

**BAYVIEW HUNTERS  
POINT CITIZENS  
ADVISORY  
COMMITTEE**

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**MEETING MINUTES (DRAFT)  
October 6, 2021  
Start: 6:00 PM; End: 8:15 PM**

**Held virtually via Webex**

**Order of Business:**

**1. Call to Order and Roll Call**

**MEMBERS PRESENT:**

Devanshu Patel (Chair)  
Philip Williams (Vice Chair)  
Bakari Adams  
Kirk Davis  
Dominica Henderson  
Linda Jordan

**MEMBERS ABSENT:**

Tim Chan  
Elaine Redus

**2. Approval of Minutes from Previous Meetings**

**Motion:** Patel; 2<sup>nd</sup>: Henderson

**All in Favor**

**Absent:** Williams, Chan & Redus

**3. General Public Comment**

At this time, members of the public may address the Citizens Advisory Committee on items of interest to the public that are within the subject matter jurisdiction of the Committee but do not appear on the agenda. With respect to agenda items, the public will be given an opportunity to address the Committee when the item is reached in the meeting. Each member of the public may address the Committee for up to three minutes.

The Brown Act forbids a Committee from taking action or discussing any item not appearing on the posted agenda, including those items raised at Public Comment. In response to public comment on an item that is not on the agenda, the Committee is limited to:

- Briefly responding to statements made or questions posed by members of the public, or
- Requesting staff to report back on a matter at a subsequent meeting, or
- Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a).

#### **4. Report from the City Administrator's Office / San Francisco Planning Department**

[Discussion and Possible Action]

##### **a. Resolution Making Findings to Allow Teleconferenced Meetings under California Government Code Section 54953(e).**

**Motion:** Jordan; 2<sup>nd</sup>: Henderson

**All in Favor**

**Absent:** Chan & Redus

#### **5. New Business: Department and Project Sponsor Presentations**

[Discussion and Possible Action]

##### **a. 1440 Egbert Avenue:** Presentation on proposed cannabis cultivation site.

- Presenters: John Chin & George Schevon
- Recommendation to connect with Cultural Districts & Mural
- The CAC would like more Information from Property Owner
- The CAC would like the Owner present and provide more information
- Continued to until November 3rd

##### **b. Evans Avenue Quick-Build Project:** Informational presentation from SFMTA.

#### **6. Committee Members' Comments and Announcements**

None

#### **7. Committee Members' Proposed Future Agenda Items**

- Request for presentation on 5250 3<sup>rd</sup> St (Williams)
- Discussion on Cannabis (Davis)

- Request for a Map of Cannabis Businesses (Bakari)
- Request for update on the African-American Arts & Cultural District (Davis)
- Request for update on Candlestick Point Development (Jordan)
- Discussion of accountability for businesses reviewed by CAC (Davis)

## **8. Adjournment**

## **SUNSHINE ORDINANCE**

Government's duty is to serve the public, reaching its decisions in full view of the public. Commissions, boards, councils and other agencies of the City and County exist to conduct the people's business. This ordinance assures that deliberations are conducted before the people and that City operations are open to the people's review. For information on your rights under the Sunshine Ordinance (Chapters 67 of the San Francisco Administrative Code) or to report a violation of the ordinance, please contact:

Sunshine Ordinance Task Force  
1 Dr. Carlton B Goodlett Place Room  
244 San Francisco, CA 94102-4689  
Phone: 415-554-7724, Fax: 415-554-5784  
Email: [soft@sfgov.org](mailto:soft@sfgov.org)

Copies of the Sunshine Ordinance can be obtained from the Administrator of the Sunshine Task Force, the San Francisco Public Library and on the City's website at [www.sfgov.org](http://www.sfgov.org).

## **DISABILITY ACCESS**

The Southeast Community Facility is on the corner of Oakdale Avenue and Phelps Street (1800 Oakdale Avenue) and is wheelchair accessible. The closest MUNI stop is on Third Street, between Oakdale and Palou Avenues, three blocks away. The nearest MUNI lines are the KT Third St Light Rail. For more information about MUNI accessible services, call (415) 923-6142.

To obtain a disability-related modification or accommodation, including auxiliary aids or services, to participate in the meeting, please contact the City Administrator's Office at 415-554-4148 at least 48 hours before the meeting, except for Monday meetings, for which the deadline is 4:00pm the previous Friday.

In order to assist the City's efforts to accommodate persons with severe allergies, environmental illnesses, multiple chemical sensitivity or related disabilities, attendees at public meetings are reminded that others may be sensitive to various chemical based products. Please help the City accommodate these individuals.

## **LOBBYIST ORDINANCE**

Individuals that influence or attempt to influence local policy or administrative action may be required by the San Francisco Lobbyist Ordinance (San Francisco Campaign and Governmental Conduct Code sections 2.100 – 2.160) to register and report lobbying activity. For more information about the Lobbyist Ordinance, please contact the Ethics Commission at 25 Van Ness Avenue, Suite 220, San Francisco, CA 94102, telephone (415) 252-3100, fax (415) 252-3112 and website: <http://www.sfgov.org/ethics>

**Bayview Hunters Point Citizen Advisory Committee  
Project Questionnaire**

Dear Project Sponsor:

Thank you for considering Bayview for your project. The Bayview Hunters Point Citizen Advisory Committee (CAC) is an advisory board tasked with providing policy advice on planning and land use matters in Zone 2 of Bayview/Hunters Point to the City of San Francisco (including the Board of Supervisors, the Planning Department and other applicable city boards and commissions).

We are providing you with this project information template so that the CAC will be best informed about your project so that your CAC presentation and Q&A session will be the most productive for you and the CAC. If there are any items below that are unfamiliar or not applicable to your project, please indicate this as needed.

**Please Note: The CAC expects this questionnaire to be fully completed and the Project Sponsor to attend and be available to answer questions at your CAC presentation. Failure to do so may lead to a delayed decision regarding your project.**

Thank you for your cooperation and we look forward to hearing about your proposal.

Bayview Hunters Point CAC

**Project Name:** EGBERT AVENUE CANNABIS CULTIVATION **Date:** 09/28/2021

**Project Address:** 1440 EGBERT AVENUE SAN FRANCISCO, CA 94124

**Project Sponsor:** George Schevon

**Project Sponsor Phone and Email:** 510-502-5368 george@studio4architecture.com

**Architect:** Studio 4 Architecture

**SF Planning Contact / rep:** Michael Christensen

**Has a PPA (preliminary planning assessment) request been submitted?** No . **If yes, please attach a copy of the PPA letter (all pages) and any response from the San Francisco Planning Administrator, if received.**

**I. OVERVIEW**

1. Is the project a primary or mixed-use development (e.g., housing + retail, office + housing, industrial + office, or clinic + housing, etc)? Please provide a brief overview of the type of project.

NO. THE PROJECT INVOLVES THE ADAPTIVE REUSE OF AN EXISTING SHEETMETAL SHOP INTO A CANNABIS CULTIVATION FACILITY.

**II. RESIDENTIAL USES**

**(Please complete if residential use is part of the project. If no residential use is proposed, please skip this section).**

- 2. Total number of units in the project: \_\_\_\_\_  
    Number of units for sale: \_\_\_\_\_  
    Number of units for rent: \_\_\_\_\_

3. Please describe the proposed overall mix of units for **sale** at market rates and percentage of AMI; and if applicable the units for **rent** and percentage of AMI.

\_\_\_\_\_

\_\_\_\_\_

4. Does your project plan include features or units that accommodate those with physical disabilities?

\_\_\_\_\_

5. Please describe how many parking spaces are proposed for vehicles and/or bikes.

\_\_\_\_\_

6. What is your connection to the Bayview Hunters Point Community? Please describe.

\_\_\_\_\_

**III. RETAIL/ OFFICE / COMMERCIAL USES**

**(Please complete if retail/commercial use is part of the project. If no retail/commercial use is proposed, please skip this section).**

- 7. Has an economic impact report been submitted by the project owner/sponsor? \_\_\_\_\_.
- 8. Has a business plan been submitted by the project owner/sponsor? \_\_\_\_\_.
- 9. Is this an established business with a demonstrated history of success? \_\_\_\_\_.
- 10. Is this a new business? \_\_\_\_\_.
- 11. Is the business conducted by: a sole proprietor \_\_\_\_\_; a corporation \_\_\_\_\_; a non-profit org \_\_\_\_\_.
- 12. Is the business part of a chain or stores or franchise? \_\_\_\_\_.
- 13. Is the project a: retail sales operation \_\_\_\_\_; wholesale distributor/ warehouse/storage \_\_\_\_\_; industrial use/manufacturer \_\_\_\_\_; office/business service \_\_\_\_\_; other: \_\_\_\_\_.
- 14. Expected Annual gross sales expected at project site. \_\_\_\_\_ Est. Sales per Sq. Ft. \_\_\_\_\_.
- 15. Does the project provide a diversity in retail use for the area? \_\_\_\_\_.

16. Are other similar type retail operations in proximity to the proposed project? \_\_\_\_\_
17. Is the project an anchor tenant in a larger retail/commercial complex? \_\_\_\_\_.
18. Is the project stand-alone storefront or office? \_\_\_\_\_.
19. Are residential tenants living in/above or adjacent to the project site? \_\_\_\_\_.
20. Is the project a potential catalyst for other activities? \_\_\_\_\_.
21. Is the project a potential catalyst for other businesses? \_\_\_\_\_.
22. Does the project contribute to the enhancement of the physical appearance of the site, street frontage, or complex which may generate similar renovations? \_\_\_\_\_.
23. Does the project benefit from the Third Street Light Rail as a transit-oriented development? \_\_\_\_\_.
24. Please describe how many parking spaces are proposed for vehicles and/or bikes for the retail/commercial portion of the project.
- \_\_\_\_\_

25. What is your connection to the Bayview Hunters Point Community? Please describe.

\_\_\_\_\_

**IV. INDUSTRIAL USES**

**(Please complete if industrial use is part of the project. If no industrial use is proposed, please skip this section).**

26. Expected Annual gross sales expected at project site. \$1,000,000 Est. Sales per Sq. Ft. \$175.
27. Does the project provide a diversity in industrial use for the area? PROJECT PROVIDES AGRICULTURAL USE TO SURROUNDING AREA.
28. Are other similar type industrial operations in proximity to the proposed project? YES.
29. Is the project an anchor tenant in an industrial complex? NO.
30. Does the project contribute to the enhancement of the physical appearance of the site, street frontage, or complex which may generate similar renovations? FRONT FAÇADE WILL BE WHITEWASHED AND REPAINTED.
31. Please describe how many parking spaces are proposed for vehicles and/or bikes for the industrial portion of the project.

ONE SPACE WITHIN THE FACILITY FOR A DELIVERY VAN LOADING WILL BE PROVIDED.

32. What is your connection to the Bayview Hunters Point Community? Please describe.

NONE.

\_\_\_\_\_

**V. EMPLOYMENT IMPACT FOR BAYVIEW/HUNTERS POINT**

33. Has the owner/sponsor identified a BVHP Community Based Organization (“CBO”) providing job training and referral to fulfill the basic employment requirements of the project? Which CBO or CBO’s?

**NO.**

34. Does the owner/sponsor have plans to incorporate youth internship opportunities for local resident youth in connection with the project? If so, please provide details.

**NOT APPLICABLE.**

35. Will the project request proposals for pre-construction activities from local residents and/or local companies?

**NO. THERE ARE NO RESIDENTIAL PROPERTIES WITHIN 300 FEET OF SUBJECT PROPERTY. IF REQUIRED, WE CAN SUBMIT REQUEST PROPOSALS TO LOCAL COMPANIES.**

36. Will the project provide opportunities for construction employment by local companies and/or local residents either directly or through an established Community Jobs Program?

**YES.**

37. Will the project provide entry-level employment opportunities for local individuals to enter the construction, service, and/or retail sectors as the basis for promotion to full time, fully benefited employment?

**YES.**

38. Will the project provide on-going and operational employment for local individuals? **YES.**

39. Will the project provide opportunities for local Minority owned Business Enterprise (MBE) and/or Women owned Business Enterprise (WBE) to participate in the pre-construction, construction, and operational employment requirements?

**YES. BUSINESS OWNER IS MINORITY OWNED BUSINESS.**

40. Note details of:

Designated primary CBO for training and employment **NOT APPLICABLE.**

Designated secondary CBO for training and employment **NOT APPLICABLE.**

First Source Hiring Goals: **LOCAL QUALIFIED RESIDENTS WILL HAVE AN OPPORTUNITY TO WORK AT THIS FACILITY.**

Workforce Hiring Goals: **TO HIRE EMPLOYEES FROM THE CITY AND COUNTY OF SAN FRANCISCO.**

Compliance officer identified for hiring implementation **OWNER WILL BE HIRING.**

41. Are the training and employment opportunities as outlined above, or in a separate MOU, Employment Agreement, or Contract acceptable to the PAC as a basis for endorsing this project?

**OWNER WILL REVIEWING CANDIDATES AND HIRING QUALIFIED INDIVIDUALS DIRECTLY.**



**VI. ECONOMIC IMPACT FOR BAYVIEW/HUNTERS POINT**

42. Has the project owner/sponsor agreed to direct support of a CBO through fixed annual contribution, percentage of profit contribution, donation of goods or services?

Details: NO.

43. Does the project involve ownership by a 'home grown' or locally owned business or micro-business?

YES. BUSINESS OWNERS ARE CURRENTLY RESIDENTS OF SAN FRANCISCO.

44. Is there an opportunity for 'community ownership' or 'community investment' in this project?

YES. PROJECT WILL SUPPORT THE LOCAL EQUITY PARTNER PROGRAM.

45. If applicable, how will the project sponsor utilize the space due any period of entitlement or permitting? Has the project sponsor made any plans to mitigate negative impacts of site work or site closure? Please mention any local economic development agencies, merchant associations, small businesses, non-profits, or faith-based institutions that you will be working with on these mitigation efforts.

Other Comments:

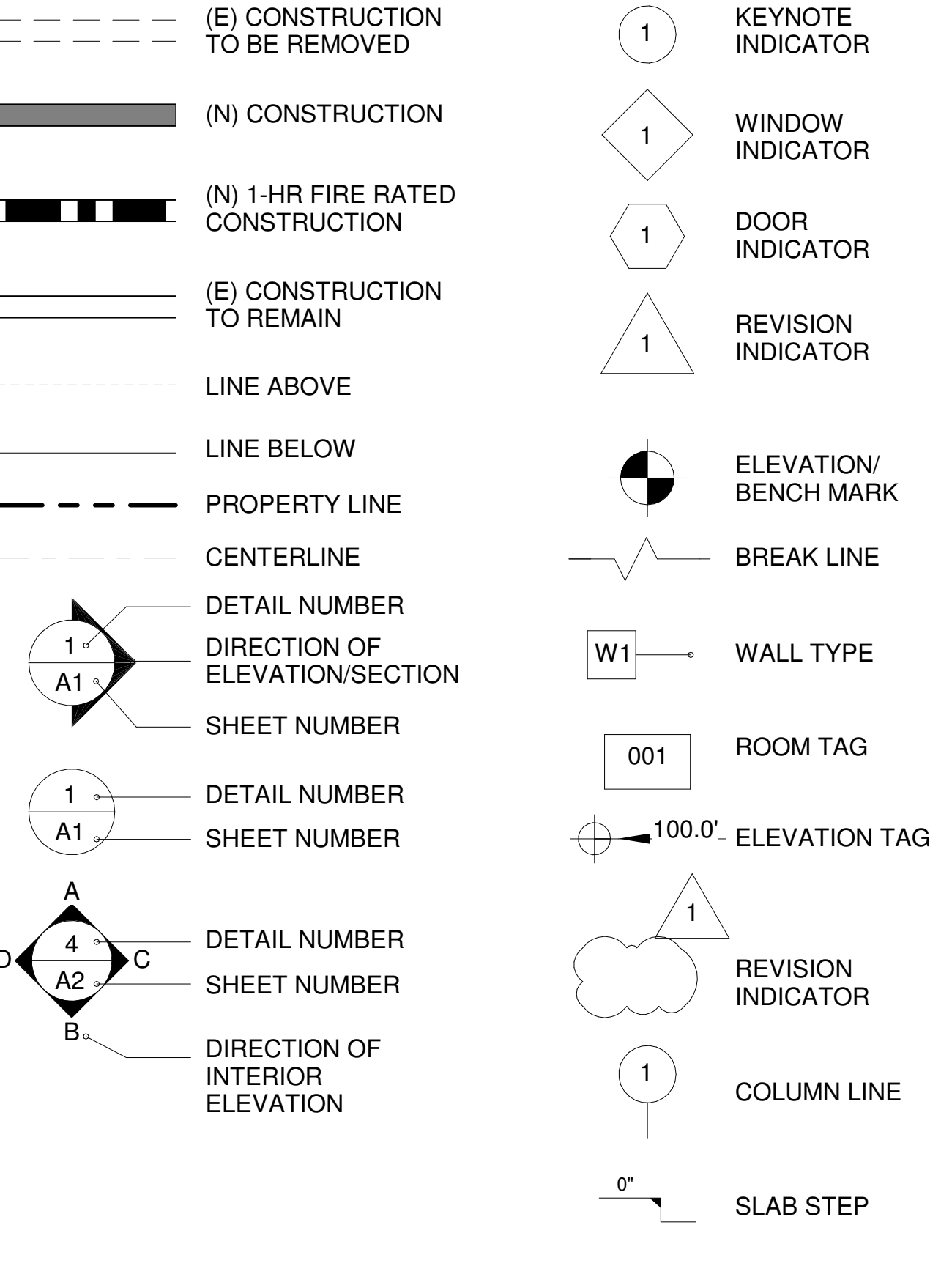
SINCE MOST OF THE WORK WILL BE OCCURRING INDOORS, THE IMPACT OF THE CONSTRUCTION PROCESS ON THE NEIGHBORING PROPERTIES WILL BE MINIMAL. WE WILL ALSO BE UTILIZING A LOCALLY BASED SECURITY COMPANY TO PROVIDE SECURITY FOR THE SITE. LOCAL VENDORS, HARDWARE STORES, BUILDING SUPPLY STORES, HYDROPONIC STORES WILL BE USED FOR ONGOING SUPPLY FOR DAILY OPERATIONS.

+ Date and attach any and all letters of acknowledgment, notices or endorsement, resolutions, or memoranda to this file.

GENERAL NOTES

- 1 THE ARCHITECT OR OWNER SHALL SUBMIT DRAWINGS FOR PLAN CHECK. THE OWNER SHALL PAY FOR ALL PLAN CHECK FEES. THE CONTRACTOR SHALL APPLY FOR, PICK UP AND PAY FOR ALL PERMITS.
2 ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING UNLESS NOTED OTHERWISE.
3 ALL WORK SHALL BE COMPLETED SKILLFULLY AND IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS.
4 EXCEPT WHERE CONTRACT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS INCLUDING MANUFACTURER STANDARDS AND INSTALLATION INSTRUCTIONS HAVE THE SAME FORCE AND EFFECT AS IF FOUND OR COPIED INTO THE CONTRACT DOCUMENTS. SUCH STANDARDS ARE PART OF THE CONTRACT DOCUMENTS BY REFERENCE. WHERE COMPLIANCE WITH A STANDARD IS REQUIRED, COMPLY WITH THE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
5 THE DRAWINGS SHOW ONLY REPRESENTATIVE TYPICAL DETAILS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY CONDITION.
6 THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ANY ONE SHALL BE AS BINDING BY ALL. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND OTHER ITEMS AS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
7 THE CONTRACTOR SHALL COORDINATE THE VARIOUS CONSTRUCTION ACTIVITIES TO ASSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT ARE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, CONNECTION AND OPERATION.
8 THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR OWNER PROVIDED MATERIALS. THE OWNER SHALL DETERMINE LEAD TIME FOR ALL PRODUCTS AND DELIVER PRODUCTS WHEN NEEDED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF THESE ITEMS TO THE OWNER WITHIN TWO WEEKS AFTER THE START OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF SCHEDULE REVISIONS.
11 THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE PROGRESS OF THE WORK ON A WEEKLY BASIS. THE ARCHITECT WILL FREQUENTLY AS CONDITIONS WARRANT.
12 THE CONTRACTOR SHALL SCHEDULE MEETINGS WITH THE OWNER ON A TIMELY BASIS AND TO ALLOW FOR TIME REQUIRED TO PROVIDE APPROPRIATE RESPONSE TO ANY QUESTIONS OR SITE CONDITIONS.
13 THE CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AND FOR ANOTHER MEETING AFTER DETERMINING THE PROJECT DIMENSIONAL LAYOUT, FOR THE REVIEW BY THE ARCHITECT AND OWNER.
14 THE CONTRACTOR SHALL ALLOW TWO WEEKS FOR REVIEW OF SUBMITTALS, SHOP DRAWINGS, SUBSTITUTIONS, AND RFIS BY THE ARCHITECT. CONTRACTOR SHALL REVIEW ALL SUBMITTALS BEFORE ISSUING THEM TO THE ARCHITECT FOR REVIEW.
15 SUBMIT SHOP DRAWINGS OF ELEVATIONS OF WINDOW WALLS AND FULL SIZE DETAILS SHOWING THICKNESS, PROFILES, JOINTING, CONNECTIONS, AND ASSEMBLY OF VARIOUS MEMBERS, REINFORCEMENT, ANCHORAGE, AND SUPPORTS, FLASHING AND SEALANTS.
16 THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN:
a. THE CONTRACT DOCUMENTS AND EXISTING FIELD CONDITIONS.
b. MANUFACTURER'S INSTRUCTIONS, REGULATIONS, CODES AND THE CONTRACT DOCUMENTS.
17 ALL CHANGE ORDERS SHALL BE IN WRITING AND SHALL BE SIGNED BY THE OWNER AND CONTRACTOR. CHANGE ORDERS SHALL BE SIGNED PRIOR TO BEGINNING THE WORK OR ORDERING THE MATERIALS ADDRESSED IN THE CHANGE ORDER, UNLESS APPROVED IN WRITING AND IN ADVANCE BY THE ARCHITECT.
18 THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL MODIFICATIONS REQUESTED BY THE BUILDING DEPARTMENT, OR OFFICIAL HAVING JURISDICTION, AND OF ALL CHANGES REQUESTED BY THE INSPECTOR, OWNER, OR OTHERS. SUBSTITUTIONS WILL BE CONSIDERED, BUT DO NOT SUBSTITUTE DETAILS, EQUIPMENT, OR METHODS WITHOUT SPECIFIC, WRITTEN APPROVAL BY THE ARCHITECT.
19 THE CONTRACTOR SHALL VERIFY WITH THE ARCHITECT CODE UPGRADE WORK NOT REQUIRED BY THE OFFICIAL HAVING JURISDICTION. IF THE CONTRACTOR BELIEVES CODE WORK IS NECESSARY, AND IT HAS NOT BEEN REQUIRED BY THE OFFICIAL HAVING JURISDICTION, THE ARCHITECT SHALL DETERMINE WHETHER WORK SHALL BE UNDERTAKEN.
21 REMODELING, REPAIR OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS. BECAUSE SOME OF THE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT DESTROYING ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE CONTRACTOR SHALL VERIFY ALL QUESTIONS, CONDITIONS, AND PROCEDURES WITH THE ARCHITECT PRIOR TO COMMENCING EACH PORTION OF THE WORK.
22 THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BEGINNING WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL RESOLVE ANY DISCREPANCY PRIOR TO PROCEEDING WITH THE WORK.
23 WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO THE FACE OF FRAMES, UNLESS OTHERWISE NOTED.)
24 THE REMOVAL OR ALTERING IN ANY WAY OF EXISTING WORK SHALL BE CARRIED ON IN SUCH A MANNER AS TO PREVENT INJURY OR DAMAGE TO ANY PORTION (S) OF THE EXISTING WORK TO REMAIN.
25 WHERE CONSTRUCTION ABUTS ADJACENT PROPERTY OR AN EXISTING STRUCTURE, THE CONTRACTOR SHALL VERIFY, PRIOR TO THE START OF THE WORK, IF ANY CONDITIONS WILL AFFECT WORK PROGRESS OR CONFORMANCE TO THESE DOCUMENTS.
26 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED AS A RESULT OF THE WORK. ANY DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
27 WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED, OR REMODELED, PATCH OR REPLACE WITH MATERIALS TO MATCH IN KIND, QUALITY, AND PERFORMANCE WITH ADJACENT MATERIALS.
28 DO NOT NOTCH, BORE, OR CUT STRUCTURAL MEMBERS FOR PIPES, DUCTS, OR OTHER REASONS WITHOUT THE SPECIFIC, ADVANCE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
29 THE CONTRACTOR IS RESPONSIBLE FOR CAPPING OFF ANY UTILITY LINES DISTURBED DURING THE DEMOLITION AND CONSTRUCTION PROCESS THAT COULD BE A SAFETY HAZARD OR CAUSE DAMAGE TO THE BUILDING.
30 THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SUPPORTS, BRACING, AND SHORING OF EXISTING STRUCTURAL MEMBERS AS REQUIRED DURING THE CONSTRUCTION PROCESS. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BARRICADES.
31 UNLESS OTHERWISE INDICATED, ALL NEW WORK SHALL MATCH EXISTING MATERIALS, DETAILS, TRIM, ETC. TO THE FULLEST EXTENT POSSIBLE. PROVIDE PRODUCTS OF THE SAME KIND AND FROM A SINGLE SOURCE.
32 PRIOR TO ORDERING OR FABRICATING MATERIAL, EQUIPMENT, OR PRODUCTS, THE CONTRACTOR SHALL DETERMINE THAT THE SIZE AND PRODUCTS INDICATED WILL PROPERLY ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS.
33 THE CONTRACTOR SHALL INSPECT MATERIALS AND EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. CONTRACTOR SHALL REJECT DAMAGED AND DEFECTIVE ITEMS.
34 THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT, FIXTURES, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
35 FOLLOW THE MANUFACTURER'S INSTRUCTIONS CAREFULLY. THE MANUFACTURER'S INSTRUCTIONS AND WARRANTIES SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB.
36 THE CONTRACTOR SHALL FLASH AND COUNTERFLASH TO S.I.A.C.A. STANDARDS, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS WHERE NECESSARY TO PROVIDE A WATERPROOF AND WEATHERPROOF CONSTRUCTION PROJECT.
37 PROVIDE AND INSTALL NEW FIBERGLASS BATT INSULATION (OR OTHER INSULATION AS REQUIRED) AT NEW CONSTRUCTION AND AT EXISTING CONSTRUCTION WHERE OPENED UP DURING THE COURSE OF CONSTRUCTION AS FOLLOWS:
R-15 OR R-21: AT EXTERIOR WALLS OR WALLS ADJACENT TO UNCONDITIONED SPACES.
R-19 AT FLOOR ASSEMBLIES ABOVE CRAWL SPACES.
R-30 AT ROOFS AND ROOF DECKS.
WHERE EXISTING CONSTRUCTION DOES NOT PROVIDE SUFFICIENT DEPTH, INSTALL THE THICKEST STANDARD BATT INSULATION THAT WILL FIT WITHIN THE AVAILABLE SPACE, UNLESS OTHERWISE NOTED IN THE DRAWINGS.
38 PROVIDE AND INSTALL TEMPERED GLAZING WHERE REQUIRED BY CODE. INSTALL TEMPERED GLAZING IN THE FOLLOWING HAZARDOUS LOCATIONS:
a. GLAZING IN SWINGING DOORS (EXCEPT JALOUSIES).
b. GLAZING IN FIXED AND SLIDING PANELS OF A SLIDING DOOR.
c. GLAZING IN STORM DOORS.
d. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF.
e. GLAZING PANELS LESS THAN 18" ABOVE THE FLOOR.
f. GLAZING IN SHOWER DOORS.
g. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 80 INCHES ABOVE THE WALKING SURFACE.
h. GLAZING IN WINDOWS LESS THAN 60" AFF AND ARE LOCATED LESS THAN 60" FROM A TUB OR SHOWER.
39 THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT THE JOB SITE AT ALL TIMES, INCLUDING SAFETY OF PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION OF SAFETY.
40 THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES. CLEAN MATERIALS, PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. PROVIDE TEMPORARY PROTECTIVE COVERINGS WHERE NECESSARY TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION.
41 THE CONTRACTOR SHALL PERIODICALLY CLEAN AND MAINTAIN COMPLETED CONSTRUCTION ON A REGULAR BASIS. AT THE COMPLETION OF THE PROJECT, PROVIDE A FINAL CLEANING OF ALL SURFACES. POLISH ALL GLASS. BROOM SWEEP EXTERIOR SURFACES, AND VACUUM ALL INTERIOR FLOORS. CONTRACTOR SHALL LEAVE THE PREMISES CLEAN, ORDERLY, AND READY FOR OCCUPANCY.
42 THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS AND WASTE OFF SITE IN A LEGAL MANNER AND ON A REGULAR BASIS TO PREVENT EXCESS ACCUMULATION ON SITE.
43 STUDIO 4 ARCHITECTURE (S4A) AND S4A'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO MOLD, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), LEAD OR OTHER TOXIC SUBSTANCES.
44 THE CONTRACTOR SHALL INSTALL ALL ELECTRICAL OUTLETS, SWITCHES AND LIGHTING FIXTURES AS REQUESTED BY OWNER AND REQUIRED BY CODE.
45 CONTRACTOR TO SUBMIT SIZING CALCULATION TO THE CITY INSPECTOR FOR WATER LINE TO VERIFY THAT EXISTING WATER LINE IS ADEQUATE.

SYMBOLS



ABBREVIATIONS

Table with 4 columns: ABBREVIATION and FULL NAME. Includes: ABV. ABOVE, A.F.F. ABOVE FINISH FLOOR, A.P. ACCESS PANEL, ACOUS. ACOUSTIC, A.C.T. ACOUSTICAL CEILING TILE, ADJ. ADJUSTABLE OR ADJACENT, A.C. AIR CONDITIONING, ALT. ALTERNATE, AL. ALUMINUM, A.B. ANCHOR BOLTS & AND, L. ANGLE, APPL. APPLIANCE, APPROX. APPROXIMATELY, ARCH. ARCHITECT, @ AT, BM. BEAM, BLKG. BLOCKING, BD. BOARD, BOT. BOTTOM, B.N. BOUNDARY NAILING, BLDG. BUILDING, CPT. CARPET, CLG. CEILING, CTR. CENTER, C.L. CENTER LINE, CLR. CLEAR, CLO. CLOSET, COL. COLUMN, CONC. CONCRETE, C.M.U. CONCRETE MASONRY UNIT, CONST. CONSTRUCTION, CONT. CONTINUOUS, C.J. CONTROL JOINT, C.G. CORNER GUARD, CNT. COUNTER, CTSK. COUNTERSINK, DTL. DETAIL, DIA. DIAMETER, DM. DIMENSION, DISP. DISPENSER, DIST. DISTANCE, DR. DOOR, DBL. DOUBLE, D.F. DOWNGLAS FIR, DN. DOWN, DS. DOWNSPOUT, DWG. DRAWING, DK.F. DRINKING FOUNTAIN, EA. EACH, ELEC. ELECTRICAL, E.P. ELECTRICAL PANELBOARD, ELEV. ELEVATION, EMRGY. EMERGENCY, ENG. ENGINEERED, EQ. EQUAL, EQUIP. EQUIPMENT, EXC. EXCEPT, (E) EXISTING, EXT. EXTERIOR, F.O. FACE OF, F.O.F. FACE OF FINISH, F.O.S. FACE OF STUD, F.R.P. FIBERGLASS REINFORCED PANEL, FIN. FINISH, F.F. FINISH FLOOR, FLR. FLOOR, F.D. FLOOR DRAIN, FLOUR. FLOURESCENT, F.S.E.C. FOOT OR FEET, FT. FOOTING, FDN. FOUNDATION, F.O. FURNISHED BY OTHERS, GALV. GALVANIZED, G.S.M. GALVANIZED SHEET METAL, GA. GAUGE, G.C. GENERAL CONTRACTOR, GL. GLASS, G.F.R.C. GLASS FIBER REINFORCED CONCRETE, G.B. GRAB BAR, GND. GROUND, GYP. GYPSUM, G.W.L. GYPSUM WALL BOARD, HDWR. HARDWARE, HDWD. HARDWOOD, HGT. HEIGHT, HORIZ. HORIZONTAL, H.B. HOSE BIBB, HR. HOUR OR HOURS, INSUL. INSULATION, INT. INTERIOR, JAN. JANITOR, JT. JOINT, KIT. KITCHEN, K.E.C. KITCHEN EQUIPMENT CONTRACTOR, LAV. LAVATORY, MFR. MANUFACTURER, MTRL. MATERIAL, MAX. MAXIMUM, MECH. MECHANICAL, MTL. METAL, MIN. MINIMUM, MISC. MISCELLANEOUS, MTD. MOUNTED, NEW. NEW, NOM. NOMINAL, N.I.C. NOT IN CONTRACT, N.T.S. NOT TO SCALE, NO. NUMBER, O.C. ON CENTER, O. OVER, O.D. OVERFLOW DRAIN, OH. OVERHEAD, O.S.C.I. OWNER SUPPLIED CONTRACTOR, INSTALLED, PTN. PARTITION, P.E.N. PERIMETER EDGE NAILING, PERP. PERPENDICULAR, PLAS. PLASTER, P.LAM. PLASTIC LAMINATE, PL. PLATE, P.S.F. POUNDS PER SQUARE FOOT, P.S.I. POUNDS PER SQUARE INCH, P.T. PRESSURE TREATED, P.L. PROPERTY LINE, P.B.O. PROVIDED BY OWNER, R.W.L. RAIN WATER LEADER, R.W.D. REDWOOD, REF. REFRIGERATOR, REG. REGISTER, REQ. REQUIRED, R. RISER, R.D. ROOD DRAIN, RM. ROOM, R.O. ROUGH OPENING, R.S. ROUGH SAWS, SCH. SCHEDULE, SECT. SECTION, SED. SEE ELECTRICAL DRAWINGS, S.M.D. SEE MECHANICAL DRAWINGS, SPD. SEE PLUMBING DRAWINGS, S.S.D. SEE STRUCTURAL DRAWINGS, SAF. SELF ADHERED FLASHING, S.W. SHEAR WALL, SHTG. SHEATHING, ENO. ENGINEERED, SH. SHELF, SHR. SHOWER, SIM. SIMILAR, SPEC. SPECIFICATION, SQ. SQUARE, S.F. SQUARE FEET, S.S. STAINLESS STEEL, STD. STANDARD, STL. STEEL, STOR. STORAGE, STR. STRUCTURE, SUSP. SUSPENDED, TEMP. TEMPERED, THK. THICK, T.B.D. TO BE DETERMINED, T.N. TOE NAIL, T.O.B. TOP OF BEAM, T.O.CONG. TOP OF CONCRETE, T.O.C. TOP OF CURB, T.O.P.V. TOP OF PAVEMENT, T.O.P. TOP OF PLATE, T.O.W. TOP OF WALL, T&G. TONGUE AND GROOVE, T. TOWEL BAR, T. TREAD, TYP. TYPICAL, UN.O. UNLESS NOTED OTHERWISE, U.F. UNDER IN FIELD, VERT. VERTICAL, WSCT. WAINSCOT, W.C. WATER CLOSET, W.H. WATER HEATER, W.F. WATER RESISTANT, W.R. WATER RESISTANT, WT. WEIGHT, WD.W. WINDOW, W. WITH, WI. WITHIN, W/O. WITHOUT, WD. WOOD

# 1440 EGBERT AVENUE SAN FRANCISCO, CA 92124

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
IN AN (E) FOUNDRY

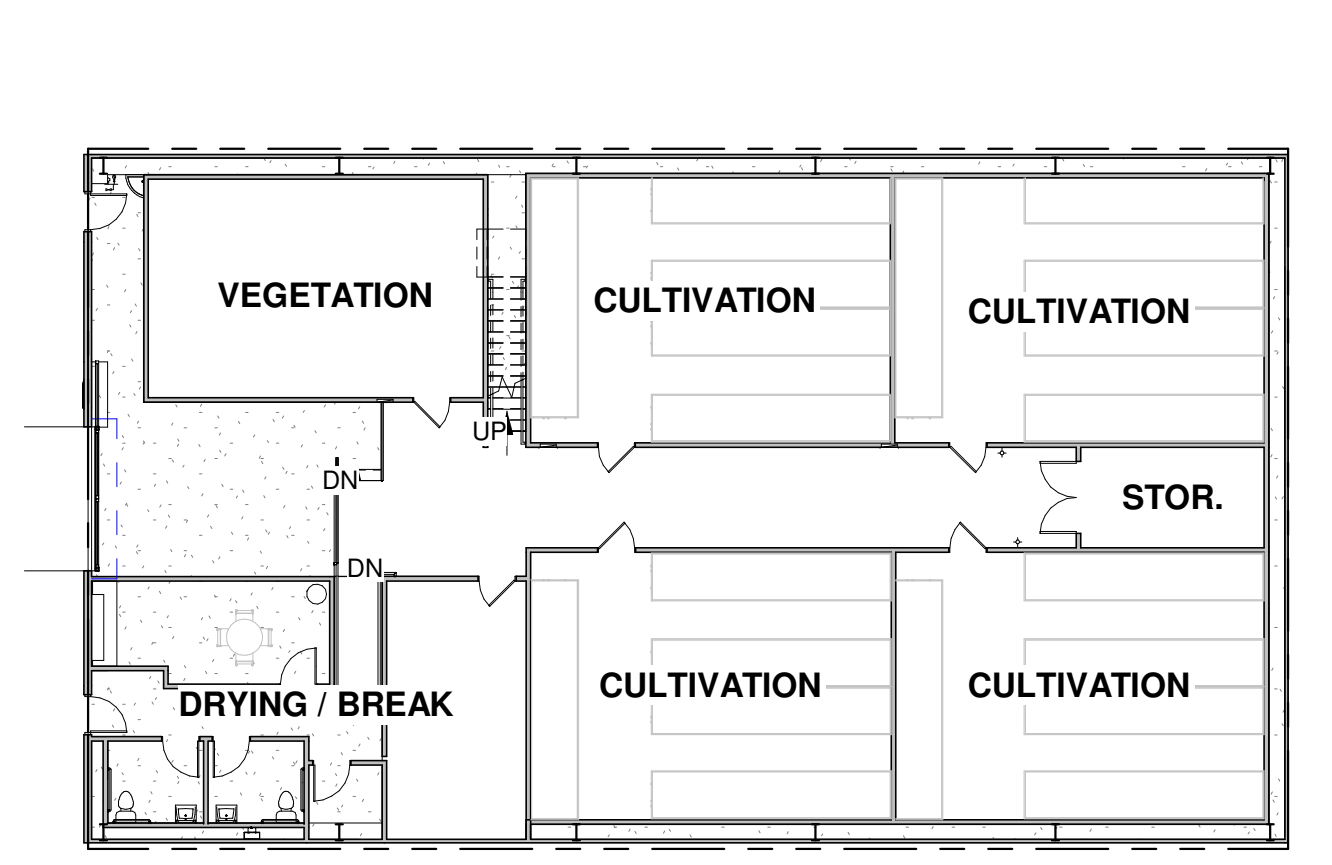
PROJECT DATA

ZONING ANALYSIS: BLOCK/LOT: 4881/005, ZONING: PDR-2; CORE PRODUCTION, DISTRIBUTION AND REPAIR... BUILDING ANALYSIS: GROSS BUILDING AREA: 4881/005, EXISTING WAREHOUSE: FIRST STORY: 5,733 sf, TOTAL: 5,733 sf... EXISTING NET AREA: 5,733 SF... PROJECT DESCRIPTION: THIS PROJECT INVOLVES EXTERIOR MODIFICATIONS & INTERIOR TENANT IMPROVEMENT...

