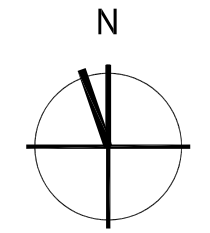


\*NOTE: OFFICIAL SLOPE FOR SIDEWALK IS 1/5":1'-0" RISE FROM CURB GRADE TO PROPERTY LINE. ALL ENTRANCES, DRIVEWAYS AND SIDEWALKS SHALL MEET THE SIDEWALK GRADE REQUIREMENT. ALL RAMPING SHALL BE INSIDE OF PROPERTY LINE. DRIVEWAYS, CURBS, GUTTERS, AND SIDEWALKS MUST CONFORM TO CITY OF SAN FRANCISCO BUREAU OF ENGINEERING STANDARDS.

VICINITY MAP



SITE  
1088 KEY AVENUE, SAN FRANCISCO, CA  
BLOCK 5470 / LOT 002

SCOPE OF WORK

DEMOLISH (E) 2 STORY BUILDING.  
NEW CONSTRUCTION OF 17 RESIDENTIAL UNIT MIXED USE BUILDING: FOUR STORY BUILDING WITH THREE STORIES OF RESIDENTIAL USE ABOVE GROUND FLOOR COMMERCIAL AND GROUND FLOOR PRIVATE PARKING GARAGE.

PLANNING DEPARTMENT - PROJECT DESCRIPTION

1088 KEY AVENUE

PROJECT LOCATION:	1088 KEY AVENUE, SAN FRANCISCO, CALIFORNIA 94103 BLOCK 5470, LOT 002
PROPOSED USE:	4-STORY MIXED USE BUILDING WITH THREE FLOORS OF RESIDENTIAL CONDOMINIUM UNITS OVER GROUND FLOOR PRIVATE PARKING GARAGE AND COMMERCIAL RETAIL SPACE.
ZONING:	NC-3 40-X HEIGHT AND BULK DISTRICT
BUILDING HEIGHT / BULK:	PROPOSED: 40'-0"
SETBACKS:	FRONT: NONE REAR: 25% OF LOT AREA AT RESIDENTIAL LEVELS
RESIDENTIAL UNITS PROVIDED:	17 UNITS WITH OPTIONAL 3 ADU'S
PARKING PROVIDED:	17 INDIVIDUAL STALLS (PARKING LIFTS)
BICYCLE PARKING PROVIDED:	17 CLASS I SPACES
RESIDENTIAL OPEN SPACE PROVIDED:	COMMON REQUIRED: 14 UNITS X 100 SF X 1.33 = 1,862 SF COMMON PROVIDED: 1889 SF AT SECOND LEVEL PRIVATE PROVIDED: 366 SF AT FOURTH LEVEL
RESIDENTIAL PRIVATE SPACE PROVIDED:	PRIVATE REQUIRED: 80 SF PER UNIT UNIT 201: 155 SF AT SECOND LEVEL UNIT 202: 105 SF AT SECOND LEVEL UNIT 207: 106 SF AT SECOND LEVEL
BUILDING AREA CALCULATIONS: (GROSS AREA)	RESIDENTIAL: 14,690 SF RETAIL/OFFICE: 2,671 SF PARKING: 5,180 SF COMMON: 6,132 SF **  TOTAL GROSS SQUARE FEET: 28,673 SQ. FT.

\*\* PLANNING CODE SECTION 102.9 DEFINITION EXCLUDES FROM GROSS AREA CALCULATIONS: ROOF LEVEL STAIR, ELEVATOR AND MECHANICAL PENTHOUSES; ELEVATOR SHAFTS AND LIFE SUPPORT SYSTEMS SERVING EXCLUSIVELY RESIDENTIAL USES ABOVE FROM NON-RESIDENTIAL LEVELS BELOW; AND OPEN SPACE PROVIDED AT ROOF OR IN REAR YARD.

1088  
Key  
Avenue  
A Mix-use Project  
w/ Condominiums

San Francisco • California



GARY GEE ARCHITECTS, INC.  
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San Francisco, CA 94103  
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Fax 415/863-8879

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Project No.	Date
14-016	05.13.14

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BUILDING DEPARTMENT NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH 2013 C.B.C. EDITION FOR SAN FRANCISCO AND ALL APPLICABLE BUILDING CODES.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, U.O.N.
  - DRAWINGS ARE NOT TO BE SCALED.
  - ALL CONSTRUCTION SHALL BE 1 HOUR RATED THROUGHOUT, EXCEPT AS NOTED.
  - BUILDING SPRINKLERED THROUGHOUT.
  - BUILDING SHALL CONFORM TO THE SECURITY REQUIREMENTS OF S.F.B.C. SECTION 1005A.
  - SPRINKLER AND ALARM SYSTEMS SHALL BE BY A10 CONTRACTOR.
- SPRINKLER AND ALARM SYSTEMS UNDER SEPARATE PERMIT

DRAWING INDEX

A1.0	SITE PLAN, DRAWING INDEX, PROJECT DESCRIPTION	A2.4	ROOF/PENTHOUSE PLANS
A1.1	OPEN SPACE CALCULATION	A3.0	ELEVATIONS
A1.2	PARKING PLAN / SIDEWALK IMPROVEMENT	A3.1	ELEVATIONS
A2.0	FLOOR PLAN	A4.0	SECTIONS
A2.0B	ADU FLOOR PLAN OPTION	G1.0	GREEN SHEET
A2.1	FLOOR PLAN		
A2.2	FLOOR PLAN		
A2.3	FLOOR PLAN		

