

**ABBREVIATIONS**

&	AND
@	AT
CL	CENTER LINE
Ø	DIAMETER
#	FOUND OR NUMBER
PL	PROPERTY LINE
A.D.	AREA DRAIN
ADJ.	ADJACENT
ALUM.	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
AWN.	AWNING WINDOW
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
C.B.	CATCH BASIN
C.O.	CLEANOUT
CAB.	CABINET
CLG.	CEILING
CLO.	CLOSET
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONST.	CONSTRUCTION
CORR.	CORRIDOR
CSMT.	CASEMENT WINDOW
D.H.	DOUBLE HUNG WINDOW
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DR.	DOOR
DW.	DISHWASHER
DWG.	DRAWING
E	EAST
(E)	EXISTING
EA	EACH
EL	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EQ.	EQUAL
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.D.C.	FIRE DEPT. CONNECTION
F.G.	FIXED GLASS WINDOW
F.P.	FIREPLACE
FDN.	FOUNDATION
FIN.	FINISH
FLR.	FLOOR
FLUOR.	FLUORESCENT
FT.	FOOT OR FEET
FTG.	FOOTING
G.F.I.	GROUND FAULT
I	INTERERRUPTER
G.S.M.	GALVANIZED SHEET METAL
GA.	GAUGE
GL.	GLASS
GND.	GROUND
GYP.	GYPSPUM
H.B.	HOSE BIBB
HDWD.	HARDWOOD
HORIZ.	HORIZONTAL
HR.	HOOR
HT.	HEIGHT
INSUL.	INSULATION
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
N	NORTH
(N)	NEW
N.T.S.	NOT TO SCALE
NO. OR #	NUMBER
O.C.	ON CENTER
O.F.D.	OVERFLOW DRAIN
O.H.	OVERHANG
OBS.	OBSCURED
OPNG.	OPENING
PL	PROPERTY LINE
PL	PLATE
PLYWD.	PLYWOOD
PT	POINT
Q.T.	QUARRY TILE
R.	RISER
R.D.	ROOF DRAIN
R.W.	REDWOOD
R.W.L.	RAIN WATER LEADER
RAD.	RADIUS
REFR.	REFRIGERATOR
REINF.	REINFORCED
REQ.	REQUIRED
RET.	RETAINING
S.	SOUTH
S.G.D.	SLIDING GLASS DOOR
S.H.	SINGLE HUNG WINDOW
SH.	SIMILAR
SL.	SLIDER WINDOW
SPEC.	SPECIFICATION
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STR.	STRUCTURAL
SYM.	SYMMETRICAL
T.&G.	TONGUE & GROOVE
THK.	THICK
TYP.	TYPICAL
T.G.	TEMPERED GLASS
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
W.	WEST
WTH.	WITH
WD.	WOOD
W/O	WITHOUT
WP.	WATERPROOF
WT.	WEIGHT



**NOTES**

PROVIDE FIRE SPRINKLER SYSTEM AND STANDPIPES THROUGHOUT THE BLDG. AND UNDER SEPARATE PERMIT. FIRE SPRINKLER SYSTEM TO BE DESIGN-BUILT BY A LICENSED FIRE PROTECTION CONTRACTOR. PROVIDE FIRE ALARM SYSTEM UNDER SEPARATE PERMIT. CONSTRUCTION COST OF THIS PERMIT DOES NOT INCLUDE SPRINKLER AND FIRE ALARM SYSTEMS.

PROVIDE EMERGENCY LIGHTING PER SEC. 1008.3  
 PROVIDE EXIT SIGNS PER SEC. 1013  
 PROVIDE STAIR IDENTIFICATION WITH SIGN PER SEC. 1023.9.1  
 TWO HOUR STAIR ENCLOSURE FOR 4 OR MORE STORIES WITH 90 MIN. DOOR WITH CLOSER PER SEC. 1023.1  
 PROVIDE ONE HOUR CONSTRUCTION W/ SOUND INSULATION BETWEEN UNIT AND PUBLIC AREA  
 MINIMUM ONE HOUR CORRIDOR TYPICAL

PROVIDE SMOKE ALARMS PER SEC. 907.2.11.8  
 PROVIDE CARBON MONOXIDE ALARMS PER SEC. 915.1

PROVIDE TEMPERED (SAFETY) GLASS AT HAZARDOUS LOCATIONS PER SEC. 2406.4  
 ROOF DRAIN AND OVERFLOW DRAIN AT ROOF OR DECK SHALL CONNECT TO CITY SEWER  
 TRASH ROOM COMPLY w/ SEC. 713.13  
 COMPLY w/ SECURITY REQUIREMENTS PER S.F.B.C. SEC. 1005.4  
 EXIT ENCLOSURE VENTILATION PER S.F.B.C. SEC. 1023.6  
 PROVIDE PUBLIC CORRIDOR VENTILATION PER S.F.B.C. SEC. 1203.4  
 ALL LIGHTS SHALL COMPLY WITH 2019 CALIFORNIA TITLE 24 RESIDENTIAL STANDARDS  
 UNDERPINNING & SHORING IF REQUIRED UNDER SEPARATE PERMIT

STATE INDUSTRIAL SAFETY PERMIT IS REQUIRED  
 SEE SOIL REPORT PREPARED BY MICHELUCCI & ASSOCIATES, INC. DATED 4/8/15

**ACCESSIBILITY STATEMENT**  
 COMMERCIAL SPACE TO FULLY COMPLY W/ THE REQUIREMENTS FOR THE PHYSICALLY DISABLED  
 PER SEC. 11334.2 - ONLY 1 BATHROOM IN EACH DWELLING UNIT NEEDS TO COMPLY W/ THE REQUIREMENTS FOR THE PHYSICALLY DISABLED, AND INDICATED AS "ACCESSIBLE" ON PLANS.  
 FOR MULTI-STORY DWELLING UNITS IN BUILDING WITH ELEVATOR PROVIDE ADA ACCESSIBLE FACILITIES PER SEC. 1102A.3.2

**APPLICABLE CODES & ORDINANCES**  
 2019 CALIFORNIA BUILDING CODE (CBC), W/ SAN FRANCISCO AMENDMENTS  
 2019 CALIFORNIA MECHANICAL, ELECTRICAL, AND PLUMBING CODES, W/ SAN FRANCISCO AMENDMENTS  
 2019 CALIFORNIA FIRE CODE, W/ SAN FRANCISCO AMENDMENTS  
 2019 CALIFORNIA ENERGY CODE - TITLE 24  
 2019 NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS  
 2019 NFPA 72 - FIRE ALARM CODE  
 2019 NFPA 101 - LIFE SAFETY CODE

**SCOPE OF WORK**  
 ALTERED SITE PERMIT TO APPROVED BUILDING PERMIT APPLICATION #2014-0630-0003.  
 NEW 4-STORY 21-UNIT CONDOMINIUM & GROUND FLOOR RETAIL ON VACANT LOT USING HOME-SF PROGRAM TIER ONE, WITH 4 BMR UNITS

**GENERAL NOTES**

PLEASE TAKE NOTICE THAT THE DRAWINGS AS PREPARED BY SCHAUB LY ARCHITECTS, INC. FOR THE PROJECT ARE LIMITED TO THE EXTENT AS REQUIRED FOR PLAN CHECK PURPOSES BY CITY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN-BUILD (DESIGN AND INSTALL) ALL SYSTEMS AND ELEMENTS AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, FIRE SPRINKLER AND ELECTRICAL SYSTEMS; AND ALL DETAILS FOR ROOFING, FLASHING, WATERPROOFING AND SOUND PROOFING STANDARDS.

THE USE OF THESE DRAWINGS FOR THE CONSTRUCTION OF THE PROJECT SHALL CONSTITUTE THE CONTRACTOR'S REPRESENTATION THAT IT HAS REVIEWED AND VERIFIED THE BUILDABILITY OF THE PROJECT AS SHOWN ON THESE DRAWINGS IN THE LIGHT OF SITE CONDITIONS AND APPLICABLE CODE REQUIREMENTS; AND THAT ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR SHALL UNDERTAKE FULL RESPONSIBILITIES TO DESIGN-BUILD ALL ELEMENTS AND MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR THE COMPLETION OF THE PROJECT IN ITS ENTIRETY PURSUANT TO ALL APPLICABLE CODE REQUIREMENTS, TRADE AND WORKMANSHIP STANDARDS.

ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY BUILDING CODE AND INTERNATIONAL BUILDING CODE, AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, BAY AREA AIR QUALITY MANAGEMENT DISTRICT, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CITY CODE SHALL GOVERN WHEN IT AND THE IBC OR ANY OTHER REFERENCE CODES AND STANDARDS ARE IN CONFLICT.

THE CONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE LAWFUL EXECUTION OF THE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE LOT, EASEMENT, SOIL CONDITIONS, ALL PROPOSED DIMENSIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE AND UTILITY LINES AT SUBJECT PROPERTY, AS WELL AS, AT ADJACENT PROPERTIES. IF THE CONTRACTOR ENCOUNTERS DISCREPANCIES IN THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF CORRECTIONS TO THE WORK IF HE NEGLECTS TO ADHERE TO THIS PROCESS.

THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETED IN A GOOD AND WORKMANLIKE MANNER AND IN EVERY DETAIL ALTHOUGH EVERY NECESSARY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. EXCEPT AS OTHERWISE SPECIFICALLY STATED, THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, FEES, MATERIALS, LABOR, TOOLS, AND EQUIPMENT FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESCRIBED.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY, AND ADJACENT PROPERTIES. THE ARCHITECT SHALL NOT REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

ALL DRAWINGS, SPECIFICATIONS, AND INFORMATION FURNISHED HERewith ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE HELD CONFIDENTIAL AND SHALL NOT BE USED FOR ANY PURPOSE OR PURPOSES OTHER THAN THOSE FOR WHICH THEY HAVE BEEN SUPPLIED AND PREPARED. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING, AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ANY DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP, SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED IN THE PRELIMINARY STAGE AND SHALL NOT BE USED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS.