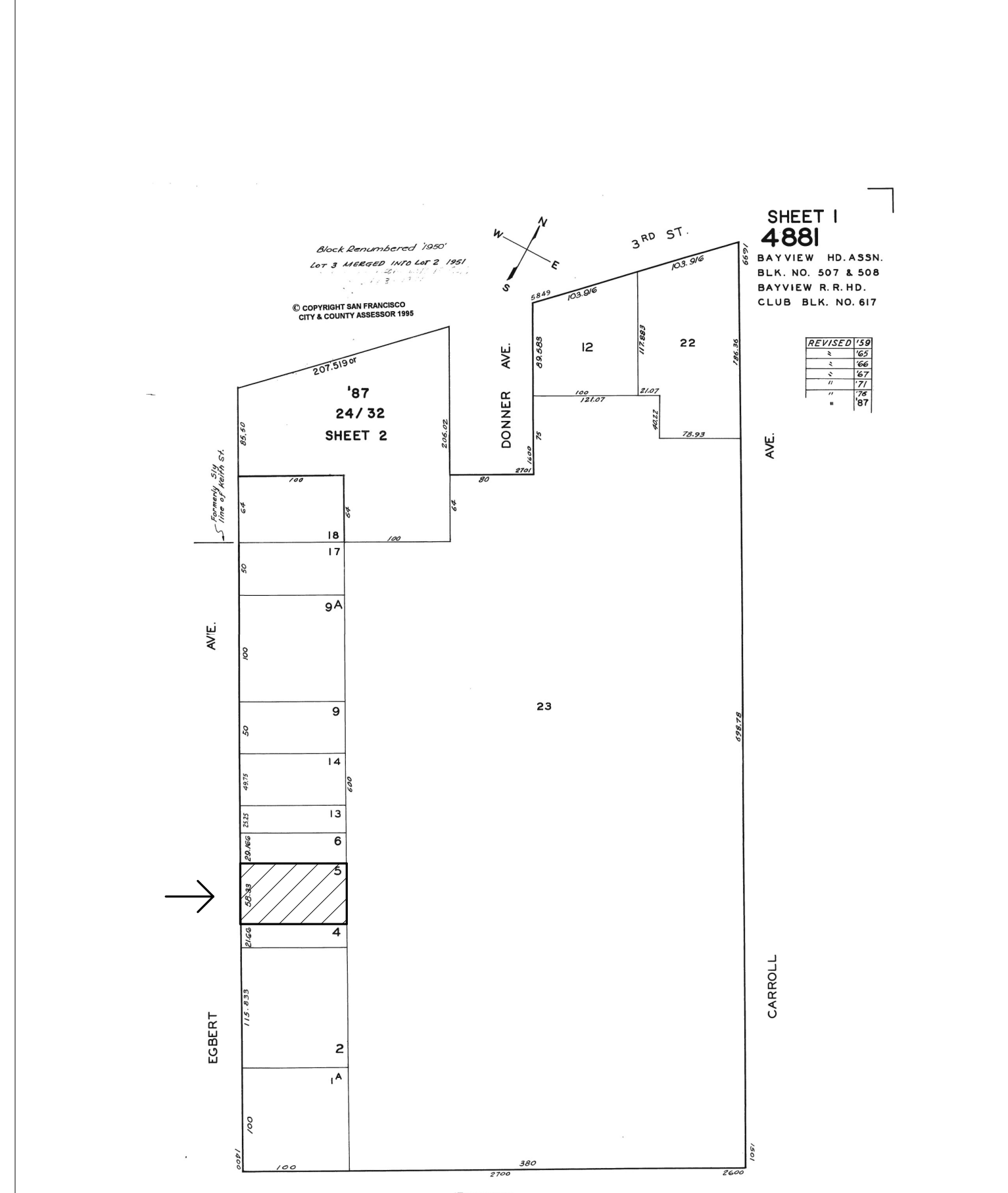
PROJECT DIRECTORY

OWNER: HOLLAND CAROL, PO BOX 24471, SAN FRANCISCO, CA 94124... ARCHITECT: STUDIO 4 ARCHITECTURE, 1840 B ALCATRAZ AVENUE, BERKELEY, CA 94703... ELECTRICAL ENGINEER: ZEIGER ENGINEERS, 478 3RD STREET, OAKLAND... MECHANICAL AND PLUMBING ENGINEER: H&M MECHANICAL, 8517 EARHART RD #230, OAKLAND, CA 94621...

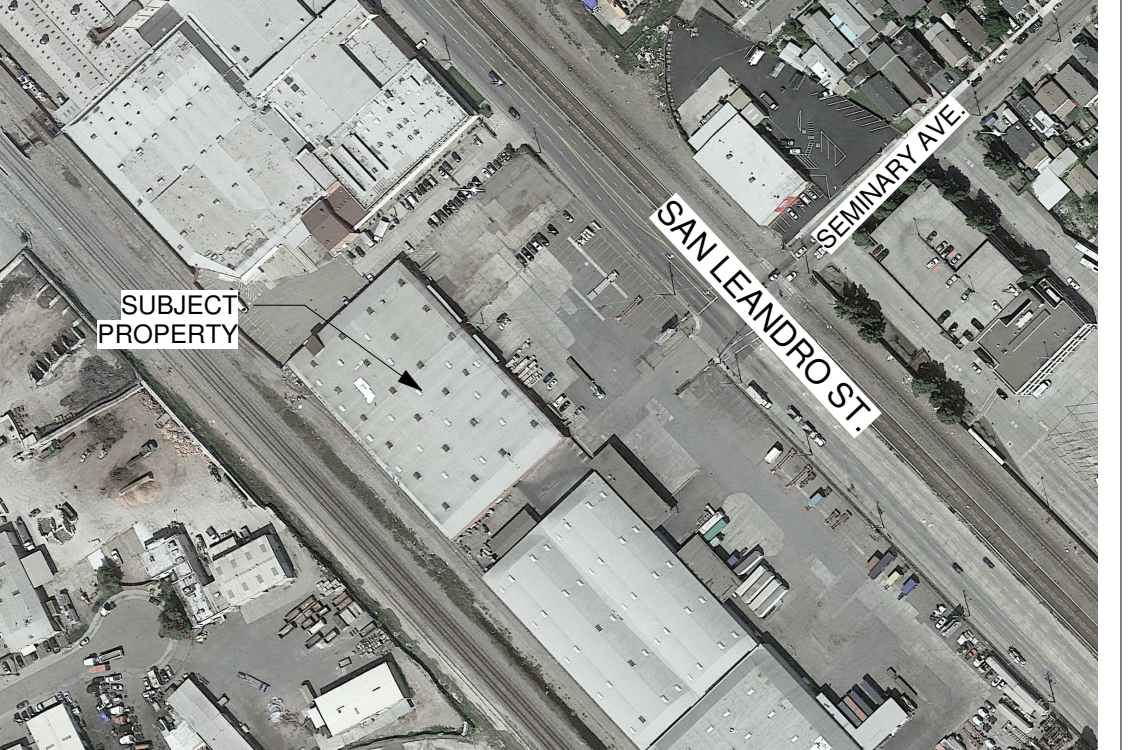
KEY PLAN



ASSESSOR PARCEL MAP



VICINITY MAP



DRAWING INDEX

ARCHITECTURAL: A000 COVER SHEET, A001 CODE COMPLIANCE DIAGRAMS, A003 DISABLED ACCESS STANDARDS, A010 SITE PHOTOS, A101 PROPOSED SITE PLAN, A102 (E) FLOOR PLAN, A103 (N) FLOOR PLAN, A104 (N) MECH MEZZ. FLOOR PLAN, A105 (E) ROOF PLAN, A106 (N) ROOF PLAN, A107 FURNITURE PLAN, A115 ENLARGED PLANS AND INT. ELEVS, A201 EXTERIOR ELEVATIONS - WEST, A202 EXTERIOR ELEVATIONS - SOUTH, A203 EXTERIOR ELEVATIONS - NORTH, A204 EXTERIOR ELEVATIONS - EAST, A301 BUILDING SECTIONS, A302 BUILDING SECTIONS

STUDIO 4 ARCHITECTURE  
1840 B Alcatraz Avenue  
Berkeley, CA 94703  
tel...510.644.3407  
fax...510.405.2006

STAMP: SEAL FOR THE CITY OF SAN FRANCISCO  
STATUS: CONDITIONAL USE AUTHORIZATION SUBMITTAL

CANNABIS CULTIVATION & PACKAGING  
TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

Table with 3 columns: No., Description, Date. Contains revision table entries.

SHEET NAME: COVER SHEET

Table with 2 columns: Field Name, Value. Includes Date (2021-03-12), Project Number (GS20249), Drawn By (AD), Checked By (GMS/TRS).

SHEET NUMBER: A000  
SCALE: As indicated

STAMP



STATUS  
**CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL**

# CANNABIS CULTIVATION & PACKAGING

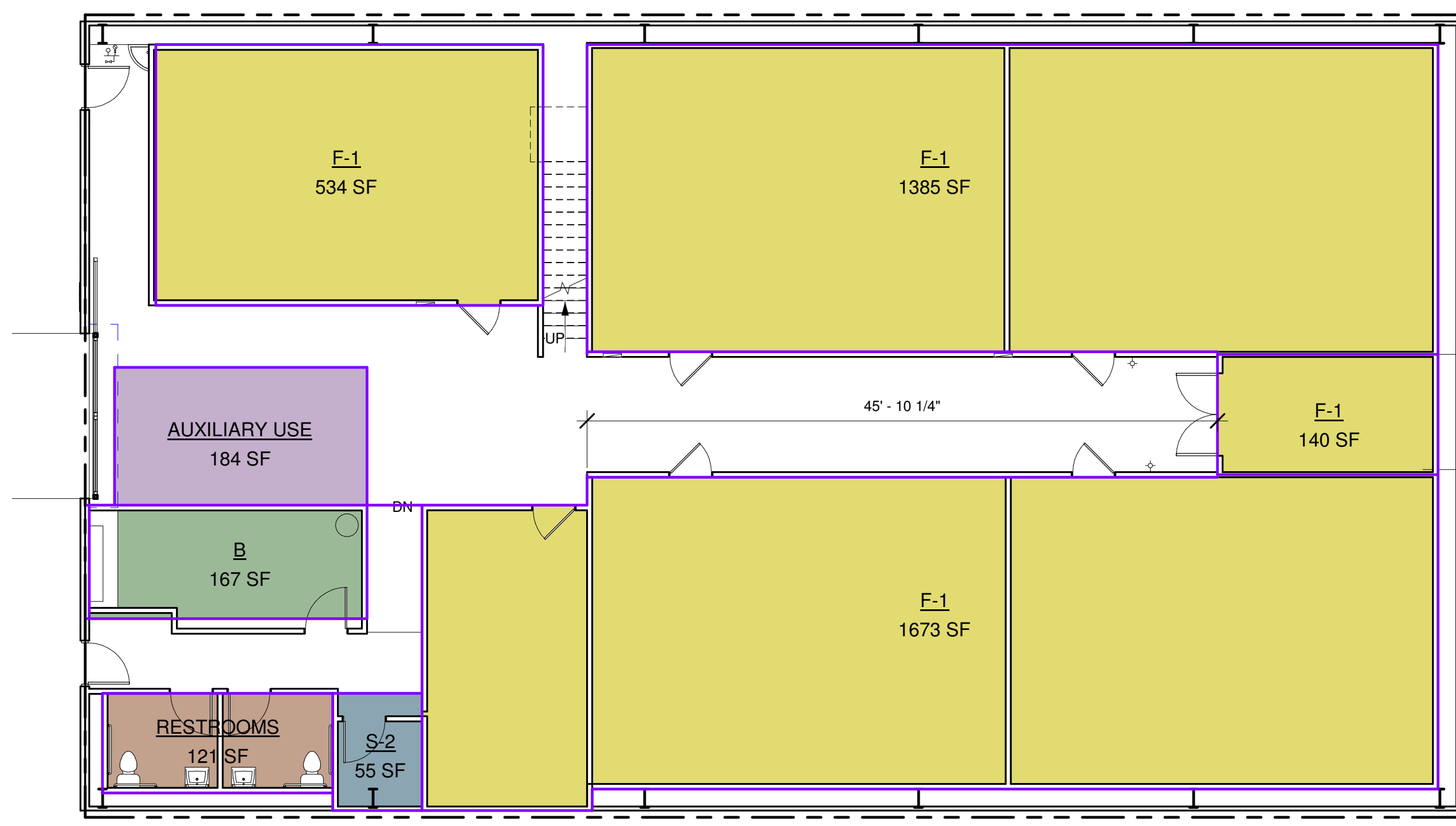
TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

**SHEET NOTES**

- ① CBC TABLE 508.4 | OCCUPANCY SEPARATIONS  
OCCUPANCY SEPARATIONS ARE REQUIRED. SPACES ARE  
F-1, B, & S-2.
- ② CBC TABLE 601 | TYPE OF CONSTRUCTION  
CONSTRUCTION TYPE IS V-B.
- ③ CBC TABLE 1004.1.1 | OCCUPANT LOAD  
(SEE OCCUPANT CALCULATIONS)
- ④ CBC 1007.1.1 | EXIT ACCESS  
EXCEPTION 2 - AUTOMATIC SPRINKLER SYSTEM  
REQUIRES 2 EXITS, EXIT DISTANCE MIN. 1/3 HORIZONTAL  
115'-3 1/4" = 38' 3/4"  
SEE DIAGRAMS FOR EXIT WIDTHS.
- ⑤ CBC TABLE 1017 | EXIT ACCESS TRAVEL DISTANCE  
GROUP F-1 OCCUPANCIES IN BUILDINGS EQUIPPED  
THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM  
IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL HAVE A  
MAXIMUM COMMON PATH OF TRAVEL DISTANCE OF 250  
FEET.
- ⑥ CBC SECTION 1010.1.10 | PANIC HARDWARE  
PANIC HARDWARE IS REQUIRED FOR ROOMS AND  
SPACES WITH AN OCCUPANT LOAD GREATER THAN 50 IN  
GROUP A OCCUPANCIES. ASSEMBLY AREAS NOT  
CLASSIFIED AS AN ASSEMBLY OCCUPANCY, E-1-2 OR I-2.1  
OCCUPANCIES. NO ROOMS OR SPACES WITHIN THE  
BUILDING REQUIRE PANIC HARDWARE.
- ⑦ CBC TABLE 1017.2 | EXIT ACCESS TRAVEL DISTANCE:  
250 FEET MAXIMUM FOR F-1 OCCUPANCIES.
- ⑧ CBC TABLE 1020.1 | CORRIDOR FIRE-RESISTANCE RATING:  
NO FIRE RATING REQUIRED FOR F OCCUPANCIES WITH  
AN AUTOMATIC SPRINKLER SYSTEM.
- ⑨ CBC SECTION 1020.4 | DEAD ENDS  
EXCEPTION 2 - AUTOMATIC SPRINKLER  
THE LENGTH OF DEAD END CORRIDORS IN F  
OCCUPANCIES SHALL NOT EXCEED 50 FEET.

**OCCUPANT LOAD CALCULATIONS**

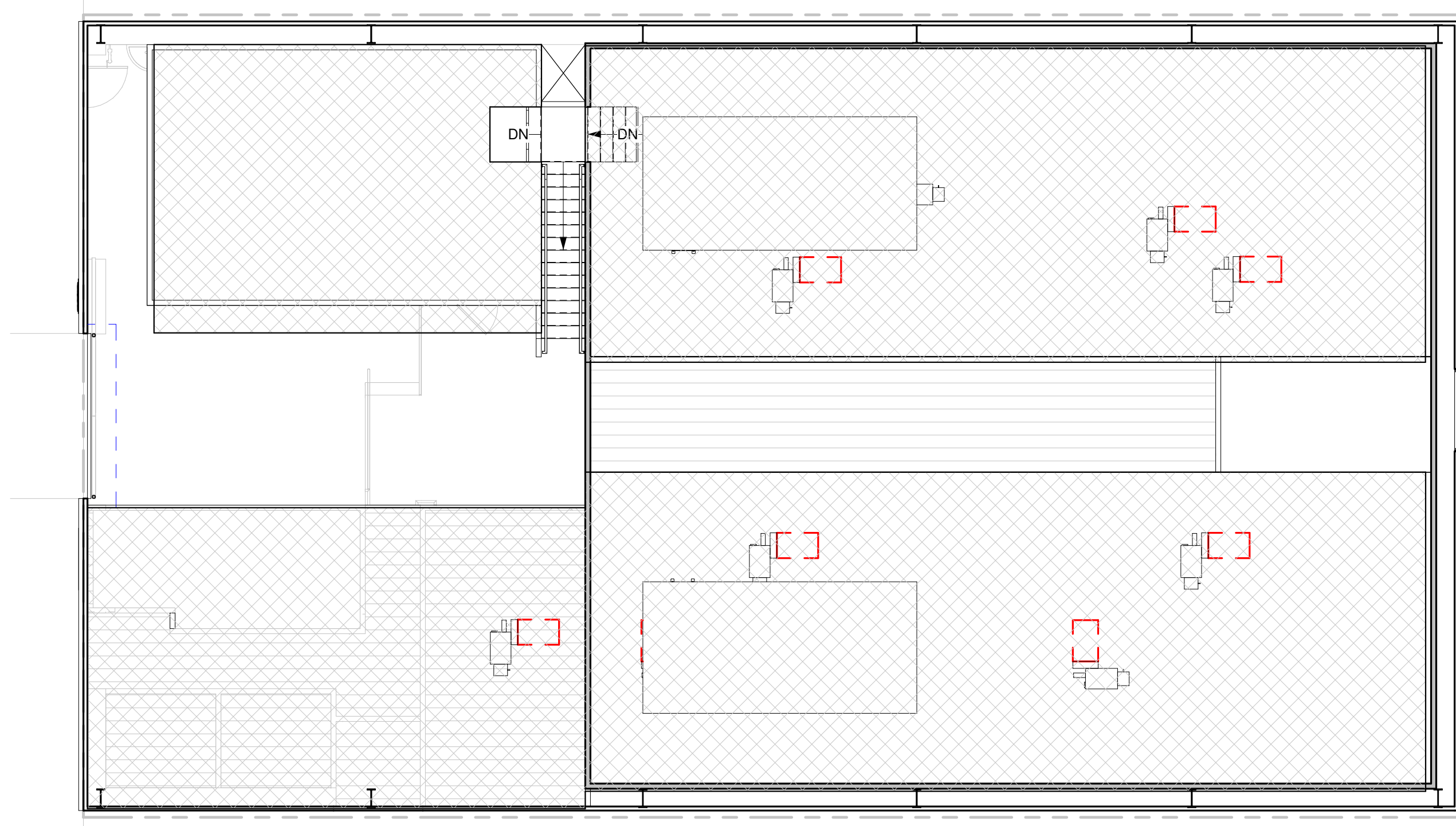
NUMBER	ROOM NAME	NET AREA	FUNCTION	LOAD FACTOR	OCC. LOAD CALC.
<b>FIRST FLOOR</b>					
100	(N) TRIM / DRYING ROOM	250 SF	F-1	100 SF	3
101	(N) CULTIVATION ROOM	670 SF	F-1	300 SF	2
102	(N) CULTIVATION ROOM	684 SF	F-1	300 SF	2
103	(N) CULTIVATION ROOM	680 SF	F-1	300 SF	2
104	(N) CULTIVATION ROOM	662 SF	F-1	300 SF	2
105	(N) NURSERY ROOM	506 SF	F-1	100 SF	5
106	(N) LOBBY	124 SF	B	100 SF	1
107	(N) BREAK RM	161 SF	B	15 SF	11
				3739 SF	29 OCCUPANTS



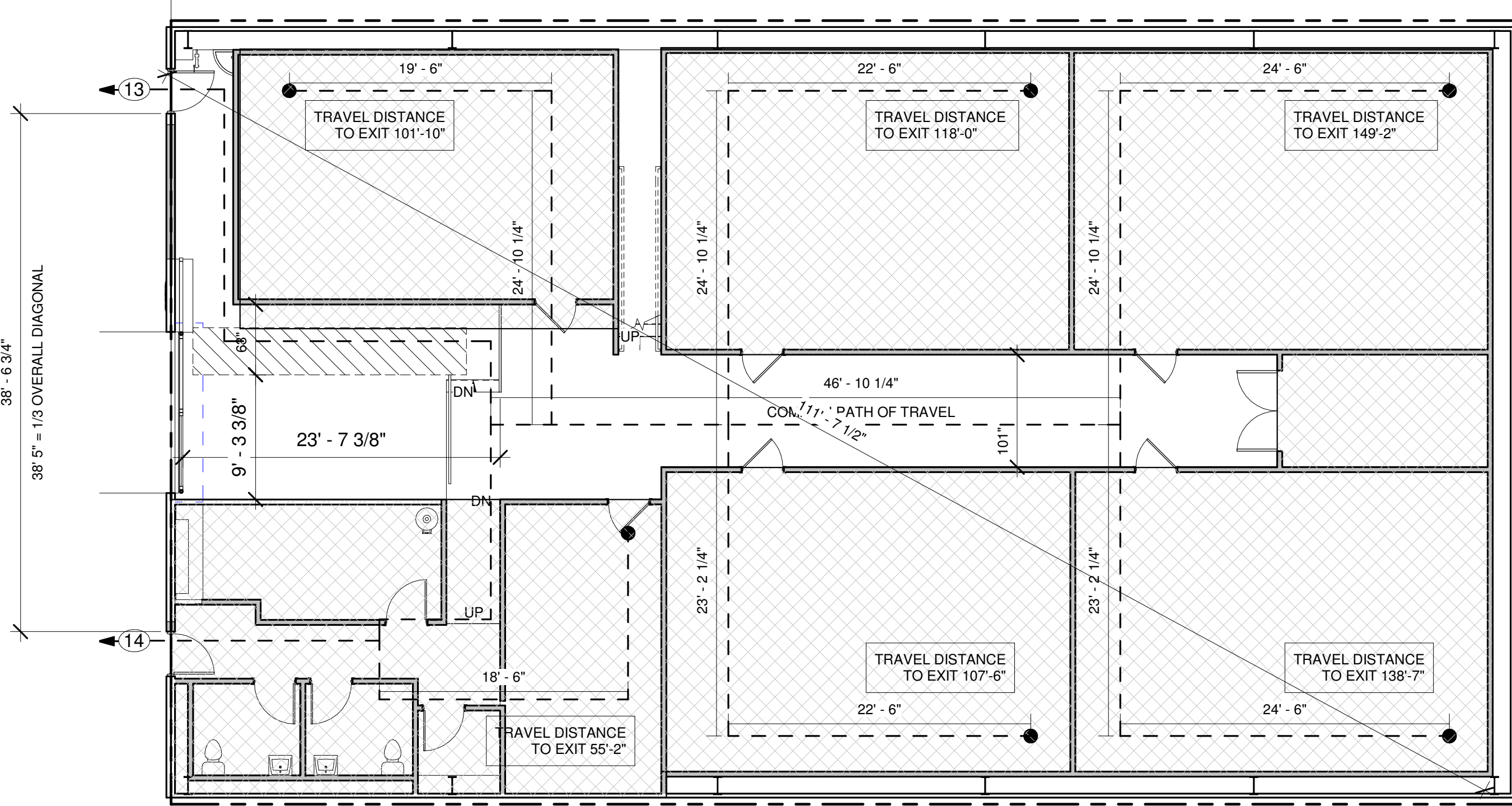
④ OCCUPANCY GROUP  
1/8" = 1'-0"

**Occupancy Legend**

- AUXILIARY USE
- B
- F-1
- RESTROOMS
- S-2



③ MECHANICAL PLATFORM - CODE DIAGRAMS  
1/8" = 1'-0"



① PROPOSED FLOOR PLAN - CODE DIAGRAMS  
1/8" = 1'-0"