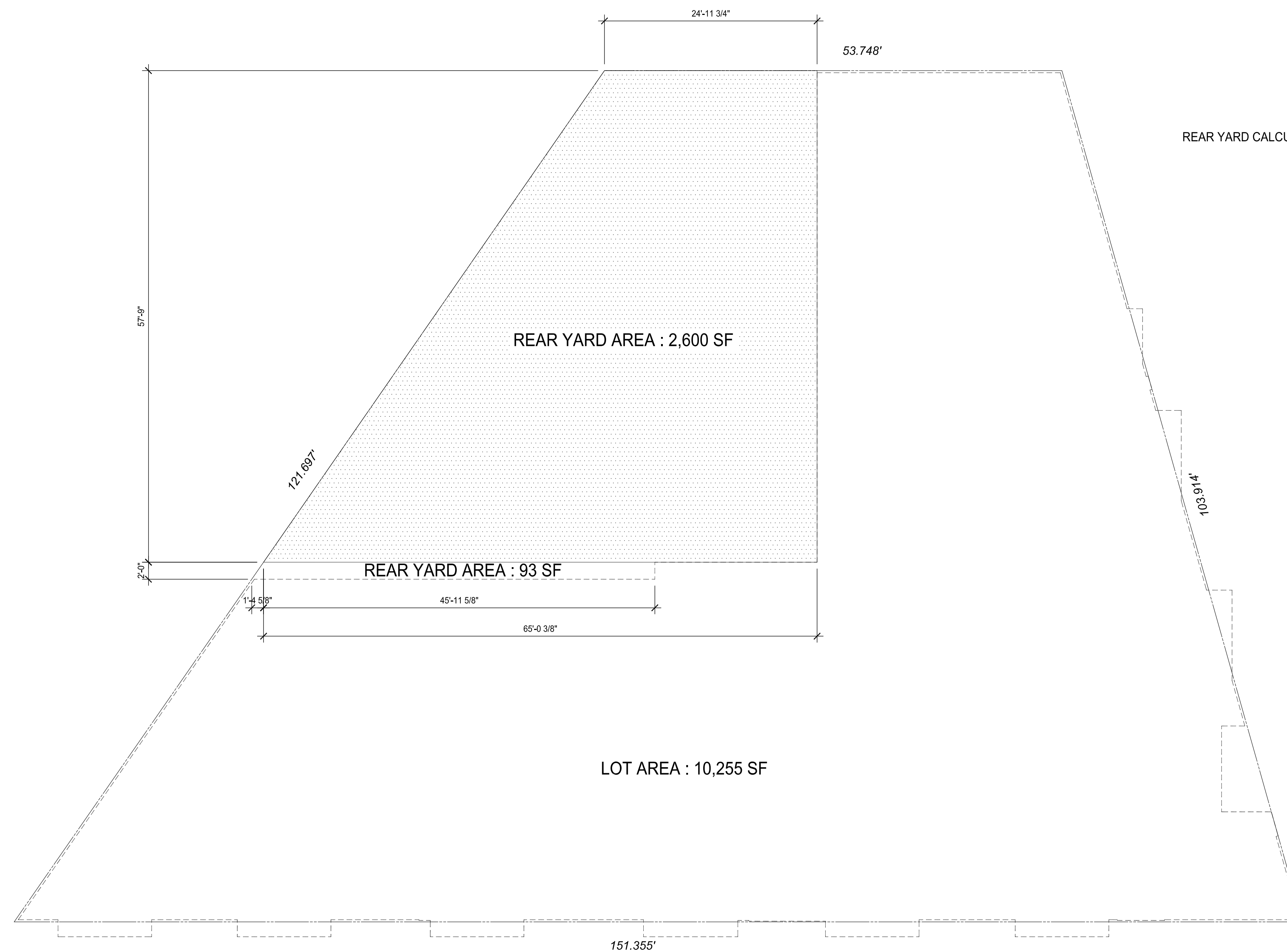
General Notes  
Site Plan

Scale: 1/8" = 1'-0"

A1.0

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### REAR YARD CALCULATIONS:

LOT AREA:	10,255 SF
REAR YARD:	2,600 + 93 SF
<hr/>	
2,693 SF / 10,255 SF =	26 %

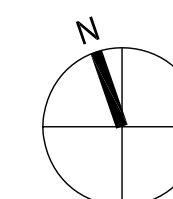
LOT AREA : 10,255 SF

REAR YARD AREA : 2,600 SF

REAR YARD AREA : 93 SF

### SECOND LEVEL PLAN (Open Space Calculation)

SCALE: 1/8" = 1'-0"



### Open Space Calculation

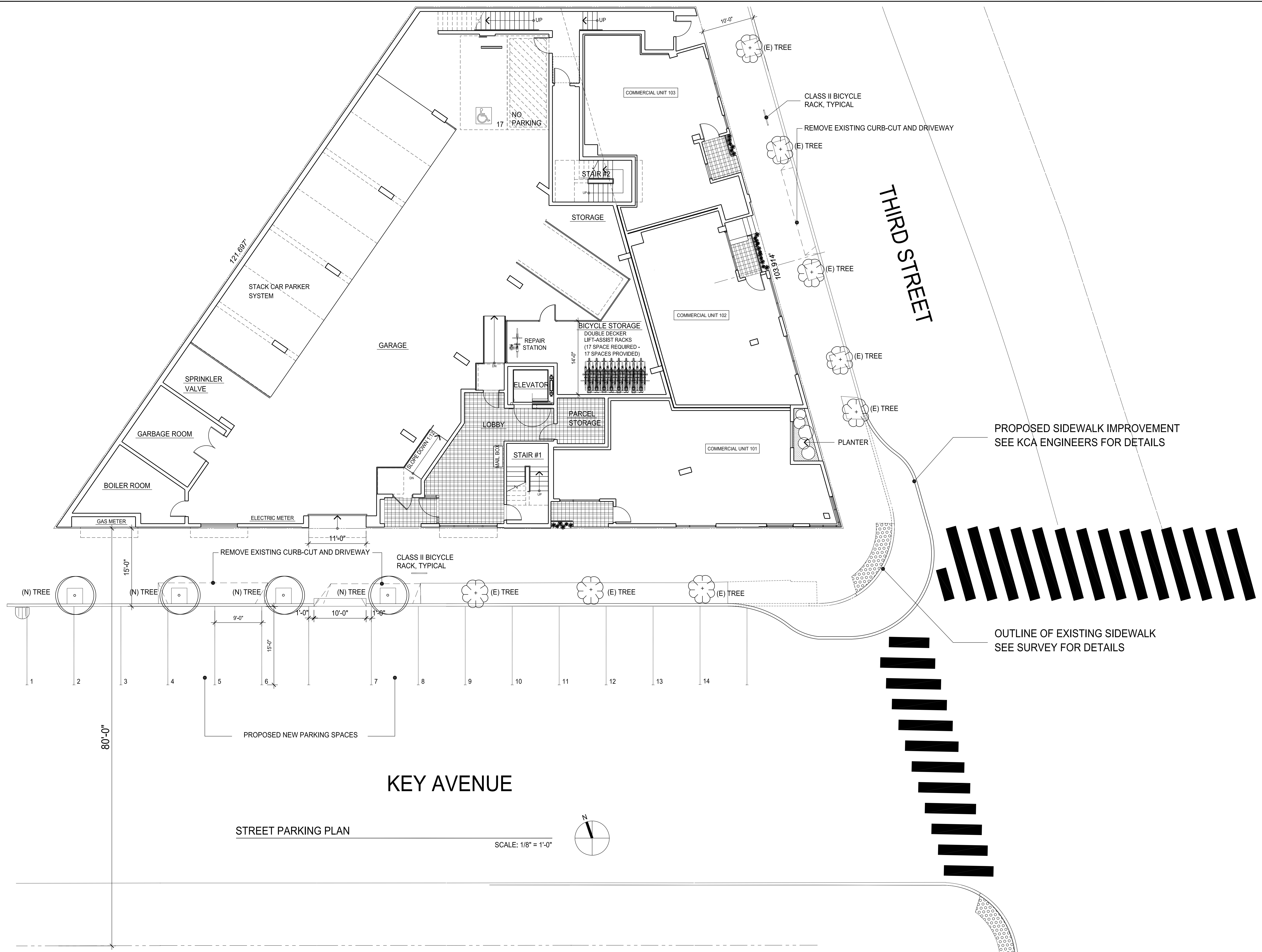
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Parking Plan / Sidewalk Improvement

Scale: 1/8" = 1'-0"



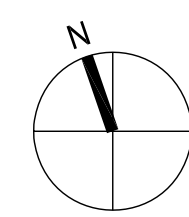
PROPOSED SIDEWALK IMPROVEMENT SEE KCA ENGINEERS FOR DETAILS

OUTLINE OF EXISTING SIDEWALK SEE SURVEY FOR DETAILS

KEY AVENUE

STREET PARKING PLAN

SCALE: 1/8" = 1'-0"

