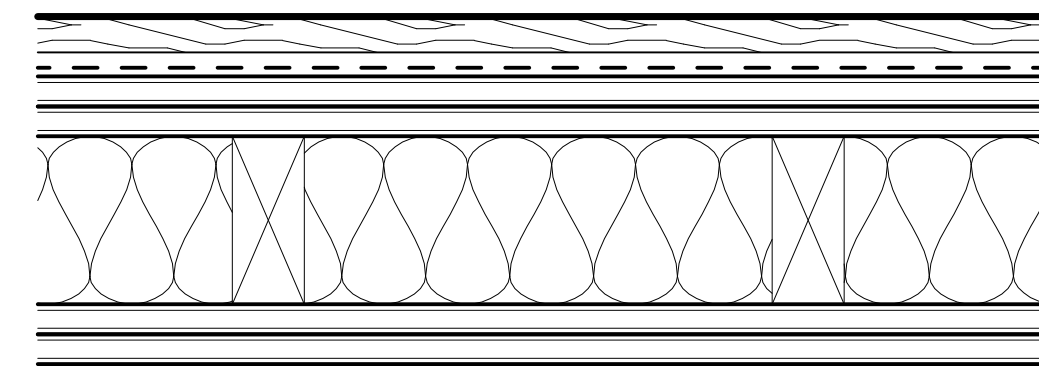
- CEMENT PLASTER
 - 2" CONTINUOUS RIGID INSULATION
 - WRB
 - (1) LAYER 5/8" TYPE 'X' GYP. BD.
 - PLYWOOD SHEATHING S.S.D.
 - WOOD STUDS (PT OR FIRE TREATED AS REQ'D) INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
 - (1) LAYER 5/8" TYPE 'X' GYP. BD.
- | STUD SIZES: | |
|-------------|--------|
| J1 | 3-1/2" |
| J2 | 5-1/2" |

I EXT. WALL - CEMENT PLASTER
1-HR (SIM. TO GA FILE NO: WP 8105)



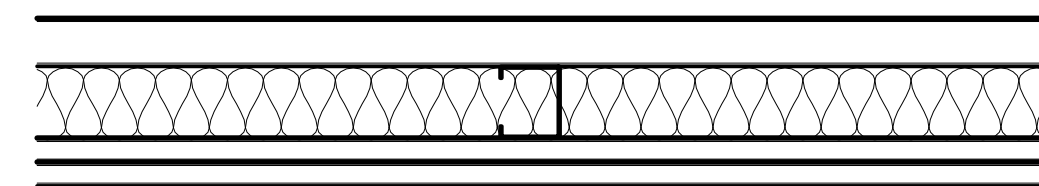
- (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)
 - 2X WOOD STUDS ON SEPARATE PLATES 1" APART
 - 3 1/2" GLASS FIBER INSULATION IN STUD CAVITY OF ONE SIDE
 - (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)
- | STUD SIZES: | |
|-------------|------|
| E1 | 2x4 |
| E2 | 2x6 |
| E3 | 2x8 |
| E4 | 2x10 |
| E5 | 2x12 |
| E6 | 3x4 |

E DEMISING WALL
2-HR STC 55 TO 59 (GA FILE NO: WP 3820)



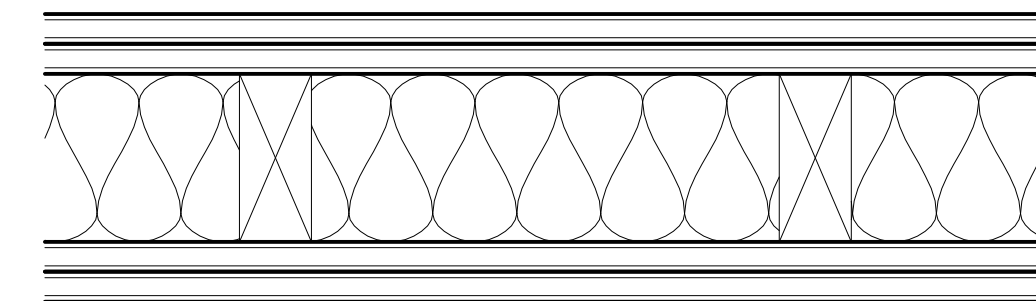
- WOOD SIDING
 - (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)
 - 1/2" AIR GAP
 - 2X WOOD STUDS @ 24" O.C. (U.O.N. S.S.D.)
 - 3 1/2" GLASS FIBER INSULATION IN STUD CAVITY
 - (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)
- | STUD SIZES: | |
|-------------|------|
| D1 | 2x4 |
| D2 | 2x6 |
| D3 | 2x8 |
| D4 | 2x10 |
| D5 | 2x12 |
| D6 | 3x4 |

D INT. NOISE SENSITIVE PARTITION
2-HR STC 55 TO 59 (GA FILE NO: WP 3825)



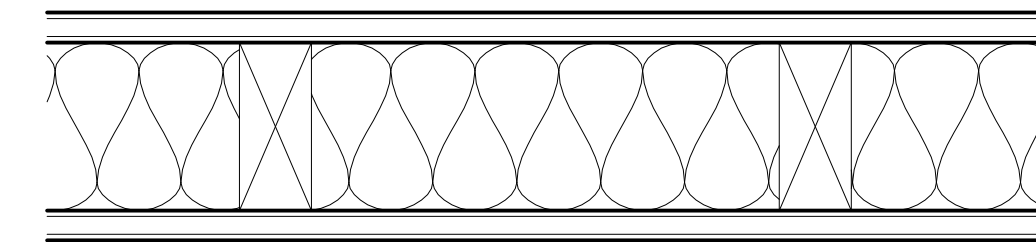
- (1) LAYER OF 1" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)
- CONTINUOUS 1 1/2" GLASS FIBER INSULATION IN STUD CAVITY
- (2) LAYER OF 1/2" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)