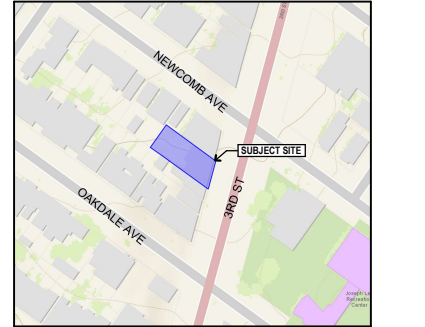
**DRAWING INDEX**

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A-1.0	SITE PLAN, PROJECT ZONING INFO & AREA CALCULATIONS
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A-2.0	GROUND FLOOR REAR YARD LANDSCAPE PLAN
A-2.1	GROUND FLOOR PLAN
A-2.2	SECOND FLOOR PLAN
A-2.3	THIRD FLOOR PLAN
A-2.4	FOURTH FLOOR PLAN
A-2.5	ROOF PLAN
A-3.1	FRONT ELEVATIONS
A-3.2	REAR ELEVATION
A-3.3	SIDE ELEVATIONS
A-3.4	SECTIONS
A-4.0	GREEN BUILDING SURVEY

**PROJECT DATA**

BUILDING PERMIT APPLICATION #:	2020-0303-5987
BLOCKLOT:	5311 / 035
ZONING:	NC-3
OCCUPANCY:	R-2 / M
NUMBER OF UNITS:	21
NUMBER OF STORIES:	4
TYPE OF CONSTRUCTION:	V-A
SPRINKLER SYSTEM:	FULLY SPRINKLERED NFPA13

**VICINITY MAP**



**SYMBOLS**

(1)	COLUMN GRID LINE	EL. = XX.XX"	ELEVATION
(A)	SECTION / DETAIL IDENTIFICATION SHEET NUMBER	—	EXISTING STUD WALL
(B)	INTERIOR ELEVATION ID	—	NEW STUD WALL
(C)	INTERIOR ELEVATION # SHEET NUMBER	—	NEW DOOR
(D)	ENLARGED PLAN, SECTION OR DETAIL REFERENCE	- - -	EXISTING WALL/DOOR TO BE REMOVED
(E)	DOOR NUMBER	—	EXISTING WALL/DOOR TO REMAIN
(F)	WINDOW NUMBER	—	WALL DETAIL NUMBER



**SCHAUB LY ARCHITECTS, INC.**  
 1360 9TH AVENUE, SUITE 210  
 SAN FRANCISCO CA 94122  
 415-682-8060  
 www.slasf.com

**NEW MIXED-USE BUILDING**  
 4712-20 3RD STREET  
 BLOCK 5311, LOT 035  
 SAN FRANCISCO, CA 94124

**PHOTOMONTAGE, SHEET INDEX, & PROJECT DATA**

Date	By
06/27/14 RCFE	YIP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

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06/14/14 RCFE	VP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
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2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
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EXISTING PROPERTY INFORMATION	
ADDRESS	4712-20 3RD STREET
BLOCK / LOT	5311 / 035
LOT WIDTH x AVG. DEPTH	50' x 118'-6 3/4"
LOT AREA	5,924 S.F.
LOT USE	VACANT

PROPOSED PROJECT INFORMATION	
ADDRESS	4712-16-20 3RD STREET
# OF RESIDENTIAL UNITS	21 (HOME-SF PROGRAM)
THREE-BEDROOM UNITS	6
TWO-BEDROOM UNITS	6
ONE-BEDROOM UNITS	9
# OF RETAIL SPACES	1
BUILDING HEIGHT	40'-0"

ZONING INFORMATION		
ZONING	NC-3	\$712.1
HEIGHT LIMIT	40-X	\$250
RESIDENTIAL DENSITY	1 PER 600 S.F. = 10	\$712.91
	UNLIMITED WITH HOME-SF	\$206.3(d)(1)
TOTAL DWELLING UNITS	21 (HOME-SF)	\$206.3
AFFORDABLE UNITS	4 (20% HOME-SF TIER 1)	\$207(c)(1)
REAR YARD	20% (HOME-SF MODIFICATION)	\$206.3(d)(4)(A)
OPEN SPACE	5% REDUCTION (HOME-SF MODIFICATION)	\$206.3(d)(4)(A)
VEHICLE PARKING	NO VEHICLE PARKING IN NC	\$161(g) & \$307(h)(2)
REDEVELOPMENT AREA	BAYVIEW HUNTERS POINT AREA B	SF OCII

BICYCLE PARKING REQUIREMENTS PER §155.2:		
	REQUIRED	PROPOSED
RESIDENTIAL	21 (CLASS 1)	24 (CLASS 1)
RETAIL	2 (CLASS 2)	2 (CLASS 2)

OPEN SPACE REQUIREMENT PER §135(d):		
	REQUIRED	PROPOSED
RESIDENTIAL	COMMON - 2100 S.F. (100 S.F. X 21 UNITS)	TOTAL 2,296 S.F.
		1,171 S.F. REAR YARD
		1,125 S.F. ROOF DECK

**4712 3RD STREET  
AREA CALCULATION (IN SQUARE FEET):**

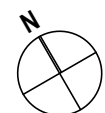
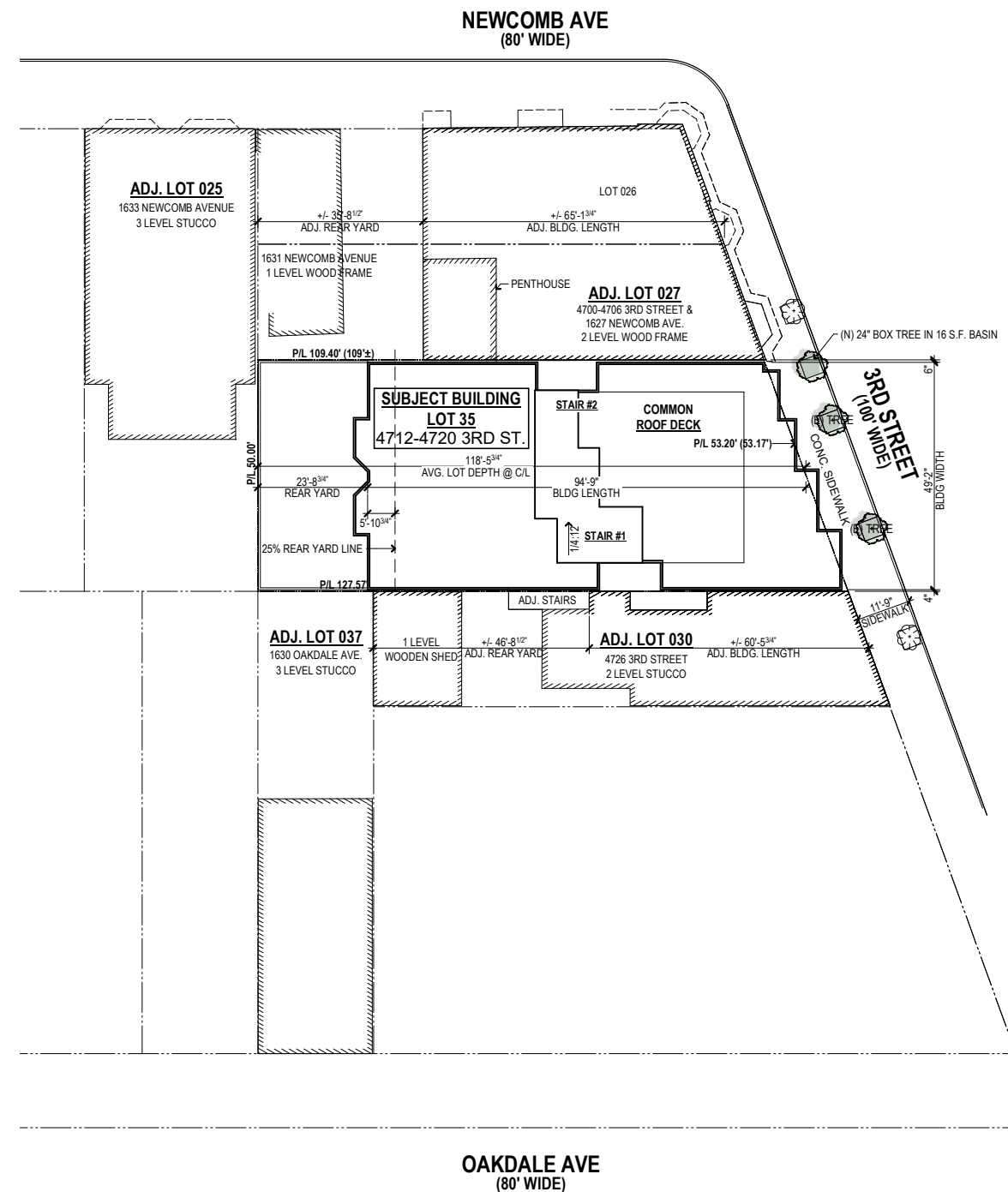
UNIT NUMBER	GROUND FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL	BED	BATH
UNIT #406*				817	817	3	2
UNIT #405*				894	894	3	2
UNIT #404*				407	407	1	1
UNIT #403*				430	430	1	1
UNIT #402*				572	572	2	1
UNIT #401*				526	526	2	1
UNIT #306*			817		817	3	2
UNIT #305*			894		894	3	2
UNIT #304*			407		407	1	1
UNIT #303*			430		430	1	1
UNIT #302*			572		572	2	1
UNIT #301*			526		526	2	1
UNIT #206*		817			817	3	2
UNIT #205*		894			894	3	2
UNIT #204*		407			407	1	1
UNIT #203*		430			430	1	1
UNIT #202*		572			572	2	1
UNIT #201*		526			526	2	1
UNIT #103*	435				435	1	1
UNIT #102*	459				459	1	1
UNIT #101*	524				524	1	1
COMMERCIAL*	760				760		
COMMON AREA**	2,364	956	956	956	5,232		
<b>TOTAL</b>	<b>4,542</b>	<b>4,602</b>	<b>4,602</b>	<b>4,602</b>	<b>18,348</b>	<b>39</b>	<b>27</b>

TOTAL UNITS COUNT = 21 UNITS  
 TOTAL LIVING AREA FOR ALL UNITS = 12,356 S.F.  
 TOTAL COMMERCIAL AREA = 760 S.F.  
 TOTAL COMMON AREA = 5,232 S.F.  
 TOTAL GROSS AREA = 19,108 S.F.