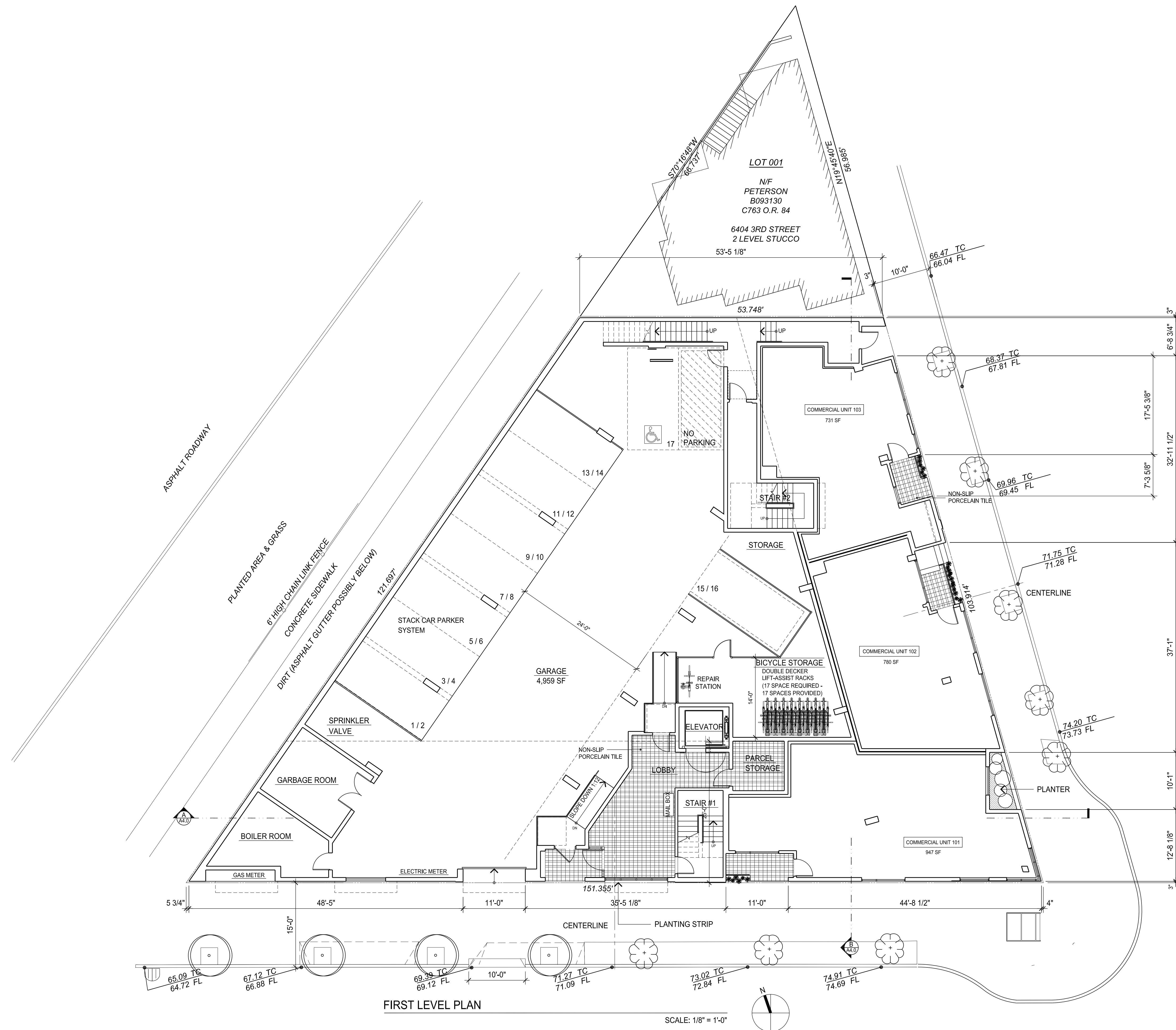


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Floor Plans

Scale: 1/8" = 1'-0"



FIRST LEVEL PLAN

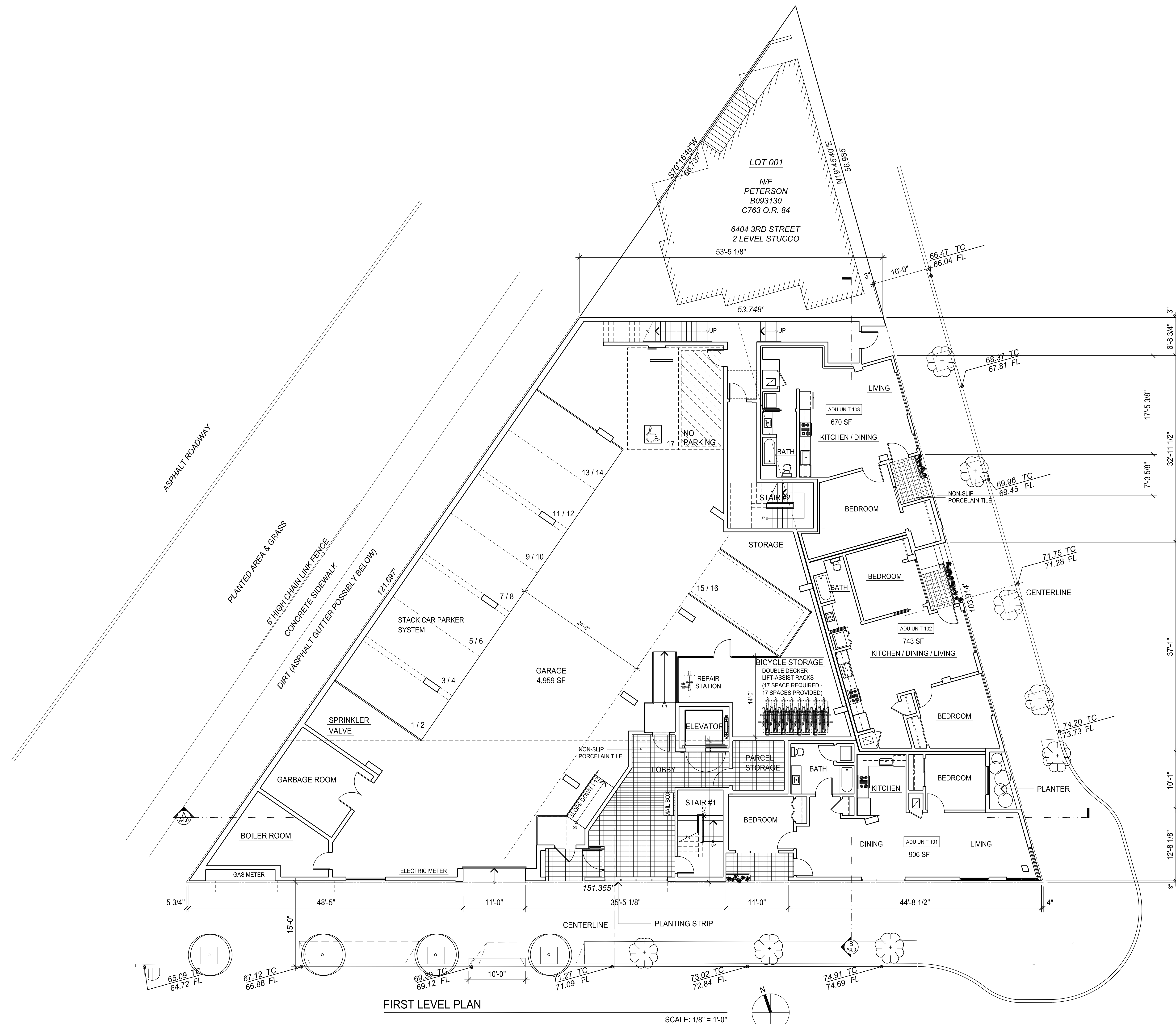
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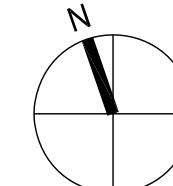
Floor Plans  
(ADU Option)

Scale: 1/8" = 1'-0"