**SHEET LEGEND**

- FLOOR AREA
- NUMBER OF OCCUPANTS PER EXIT
- COMMON PATH OF TRAVEL (P.O.T.)
- EXIT TRAVEL DISTANCE

No.	Description	Date

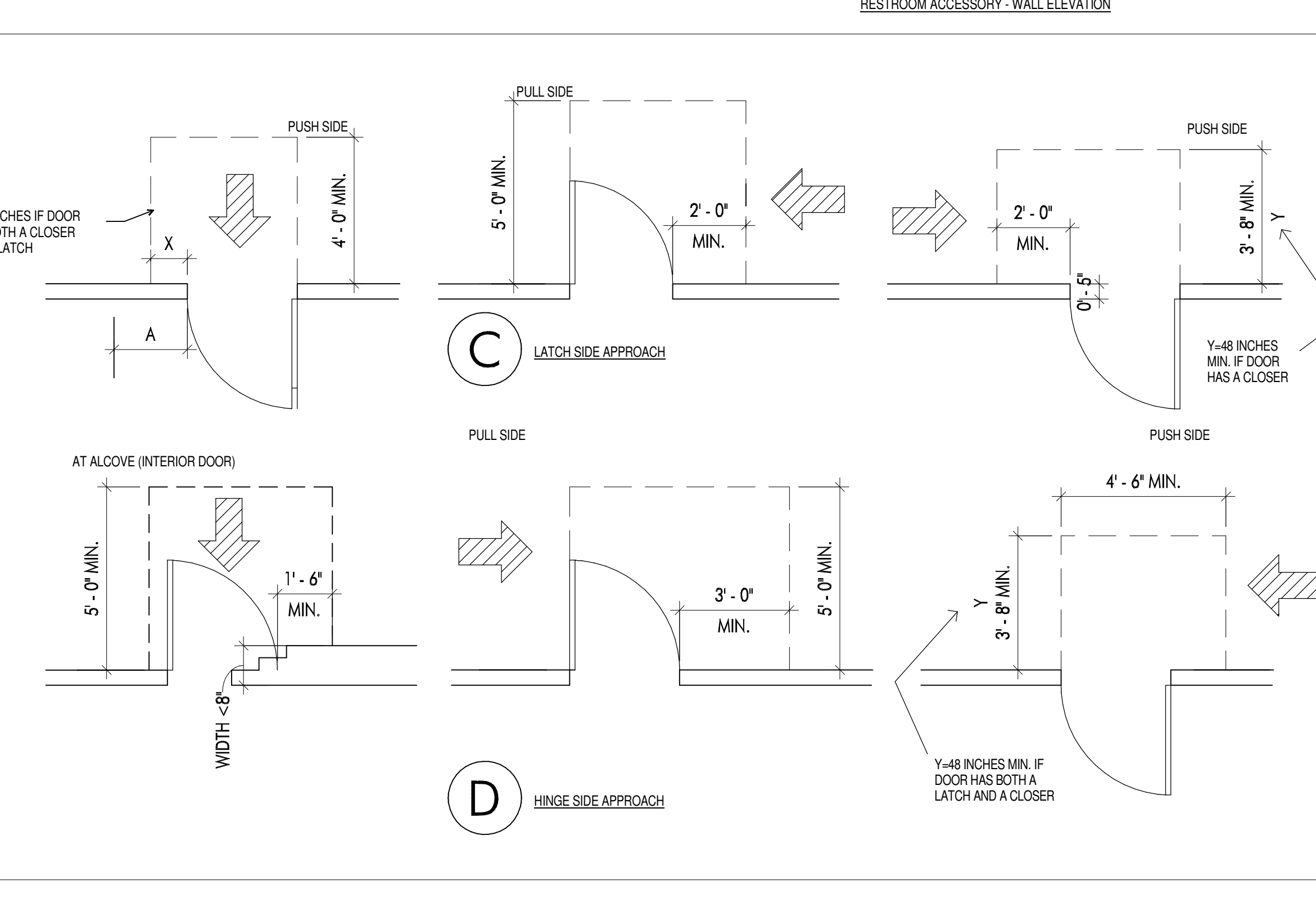
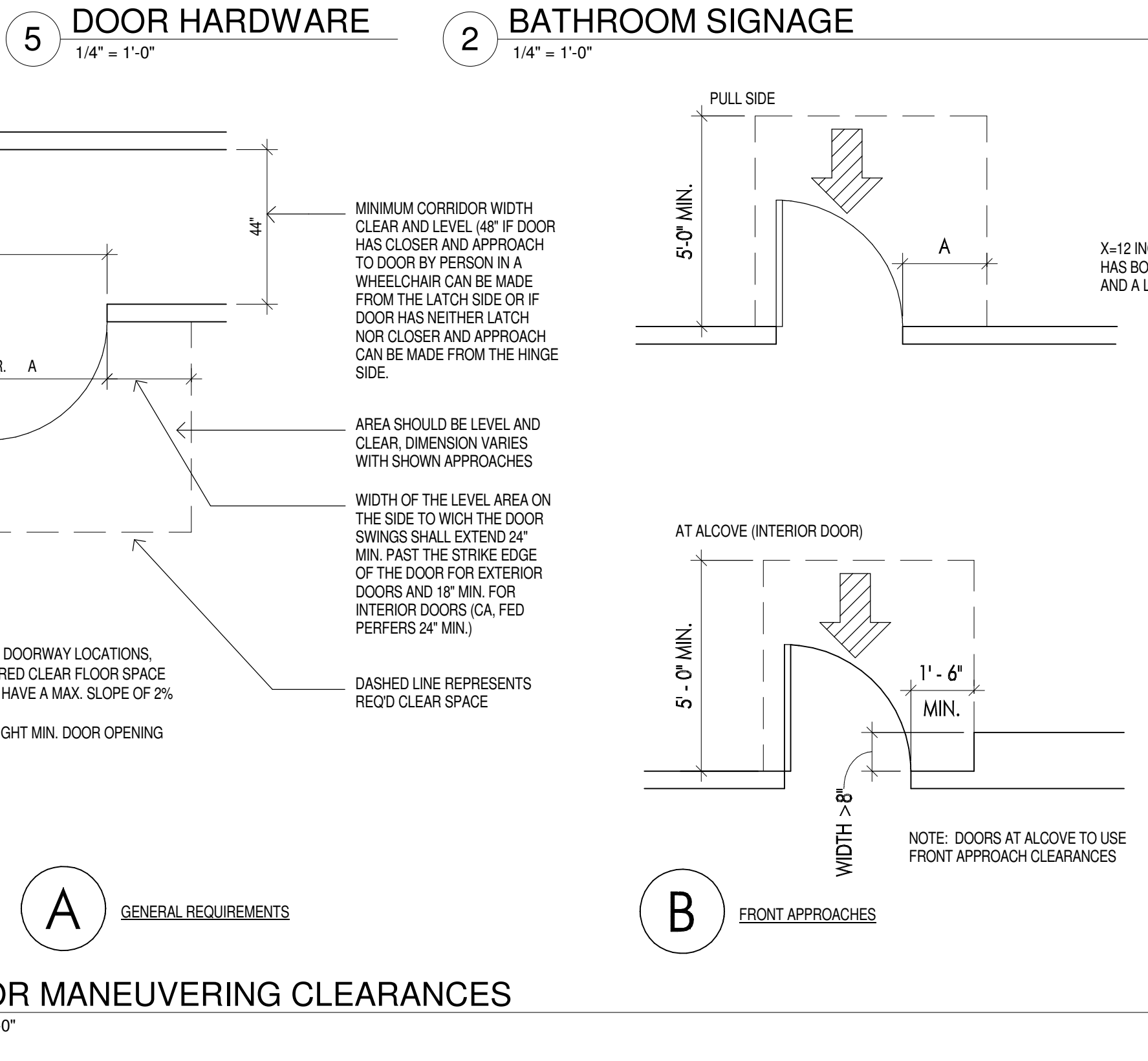
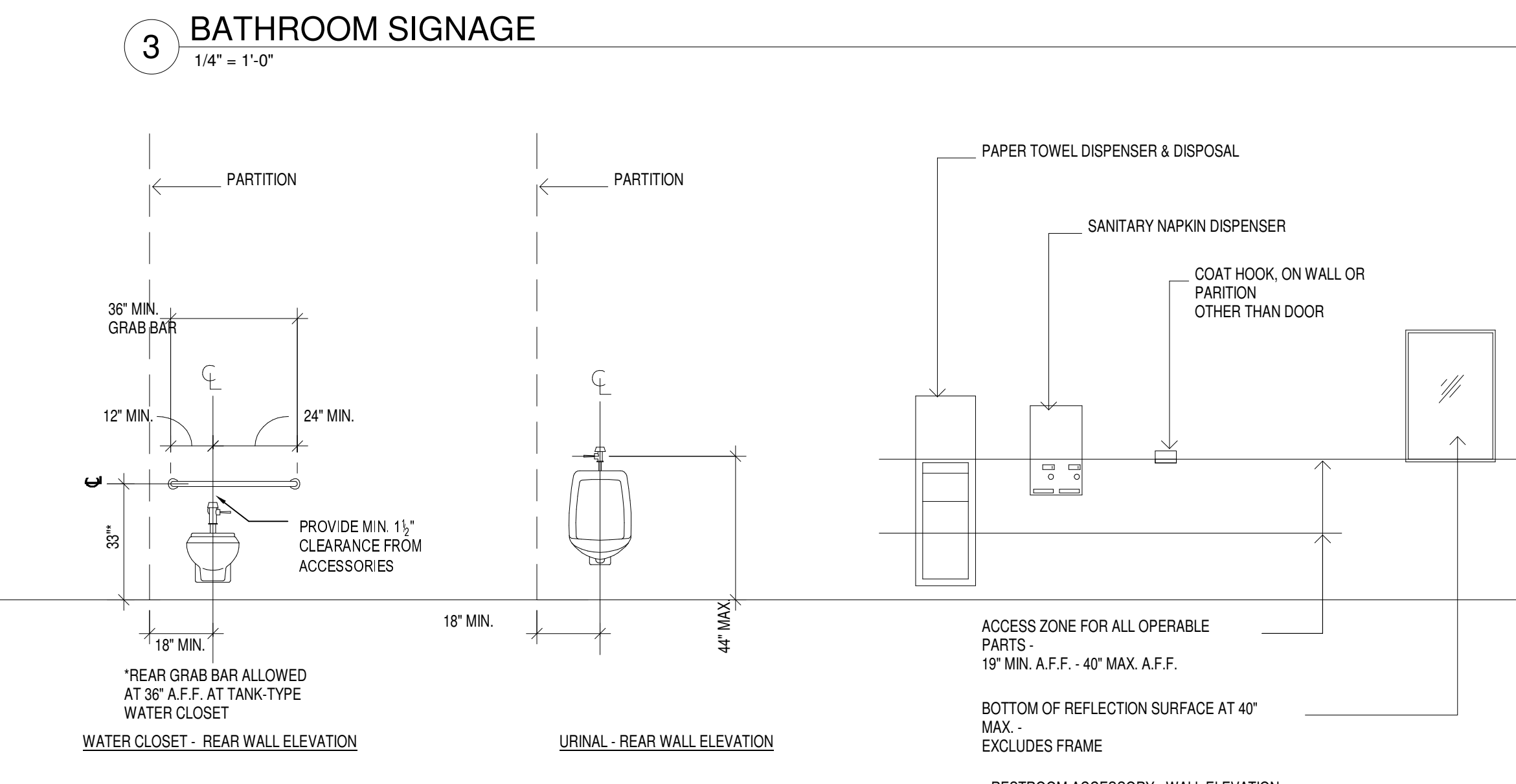
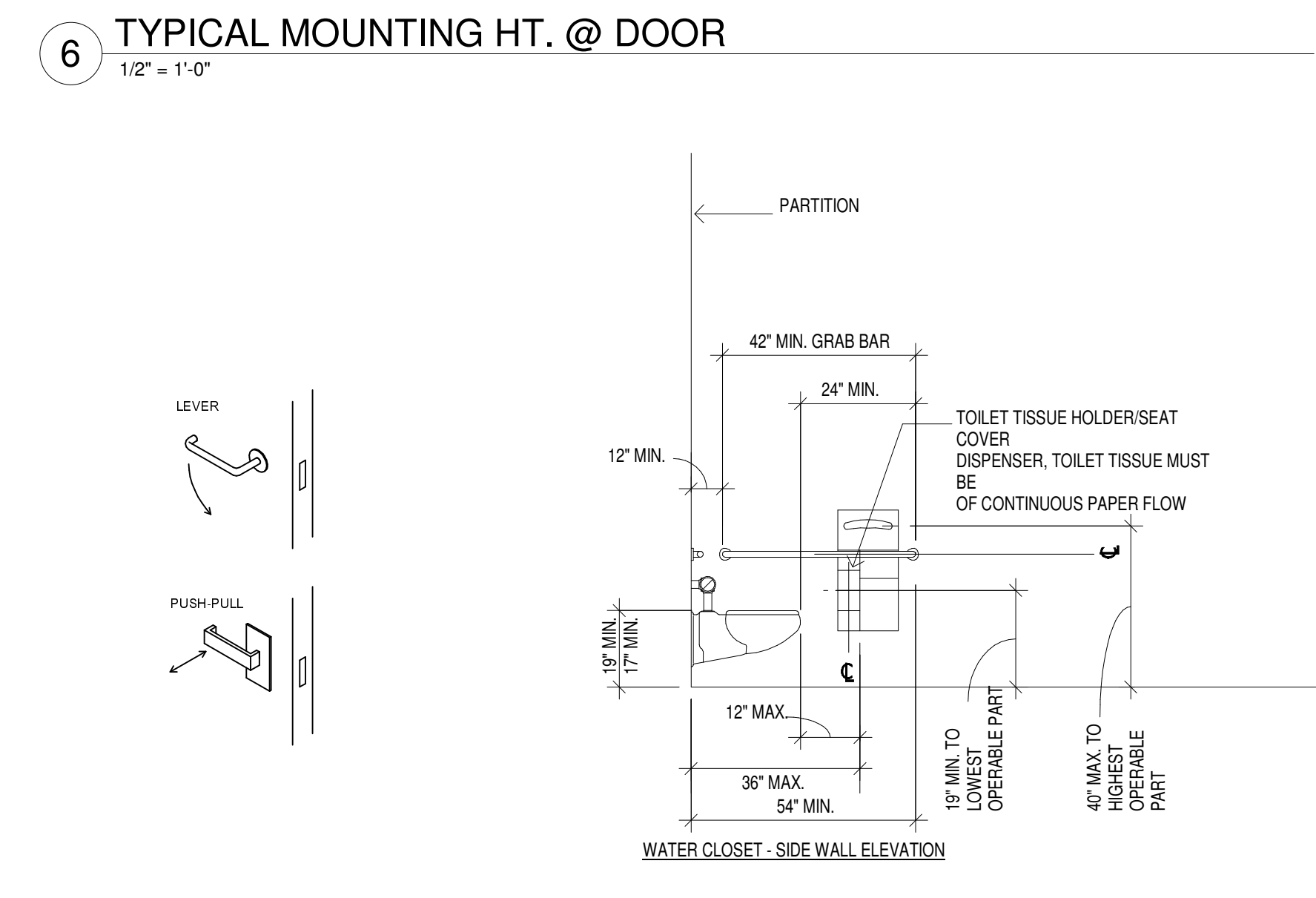
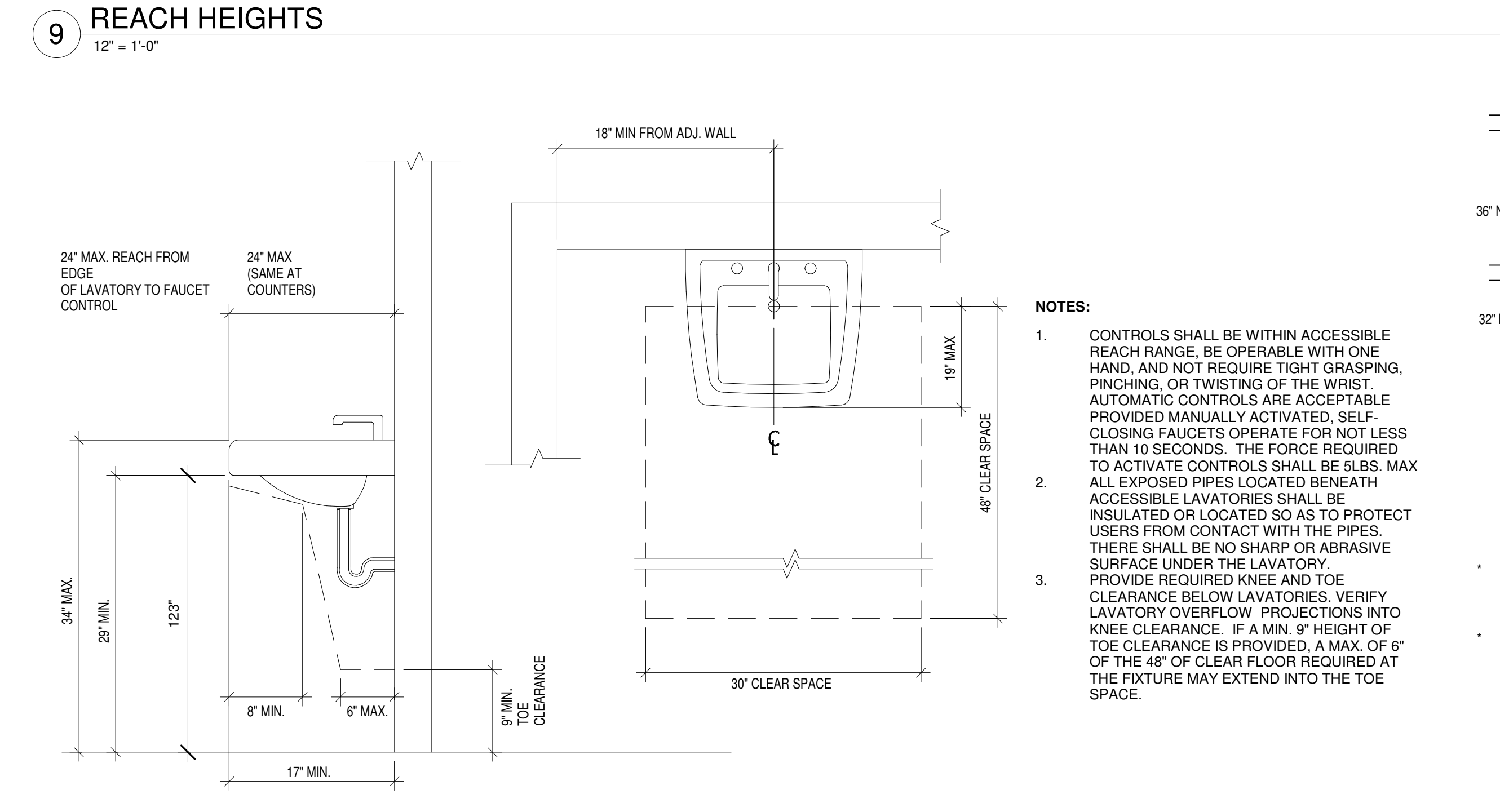
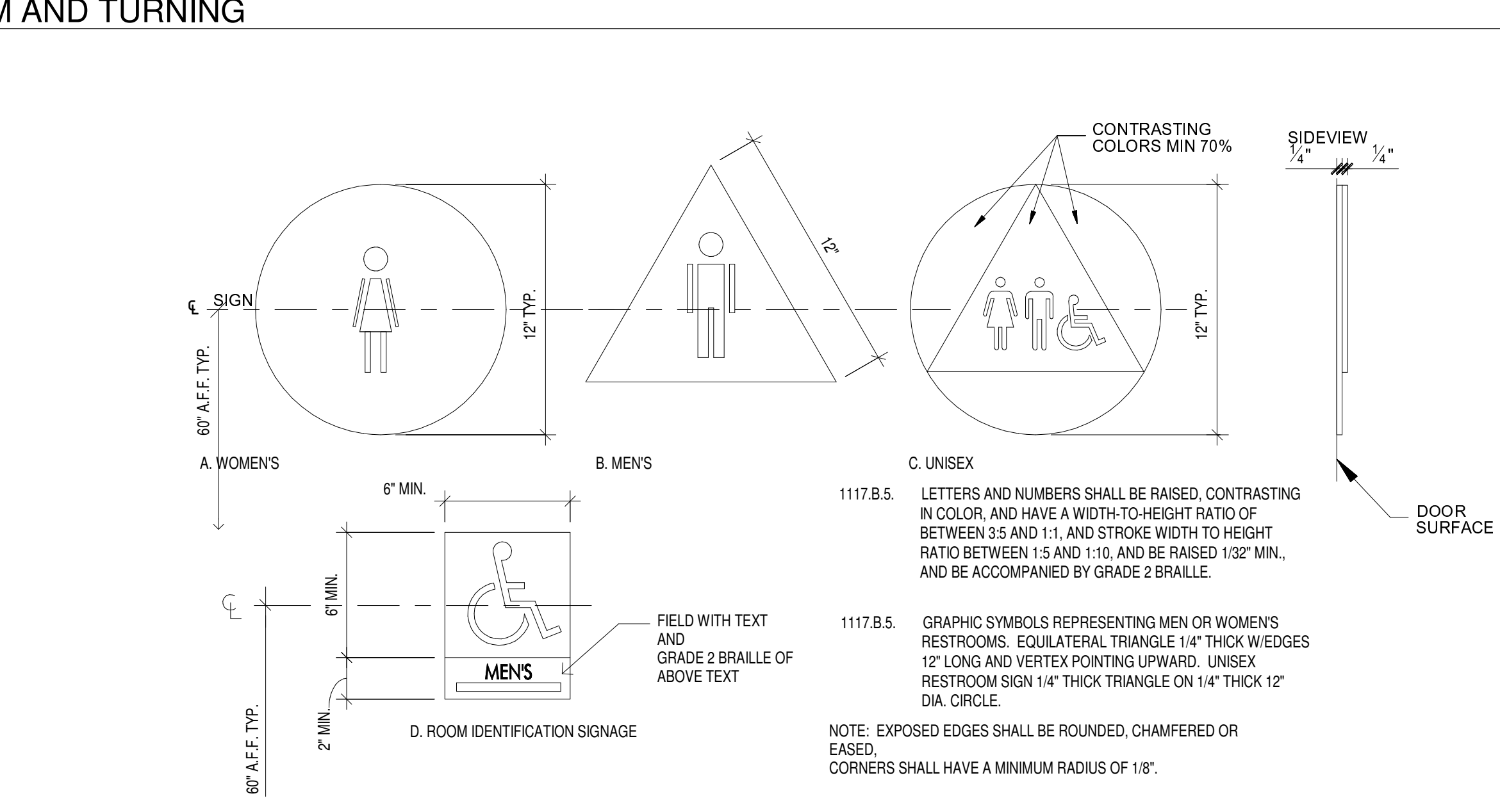
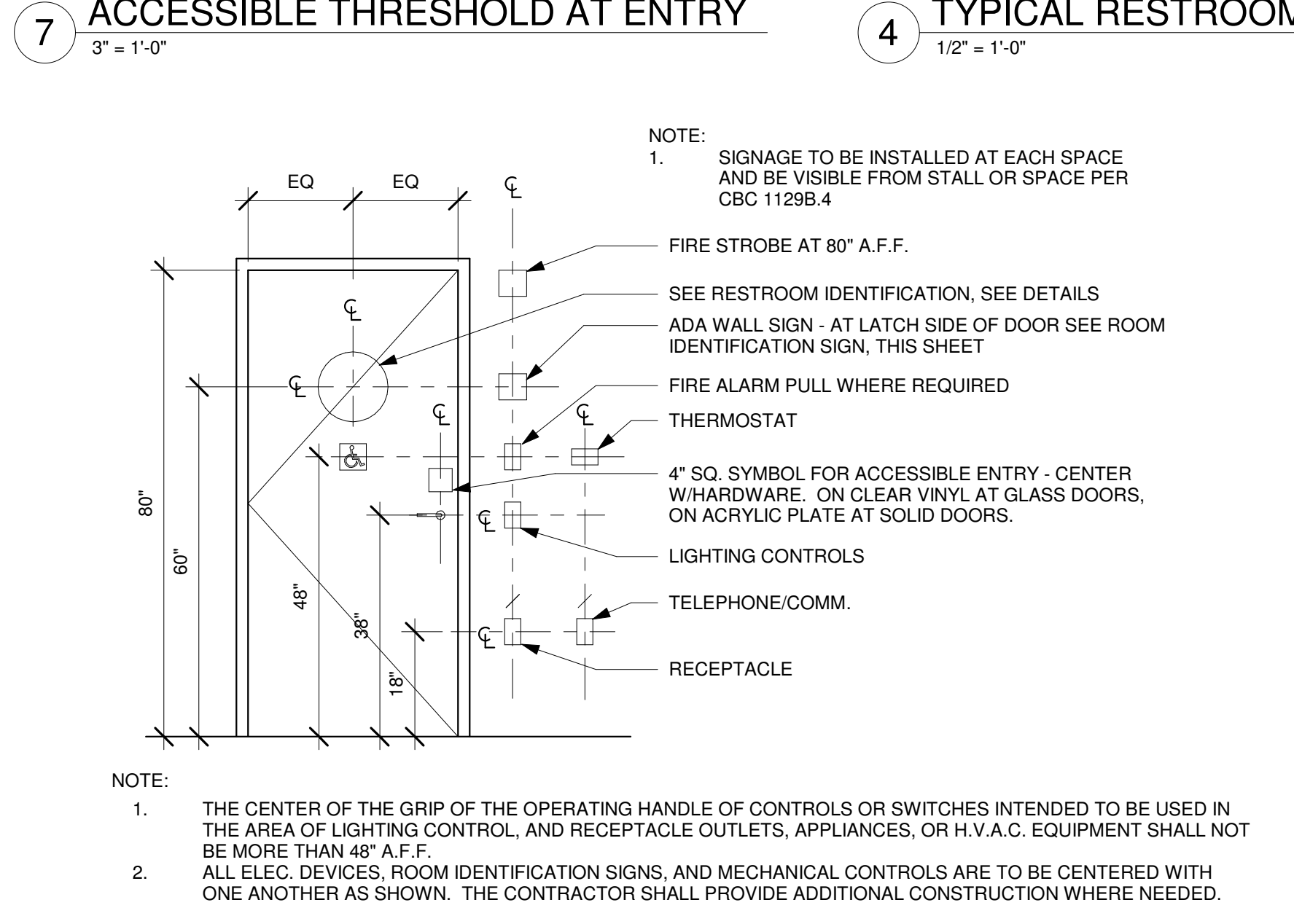
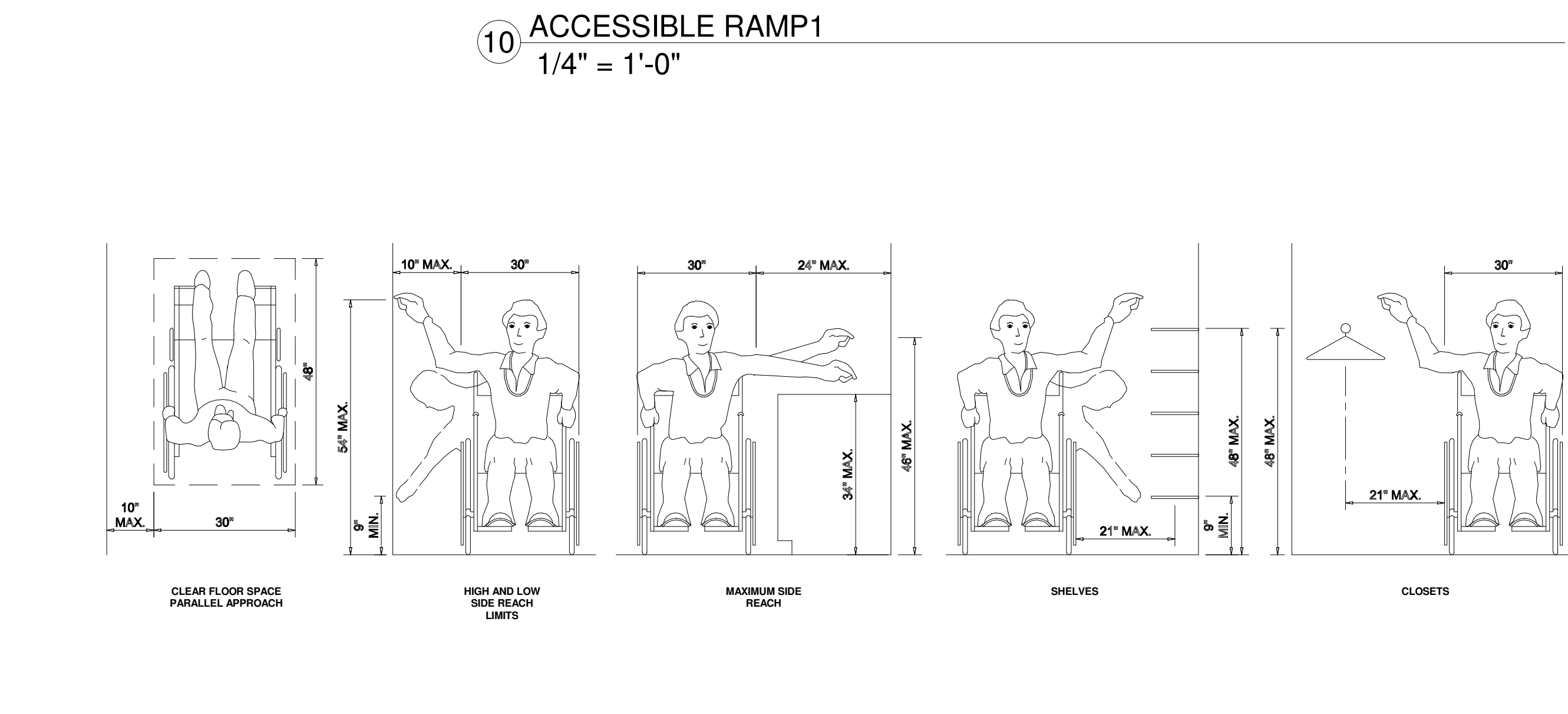
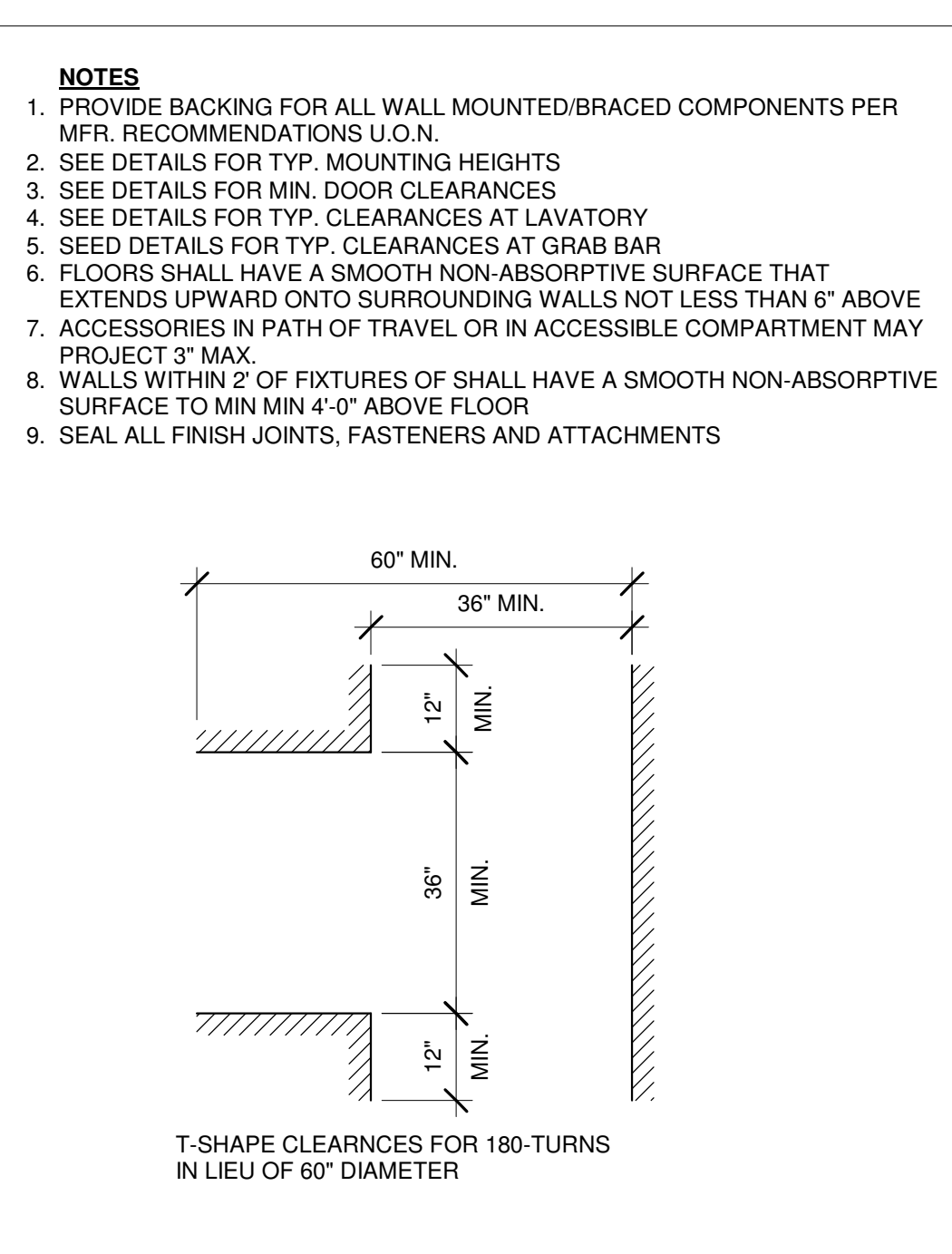
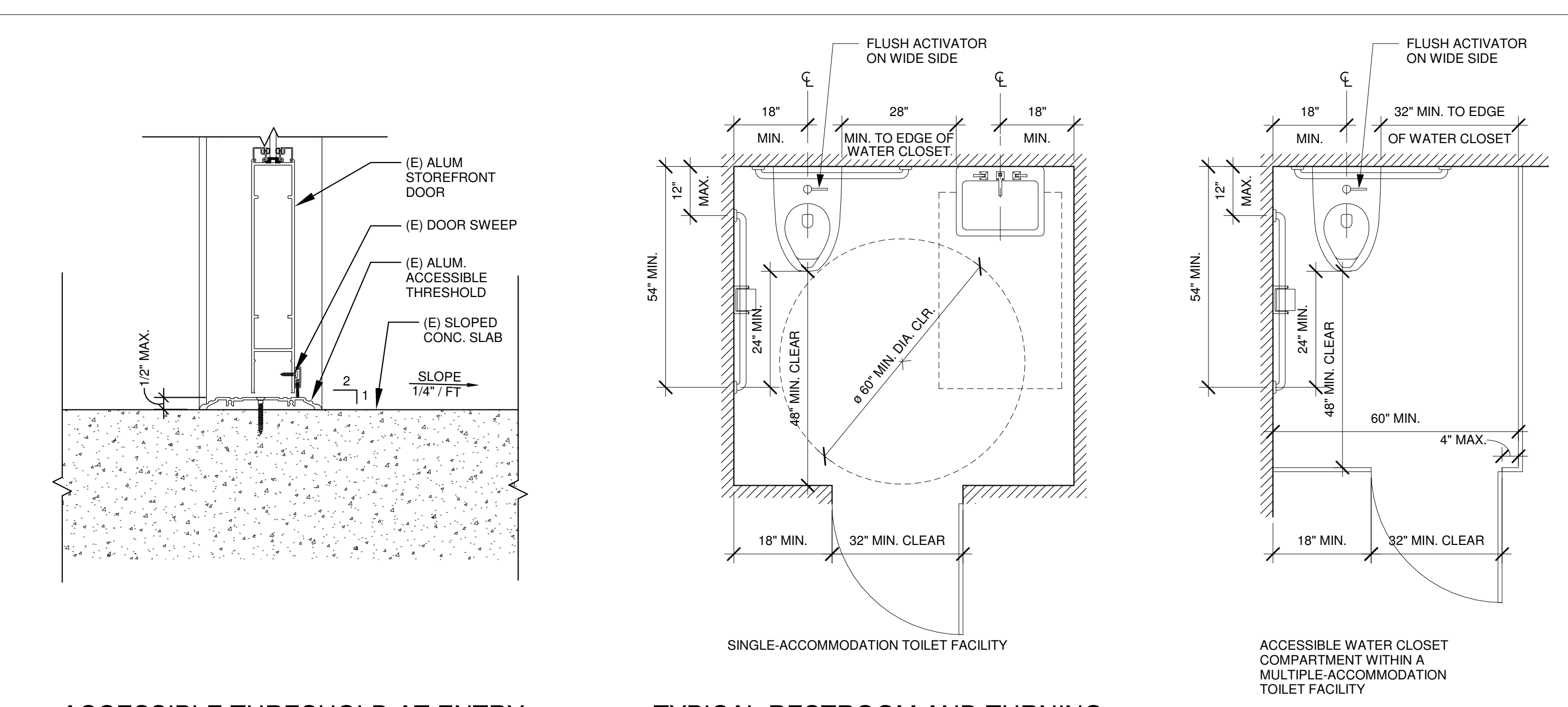
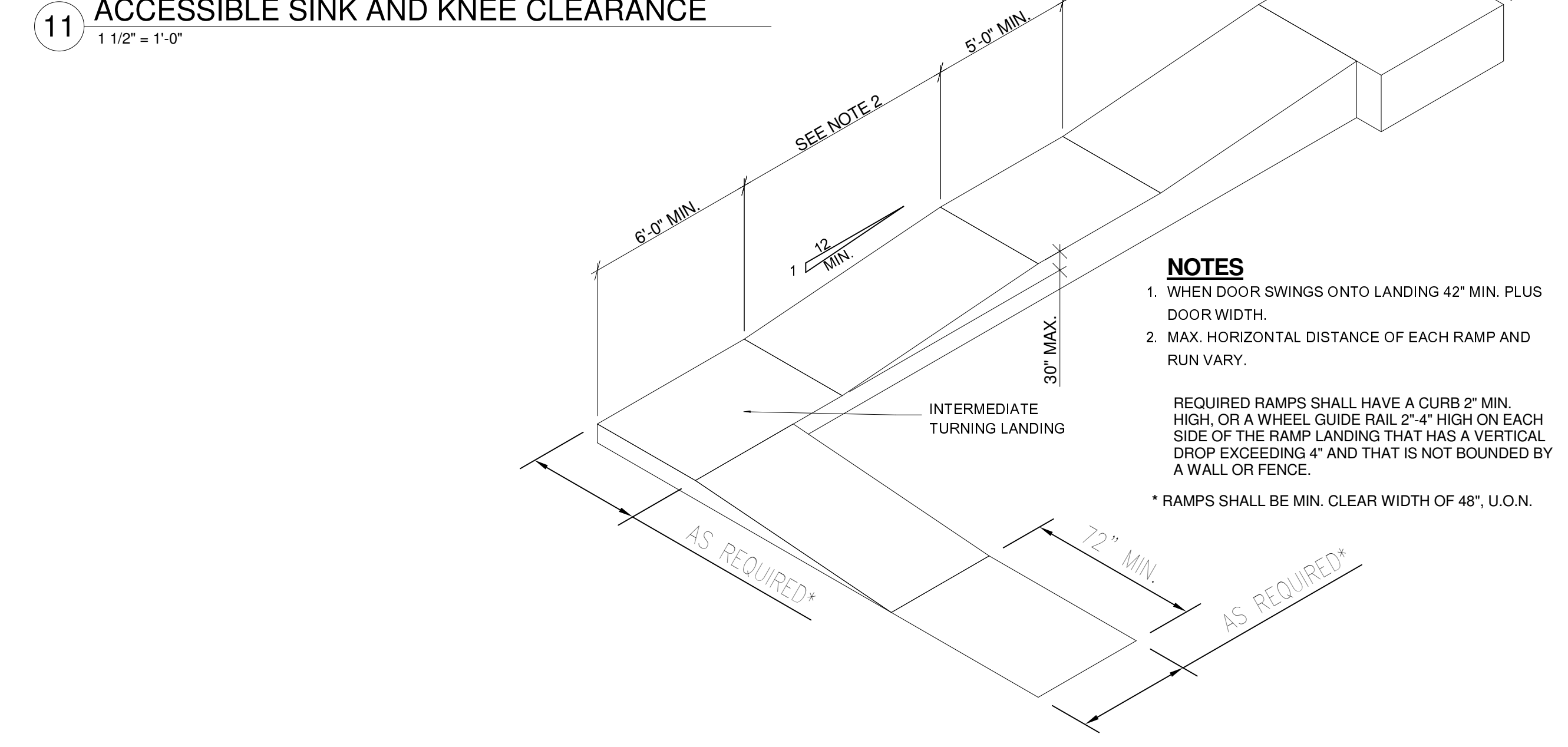
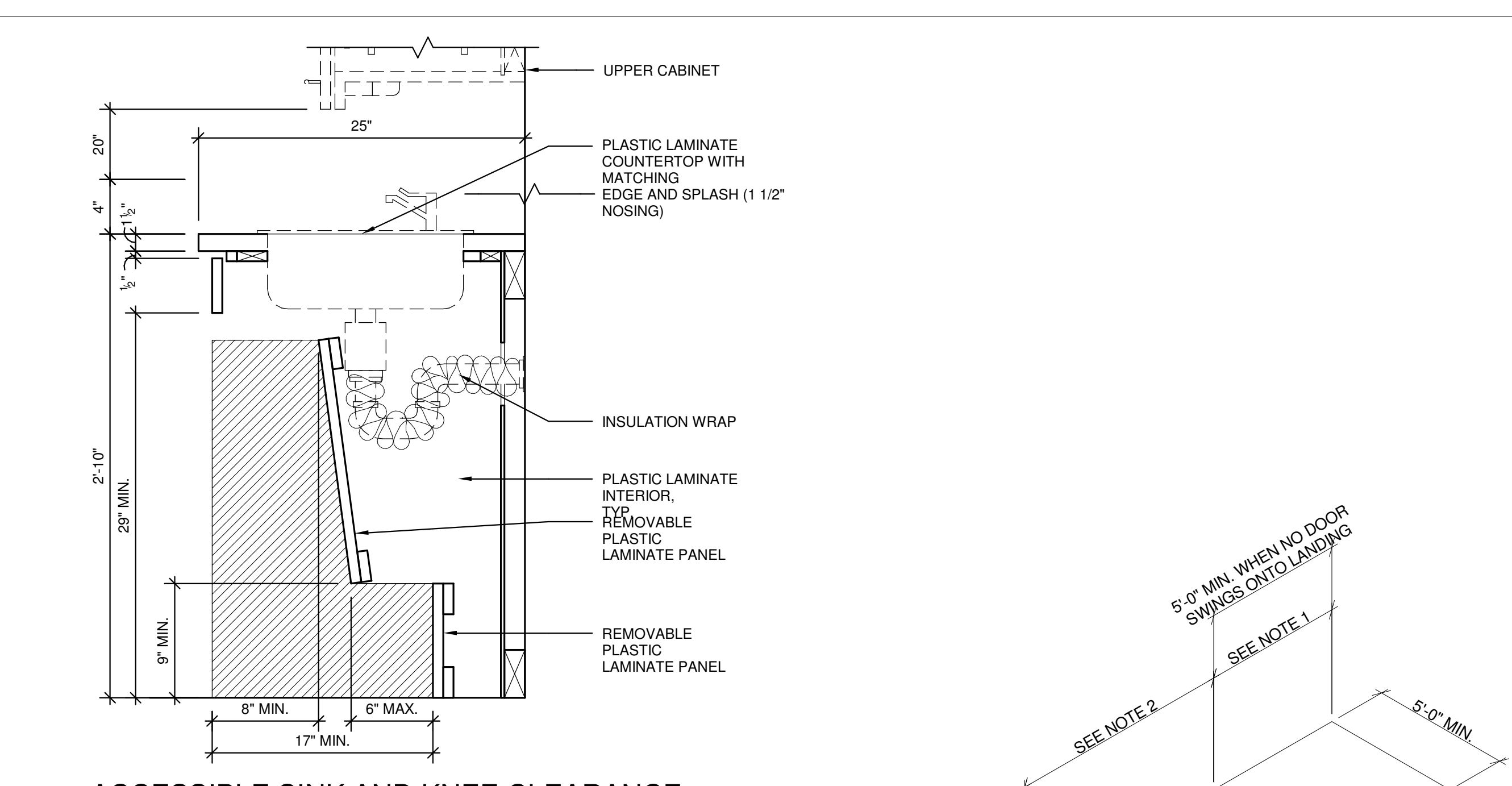
SHEET NAME  
**CODE COMPLIANCE  
DIAGRAMS**

Date 2021-03-12  
Project Number GS20249  
Drawn By AD  
Checked By GMS/TRS

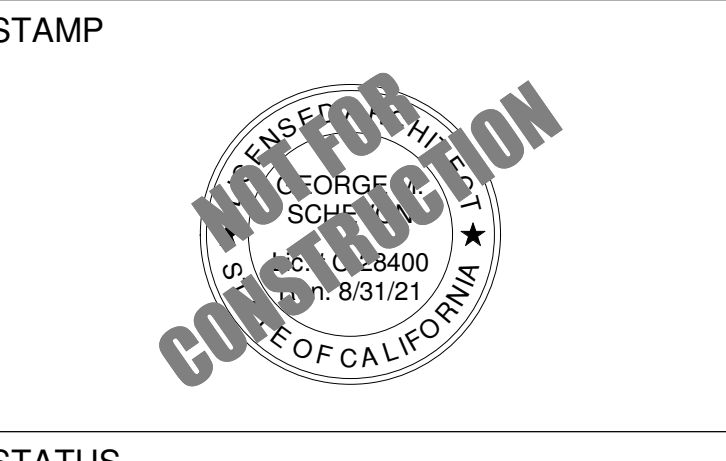
SHEET NUMBER  
**A001**

SCALE As indicated

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- NOTES**
1. PROVIDE BACKING FOR ALL WALL MOUNTED/BRACED COMPONENTS PER MFR. RECOMMENDATIONS U.O.N.
  2. SEE DETAILS FOR TYP. MOUNTING HEIGHTS
  3. SEE DETAILS FOR MIN. DOOR CLEARANCES
  4. SEE DETAILS FOR TYP. CLEARANCES AT LAVATORY
  5. SEE DETAILS FOR TYP. CLEARANCES AT GRAB BAR
  6. FLOORS SHALL HAVE A SMOOTH NON-ABSORPTIVE SURFACE THAT EXTENDS UPWARD ONTO SURROUNDING WALLS NOT LESS THAN 8\"/>
  - 7. ACCESSORIES IN PATH OF TRAVEL OR IN ACCESSIBLE COMPARTMENT MAY PROJECT 3\"/>
  - 8. WALLS WITHIN 2' OF FIXTURES OF SHALL HAVE A SMOOTH NON-ABSORPTIVE SURFACE TO MIN MIN. 4\"/>
  - 9. SEAL ALL FINISH JOINTS, FASTENERS AND ATTACHMENTS



STATUS  
**CONDITIONAL USE AUTHORIZATION SUBMITTAL**

**CANNABIS CULTIVATION & PACKAGING**

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY

1440 Egbert Avenue, San Francisco, CA

No.	Description	Date

SHEET NAME  
**DISABLED ACCESS STANDARDS**

Date 2021-03-12

Project Number GS20249

Drawn By AD

Checked By GMS/TRS

SHEET NUMBER  
**A003**

SCALE As indicated

STAMP



STATUS

**CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL**



FRONT ELEVATION FACING EGBERT AVENUE

**CANNABIS CULTIVATION &  
PACKAGING**

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

No.	Description	Date

SHEET NAME  
**SITE PHOTOS**

Date 2021-03-12

Project Number GS20249

Drawn By Author

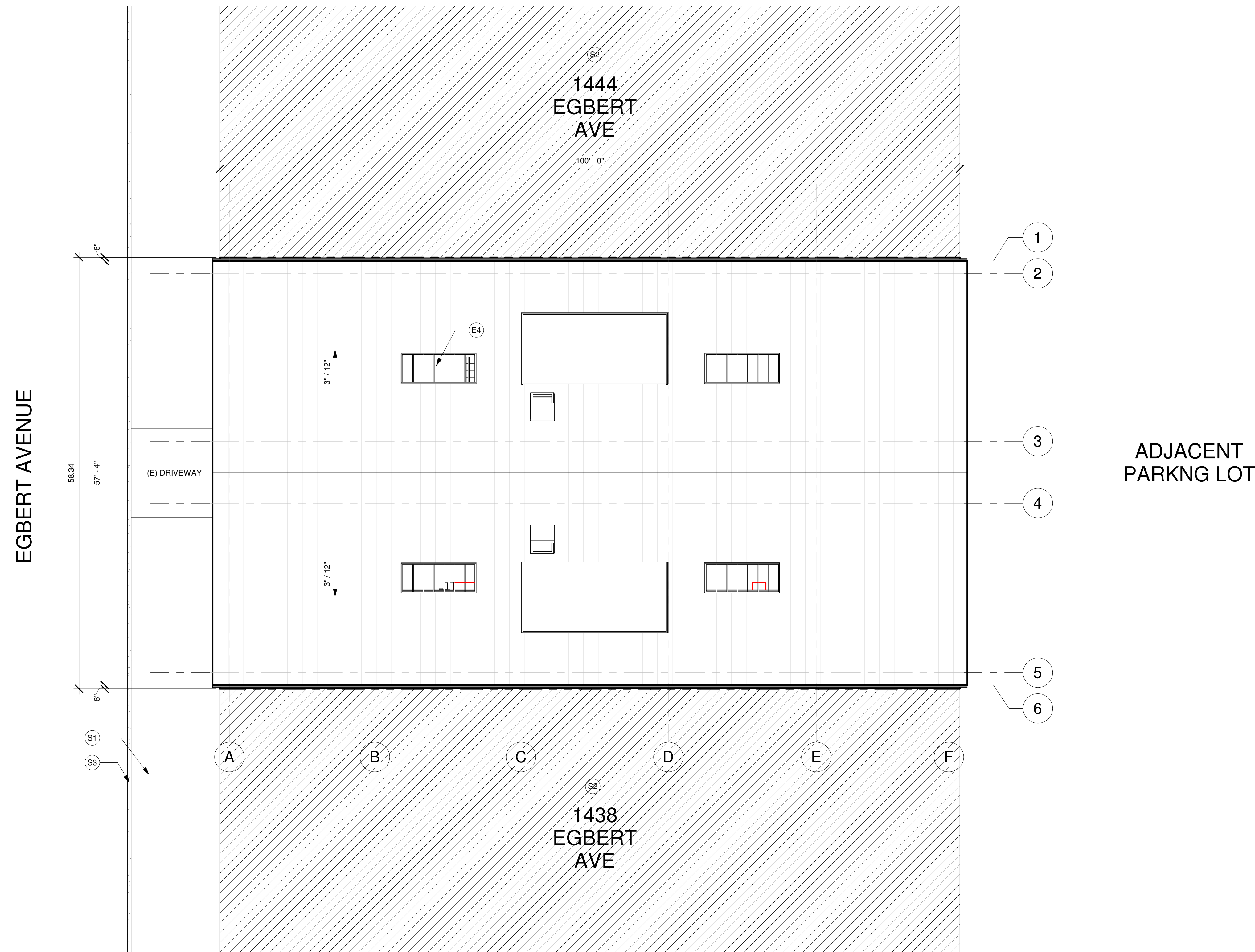
Checked By Checker

SHEET NUMBER

**A010**

SCALE

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1 EXISTING AND PROPOSED SITE PLAN  
1/8" = 1'-0"

SHEET NOTES

- CONTRACTOR SHALL EVALUATE CONDITION OF EXISTING STORM WATER DRAINAGE SYSTEM VIA VIDEO CAMERA OR OTHER MEANS AND ENSURE THAT SYSTEM IS FUNCTIONING AND FREE OF BREAKS OR CLOGS IN LINE.



1840 B Alcatraz Avenue  
Berkeley, CA 94703

tel.....510.644.3407  
fax.....510.405.2006

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STATUS  
CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL

**CANNABIS CULTIVATION &  
PACKAGING**  
  
TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

KEYNOTES

- E4 (E) SKYLIGHT TO REMAIN AND PROTECT
- S1 (E) SIDEWALK TO REMAIN AND PROTECT
- S2 (E) ADJACENT BUILDING TO REMAIN AND PROTECT
- S3 (E) ROLL CURB TO REMAIN AND PROTECT

SHEET LEGEND

- [Grey box] NOT IN CONTRACT
- [Hatched box] ADJACENT BUILDING

No.	Description	Date

SHEET NAME  
PROPOSED SITE  
PLAN

Date	2021-03-12
Project Number	GS20249
Drawn By	AD
Checked By	GMS/TRS

SHEET NUMBER  
**A101**

SCALE  
As indicated

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STATUS

**CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL**

CANNABIS CULTIVATION &  
PACKAGING

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

No.	Description	Date

SHEET NAME  
**(E) FLOOR PLAN**

Date: 2021-03-12

Project Number: GS20249

Drawn By: AD

Checked By: GMS/TRS

SHEET NUMBER

A102

SCALE: 1/4" = 1'-0"

**SELECTIVE DEMOLITION NOTES**

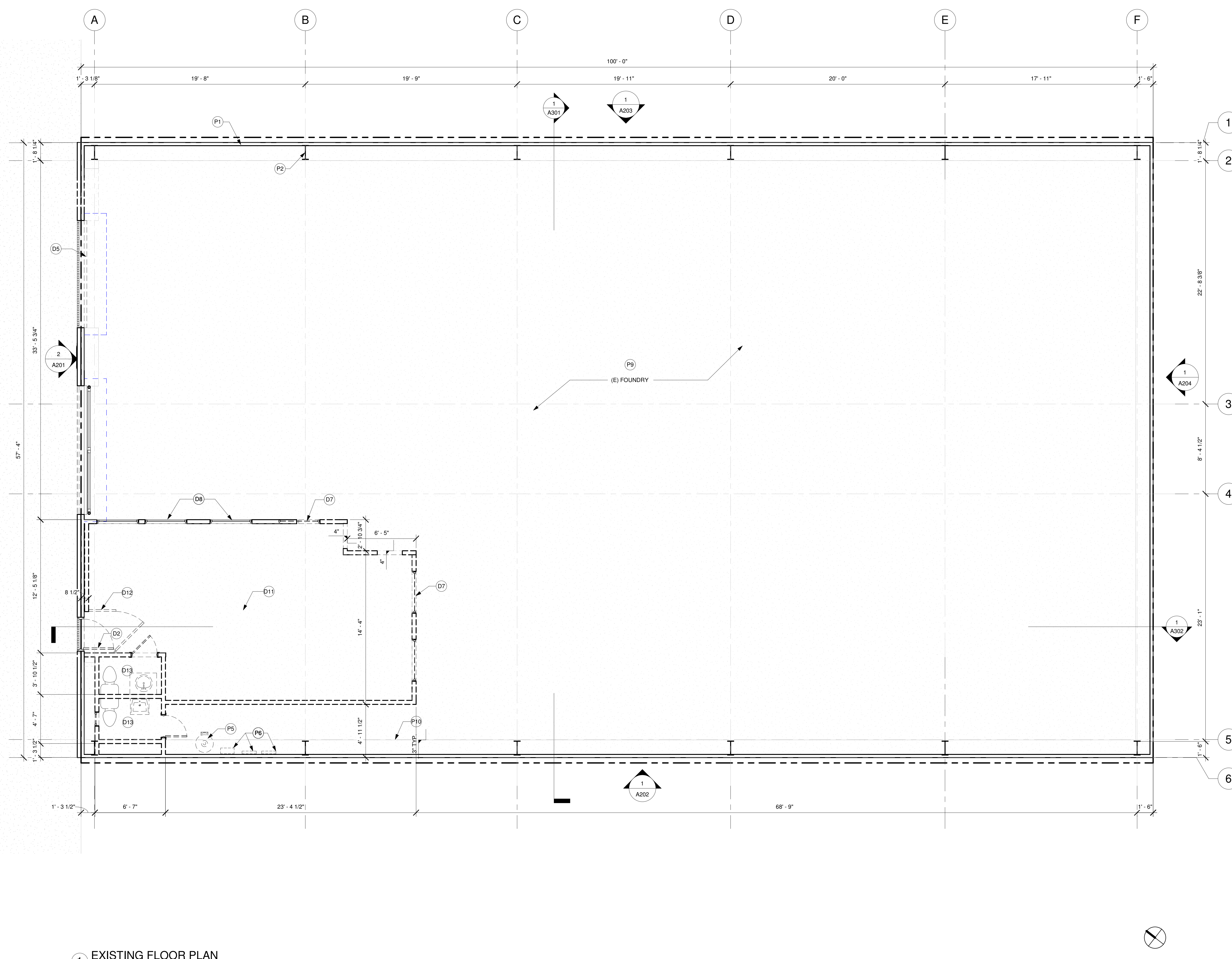
1. CONTRACTOR SHALL PERFORM ALL DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL BUILDING CODE.
6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. ALL WORK TO MEET APPLICABLE CODES.
7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY THE LOCAL GOVERNING AGENCY'S RULES AND REGULATIONS. REMOVE ALL ABANDONED MATERIALS, DEVICES, FIXTURES, PIPES, CONDUITS, WIRES, ETC. FROM PREMISES.
8. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF OFF-SITE PER 2015 CALGREEN STANDARDS FOR CONSTRUCTION WASTE AND ANY LOCAL CODES & ORDINANCES.
11. NO CUTTING OR CHANNELING OF BUILDING STRUCTURE TO BE PERMITTED WITHOUT APPROVAL BY STRUCTURAL ENGINEER.
12. CONTRACTOR SHALL PROVIDE A DEMOLITION DEBRIS RECOVERY PLAN IF REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. OWNER TO PROVIDE HAZARDOUS MATERIALS ABATEMENT AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
14. REMOVE PORTION OF (E) INTERIOR FINISHES AS REQUIRED TO INSTALL (N) PARTITION WALLS. SEE FLOOR PLAN.