NOTE:  
 AREA CALCULATION AS SHOWN IS INTENDED FOR PERMIT APPLICATION PURPOSES ONLY AND SHALL NOT BE USED FOR SELLING OR LEASING PURPOSES. FINAL SQUARE FOOTAGE AND FINISHED DIMENSIONS MAY VARY FROM THESE PLANS DUE TO CONSTRUCTION VARIABLES.

\* UNIT AREA INCLUDES NET AREA INSIDE OF UNIT ONLY

\*\* COMMON AREA INCLUDES ALL AREAS OUTSIDE OF UNIT (COMMON STAIR/HALLWAY, EXTERIOR WALLS, ETC.)



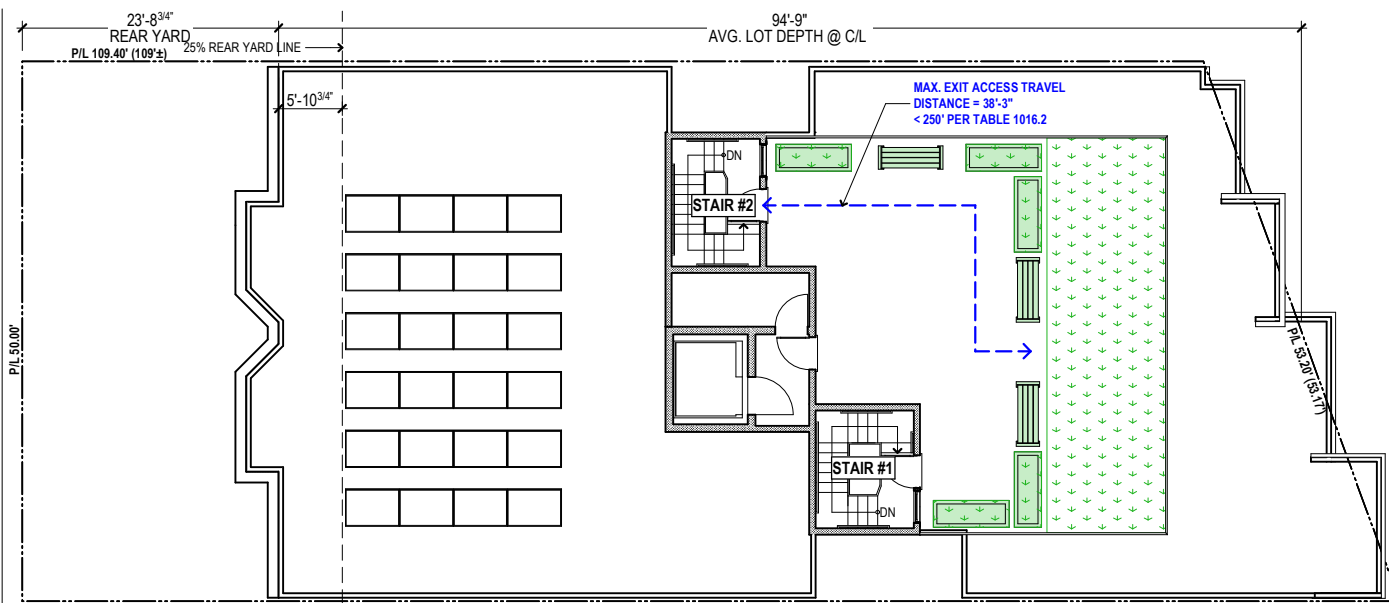
**SITE PLAN**

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

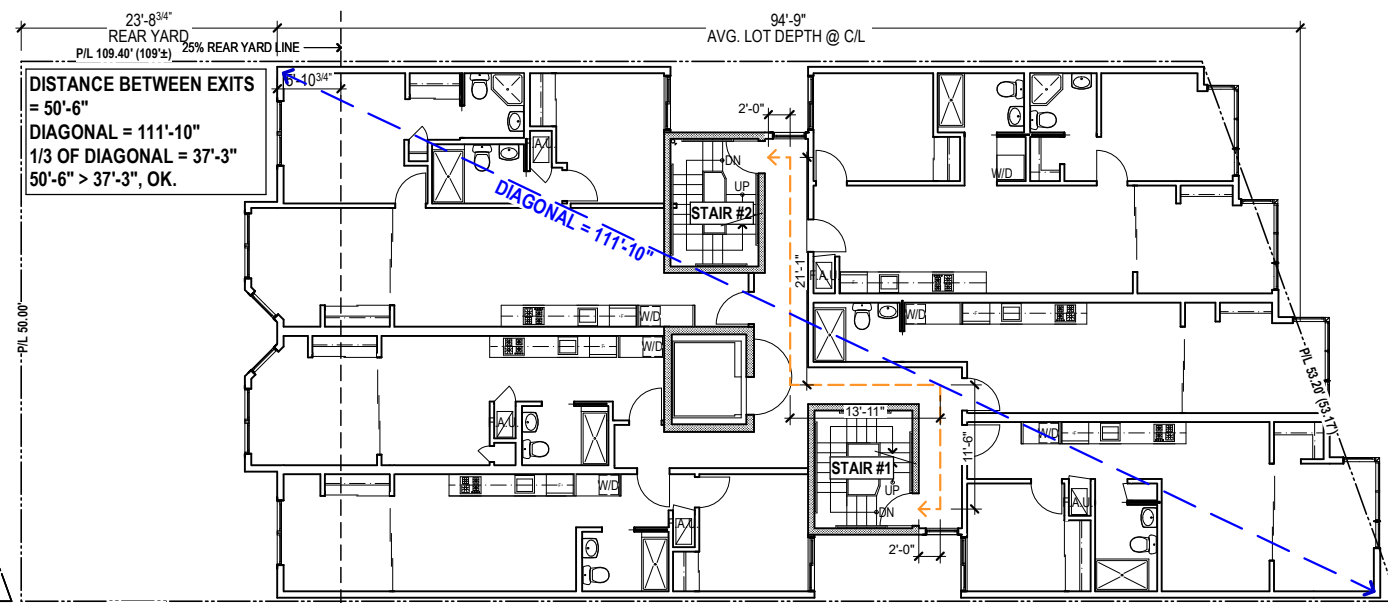
SCALE: 1/16" = 1'-0"



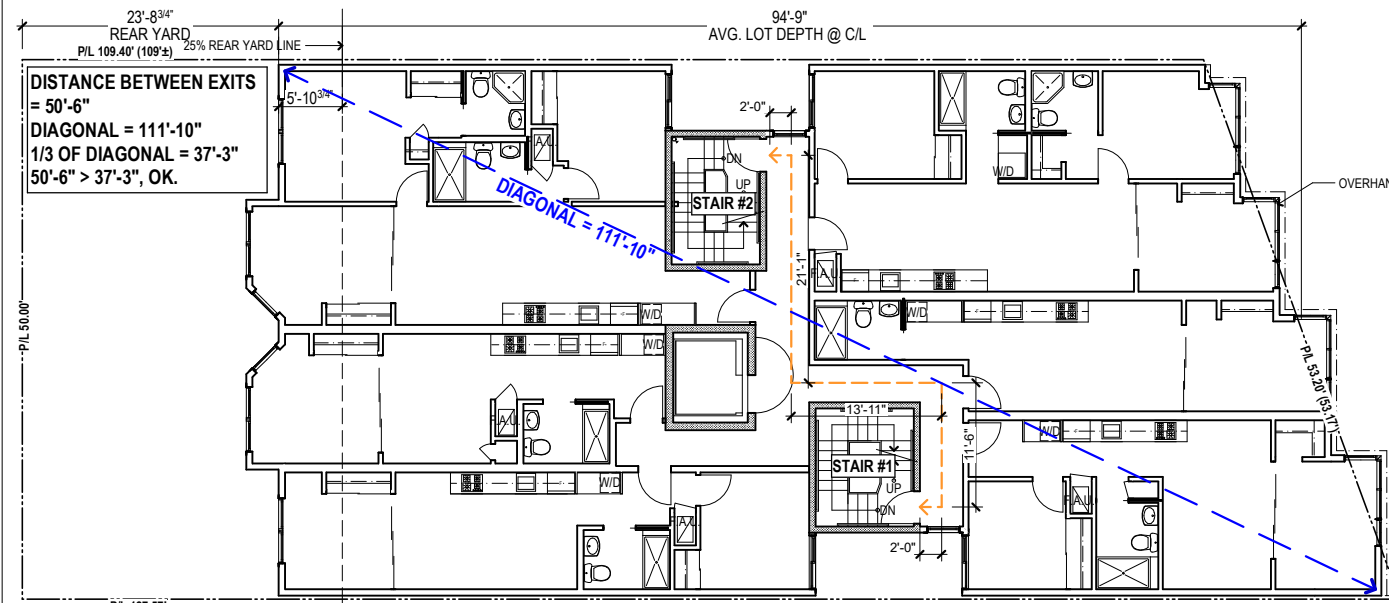
06/22/14 RCFE	VP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
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12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP