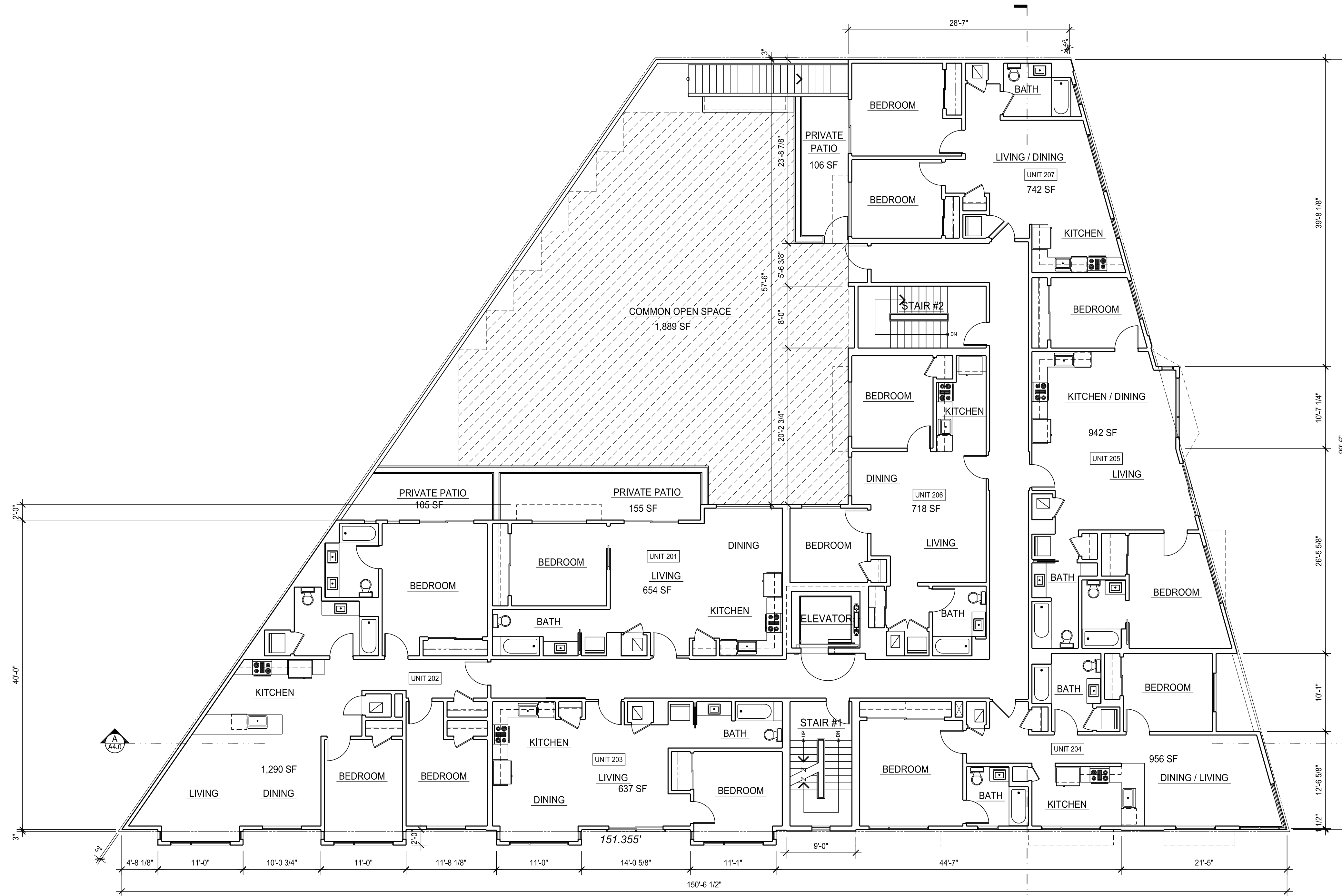
FIRST LEVEL PLAN

SCALE: 1/8" = 1'-0"



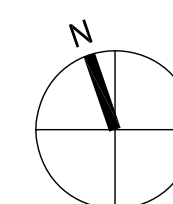
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**SECOND LEVEL PLAN**

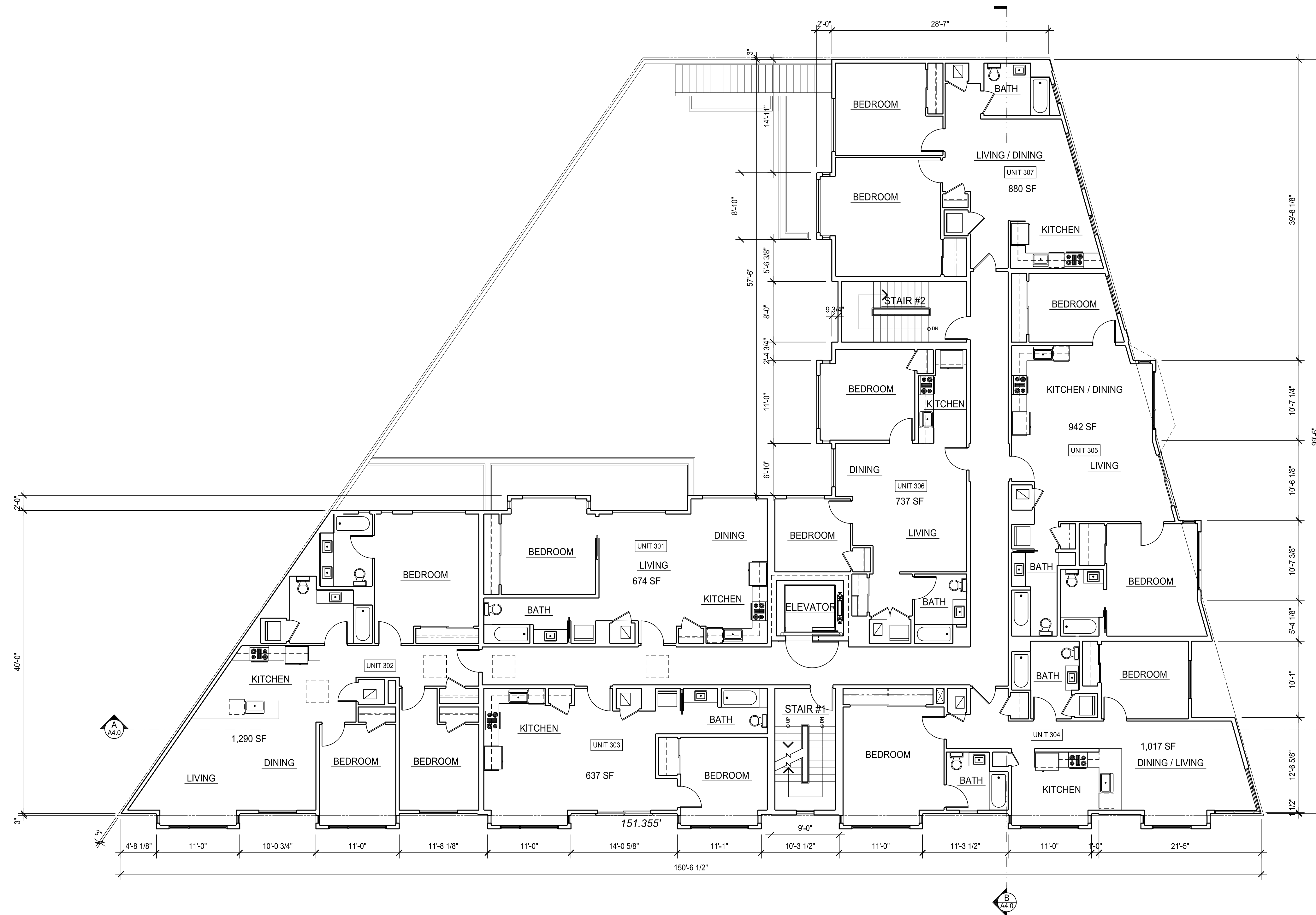
SCALE: 1/8" = 1'-0"