**KEYNOTES**

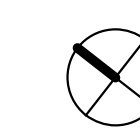
- D2 REMOVE (E) DOOR, FRAME, RELATED HARDWARE AND (E) METAL GRILL DOOR
- D5 REMOVE (E) OVERHEAD COILING DOOR AND HARDWARE.
- D7 REMOVE (E) WINDOW, FRAME, AND RELATED HARDWARE, TYP.
- D8 (E) WINDOW, FRAME, AND RELATED HARDWARE, TYP. TO REMAIN AND PROTECT
- D11 REMOVE (E) RAISED WOOD FLOOR AND FRAMING
- D12 REMOVE (E) SECURITY GATE AND CAGE
- D13 REMOVE (E) RESTROOM, INTERIOR PARTITIONS, PLUMBING FIXTURES & RELATED FINISHES & MATERIALS
- P1 (E) METAL SIDING ON METAL GIRTS TO REMAIN AND PROTECT
- P2 (E) STEEL COLUMN/BEAM TO REMAIN AND PROTECT
- P5 (E) WATER HEATER, TO BE REMOVED AND SALVAGED
- P6 (E) ELECTRICAL SERVICE PANEL, TO BE REMOVED AND SALVAGED
- P9 (E) CONCRETE FLOOR TO REMAIN AND PROTECT
- P10 (E) CONCRETE STEP AT BUILDING PERIMETER, 3" HT. AFF

**SHEET LEGEND**

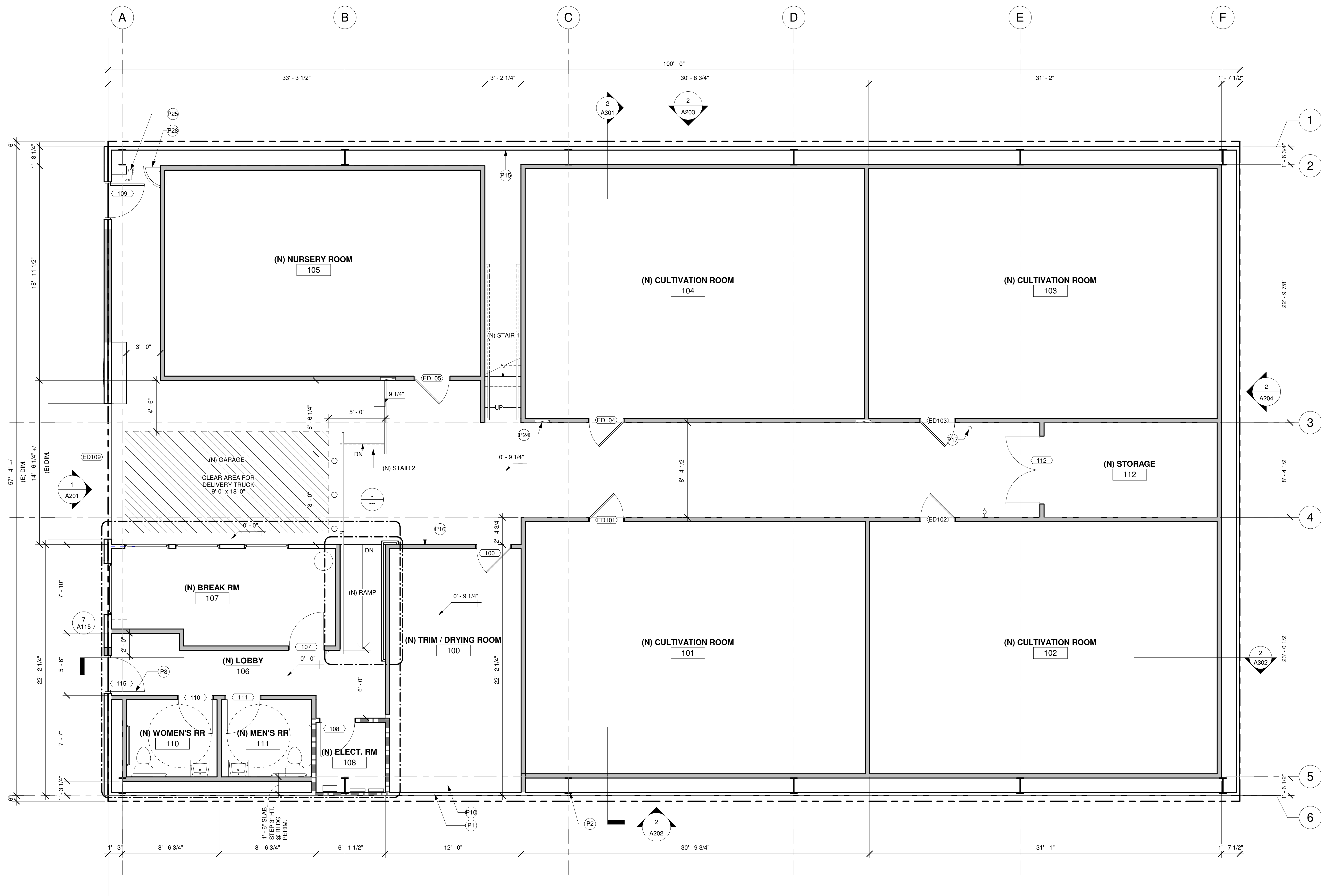
- NOT IN CONTRACT
- ADJACENT BUILDING



**1 EXISTING FLOOR PLAN**  
1/4" = 1'-0"



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**SHEET NOTES**

1. (N) GUARDS & HANDRAIL @ STAIRWAY AND LANDING. MINIMUM HANDRAIL HEIGHTS OF 34"-38" ABOVE TREAD NOSING. HANDRAIL SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT AND SHALL TERMINATE INTO NEWEL POSTS OR SAFETY TERMINALS. HANDRAIL GRIP SHALL BE 1 1/4 TO 2" IN CROSS SECTIONAL DIMENSION.
2. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT AIR INFILTRATION.
3. ALL ELEVATION POINTS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD ALL ELEVATION POINTS. IF FLOORS ARE DISCOVERED TO BE OUT OF LEVEL, CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY AND LEVEL EXISTING FLOORS TO OWNER'S SATISFACTION.
4. WATER RESISTANT GYPSUM BACKING SHALL NOT BE USED IN THE FOLLOWING AREAS:  
A. WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.  
B. ON CEILINGS WHERE FRAMING SPACING EXCEEDS 12" ON CENTER FOR 1/2" THK OR 16" FOR 5/8" THK GYPSUM BOARD.
5. SEISMICALLY STRAP THE TANK-TYPE HOT WATER HEATER WITH A MINIMUM TWO STRAPS (ONE LOCATED ONE THIRD DOWN FROM THE TOP OF THE TANK AND THE OTHER 4" ABOVE THE CONTROLS).
6. PROVIDE A MINIMUM 3" SEDIMENT TRAP FOR THE GAS LINE TO THE WATER HEATER AND/OR THE FURNACE LOCATED ON THE APPLIANCE SIDE OF THE SHUT OFF FOR THE GAS TO EACH APPLIANCE.
7. REPLACE FIXTURES AS REQUIRED IF NOT LOW FLOW, FIELD VERIFY.

**KEYNOTES**

- P1 (E) METAL SIDING ON METAL GIRTS TO REMAIN AND PROTECT
- P2 (E) STEEL COLUMN/BEAM TO REMAIN AND PROTECT
- P8 (N) DOOR, SEE DOOR SCHEDULE
- P10 (E) CONCRETE STEP AT BUILDING PERIMETER, 3" HT. AFF
- P15 (N) ONE HOUR FIRE RESISTANT WALL
- P16 (N) PARTITION, TYP.
- P17 HOSE BIB
- P24 ELECTRICAL PANEL, TYP.
- P25 FIRE SPRINKLER
- P28 FLOOR SINK

**AREA DISTRIBUTION**

DEPARTMENT	AREA
FIRST FLOOR	3739 SF
NO OCCUPANCY	4271 SF
	8010 SF

**SHEET LEGEND**

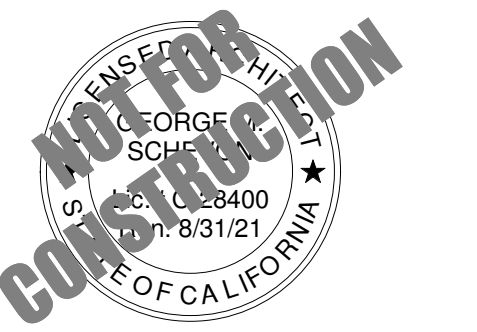
- EXISTING
- NEW
- 1-HR FIRE RATED WALL



1840 B Alcatraz Avenue  
Berkeley, CA 94703

tel....510.644.3407  
fax....510.405.2006

STAMP



STATUS

CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL

# CANNABIS CULTIVATION & PACKAGING

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

No.	Description	Date

SHEET NAME  
**(N) FLOOR PLAN**

Date	2021-03-12
Project Number	GS20249
Drawn By	AD
Checked By	GMS/TRS

SHEET NUMBER  
**A103**

SCALE  
1/4" = 1'-0"

1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



STAMP



STATUS  
**CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL**

**CANNABIS CULTIVATION &  
PACKAGING**  
TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

**SHEET NOTES**

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7. REPLACE FIXTURES AS REQUIRED IF NOT LOW FLOW, FIELD VERIFY

**KEYNOTES**

- P18 (N) PLYWOOD PLATFORM, S.S.D.  
P19 (N) 42" HIGH GUARDRAIL, U.D.N.  
P30 (E) SKYLIGHT TO REMAIN AND PROTECT, TYP.

No.	Description	Date

SHEET NAME  
**(N) MECH MEZZ.  
FLOOR PLAN**

Date 2021-03-12

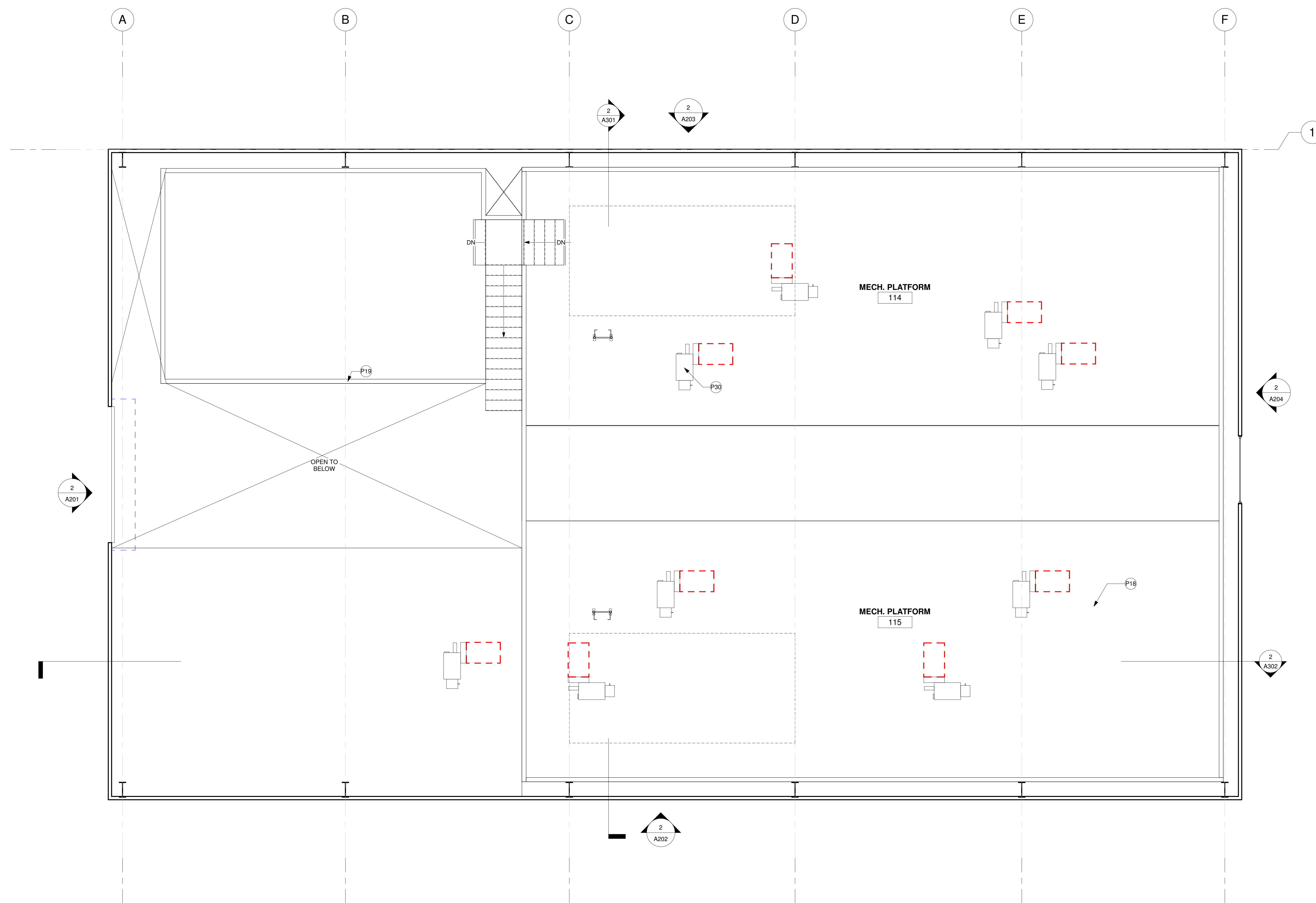
Project Number GS20249

Drawn By AD

Checked By GMS/TRS

SHEET NUMBER  
**A104**

SCALE 1/4" = 1'-0"



**1 03 - (N) MECH MEZZ 2**  
1/4" = 1'-0"

DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL BUILDING CODE.
- REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. ALL WORK TO MEET APPLICABLE CODES.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY THE LOCAL GOVERNING AGENCY'S RULES AND REGULATIONS. REMOVE ALL ABANDONED MATERIALS, DEVICES, FIXTURES, PIPES, CONDUITS, WIRES, ETC. FROM PREMISES.
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- NO CUTTING OR CHANNELING OF BUILDING STRUCTURE TO BE PERMITTED WITHOUT APPROVAL BY STRUCTURAL ENGINEER.
- CONTRACTOR SHALL PROVIDE A DEMOLITION DEBRIS RECOVERY PLAN IF REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- OWNER TO PROVIDE HAZARDOUS MATERIALS ABATEMENT AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- REMOVE PORTION OF (E) INTERIOR FINISHES AS REQUIRED TO INSTALL (N) PARTITION WALLS. SEE FLOOR PLAN.

KEYNOTE

- D15 DEMO (E) ROOF FOR (N) ROOF HATCH  
 E4 (E) SKYLIGHT TO REMAIN AND PROTECT  
 E7 (E) METAL ROOF TO REMAIN AND PROTECT  
 P22 (E) GUTTER TO REMAIN AND PROTECT, TYP.  
 P23 (E) RAINWATER LEADER TO REMAIN AND PROTECT, TYP.  
 P31 (N) ROOF HATCH



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 tel....510.644.3407  
 fax....510.405.2006



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**CANNABIS CULTIVATION & PACKAGING**  
 TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
 1440 Egbert Avenue, San Francisco, CA

No.	Description	Date

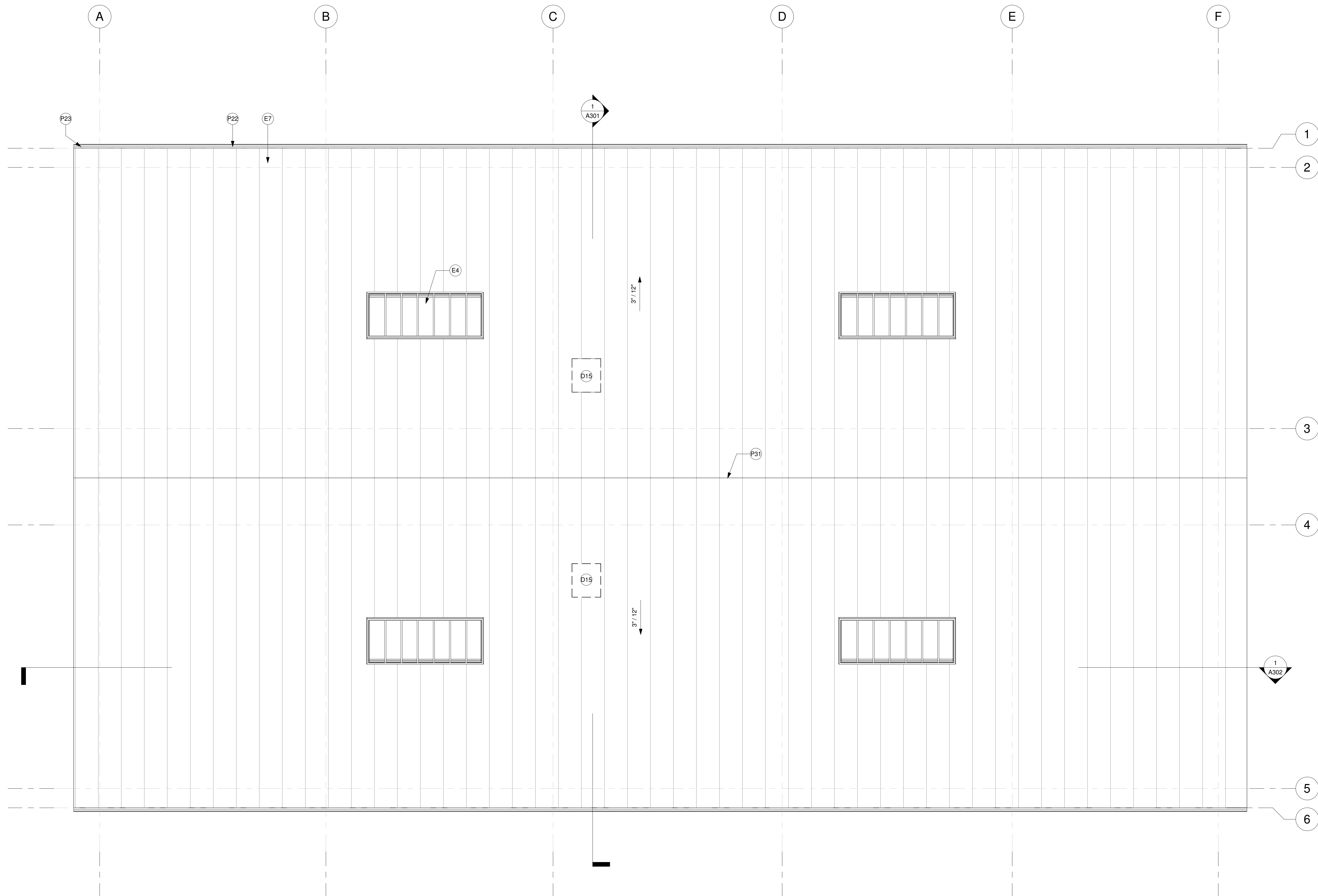
SHEET NAME  
 (E) ROOF PLAN

SHEET LEGEND

Date	2021-03-12
Project Number	GS20249
Drawn By	AD
Checked By	GMS/TRS

SHEET NUMBER  
A105

SCALE  
 1/4" = 1'-0"



1 (E) ROOF  
 1/4" = 1'-0"

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SHEET NOTES



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**CANNABIS CULTIVATION &  
PACKAGING**

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

KEYNOTE

- E4 (E) SKYLIGHT TO REMAIN AND PROTECT
- E7 (E) METAL ROOF TO REMAIN AND PROTECT
- P14 MECHANICAL PLATFORM W/ GUARDRAIL, ADD STRUCTURAL FRAMING, SSD
- P22 (E) GUTTER TO REMAIN AND PROTECT, TYP.
- P23 (E) RAINWATER LEADER TO REMAIN AND PROTECT, TYP.
- P26 (N) ROOF HATCH
- P30 (E) SKYLIGHT TO REMAIN AND PROTECT, TYP.

SHEET LEGEND

No.	Description	Date

SHEET NAME  
**(N) ROOF PLAN**

Date 2021-03-12

Project Number GS20249

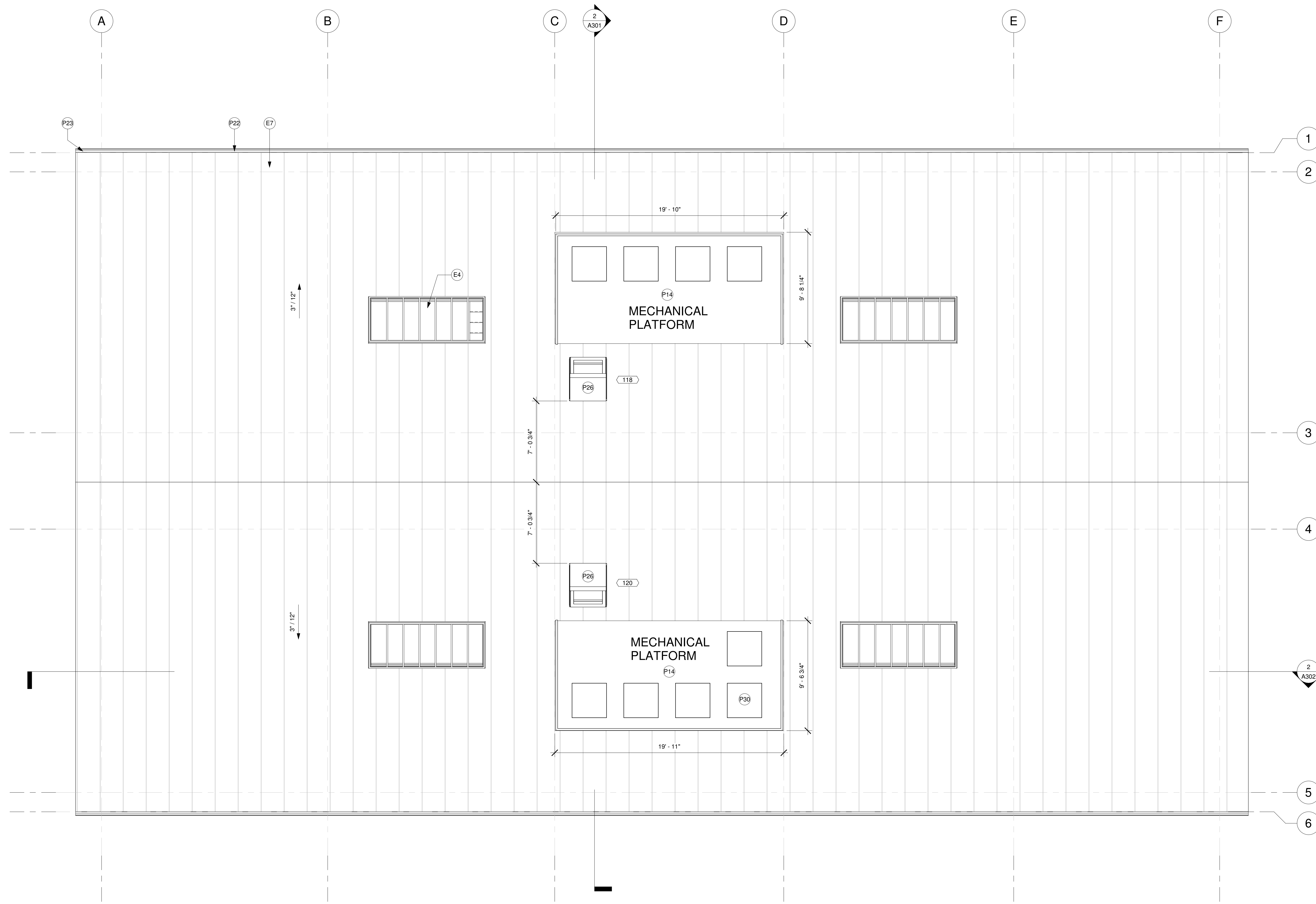
Drawn By AD

Checked By GMS/TRS

SHEET NUMBER

**A106**

SCALE 1/4" = 1'-0"



1 (E) ROOF  
1/4" = 1'-0"

FURNITURE PLAN NOTES



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Berkeley, CA 94703

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fax.....510.405.2006

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CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL

# CANNABIS CULTIVATION & PACKAGING

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

KEYNOTE

F1 GROW TABLE

No.	Description	Date

SHEET NAME  
FURNITURE PLAN

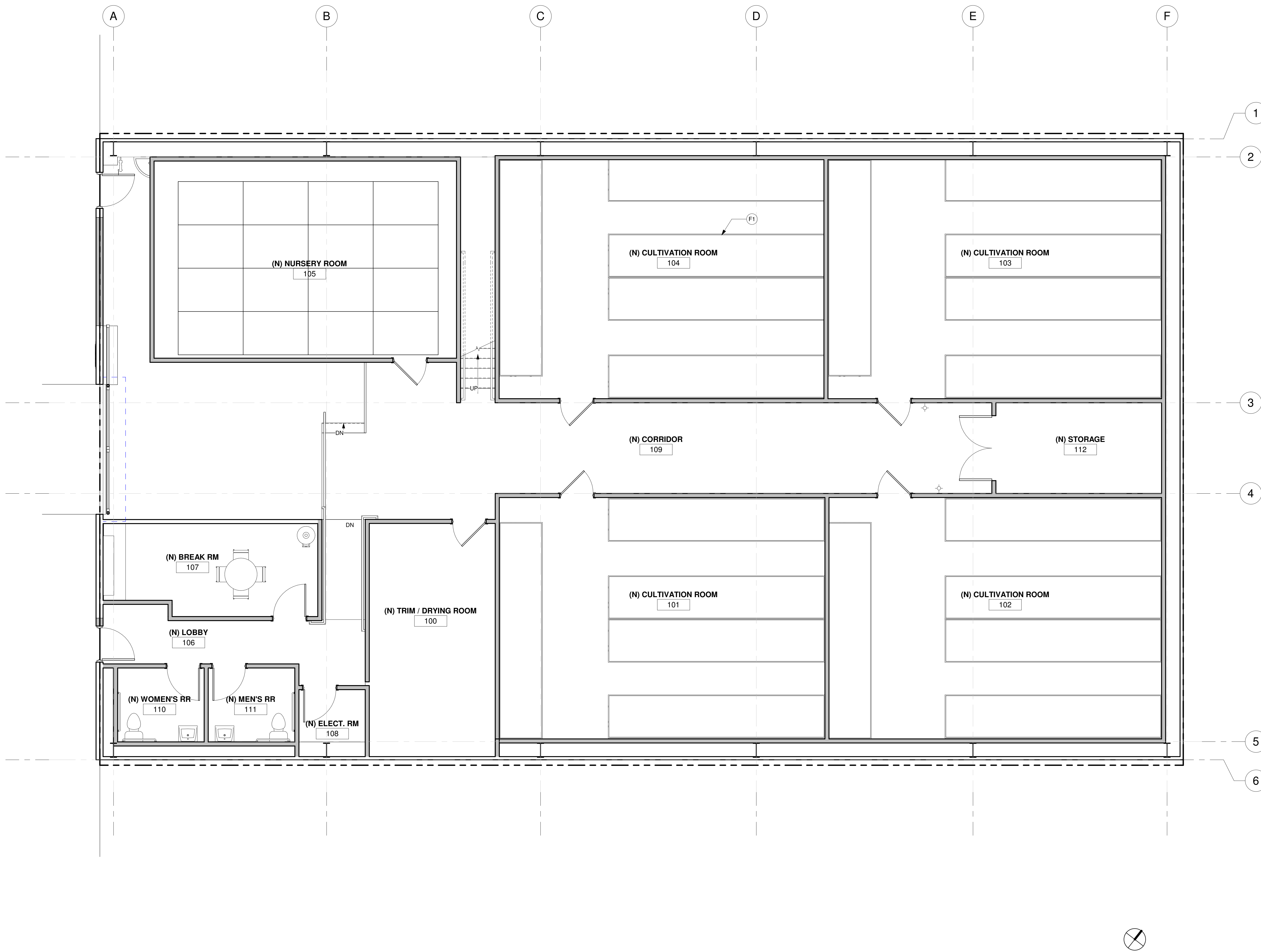
SHEET LEGEND

Date	2021-03-12
Project Number	GS20249
Drawn By	AD
Checked By	GMS/TRS

SHEET NUMBER

**A107**

SCALE 1/4" = 1'-0"



1 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

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SHEET NOTES

STAMP



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AUTHORIZATION  
SUBMITTAL

CANNABIS CULTIVATION &  
PACKAGING

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

KEYNOTES

- E2 (E) ADDRESS SIGN TO REMAIN AND PROTECT
- E10 (N) WALL MOUNTED ACCESSIBLE SINK
- E11 (N) ACCESSIBLE TOILET
- E13 (N) COUNTERTOP AND BASE CABINETS
- E14 (N) WALL-MOUNTED SHELF
- E15 WALL TILES
- E20 (N) FRAMED MIRROR
- E23 1-1/2" DIAMETER GRAB BAR WITH CONCEALED FASTENERS, PROVIDE BACKING IN WALL
- E24 WALL-MOUNTED LIGHT FIXTURE
- (E) WATER HEATER, TO BE REMOVED AND SALVAGED
- P6 (E) ELECTRICAL SERVICE PANEL, TO BE REMOVED AND SALVAGED

SHEET LEGEND

No.	Description	Date

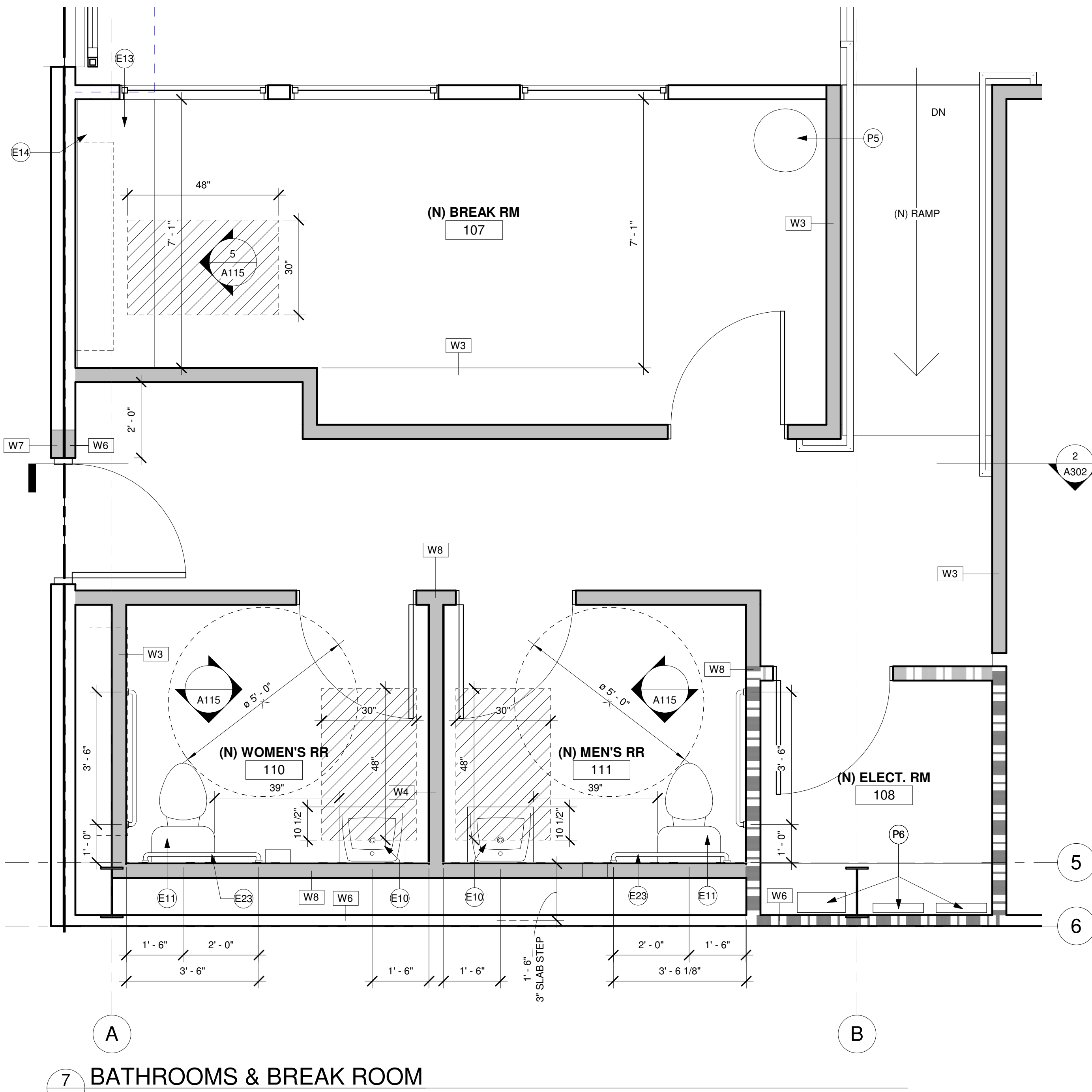
SHEET NAME  
**ENLARGED PLANS  
AND INT. ELEVS**

Date 2021-03-12  
Project Number GS20249  
Drawn By AD  
Checked By GMS/TRS

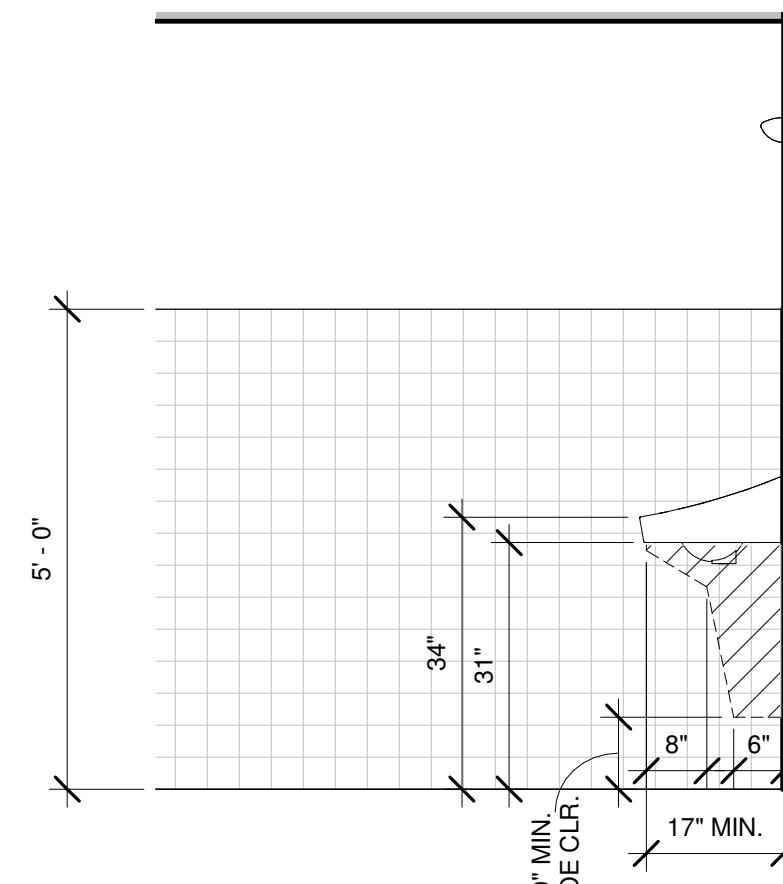
SHEET NUMBER

**A115**

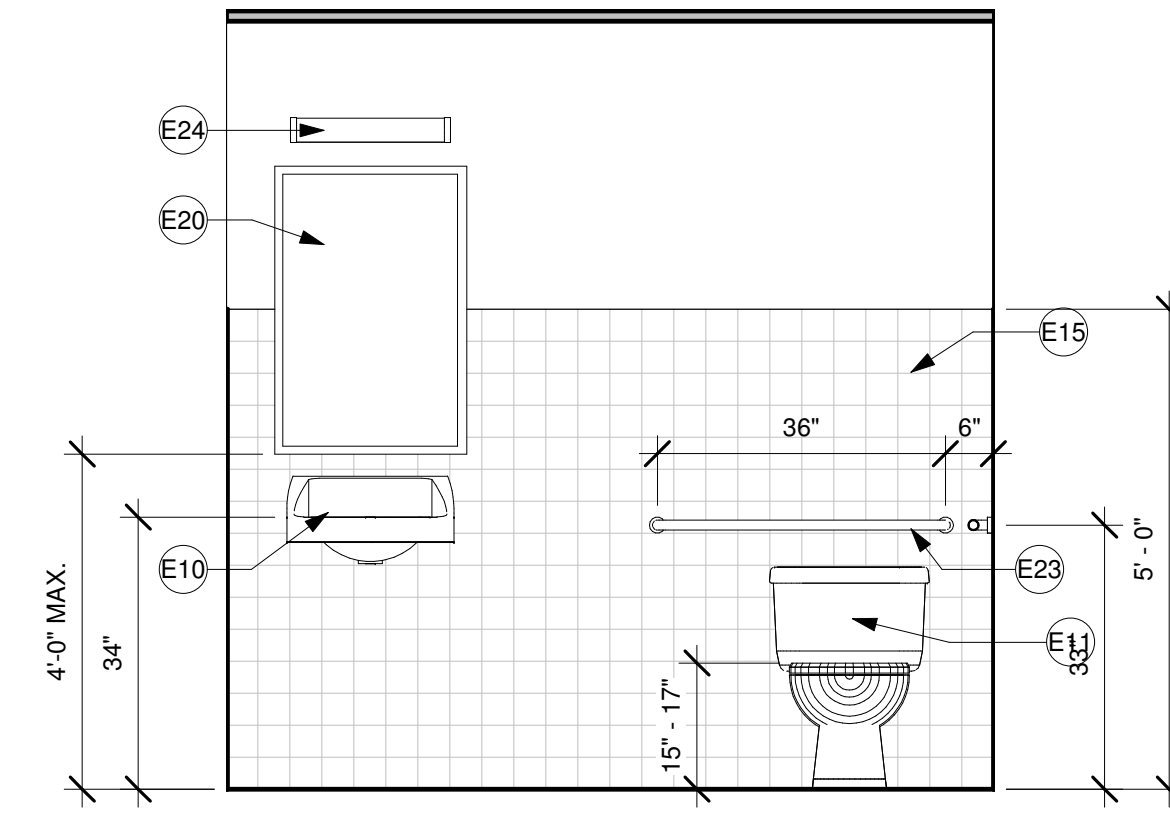
SCALE 1/2" = 1'-0"