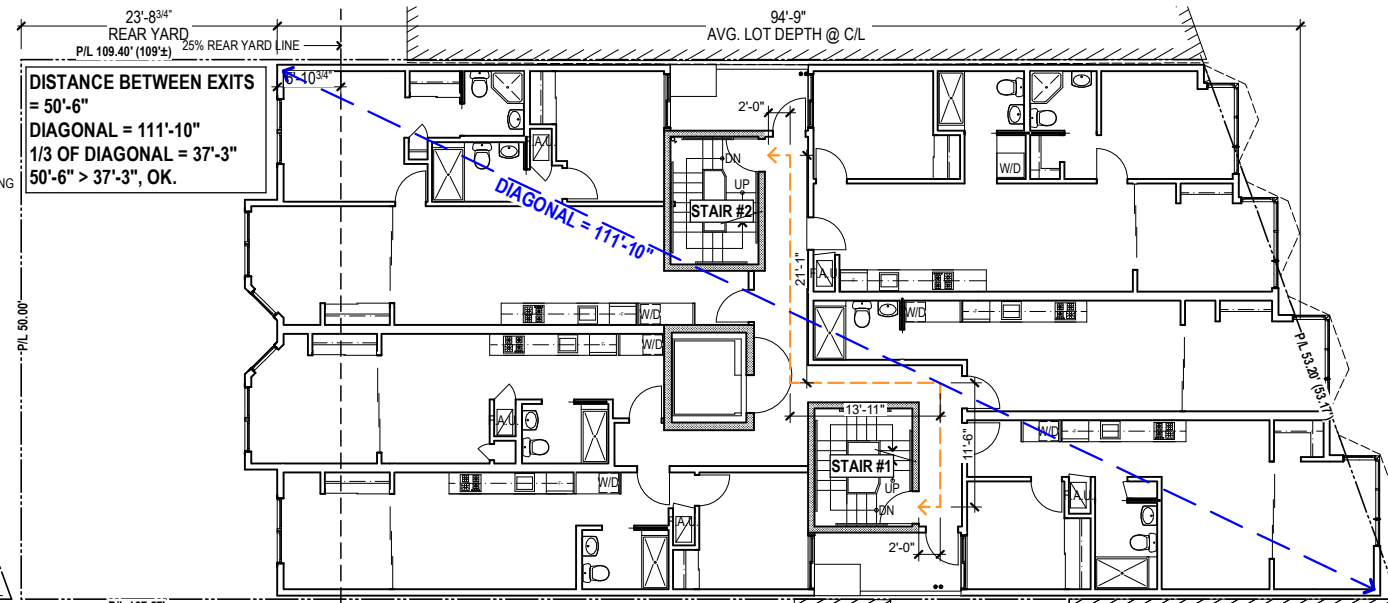
**ROOF**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



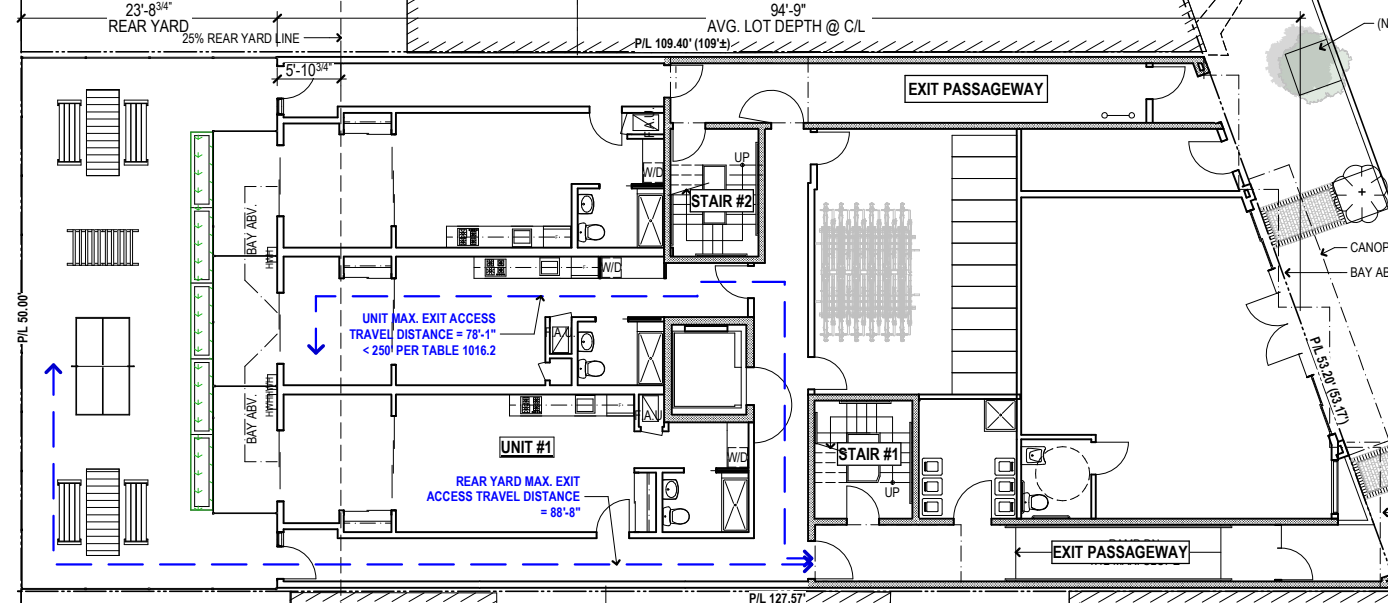
**THIRD FLOOR**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



**FOURTH FLOOR**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



**SECOND FLOOR**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



**GROUND FLOOR**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



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3/31/15 RESIDENTIAL	MML
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11/3/20 PCL #2	YIP

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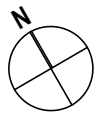
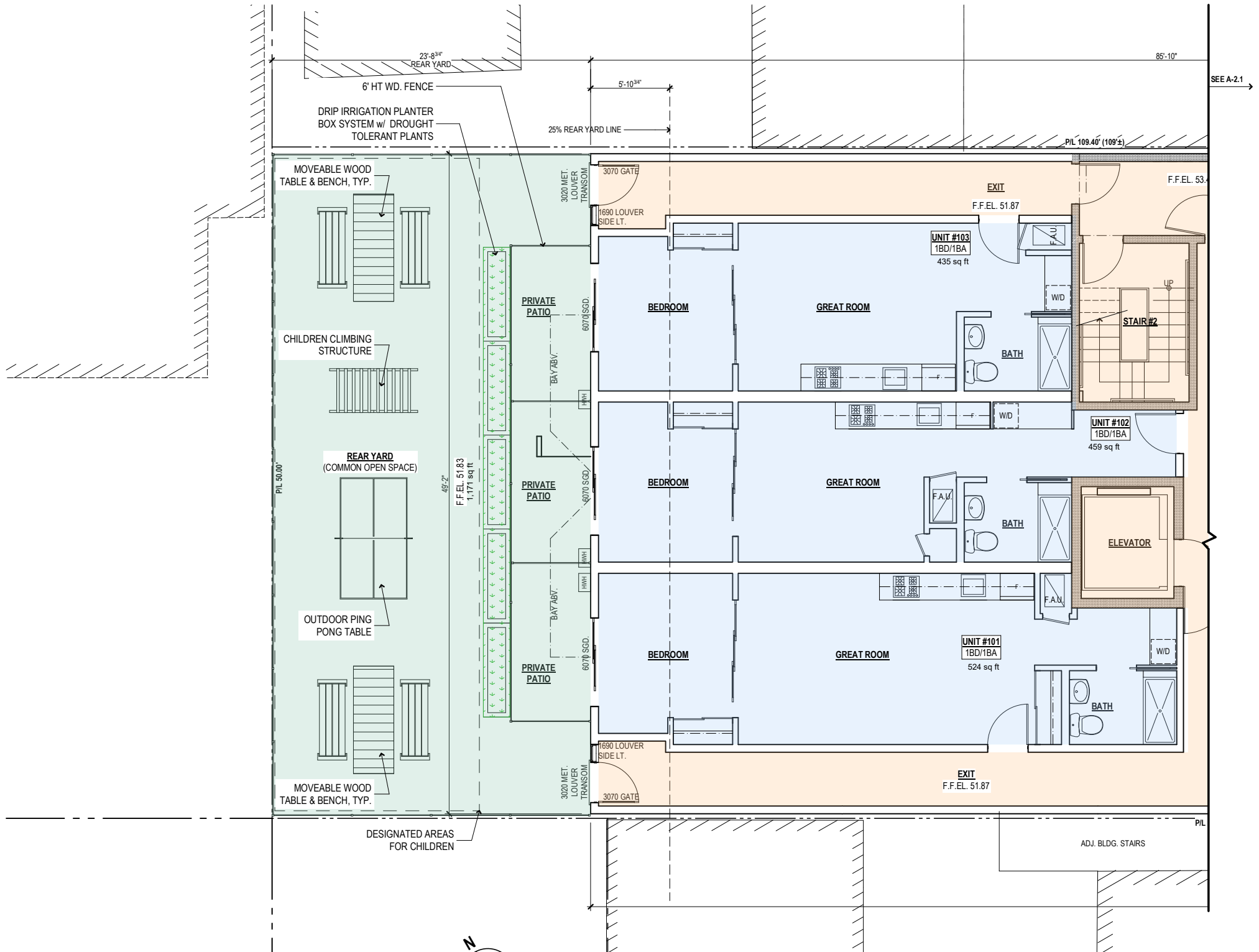
## A-2.0

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**LEGEND**

— 1 HOUR WALL

▨ 2 HOUR WALL



### GROUND FLOOR LANDSCAPE PLAN

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

SCALE: 1/4" = 1'-0"