Project No.	Date
14-016	05.13.14

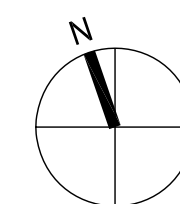
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THIRD LEVEL PLAN

SCALE: 1/8" = 1'-0"

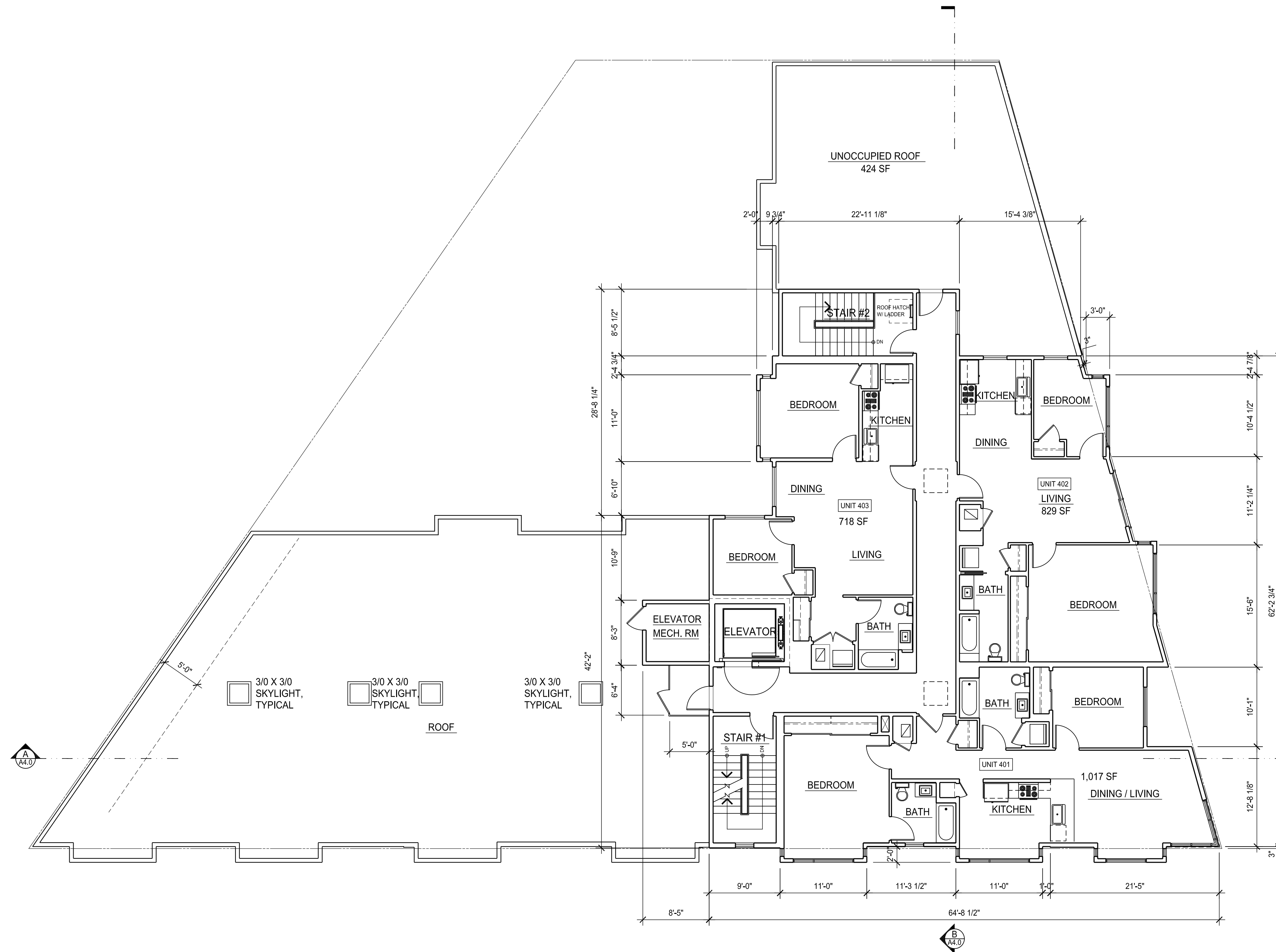


Floor Plan

Scale: 1/8" = 1'-0"

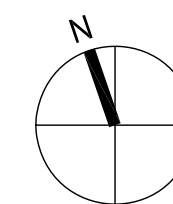
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FOURTH LEVEL PLAN

SCALE: 1/8" = 1'-0"



### Floor Plan

Scale: 1/8" = 1'-0"



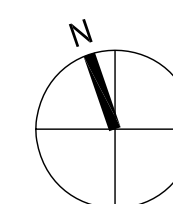
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FOURTH LEVEL PLAN

SCALE: 1/8" = 1'-0"

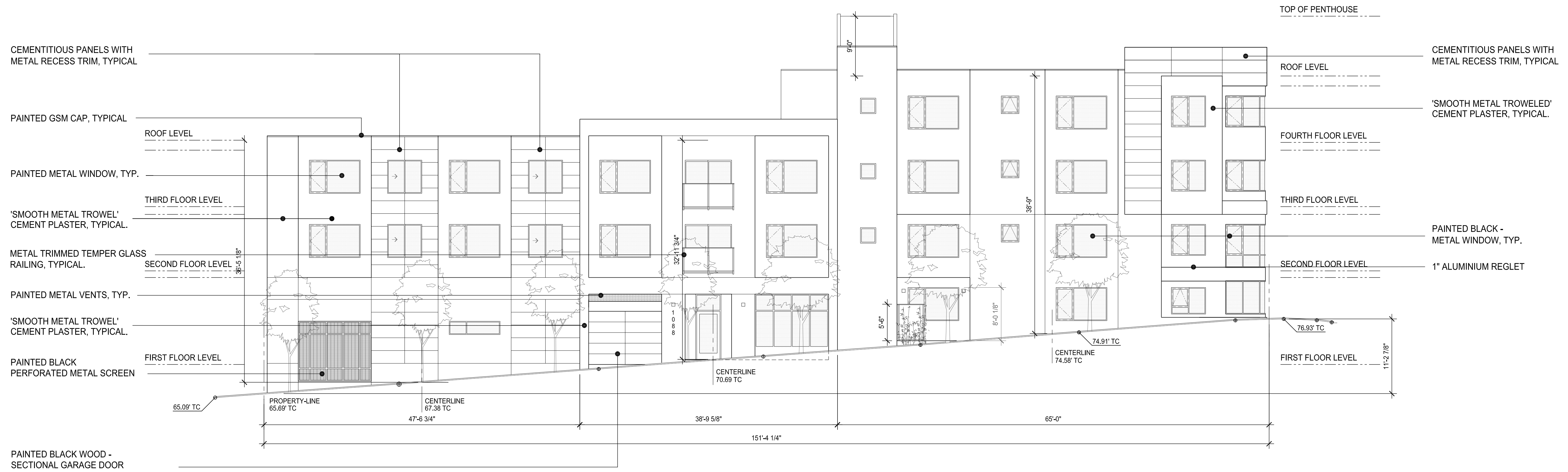


Roof Plan

Scale: 1/8" = 1'-0"