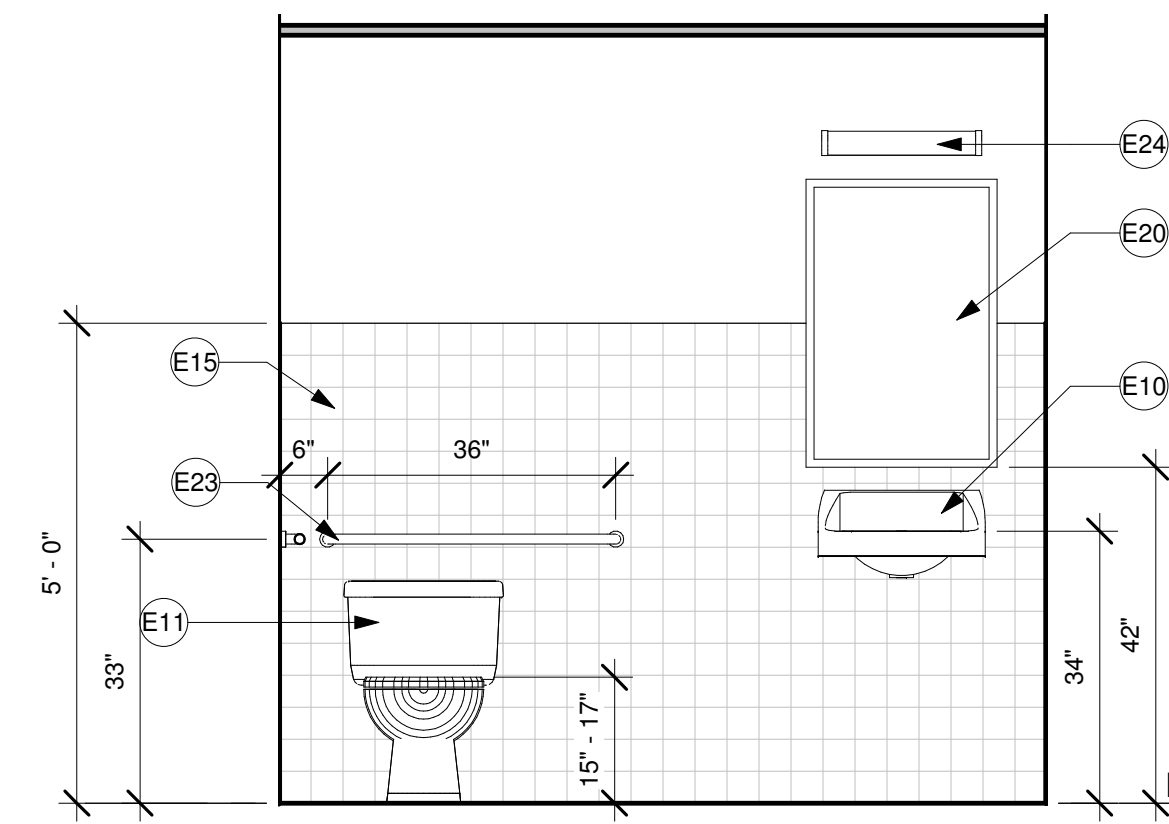
7 BATHROOMS & BREAK ROOM  
A115 1/2" = 1'-0"



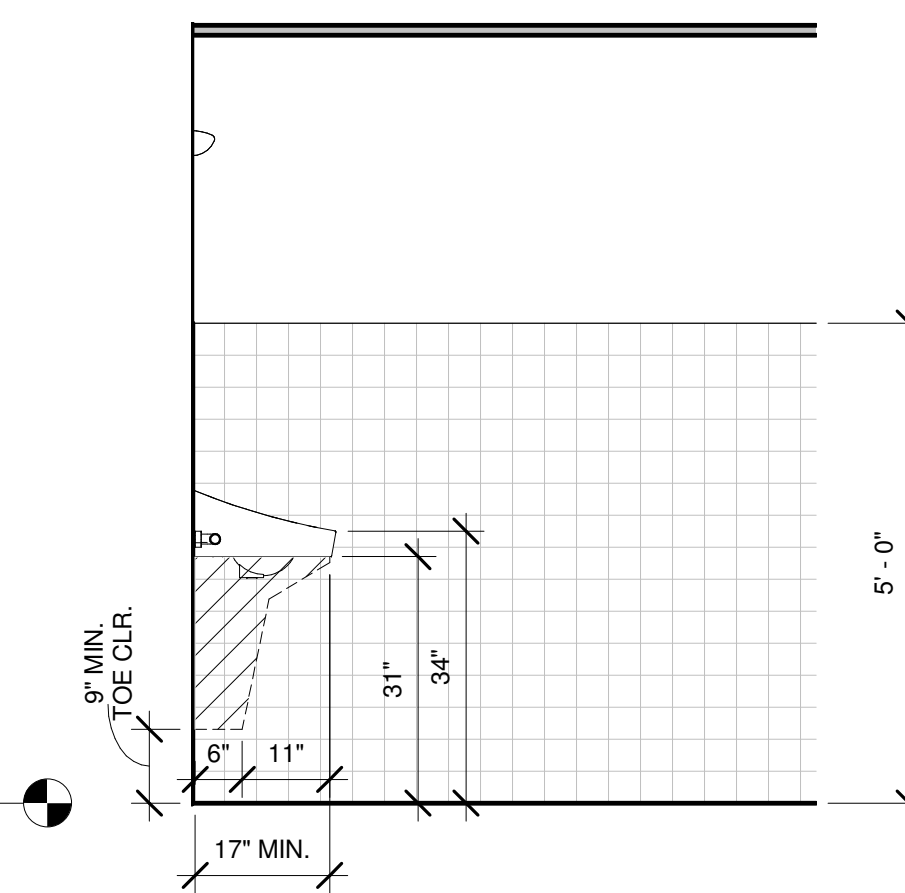
1 BATHROOM ELEVATION  
A115 1/2" = 1'-0"



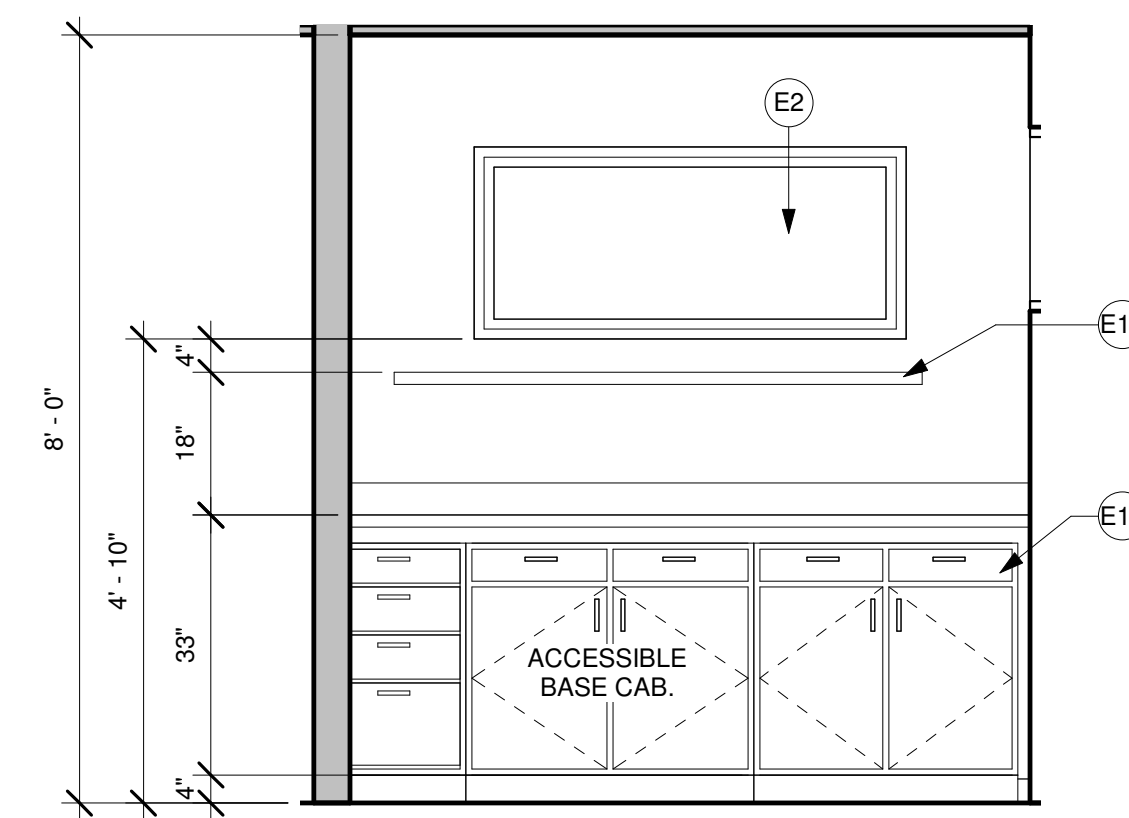
2 BATHROOM ELEVATION  
A115 1/2" = 1'-0"



3 BATHROOM ELEVATION  
A115 1/2" = 1'-0"



4 BATHROOM ELEVATION  
A115 1/2" = 1'-0"



5 BREAK ROOM  
A115 1/2" = 1'-0"

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**CANNABIS CULTIVATION &  
PACKAGING**  
TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

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- REMOVE PORTION OF (E) INTERIOR FINISHES AS REQUIRED TO INSTALL (N) PARTITION WALLS, SEE FLOOR PLAN

**KEYNOTE**

- D16 REMOVE (E) CEILING AND RELATED FRAMING
- E4 (E) SKYLIGHT TO REMAIN AND PROTECT
- D16 REMOVE COLUMN/BEAM TO REMAIN AND PROTECT
- E4 (E) SKYLIGHT TO REMAIN AND PROTECT
- P2 (E) STEEL COLUMN/BEAM TO REMAIN AND PROTECT

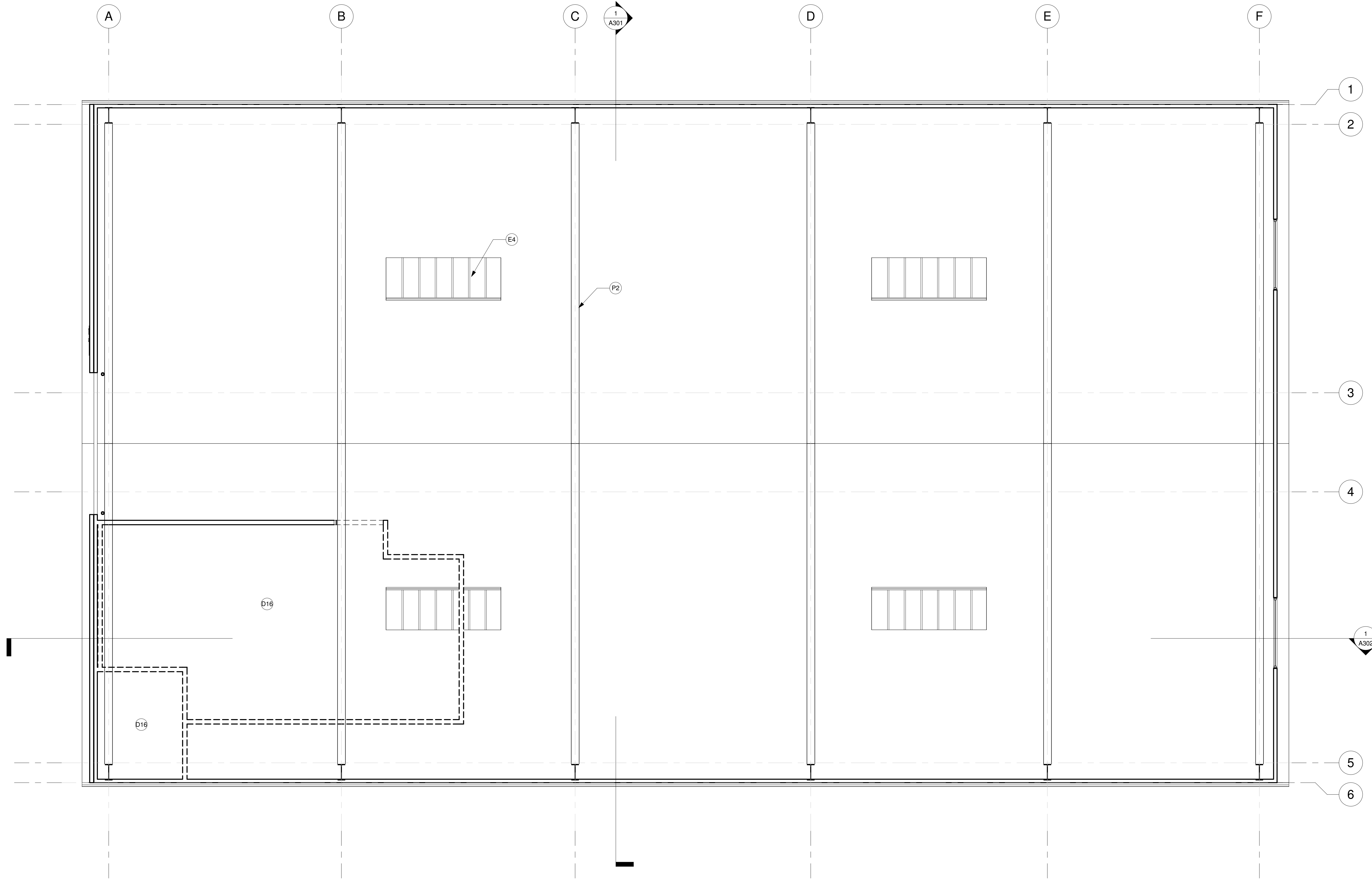
**SHEET LEGEND**

No.	Description	Date

SHEET NAME  
**(E) RCP - LEVEL 1,  
SELECTIVE DEMO.**

Date 2021-03-12  
Project Number GS20249  
Drawn By AD  
Checked By GMS/TRS

SHEET NUMBER  
**A120**  
SCALE 1/4" = 1'-0"



**1 (E) FIRST FLOOR REFLECTED CEILING PLAN & SELECTIVE DEMOLITION**  
1/4" = 1'-0"

STAMP



STATUS

**CONDITIONAL USE  
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SUBMITTAL**

**CANNABIS CULTIVATION &  
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TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

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14. REMOVE PORTION OF (E) INTERIOR FINISHES AS REQUIRED TO INSTALL (N) PARTITION WALLS. SEE FLOOR PLAN.

**KEYNOTE**

P29 (N) CEILING

**SHEET LEGEND**

No.	Description	Date

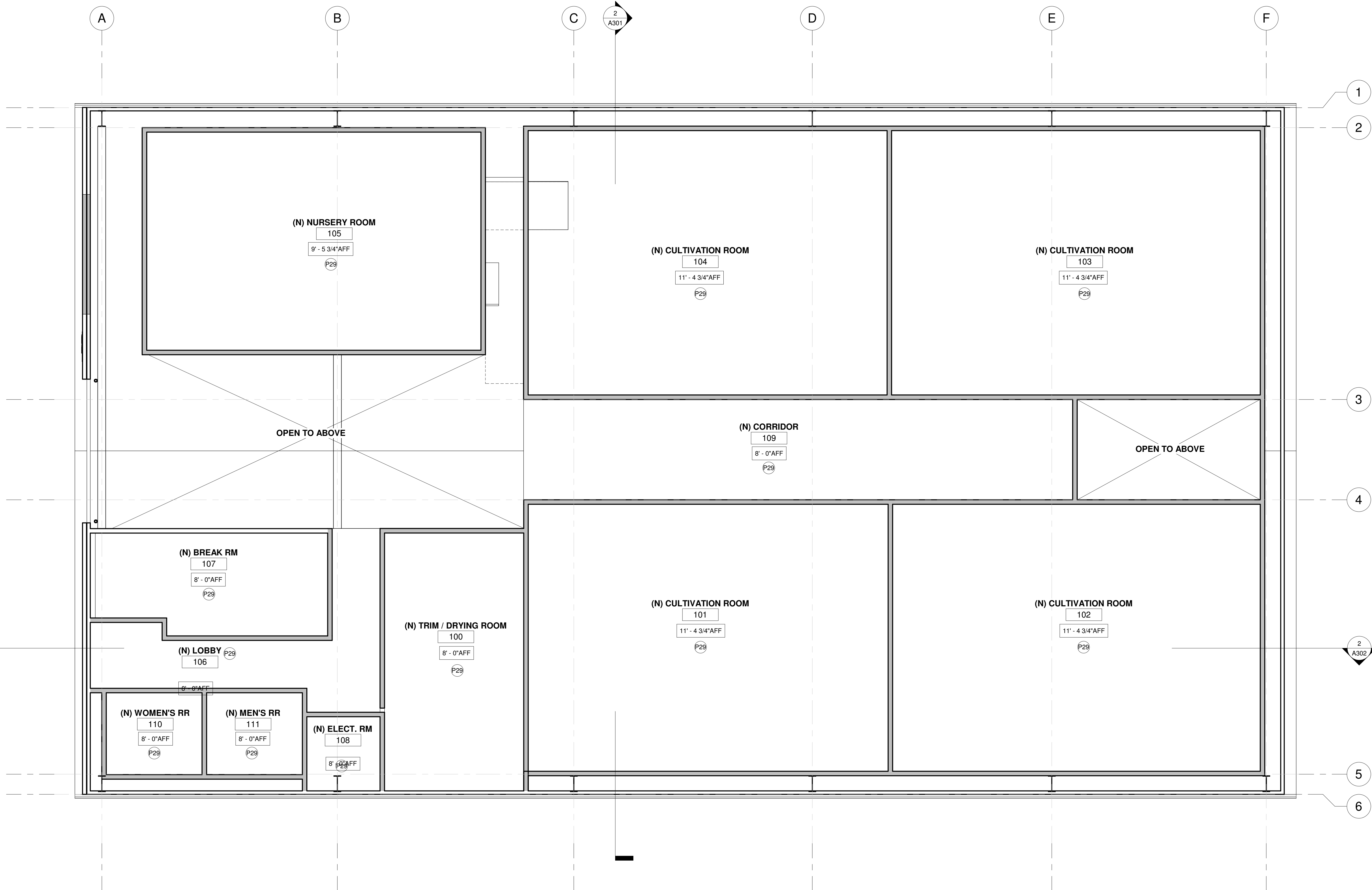
SHEET NAME  
**(N) RCP - LEVEL 1**

Date	2021-03-12
Project Number	GS20249
Drawn By	AD
Checked By	GMS/TRS

SHEET NUMBER

**A121**

SCALE 1/4" = 1'-0"



**1 (N) FIRST FLOOR REFLECTED CEILING PLAN**  
1/4" = 1'-0"



STATUS  
**CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL**

**CANNABIS CULTIVATION &  
PACKAGING**

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

### SHEET NOTES

1. ALL ELECTRICAL WORK TO BE DESIGNED BUILD, INFORMATION PROVIDED FOR REFERENCE ONLY.
2. PROVIDE GROUND-FAULT CIRCUIT INTERRUPTERS FOR RECEPTACLES INSTALLED AT KITCHEN COUNTERTOP SURFACES.
3. AT THE KITCHEN, PROVIDE 2-20 AMP CIRCUITS FOR SMALL APPLIANCES AND A 15 AMP DEDICATED CIRCUIT FOR THE REFRIGERATOR. INDEPENDENTLY, PROVIDE SEPARATE CIRCUITS FOR LIGHTING, APPLIANCE RECEPTACLES, HOOD FANS, DISHWASHERS AND DISPOSALS.
4. ALL LUMINAIRES TO BE HIGH EFFICACY LED TYPES, WITH COLOR RENDERING INDEX OF 90+. AT 2700K OR 3000K.
5. LIGHT FIXTURES WHEN RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND AIR TIGHT.
6. SMOKE DETECTORS SHALL BE INSTALLED IN EXISTING BEDROOMS, IN HALLWAYS, AND WITHIN EACH STORY. WHEN DWELLING HAS FUEL-BURNING APPLIANCES, INSTALL CARBON MONOXIDE ALARM IN HALLWAYS ADJOINING SLEEPING AREAS AT EACH LEVEL. SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BATTERY BACKUP.
7. LIGHT FIXTURES AT OFFICE AREA SHALL BE HIGH EFFICACY OR CONTROLLED MANUAL OCCUPANT SENSOR.
8. SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS SHALL BE 18" FROM STORAGE AREAS, FLUSH MOUNTED SHALL BE 6" AWAY.
9. ALL RECEPTACLES, LIGHTING CIRCUITS, SWITCHES AND HARD WIRED SMOKE DETECTORS INSTALLED IN ROOMS OTHER THAN KITCHEN, SHALL BE PROTECTED WITH COMBO ARE FAULT CIRCUIT INTERRUPTER.
10. ALL RECEPTACLES SHALL BE TAMPER RESISTANCE IN ACCORDANCE TO 2019 CEC, ARTICLE 408.12.
11. EACH BATHROOM IS REQUIRED TO HAVE A 50 CFM MINIMUM EXHAUST FAN DUCTED TO THE OUTSIDE. BATHROOM IS ANY ROOM WITH A BATHTUB, SHOWER, SPA OR SIMILAR SOURCES OF MOISTURE. TOILET ROOM IS NOT CONSIDERED A BATHROOM.
12. EACH KITCHEN IS REQUIRED TO HAVE A 100 CFM MINIMUM EXHAUST FAN DUCTED TO THE OUTSIDE. THE RANGE HOOD OVER THE STOVE MAY BE USED TO MEET THIS REQUIREMENT, BUT THE RANGE HOOD MUST BE VENTED TO THE OUTSIDE.
13. LOCAL EXHAUST FANS ARE REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 3 SONES, UNLESS THEIR MAXIMUM RATED AIRFLOW EXCEEDS 400 CFM.
14. IN ADDITION TO THE LOCAL EXHAUST FANS IN THE KITCHENS, AN EXHAUST FAN SHALL BE SIZED TO PROVIDE VENTILATION FOR THE WHOLE HOUSE. THE MINIMUM VENTILATION RATE FOR THE WHOLE-BUILDING EXHAUST FAN SHALL BE CALCULATED ACCORDING TO ASHRAE STANDARD 62.2 EQUATION 4.1(A). THE CONDITIONED FLOOR AREA AND THE NUMBER OF BEDROOMS IN THE HOME (THE EXISTING HOUSE AND THE ADDITION) WILL DETERMINE THE MINIMUM VENTILATION RATE. ONE OF THE LOCAL EXHAUST FANS IN THE BATHROOMS OR KITCHENS MAY BE USED TO MEET THE WHOLE-BUILDING VENTILATION, PROVIDED THE EXHAUST FAN MEETS THE MINIMUM VENTILATION RATES FOR BOTH THE LOCAL EXHAUST AND WHOLE-BUILDING VENTILATION REQUIREMENTS. THE DUCTING FOR THE WHOLE-BUILDING EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1 AND THIS EXHAUST FAN SHALL OPERATE CONTINUOUSLY.
15. PROVIDE CORRIDOR LIGHTING CONTROLS IN ACCORDANCE WITH THE 2016 CALIFORNIA ENERGY CODE (CEC). PROVIDE OCCUPANCY SENSORS, ROOM CONTROLLERS AND DIMMERS TO ALLOW FOR CORRIDOR LIGHTING TO BE DIMMED TO A MINIMUM OF 50% OUTPUT WHEN THERE IS NO OCCUPANCY DETECTED.
16. LIGHT SWITCHES +48" TO TOP OF BOX FOR RECEPTACLES +15" TO BOTTOM OF BOX.

### KEYNOTES

- P27 (N) LADDER W/ CAGE
- P30 (E) SKYLIGHT TO REMAIN AND PROTECT, TYP.
- P31 (N) ROOF HATCH

### SHEET LEGEND

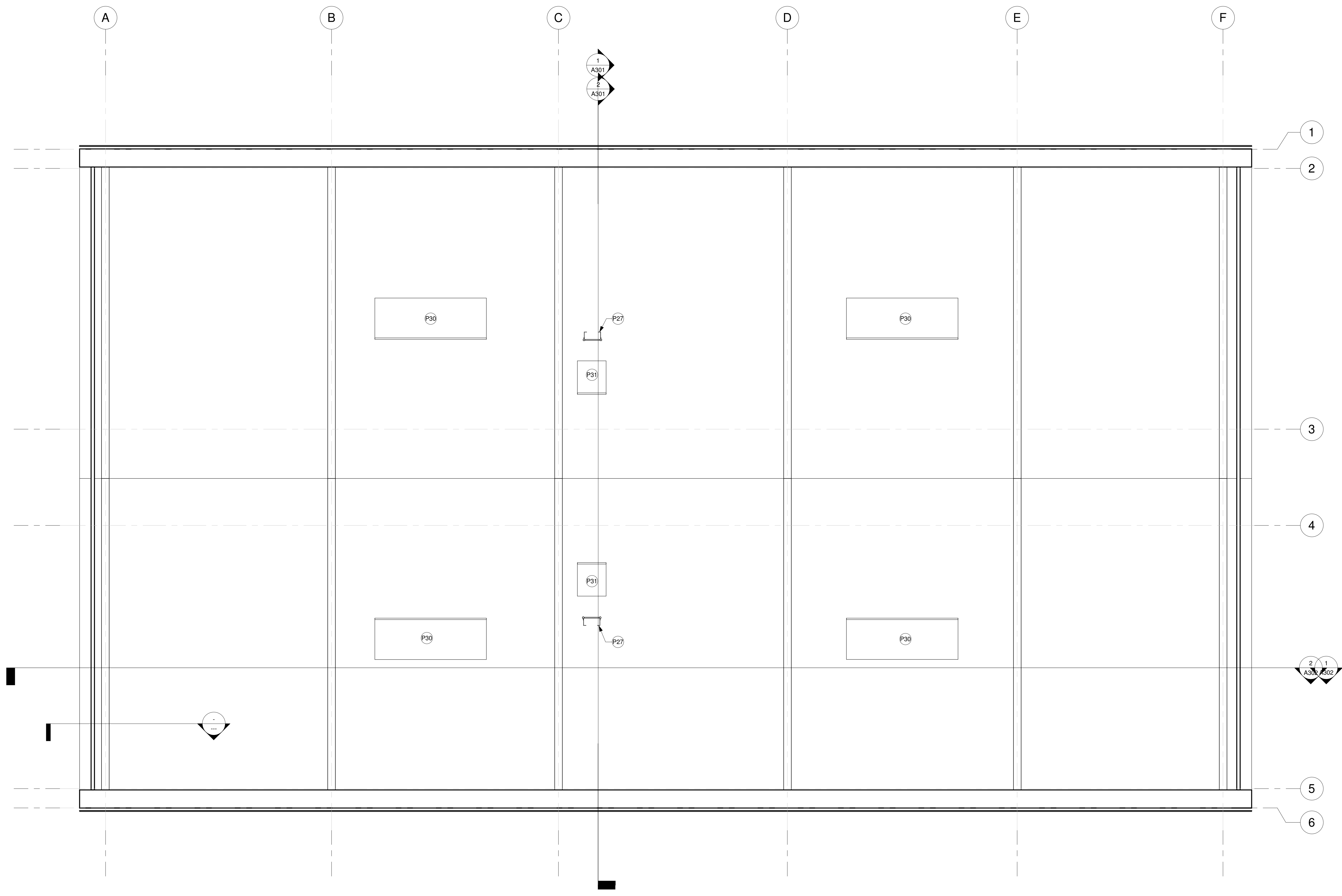
No.	Description	Date

SHEET NAME  
**(N) RCP - MECH  
PLATFORM**

Date 2021-03-12  
Project Number GS20249  
Drawn By AD  
Checked By GMS/TRS

SHEET NUMBER  
**A122**

SCALE  
1/4" = 1'-0"



1 (N) REFLECT CEILING PLAN - MECHANICAL PLATFORM  
1/4" = 1'-0"

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STATUS

CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL

**CANNABIS CULTIVATION &  
PACKAGING**

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

No.	Description	Date

SHEET NAME  
**EXTERIOR  
ELEVATIONS - WEST**

Date 2021-03-12

Project Number GS20249

Drawn By AD

Checked By GMS/TRS

SHEET NUMBER

**A201**

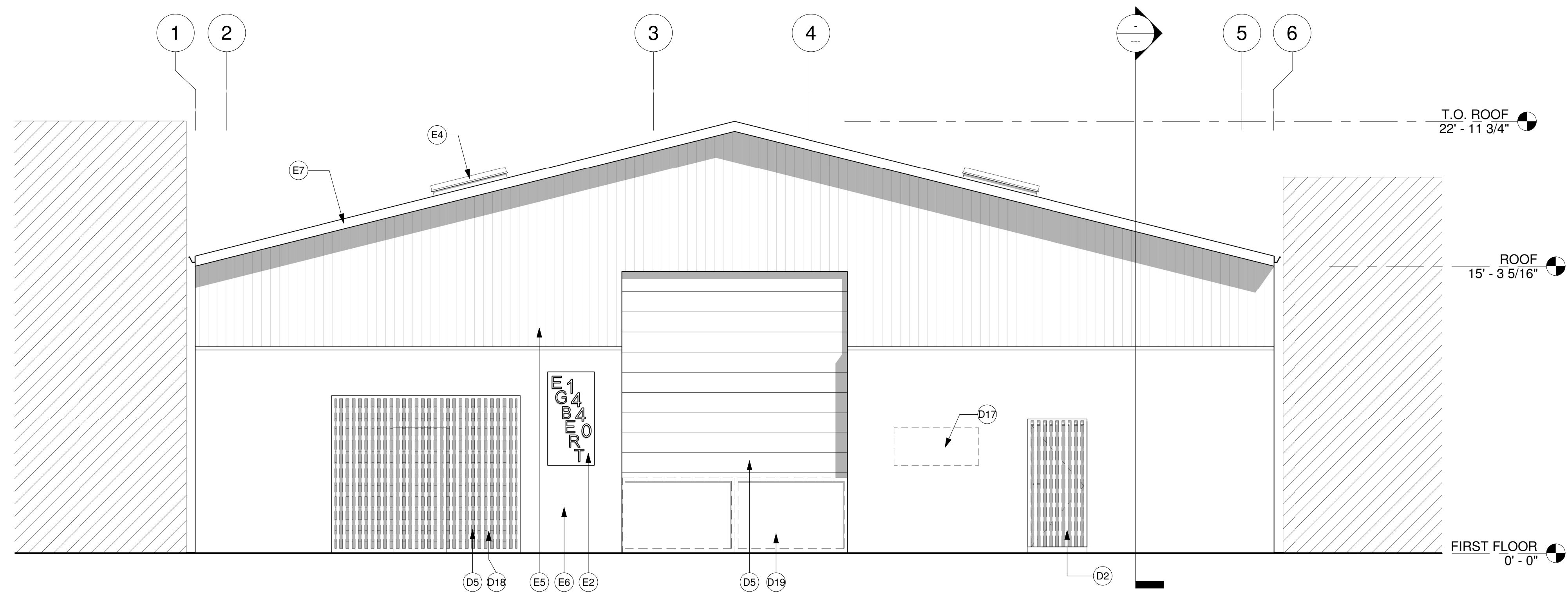
SCALE 1/4" = 1'-0"

**SHEET NOTES**

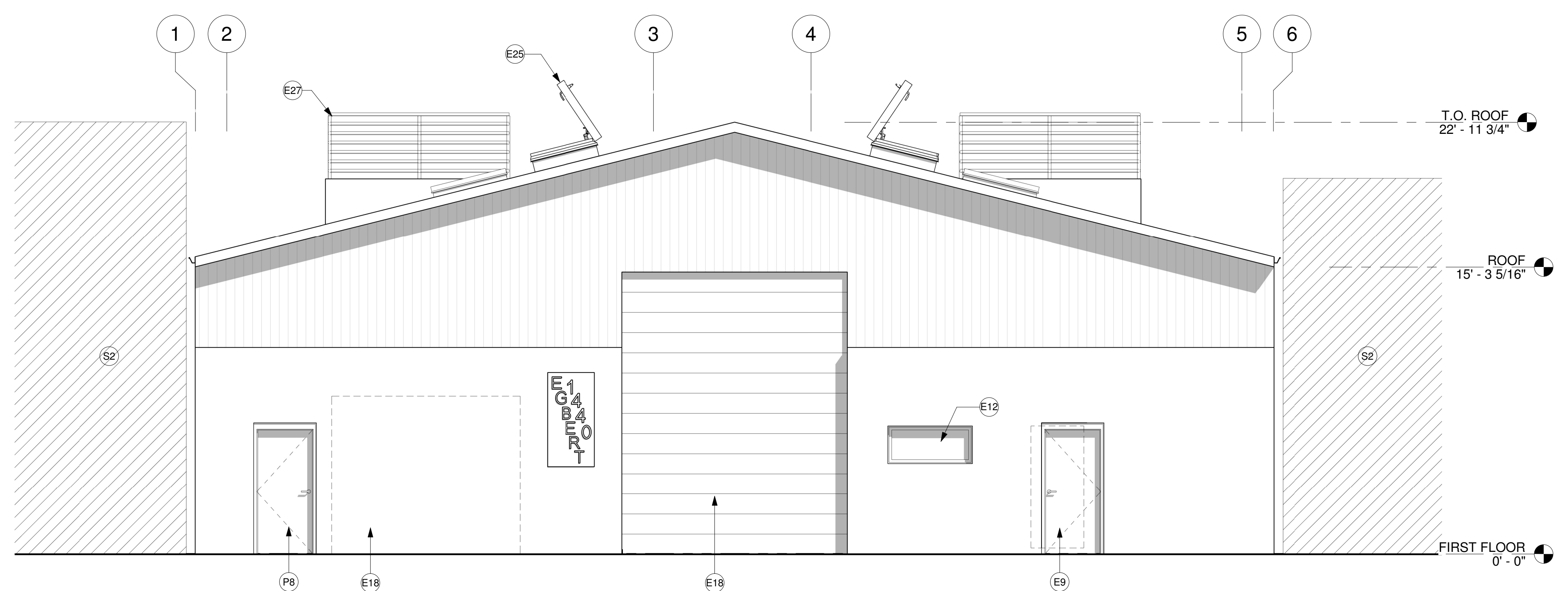
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B. ON CEILINGS WHERE FRAMING SPACING EXCEEDS 12" ON CENTER FOR 1/2" THK. OR 16" FOR 5/8" THK. GYPSUM BOARD.
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- REPLACE FIXTURES AS REQUIRED IF NOT LOW FLOW. FIELD VERIFY

**KEYNOTES**

- D2 REMOVE (E) DOOR, FRAME, RELATED HARDWARE AND (E) METAL GRILL DOOR
- D5 REMOVE (E) OVERHEAD COILING DOOR AND HARDWARE
- D17 REMOVE PARTITION AS REQUIRED FOR WINDOW
- D18 REMOVE (E) METAL GRILL W/ DOOR
- D19 REMOVE (E) METAL SECURITY GATES
- E2 (E) ADDRESS SIGN TO REMAIN AND PROTECT
- E4 (E) SKYLIGHT TO REMAIN AND PROTECT
- E5 (E) METAL SIDING ON METAL GIRTS TO REMAIN AND PROTECT
- E6 (E) CEMENT PLASTER TO REMAIN AND PROTECT. VIF
- E7 (E) METAL ROOF TO REMAIN AND PROTECT
- E9 (N) DOOR AND PATCH TO MATCH (E) EXTERIOR FINISH
- E12 (N) WINDOW
- E18 PATCH (E) SIDING AND MURAL TO MATCH
- E25 (N) ROOF HATCH, TYP.
- E27 (N) MECHANICAL PLATFORM W/ METAL PAINTED GUARD, SSD & SMD
- P8 (N) DOOR, SEE DOOR SCHEDULE
- S2 (E) ADJACENT BUILDING TO REMAIN AND PROTECT



1 (E) WEST EXTERIOR ELEVATION  
1/4" = 1'-0"



2 (N) WEST EXTERIOR ELEVATION  
1/4" = 1'-0"

**SHEET LEGEND**

- NOT IN CONTRACT
- ▨ ADJACENT BUILDING





STAMP



STATUS  
**CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL**

**CANNABIS CULTIVATION &  
PACKAGING**  
TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

No.	Description	Date

SHEET NAME  
**EXTERIOR  
ELEVATIONS - EAST**

Date	2021-03-12
Project Number	GS20249
Drawn By	AD
Checked By	GMS/TRS

SHEET NUMBER  
**A204**

SCALE 1/4" = 1'-0"

**SHEET NOTES**

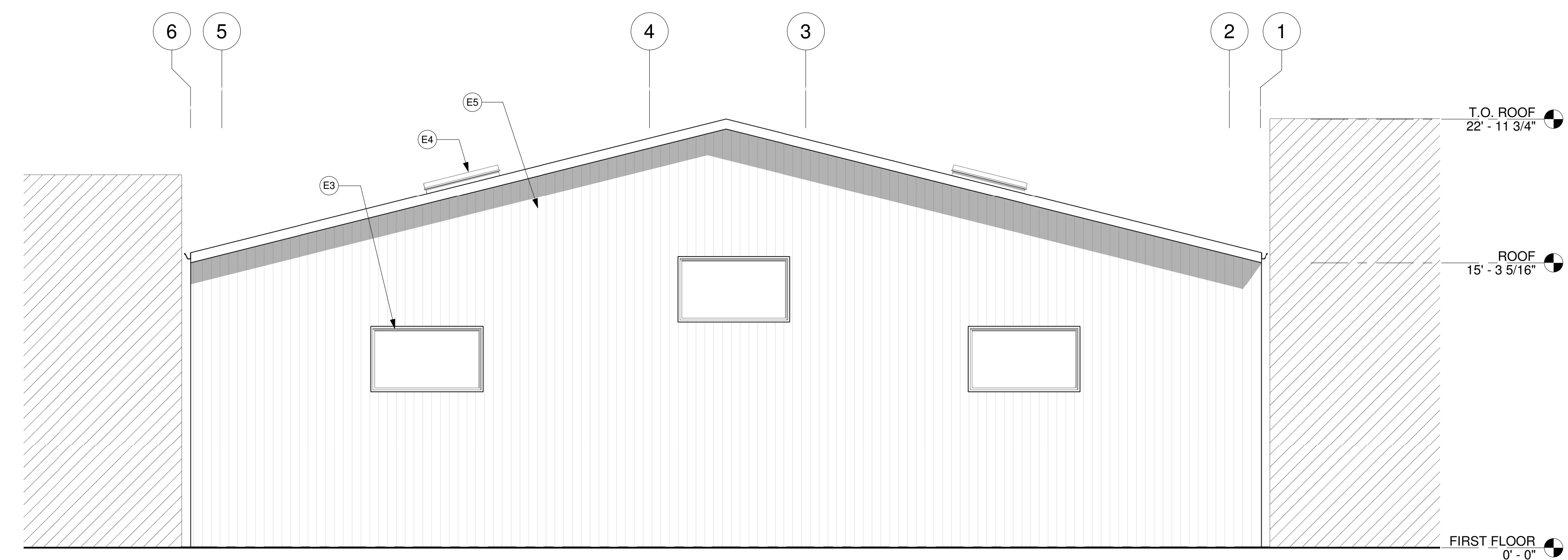
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**KEYNOTES**

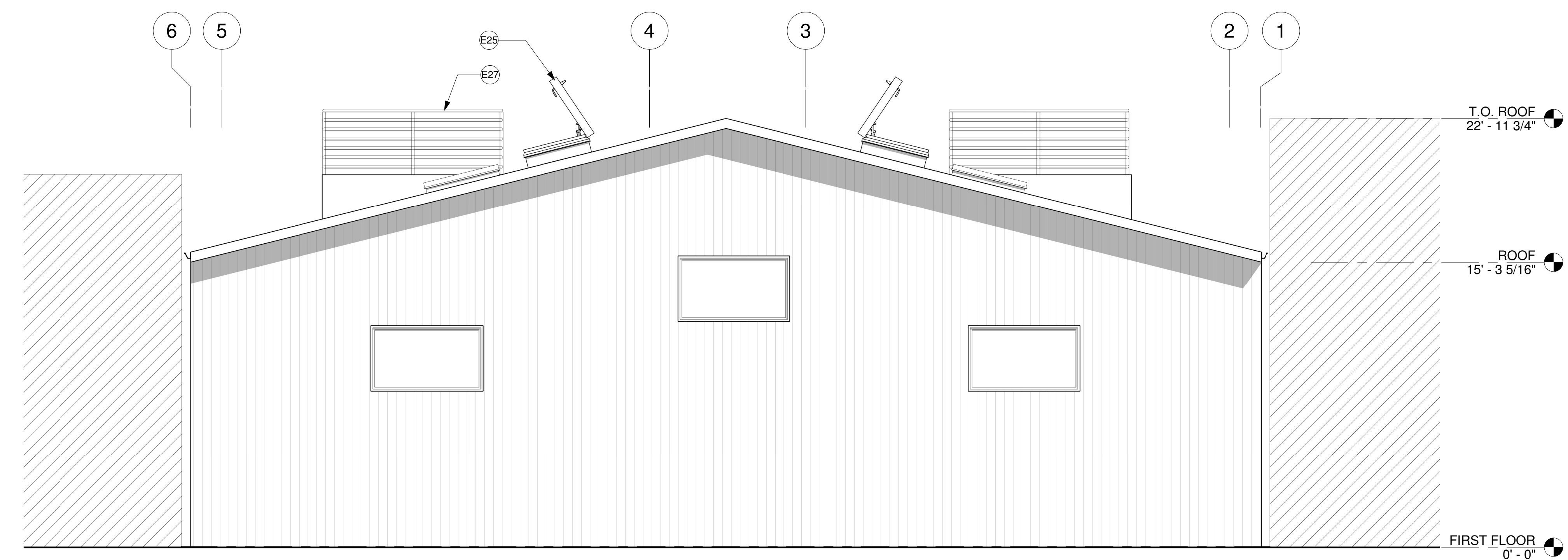
- E3 (E) WINDOW TO REMAIN AND PROTECT
- E4 (E) SKYLIGHT TO REMAIN AND PROTECT
- E5 (E) METAL SIDING ON METAL GIRTS TO REMAIN AND PROTECT
- E25 (N) ROOF HATCH, TYP.
- E27 (N) MECHANICAL PLATFORM W/ METAL PAINTED GUARD, SSD & SMD