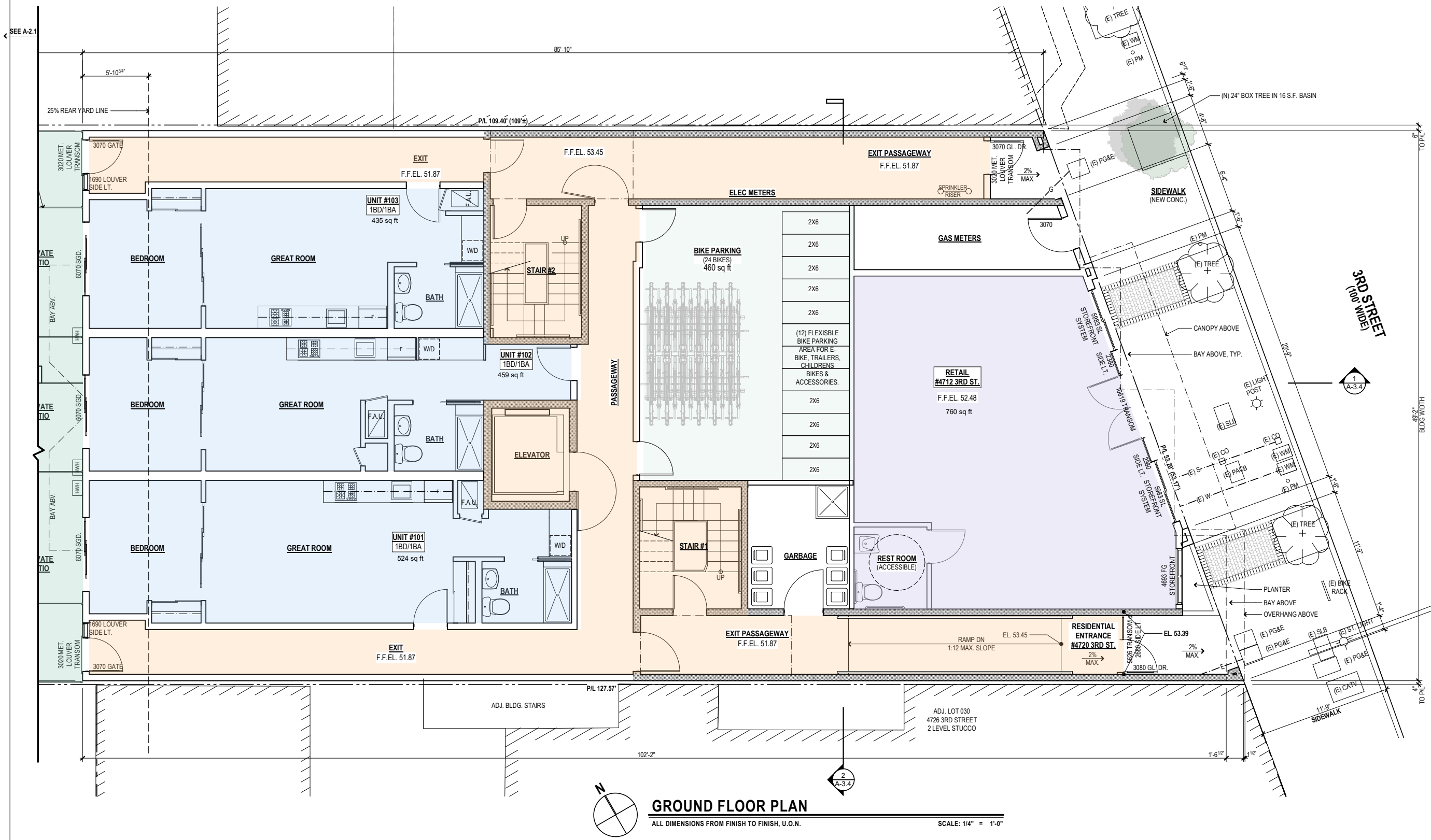


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2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

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## A-2.1



### GROUND FLOOR PLAN

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

SCALE: 1/4" = 1'-0"

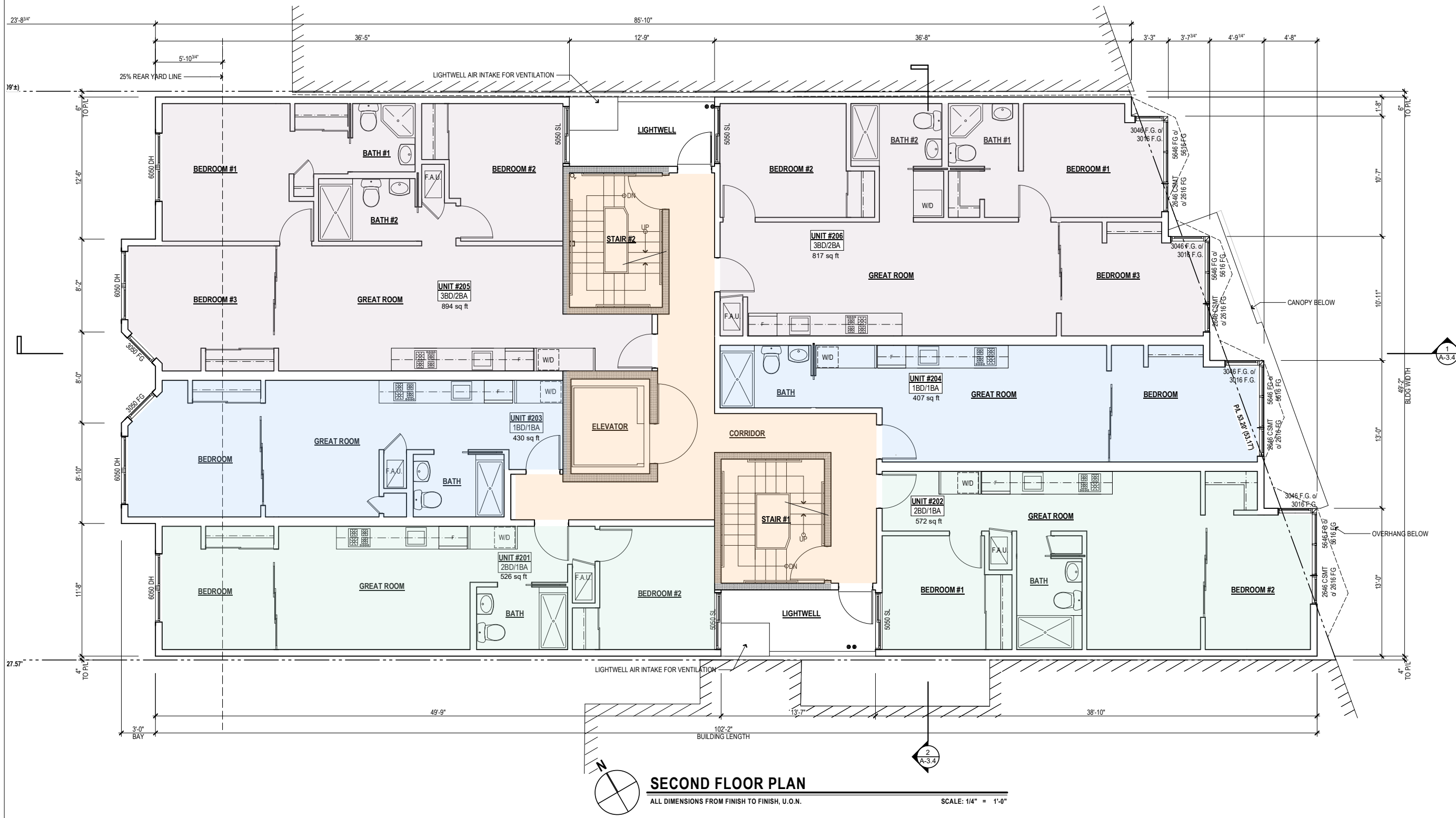


08/22/14 RCFE	VP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

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## A-2.2



### SECOND FLOOR PLAN

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

SCALE: 1/4" = 1'-0"

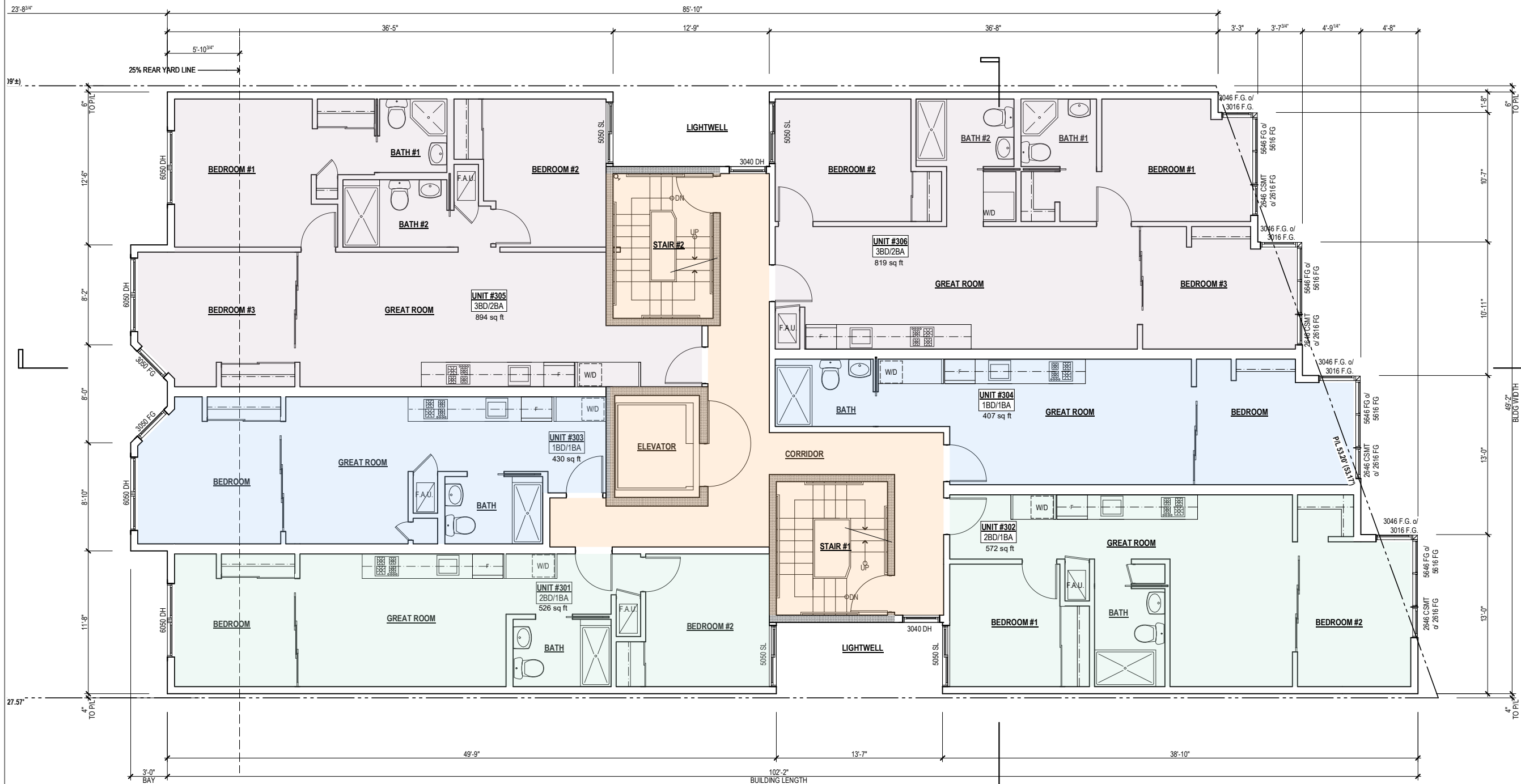


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3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