### Revisions

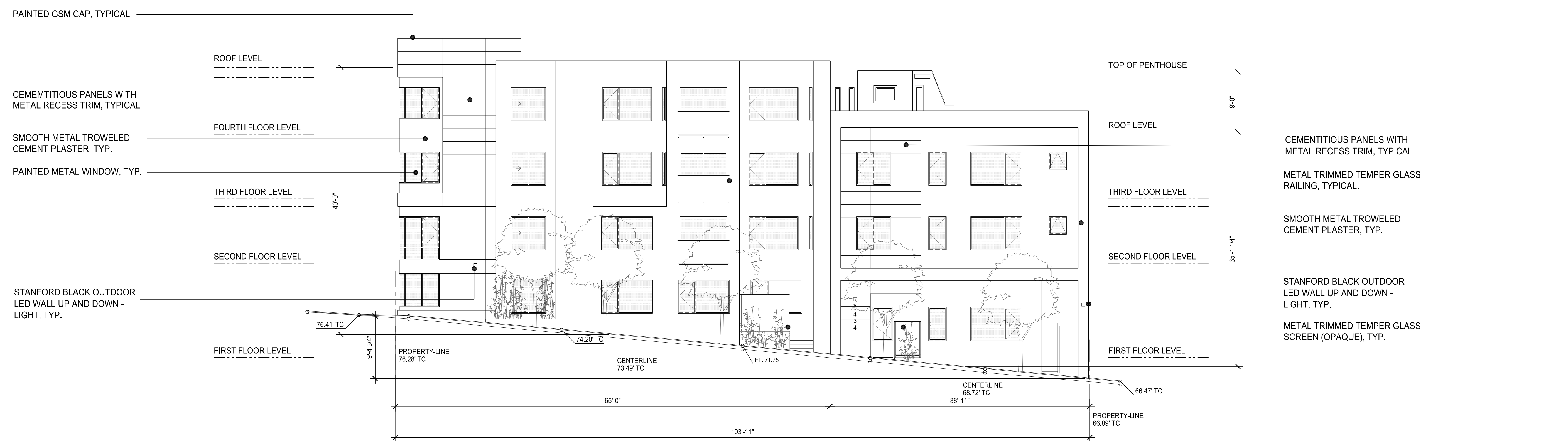
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**SOUTH ELEVATION (KEY AVENUE)**

SCALE: 1/8" = 1'-0"

NOTE: 1. ANY UNBROKEN GLAZING OVER 24 S.F. SHALL HAVE TINTED GLAZING OR SCREENING IN FRONT PER S.F. PLANNING CODE SECTION 139.  
2. ALL EXTERIOR LIGHTS SHALL BE SHIELDED, NO UP LIGHTING SHALL BE USED PER S.F. PLANNING CODE SECTION 139.



**SOUTH ELEVATION (THIRD STREET SIDE)**

SCALE: 1/8" = 1'-0"

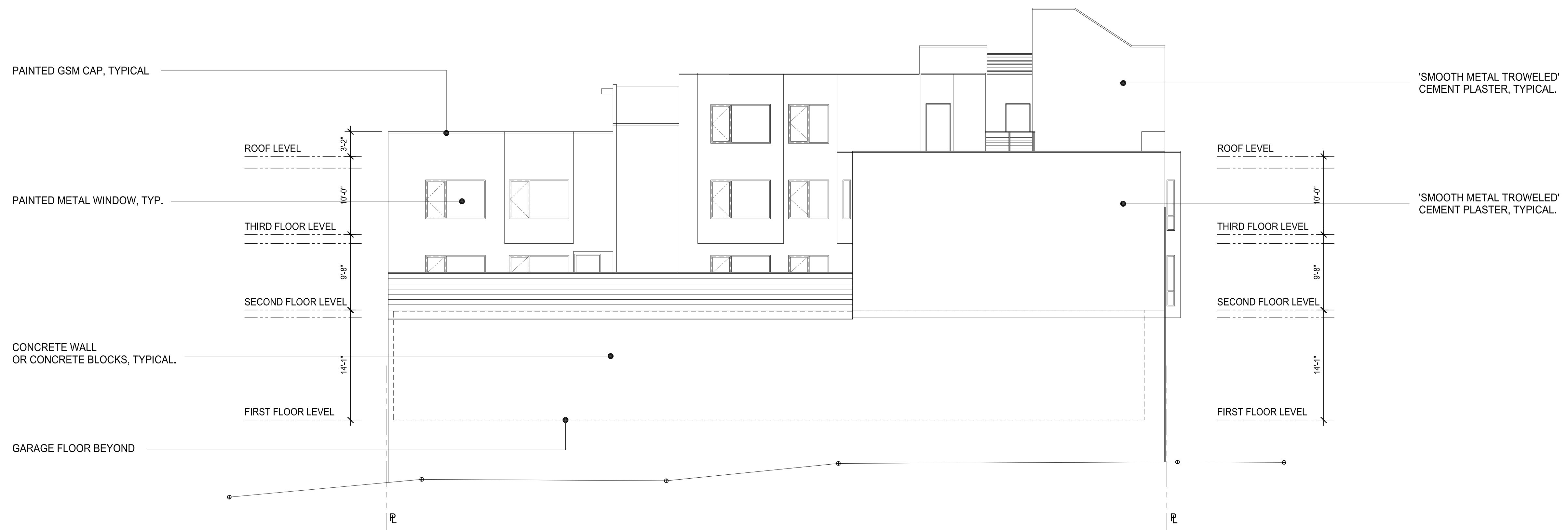
Elevation

Scale: 1/8" = 1'-0"

**A3.0**

### Revisions

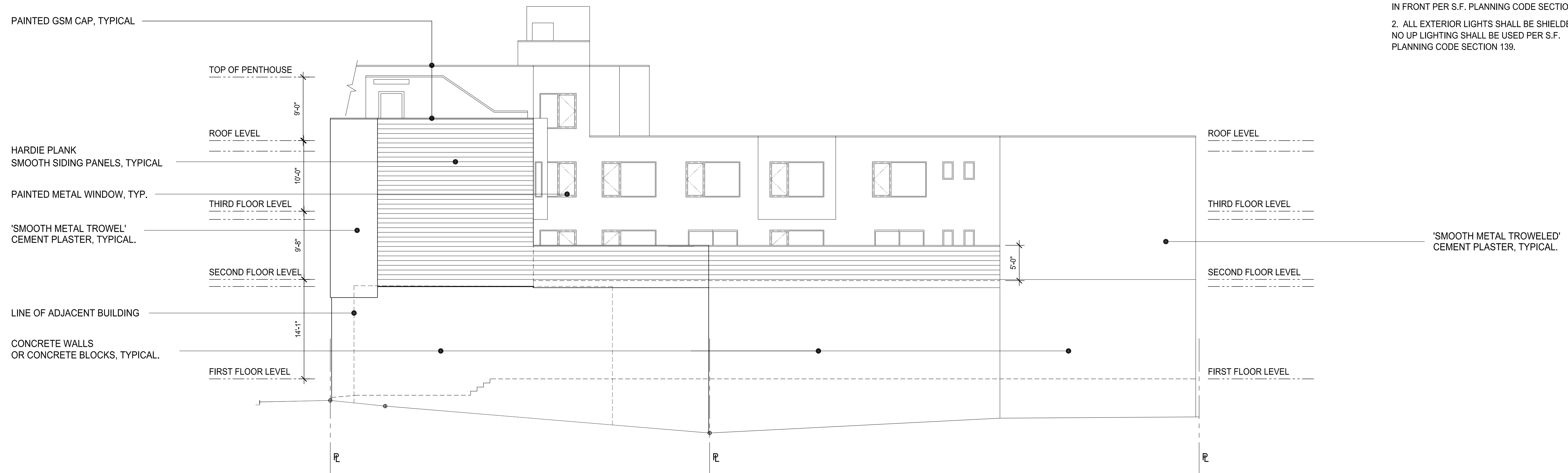
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**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

NOTE: 1. ANY UNBROKEN GLAZING OVER 24 S.F. SHALL HAVE TINTED GLAZING OR SCREENING IN FRONT PER S.F. PLANNING CODE SECTION 139.  
2. ALL EXTERIOR LIGHTS SHALL BE SHIELDED, NO UP LIGHTING SHALL BE USED PER S.F. PLANNING CODE SECTION 139.