**SHEET LEGEND**

- [Hatched Box] NOT IN CONTRACT
- [Hatched Box] ADJACENT BUILDING



① (E) EAST EXTERIOR ELEVATION  
1/4" = 1'-0"



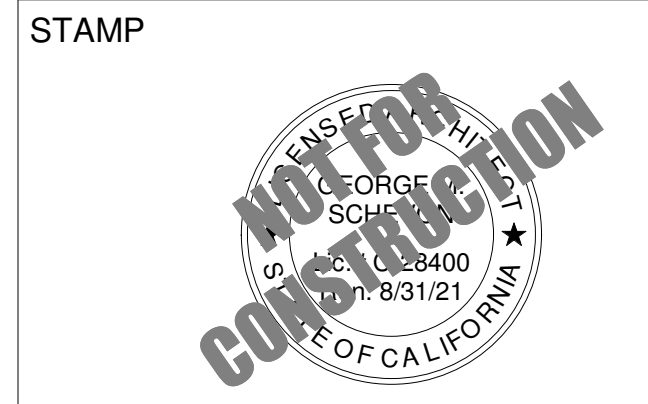
② (N) EAST EXTERIOR ELEVATION  
1/4" = 1'-0"

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**SHEET NOTES**

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**STUDIO 4**  
ARCHITECTURE  
1840 B Alcatraz Avenue  
Berkeley, CA 94703  
tel...510.644.3407  
fax...510.405.2006



STATUS  
**CONDITIONAL USE  
AUTHORIZATION  
SUBMITTAL**

**CANNABIS CULTIVATION &  
PACKAGING**

TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
1440 Egbert Avenue, San Francisco, CA

**KEYNOTES**

- E3 (E) WINDOW TO REMAIN AND PROTECT
- E4 (E) SKYLIGHT TO REMAIN AND PROTECT
- E7 (E) METAL ROOF TO REMAIN AND PROTECT
- P2 (E) STEEL COLUMN/BEAM TO REMAIN AND PROTECT
- P9 (E) CONCRETE FLOOR TO REMAIN AND PROTECT
- P10 (E) CONCRETE STEP AT BUILDING PERIMETER, 3" HT. AFF
- P14 MECHANICAL PLATFORM W/ GUARDRAIL, ADD STRUCTURAL FRAMING, SSS
- P15 (N) ONE HOUR FIRE RESISTANT WALL
- P16 (N) PARTITION, TYP.
- P17 HOSE BIB
- P18 (N) PLYWOOD PLATFORM, S.S.D.
- P19 (N) 42" HIGH GUARDRAIL, U.O.N.
- P22 (E) GUTTER TO REMAIN AND PROTECT, TYP.
- P26 (N) ROOF HATCH
- P27 (N) LADDER W/ CAGE
- P30 (E) SKYLIGHT TO REMAIN AND PROTECT, TYP.
- S2 (E) ADJACENT BUILDING TO REMAIN AND PROTECT

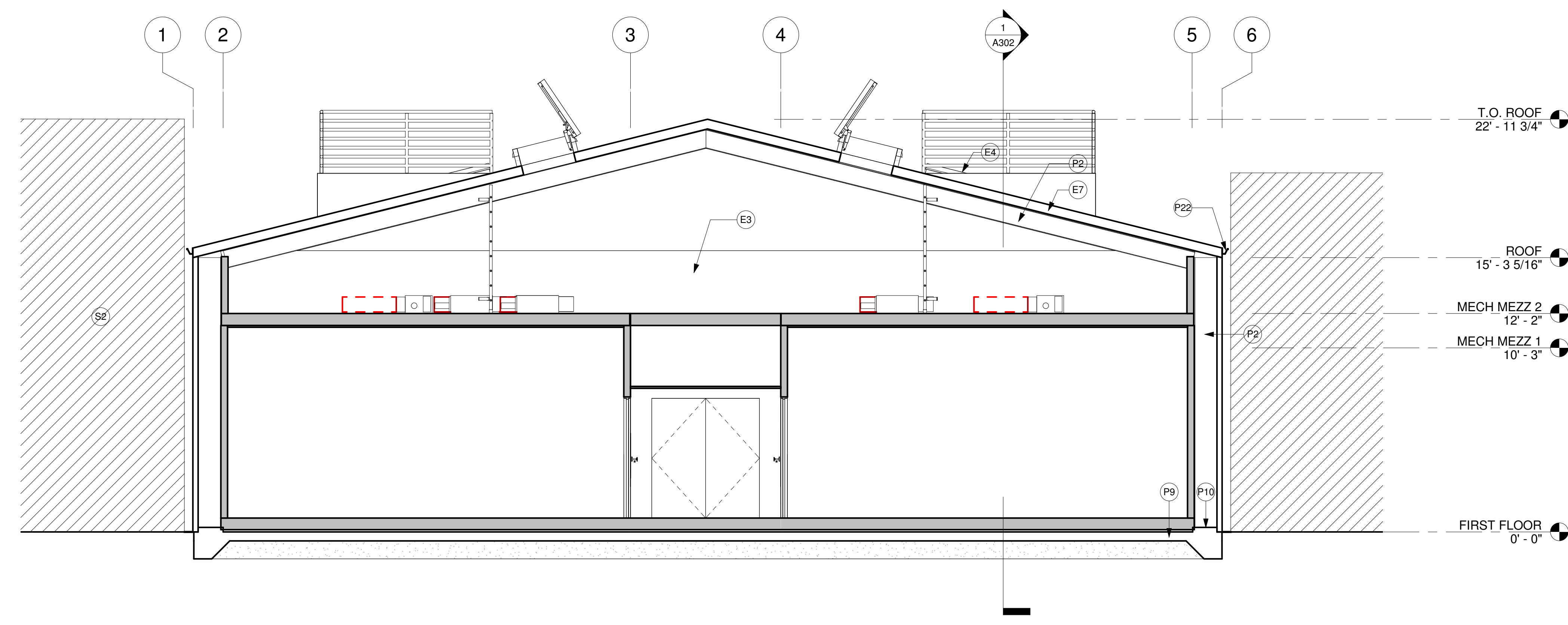
**SHEET LEGEND**

- NOT IN CONTRACT
- ADJACENT BUILDING

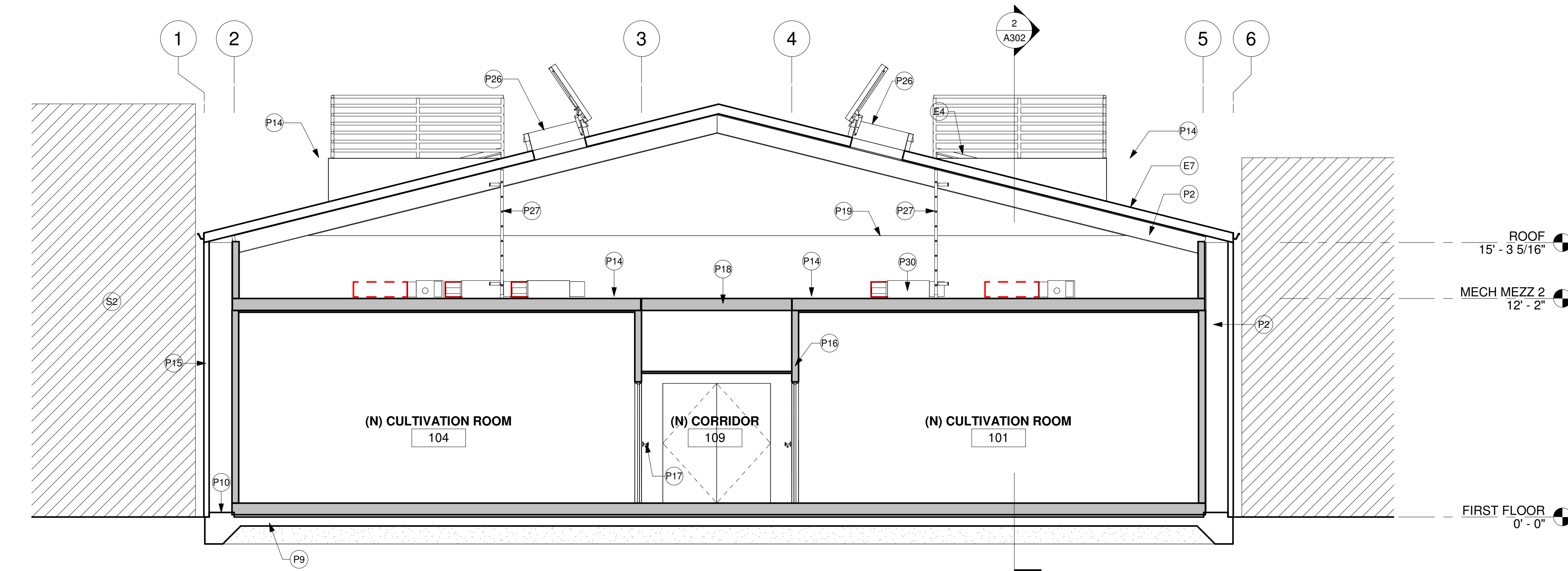
No.	Description	Date

SHEET NAME  
**BUILDING SECTIONS**

Date 2021-03-12  
Project Number GS20249  
Drawn By AD  
Checked By GMS/TRS  
SHEET NUMBER  
**A301**  
SCALE 1/4" = 1'-0"



**1 (E) BUILDING SECTION**  
1/4" = 1'-0"



**2 PROPOSED BUILDING SECTION**  
1/4" = 1'-0"

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AUTHORIZATION  
SUBMITTAL**

**CANNABIS CULTIVATION &  
PACKAGING**

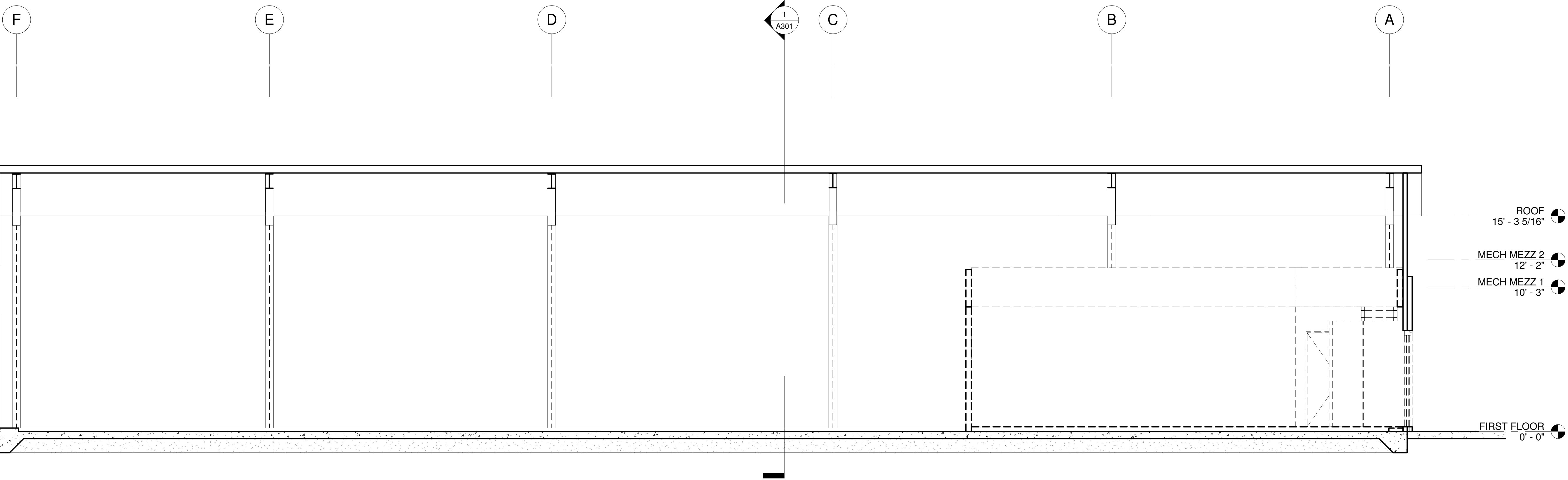
TENANT IMPROVEMENTS FOR CULTIVATION FACILITY  
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**SHEET NOTES**

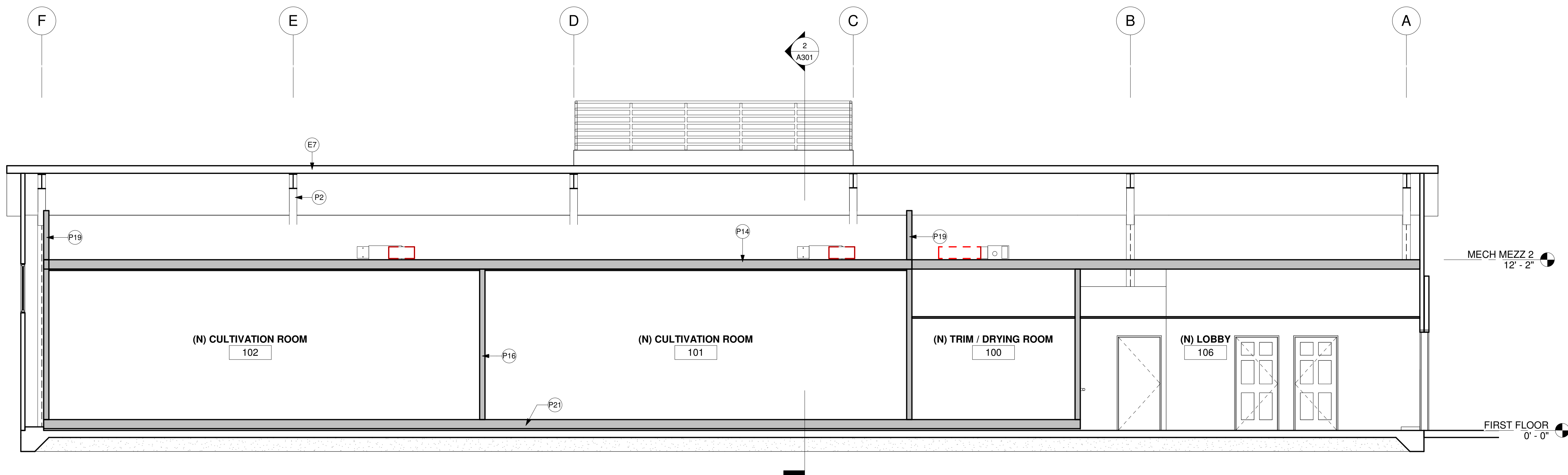
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**KEYNOTES**

- E7 (E) METAL ROOF TO REMAIN AND PROTECT  
P2 (E) STEEL COLUMN/BEAM TO REMAIN AND PROTECT  
P14 MECHANICAL PLATFORM W/ GUARDRAIL, ADD STRUCTURAL FRAMING, SSD  
P16 (N) PARTITION, TYP.  
P19 (N) 42" HIGH GUARDRAIL, U.O.N.  
P21 (N) RAISED FLOOR



**1 (E) BUILDING SECTION**  
1/4" = 1'-0"



**2 (N) BUILDING SECTION**  
1/4" = 1'-0"

**SHEET LEGEND**

Date	2021-03-12
Project Number	GS20249
Drawn By	AD
Checked By	GMS/TRS
SHEET NUMBER	<b>A302</b>
SCALE	1/4" = 1'-0"

No.	Description	Date

SHEET NAME  
**BUILDING SECTIONS**



# MEMO TO THE BAYVIEW HUNTERS POINT CITIZENS ADVISORY COMMITTEE

## Introduction

The Memo provides an update on the total number of cannabis cultivation and Cannabis Retail businesses operating within the Bayview Hunter's Point Citizens Advisory Committee jurisdiction and surrounding areas.

## Cannabis Cultivators in the Bayview CAC

Industrial Agriculture (including cannabis cultivation) is permissible within PDR (Production, Distribution, & Repair) Zoning Districts with a Conditional Use Authorization and within M (Industrial) Zoning Districts with a Building Permit. Additionally, parcels within the Industrial Protection Zone Special Use District may establish Industrial Agriculture uses with a Building Permit, without requiring Conditional Use Authorization, even if required under the base zoning of the property.

According to Office of Cannabis records, there are thirty-one locations within the Bayview CAC jurisdiction area that proposed to conduct cannabis cultivation as part of their proposed businesses. Of these thirty-one, four locations are in a 'build-out' status, meaning they have approval for their land uses and are constructing their proposed improvements. An additional eight locations are in a 'processing' status, meaning they are in the process of applying or obtaining land use approval for their businesses. The remaining nineteen locations are in a 'submitted' status, meaning their applications are still under review with the Office of Cannabis and have not yet been formally referred for review to the Planning Department. Some locations in this submitted status may not result in actual applications for entitlements, as it is not yet determined that the applicants are eligible to apply.

In total, these locations represent 193,462 square feet of cannabis related land uses. The square footage of each business is reported on the initial licensing application and may change over the course of project review. Additionally, this square footage reported for each business is the total square footage of the business; if a business has multiple activities such as cultivation and manufacturing, this square footage will include both of those uses. As a result, the total amount of square footage devoted to cultivation is likely slightly smaller. As applications move to a processing status (or are withdrawn), these square footages become clearer, and our reporting will become more accurate.

## **Cannabis Retail in the Bayview CAC**

In the broader Bayview neighborhood, there are a total of two Cannabis Retailers that are approved to operate:

- 4526 Third Street, within the Bayview CAC jurisdiction and including a smoking or vaporizing lounge
- 828 Innes Street, not within the Bayview CAC jurisdiction and not including any on-site smoking or vaporizing of cannabis products

In addition, there are three proposed Cannabis Retailers within the Bayview CAC jurisdiction. All three proposed locations are principally permitted and do not include a request for authorization of any on-site smoking or vaporizing rooms:

- 2000 Oakdale Avenue
- 2348 Jerrold Avenue
- 1555 Yosemite Avenue, Suite 8

Additional locations may be under review with the City's Office of Cannabis and are not yet under review with the Planning Department.

## **Attachments:**

List of Industrial Agriculture Facilities within the Bayview CAC Jurisdiction



Applicant Name	Applicant Email	Status	Business Name	Permit Block / Lot	Permit Address - Street	Business Square Footage
Thanh Tran	ttwhhl@gmail.com	Build-out	TTWHHL LLC	5315051	1238 Rankin St	4,799
Melvin Simmons	hsimmons415@gmail.com	Build-out	BLACK PEPPER NATION LLC	4848069	1555 YOSEMITE AVE STE 8	1,350
Ramona Addison	andrew@hallinan-law.co	Build-out	ADDISON RAMONA	5597A001	2207 NEWCOMB AVE	11,500
Brian Wong	brianrwong@gmail.com	Build-out	Vrio Therapeutics Lab LLC	4343007	2348 Jerrold Ave	12,000
Nancy Do	nancy@endoindustries.co	Processing	WMM SOMA I LLC	4830016	1552 YOSEMITE AVE UNIT A	500
Aaron Flynn	aaron@goldsealsf.com	Processing	CARROLL STREET PARTNERS	5429003	1786 CARROLL AVE	8,500
Robert Finkle	robert@finklelawoffice.co	Processing	BROTHER LOUIE LLC	4940024	2915 KEITH ST	1,000
Carson McCarty	CARSONJMCCARTY@GM	Processing	JAHnetics California	4883018	1385 CARROLL AVE	10,000
Ussama Freij	ussamafreij@gmail.com	Processing	KUSALA URBAN FARM CORP	4793001B	1100 THOMAS AVE	3,300
Madison Eudora Watts	eudoraw@gmail.com	Processing	SENSIBLE HEALTHCARE SOLUTIONS LLC	4940013	1385 FITZGERALD AVE	5,640
Mubasher Choudhery	mubasher.sf@gmail.com	Processing	Mubasher Choudhery	5418014	2330 lane street	2,500
Ali Jamalian	aj@kiffensf.com	Processing	Triple H Productions	4829027	1550 Wallace	10,000
Paul Shiau	shiaup@yahoo.com	Submitted	PAUL SHIAU	4830016	1588 YOSEMITE AVE	3,311
Greg Schoepp	gregschoepp@aol.com	Submitted	SCHOEPP CONSTRUCTION INC	5333032	2231 QUESADA	5,273
Robert Finkle	robert@finklelawoffice.co	Submitted	COLLECTIVE EFFORT, INC.	4940024	2915 KEITH ST	2,100
Michael Conner	msconner1968@gmail.co	Submitted	GSKPCC INC	4343021	250 NAPOLEON ST N	1,750
Chris Wright	rcichris@yahoo.co.uk	Submitted	ERBSF	5572017	45 LOOMIS ST	3,200
Michael Conner	msconner1968@gmail.co	Submitted	CKPCC INC	4881009	1474 EGBERT AVE	7,700
Paul Bahamondes	nlesierra@yahoo.com	Submitted	TOP HORTICULTURAL CONCEPTS INC	5590A002	2130 OAKDALE AVE	17,800
Edgar, Suguey Melgar	suzy.gfp@gmail.com	Submitted	EDGAR MELGAR & SUGUEY MELGAR	4910026	1455 DONNER AVE	5,000
Tariq Alazraie	tariq@trybasa.com	Submitted	BAYTRU INC	4829003	1510 WALLACE AVE A & B	10,593
Paul J OGrady	paul@ogradypumbing.co	Submitted	Jay's	5226025	1600 Evans Avenue	5,000
Paul Shiau	shiaup@yahoo.com	Submitted	PAUL SHIAU	4830016	1577 WALLACE AVE	3,072
Emile Ferreboeuf	emile@headstashionly.co	Submitted	SEPPY'S NURSERY, LLC	4827021	1265 VAN DYKE AVE	7,000
Daniel Wacks	daniel@stateflowercanna	Submitted	ABI SF	5332023	75 INDUSTRIAL ST	20,000
Tameeka Jones	tameekaj21@gmail.com	Submitted	UNDERWOOD ST FACILITY, LLC	4811006	1345 UNDERWOOD AVE	3,915
Michel Warfield	TCP1150LLC@yahoo.com	Submitted	TCP 1150	4756057	1150 QUESADA AVE	1,309
Eddy Phu	josupply888@gmail.com	Submitted	J.O. SUPPLY	4828024	1450 WALLACE AVE	7,000
Paul Wisecarver	gsfcallc.office@gmail.co	Submitted	GSFCA LLC	4786072	1125 REVERE AVE	8,150
Anna Wyatt	anna3e@gmail.com	Submitted	CONSCIOUS VITALITY CORPORATION	4910024	1465 DONNER AVE BLDG	4,800
Stefan Dalkert	stefanjamesdalkert@gma	Submitted	PRODUCTION MANAGEMENT SYSTEMS INC	4830016	1579 WALLACE AVE Unit A	5,400

193,462

**Bayview Hunters Point Citizen Advisory  
Committee Project  
Questionnaire**

Dear Project Sponsor:

Thank you for considering Bayview for your project. The Bayview Hunters Point Citizen Advisory Committee (CAC) is an advisory board tasked with providing policy advice on planning and land use matters in Zone 2 of Bayview/Hunters Point to the City of San Francisco (including the Board of Supervisors, the Planning Department and other applicable city boards and commissions).

We are providing you with this project information template so that the CAC will be best informed about your project so that your CAC presentation and Q&A session will be the most productive for you and the CAC. If there are any items below that are unfamiliar or not applicable to your project, please indicate this as needed.

**Please Note: The CAC expects this questionnaire to be fully completed and the Project Sponsor to attend and be available to answer questions at your CAC presentation. Failure to do so may lead to a delayed decision regarding your project.**

Thank you for your cooperation and we look forward to hearing about  
your proposal. Bayview Hunters Point CAC

**Project Name:** San Francisco Gateway **Date:** 11/03/2021 meeting

**Project Address:** 749 Toland Street and 2000 McKinnon Avenue

**Project Sponsor:** Prologis, Inc

**Project Sponsor Phone and Email:** Courtney Bell [cbell@prologis.com](mailto:cbell@prologis.com)

**Architect:** Jackson Liles Architecture

**SF Planning Contact / rep:** Kimberly Durandet, Current Planning

**Has a PPA (preliminary planning assessment) request been submitted?** Yes. **If yes, please attach a copy of the PPA letter (all pages) and any response from the San Francisco Planning Administrator, if received.**

**I. OVERVIEW**

1. Is the project a primary or mixed-use development (e.g., housing + retail, office + housing, industrial + office, or clinic + housing, etc)? Please provide a brief overview of the type of project.

The Prologis San Francisco Gateway will be California's first modern multi-story Production, Distribution and Repair (PDR) facility. The state-of-the-art buildings will be developed to LEED Gold standards and will deliver resilient, flexible space with to support critical PDR uses and job opportunities for the community.

**II. RESIDENTIAL USES - NONE**

**(Please complete if residential use is part of the project. If no residential use is proposed, please skip this section).**

- 2. Total number of units in the project: \_\_\_\_\_  
Number of units for sale: \_\_\_\_\_  
Number of units for rent: \_\_\_\_\_

3. Please describe the proposed overall mix of units for **sale** at market rates and percentage of AMI; and if applicable the units for **rent** and percentage of AMI.

\_\_\_\_\_

\_\_\_\_\_

4. Does your project plan include features or units that accommodate those with physical disabilities?

\_\_\_\_\_

5. Please describe how many parking spaces are proposed for vehicles and/or bikes.

\_\_\_\_\_

6. What is your connection to the Bayview Hunters Point Community? Please describe.

\_\_\_\_\_

**III. RETAIL/ OFFICE / COMMERCIAL USES -**

**(Please complete if retail/commercial use is part of the project. If no retail/commercial use is proposed, please skip this section).**

Approximately 8,000 square feet of ground-floor retail space are included in the project, addressed together with the PDR / Industrial Uses described below.

- 7. Has an economic impact report been submitted by the project owner/sponsor? \_\_\_\_\_.
- 8. Has a business plan been submitted by the project owner/sponsor? \_\_\_\_\_.
- 9. Is this an established business with a demonstrated history of success? \_\_\_\_\_.
- 10. Is this a new business? \_\_\_\_\_.
- 11. Is the business conducted by: a sole proprietor \_\_\_\_\_; a corporation \_\_\_\_\_; a non-profit org \_\_\_\_\_.
- 12. Is the business part of a chain or stores or franchise? \_\_\_\_\_.
- 13. Is the project a: retail sales operation \_\_\_\_\_; wholesale distributor/ warehouse/storage \_\_\_\_\_; industrial use/manufacturer \_\_\_\_\_; office/business service \_\_\_\_\_; other: \_\_\_\_\_.
- 14. Expected Annual gross sales expected at project site. \_\_\_\_\_ Est. Sales per Sq. Ft. \_\_\_\_\_.
- 15. Does the project provide a diversity in retail use for the area? \_\_\_\_\_.

16. Are other similar type retail operations in proximity to the proposed project? \_\_\_\_\_
17. Is the project an anchor tenant in a larger retail/commercial complex? \_\_\_\_\_.
18. Is the project stand-alone storefront or office? \_\_\_\_\_.
19. Are residential tenants living in/above or adjacent to the project site? \_\_\_\_\_.
20. Is the project a potential catalyst for other activities? \_\_\_\_\_.
21. Is the project a potential catalyst for other businesses? \_\_\_\_\_.
22. Does the project contribute to the enhancement of the physical appearance of the site, street frontage, or complex which may generate similar renovations? \_\_\_\_\_.
23. Does the project benefit from the Third Street Light Rail as a transit-oriented development? \_\_\_\_\_.
24. Please describe how many parking spaces are proposed for vehicles and/or bikes for the retail/commercial portion of the project.  
  
\_\_\_\_\_

25. What is your connection to the Bayview Hunters Point Community? Please describe.  
  
\_\_\_\_\_

#### IV. INDUSTRIAL USES

**(Please complete if industrial use is part of the project. If no industrial use is proposed, please skip this section).**

Note: This is a PDR project with use types corresponding to Production, Distribution and Repair.

26. Expected Annual gross sales expected at project site. Unknown Est. Sales per Sq. Ft. Unknown.
27. Does the project provide a diversity in industrial use for the area. The project is designed to maximize the flexibility in order to accommodate a variety of users. Among the anticipated uses are Warehouse, Storage, Wholesale, Parcel Delivery and maker/manufacturing uses. In addition to the PDR use, the project proposes an accessory, street-level retail use (café/sundries store) for small businesses.
28. Are other similar type industrial operations in proximity to the proposed project? Yes, the Bayview is home to many similar and evolving PDR use types as well as more traditional industrial users. This project is designed to support and grow this integral sector of the City's economy.
29. Is the project an anchor tenant in an industrial complex? The project will accommodate a wide range of PDR users and is designed with the flexibility to support an evolving PDR tenant base. There is currently no specific tenant for the facility, but rather a design which provides flexible PDR space for the long-term future needs of San Francisco.
30. Does the project contribute to the enhancement of the physical appearance of the site, street frontage, or complex which may generate similar renovations? The project prioritizes innovation in design, sustainability, and resiliency within the PDR setting. The physical design of the façade, street improvements and street fronting building amenities seek to enhance the pedestrian experience and could act as a catalyst for future development and improvements in the area.

31. Please describe how many parking spaces are proposed for vehicles and/or bikes for the industrial portion of the project.

To be discussed

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32. What is your connection to the Bayview Hunters Point Community? Please describe.

Prologis is a San Francisco based property owner, with our global headquarters located on the Embarcadero. Our Bay Area buildings serve over 700 local businesses. These local businesses range in size from as small as 1,000 square feet to spaces over 400,000 sf. Our buildings house the full spectrum of PDR uses - examples include food manufacturing facilities, vehicle fleet and repair facilities, showrooms and distribution space for construction materials, heavy equipment repair and rentals, and parcel delivery. We support over a dozen local start-ups in the San Francisco and San Mateo counties including Cleanly, Graphwear, Inception, Trove Recommerce, Twist Biosciences, Volley Automation, Elroy Air, Plenty Unlimited, Nimble Robotics, Cruise, Ample, and Waymo.

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**V. EMPLOYMENT IMPACT FOR BAYVIEW/HUNTERS POINT**

33. Has the owner/sponsor identified a BVHP Community Based Organization (“CBO”) providing job training and referral to fulfill the basic employment requirements of the project? Which CBO or CBO’s?

Prologis is committed to advancing our Community Workforce Initiative (CWI) job training program in San Francisco with key local partners. Regarding all topics in this section, details of employment/economic programs are preliminary but under active development.

34. Does the owner/sponsor have plans to incorporate youth internship opportunities for local resident youth in connection with the project? If so, please provide details.

To be discussed

35. Will the project request proposals for pre-construction activities from local residents and/or local companies?

To be discussed

36. Will the project provide opportunities for construction employment by local companies and/or local residents either directly or through an established Community Jobs Program?

Yes, the project will participate in the local hire agreement during construction, as set forth by the City.

37. Will the project provide entry-level employment opportunities for local individuals to enter the construction, service, and/or retail sectors as the basis for promotion to full time, fully benefited employment?

To be discussed. The project anticipates entry-level employment opportunities in both the construction and PDR sectors. Construction and PDR jobs provide over time the opportunity for advancement.

38. Will the project provide on-going and operational employment for local individuals? Yes

39. Will the project provide opportunities for local Minority owned Business Enterprise (MBE) and/or Women owned Business Enterprise (WBE) to participate in the pre-construction, construction, and operational employment requirements?

While these decisions will ultimately be made in consultation with our General Contractor, Prologis expects MBE/WBE to participate in the project.

40. Note details of:

Designated primary CBO for training and employment To be discussed

Designated secondary CBO for training and employment To be discussed

First Source Hiring Goals: To be discussed

Workforce Hiring Goals: To be discussed

Compliance officer identified for hiring implementation To be discussed

41. Are the training and employment opportunities as outlined above, or in a separate MOU, Employment Agreement, or Contract acceptable to the PAC as a basis for endorsing this project?

**VI. ECONOMIC IMPACT FOR BAYVIEW/HUNTERS POINT**

42. Has the project owner/sponsor agreed to direct support of a CBO through fixed annual contribution, percentage of profit contribution, donation of goods or services?

Details: Prologis is currently meeting with a variety of neighborhood stakeholders and is in the process of developing a community benefits program for the SF Gateway.

43. Does the project involve ownership by a 'home grown' or locally owned business or micro-business?

Yes, Prologis was founded in and maintains its headquarters in San Francisco.

44. Is there an opportunity for 'community ownership' or 'community investment' in this project?

Prologis seeks local business to occupy space in the Project including the street level retail and maker spaces. These spaces will be affordable and local by design and Prologis will commit capital to improving the spaces for occupancy. The 35,000 sf of street level maker space divided into 6 separate spaces. This makers row will provide a vibrant setting for small local business to located. The retail space is also divisible.

45. If applicable, how will the project sponsor utilize the space due any period of entitlement or permitting? Has the project sponsor made any plans to mitigate negative impacts of site work or site closure? Please mention any local economic development agencies, merchant associations, small businesses, non-profits, or faith-based institutions that you will be working with on these mitigation efforts.

Other Comments:

During the entitlement of the proposed development, the project sponsor is engaged in interim leasing of the existing buildings. The project sponsor is working with the City to analyze and mitigate impacts from site work through an Environmental Impact Report, which will be circulated for public review and input. The sponsor is also conducting community outreach, including with the nearby Produce Market, to identify and address concerns about area circulation and traffic during construction. Prologis has worked closely with current and previous building tenants to communicate the project schedule and to assist with potential relocation.

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+ Date and attach any and all letters of acknowledgment, notices or endorsement, resolutions, or memoranda to this file.



# SAN FRANCISCO PLANNING DEPARTMENT

~~(b) (3)~~

DATE: **March 31, 2017**

TO: **Brian Liles, Jackson Liles Architecture**

FROM: **Joy Navarrete, Planning Department**

RE: **PPA Case No. 2015-012491PPA for 1749 Toland Street & 2000 McKinnon Avenue**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

Please find the attached Preliminary Project Assessment (PPA) for the address listed above. You may contact the staff contact, Chris Thomas, at (415) 575-9036 or [christopher.thomas@sfgov.org](mailto:christopher.thomas@sfgov.org), to answer any questions you may have, or to schedule a follow-up meeting.

A handwritten signature in black ink, appearing to read "Joy Navarrete", written over a horizontal line.

Joy Navarrete, Senior Planner





# SAN FRANCISCO PLANNING DEPARTMENT

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## Preliminary Project Assessment

*Date:* March 31, 2017  
*Case No.:* **2015-012491PPA**  
*Project Address:* 749 Toland Street & 2000 McKinnon Ave  
*Block/Lot:* 5284A/008 & 5287/002  
*Zoning:* PDR-2 (Core Production Distribution & Repair)  
Zoning District Industrial Protection Zone Special Use  
District  
65-J Height & Bulk District  
*Area Plan:* Bayview Hunters Point Area Plan  
*Project Sponsor:* Brian Liles, AIA  
415-621-1799  
*Staff Contact:* Chris Thomas – 415-575-9036  
[christopher.thomas@sfgov.org](mailto:christopher.thomas@sfgov.org)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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### DISCLAIMERS:

This Preliminary Project Assessment (PPA) letter provides feedback to the project sponsor from the Planning Department regarding the proposed project described in the PPA application submitted on December 20, 2016, as summarized below. This PPA letter identifies Planning Department review requirements for the proposed project, including those related to environmental review, approvals, neighborhood notification and public outreach, the Planning Code, project design, and other general issues of concern for the project. Please be advised that the PPA application does not constitute an application for development with the Planning Department. The PPA letter also does not represent a complete review of the proposed project, does not grant a project approval of any kind, and does not in any way supersede any required Planning Department approvals listed below.

The Planning Department may provide additional comments regarding the proposed project once the required applications listed below are submitted. While some approvals are granted by the Planning Department, some are at the discretion of other bodies, such as the Planning Commission or Historic Preservation Commission. Additionally, it is likely that the project will require approvals from other City agencies such as the Department of Building Inspection, Public Works, the Municipal Transportation Agency, Department of Public Health, San Francisco Public Utilities Commission, and others. The information included herein is based on the PPA application and plans, the Planning Code, General Plan, Planning Department policies, and local/state/federal regulations as of the date of this document, all of which are subject to change.

### PROJECT DESCRIPTION:

The proposed "San Francisco Gateway" project involves the redevelopment of two blocks in the Bayview neighborhood, including demolition of approximately 448,000 gross square feet (gsf) of existing

warehouses and construction of an approximately 1,848,400 gsf multi-level, multi-building production distribution and repair (PDR) complex consisting of the following components:

- Four 4-story (115-feet-tall) buildings (Structures A, B, C and D) totaling approximately 1,160,000 square feet (sf), each containing a ground-floor level of PDR space accessed through a common loading area and three additional levels of PDR space with direct access to the central vehicle staging/truck court/parking structures; and
- Two 3-level central vehicle staging/truck court/parking structures (between the four 4-story buildings), totaling approximately 688,400 sf with 736 parking spaces, 384 loading spaces, and 89 Class 1 and four Class 2 bicycle parking spaces.

Specific future uses have not been identified but, as is consistent with the project site’s PDR-2 Zoning District, the proposed uses could include: light manufacturing “maker” uses, wholesale sales and storage, laboratory, parcel delivery service, internet service exchange and/or transportation-related use involving vehicle staging and maintenance, and personnel support and training spaces.

The project site is bound by Kirkwood Avenue to the north and Rankin Street to the east, McKinnon Avenue to the South and Toland Street to the west (the Project Site). The Highway 280 elevated viaduct bisects the project site, running in the north-south direction above the existing Selby Street right-of-way (ROW), such that the proposed Structures A and C would be to the west and Structures B and D would be to the east. The total combined area of the Project Site is approximately 743,733 sf. A portion of the ROWs within the surrounding streets and Selby Street are included within this total site area; removal of these ROW portions yields a modified site area of approximately 576,528 sf. Please note that portions of both lots include a Caltrans easement for Highway 280, which limits the use of the easement area for the Project.

Four one-story metal buildings currently occupy the project site. Existing uses are as follows:

- Automotive storage (single tenant) 141,000 sf
- General storage (for contractors, supply companies, etc.) 206,000 sf
- Food-related storage and wholesale (multiple tenants) 84,000 sf
- Vacant 17,000 sf

**PRELIMINARY PROJECT COMMENTS:**

The following comments address general issues that may affect the proposed project.

1. **Bayview Hunters Point Area Plan.** The subject property falls within the area covered by the BayviewHunters Point Area Plan in the General Plan. As proposed, the project is generally consistent with the overarching objectives of the Plan, though the project and design comments below discuss any items where more information is needed to assess conformity with either specific policies or Code standards or where the project requires minor modification to achieve consistency. The project sponsor is encouraged to read the full plan, which can be viewed at:

<http://generalplan.sfplanning.org/index.htm>.

2. **PDR.** The Planning Department supports the retention and expansion of Production, Distribution, and Repair uses. The proposed project is consistent with the San Francisco General Plan – Commerce and Industry Element; as well as the Bayview Hunters Point Area Plan. The PPA application states that 448,000 square feet of PDR space will be demolished and replaced on-site as part of this proposal. The provisions of Proposition X (November 2016) only apply to projects in the Mission and South of Market, and therefore have no bearing on this proposed project.

The San Francisco General Plan – Commerce and Industry Element Policy 1.3 states that commercial and industrial activities should be located according to a generalized commercial and industrial land use plan, and the location of this facility accords with that plan, which designates zoning areas for “General Industry.” Policy 1.3 goes on to state that “[t]he working areas of the city should be related to the trafficways and transit systems so as to minimize time and distance in the journey to work from each of the community areas of the city and from within the San Francisco Bay Region.”