Job 140202

Sheet **A-2.3**

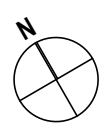
Of 15 Sheets



**LEGEND**

— 1 HOUR WALL

— 2 HOUR WALL



**THIRD FLOOR PLAN**

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.



SCALE: 1/4" = 1'-0"

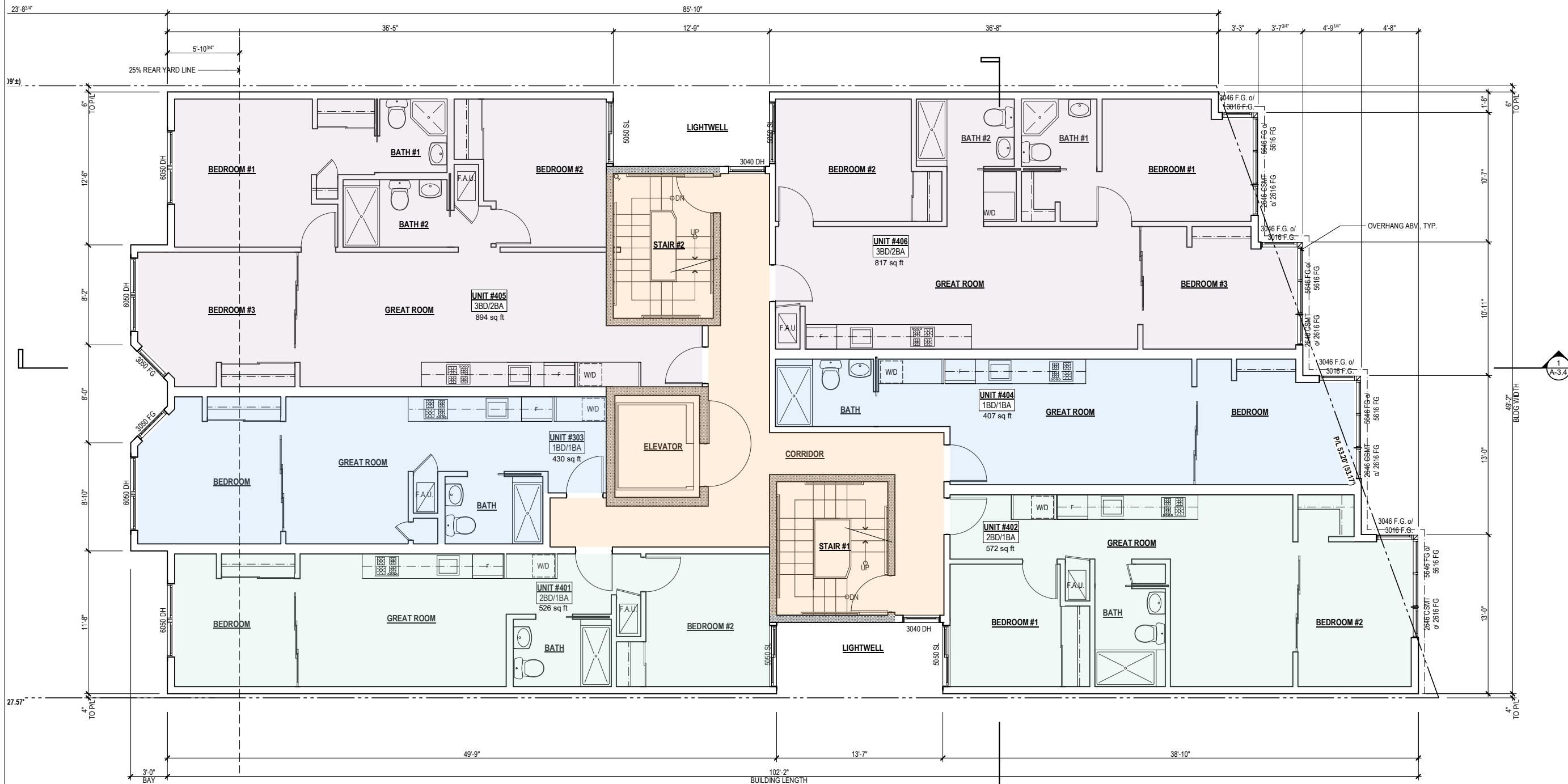


08/22/14 RCFE	VP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

Job 140202

Sheet **A-2.4**

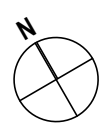
Of 15 Sheets



**LEGEND**

— 1 HOUR WALL

— 2 HOUR WALL



**FOURTH FLOOR PLAN**

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.



SCALE: 1/4" = 1'-0"







08/17/14 RCFE	VP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

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Sheet

## A-3.1

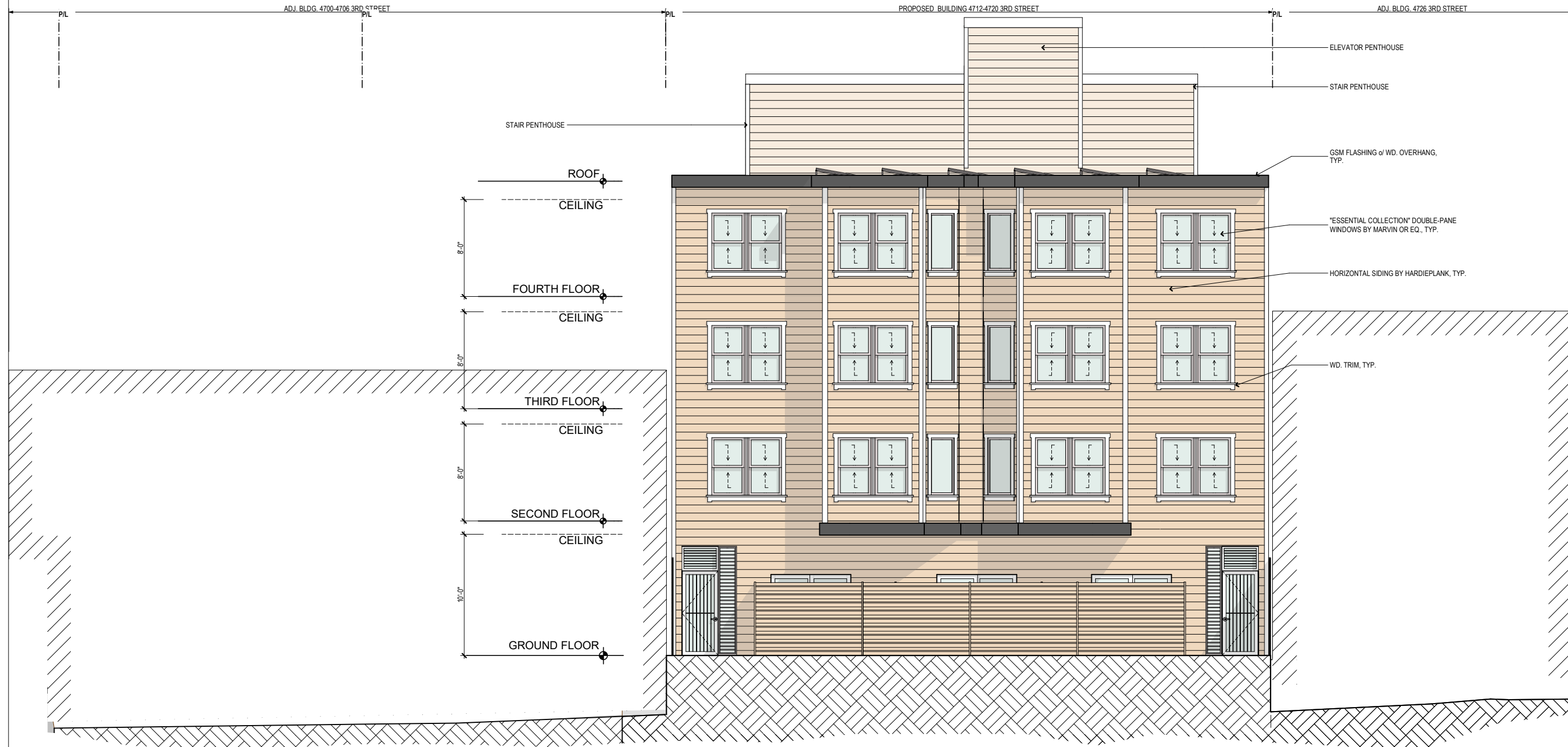
Of 15 Sheets



### FRONT ELEVATION

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

SCALE: 1/4" = 1'-0"