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

Elevation

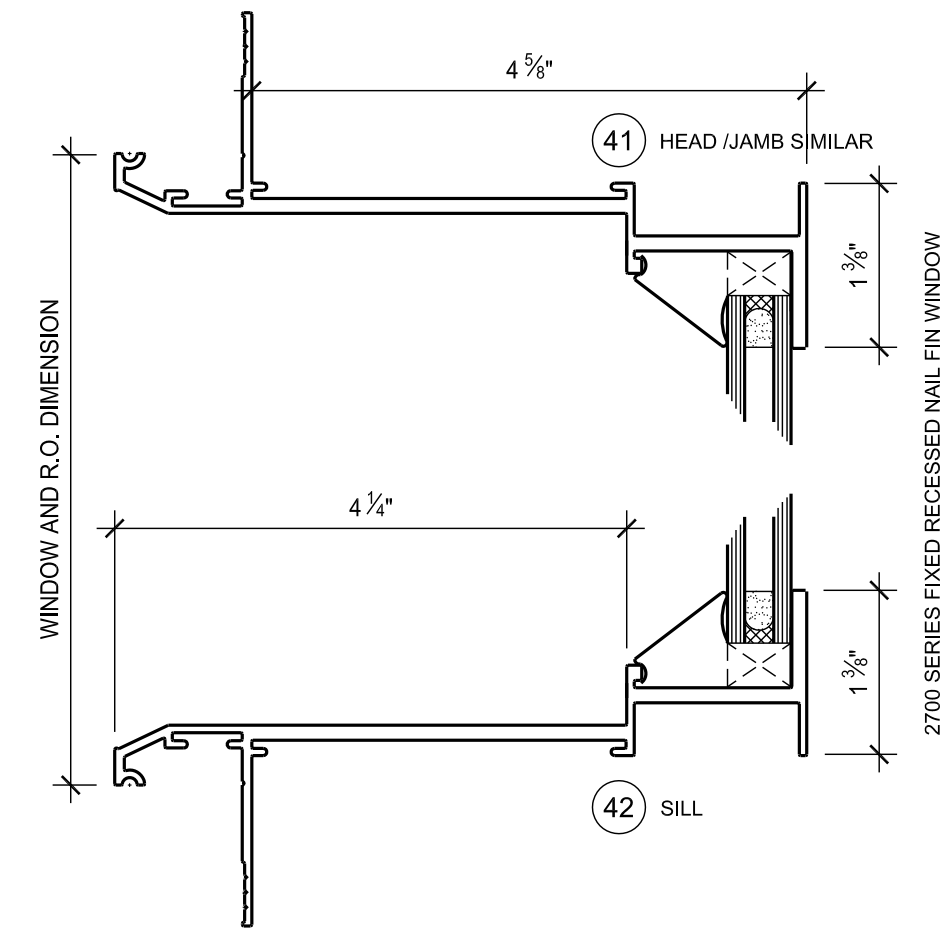
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**A3.1**