C SHAFT WALL
2-HR (GA FILE NO: WP 7051)



- (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)
 - 2X WOOD STUDS @ 24" O.C. (U.O.N. S.S.D.)
 - INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
 - (2) LAYERS OF 5/8" TYPE 'X' GYP. BD.
- | STUD SIZES: | |
|-------------|------|
| B1 | 2x4 |
| B2 | 2x6 |
| B3 | 2x8 |
| B4 | 2x10 |
| B5 | 2x12 |
| B6 | 3x4 |

B INTERIOR PARTITION
2-HR (GA FILE NO: WP 4135)



- (1) LAYER 5/8" TYPE 'X' GYP. BD.
 - 2X WOOD STUDS @ 24" O.C. (U.O.N. S.S.D.)
 - INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
 - (1) LAYER 5/8" TYPE 'X' GYP. BD.
- | STUD SIZES: | |
|-------------|------|
| A1 | 2x4 |
| A2 | 2x6 |
| A3 | 2x8 |
| A4 | 2x10 |
| A5 | 2x12 |
| A6 | 3x4 |

A INTERIOR PARTITION - TYP.
1-HR (GA FILE NO: WP 3520)

PARTITION TYPES - GENERAL NOTES

- ALL STANDARD STUD FRAMING SHALL BE 16" O.C. U.O.N. ALL SHAFT WALL STUD FRAMING SHALL BE 24" O.C. U.O.N.
- ALL GYP. BD. TO BE 5/8" THICK TYPE 'X' U.O.N. PAINT ALL EXPOSED FACES.
- PROVIDE TYPE 'X' GLASS-MAT WATER-RESISTANT BACKING BOARD IN LIEU OF FINAL LAYER OF GYP.BD. INDICATED ON SCHEDULED WALL TYPES AT INTERIOR FRAMED WET WALLS, INCLUDING JANITOR'S CLOSETS.
- PROVIDE MOISTURE AND MOLD-RESISTANT TYPE X GYP BOARD AT ALL INTERIOR "HUMID" LOCATIONS INCLUDING BATHROOMS.
- THE WALL TYPE ABOVE OR BELOW ANY OPENING IS TO BE THE SAME AS THAT SCHEDULED FOR EITHER SIDE OF THE OPENING.
- DIFFERING WALL TYPES SHALL ALIGN SO THAT WALL PLANES CONTINUE UNBROKEN IN ROOMS, UNLESS OTHERWISE NOTED.
- DIMENSION LOCATION FOR ALL INTERIOR WALLS IS TO THE FACE OF GYPSUM BOARD PANELS.
- WALLS INDICATED AS FIRE-RATED FORM A SEPARATION THAT SHALL BE CONTINUOUS FROM FLOOR TO FLOOR ABOVE WITH NO BREAKS AT COLUMNS, BEAMS, WALL TRANSITIONS, OR OTHER OBSTRUCTIONS. AT RATED CONDITIONS PENETRATIONS SHALL BE FIRE CAULKED.
- ALL INSULATION SHALL BE UNFACED R-19 AT INTERIOR FURRING ADJACENT TO UNINSULATED EXTERIOR WALLS, SUCH AS CONCRETE, CMU, AND SPANDREL PANELS IN WINDOW/CURTAIN WALLS, TYP. U.O.N. FOR CLARITY, INSULATION IS NOT SHOWN ON MANY DETAILS. INSULATION IS TO RUN CONTINUOUS AROUND FURRED COLUMNS AND OTHER OBSTRUCTIONS TO FORM A CONTINUOUS ACOUSTIC OR THERMAL BARRIER.
- STUDS TO BE 25 GA AT ALL SINGLE-STUD ACOUSTICAL WALLS U.O.N. USE KNURLED STUDS OR ADJUST SPACING AS REQUIRED FOR SPANS. SPACING SHALL BE NO LESS THAN 16" O.C. WITHOUT APPROVAL OF THE ARCHITECT AND ACOUSTICAL CONSULTANT. HEAVIER GAUGE MAY BE USED AT NON-ACOUSTICAL OR DOUBLE-STUD WALLS. MAXIMUM SPANS SHALL BE BASED ON L/240 DEFLECTION CRITERIA AND 5 PSF DESIGN LOAD, U.O.N.
- ACOUSTICAL WALLS SHALL INCLUDE BATT INSULATION FULL WIDTH OF STUDS AND BE SEALED AIR TIGHT, WITH ACOUSTICAL SEALANT BETWEEN GYPSUM BOARD AND CONCRETE SLABS, BEAM, COLUMNS, AND WALLS. OR STRUCTURAL STEEL MEMBERS, AROUND ALL PENETRATIONS, AND AT DISSIMILAR MATERIALS. SEE WALL TYPES THIS SHEET INDICATING A NOISE-SENSITIVE SIDE - THE NOISE-SENSITIVE SIDE.
- WALLS SUPPORTING CASEWORK, SHELVING, GRAB BARS, EQUIPMENT AND OTHER WALL-MOUNTED FIXTURES SHALL BE REINFORCED PER THE FIXTURE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, WHICHEVER IS GREATER.



139 New Street
San Francisco, CA
94114
415.749.0302

Revisions

NO.	DESCRIPTION



6625 3RD STREET
SAN FRANCISCO, CA 94124

A NEW 3-UNIT RESIDENTIAL STRUCTURE

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WALL PARTITIONS

DATE 05/15/17

SCALE 3" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1807

A10.01