REAR ELEVATION



06/22/14 RCFE	YIP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

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Sheet

## A-3.2

### REAR ELEVATION

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

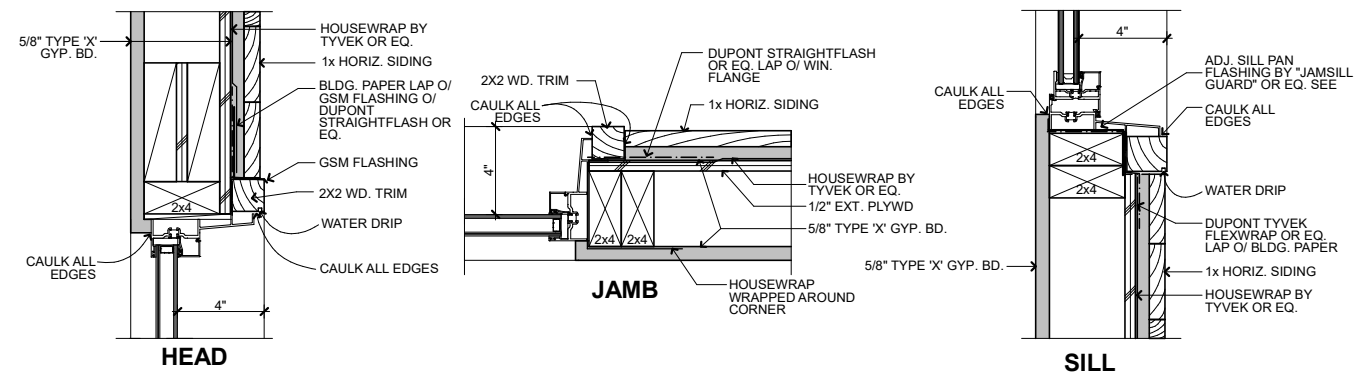
SCALE: 1/4" = 1'-0"



08/22/14 RCFE	VP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

Job 140202

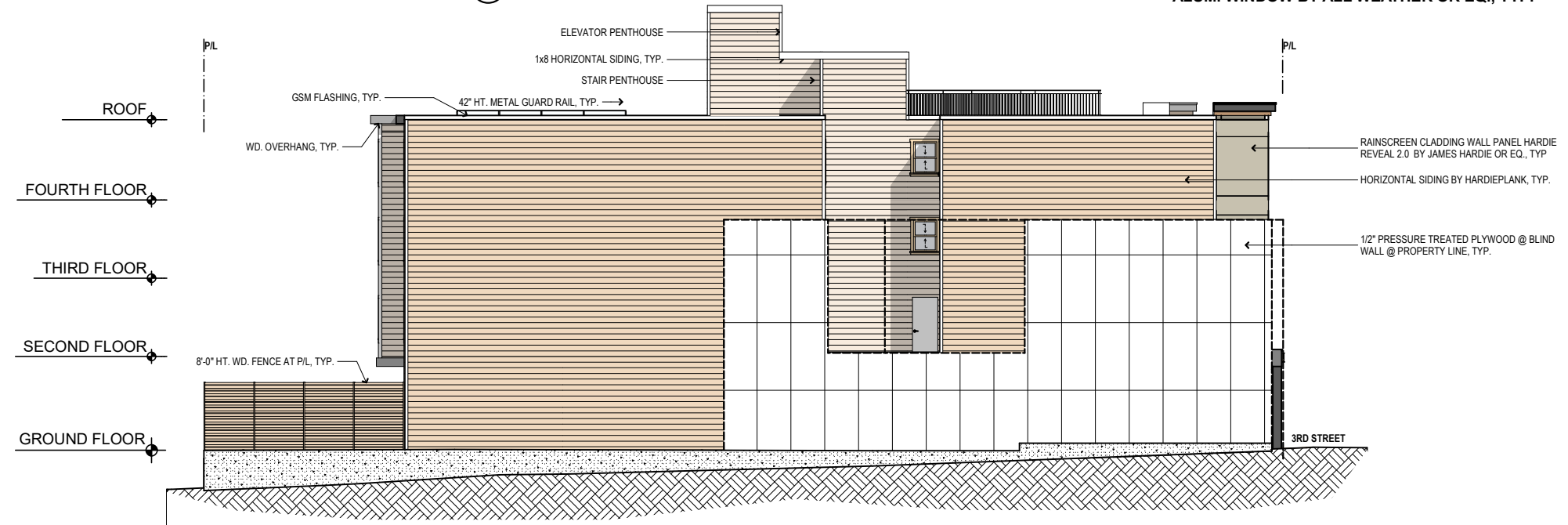
Sheet **A-3.3**



1. PROVIDE FLASHING SYSTEM BY DUPONT TYVEK OR EQ., U.O.N.
2. INSTALL ALL WINDOWS & FLASHING PER MFR. INSTRUCTIONS
3. VERIFY EGRESS SIZES W/ MANUFACTURER

**1 WINDOW DETAIL - WOOD SIDING**  
SCALE 3" = 1'-0"

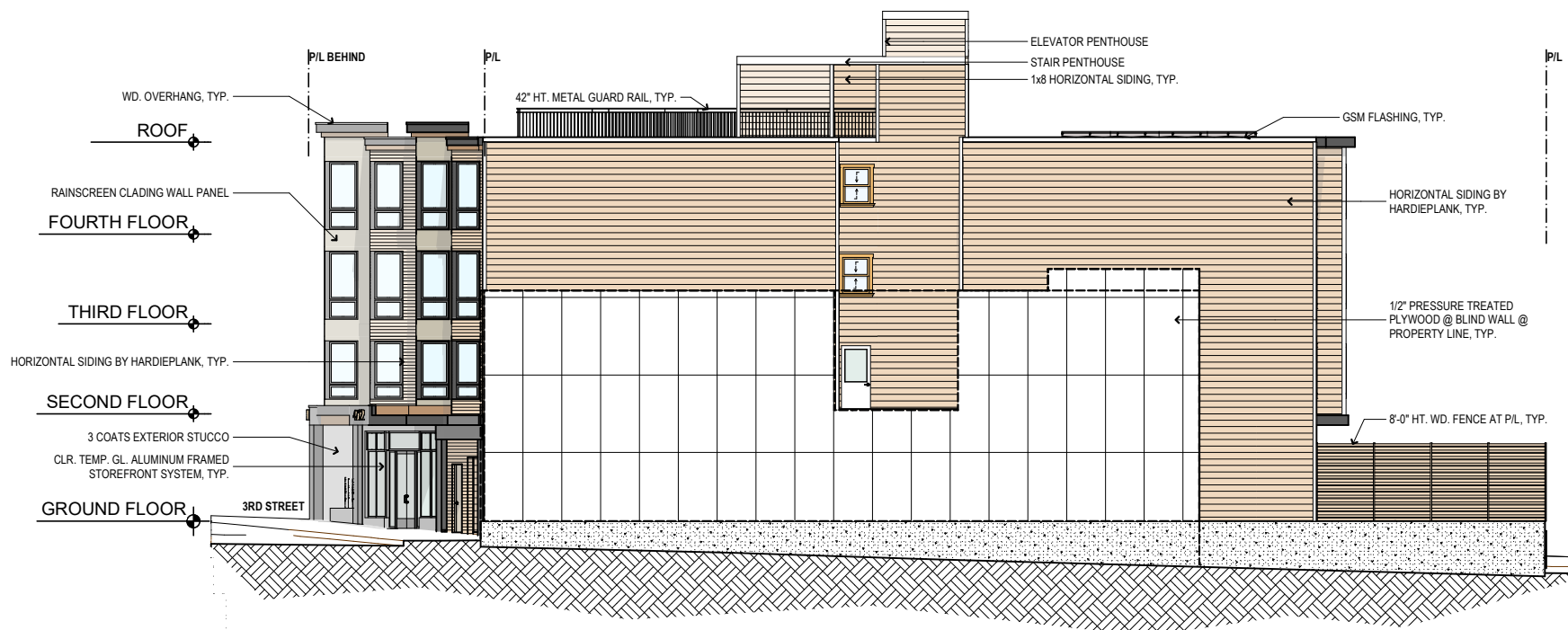
ALUM. WINDOW BY ALL WEATHER OR EQ., TYP.



**LEFT ELEVATION**

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**

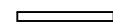

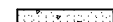
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