# DETAILS: 700R RECESSED FIXED AND PROJECTED ( AT PAGE STREET FACADE )

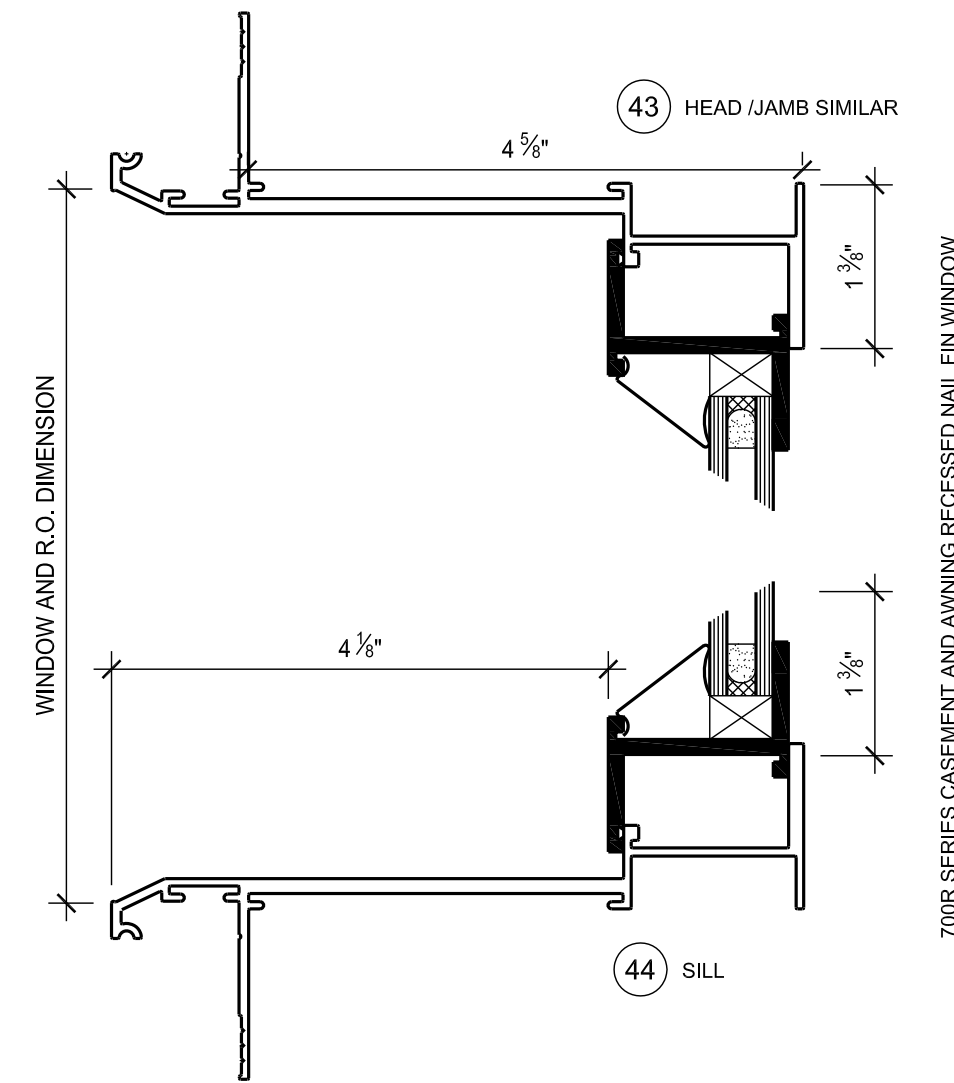
## DETAIL 41,42

BONELLI WINDOWS & DOORS  
2700 SERIES FIXED RECESSED NAIL FIN WINDOW

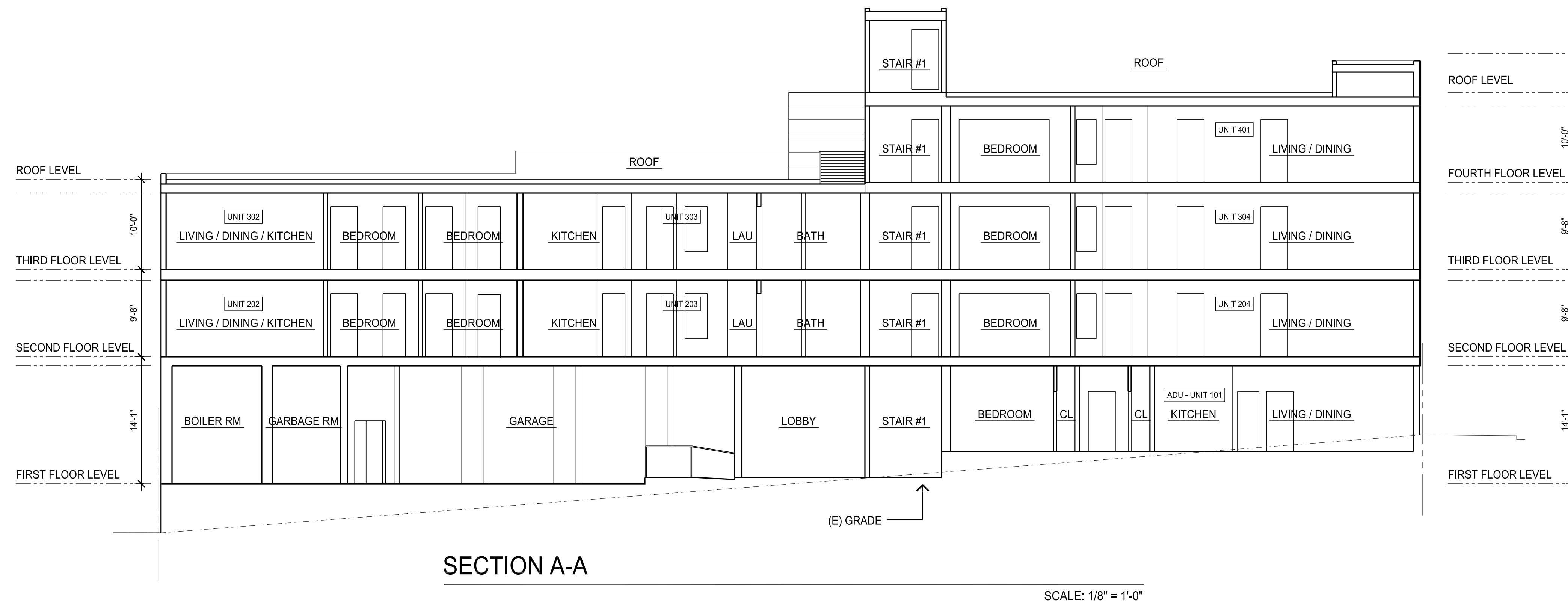
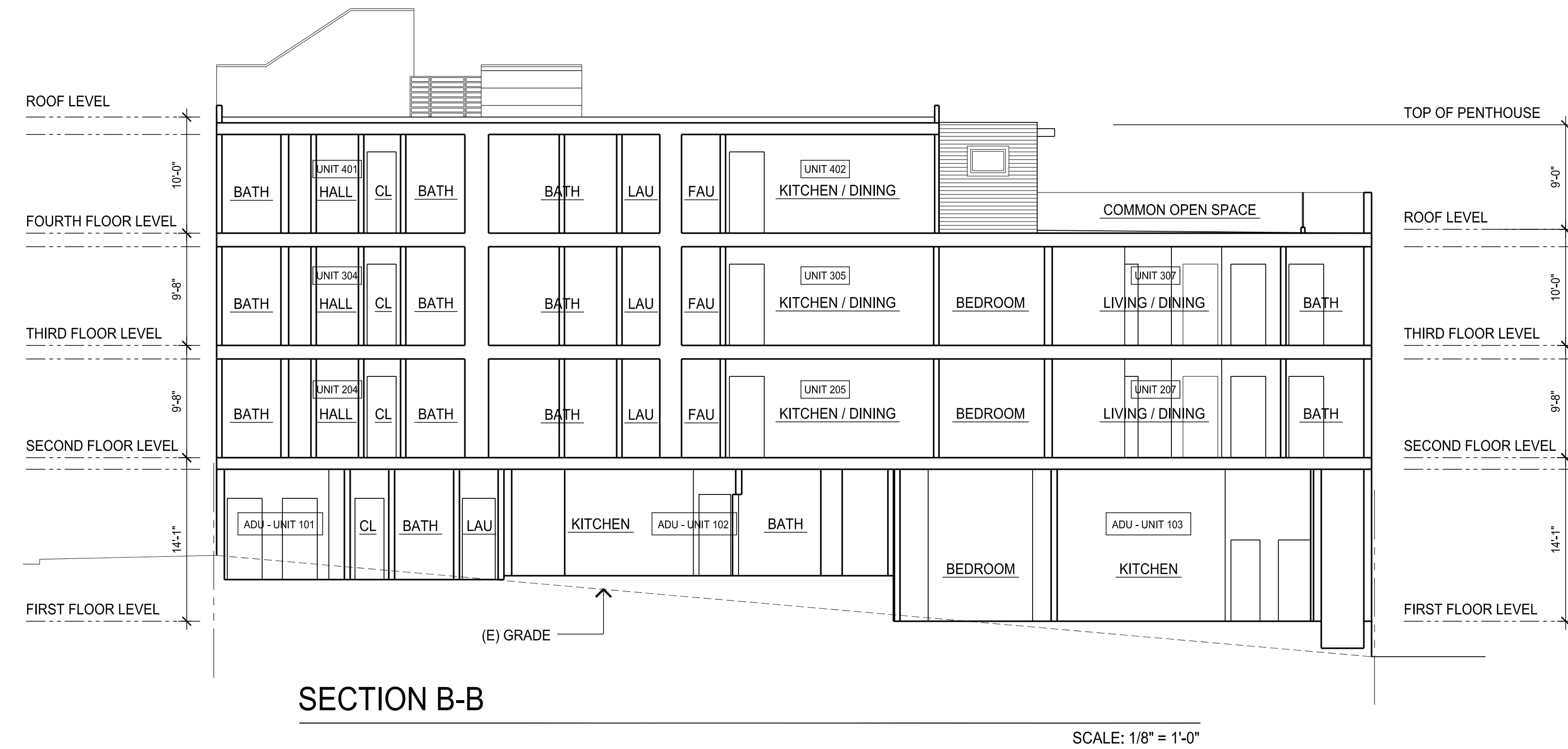


## DETAIL 43,44

BONELLI WINDOWS & DOORS  
2700 SERIES CASEMENT AND AWNING RECESSED NAIL FIN WINDOW



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2. ALL EXTERIOR LIGHTS SHALL BE SHIELDED, NO UP LIGHTING SHALL BE USED PER S.F. PLANNING CODE SECTION 139.



# 1088

## Key Avenue

A Mix-use Project  
w/ Condominiums

San Francisco • California

GARY  
GEE  
AIA

GARY GEE ARCHITECTS, INC.

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Project No. 14-016 Date 05.13.14

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Section

Scale: 1/8" = 1'-0"

# A4.0