The Bayview Hunters Point Area Plan Generalized Land Use map designates the area within which the proposed project parcels are located as Light Industrial.

3. **Site Design, Open Space and Massing.** The proposed project is consistent with the San Francisco General Plan – Urban Design Element. The Urban Design Guidelines for the Height of Buildings in the San Francisco General Plan – Urban Design Element indicates a range of 89 to 160 feet for the area within which the parcels are located. The Planning Department generally supports the intent of the project as it would provide needed space for PDR uses; however the project’s proposed 115 foot height is significantly above the current 65 foot height limit for the project parcels. Build-out to the full proposed 115 foot height would require rezoning, a process that entails approval by the Planning Commission and subsequent legislative action by the Board of Supervisors.
4. **Height Map Amendment.** Since the proposal includes construction of a 115-foot-tall building within a 65-J Height and Bulk District, the project will require a Legislative Amendment to Height District Map No. 10 (HT10). Currently, the proposal could not be constructed under the existing height and bulk limits.

## ENVIRONMENTAL REVIEW:

In compliance with the California Environmental Quality Act (CEQA), the environmental review process must be completed before any project approval may be granted. This review may be done in conjunction with the required approvals listed below. In order to begin formal environmental review, please submit an **Environmental Evaluation Application (EEA)** for the full scope of the project. EEAs are available in the Planning Department lobby at 1650 Mission Street, Suite 400, at the Planning Information Center at 1660 Mission Street, and online at [www.sfplanning.org](http://www.sfplanning.org) under the “Publications” tab. See “Environmental Applications” on page 2 of the current Fee Schedule for calculation of environmental application fees.<sup>1</sup>

## Preliminary Project Assessment

Case No. 2015-012491PPA  
749 Toland St & 2000 McKinnon Ave

- <sup>1</sup> San Francisco Planning Department. *Schedule for Application Fees*.  
Available online at:<http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=513>

**Note that until an entitlement application is submitted to the Current Planning Division, only the proposed Project Description will be reviewed by the assigned Environmental Coordinator.**

The proposed project requires environmental review with a project-specific Initial Study/Mitigated Negative Declaration or Environmental Impact Report (EIR). The initial study may be prepared either by an environmental consultant from the Department's environmental consultant pool or by Department staff. Should you choose to have the initial study prepared by an environmental consultant, contact Devyani Jain at (415) 575-9051 for a list of three eligible consultants. If the initial study finds that the project would have a significant impact that could be reduced to a less-than-significant level by mitigation measures agreed to by the project sponsor, then the Department would issue a preliminary mitigated negative declaration (PMND). The PMND would be circulated for public review, during which time concerned parties may comment on and/or appeal the determination. If no appeal is filed, the Planning Department would issue a final mitigated negative declaration (FMND). Additional information regarding the environmental review process can be found at:

<http://www.sf-planning.org/modules/showdocument.aspx?documentid=8631>.

If the initial study indicates that the project would result in a significant impact that cannot be mitigated to below a significant level, an EIR will be required. An EIR must be prepared by an environmental consultant from the Planning Department's environmental consultant pool:

[http://www.sfplanning.org/ftp/files/MEA/Environmental\\_consultant\\_pool.pdf](http://www.sfplanning.org/ftp/files/MEA/Environmental_consultant_pool.pdf)

The Planning Department will provide more detail to the project sponsor regarding the EIR process should this level of environmental review be required.

Below is a list of topic areas to be addressed through the environmental review process. Some of these would require additional study based on the preliminary review of the project as it is proposed in the PPA application.

- 1. Historic Resources.** The project site contains one or more buildings or structures considered to be a potential historic resource (constructed 45 or more years ago). This project site was included in the Bayview Hunters Point Redevelopment Area B Survey but was not evaluated. Therefore, the proposed project is subject to review by the Department's Historic Preservation staff. To assist in this review, the project sponsor must hire a qualified professional to prepare a Historic Resource Evaluation (HRE) report. The professional must be selected from the Planning Department's Historic Resource Consultant Pool. Please contact Tina Tam, Senior Preservation Planner, via email ([tina.tam@sfgov.org](mailto:tina.tam@sfgov.org)) for a list of three consultants from which to choose. Please contact the HRE scoping team at [HRE@sfgov.org](mailto:HRE@sfgov.org) to arrange the HRE scoping. Following an approved scope, the historic resource consultant should submit the draft HRE report for review to Environmental Planning after the project sponsor has filed the EE Application and updated it as necessary to reflect feedback received in the PPA letter. The HRE should be submitted directly to the Department and copied to the project sponsor. Project sponsors should not receive and/or review advance drafts of consultant reports per the Environmental Review Guidelines. Historic Preservation staff will not begin reviewing your project until a complete draft HRE is received.
- 2. Archeological Resources.** The proposed project will require Preliminary Archeological

**Preliminary Project Assessment**

**Case No. 2015-012491PPA**

**749 Toland St & 2000 McKinnon Ave**

Review (PAR) by a Planning Department archeologist. To aid this review the Department archeologist may request

a Preliminary Archeological Sensitivity Assessment (PASS) by a Department Qualified Archeological Consultant, subject to the review and approval by the Department archeologist. The Department archeologist will provide three names from the Qualified Archeological Consultant list if the PASS is required. The PAR will assess the archeological sensitivity of the project site based on in-house source material and will consider the potential for archeological impacts resulting from proposed soils disturbance. Please provide detailed information, including sections, proposed soils-disturbing activities, such as grading, excavation, installation of foundations, soils improvement, and site remediation in the EEA, and submit any available geotechnical/soils or phase II hazardous materials reports prepared for the project to assist in this review. If the Department archeologist determines that the project has a potential to adversely affect archeological resources, the PAR will identify additional measures needed to address the potential effect. These measures may include preparation of an archeological research design and treatment plan, implementation of one of the Planning Department's three standard archeological mitigation measures (archeological testing, monitoring, or accidental discovery), or other appropriate measures.

3. **Tribal Cultural Resources.** Tribal cultural resources (TCRs) are a class of resource established under the California Environmental Quality Act (CEQA) in 2015. TCRs are defined as a site, feature, place, cultural landscape, sacred place or object with cultural value to a California Native American tribe, that is either included on or eligible for inclusion in the California Register of Historical Resources or a local historic register, or is a resource that the lead agency, at its discretion and supported by substantial evidence, determines is a TCR. Planning Department staff will review the proposed project to determine if it may cause an adverse effect to a TCR; this will occur in tandem with preliminary archeological review. No additional information is needed from the project sponsor at this time. Consultation with California Native American tribes regarding TCRs may be required at the request of the tribes. If staff determines that the proposed project may have a potential significant adverse impact on a TCR, mitigation measures will be identified and required. Mitigation measures may include avoidance, protection, or preservation of the TCR and development of interpretation and public education and artistic programs.
4. **Transportation.** Based on the Planning Department's Transportation Impact Analysis Guidelines for Environmental Review,<sup>2</sup> the project would require additional transportation analysis to determine whether the project may result in a significant impact. Therefore, the Planning Department requires that a consultant listed in the Planning Department's Transportation Consultant Pool prepare a Transportation Impact Study (TIS). You are required to pay additional fees for the study; the Planning Department Transportation Review or Study fee is currently \$24,677 (payable to the San Francisco Planning Department). For questions regarding the Planning Department TIS fee and to make payment, please contact:

Virnaliza Byrd  
San Francisco Planning Department,  
Suite 4001650 Mission Street

<sup>2</sup> This document is available at: <http://www.sf-planning.org/index.aspx?page=1886>.



San Francisco,  
CA 94103Tel:  
415-575-9025  
virmaliza.byrd@sfgov.org

The San Francisco Municipal Transportation Agency (SFMTA) “review of TIS fee” is currently \$4,746, payable to the SFMTA. For questions regarding the SFMTA TIS fee and to make payment, please contact:

Ms. Eloida Leonardo  
Manager, Operating and Budget  
San Francisco Municipal  
Transportation Agency1 South Van  
Ness Avenue, Eighth Floor  
San Francisco,  
CA 94103Tel:  
415-701-4624  
[elida.leonardo@sfmta.com](mailto:elida.leonardo@sfmta.com)

Once you pay the fees, please contact Manoj Madhavan at (415) 575-9095 or [manoj.madhavan@sfgov.org](mailto:manoj.madhavan@sfgov.org) so that he can provide you with a list of three consultants from the pre-qualified Transportation Consultant Pool. Upon selection of a transportation consultant, the Department will assign a transportation planner who will direct the scope of the consultant-prepared study.

In addition, the Planning Department requests that the dimensions of existing and proposed curb cuts be included on plans submitted with the EEA and recommends that the amount of parking proposed be reduced.

5. **Noise.** Construction noise is subject to the San Francisco Noise Ordinance (Article 29 of the San Francisco Police Code), which includes restrictions on noise levels of construction equipment and hours of construction. If pile driving is to be used during construction, measures to reduce construction noise may be required as part of the proposed project. Construction noise and vibration are also evaluated according to guidelines from the Federal Transit Administration (FTA) contained in the 2006 *Transit Noise and Vibration Impact Assessment*, (available online at [http://www.fta.dot.gov/12347\\_2233.html](http://www.fta.dot.gov/12347_2233.html)). The EEA should provide a construction schedule and indicate whether pile driving or other particularly noisy construction methods are anticipated.

Operation of the proposed project’s PDR activities may generate noise that could result in a substantial permanent increase in ambient noise levels. The proposed project would require a noise study that includes at a minimum: measurements of the existing ambient noise environment, discussion of applicable noise regulations, analysis of the project’s potential noise effects and the ability of noise sources to meet applicable noise standards. The noise study shall be conducted by a qualified acoustical consultant who shall prepare a noise study scope of work for approval by the assigned environmental coordinator prior to conducting the study.

**6. Air Quality.***Criteria Air Pollutants*

The proposed project's 1,848,400 gsf exceeds the Bay Area Air Quality Management District's (BAAQMD) general light industry and/or industrial park construction and operational screening levels for criteria air pollutants.<sup>3</sup> Therefore, an analysis of the project's criteria air pollutant emissions is likely to be required. Please provide detailed information related to construction equipment, phasing and duration of each phase, and volume of excavation as part of the EEA.

In addition, project-related demolition, excavation, grading and other construction activities may cause wind-blown dust that could contribute particulate matter into the local atmosphere. To reduce construction dust impacts, the proposed project will be required to adhere to the dust control requirements set forth in the Construction Dust Ordinance contained in San Francisco Health Code Article 22B and San Francisco Building Code Section 106.A.3.2.6. The proposed project is also required to prepare a Construction Dust Control Plan for review and approval by the Department of Public Health (DPH).

*Local Health Risks and Hazards*

The project site is located within an Air Pollutant Exposure Zone, as mapped and defined by Article 38 of the Health Code. The Air Pollutant Exposure Zone identifies areas with poor air quality based on modeling of air pollution, exposures, and health vulnerability from mobile, stationary, and area source emissions within San Francisco. Because the proposed project is not a sensitive land use as defined by Article 38 of the Health Code, it would not be subject to enhanced ventilation measures and the project sponsor would not be required to submit an Article 38 application to DPH prior to the issuance of any environmental determination. However, equipment exhaust measures during construction will likely require that all diesel engines meet the Tier 2 plus Level 3 Verified Diesel Control Strategy (VDECS) emission standard.

If the project would generate new sources of toxic air contaminants including, but not limited to diesel generators or boilers, or any other stationary sources, the project would result in toxic air contaminants that may affect off-site sensitive receptors. Please provide detailed information related to any proposed stationary sources with the EEA.

7. **Greenhouse Gases.** *The City and County of San Francisco's Strategies to Address Greenhouse Gas Emissions* presents a comprehensive assessment of policies, programs, and ordinances that represents San Francisco's Qualified Greenhouse Gas (GHG) Reduction Strategy. Projects that are consistent with San Francisco's Qualified GHG Reduction Strategy would result in less-than-significant impacts from GHG emissions. In order to facilitate a determination of compliance with San Francisco's Qualified GHG Reduction Strategy, the Planning Department has prepared a Greenhouse Gas

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<sup>3</sup> BAAQMD, *CEQA Air Quality Guidelines*, May 2011, Chapter 3.

Analysis Compliance Checklist.<sup>4</sup> The project sponsor is required to submit the completed table regarding project compliance with the identified regulations and provide project-level details in the discussion column. This information will be reviewed by the environmental planner during the environmental review process to determine if the project would comply with San Francisco's Greenhouse Gas Reduction Strategy. Projects that do not comply with an ordinance or regulation may be determined to be inconsistent with the Greenhouse Gas Reduction Strategy.

8. **Wind.** The proposed project would involve construction of a building over 80 feet in height. The project will therefore require a consultant-prepared wind analysis, which may include wind tunnel analysis if needed. The consultant will be required to prepare a proposed scope of work for review and approval by the Environmental Planning coordinator prior to proceeding with the analysis.
9. **Shadow.** The proposed project would result in construction of a building greater than 40 feet in height. A preliminary shadow fan analysis prepared by Planning Department staff indicates that the proposed project would not cast shadows on any Department of Recreation and Parks property or any other open space. Therefore, a detailed shadow study would not be required.
10. **Geology.** The project site is located within a Seismic Hazard Zone (Liquefaction Hazard Zone likely underlain by artificial fill). Any new construction on the site is therefore subject to a mandatory Interdepartmental Project Review.<sup>5</sup> A geotechnical study prepared by a qualified consultant must be submitted with the EEA. The study should address whether the site is subject to liquefaction, and should provide recommendations for any geotechnical concerns identified in the study. In general, compliance with the building codes would avoid the potential for significant impacts related to structural damage, ground subsidence, liquefaction, landslides, and surface settlement. The PPA application indicates that the depth of excavation would be approximately 10 feet below grade; however the area of excavation and amount of excavation are noted as "TBD." Please include the depth, area and amount of excavation in the EEA. To assist Planning Department staff in determining whether the project would result in environmental impacts related to geological hazards, it is recommended that you provide a copy of the geotechnical information with boring logs for the proposed project. This study will also help inform the Planning Department Archeologist of the project site's subsurface geological conditions.
11. **Hazardous Materials.** The proposed project would involve excavation in an area with potentially contaminated soils as indicated by the Department of Public Health's Maher Map.<sup>6</sup> Therefore, the project is subject to Article 22A of the Health Code, also known as the Maher Ordinance. The Maher Ordinance, which is administered and overseen by DPH, requires the project sponsor to retain the services of a qualified professional to prepare a Phase I Environmental Site Assessment (ESA) that

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<sup>4</sup> Refer to <http://sf-planning.org/index.aspx?page=1886> for latest "Greenhouse Gas Compliance Checklist for Private Development Projects."

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<sup>5</sup> San Francisco Planning Department. *Interdepartmental Project Review*. Available online at: <http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=522>.

<sup>6</sup> San Francisco Department of Public Health Maher Map. Available online at: [http://www.sf-planning.org/ftp/files/publications\\_reports/library\\_of\\_cartography/Maher%20Map.pdf](http://www.sf-planning.org/ftp/files/publications_reports/library_of_cartography/Maher%20Map.pdf).

meets the requirements of Health Code Section 22.A.6. The Phase I ESA would determine the potential for site contamination and level of exposure risk associated with the project. Based on that information, soil and/or groundwater sampling and analysis, as well as remediation of any site contamination, may be required. These steps are required to be completed prior to the issuance of any building permit.

DPH requires that projects subject to the Maher Ordinance complete a Maher Application, available at: <http://www.sfdph.org/dph/EH/HazWaste/hazWasteSiteMitigation.asp>. Fees for DPH review and oversight of projects subject to the ordinance would apply. Please refer to DPH's fee schedule, available at: <http://www.sfdph.org/dph/EH/Fees.asp#haz>. Please provide a copy of the submitted Maher Application and Phase I ESA with the EEA.

Please note that any equipment containing polychlorinated biphenyls (PCBs) or di(2-ethylhexyl) phthalate (DEPH), such as fluorescent light ballasts, and any fluorescent light tubes containing mercury be removed and properly disposed of in accordance with applicable federal, state, and local laws. In addition, any other hazardous materials identified, either before or during work, must be abated according to applicable federal, state, and local laws.

Because the existing building was constructed prior to 1980, asbestos-containing materials, such as floor and wall coverings, may be found in the building. The Bay Area Air Quality Management District (BAAQMD) is responsible for regulating airborne pollutants including asbestos. Please contact BAAQMD for the requirements related to demolition of buildings with asbestos-containing materials. In addition, because of its age (constructed prior to 1978), lead paint may be found in the existing building. Please contact the San Francisco Department of Building Inspection (DBI) for requirements related to the demolition of buildings that may contain lead paint.

12. **Tree Planting and Protection.** The Department of Public Works Code Section 8.02-8.11 requires disclosure and protection of landmark, significant, and street trees located on private and public property. Any such trees must be shown on the site plans with the size of the trunk diameter, tree height, and accurate canopy drip line. Please submit the *Tree Planting and Protection Checklist* with the EEA and ensure that trees are appropriately shown on site plans. Also see the comments below under "Street Trees."
13. **Disclosure Report for Developers of Major Projects.** The San Francisco Ethics Commission S.F. Camp. & Govt. Conduct Code § 3.520 et seq. requires developers to provide the public with information about donations that developers make to nonprofit organizations that may communicate with the City and County regarding major development projects. This report must be completed and filed by the developer of any "major project." A major project is a real estate development project located in the City and County of San Francisco with estimated construction costs exceeding \$1,000,000 where either: (1) The Planning Commission or any other local lead agency certifies an EIR for the project; or (2) The project relies on a program EIR and the Planning Department, Planning Commission, or any other local lead agency adopts any final environmental determination under CEQA. A final environmental determination includes: the issuance of a Community Plan Exemption (CPE); certification of a CPE/EIR; adoption of a CPE/Final

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Mitigated Negative Declaration; or a project approval by the Planning Commission that adopts CEQA Findings. (In instances where more

than one of the preceding determinations occurs, the filing requirement shall be triggered by the earliest such determination.) A major project does not include a residential development project with four or fewer dwelling units. The first (or initial) report must be filed within 30 days of the date the Planning Commission (or any other local lead agency) certifies the EIR for that project or, for a major project relying on a program EIR, within 30 days of the date that the Planning Department, Planning Commission, or any other local lead agency adopts a final environmental determination under CEQA. Please submit a Disclosure Report for Developers of Major City Projects to the San Francisco Ethics Commission. This form can be found at the Planning Department or online at <http://www.sfethics.org>

### PRELIMINARY PLANNING CODE AND PROCEDURAL COMMENTS:

The following comments address preliminary Planning Code issues that may substantially affect the design and massing of the proposed project:

1. **Planned Unit Development-Conditional Use Authorization.** Since the project includes a large-scale development on a site larger than one-half acre, the project would require a **Planned Unit Development-Conditional Use Authorization (PUD)** from the Planning Commission, per Sections 303 and 304. Under the PUD, the project can seek certain exceptions from Planning Code requirements, such as required off-street parking.
2. **Floor Area Ratio (FAR).** Sections 124 and 210.3 allow a FAR of five square feet of development to one square foot of lot area in the existing 65-J Height and Bulk District, resulting in a total allowable gross floor area (gfa) of 1,848,400 for both lots. Should the Height and Bulk District change through legislation to be greater than 65 feet, the allowable ratio would be calculated based on the new Height District.
3. **Shadow Analysis (Section 295).** Section 295 requires that a shadow analysis must be performed to determine whether the project has the potential to cast shadow on properties under the jurisdiction of the San Francisco Recreation and Park Commission. Department staff has prepared a shadow fan that indicates the project will not cast new shadow on a property under the jurisdiction of the San Francisco Recreation and Park Commission. Therefore, a detailed shadow analysis would not be needed.
4. **Transportation Demand Management Program.** On August 4, 2016, the Planning Commission adopted a resolution to recommend approval of Planning Code amendments that would require development projects to comply with a proposed Transportation Demand Management (TDM) Program (within a new Planning Code Section 169). The Board of Supervisors is scheduled to hear the legislation in January 2017, which will likely include a phase-in of the requirements of the TDM Program (BOS File #160925). The intent of the proposed TDM Program is to reduce vehicle miles traveled (VMT) and to make it easier for people to get around by sustainable travel modes such as transit, walking, and biking.

Under the proposed TDM Program, land uses are grouped into four categories, A through D. For each land use category that is subject to the TDM Program, the City would set a target based on the



number of accessory vehicle parking spaces proposed. To meet each target, the project sponsor must select TDM measures from a menu of options. In general, the number of TDM measures that the project sponsor must implement would increase in proportion to the number of accessory vehicle parking spaces proposed. Some of the TDM measures included in the menu are already required by the Planning Code. Points earned from implementing these measures would be applied towards achieving a project's target(s). Project Sponsors would be required to implement and maintain TDM measures for the life of the project.

The proposed project includes new construction of 10,000 occupied square feet or more of any use other than residential (or 1,848,000 gsf), and thus would be subject to the proposed TDM Program. Based on the proposed 736 parking spaces associated with the industrial use, the project would be required to meet or exceed a target of 3 points for land use category D.

The Planning Code would currently require the project, as described in the PPA, to provide the following TDM measures:

- Bicycle Parking (Planning Code Section [155.2](#); TDM Menu ACTIVE-2 – option a)
- Shower Facilities and Lockers (Planning Code Section [155.4](#); TDM Menu ACTIVE-3)

The project may be required to select and incorporate additional TDM measures to meet the target(s) listed above. A full list of the TDM measures included in the menu of options is available on this [website](#).

Once an entitlement application is filed, the assigned Current Planner will provide additional guidance regarding the proposed TDM Program and next steps.

5. **Streetscape Plan – Better Streets Plan Compliance.** Pedestrian and streetscape improvements consistent with the Better Streets Plan are required if the proposed project meets the conditions delineated in Planning Code Section 138.1. Projects that trigger Section 138.1 will be reviewed by the Department's Streetscape Design Advisory Team (SDAT). SDAT is an interagency group that includes representatives from the Planning Department, Department of Public Works, the Municipal Transportation Agency, and the San Francisco Public Utilities Commission that provides design guidance on private developments that impact the public right-of-way.

Based on the submitted plans the project scope includes new construction of sidewalks around the project site which currently are legislated at eight feet wide on Toland, ten feet wide on McKinnon, and 15 feet wide on Kirkwood. Therefore, the project would require a streetscape plan pursuant to Planning Code Section 138.1. The streetscape plan shall be submitted to the Planning Department no later than 60 days prior to any Planning Commission action, and shall be considered for approval at the time of other project approval actions. The streetscape plan should show the location, design, and dimensions of all existing and proposed streetscape elements in the public right-of-way directly adjacent to the fronting property, including street trees, sidewalk landscaping, street lighting, site furnishings, utilities, driveways, curb radii, and curb lines, and the relation of such elements to proposed new construction and site work on the property. Please see the Department's Better Streets Plan and Section 138.1(c)(2)(ii) for the additional elements that may be required as part of the project's streetscape plan. Please also see SDAT comments in the Preliminary Design

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Comments section below for specific comments related to the design of the public right-of-way at this location.

6. **Screening and Greening of Parking and Vehicle Use Areas.** Section 142 requires that any vehicle use area that is greater than 25 linear feet along a public right of way shall be screened. Please refer to the Guidelines to the Green Landscaping Ordinance which can be found at the following link:  
[http://default.sfplanning.org/publications\\_reports/Guide\\_to\\_SF\\_Green\\_Landscaping\\_Ordinance.pdf](http://default.sfplanning.org/publications_reports/Guide_to_SF_Green_Landscaping_Ordinance.pdf)
7. **Ground Floor Standards in Industrial Districts.** Pursuant to Section 145.5, all new buildings shall have a minimum ground floor height of 17 feet.
8. **Better Roofs.** Per Section 149, San Francisco became the first major city in the U.S. to require the installation of renewable energy facilities or living roofs on new buildings. The Better Roofs Ordinance requires between 15 and 30 percent of total roof space to incorporate solar (photo voltaic and/or solar thermal systems), living (green) roofs, or a combination of both. The legislation became effective January 2017. The Ordinance provides guidance for developers, designers, and/or owners to best utilize rooftop space; ideally, projects should pursue holistic design and amenity enhancements for 100 percent of the usable roof space that includes open space, habitat, stormwater management, urban agriculture, and other beneficial uses. Please refer to Planning Code Section 149 and see the Planning Department's Living Roof Manual at the following link:  
<http://sf-planning.org/san-francisco-living-roofs>.
9. **Parking.** Section 151 requires automobile parking be provided at a minimum rate based on the type of use. Additional accessory parking spaces are allowed up to a maximum per Section 151(c). Currently, for an industrial use, the project is required to provide one off-street parking space for every 1,500 square feet of occupied floor area where the occupied floor area exceeds 7,500 square feet. Therefore, for the 1,848,000 square feet of industrial use, the project would be required to provide 1,232 off-street parking spaces. Since the project provides 736 off-street parking spaces, an exception from the required off-street parking amount would be required from the Planning Commission.
10. **Loading.** Section 152 requires off-street freight loading for new construction of industrial use within the PDR-2 Zoning District. Since the project includes more than 100,000 gross floor area of new industrial use, the project is required to provide three off-street freight loading parking spaces plus one for each additional 80,000 square feet. For the 1,848,000 gross square feet of industrial use, the project would be required to provide 25 off-street freight loading parking spaces. Currently, the project includes 384 loading spaces and would meet this requirement.
11. **Bicycle Parking (Class I).** Section 155 requires this project to provide at least 154 Class I bicycle parking spaces for 1,848,000 gross square feet of industrial use. The proposed project contains 89 Class I bicycle parking. Please revise the project to provide code-complying Class I bicycle parking spaces.
12. **Bicycle Parking (Class II).** Section 155 requires the project to provide at least four Class II

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bicycle parking spaces with on-street bicycle racks; however SFMTA has final authority on the type, placement and number of Class II bicycle racks within the public ROW. Prior to issuance of the first architectural addenda, you will be required contact the SFMTA Bike Parking Program at

bikeparking@sfmta.com to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code. The SFMTA bicycle parking guidelines can be found at:

<https://www.sfmta.com/services/streets-sidewalks/installation-requests/bicycle-racks-corrals>.

13. **Land Use.** Section 210.3 lists the uses that are principally or conditionally permitted in the PDR-2 Zoning District. Please review this Section to ensure that future uses proposed within the structure will be allowed. Please note that office uses other than accessory to a permitted primary use are not permitted in this zoning district and would be subject to enforcement proceedings.
14. **Height.** The height limit for this site is designated as 65 feet. The proposed project has a height of 115 feet. As mentioned earlier, a zoning map amendment for height and bulk would be required in order to complete the project as proposed.
15. **First Source Hiring Agreement.** A First Source Hiring Agreement is required for any project proposing to construct 25,000 gross square feet or more. For more information, please contact:

Ken Nim, Workforce Compliance Officer  
CityBuild, Office of Economic and Workforce  
Development City and County of San Francisco  
50 Van Ness Avenue, San Francisco,  
CA 94102(415) 581-2303

16. **Flood Notification.** The project site is in a block that has the potential to flood during storms. The SFPUC will review the permit application to comment on the proposed application and the potential for flooding during wet weather. Applicants for building permits for either new construction, change of use, or change of occupancy, or for major alterations or enlargements must contact the SFPUC at the beginning of the process to determine whether the project would result in ground-level flooding during storms. Requirements may include provision of measures to ensure positive sewage flow, raised elevation of entryways, and/or special sidewalk construction and the provision of deep gutters. The side sewer connection permits for such projects need to be reviewed and approved by the SFPUC at the beginning of the review process for all permit applications submitted to the Planning Department, DBI, or the Successor Agency to the San Francisco Redevelopment Agency. For information required for the review of projects in flood-prone areas, the permit applicant shall refer to Bulletin No. 4: [http://www.sf-planning.org/ftp/files/publications\\_reports/DB\\_04\\_Flood\\_Zones.pdf](http://www.sf-planning.org/ftp/files/publications_reports/DB_04_Flood_Zones.pdf).
17. **Stormwater.** If the project results in a ground surface disturbance of 5,000 sf or greater (creating and/or replacing 5,000 square feet or more of impervious surface), it is subject to San Francisco's stormwater management requirements as outlined in the Stormwater Management Ordinance and the corresponding SFPUC Stormwater Design Guidelines (Guidelines). Projects that trigger the stormwater management requirements must prepare a Stormwater Control Plan demonstrating project adherence to the performance measures

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outlined in the Guidelines including: (a) reduction in

total volume and peak flow rate of stormwater for areas in combined sewer systems OR (b) stormwater treatment for areas in separate sewer systems. The SFPUC Wastewater Enterprise, Urban Watershed Management Program is responsible for review and approval of the Stormwater Control Plan. Without SFPUC approval of a Stormwater Control Plan, no site or building permits can be issued. The Guidelines also require a signed maintenance agreement to ensure proper care of the necessary stormwater controls. Compliance may occur through a mix of rooftop, sidewalk, and open space treatments and technologies, and is encouraged to be designed as a comprehensive system that maximizes co-benefits for greening, habitat creation, urban heat island reduction, building energy savings, and beautification. Systems within the public realm should consider adjacencies and opportunities for flow-through systems to neighborhood detention areas. To view the Stormwater Management Ordinance, the Stormwater Design Guidelines, or download instructions for the Stormwater Control Plan, go to <http://sfwater.org/sdg>. Applicants may contact [stormwaterreview@sfwater.org](mailto:stormwaterreview@sfwater.org) for assistance.

18. **Recycled Water.** Projects located in San Francisco's designated recycled water use areas are required to install recycled water systems for irrigation, cooling, and/or toilet and urinal flushing in accordance with the Recycled (or Reclaimed) Water Use Ordinance, adopted as Article 22 of the San Francisco Public Works Code. New construction or major alterations with a total cumulative area of 40,000 square feet or more; any new, modified, or existing irrigated areas of 10,000 square feet or more; and all subdivisions are required to comply. To determine if the proposed project is in a designated recycled water use area, and for more information about the recycled water requirements, please visit [sfwater.org/index.aspx?page=687](http://sfwater.org/index.aspx?page=687).
19. **Non-Potable Water Reuse.** Beginning November 1, 2016, all new buildings of 250,000 square feet or more of gross floor area, must install non-potable water reuse systems to treat and reuse available alternate water sources for toilet and urinal flushing and irrigation. Your project meets these thresholds and will therefore need approvals from the San Francisco Public Utilities Commission and permits from both the Department of Public Health and DBI to verify compliance with the requirements and local health and safety codes. For more information about the requirements, please visit <http://www.sfwater.org/np> and/or contact [nonpotable@sfwater.org](mailto:nonpotable@sfwater.org) for assistance. Non-potable water systems may be designed to optimize co-benefits for stormwater management, living roofs, and streetscape greening. Regardless of size, project sponsors are encouraged to consider a district- scale system that serves an entire larger project and/or connects smaller projects with adjacent development through shared systems to maximize efficiency and effectiveness.
20. **Sustainability and Green Building.** San Francisco has a suite of existing sustainability related regulations, including recycling and composting, solar, and more details outlined in the San Francisco Green Building Code (GBC). Per the GBC, this project must meet the standards of LEED Silver or the equivalent GreenPoint rating system. It is recommended that the project sponsor work with the San Francisco Planning, Building, and Environment departments to determine the most beneficial mix of green building strategies that meet or exceed all current requirements, and best fit the local context. This especially includes the provision of renewable energy on site (PV and solar thermal), living roofs and walls, non-potable water reuse, healthy environments (non-toxic building materials), and other innovative

approaches to enhancing performance of the City's environment.



The City also encourages projects to maximize energy and water efficiencies, consider zero carbon strategies such as all-electric buildings, and commit to green power purchases for 100 percent GHG- free electricity. As with non-potable water systems, projects are recommended to consider district- scale energy opportunities on site and in coordination with neighbors.

21. **Refuse Collection and Loading.** San Francisco is a national leader in diverting waste from landfills, has a Mandatory Recycling and Composting Ordinance, and has a goal to achieve zero waste by 2020. In this, the City requires all buildings to be designed with spaces for collecting and loading recycling and composting in common and private areas, and make these options as or more convenient than waste disposal. More information on the complete suite of the City's Zero Waste legislation may be found here: <http://sfenvironment.org/zero-waste/overview/legislation>. Please also see the Guidance on Recycling Design (page 3) resources for designing appropriate areas: [http://sfenvironment.org/sites/default/files/fliers/files/sfe\\_zw\\_ab088.pdf](http://sfenvironment.org/sites/default/files/fliers/files/sfe_zw_ab088.pdf). Free design and implementation assistance is available from the San Francisco Department of the Environment's Zero Waste Team by calling 415-355-3700.

## PRELIMINARY DESIGN COMMENTS:

This project should conform to the Department's Industrial Design Guidelines. Since the proposal is diagrammatic/schematic, staff does not have any design comments, but will provide further design comments upon subsequent submissions.

## DEVELOPMENT FEES:

This project will be subject to various impact fees. Please refer to the [Planning Director's Bulletin No. 1](#) for an overview of Development Impact Fees, and to the Department of Building Inspection's [Development Impact Fee webpage](#) for more information about current rates. Please note that this list only reflects fees and requirements referenced in the Planning Code. For projects in ongoing plan areas (e.g. Central SoMa, the Hub, etc.) the below list may not accurately reflect all fees that may become applicable to this project.

Based on an initial review of the proposed project, the following impact fees, which are assessed by the Planning Department, may be required:

1. **Transportation Sustainability Fee (TSF) (§411A)**
2. **Jobs-Housing Linkage Fee (§413)**

## PLANNING DEPARTMENT APPROVALS:

The project requires the following Planning Department approvals. These approvals may be reviewed in conjunction with the required environmental review, but may not be granted until after the required environmental review is completed.

1. **Environmental Evaluation Application** is required to conduct environmental review of the project per the California Environmental Quality Act (CEQA).
2. A **Legislative Amendment Application** would be needed to reclassify the Height and Bulk District.
3. A **Planned Unit Development-Conditional Use Authorization** would be required because the project is a large development on a site greater than one-half acre.
4. A **Building Permit Application** is required for the demolition of the existing building on the subject property.
5. A **Building Permit Application** is required for new construction on the subject property.
6. **Interdepartmental Project Review**. This review is required for all proposed new construction in seismic hazard zones, in which the subject property falls. An application is enclosed.

All applications are available in the Planning Department lobby at 1650 Mission Street, Suite 400, at the Planning Information Center at 1660 Mission Street, and online at [www.sfplanning.org](http://www.sfplanning.org). Building Permit Applications are available at the Department of Building Inspection at 1660 Mission Street.

#### **NEIGHBORHOOD NOTIFICATIONS AND OUTREACH:**

Project Sponsors are encouraged, and in some cases required, to conduct public outreach with the surrounding community and neighborhood groups early in the development process. Additionally, many approvals require a public hearing with an associated neighborhood notification. Differing levels of neighborhood notification are mandatory for some or all of the reviews and approvals listed above.

1. **Pre-Application Meeting**. This project is required to conduct a Pre-Application Meeting with surrounding neighbors and registered neighborhood groups before a development application may be filed with the Planning Department. The Pre-Application packet, which includes instructions and template forms, is available at [www.sfplanning.org](http://www.sfplanning.org) under the "Permits & Zoning" tab. All registered neighborhood group mailing lists are available online at [www.sfplanning.org](http://www.sfplanning.org) under the "Resource Center" tab.
2. **Bayview Citizens Advisory Committee (CAC)**. The subject property is located in the area under the review of the Bayview CAC. Outreach with the Bayview CAC will be required.
3. **Neighborhood Outreach**. This project is required to undertake additional public outreach in advance of the Planning Commission hearing on the legislative map amendment for height and bulk reclassification. The developer is required to conduct an additional outreach meeting, notifying owners and tenants who live within 300 feet of the project as well as all registered neighborhood organizations for the Bayview neighborhood, after initial design comments have been provided from the Planning Department and prior to the scheduling of the aforementioned Planning Commission hearing. The purpose of this meeting is to keep the community abreast of the project's evolution, presenting the latest design of the project –

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**749 Toland St & 2000 McKinnon Ave**

including the Department's requested changes – to the community in advance of the Commission taking action on the hearing.

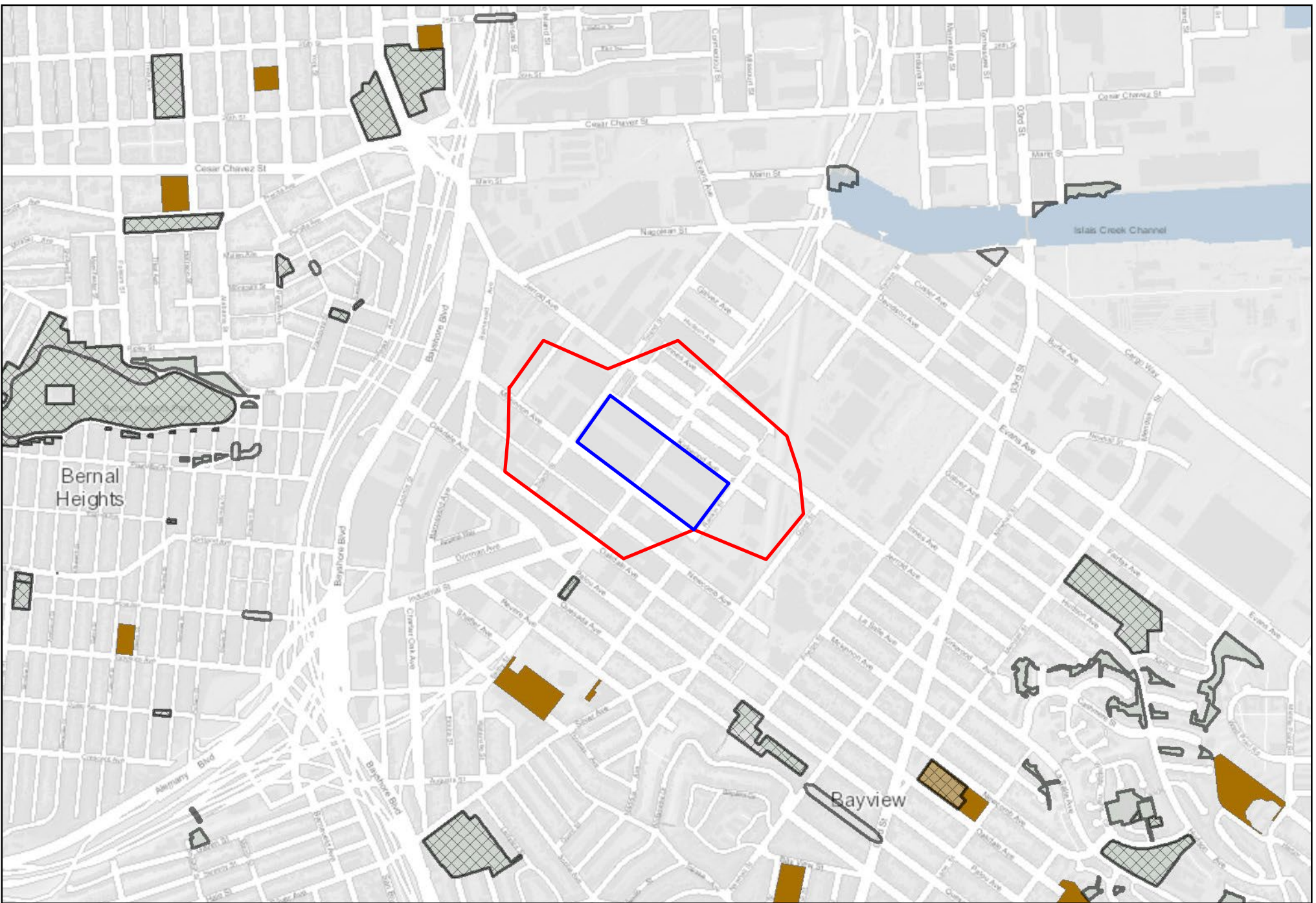
4. **Notification of a Project Receiving Environmental Review.** Notice may be required to be sent to occupants of the project site and properties adjacent to the project site, as well as to owners and, to the extent feasible, occupants of properties within 300 feet of the project site at the initiation of the environmental review process. Please be prepared to provide mailing addresses on a CD upon request during the environmental review process.