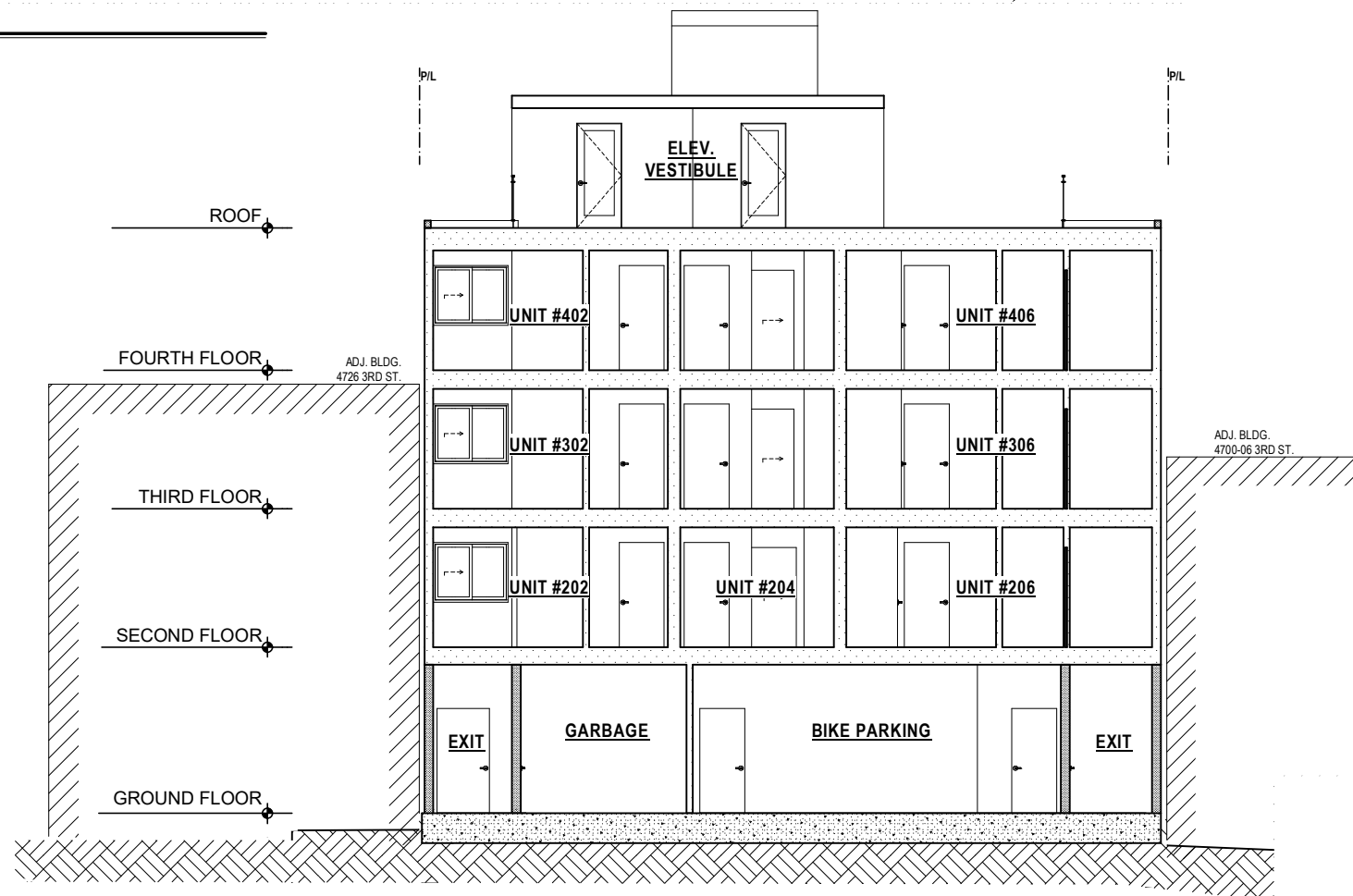
SCALE: 1/8" = 1'-0"



1 LONGITUDINAL SECTION  
3/16" = 1'-0"

LEGEND

-  1 HOUR WALL / FLOOR / ROOF
-  2 HOUR WALL / FLOOR / ROOF
-  CONCRETE SLAB



2 CROSS SECTION  
3/16" = 1'-0"

SECTIONS



06/22/14 RCFE	YIP
3/31/15 RESIDENTIAL	MML
10/5/15 NOPDR #1	MML
7/22/16 CANOPY/RF DECK	YIP
10/20/16 EXIT DIAGRAMS	MML
12/5/16 SI / WD	MML
1/6/17 PER DBI PRE-APP	MML
2/10/17 MSE PER DPW	MML
2/22/20 ALTERED SITE	MML
7/8/20 PCL	YIP
11/3/20 PCL #2	YIP

Job 140202

Sheet

A-3.4

# GS1: San Francisco Green Building Site Permit Submittal Form

Form version: October 5, 2017 (For permit applications January 2017 - December 2019)

## INSTRUCTIONS:

- Select one (1) column to identify project requirements for the project. For addition and alteration projects, applicability of specific requirements may depend upon project scope. Provide the Project Information in the column at right.
- To ensure legibility of DBI archives, submittal must be a minimum of 24" x 36".
- This form is for permit applications submitted January 2017 through December 2019. The prior version may be submitted until January 1, 2018.
- LEED or GreenPoint Rated scorecards are not required with Site Permit applications, but should be used as early as possible.

Attachment GS2, GS3, GS4, GS5 or GS6 will be due with applicable addenda. "FINAL COMPLIANCE VERIFICATION" form is required prior to Certificate of Completion. For Municipal projects, additional Environment Code Chapter 7 requirements may apply; see GS6. See Administrative Bulletin 93 for details.

CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT →

			NEW CONSTRUCTION				ALTERATIONS + ADDITIONS					PROJECT INFO
			<input type="checkbox"/> LOW-RISE RESIDENTIAL	<input checked="" type="checkbox"/> HIGH-RISE RESIDENTIAL	<input type="checkbox"/> LARGE NON-RESIDENTIAL	<input type="checkbox"/> OTHER NON-RESIDENTIAL	<input type="checkbox"/> RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	<input type="checkbox"/> OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	<input type="checkbox"/> NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	<input type="checkbox"/> FIRST-TIME NON-RESIDENTIAL INTERIORS	<input type="checkbox"/> OTHER NON-RESIDENTIAL INTERIORS, ALTERATIONS + ADDITIONS	NEW MIXED-USE BUILDING
			R 1-3 Floors	R 4+ Floors	A,B,E,I,M 25,000 sq.ft. or greater	F,H,L,S,U or A,B,E,I,M less than 25,000 sq.ft.	R 25,000 sq.ft. or greater	R adds any amount of conditioned area	B,M 25,000 sq.ft. or greater	A,B,I,M 25,000 sq.ft. or greater	A,B,E,F,H,L,I,M,S,U more than 1,000 sq.ft. or \$200,000	PROJECT NAME
			LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	LEED GOLD (60+) or GPR (75+) CERTIFIED	n/r	LEED GOLD (60+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	BLOCK/LOT
				92		n/r		n/r			n/r	4712-20 3RD STREET
												ADDRESS
												R-2 / M
												PRIMARY OCCUPANCY
												18,348 S.F.
												GROSS BUILDING AREA
												DESIGN PROFESSIONAL or PERMIT APPLICANT (sign & date)
LEED/GPR	Required LEED or GPR Certification Level	SFGBC 4.103.1.1, 4.103.2.1, 4.103.3.1, 5.103.1.1, 5.103.3.1 & 5.103.4.1	Project is required to achieve sustainability certification listed at right.									
	LEED/GPR Point Adjustment for Retention/Demolition of Historic Features/Building	SFGBC 4.104, 4.105, 5.104 & 5.105	Enter any applicable point adjustments in box at right.									
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.4.1-6, SFGBC 4.103.3.2, 5.103.1.9, 5.103.3.2 & 5.103.4.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems that meet the requirements for GPR measures K2, K3 and L2 or LEED EQc2, as applicable. New large non-residential interiors and major alterations to existing residential and non-residential buildings must also use interior paints, coatings, sealants, and adhesives when applied on-site, flooring and composite wood that meet the requirements of LEED credit Low-Emitting Materials (EQc2).									
	INDOOR WATER USE REDUCTION	CALGreen 4.303.1 & 5.303.3, SFGBC 5.103.1.2, SF Housing Code sec.12A10, SF Building Code ch.13A	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential projects must upgrade all non-compliant fixtures per SF Building Code ch.13A. New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEC2).									
WATER	NON-POTABLE WATER REUSE	Health Code art.12C	New buildings ≥ 40,000 sq.ft. must calculate a water budget. New buildings ≥250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details.									
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	New construction projects with aggregated landscape area ≥500 sq.ft., or existing projects with modified landscape area ≥1,000 sq.ft. shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area. See www.sfwater.org for details.									
	WATER METERING	CALGreen 5.303.1	Provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq.ft.).									
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Title 24 Part 6 Energy Standards.									
	BETTER ROOFS	SFGBC 4.201.1 & 5.201.1.2	New non-residential buildings >2,000 sq.ft. and ≤10 occupied floors, and new residential buildings of any size and ≤10 occupied floors, must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems.									
	RENEWABLE ENERGY	SFGBC 5.201.1.3	Non-residential buildings with ≥11 floors must acquire at least 1% of energy from on-site renewable sources, purchase green energy credits, or achieve 5 points under LEED credit Optimize Energy Performance (EAc2).									
	COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	For projects ≥10,000 sq.ft. include OPR, BOD, and commissioning plan in design & construction. Commission to comply. Alterations & additions with new HVAC equipment must test and adjust all equipment.									
PARKING	BICYCLE PARKING	CALGreen 5.106.4, Planning Code sec.155.1-2	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater.									
	DESIGNATED PARKING	CALGreen 5.106.5.2	Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.									
	WIRING FOR EV CHARGERS	CALGreen 4.106.4 & 5.106.5.3	Install infrastructure to provide electricity for EV chargers at 6% of spaces for non-residential (5.106.5.3), 3% of spaces for multifamily with ≥17 units (4.106.4.2), and each space in 1-2 unit dwellings (4.106.4.1). Installation of chargers is not required.									
WASTE DIVERSION	RECYCLING BY OCCUPANTS	SF Building Code AB-988	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.									
	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, Environment Code ch.14, SF Building Code ch.13B	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate. Divert a minimum of 75% of total C&D debris if noted.									
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.									
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.									
	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.									
GOOD NEIGHBOR	LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.									
	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.									
	TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.									
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. See www.sfwater.org for details.									
	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details.									
INDOOR ENVIRONMENTAL QUALITY	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceilings between tenants). New residential projects' interior noise due to exterior sources shall not exceed 45dB.									
	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1-3 & 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.									
	AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3, SF Health Code art.38	Non-residential projects must provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.									
	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.									
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.									
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.									
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.									
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.									
	MOISTURE CONTENT	CALGreen 4.505.3	Wall and floor wood framing must have <19% moisture content before enclosure.									
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).									

GREEN BUILDING



- 06/17/14 RCFE YIP
- 3/31/15 RESIDENTIAL MML
- 10/5/15 NOPDR #1 MML
- 7/22/16 CANOPY/RF DECK YIP
- 10/20/16 EXIT DIAGRAMS MML
- 12/5/16 SI / WD MML
- 1/6/17 PER DBI PRE-APP MML
- 2/10/17 MSE PER DPW MML
- 2/22/20 ALTERED SITE MML
- 7/8/20 PCL YIP
- 11/3/20 PCL #2 YIP

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Sheet

**A-4.0**