**PRELIMINARY PROJECT ASSESSMENT EXPIRATION:**

This Preliminary Project Assessment is valid for a period of **18 months**. An Environmental Evaluation, Planned Unit Development-Conditional Use Authorization, or Building Permit Application, as listed above, must be submitted no later than **October 1, 2018**. Otherwise, this determination is considered expired and a new Preliminary Project Assessment is required. Such applications and plans must be generally consistent with those found in this Preliminary Project Assessment.

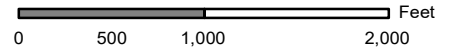
Enclosure: Shadow Fan  
Street Design Advisory Team (SDAT) Review

cc: Prologis,  
Property  
Owner Brian  
Liles,  
Applicant  
Kimberly Durandet, Current  
Planning Chris Thomas,  
Environmental Planning  
Robin A. Ocuillo, Citywide Planning  
and Analysis Jonas Ionin, Planning  
Commission Secretary Charles  
Rivasplata, SFMTA  
Jerry Sanguinetti,  
Public Works Pauline  
Perkins, SFPUC  
June Weintraub and Jonathan Piakis, DPH  
Planning Department Webmaster (webmaster.planning@sfgov.org)



Title: 749 Toland/2000 McKinnon Shadow Fan

Comments: Based on single 115-foot-tall building



Case No. 2015-012491PPA

Printed: 30 March, 2017



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# SAN FRANCISCO PLANNING DEPARTMENT

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**DATE:** 2/22/2017

**TO:** Chris Thomas (Environmental Planning); Kimberly Durant (Current Planning); Robin Abad (Citywide Planning)

**CC:** **SF Public Works:** Simon Bertrang; Chris Buck; Brent Cohen; Rucha Dande; Radha Hayagreev; Lynn Fong; Kevin Jensen; Suzanne Levine; Kathy Liu; Kelli Rudnick; Rahul Shah;

**SFMTA:** Jennifer Molina; Sam Lam; Ricardo Olea; Charles Rivasplata; Mike Sallaberry; James Shahamiri; Adam Smith; Dustin White;

**SF Planning:** Ben Caldwell; Tina Chang; Paul Chasan; Seung Yen Hong; Neil Hrushowy; Jessica Look; Manoj Madhavan; Matthew Priest; Maia Small; Lana Russell; David Winslow;

**SFPUC – Water:** Jessica Arm; Josh Bardet ; Joan Ryan; Sam Young;

**FROM:** The Street Design Advisory Team

**(SDAT)RE: SDAT Review**  
Case NO. 2015-012491PPA  
Address: 749 Toland & 2000  
McKinnon Neighborhood:  
Marina  
Zoning: NC-3 (Neighborhood Commercial, Moderate Scale)  
Area Plan: None  
Block/Lot: 0936/014

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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*The Street Design Advisory Team (SDAT) provides design review and guidance to private developments working within the City's public right-of-way. SDAT is composed of representatives from the San Francisco Planning Department (SF Planning) Department of Public Works (SF Public Works), the San Francisco Municipal Transportation Agency (SFMTA), and the San Francisco Public Utilities Commission (SFPUC).*

*The 749 Toland & 2000 McKinnon project came to SDAT on January 30, 2017. Below are the SDAT comments from that meeting.*

## CONTEXT

### Project Description

The proposed project is the redevelopment of two City blocks in one of the core industrial areas of the City and County of San Francisco. The Project Sponsor proposes to demolish the four (4) existing buildings on site and create a new multi-level, multi-building Production Distribution and Repair (PDR) facility to serve as a new industrial center for the City. The project also proposes to vacate and close Selby Street beneath I-280.

[www.sfplanning.org](http://www.sfplanning.org)

<b>Type of Project:</b>	Industrial
<b># Units:</b>	0
<b>SF Office Space:</b>	0
<b>SF Commercial Space:</b>	0
<b>SF PDR Space:</b>	1,160,000
<b># Off-street parking Spaces allowed by code:</b>	109
<b># Off-street parking spaces proposed:</b>	736 (+ 384 loading spaces, 15 car share space, & 89 bicycle spaces)

### Better Streets Plan

The Better Streets Plan (BSP) adopted by the city in December 2010, provides a comprehensive set of guidelines for the design of San Francisco's pedestrian realm. The Plan seeks to balance the needs of all street users, with a particular focus on the pedestrian environment and how streets can be used as public space. The BSP polices can be found at: [www.sfbetterstreets.org](http://www.sfbetterstreets.org).

- Under the BSP, **Toland, McKinnon, Rankin, and Kirkwood Streets** are all classified as *Industrial Streets*, with a recommended sidewalk width of 10'.

## SDAT DESIGN COMMENTS

### Detailed Site Plan Required

- Please submit a more detailed site plan showing locations and full dimensions of all facilities and elements proposed to be constructed in the public right-of-way. The plan should include:
  - Existing and proposed sidewalk widths
  - Proposed street tree species and location of street trees
  - Adjacent ROW widths
  - Curb radii, bulbout dimensions
  - Curb cut location and dimensions
  - Proposed on-street parking configuration including any proposed on-street loading zones
  - Proposed building transformer location (if required by PG&E) either within the project site or within the public ROW. Please note that the City does not typically allow transformers to be sited within the public ROW for projects with over 150' of street frontage.

### Sidewalks Required

- The proposed project shall build required sidewalks along its Toland, Kirkwood, Rankin, and McKinnon frontages. The sidewalk on Toland Street shall be built to the minimum Better Streets Plan standard of 10 feet. The sidewalks on Kirkwood and Rankin streets shall be built



to their 15 foot legislated widths. As noted above, please full details and dimensions for proposed sidewalks on the more detailed site plan we have requested.

### Selby Vacation/Closure

- SF Public Works is coordinating with Caltrans to investigate the legal status of the Selby Street ROW, however the City believes that the State of California and Caltrans are the owner and managing entity, respectively, for the Selby Street right-of-way. Therefore, Selby Street likely falls under Caltrans jurisdiction. Any proposed vacation and closure of Selby Street at the project site should be taken up with Caltrans, not the City of San Francisco. If the project sponsor elects to continue the street vacation process with Caltrans, the City requests to be informed of the final outcome of the vacation request.

## STANDARD SDAT COMMENTS

### Please coordinate on-street bike rack locations with the SFMTA.

- Planning Code Sections 155.1, 155.4, and 155.5, dictate the number of required Class 1 (in- building) and Class 2 (on-street or sidewalk) bike racks required by the project. SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW, and the SFMTA Bike Program coordinates the installation of on-street bicycle racks and ensures that proposed bicycle racks meet the SFMTA's bicycle parking guidelines. If Class 2 racks are required, the project sponsor should contact the SFMTA Bike Program ([bikeparking@sfmta.com](mailto:bikeparking@sfmta.com)) prior to issuance of first architectural addenda and submit a site plan showing proposed Class 2 bike rack design and locations. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class 2 bike racks required by the Planning Code. Before contacting the SFMTA, please review the *Bike Rack Specifications* and *Sidewalk Bicycle Rack Placement Guidelines*, which can be found on the SFMTA's website at: [www.sfmta.com/services/streets-sidewalks/installation-requests/bicycle-racks-corrals](http://www.sfmta.com/services/streets-sidewalks/installation-requests/bicycle-racks-corrals).

### Landscaping, Street Trees and Site Furnishings in the Public Sidewalk

- All landscaping, street trees, site furniture, and special paving should be consistent with guidelines in the Better Streets Plan (BSP). See [www.sfbetterstreets.org](http://www.sfbetterstreets.org).
- All trees on neighboring properties, adjacent to the property line, must be adequately protected during construction.
- Per SFMTA standards, trees shall not be placed within 25 feet of intersections, to enhance pedestrian visibility and safety.
- Per SFPUC standards, new trees shall not be placed within 5 feet of water facilities, including water mains and water service laterals.
- Any proposed new, removed, or relocated street trees and/or landscaping within the

749 Toland & 2000 McKinnon

publicsidewalk may require a permit from SF Public Works Bureau of Urban Forestry (BUF). For additional information visit <http://www.sfpublicworks.org/trees> or call 415-554-6700.

**Street trees and landscaping in the public sidewalk**

- Any proposed new, removed, or relocated street trees and/or landscaping within the public sidewalk may require a permit from SF Public Works Bureau of Urban Forestry (BUF). For additional information visit <http://www.sfpublicworks.org/trees> or call 415-554-6700.

**Electrical Transformer Room**

- If a new electrical power transformer is required by PG&E to provide power to the building, please show the location of the transformer room on the plans. The transformer room must be shown on the plans for review by SDAT and Public Works during the planning phase of the project prior to applying for a Building Permit and Public Works Permits. Public Works typically does not permit new transformer vaults in the public right-of-way.

**Street Improvements (construction within the public right-of-way)**

- Infrastructure improvements within the public right-of-way will require a Street Improvement Permit from SF Public Works Bureau of Street Use & Mapping (BSM) and Street Improvement Plans. Depending on the scope of work the Plans should include the following plan sheets: Civil (grading, layout, utility erosion control, etc.), Landscaping (planting, irrigation, etc.), Electrical (lighting, photometrics, conduit, etc.), Joint Trench (power, telephone, and communication approved by the respective utility companies). Additional permits may be required. Visit <http://www.sfpublicworks.org/services/permits> for additional information or call 415-554-5810.

**Encroachments into the Public Right-of-Way**

- SF Public Works discourages any new encroachments into the public right-of-way. If new encroachments are proposed, show them on the plans. Examples of encroachments are: steps, warped driveways with diverters/planters, level landings, fire department connections (FDC), out swinging doors, bollards, etc. For new building construction, the Building Code does not allow building encroachments unless a variance to the Building Code is allowed by the DBI. If a variance is approved, a Minor Sidewalk Encroachment Permit (MSE) or other encroachment permit will be required from BSM. Most encroachment permits require public notification and, depending on the encroachment an annual assessment fee may be applied.

**For SF Public Works permit information visit [www.sfpublicworks.org](http://www.sfpublicworks.org) or call 415-554-5810.**

**SFPUC – Water**

- A hydraulic analysis will be required to confirm the adequacy of the water distribution

system for proposed new potable, non-potable and fire water services. If the current distribution system pressures and flows are inadequate, the Project Sponsor will be responsible for any

capital improvements required to meet the proposed project's water demands. To initiate this process, please contact the SFPUC Customer Service Bureau at 415-551-2900.

- The project sponsor will be required to design all applicable water facilities, including potable, fire-suppression, and non-potable water systems, to conform to the current SFPUC City Distribution Division (CDD) and San Francisco Fire Department (SFFD) standards and practices. These include, but are not limited to, the following:
  - SFPUC- CDD Protection of Existing Water and AWSS Facilities;
  - SFPUC Standards for the Protection of Water and Wastewater Assets;
  - Rules and Regulations Governing Water Service to Customers;
  - SFPUC- CDD Design Criteria for Potable Water Systems;
  - Application for Water Supply and Responsibility of Applicants;
  - San Francisco Fire Code and Reliability;
  - California Waterworks Standards; California Code of Regulations Titles 17 and 22
  - Auxiliary Water Supply System (AWSS) Distribution Piping.

For questions please contact [cddengineering@sfgwater.org](mailto:cddengineering@sfgwater.org).

## REFERENCES

Please refer to the following design guidelines when revising the project's design.

BSP Street Furnishings Guidelines:

<http://www.sfbetterstreets.org/find-project-types/streetscape-elements/street-furniture-overview/>

BSP Guidelines for Special Paving in the Furniture Zone:

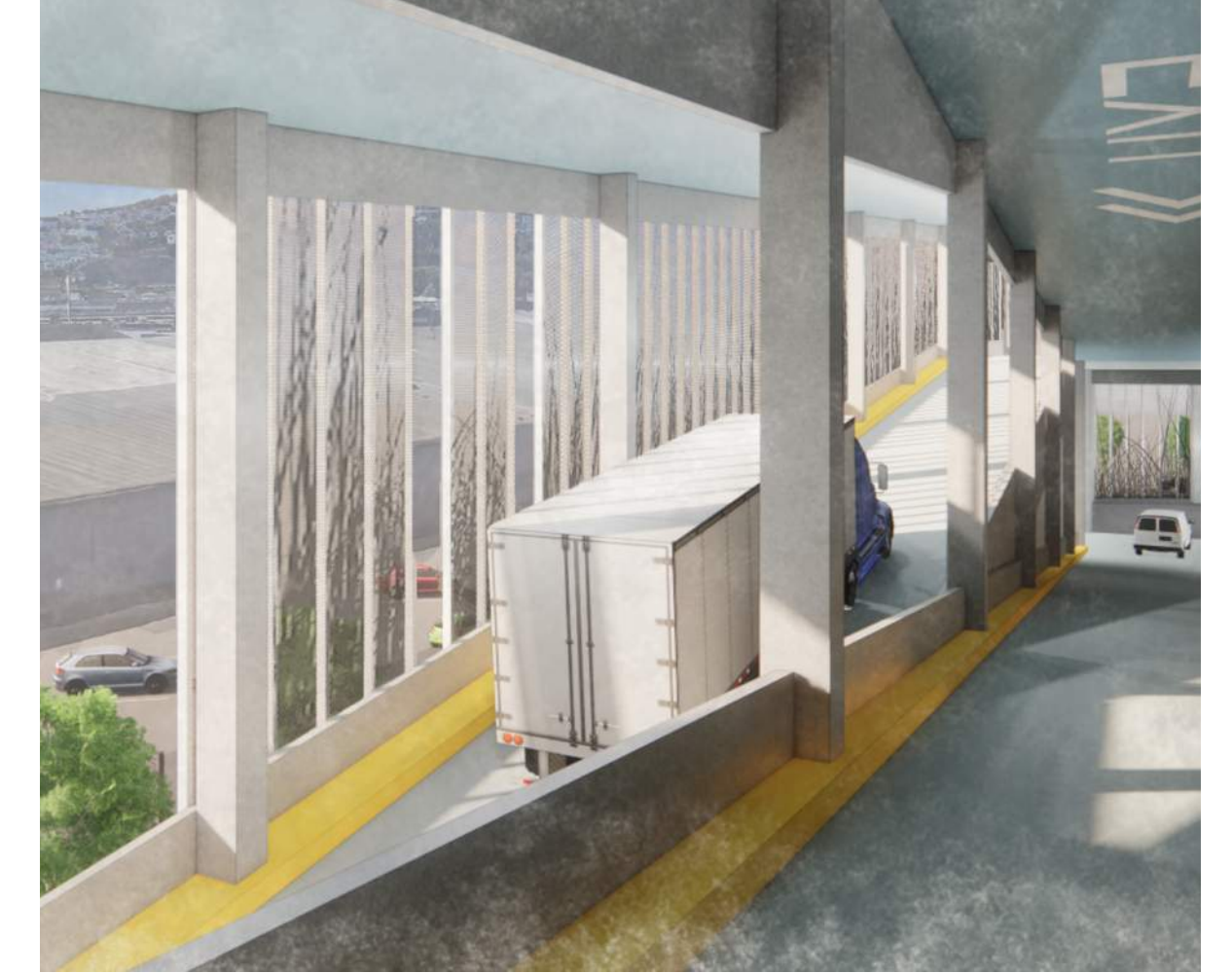
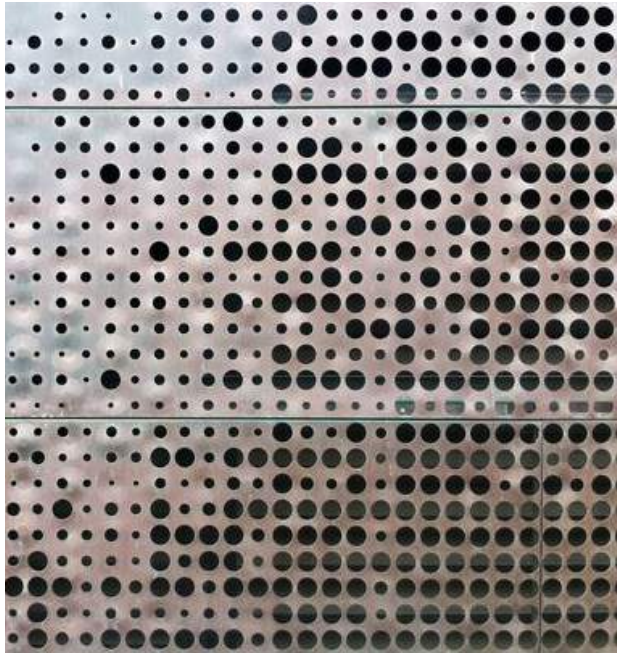
[http://www.sfbetterstreets.org/find-project-types/streetscape-elements/sidewalk\\_paving/](http://www.sfbetterstreets.org/find-project-types/streetscape-elements/sidewalk_paving/)

BSP Sidewalk Landscaping Guidelines:

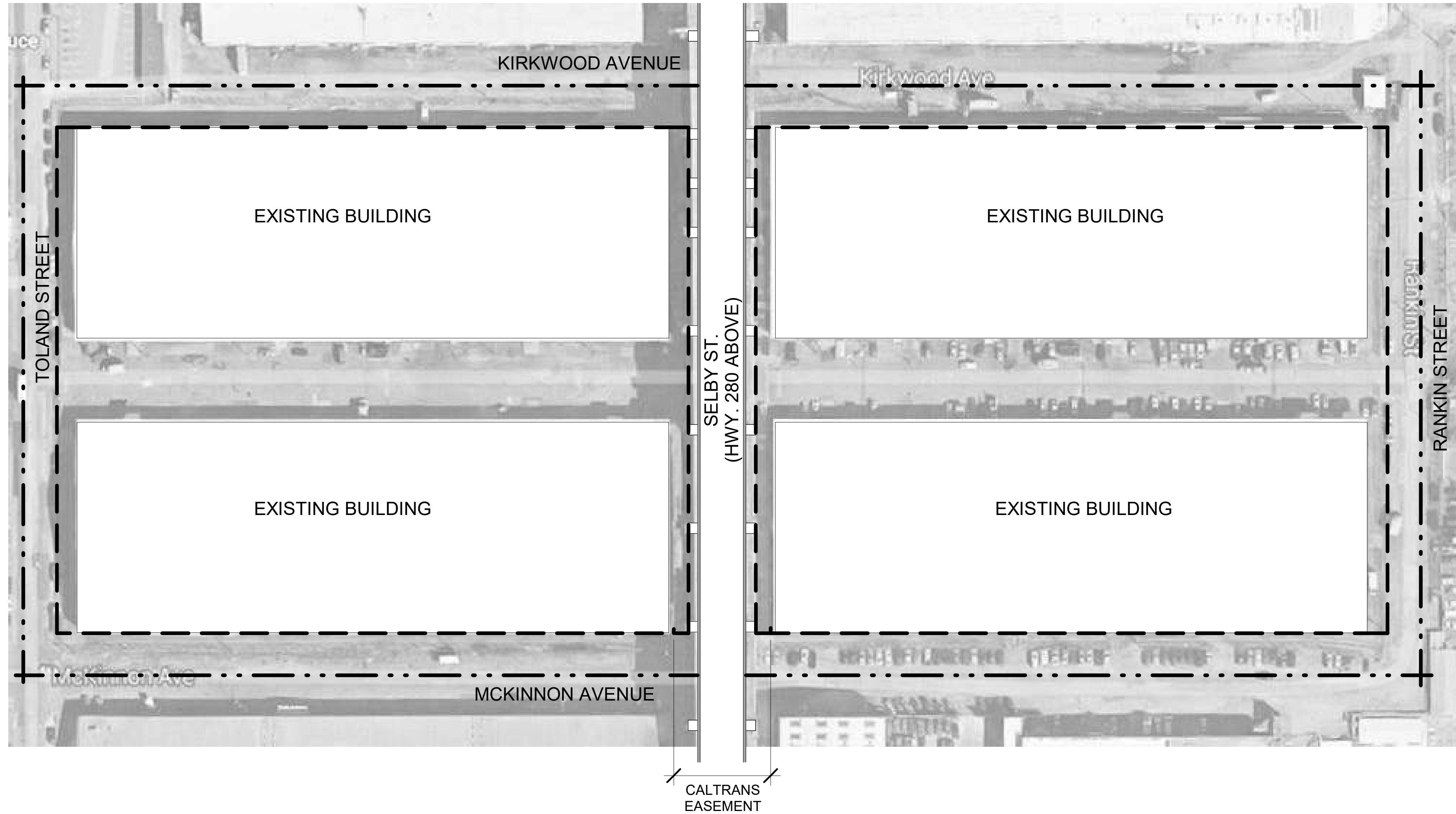
<http://www.sfbetterstreets.org/find-project-types/greening-and-stormwater-management/greening-overview/sidewalk-landscaping/>

San Francisco's Water Sewer, and Stormwater Requirements

<http://sfgwater.org/modules/showdocument.aspx?documentid=4748/>











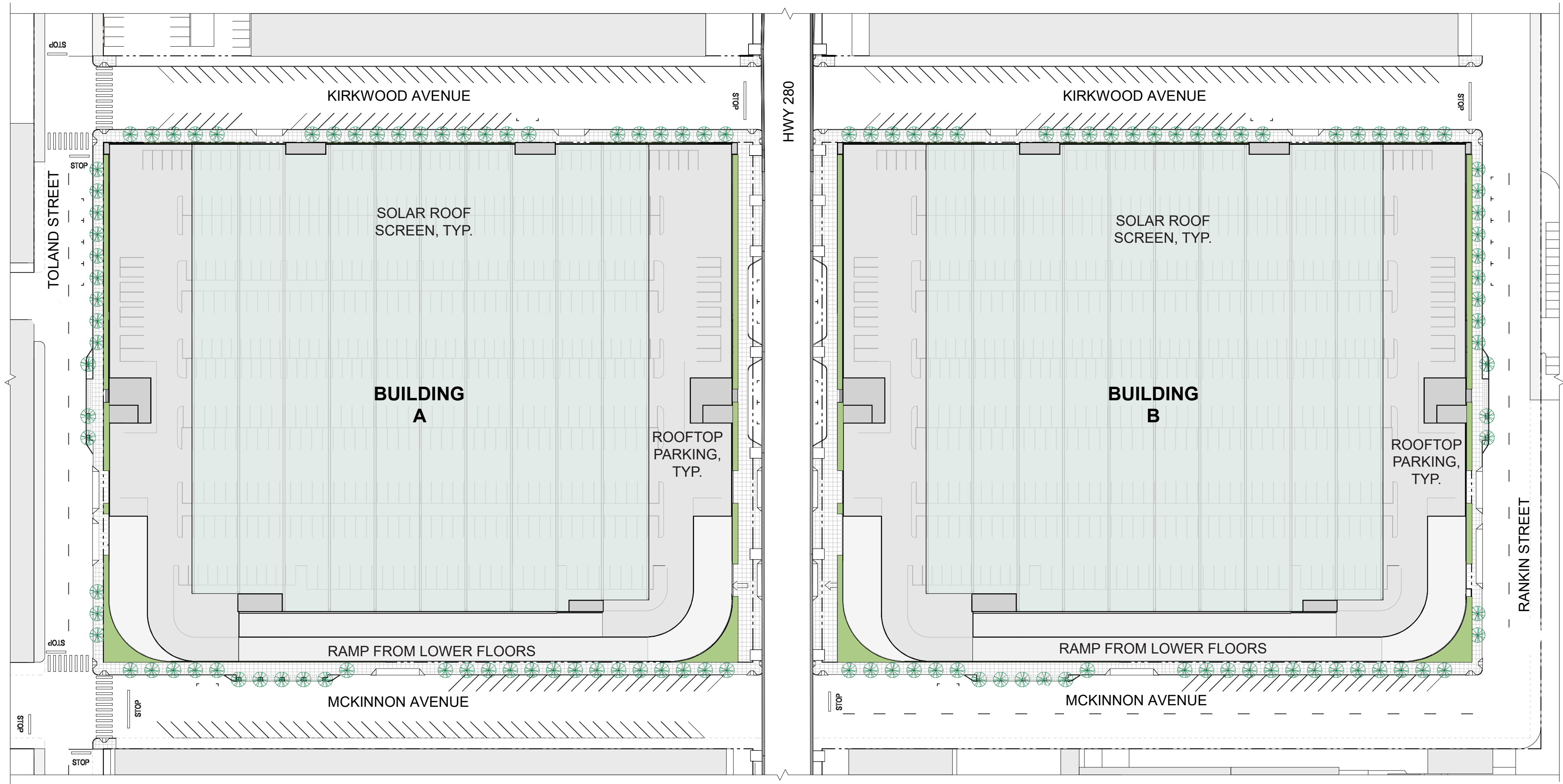
Two of Four Buildings with Yard

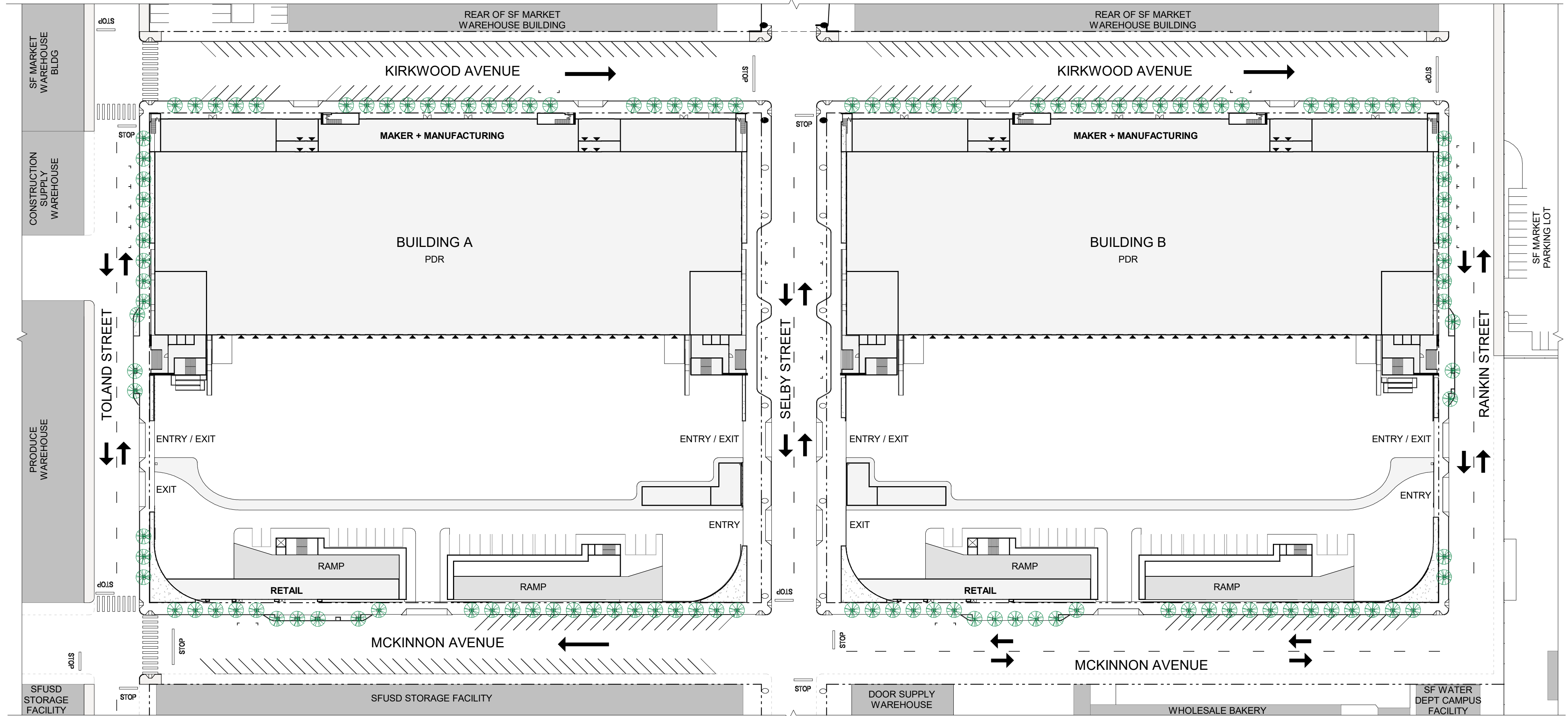


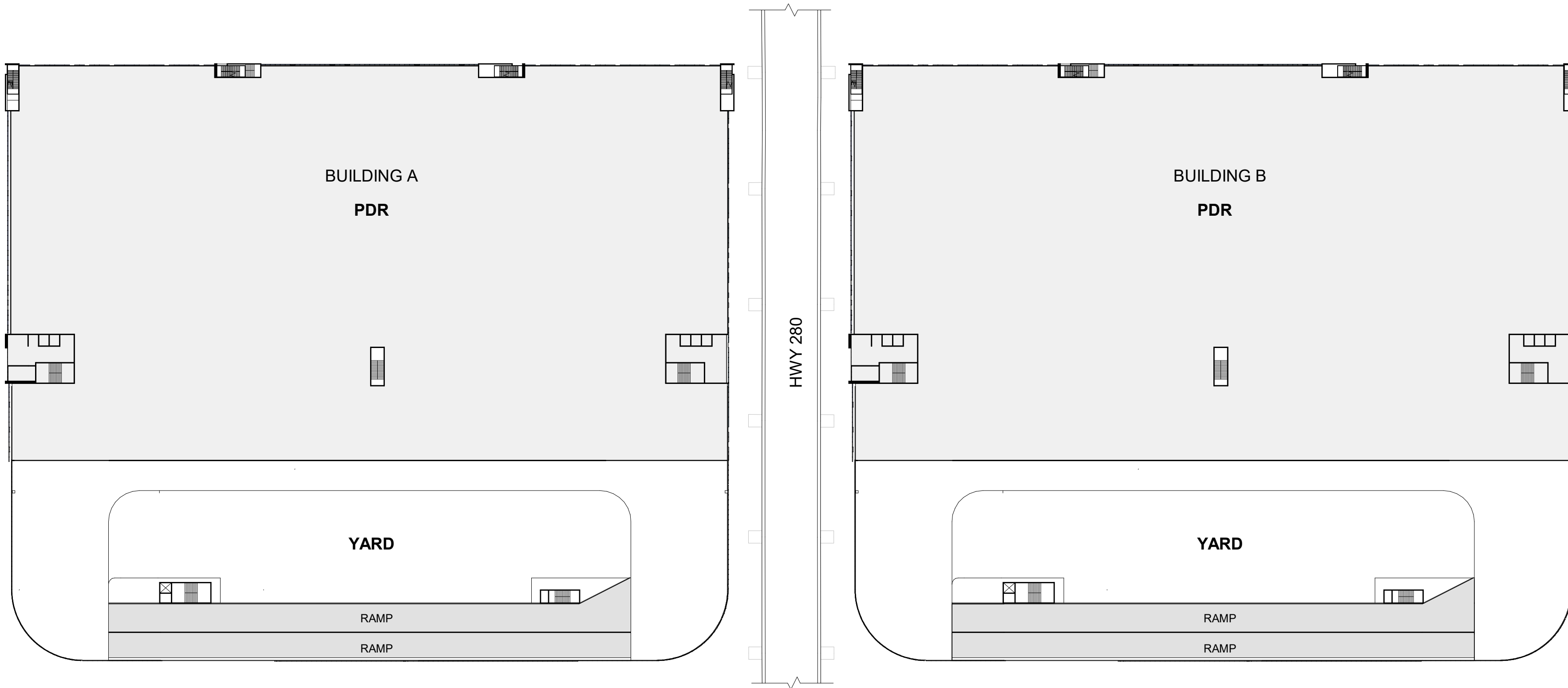
Selby Street under Freeway 280



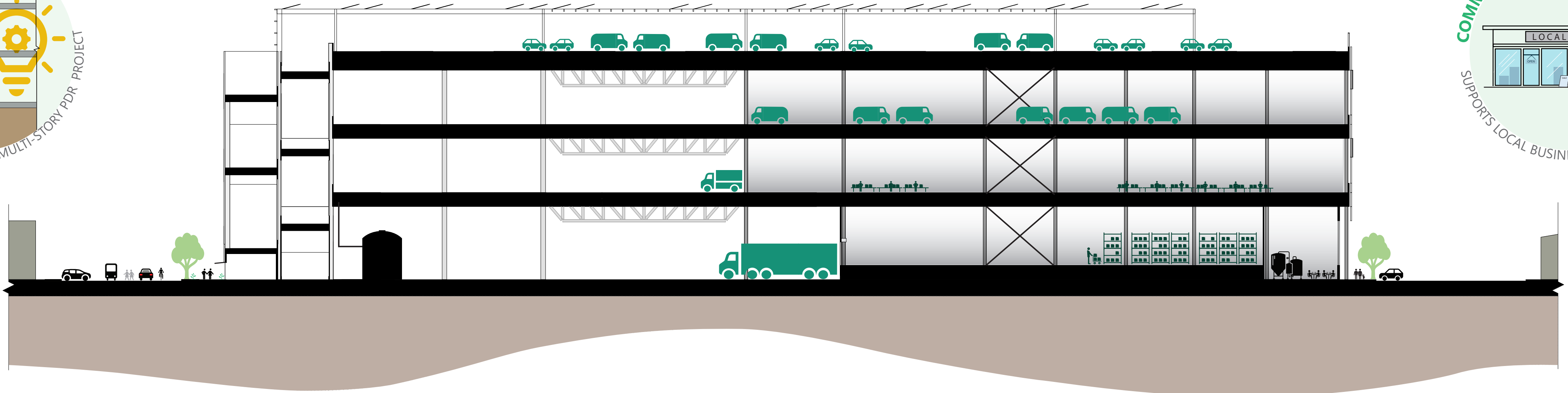
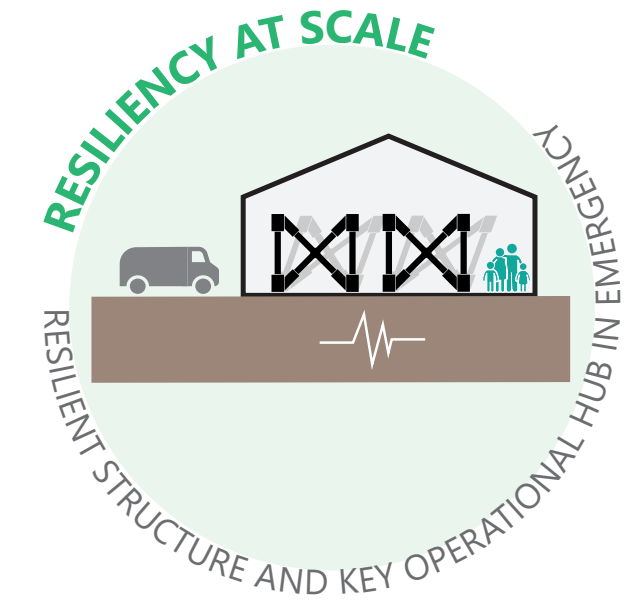
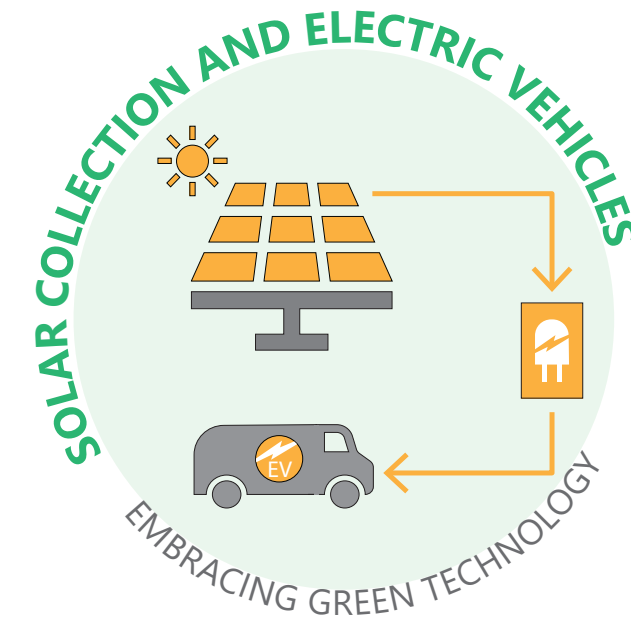
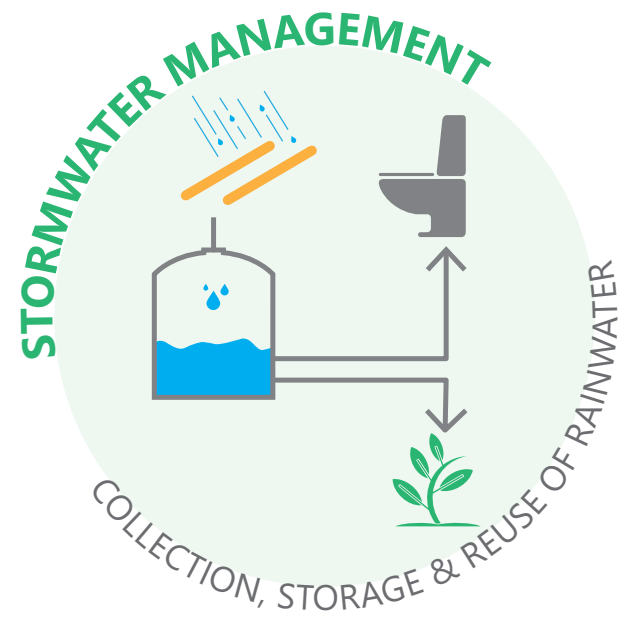
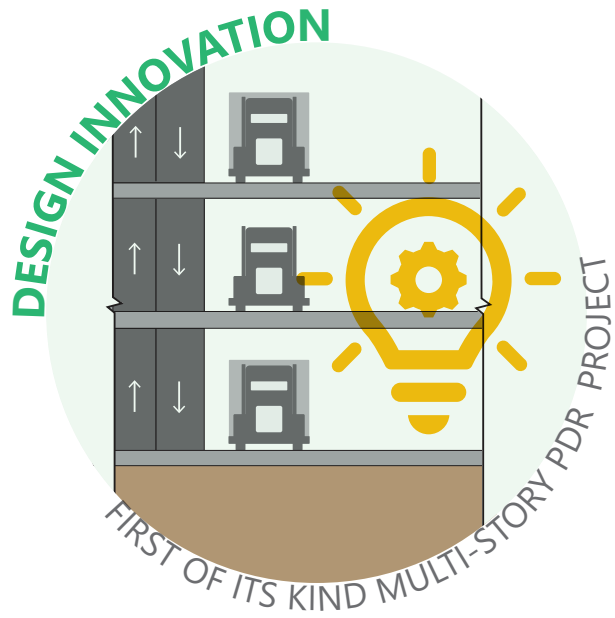
Typical Building (1 of 4)











**TOLAND STREET ENTRY**



RANKIN STREET ENTRY







**KIRKWOOD AVENUE STREETScape**



**KIRKWOOD AVENUE STREETScape**

**MCKINNON AVENUE STREETScape**

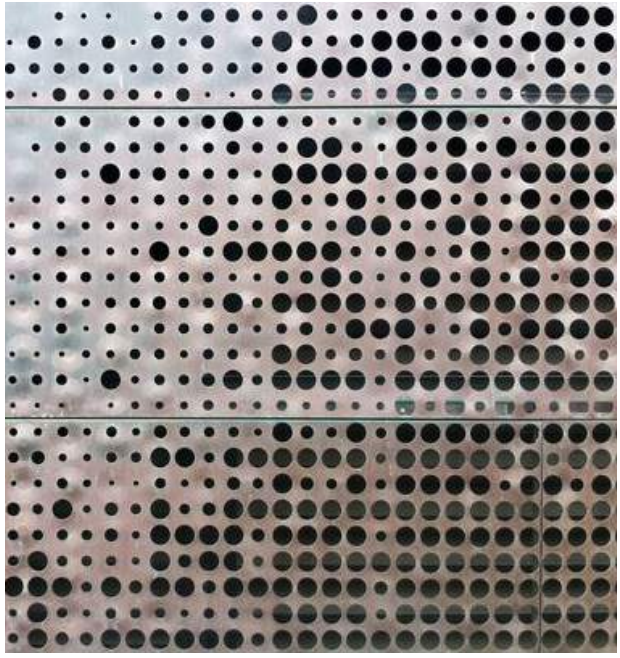


**MCKINNON AVENUE AT SELBY STREET**



MAKER SPACE INTERIOR





THANK YOU

